

HERITAGE PRESERVATION APPLICATION SUMMARY

Property Location: 2815 and 2819 Johnson Street NE
Project Name: Hollywood Theater
Prepared By: Lisa Steiner, Senior City Planner, (612) 673-3950
Applicant: Preservation Design Works
Project Contact: Casie Radford
Ward: I
Neighborhood: Audubon
Request: To allow a reception/meeting hall use in the CI Neighborhood Commercial District.

Required Applications:

Historic Variance	To allow a reception/meeting hall use in the CI District.
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HISTORIC PROPERTY INFORMATION

Current Name	Hollywood Theater
Historic Name	Hollywood Theater
Historic Address	2815 Johnson Street NE
Original Construction Date	1935
Original Architect	Liebenberg and Kaplan
Original Builder	Unknown
Original Engineer	Unknown
Historic Use	Theater
Current Use	Vacant
Proposed Use	Event center (reception/meeting hall)

Date Application Deemed Complete	August 23, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	October 22, 2016	End of 120-Day Decision Period	Not applicable

CLASSIFICATION

Local Historic District	N/A
Period of Significance	1920-1939
Criteria of Significance	Architecture, Master Architects, and Social History
Date of Local Designation	1990
Date of National Register Listing	2014
Applicable Design Guidelines	<i>Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater</i> <i>Neighborhood Movie Theater Thematic District Guidelines for Rehabilitation</i> <i>Secretary of Interior Standards for Treatment of Historic Properties</i>

SUMMARY

BACKGROUND. The Hollywood Theater, designed by architects Liebenberg and Kaplan, opened at 2815 Johnson Street NE in 1935, along an old streetcar line. The movie theater is a noteworthy example of the Streamline Moderne style. It was built during the peak of the Art Deco period, and with a budget that allowed for generous use of decorative elements. The Hollywood Theater is an excellent example of the Deco style and the trend to small, yet elegant, neighborhood theaters. Liebenberg and Kaplan, famous for their Minneapolis theater designs, used a coordinated color scheme and intricate detailing to design the Hollywood. All public interior spaces are designated for their zig-zag Deco style with streamline accents. The exterior, with the exception of the marquee, is designated. The Hollywood Theater, aside from its masterful depiction of Art Deco architecture, is significant as a remnant of a pattern of theater/entertainment growth that took place in the United States between 1920 and 1939.

The Hollywood operated as a movie theater from its opening in 1935 until it closed in 1987. The property has been vacant since 1987. The same year that the theater closed, a designation study was commenced to protect the structure from demolition. In 1990, the Hollywood Theater was designated as a local landmark. The nomination cites the significance of the theater’s architecture, the master architects who designed it, and its social history. Both the exterior and interior are designated, except for the marquee (which was replaced in 1948) and some of the non-public interior spaces. In 2014, the Hollywood Theater was listed in the National Register of Historic Places.

In 1991, the Heritage Preservation Commission adopted a document entitled *Neighborhood Movie Theater Thematic District - Guidelines for Rehabilitation*, which was adopted for the Hollywood Theater and four other theaters in 1991 (also the Loring, Granada, Avalon and Uptown), which are considered the defining parameters of the Neighborhood Movie Theater Thematic District. This framework provides guidance for the treatment of significant features of the Hollywood and is divided into exterior and interior features. The majority of the document is a copy of the *Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*.

In 1993, the City of Minneapolis purchased the building and pursued several unsuccessful attempts at redevelopment. In November of 2008, the City of Minneapolis acquired the property adjacent to the theater, 2819 Johnson Street NE, and cleared the site to support redevelopment of the theater by potentially providing off-street parking, service access, or space for related development.

In 2009, the HPC adopted the *Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater*. The purpose of this document is to provide clarity on the treatment of the theater and its specific features that contribute to the historical significance of the structure. The document is to be used as a supplement to the aforementioned *Neighborhood Movie Theater Thematic District Guidelines for Rehabilitation*.

In May of 2014, the City approved the sale of the Hollywood Theater property to Out of the Past Redevelopment, LLC, an entity controlled by Andrew Volna, and authorized City officials to enter into a Redevelopment Contract. In June of 2014, the City executed a Redevelopment Contract for the transfer of the property. The Redevelopment Contract obligates the developer to make certain improvements that will stabilize and preserve the building.

