

# CHURCH OF THE INCARNATION HISTORIC DISTRICT DESIGN GUIDELINES



Prepared for the Minneapolis Heritage Preservation Commission  
City of Minneapolis  
Community Planning & Economic Development (CPED)  
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## ACKNOWLEDGEMENTS

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Cover Image: *Incarnation Church, Pleasant Avenue and Thirty-eighth Street, Minneapolis, c. 1920*, Minnesota Historical Society, St. Paul, Minnesota.

# INTRODUCTION

## Scope

These historic district guidelines are intended to guide future alterations and additions to the Church of the Incarnation Historic District. The guidelines identify the district's period of significance; indicate its historic uses; list its character-defining features; identify its historic materials, features, and spaces; and note alterations, including missing elements, to the district. The guidelines are intended to be used in conjunction with the latest version of *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. The *Standards* provide the basis for decisions on any element of the district's design not specifically addressed in the design guidelines; the design guidelines list exceptions to and refinements of the *Standards*. Exceptions to these guidelines may be granted by the Heritage Preservation Commission for good cause through the Certificate of Appropriateness application process.

This document also specifies additional guidelines for exterior changes specifically suited to this district. Apart from guidelines related to the site, these guidelines do not apply to noncontributing resources on the property, such as fences, sidewalks, free-standing signs, and retaining walls. Unless specifically stated, these guidelines apply to all three buildings in the district. When evaluating the appropriateness of alterations to properties of the district, additional resources exist to help guide property owners, design professionals, and staff. The building descriptions contained in parts one, three, and four of the district's designation study are one such resource. Additionally, the Northwest Architectural Archives at the University of Minnesota holds several collections which contain original blueprints for the church and Moynihan Hall:

- Incarnation Church: N115a, Box 61
- Incarnation School: R.V. McCann papers, N175
- Incarnation School Addition: N115, Box 472

These design guidelines are divided into three sections:

- Introduction
- Guidelines for Alterations to Buildings
- Figures

## Period of Significance

The district's period of significance is 1912 – 1963. This time period represents the years between the beginning of the construction of the rectory and the end of construction on the 1963 addition to Moynihan Hall. This is in accordance with the National Park Service's (NPS) recommendations for properties listed on the National Register. NPS states that "for architecturally

significant properties, the period of significance is the date of construction and/or the dates of any significant alterations and additions.”<sup>1</sup> All properties in the Church of the Incarnation Historic District are significant for their association with master architects and/or architectural styles, and the 1963 addition to Moynihan Hall is an architecturally significant addition. Thus, the period of significance is determined by the construction date of the first building in the district and the date of the last significant addition in the district.

## Historic Uses

During their period of significance, the three Incarnation properties were used as a parish school, a church, and a rectory.

## Character Defining Features

Character defining features are the form and detailing of those architectural materials and features that are important in defining the building’s historic character and which must be retained in order to preserve that character. Each building in the Incarnation district has its own set of character-defining features which identify the building as an example of one or more particular styles of architecture.

### Rectory: Colonial Revival

- Symmetrical façade
- Prominent, centered front door with sidelights
- Entry porch with a pediment supported by columns

### Church: Italian Renaissance and Romanesque Revival

- Square tower
- Belt courses
- Semi-circular, arched openings for windows, doors, vents, and wall recesses
- Masonry construction
- Gabled and parapeted wall dormers
- Columns
- Symmetrical façade
- Tile roof

### Moynihan Hall:

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<sup>1</sup> U.S. Department of the Interior National Park Service Cultural Resources, *How to Complete the National Register Registration Form* (n.p.: 1997), accessed June 9, 2017, [https://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a\\_III.htm](https://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a_III.htm).

