

CITY PLANNING COMMISSION

2025 ANNUAL REPORT

2025 TOTALS

In 2025, the Minneapolis City Planning Commission (CPC) reviewed a total of 73 projects, nearly level with the number of projects reviewed in 2024 (72). The largest volume of individual applications were reviewed during quarter one (48 applications) (**Figure 1**).

The overall land use application volume of 133 is nearly level with the 2024 total of 131 (**Figure 2**). The total does not include the five comprehensive plan amendments (see page 11) and five text amendments (see page 12) and that were reviewed by the CPC.

Ward 5 was the geographic area with the most land use applications in 2025. See page 2 and click [here](#) for an interactive map showing the location of all CPC-reviewed projects.

The CPC reviewed 17 major projects in 2025 (pages 7 through 10) up from 12 in 2024.

Figure 1. Application Totals By Quarter

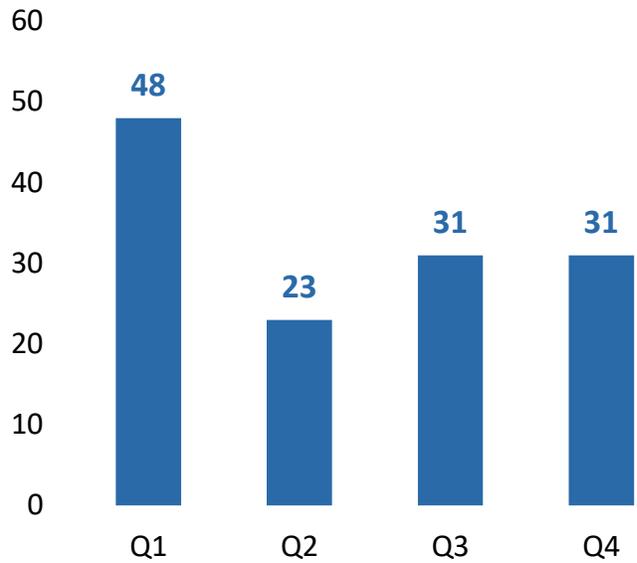
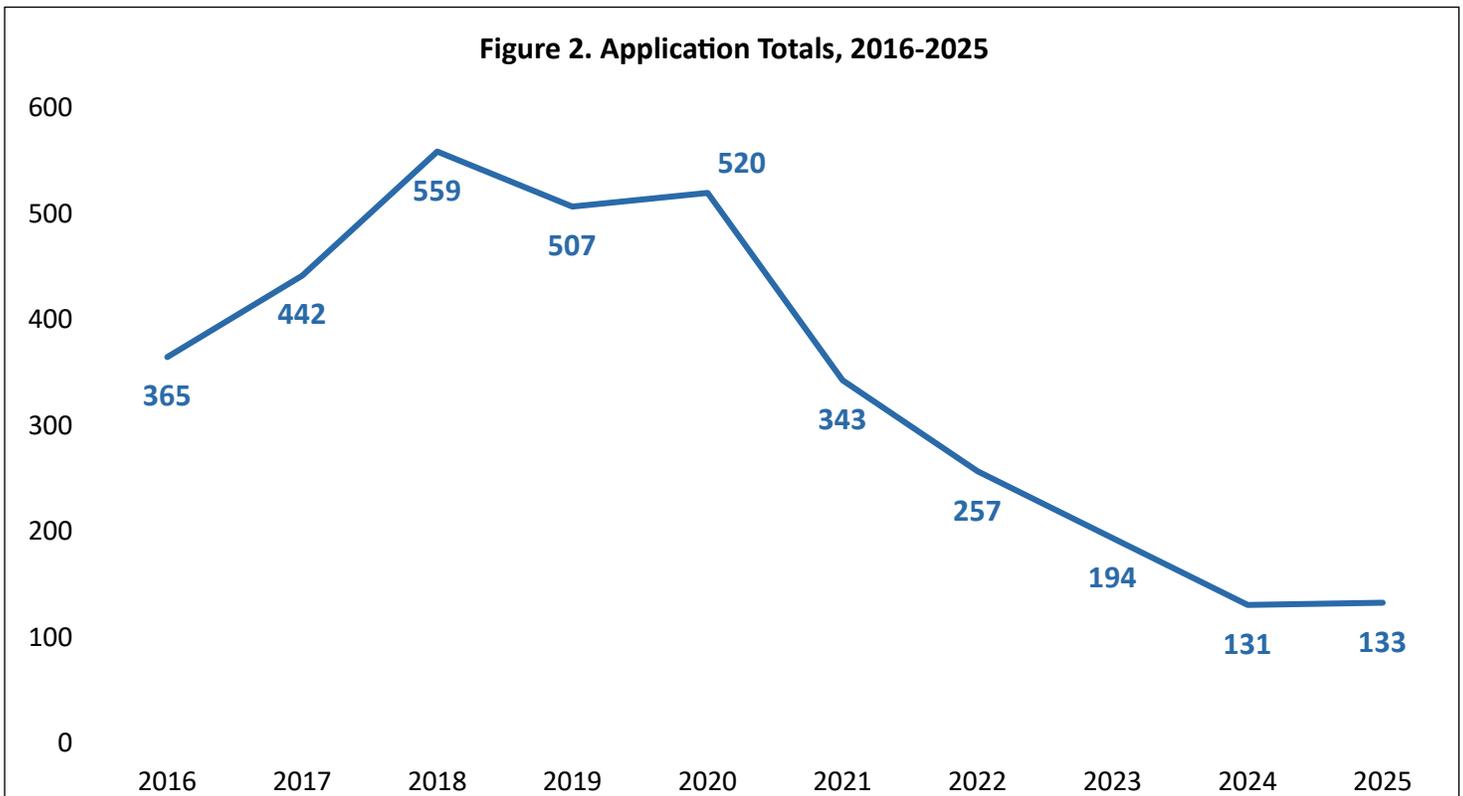