In June of 2015, a Certificate of Appropriateness was approved for exterior and interior modifications to the Hollywood Theater to rehabilitate the building for use as an office. Building permits have been issued for selective interior demolition, stabilization, and exterior rehabilitation.

APPLICANT’S PROPOSAL. The applicant is now proposing to utilize the building as an event center rather than an office. Event centers are classified as a “reception/meeting hall” use in the Zoning Code. This property is located within the CI Neighborhood Commercial District, where a reception/meeting hall use is not allowed. A historic variance to allow a reception/meeting hall in the CI District is requested.

Reception/meeting halls are subject to a minimum parking requirement of 30 percent of the capacity of persons. The applicant has provided information indicating that the occupant load of the building would be 414 persons. This would require 124 parking spaces. Per Section 531.430, the minimum parking requirement for designated landmarks is only 75 percent of the typical requirement. This reduces the parking requirement for the proposed reception/meeting hall to 93 spaces. Because the building was built prior to the adoption of the 1963 Zoning Code, additional parking exceeding that of the former use is only required when the new use has a higher parking requirement than the former use. The parking requirement of the former theater use would have been 125 spaces. The current requirement for the proposed reception/meeting hall is 93 spaces. Therefore, the use is not intensifying and no additional parking is required.

RELATED APPROVALS.

Planning Case #	Application	Description	Action
BZH-28673	Certificate of Appropriateness	To allow for exterior and interior modifications to the Hollywood Theater for an office use.	Approved on <u>June 9, 2015</u>

PUBLIC COMMENTS. No comments had been received as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

ANALYSIS

HISTORIC VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to allow a reception/meeting hall in the CI District based on the following findings:

1. *The variance is compatible with the preservation of the property and with other properties in the area.*

Granting the historic variance will allow the building to be put back into use after being vacant for almost thirty years. The use of the building as a reception/meeting hall will not change the interior and exterior modifications necessary for the rehabilitation that was approved in 2015. These modifications were found to be consistent with the designation of the landmark, the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, and the continued integrity of the building. The proposed use will not prevent the property from conveying the originally intended function and use of the structure as a theater.

The property is located within a Neighborhood Commercial Node with several commercial uses located on Johnson Street NE. Across the alley to the east are primarily single-family residences. The use will also need to comply with all business license operating requirements. The proposed use would be compatible with the surrounding uses.

2. *The variance is necessary to alleviate practical difficulties due to special conditions or circumstances unique to the property and not created by the applicant.*

The variance is necessary to alleviate practical difficulties in adaptively reusing this historic property. The first zoning district where a reception/meeting hall is allowed is the C2 Neighborhood Corridor Commercial District. Rezoning this property to allow the proposed use would not be consistent with the adopted policies of the comprehensive plan as it is not near designated land use features such as a commercial corridor or activity center that would support C2 zoning.

The existing zoning district would allow the existing structure to be used for a variety of residential and nonresidential uses. Although the existing zoning would allow other uses, the use of the theater as a reception/meeting hall would require fewer interior alterations than other allowed commercial uses. The variance is necessary to alleviate these practical difficulties due to the unique circumstances of the property, which were not created by the applicant.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt staff findings for the application by Preservation Design Works for the properties located at 2815-2819 Johnson Street Northeast, the Hollywood Theater:

A. Historic Variance.

Recommended motion: **Approve** the historic variance to allow a reception/meeting hall in the CI District.