#### Original Building: Art Deco and Art Moderne

- Flat roof
- Horizontal bands of stone around the east and north elevations
- Vertical lines on portions of the stone façade and around entrances
- Thin band of stone coping
- Relatively smooth exterior façades
- Straight-edged spiral designs on the school's west elevation
- Low-relief stone carvings on northern and eastern facades

#### 1963 Addition: International Style

- Flat roof
- Strip windows
- Rectangular building shape
- Relatively smooth wall surfaces
- Lack of architectural ornament

Other historic features, if removed or covered over, would affect the property's integrity but would still permit the buildings to be identified with their respective architectural style(s).

### **Historic Materials: Rectory**

- Brick veneer walls
- Wooden walls
- Stone belt courses and window sills
- Stone coping and steps on front entryway
- Wooden cornice and frieze
- Most wooden window frames

### **Historic Materials: Church**

- Brick walls (identified as vitrified Danville brick in a 1917 newspaper article)
- Stone belt courses, window sills, steps, entryway entablature, and coping on parapets (identified as Bedford stone in a 1917 newspaper article)
- Metal gutters
- Most wooden window frames

### **Historic Materials: Moynihan Hall**

- Brick and Kasota stone walls
- Stone coping at roofline of original building

- Stone entryways that project from the original building’s north and east elevations
- Cement foundation of original building
- Some wood and metal windows on the original building
- Aluminum windows on the 1963 addition

## Major Alterations: Rectory

1. Alterations completed during the period of significance
  - a. 1918: Creation of new, at-grade door opening (building permit)
  - b. 1926: Construction of a 1-story, 14 x 16 x 8 addition to “sun porch of frame dwelling” (building permit)
    - i. This was most likely an extension of section F (see figure 2)
  - c. 1927: Construction of a 13 x 8 x 8 frame, second-story sleeping porch (building permit)
    - i. This was most likely the second-story portion of section F
  - d. 1927: Construction of a 19 x 19 brick veneer addition (building permit)
    - i. This addition is section G
  - e. 1932: Construction of an 11 x 80 x 12 brick and tile addition “to side of church and dwelling” (building permit)
    - i. This was most likely the covered walkway which connects the church and rectory
  - f. 1961: Repairs to concrete steps of parish house (building permit)
2. Alterations completed after the period of significance
  - a. 1994: The addition of the wooden sign which stands in the rectory’s front yard, near the sidewalk (building permit)
  - b. Between 2006 and 2015: the replacement of the eastern portion of the rectory’s wooden fence with a black, metal fence (aerial photographs)
  - c. Between 2006 and 2015: the addition of a small parking lot to the south of the church’s four-car garage (aerial photographs)
3. Alterations completed after the building’s construction which cannot be precisely dated
  - a. The removal of awnings from all rectory windows and dormers on the front façade, as well as the removal of an awning over the front entryway (1934 photograph)
  - b. The removal of a rectangular object on the downspout on the southern side of the front entryway, near the connection of the downspout and the gutter (1934 photograph)
  - c. The addition of a decorative sign in the tympanum of the entryway pediment (1934 photograph)
  - d. The construction of section I, the grooved plywood, shed-roofed addition on the north elevation of the rectory (see figure 2)

- i. Visual evidence indicates that this entire addition was most likely constructed after 1963
- e. The addition of mechanical equipment and a pipe on the east elevation of section B (visual evidence)
- f. The addition of lights to or replacement of lights on the north elevation of section F, the entrance to section G, the entrance to section D, and the ceiling of the front entryway porch (visual evidence)
- g. The addition of a metal turbine vent on the rectory's roof (visual evidence)
- h. The installation of a utility meter at ground level on the north side of the front entryway (visual evidence)
- i. The materials used to construct the open porch and stairway installed on the east elevation of section A (wood), (visual evidence)
- j. Replacement of some older windows with new, white vinyl or painted aluminum windows, mechanical equipment, or infill panels (visual evidence)
- k. Installation of aluminum storm windows over some older windows (visual evidence)
- l. Repointing on the masonry of the rear elevation of section B and on the rectory's stone belt course (visual evidence)
- m. Installation of composite asphalt shingles on portions of the rectory (visual evidence)
- n. Installation of non-historic storm doors (visual evidence)
- o. Replacement of the original door to section D with a new door (visual evidence)
- p. Probable infilling of glass panes in wooden doors to sections G and A (visual evidence)