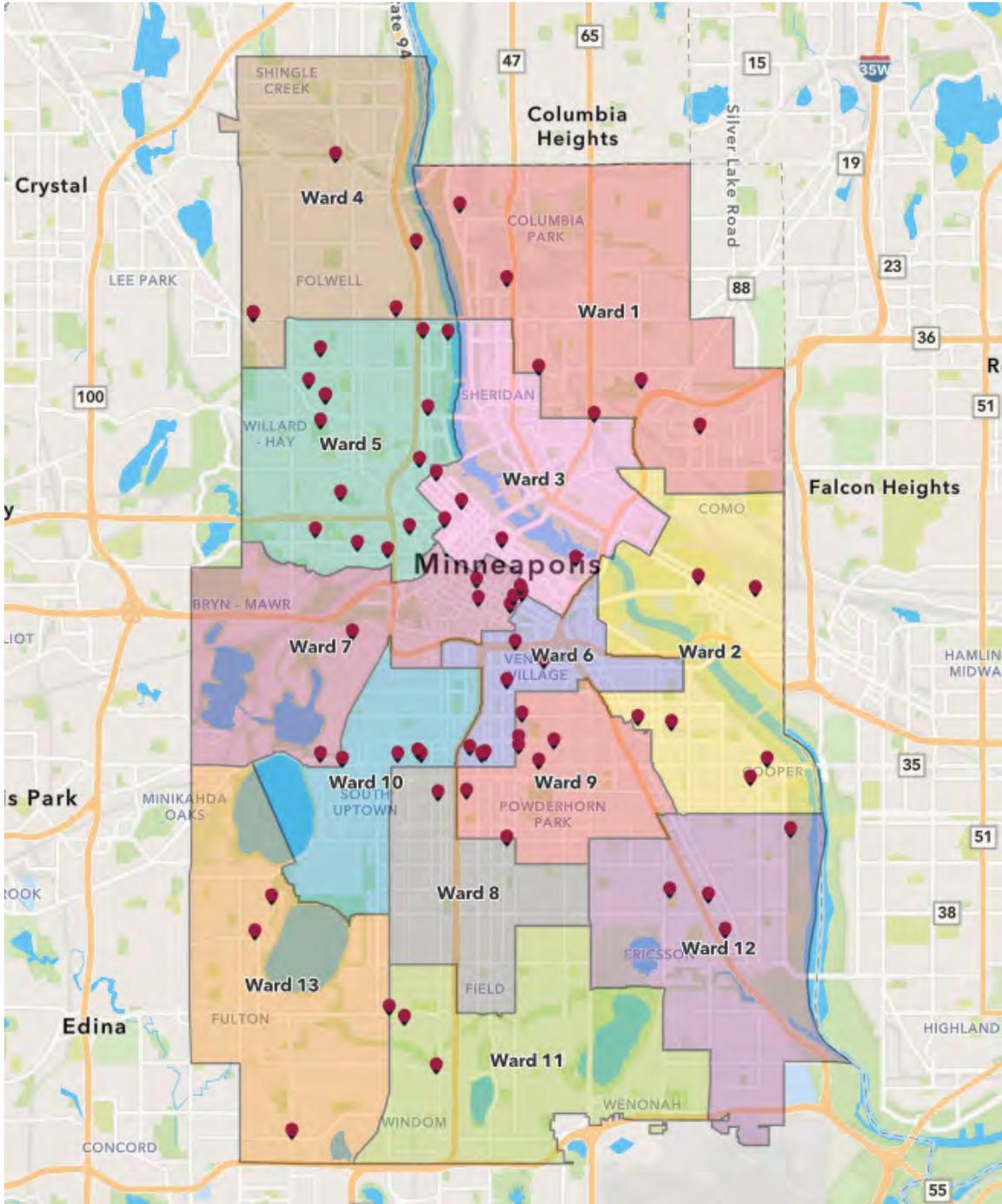
Figure 2. Application Totals, 2016-2025



MAP

Figure 3 shows the location of all projects reviewed by the CPC in 2025. Click [here](#) for the interactive map.