ATTACHMENTS

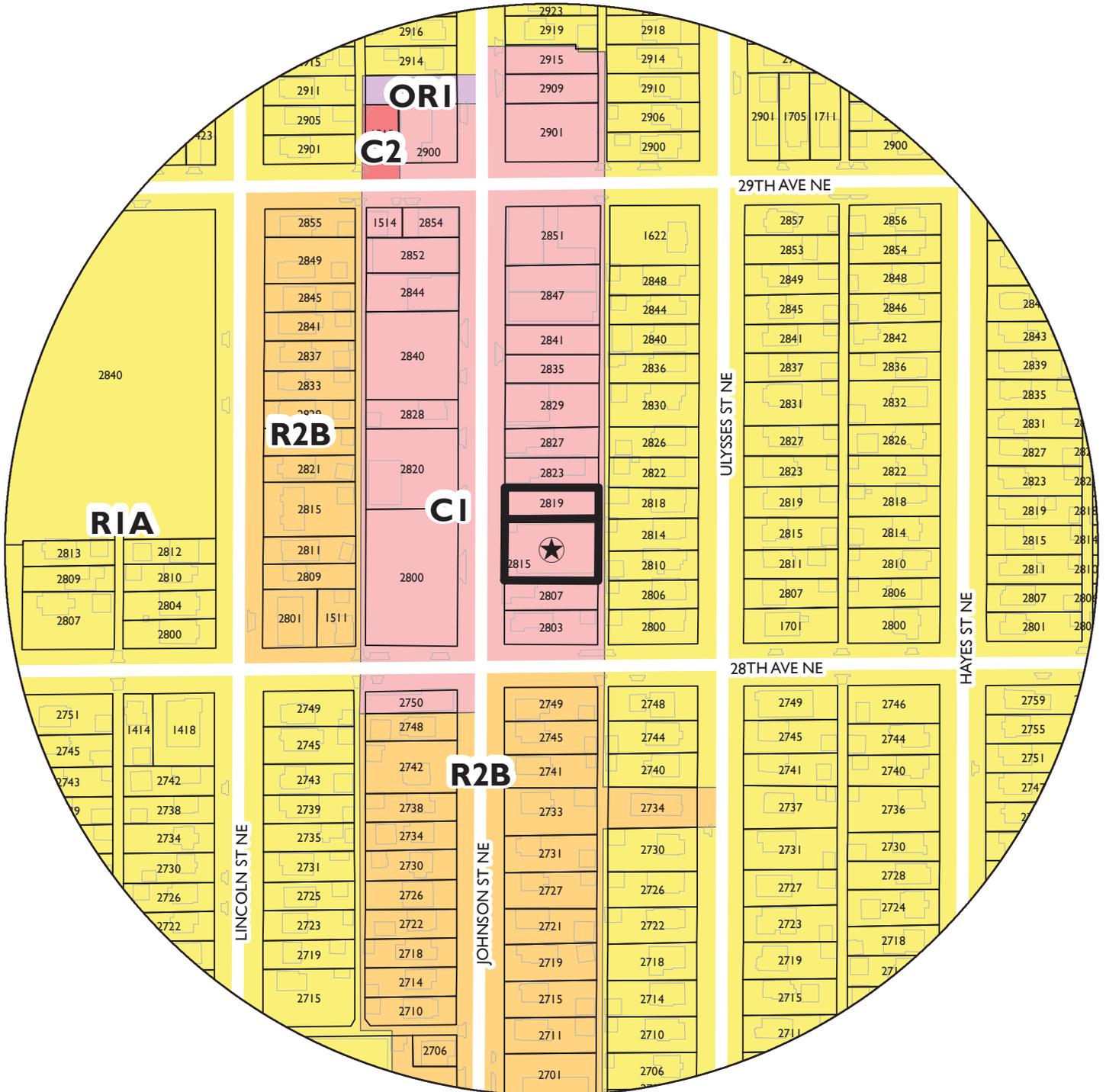
1. BZH Map
2. Written description and findings submitted by applicant
3. Plans and photos
4. Building elevations
5. Public comments

Preservation Design Works

1st

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

2815 & 2819 Johnson Street Northeast

FILE NUMBER

BZH-29323

Statement of Proposed Use and Description of the Project

The Hollywood Theater is a designated local landmark and is also listed in the National Register of Historic Places. As a local landmark, the project is subject to the review and approval of the Minneapolis Heritage Preservation Commission, and all other regulations of Title 23, Chapter 599, Heritage Preservation, of the City of Minneapolis Code of Ordinances. The building is currently in the process of being redeveloped by Out of the Past Redevelopment, LLC, as an event center. The building was most recently owned by the City of Minneapolis. The project team has closely coordinated with the CPED Project Manager (Miles Mercer), CPED planning staff, the elected official (Council Member Reich), and the neighborhood (Audubon Neighborhood Association) throughout the project planning and previous approvals. The project is also under the review of the Minnesota State Historic Preservation Office (SHPO) and the National Park Service for compliance with the Secretary of the Interior's Standards for Rehabilitation. Finally, the first phase of the project was financed in part with funds provided by the State of Minnesota through the Minnesota Historical Society from the Arts and Cultural Heritage Fund.