## Major Alterations: Church

### 1. Alterations completed during the period of significance

- a. Between 1920 and 1959: Installation of two railings in the center of the front entryway stairs (1920 and 1959 photographs)
- b. 1932: Construction of covered walkway between church and rectory (building permit)
- c. 1961: Construction of a 45 x 26 x 10 addition to the church garage (building permit)
  - i. This was most likely the four-car garage attached to the single car garage

### 2. Alterations completed after the period of significance

- a. 1981: Installation of copper roof (building permit)
- b. 1993: The cross on top of the church's tower was reoriented to face west and east rather than north and south (church history)
- c. 1997: Repairs to the church roof (building permit)
- d. 1998: Installation of antennae and communication equipment (building permit)
- e. 2006: Addition of concrete access ramp on the north side of the front elevation which obscured a basement window and window well and replaced a historic set of stairs leading to the northern side entrance (building permit, 1959 photograph, building plans)
- f. 2007: Disconnection of downspout from sanitary sewer (building permit)

- i. This may have been an interior alteration

### 3. Alterations completed after the building's construction which cannot be precisely dated

- a. Addition of lights to upper sections of tower, the southern and northern side entrances to the church's west elevation, and either side of the upper entrance to the northern nave wing (1959 photograph and visual evidence)
- b. Addition of lights to the south nave wing, the southern elevation of the eastern nave projection, the underside of the porch roof, the single-car garage, the underside of the covered walkway, and the four-car garage (visual evidence)
- c. Addition of pipes, electrical box, and conduit to the southern elevation of the eastern nave projection (visual evidence)
- d. Changes to the eastern façade of the four-car garage (visual evidence)
- e. The addition of a free-standing sign to the northeast corner of the church property (1959 photograph)
- f. Repointing on the western elevation of the single-car garage (visual evidence)
- g. Construction of lower arm of "F-shaped" walkway (visual evidence indicates that this projection may have been constructed or re-constructed after the walkway was built in 1932)
- h. Installation of composite asphalt shingles on the roofs of the church's porch and church's roof (building plans and visual evidence)
- i. The installation of full or partial infill panels (with and without mechanical equipment or vents) in at least eighteen windows (visual evidence)
- j. The removal of several panes from the tall windows on the north elevation of the tower's middle section (visual evidence)
- k. The infilling of the transept window on the basement level on the north elevation of the north nave wing; the transept window's panes are also shattered (visual evidence)
- l. The installation of an additional layer of glass and metal muntins on the large ocular window on the church's front elevation (1959 photograph)
- m. The replacement of the two northernmost, second-story windows on the eastern elevation of the southeastern wing, and the possible addition of two windows on the eastern elevation (building plans)
- n. The possible enlargement of the middle basement window in the eastern façade of the eastern nave projection (building plans)
- o. The replacement of original main entrance and side entrance doors on the western elevation of the nave, the original door on the north elevation of the north nave wing, the original door on the west elevation of the four-car garage, and the roll-up garage doors on the single and four-car garages (visual evidence suggests that the current doors are likely not original)
- p. The replacement of two doors in the enclosed projection which extends from the southern side nave wing to the enclosed walkway (visual evidence)



## Major Alterations: Moynihan Hall

### 1. Alterations completed during the period of significance

- a. 1963: Construction of 1963 addition on south elevation of original building (building permit)