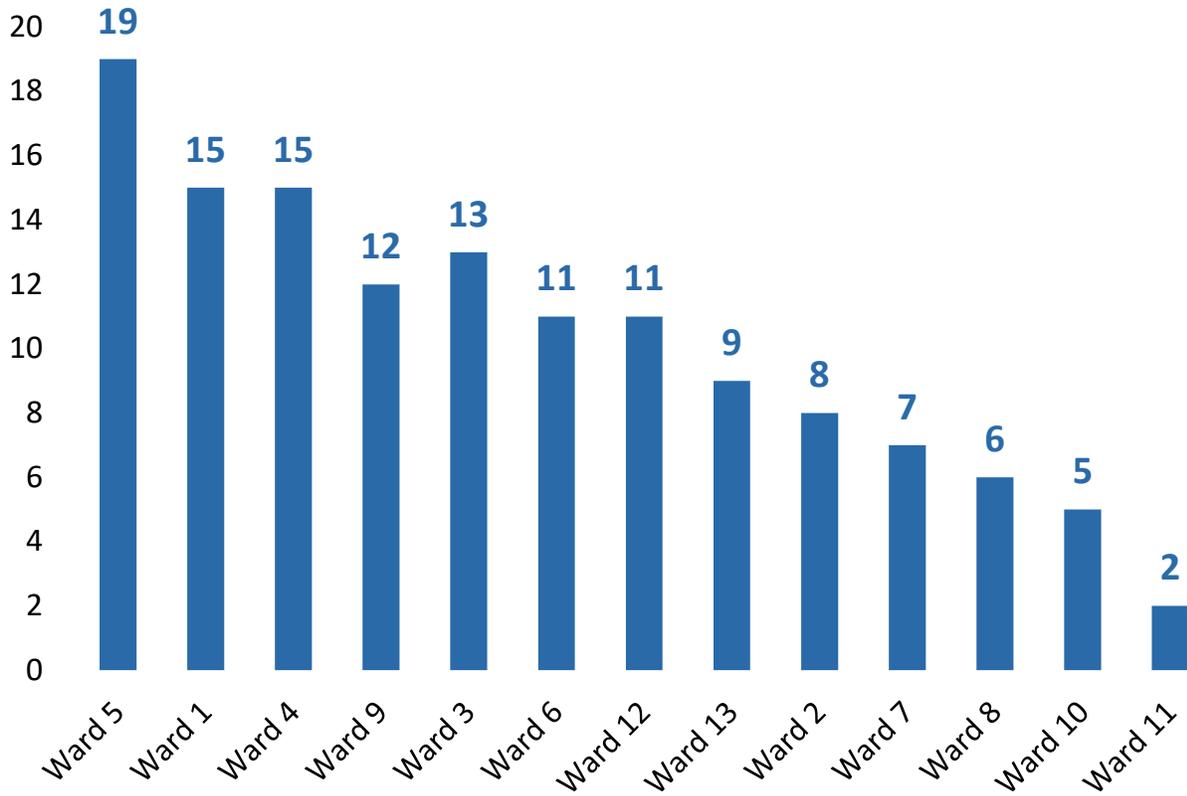
Figure 3. 2025 City Planning Commission Projects



GEOGRAPHIC DISTRIBUTION

Ward 5 had the most land use applications in 2025 (19 total, or 14 percent), as shown in **Figure 4**. In 2024, Ward 1 had the most land use applications (28 total, or 20 percent).