This written application follows a Pre-Application meeting with Rebecca Farrar and Brian Schaffer that took place on March 28, 2013, an informational presentation at the May 14, 2014 meeting of the Minneapolis Heritage Preservation Commission, and a second pre-application meeting with Rebecca Farrar on May 7, 2015. The Certificate of Appropriateness was approved on June 22, 2015.

The historic Hollywood Theater is being rehabilitated as an event center. Phase one of the project, termed "Minimum Improvements" and defined by the Redevelopment Agreement executed between the City of Minneapolis and the applicant, is nearing completion. The Minimum Improvements include:

- Selective interior demolition and cleaning;
- masonry and concrete repair at the west façade;
- replacement of the main entrance doors in their original opening;
- missing window replacement at the projection booth;
- reconstruction of the ticket booth;
- chimney repair;
- canopy, marquee, and sign rehabilitation (including canopy roof repairs);
- and rain water leader replacement and connection to the municipal storm water system.

Additional work above and beyond the required Minimum Improvements includes:

- Repointing and masonry repairs at the north, south, and east sides;
- exterior security lighting;
- additional roof repairs;
- additional terra cotta and stone parapet cap repairs;
- exit door replacement;
- rehabilitation of interior and exterior poster cases;
- rehabilitation of historic features in the outer and inner lobbies;

- rehabilitation of historic light fixtures;
- and construction of restrooms.

Future work includes the interior tenant build out for the event center use.

The scope of work associated with this application for a historic variance includes:

- The proposed reuse of the Hollywood Theater as an event center (reception and meeting hall per the City of Minneapolis Zoning Ordinance)
- The request for zero off-street parking spaces

Written Statement of Required Findings

(1) That the variance is compatible with the preservation of the property and with other properties in the area, and that the variance is necessary to alleviate practical difficulties due to special conditions or circumstances unique to the property and not created by the applicant.

The Hollywood Theater is an individually designated local landmark and is also included in the Neighborhood Movie Theater Thematic District. The Hollywood Theater is considered significant as a remnant of a pattern of theater/entertainment growth that took place in the United States between 1920 and 1939 - the property's corresponding period of significance.

The Hollywood Theater was successfully nominated for listing in the National Register of Historic Places in 2014 by Out of the Past Redevelopment. The theater was nominated under both Criterion A for entertainment/recreation as an example of the patterns and trends of movie theater ownership and development in the years between World War One and World War Two, and Criterion C for architecture as a substantially intact example of a neighborhood movie theater designed by the architectural firm Liebenberg and Kaplan. The period of significance for the NRHP designation is from 1935, when the building was constructed, to 1954, when the Johnson Street Streetcar line that once transported moviegoers to the theater, was demolished along with the entire Twin Cities Rapid Transit streetcar network.

Findings

The ongoing rehabilitation and proposed reuse of the Hollywood Theater prevents further deterioration of the building and promotes the continued use of an historic neighborhood icon. Current and future work is compatible with and supports the historic designation(s) by preserving materials and features that contribute to the overall integrity and its historic significance.

The historic Hollywood Theater occupies approximately 80% of the 10,516 square foot lot at 2815 Johnson Street NE. The adjacent lot to the north is a separate parcel with an area of 5,286 square feet. The small size of the adjacent lot, in addition to the severe grade change at the west, does not provide adequate parking for the building and is intended to be used as outdoor space for the event center, with three parking spaces at the alley to include loading and accessible parking. On-street parking is located along Johnson Street and adjacent neighborhood streets. Additionally, the theater is located near mass public transit stops. As this building is locally and nationally listed, with no off-street parking historically, situated on a small neighborhood lot,

providing the required amount of parking spaces is unfeasible. Redevelopment and reuse of this historic icon is essential to the continued success of this unique neighborhood commercial core and offers a sense of vibrancy to the community that has been missing from the south end of this block since final closure of the theater in 1987.