### 2. Alterations completed after the period of significance

- a. Post-1963: Changes in vent openings on the rear of the 1963 addition (building plans)
- b. Post-1963: Replacement of a light fixture on the rear of the 1963 addition (building plans)
- c. 1980: Partial enclosure of four exterior windows (building permit)
- d. 1980: Miscellaneous alterations with an estimated cost of \$50,000 (building permit)
- e. 1980: Exterior stucco (building permit)
- f. 1981: Reroofing (building permit)
- g. 1999: Reroofing (building permit)
- h. Post-1999: Signs installed over entryway carvings on original building's north and east façades (1999 photographs and building permits)
- i. Post-1999: The replacement of six windows on the north elevation of the original building with black, aluminum windows (1999 photograph)
- j. Post-1999: The installation of black aluminum and glass front doors (1999 photograph)
- k. 2007: Replacement of redwood parking lot screen with concrete block screen (building permit indicates this most likely took place in 2007)
- l. 2012: Installation of a concrete ramp on the building's front elevation
- m. 2015: Replacement of lower-level windows on the rear elevation of the original building (building permit)
- n. 2015: Replacement of the school's roof (building permit)
  - i. The second layer of black coping on the building's roof was most likely installed at this time (1935 photograph, building plans, and visual evidence)

### 3. Alterations completed after the building's construction which cannot be precisely dated

- a. Installation of a free-standing sign at the corner of Pleasant Avenue and West 38<sup>th</sup> Street (building permit indicates it was refaced in 2014)
- b. Installation of infill panels over portions of original windows on north and east façades of original building (visual evidence and 1935 photograph)
- c. Installation of storm windows over original windows on north and east facades of original building (visual evidence and 1935 photograph)
- d. Replacement of glass panes on the tall window in the north elevation of original building and in transom windows of double doors on the north elevation (1999 photograph)
- e. Removal of downspout on eastern side of north entrance to original building (building plans)

- f. Removal of cross over rear entrance to original building (building plans)
- g. Removal of pipe railing at rear entrance to original building (building plans)
- h. Installation of lights and security cameras on north and east elevations of original building (visual evidence)
- i. Installation of mechanical equipment on 1963 addition, including the large conduit between the 1963 and original building sections on the east elevation (visual evidence)
- j. Installation of the small plaque on the eastern side of the north elevation stone entryway (1935 photograph)
- k. Installation of black handrails on the main entrance (1935 photograph)
- l. Replacement of portions of upper windows on rear façade with stucco-like infill panels (visual evidence and building plans)
- m. Installation of infill panel in upper window on south elevation of original building (building plans)
- n. Replacement of the double doors in the eastern bay of the original building's north elevation (visual evidence)
- o. Replacement of the single door on the rear elevation of the original building (visual evidence)
- p. Installation of a sign for Hiawatha Prep Academy over the double doors in the parking lot which face south (building plans)
- q. Painting or covering of transom windows over the double doors in the parking lot which face north (building plans)
- r. Painting of mural on north parking lot wall and painting of parking lot pillars (visual evidence and 1999 photograph)

# GUIDELINES FOR ALTERATIONS TO BUILDINGS AND DISTRICT SITE

## A. General Guidelines

1. The rectory, church, and Moynihan Hall buildings shall not be demolished.
2. All character-defining features shall be retained.
3. All historic materials or features shall be regularly maintained and repaired to minimize the need for their replacement.
4. Historic materials shall be preserved except when in demonstrated need of replacement or when they present a health hazard.
5. Missing character-defining features or character-defining features deteriorated beyond repair shall be replaced with like materials. Substitute materials may be used if the substitute materials are durable and imitate the appearance of historic materials.
6. Changes of use, or expansion of uses shall be accommodated through interior changes if possible.

## B. Massing, Height, and Orientation

1. All buildings shall maintain their historic orientations and shall not be moved.
2. The rectory building shall not exceed two and one-half stories in height. Non-historic additions to the rectory shall be governed by the guidelines outlined below in section J.
3. The removal of the shed-roofed addition to the north elevation of the rectory is recommended.
4. The rectory's front porch shall be retained.
5. The rectangular shape of the 1963 addition to Moynihan Hall shall be retained. All additions to this section shall be governed by the guidelines outlined below in section J.
6. The church shall retain all major building components of the original 1918 building, including its tower, nave, nave wings, transepts, apse, eastern nave projection, single-car garage, and southeastern wing.
7. The church's walkway and four-car garage may be removed. Although both structures were constructed during the district's period of significance, neither was designed by E. L. Masqueray. The four-car garage, with its flat roof and square door openings, is clearly a later addition to the church (1961) and does not convey the church's architectural style. The church's walkway, while it does contain some of the church's character-defining features, was added to the complex in 1932 and does relatively little to communicate the church's architectural significance. Non-historic additions to the church's building shall be governed by the guidelines provided in section J.