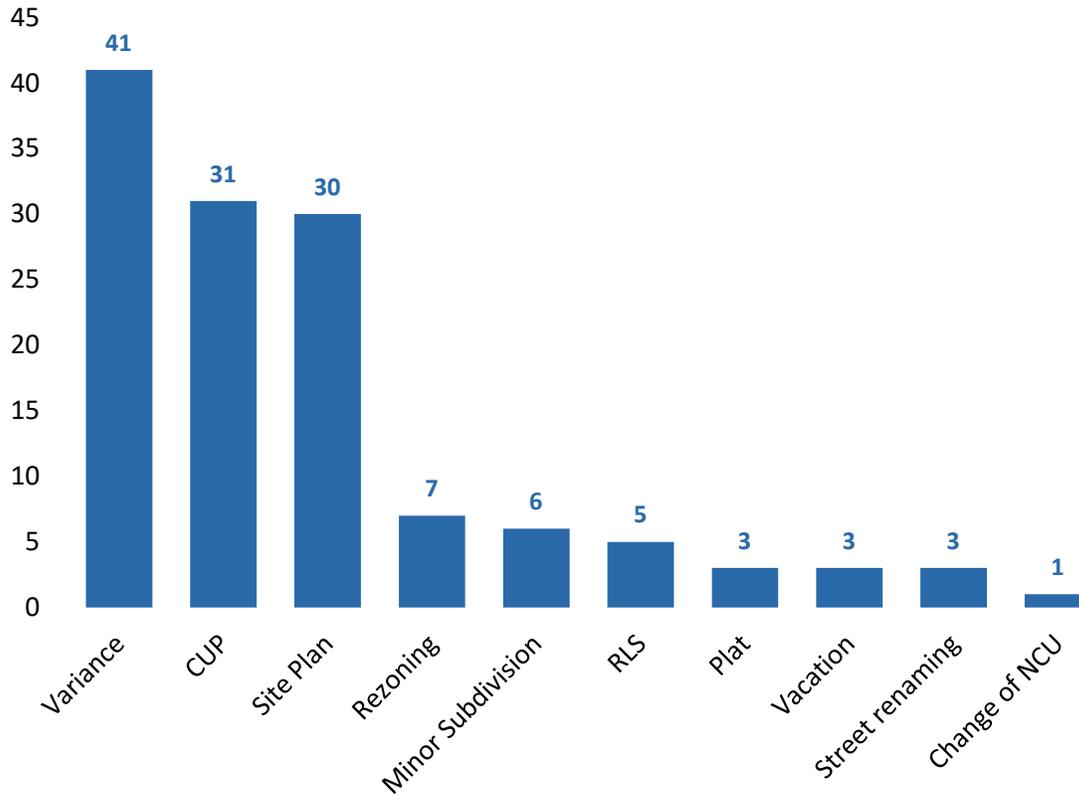
Figure 4. Application Totals By Ward



APPLICATION VOLUME

Of the 133 applications reviewed, 43 applications (32%) were variances (**Figure 5**). The CPC also reviewed 30 site plans and 32 conditional use permits. Rezoning petitions were up from four (4) in 2024 to seven (7) in 2025, compared to 20 in 2023.

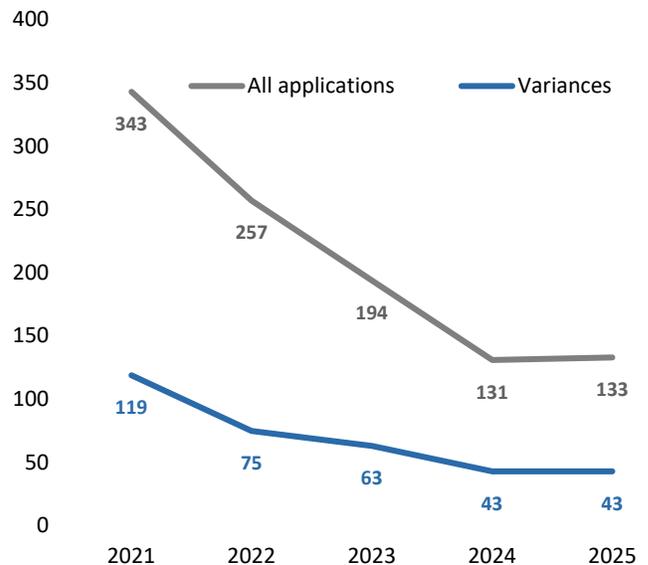
Figure 5. Application Totals By Type



VARIANCE TRENDS

The number and proportion of variances that have been reviewed by the CPC per year have decreased since 2020. The effective date of the built form regulations of Minneapolis 2040 was January 1, 2021. This amendment established new overlay districts for each parcel in the city and revised regulations related to building height, floor area ratio, yards, lot coverage, impervious surfaces, and lot sizes to provide more predictable outcomes for future development. In addition, the amendment altered the types of applications that would be required to increase height and/or floor area ratio, for example. The reduction in application and variance total totals in 2021 and 2022, compared to 2020, likely reflect key aspects of the built form regulations' implementation (see **Figure 6**). Approximately 32 percent of all applications reviewed by the CPC in 2025 were variances, which is consistent with the proportion of variance applications over the previous four years following the adoption of built form regulations.