The proposed building use as an event center is consistent with the Heritage Preservation Ordinance, City of Minneapolis Comprehensive Plan and the Audubon Park Neighborhood Small Area Plan. The reuse of the Hollywood Theater furthers the goals of the Comprehensive Plan which include promoting the protection and reuse of culturally significant buildings. Per the plan's policy 8.10, this project has the potential to become an example of the revitalization of an iconic neighborhood structure, thus exemplifying the importance of preservation as it relates to the city's history, vitality and "achieving greater environmental sustainability." Specific recommendations from the small area plan include the utilization of the Hollywood Theater being used as a multi-use entertainment venue. The reuse of the Hollywood Theater as an event center more closely aligns with and helps preserve the interior of the building in a way that is more consistent with the historic use. The event center use will accommodate and encourage more public access to the interior than other uses, such as a private office space. Additionally, the future reuse of the building as a theater is being maintained due to the reversible nature of all proposed new work.

Summary of Progress Toward Approval of State and Federal Reviews and Permits

State Historic Tax Credits

Part A of the Minnesota Application (description of work, photos, drawings and specifications) has been reviewed and conditionally approved by the MN SHPO. See attached email dated, April 27, 2015, for conditions.

Federal Historic Tax Credits

Historic Preservation Certification Application Part 2 –Description of Rehabilitation documents (description of work, photos, drawings and specifications) has been reviewed and conditionally approved by the National Park Service (NPS) on June 15, 2015. Amendment 1 was conditionally approved by NPS on February 2, 2016. Amendment 2 was approved by NPS on April 7, 2016. Amendment 3 was approved by NPS on August 5, 2016.

Minnesota Historical and Cultural Heritage Grants – Legacy Grant

Review documents (drawings and specifications) have been reviewed and are conditionally approved, per the April 27, 2015 email from SHPO.

City of Minneapolis Preliminary Development Review and Encroachment Permit

The Modified PDR submittal was reviewed by City Staff and approved June 25, 2015.

An application for an encroachment permit was filed acceptance of encroachment permit paperwork provided January 16, 2015.

A building permit was issued to JE Dunn August 14, 2015 for the Minimum Improvements and Add Alternates, Phase 1 project. Work for this phase is ongoing.

City of Minneapolis Heritage Preservation Commission

The Certificate of Appropriateness for Minimum Improvements and Add Alternates, Phase 1 was approved on June 22, 2015.

An Amended Certificate of Appropriateness for the Minimum Improvements and Add Alternates, Phase 1 was approved on March 17, 2016.

Metropolitan Council | Environmental Services SAC/WAC

The application was submitted, April 30, 2015. A follow-up email was sent by the Met Council on May 26, 2015 with a waiver of determination for Phase 1 of the project.

HOLLYWOOD THEATER MINNEAPOLIS, MN

CORE AND SHELL - PHASE 2 PRESERVATION REVIEW PACKAGE



PROJECT LOCATION:
2815 Johnson St. NE



**SNOW
KREILICH
ARCHITECTS**

2400 RAND TOWER
527 MARQUETTE AVENUE
MINNEAPOLIS, MN 55402
612 359 9430
WWW.SNOWKREILICH.COM

**HOLLYWOOD
THEATER**

2815 Johnson St. NE
Minneapolis, MN 55418

CORE AND SHELL - PHASE 2

CLIENT
Out of the Past Redevelopment, LLC.
1325 Winter St. NE
Suite 100
Minneapolis, MN 55413
612 746 1774

HISTORIC PRESERVATION
Preservation Design Works
575 9th St. SE, Ste 215
Minneapolis, MN 55414
612 843 4140

NOT FOR CONSTRUCTION

Pricing Package 19 Apr 2016

2014.19 tkm, js
Project Number Drawn By

Signature Date

Typed or Printed Name

Registration Number

COVER SHEET /
DRAWING INDEX

G 0.00

CORE AND SHELL - PHASE 2 PRICING SCOPE

- REFURBISHMENT OF WALLS AND CEILINGS ON FIRST LEVEL, EXCLUDING AUDITORIUM AND STAGE AREAS.
- BUILD-OUT OF ACCESSIBLE RESTROOM ON FIRST LEVEL.
- BUILD-OUT OF RESTROOMS ON LOWER LEVEL.
- MECHANICAL AND ELECTRICAL SERVICE TO SERVE RENOVATED AREAS AND CONDITION ENTIRE BUILDING. REFER TO ATTACHED NARRATIVE.