## C. Masonry

1. The guidelines outlined in *The Secretary of the Interior's Standards for the Treatment of Historic Properties* shall be used to maintain and repair the brick, brick veneer, and stone features of district buildings.
2. All decorative masonry features, including but not limited to the brick dentils and decorative brick coursing on the church; decorative rectory window lintels; and spiral brick designs, low-relief stone carvings, and stone tooling on Moynihan Hall, shall be retained. Exceptions may be made in the case of a non-historic addition. However, non-historic additions shall be constructed so as to minimize the amount of decorative masonry features that will need to be removed (see section J).
3. The church's arched wall recesses, arched vent openings, brick walls, brick columns, and stone belt courses shall be retained. Exceptions may be made in the case of a non-historic addition. However, non-historic additions shall be constructed so as to minimize the amount of recesses, openings, and brick features that will need to be removed (see section J).
4. The portions of Moynihan Hall's original building façade which consist of stone shall be retained. Any future alterations to the original building or the 1963 addition shall not inhibit the building from retaining a relatively smooth exterior façade.
5. The removal of the non-historic painting on the masonry of the north parking lot wall of Moynihan Hall is encouraged, as well as the paintings on the parking lot pillars of Moynihan Hall, since these features were unpainted during the district's period of significance.

## D. Window Replacement/Repair

1. Historic windows shall be preserved and repaired rather than replaced, unless it is determined that window materials have deteriorated beyond repair.
2. Any replacement windows shall be installed in the existing windows' rough openings.
3. Windows visible from the public right of way shall not be filled or obscured with any type of infill panel, including mechanical equipment. Infilling or covering any windows on district buildings is strongly discouraged.
4. Storm windows installed on any building in the district shall align with the stiles, rails, and muntins of historic windows, so as not to obscure their appearance.

### Rectory

5. New window openings shall not be cut into the west elevations of any section of the rectory. New window openings on other facades shall be considered when needed for new functions and when less visible from the public right of way.

6. Replacement windows shall match historic windows in size, division of lights, and operation. Acceptable materials for replacement windows shall include painted: wood, engineered wood, aluminum, and aluminum-clad wood.
7. The sidelights on either side of the rectory's main entrance shall be retained.

#### Church

8. New window openings shall not be cut into the north or west elevations of the church. New window openings on other facades shall be considered when needed for new functions and when less visible from the public right of way.
9. Replacement windows shall match historic windows in size, division of lights, and operation. Building plans for the church shall be consulted to determine the appearance and design of historic windows, including glass type. Acceptable materials for replacement windows shall include painted: wood, engineered wood, aluminum, and aluminum-clad wood.
10. The arched- shaped rough openings of windows on the church shall be retained. Exceptions may be made in the case of a non-historic addition. However, non-historic additions shall be constructed so as to minimize the amount of window openings that will need to be obscured (see section J).
11. The removal of the outer window from the large ocular window over the church's main entrance is permitted, but new ventilated protective glazing should be installed over this ocular window, using guidance found in Preservation Brief 33 and related National Park Service publications.
12. The replacement of mechanical equipment and infill panels in church window openings with windows which restore the appearance and materials of the original windows is encouraged. Building plans shall be consulted for information about historic window design, including glass type.
13. The replacement of the several window panes which are missing from the tall windows on the north elevation of the church tower's middle section is encouraged.
14. The replacement of broken panes on the basement transept window on the north elevation of the north nave wing is encouraged.