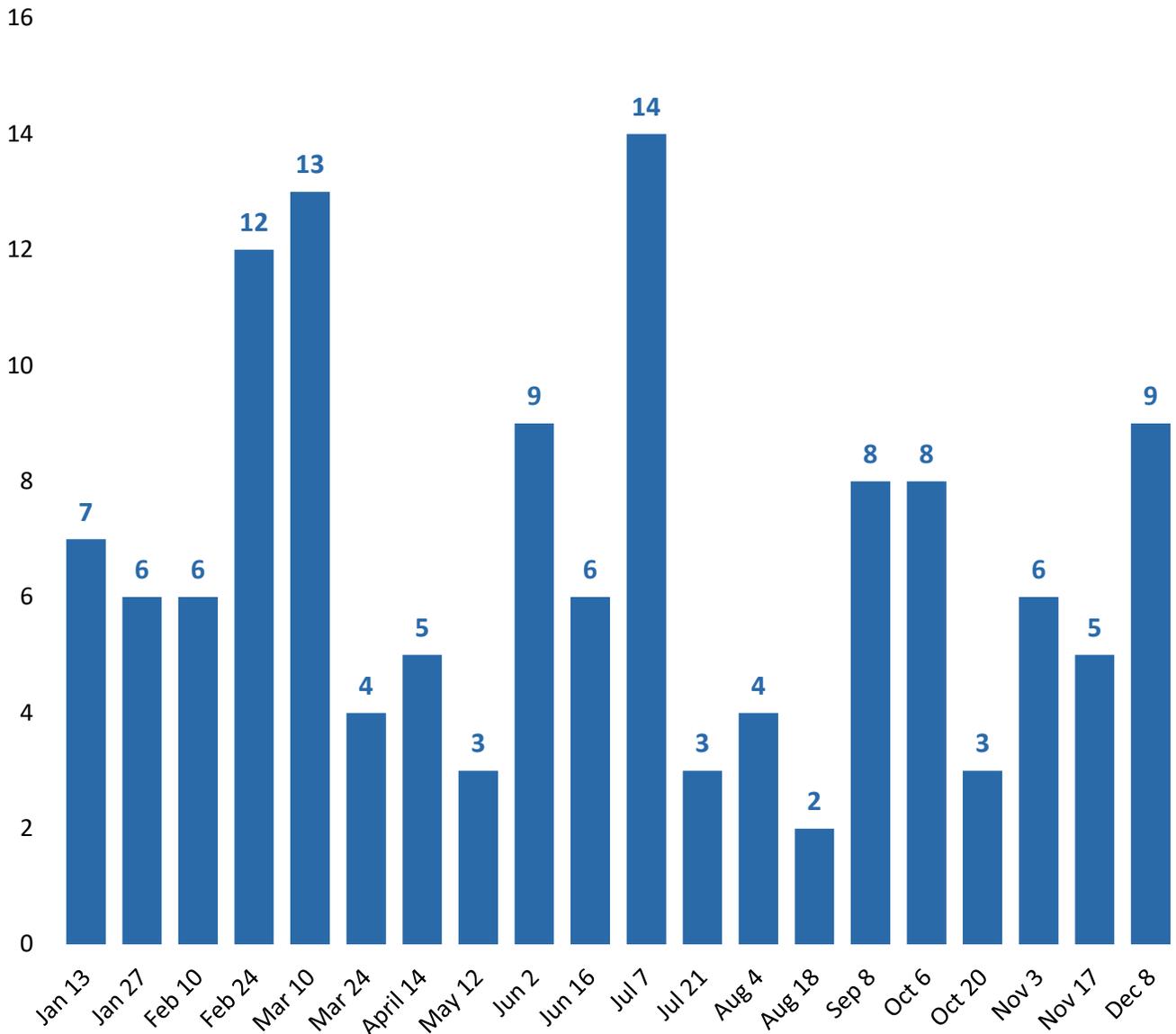
Figure 6. Application Totals By Type, 5-Year Trend



APPLICATION TOTALS BY CPC HEARING DATE

Figure 7 shows the volume of acted-upon applications, not including text amendments and comprehensive plan amendments, at each CPC meeting in 2025. Past meeting agendas and actions can be found on [the City’s Boards and Commissions web page](#).

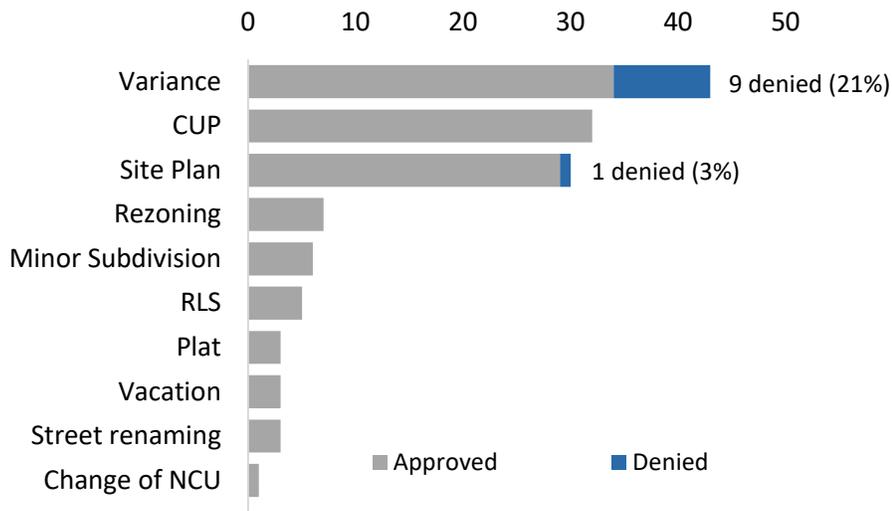
Figure 7. Application Totals By CPC Hearing Date



APPROVALS AND DENIALS

The CPC approved or recommended approval for all but ten (10) land use applications out of 133, or eight percent (8%) overall (**Figure 8**). This is an increase in the proportion of denied applications at the CPC during 2024.