6 WEST ELEVATION LOOKING TOWARDS CANOPY
Scale: NOT TO SCALE



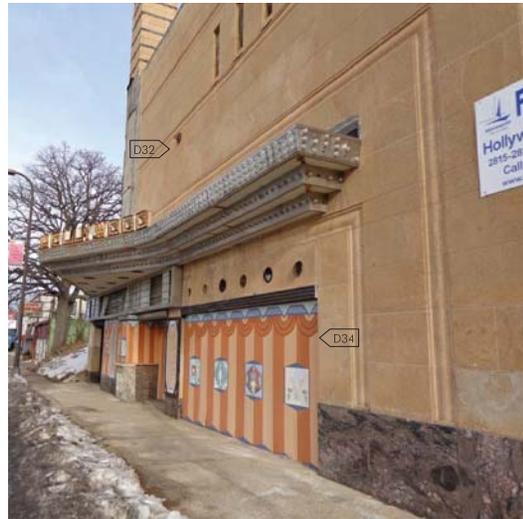
4 WEST ELEVATION LOOKING SOUTH
Scale: NOT TO SCALE



2 WEST ELEVATION LOOKING NORTH
Scale: NOT TO SCALE



5 WEST ELEVATION
Scale: NOT TO SCALE



3 WEST ELEVATION LOOKING NORTH
Scale: NOT TO SCALE



1 SW CORNER LOOKING TOWARD PED. ALLEYWAY
Scale: NOT TO SCALE

PVN
PRESERVATION
DESIGN WORKS, LLC

PRESERVATION REVIEW
03/18/2015

www.pvnworks.com | (612) 843-4140

Drawing Set Title:
**MINIMUM
IMPROVEMENTS AND
ADD ALTERNATES**

Project Name and Address:
**HOLLYWOOD
THEATER**
2815 JOHNSON STREET NE
MINNEAPOLIS, MN 55418

Client Name and Address:
**OUT OF THE PAST
REDEVELOPMENT, LLC**
1325 WINTER STREET NE
SUITE 100
MINNEAPOLIS, MN 55413

Conn No:	HOL
Date:	03/18/2015
Drawn by:	CLR
Checked by:	-

Sheet Title:
**EXISTING
CONDITIONS
PHOTOS: EXTERIOR**

Sheet Number:
EC000



6 SOUTH ELEVATION LOOKING WEST

Scale: NOT TO SCALE



4 SOUTH ELEVATION LOOKING EAST

Scale: NOT TO SCALE



2 NORTH PEDESTRIAN ALLEYWAY

Scale: NOT TO SCALE



5 NORTH ELEVATION LOOKING EAST

Scale: NOT TO SCALE



3 EAST ELEVATION LOOKING SOUTH

Scale: NOT TO SCALE



1 NW CORNER LOOKING SOUTH TOWARD CHIMNEY

Scale: NOT TO SCALE

PVN
PRESERVATION
DESIGN WORKS, LLC

PRESERVATION REVIEW
03/18/2015

www.pvnworks.com | (612) 843-4140

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Drawn by:	CLR
Checked by:	-

Sheet Title:
**EXISTING
CONDITIONS
PHOTOS: EXTERIOR**

Sheet Number:
EC001

ALTA/ACSM LAND TITLE SURVEY FOR: PRESERVATION DESIGN WORKS, LLC

LEGAL DESCRIPTION:

Parcel 1:
Lots 10 and 11, Block 2, Richardsons Second Addition, according to the recorded plat thereof, Hennepin County, Minnesota.