#### Moynihan Hall

15. New window openings shall not be cut into the north or east elevations of all portions of Moynihan Hall. New window openings on other facades shall be considered when needed for new functions and when less visible from the public right of way.
16. Replacement windows shall match historic windows in size, division of lights, and operation. Building plans for Moynihan Hall shall be consulted to determine the appearance and design of historic windows, including glass type.
17. The removal of infill panels which cover historic windows on the north and east elevations of Moynihan Hall is encouraged. It is also recommended that the infill panels

which have replaced historic windows on the west elevation of Moynihan Hall be removed, and that windows which match the appearance and materials of the original windows be installed in their place. Original building plans shall be consulted for information about historic window design, including glass type.

18. It is recommended that non-historic, partially-infilled windows installed on the lower level of the rear elevation of Moynihan Hall be replaced with windows true to original window design and building materials. Original building plans shall be consulted for information about historic window design, including glass type.
19. The strip windows on the east and west elevations of the 1963 addition to Moynihan Hall shall be retained.
20. Unpainted, anodized aluminum is the appropriate material for storm windows installed on the 1963 addition to Moynihan Hall, due to the building's historic unpainted anodized aluminum fenestration. For the remainder of the district, acceptable materials for replacement windows shall include painted: wood, engineered wood, aluminum, and aluminum-clad wood.

## **E. Door Replacement/Repair**

1. Historic doors shall be preserved and repaired rather than replaced, unless it is determined that door materials have deteriorated beyond repair.
2. Replacement of current doors, both historic and non-historic, shall match the appearance of the historic doors. Replacement with historic door materials is recommended, but replacement with substitute materials is acceptable, as long as they convey the visual appearance of the historic material. Original building plans shall be consulted for information regarding the design of historic doors on the church and Moynihan Hall.
3. No other door openings shall be cut into the west façade of the primary, side-gabled portion of the rectory building, nor shall the location of the main entrance on the rectory's west elevation be moved. No other door openings shall be cut into street sides of the church and Moynihan Hall. New door openings on other facades of district buildings shall be considered when needed for new functions and when less visible from the public right of way.
4. The arched door openings on the church building shall be retained.
5. While the doors to the church's four-car garage and single-car garage might be historic, they may be replaced with doors that complement the character of the building, since they are not visible from the public right of way.

## **F. Signs and Awnings**

1. If desired, awnings which restore the historic awnings over the dormers, windows, and front entryway on the rectory's west elevation may be installed.

2. The removal of wall signs on the north and east elevations of Moynihan Hall which obscure historic stone carvings is encouraged, since these signs were added after the period of significance.
3. Non-historic wall or roof signs installed on the church, rectory, or school shall not obscure any architectural detailing such as stone carvings, masonry designs created by unique brick coursing, or decorative frieze designs.
4. The free-standing sign in front of the rectory is most likely non-historic. For this reason, it may be removed or replaced with another sign compatible with the character of the building.
5. It is not clear whether the free-standing sign in front of the church dates from the period of significance. The sign was definitely constructed after 1959, decreasing the likelihood that it is a historic feature. For this reason, the sign may be removed or replaced with another sign compatible with the character of the church building.

## **G. Roofs**

1. The historic roof design of all buildings shall be maintained.
2. The church's historic, red shale tile (listed as "Ludowici Imperial closed and interlocking roof tile" in the church's building plans) shall be preserved, repaired when necessary, and replaced when deteriorated beyond repair. Building plans shall be consulted to determine locations where original tile was installed.
3. The church shall retain its gabled and parapeted wall dormers.
4. Replacement of the church's historic metal gutters is permitted if their simple, functional design is maintained. New or replacement gutters should be of metal and should have a painted finish. Copper gutters shall be allowed to age naturally. Vinyl gutters are not permitted.
5. Historic box gutters on the rectory should be preserved, and then repaired with matching materials when necessary. Replacement with substitute materials is acceptable, as long as they accurately convey the visual appearance of this historic feature.
6. Moynihan Hall shall retain its flat roof design, and the 1934/1935 building shall retain its stone coping. The removal of the metal coping on the original school building and restoration of the stone coping underneath is recommended. Alternatively, property owners are encouraged to install metal coping which matches the color of the stone coping.