Figure 8. Approvals and Denials



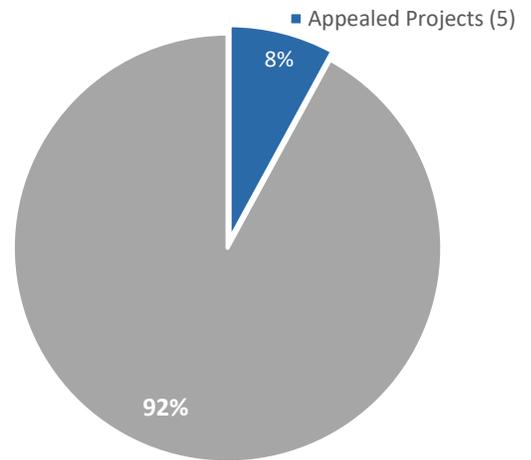
APPEALS

Of the 72 projects reviewed by the CPC in 2025, 63 could have been appealed; standalone rezonings, comprehensive plan amendments, street renamings, and vacations are reviewed by the City Planning Commission, but ultimately decided upon by the City Council. A total of five projects (8 percent) included one or more appeal, while the City Planning Commission made the final decision for 58 projects (92 percent) (**Figure 9**).

The three projects that were appealed are as follows:

- **3003 Hennepin, 1340 W 31st St, 3045 Hennepin Ave, 1305 W Lake St, and 1330 W 31st St.** Appeal denied, CPC decision to approve the conditional use permit and site plan review for a 228-unit residential development was upheld (PLAN19737, File [2025-00879](#)).
- **3601 and 3701 Washington Ave N.** Appeal granted, CPC decision to deny the EV charging station variance was overturned (PLAN19711, File [2025-00824](#)).
- **1302 Douglas Ave, 1716 Fremont Ave S.** Appeal denied, CPC decision to deny a variance and site plan review for a 2.5-story multiple-family dwelling with eight dwelling units was upheld (PLAN18994, File [2025-00292](#)).
- **411 Washington Ave N (241 5th Ave N).** Appeal denied, CPC decision to deny a sign variance was upheld (PLAN19007, File [2025-00237](#)).
- **4109 and 4113 Sheridan Ave S.** Appeal denied, CPC decision to approve the conditional use permit and site plan review for a new, four-story residential building with 13 dwelling units was upheld (PLAN20252, File [2025-01291](#)).

Figure 9. Appealed Projects



MAJOR PROJECTS

A major project is any development resulting in ten or more dwelling units and/or at least 10,000 square feet of new or additional non-residential floor area. In 2025, the CPC reviewed 17 major projects (**Figure 10** on pages 7 through 10), up from 12 in 2024. Staff notes that there were four major projects approved administratively in 2025 totalling 315 dwelling units. Some notable trends in the CPC-reviewed 2025 major projects included:

- 830 dwelling units, up from 162 new dwelling units in 2024.
- 318,854 square feet of office (one project: The Mix at 2218 University Ave), up from 38,700 square feet in 2024.
- 149,270 square feet of commercial square feet, up from 83,040 square feet in 2024.
- 71,522 square feet of production/industrial space in 2025, compared to zero in 2024.
- Zero new hotel rooms have been approved as part of a major project since 2019, when there were four hotels (494 hotel rooms) approved.

The following project types were approved by the CPC as new buildings, additions, or conversions:

- 8 standalone residential developments
- 3 mixed-use residential and commercial projects
- 2 planned unit developments
- 2 commercial buildings or additions
- 1 public safety and welfare use
- 1 parks and recreation center
- 2 school additions

Please note that not all projects were approved by the City, and not all approved projects have received building permits. Therefore, this data does not accurately indicate which projects will be constructed, nor does it represent the overall number of development projects reviewed by the City of Minneapolis or by the City Planning Commission.



The Mix, 2218 University Ave



14th Ave Townhomes, 2833 14th Ave S



Roosevelt High School Career and Technical Education Center, 4029 28th Ave S



Exodus Apartments, 819 2nd Ave S

Figure 10. Major Projects

CPC Date	Major Project Name	PLAN#	Ward	Address	Description
2/10/2025	14th Ave Townhomes	PLAN18954	9	2833, 2837, 2839 14th Ave S	New three-story multiple-family dwelling containing 10 dwelling units
2/24/2025	Exodus Apartments	PLAN19012	7	819 2nd Ave S	An eight-story addition to an existing building containing 72 dwelling units.
3/10/2025	Hennepin Healthcare Ramp	PLAN18695	6	920 Centennial Place	New, six-story, 1,046-space parking garage with 10,220 square feet of ground level commercial space
3/10/2025	Snelling Yards Apartments	PLAN19042	12	3605 44th Street East	An amended planned unit development including construction of a four-story residential building with 95 dwelling units
3/10/2025	44th St Apartments	PLAN19089	13	2815, 2817, 2821 44th St W	New four-story, 15-unit residential building
4/14/2025	The Curve Northeast	PLAN19019	1	1501 Johnson St NE	New two-story commercial building containing 36,173 square feet of commercial space
4/14/2025	North Commons Park Phase 1 Improvements	PLAN19166	5	1801 James Ave N	Addition to the existing park recreation center containing 41,500 square feet of gross floor area