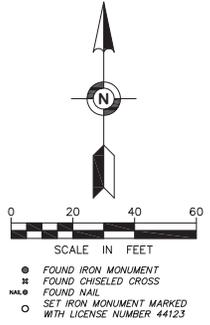
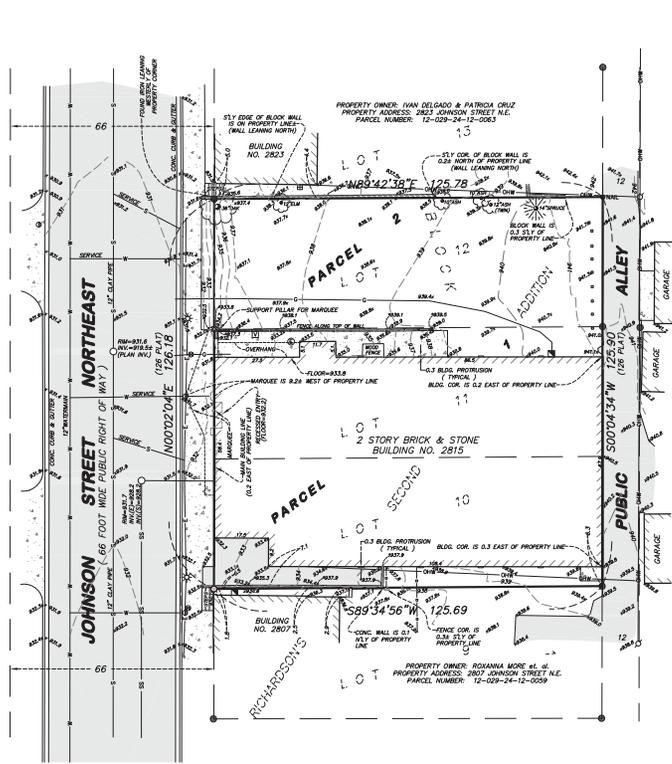
Parcel 2:
Lot 12, Block 2, Richardsons Second Addition, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)

NOTES:

- The orientation of this bearing system is based on the Hennepin County Coordinate Grid (NAD 83-96 Adj).
- The total area of the property described hereon is 15,847 square feet or 0.364 acres.
- The legal description and easement information used in the preparation of this survey were based on the Commitment for Title Insurance issued by Guaranty Commercial Title, Inc., as agent for Old Republic National Title Insurance Company, File No. 60445, having an effective date of June 19, 2014 at 7:00 A.M.
- Existing utilities, services and underground structures shown hereon were located either physically from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 142100478. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The property described hereon does not lie within any flood hazard areas per Federal Insurance Rate Map No. 27053 C 0240 E, which is a unprinted panel for Community No. 27053.
- No zoning report or letter was received from the Insurer pursuant to Optional Table A, Items 6(a) and 6(b), as set forth in the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys.
- As of the date of this certification the property described hereon does not contain any visibly striped parking spaces.
- Adjacent property owners, addresses, and parcel numbers were obtained from the Hennepin County Property Information Web Site.
- BENCHMARK: Top nut of the hydrant located in the southwest quadrant of Johnson Street Northeast and 28th Avenue Northeast. Elevation = 336.24 feet (NAVD 88) per the MNDOT VRS Network.



VICINITY MAP
NOT TO SCALE



● FOUND IRON MONUMENT
✕ FOUND CHISELED CROSS
✕ FOUND NAIL
○ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 44123

LEGEND

- MANHOLE
- STOP BOX
- ⊕ ELECTRIC MANHOLE
- ⊖ ELECTRIC METER
- ★ LIGHT
- ⊕ UTILITY POLE
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ WOOD GUARD POST
- SIGN
- VENT
- CHAIN LINK FENCE
- WOOD FENCE
- WIRE FENCE
- WALL
- OVERHEAD WIRE
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- SPOT ELEVATION
- EXISTING CONTOUR LINE
- OR ● TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE

SURVEY ITEMS PER SCHEDULE B:

ITEM 5: All minerals and mineral rights were reserved by Loretta Borgarn, in an instrument filed as Document No. 8137410. (As to Parcel 2)

CERTIFICATION:

To Out of the Past Redevelopment, LLC, a Minnesota limited liability company, City of Minneapolis; Guaranty Commercial Title, Inc.; and Old Republic National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 11(b) and 13 of Table A thereof. The field work was completed on July 30, 2014.