## **H. Mechanical Systems**

1. New mechanical equipment shall be installed in accordance with *The Secretary of the Interior's Standards*.

2. The removal of non-historic mechanical equipment currently visible from the public right-of-way is recommended.

## **I. Ramps**

1. The concrete ramps on the front facades of Moynihan Hall and the church are non-historic features.
2. If the church's ramp is removed, the property owner is encouraged to restore the original window opening and window well obscured by the ramp, as well as the curved steps which originally led to the north side entrance.

## **J. New Additions to Existing Buildings**

1. Any non-historic additions shall be constructed in a manner where there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged or destroyed. In the case of a non-historic addition to the south of the church and north of the rectory, property owners shall be permitted to remove or obscure some character-defining features. However, this addition shall be designed so as to minimize the loss of such features.
2. New additions shall be designed in a manner that makes clear what is historic and what is new. In accordance with *The Secretary of the Interior's Standards*, additions shall be compatible, subordinate, reversible and inconspicuous with limited visibility from the public right-of-way.
3. No additions shall be added to the front (west) elevation of any portion of the rectory, nor shall any rectory additions exceed two and one-half stories in height.
4. No additions shall be added to the western or northern elevations of the church. The roof and wall heights of any additions shall not exceed the roof and wall heights of the church nave.
5. No additions to the church shall alter the tower or gabled and parapeted wall dormers.
6. The property owners of the church and rectory have indicated a desire to construct a two-story addition which connects the south elevation of the church and the north elevation of the rectory. This addition is permitted with the following conditions:
  - i. This addition shall not exceed the height of the rectory (two and one-half stories).
  - ii. The addition shall be set back from the church's western elevation by ideally two structural bays on the south nave wing, but, if programmatic needs require additional area, the addition may attach as far forward as one structural bay on the south nave wing.
  - iii. The addition shall not attach to the rectory's north elevation at any point that is ideally west of the third structural bay on the church's south nave wing, but, if



programmatic needs require additional area, the addition may attach as far forward as three feet east of the northwest corner of the building.

- iv. Addition materials shall be compatible with historic building materials on the rectory and church. Walls, other than the west side of an addition located between the church and rectory, shall be primarily constructed of masonry materials that can be identified as nonhistoric but are compatible with the character of the church and rectory. Walls on the west side of an addition located between the church and rectory may be constructed of masonry and/or glazing materials that can be identified as nonhistoric but are compatible with the character of the church and rectory.

7. Due to the low height of Moynihan Hall, rooftop additions are not permitted.

## **K. Accessory Structures**

1. New accessory structures, including but not limited to garages, sheds, and greenhouses shall be located on the rear portions of the district buildings' lots. The rear portion of the rectory and church lot is defined as that portion of the lot which is located to the east of the rectory building, and to the south of the church walkway. The rear portion of Moynihan Hall's lot is defined as that portion of the lot which is located to the west and south of the original 1934/1935 school building. Detached accessory structures shall not be subject to design guidelines but shall comply with applicable zoning ordinances. Accessory structures in compliance with these standards shall be approved through the Certificate of No Change process.
2. The black metal fence on the rear of the rectory's property is non-historic. It may be removed or replaced with another fence that is compatible with the character of the building.
3. It is not clear whether the wooden fence near the southern edge of the rectory's property is historic. It may be removed or replaced with another fence that is compatible with the character of the building.
4. The small parking lot to the east of the rectory is non-historic; thus, other materials besides gravel may be used to cover its surface.
5. The wooden fence and chain link fence on the southern edge of the Moynihan Hall lot are considered non-historic. They may be removed or replaced with any fence that is compatible with the character of the building and does not obscure the view of the school from the public right-of-way.
6. The concrete-block parking lot screen on the rear elevation of Moynihan Hall is non-historic. Replacement parking lot screens shall be composed of materials compatible with the character of the building.
7. The flagpole in the northeast corner of the Moynihan Hall lot is historic and shall be preserved. The free-standing sign next to the flagpole is most likely non-historic and may be removed.