Hennepin Healthcare Ramp, 920 Centennial Place



44th St Apartments, 2815-2821 44th St W



Snelling Yards Apartments, 3605 44th Street East



The LOMA, 3246 Nicollet Ave



The Curve Northeast, 1501 Johnson St NE

CPC Date	Major Project Name	PLAN#	Ward	Address	Description
6/2/2025	The Warren Apartments	PLAN19438	4	3120 Washburn Ave N	New six-story residential building containing 60 dwelling units
7/21/2025	3246 Nicollet Ave	PLAN19629	8	3246 Nicollet Ave	New seven-story mixed-use building containing 62 dwelling units and approximately 4,500 square feet of commercial space
7/21/2025	Seven Points Redevelopment	PLAN19737	10	3003 Hennepin Ave	New residential development as part of an existing PUD containing 228 dwelling units
8/4/2025	Tyler Apartments	PLAN19803	3	734-800 Tyler St NE	New four-story residential building containing 34 dwelling units
9/8/2025	South Minneapolis Community Safety Center	PLAN19947	2	2633 Minnehaha Ave	New Public Safety and Welfare use containing 79,170 square feet of gross floor area



North Commons Park Phase 1 Improvements, 1801 James Ave N



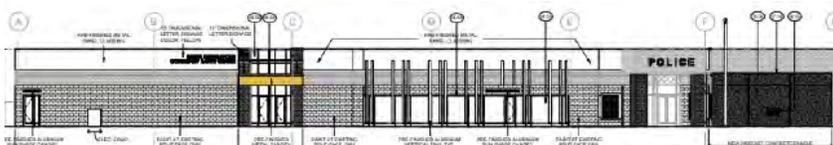
The Warren Apartment Building, 3120 Washburn Ave N



Seven Points Redevelopment, 3003 Hennepin Ave



Tyler Apartments, 734-700 Tyler St NE



South Minneapolis Community Safety Center, 2633 Minnehaha Ave

CPC Date	Major Project Name	PLAN#	Ward	Address	Description
9/8/2025	Hope Academy Chapel Addition	PLAN19976	6	710 E 24th St	Addition to the existing school building containing 11,000 square feet of gross floor area
10/6/2025	The Mix	PLAN19982	2	2218 University Ave SE	New 10-story office building with 18,500 square feet of commercial space
11/3/2025	250 Fremont Ave N	PLAN20350	5	250 Fremont Ave N	New mixed-use building with 241 dwelling units and 2,129 square feet of commercial space
11/3/2025	4109 and 4113 Sheridan Ave S	PLAN20252	13	4109 and 4113 Sheridan Ave S	New four-story residential building containing 13 dwelling units
12/8/2025	Roosevelt High School Career and Technical Education Center	PLAN20507	12	4029 28th Ave S	An addition to an existing school containing 17,600 square feet of gross floor area



Hope Academy Chapel Addition, 710 E 24th St



4109 Sheridan Ave S



250 Fremont Ave N

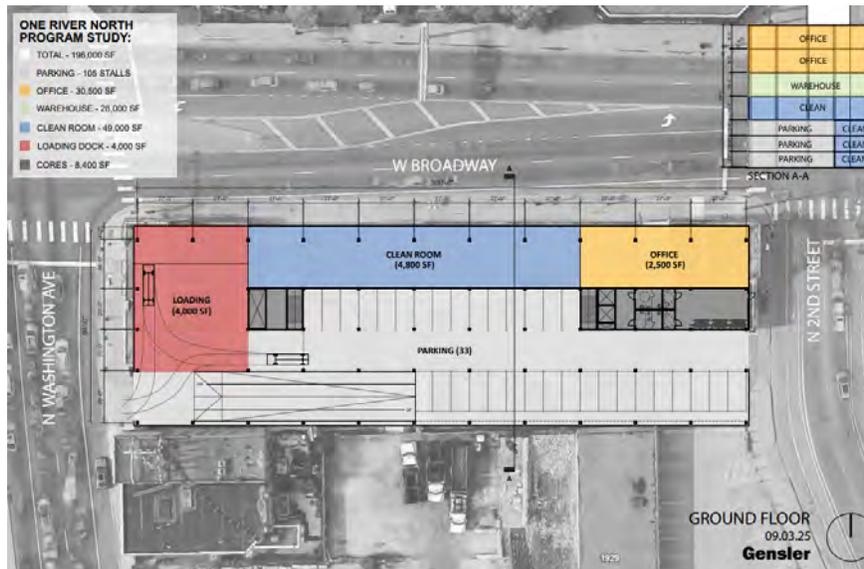
COMPREHENSIVE PLAN UPDATES

In 2025, the City Planning Commission reviewed and approved five updates to the comprehensive plan, *Minneapolis 2040*, compared to three in 2024.

- **The Curve Nordeast, 1501 Johnson St NE.** The built form guidance was amended from Transit 10 to Corridor 4 (PLAN19019, LIMS file [2025-00476](#)).
- **1119 E Lake St, 3010-3020 12th Ave S.** The future land use was amended from Urban Neighborhood to Corridor Mixed Use, and the built form guidance was amended from Interior 3 to Corridor 6 (PLAN19241, LIMS file [2025-00499](#)).
- **Zoning map corrections.** The future land use and built form guidance maps were amended to correct zoning map errors and inconsistencies (LIMS file [2025-00492](#)).
- **Minimum height flexibility.** The built form district guidance was amended to establish flexibility for minimum building heights in the Transit 15, Transit 20, and Transit 30 built form districts (LIMS file [2025-00922](#)).
- **RiverNorth Phase 1, 201-229 W Broadway Ave.** The future land use guidance was amended from Corridor Mixed-Use to Production Mixed-Use (PLAN20258, LIMS file [2025-01189](#)).



1119 E Lake St



RiverNorth Phase 1

ZONING CODE TEXT AMENDMENTS

The City Planning Commission reviewed and recommended approval of five zoning code text amendments in 2025.

Outdoor food lockers

The intent of this amendment was to implement policy guidance in Minneapolis 2040 related to food access by allowing for outdoor food lockers associated with community provisions facilities. The amendment added standards for food lockers under the enclosed building requirements.

(CPC February 24, 2025, LIMS file [2024-00950](#))

Zoning Code Corrections (Housekeeping)

This amendment improved the accuracy of the City’s zoning code by correcting typographical and other errors and by providing clarity where existing provisions are vague, have been misinterpreted, or are not implementing policy as intended. Other changes made the code easier to read and understand, including reformatting or rearranging code sections.

(CPC date: April 14, 2025, LIMS file: [2025-00221](#))

Zoning Maps Corrections

With adoption of Minneapolis 2040 (2020), the Built Form Overlay districts (2021), and the Land Use Rezoning Study (2023), every parcel in the city was designated with new policy direction and new zoning districts. Due to the constantly evolving nature of the built environment in the city, several categories of policy and zoning map conflicts arose as these new districts were implemented. The purpose of this amendment was to address those unique situations and remedy conflicts and errors made in creating these maps to more accurately reflect already adopted policy intentions.

(CPC date: April 14, 2025, LIMS file: [2025-00220](#))

Minimum Height Flexibility

This amendment established flexibility for minimum building height requirements in the Transit 15, Transit 20, and Transit 30 built form districts, and for certain uses, to further promote the City’s comprehensive plan goals. The final amendment established two new built form overlay districts, Transit 30A and Transit 30B, to differentiate between the 10-story minimum and a lower six-story minimum.

(CPC date: August 4, 2025, LIMS file: [2025-00222](#))

Signs

The purpose of the sign code amendment was to allow increased flexibility for signs downtown to promote vibrancy and increase visibility for downtown and local businesses. The amendment included large and small changes to the zoning ordinance that apply both downtown and citywide, addressed the billboard sign credit system, and streamlined permitting processes.

(CPC date: November 3, 2025, LIMS file: [2025-00744](#))



“Speaking of Home” by Nancy Ann Coyne. Photograph by Peter Von De Linde

PLANNING COMMISSION ROSTER

The Minneapolis City Planning Commission consists of ten persons, including City Council and mayoral appointments, and representatives from the School Board, Park Board, Hennepin County, and the City Council. The Planning Commission formally meets twice per month. CPED thanks the members of the Minneapolis City Planning Commission for their service in 2025.

Christopher Meyer, President	Meg Forney (MPRB)
Bill Baxley, Vice President	Lucie Skjefte (MPS)
Tom Wagner, Secretary	Alyssa Olson
CM Aurin Chowdhury	Kellie Jones
Commissioner Angela Conley	Michael Gordon
Becka Thompson (MPRB)	David Sheppard



Credit: Greg Lundgren, Meet Minneapolis

COMMUNITY PLANNING & ECONOMIC DEVELOPMENT (CPED)

The Minneapolis City Planning Commission is staffed by the Department of Community Planning and Economic Development (CPED) Planning Division.

CPED EXECUTIVE DIRECTOR

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PLANNING DIVISION DIRECTOR

Meg McMahan, Director & Zoning Administrator

CITY ATTORNEY

Joel Fussy, Assistant City Attorney

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Stuart Roberson, Zoning Inspector II
Skip Levandowski, Zoning Inspector II
Kesha Campagna, Cannabis Compliance Coordinator

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Sarah Milnar, Manager
Michael Peterson, Economic Research Analyst
Garrett Bing, Business Data Analyst
Joey Dobson, Housing & Equitable Development Policy Coordinator
Wesley Durham, Senior Planner

CPED's Mission: To grow a vibrant, livable, safely built city for everyone.

CPED's Vision: A driving force for innovation, collaboration and sustainability by providing thoughtful design and access to the tools and resources needed for all Minneapolis residents and businesses to prosper.