# FIGURES



FIGURE 1. CHURCH OF THE INCARNATION HISTORIC DISTRICT, AERIAL PERSPECTIVE (TOP = NORTH)  
APRIL 1, 2015, CONNECTEXPLORER AERIAL IMAGE DATABASE.

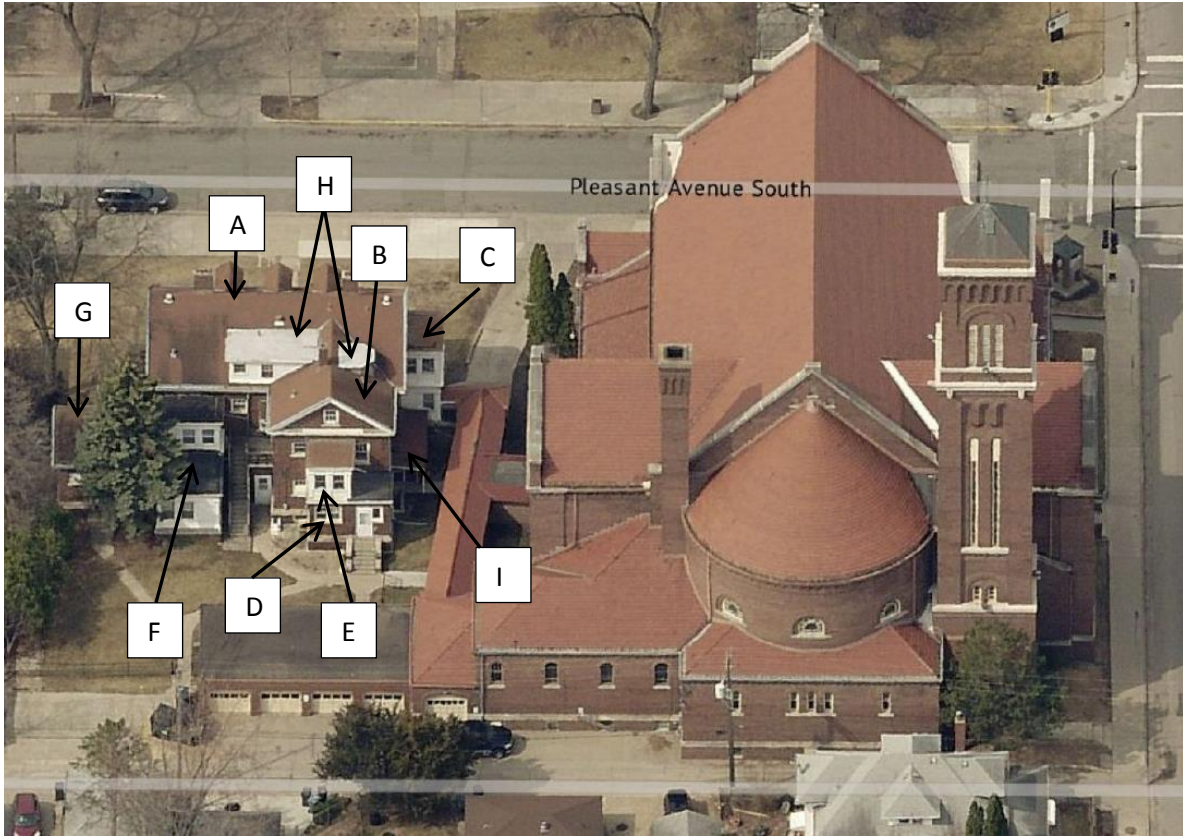


FIGURE 2. RECTORY AND CHURCH, EASTERN ELEVATION, APRIL 1, 2015, CONNECTEXPLORER AERIAL IMAGE DATABASE (LETTERS ADDED).



FIGURE 3. MOYNIHAN HALL, EASTERN ELEVATION, APRIL 1, 2015, CONNECTEXPLORER AERIAL IMAGE DATABASE.