Date of Plat or Map: July 30, 2014.

Brent R Peters
Brent R Peters
Minnesota License No. 44123

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
2812	47		NO.	DATE
				DESCRIPTION
DRAWN BY:				
L.S.				
DRAWING NAME:				
35979.dwg				
CHECKED BY:				
BRP				
JOB NO. 35979				
FILE NO. 2477				

ALTA/ACSM LAND
TITLE SURVEY

SURVEY FOR:
PRESERVATION DESIGN WORKS, LLC

PROPERTY ADDRESS:
2815 & 2819 Johnson Street Northeast
Minneapolis, Minnesota 55418



1229 Tyler Street NE, Suite 100
Minneapolis, Minnesota 55413
PHONE: (612) 466-3300
FAX: (612) 466-3383
WWW.EFNSURVEY.COM

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CODE ANALYSIS

HOLLYWOOD THEATER, MINNEAPOLIS MN

MINIMUM IMPROVEMENTS FOR HISTORIC PRESERVATION.

APPLICABLE CODES:

- 2012 INTERNATIONAL BUILDING CODE
- 2015 MN STATE BUILDING CODE
- 2015 CONSERVATION CODE FOR EXISTING BUILDINGS
- 1025 MN MECHANICAL AND FUEL GAS CODE
- 2015 MINNESOTA PLUMBING CODE
- MINNESOTA ELECTRICAL CODE (NFPA 70 NATIONAL ELECTRICAL CODE)

PROPOSED OCCUPANCY (IBC 303.4);
NEW OCCUPANCY: A-3 (EVENT CENTER)

EXISTING BUILDING HEIGHTS AND AREAS	
HEIGHT:	2 STORIES = 34'-11 1/2"
AREA	
BASEMENT =	3383 GSF
MAIN FLOOR =	7957 GSF
MEZZANINE =	2040 GSF
11,340 (MEZZANINE NOT INCLUDED IN TOTAL PER IBC 505)	

CONSTRUCTION TYPE (IBC 602.5): TYPE VB - FULLY SPRINKLERED

FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS (IBC TABLE 601.2):

- STRUCTURAL FRAME: 0 HR
- BEARING WALLS - EXTERIOR: 0 HR
- BEARING WALLS - INTERIOR: 0 HR
- NON-BEARING WALLS AND PARTITIONS - EXTERIOR: SEE 602
- NON-BEARING WALLS AND PARTITIONS - INTERIOR: 0 HR
- FLOOR CONSTRUCTION: 0 HR
- ROOF CONSTRUCTION: 0 HR

ALLOWABLE HEIGHT AND BUILDING AREA (IBC TABLE 503):
ALLOWABLE HEIGHT, FULLY SPRINKLERED: 2 STORY

TABLE ALLOWABLE AREA: 6,000 SQ FT PER FLOOR

TOTAL ALLOWABLE AREA (506.1 WITH FRONTAGE AND SPRINKLER INCREASE) = 18,360 SQ FT

MEZZANINES (IBC 505)

- NOT PART OF BUILDING AREA PER 505.1
- LIMITED TO 1/2 THE AREA OF THE SPACE IT IS WITHIN (WHEN SPRINKLERED)
- AUDITORIUM AREA = 7133 SQ FT
- MEZZANINE AREA = 2040 SQ FT

FIRE-RESISTANCE RATING REQUIREMENTS OF FOR EXTERIOR WALLS (IBC 602)

- WEST: 0 HR - EXTERIOR WALL > 10' FROM CENTERLINE OF STREET
- NORTH: 1 HR - EXTERIOR WALL < 10' FROM PROPERTY LINE
- EAST: 1 HR - EXTERIOR WALL < 10' FROM CENTERLINE OF ALLEY
- SOUTH: 1 HR - EXTERIOR WALL < 10' FROM PROPERTY LINE

ALLOWABLE OPENINGS (IBC 705.6)

UNPROTECTED: NOT PERMITTED < 3'	PROTECTED: NOT PERMITTED < 3'
10% FROM 5' TO 10'	15% FROM 3' TO 5'
15% FROM 10' TO 15'	25% FROM 5' TO 10'
25% FROM 15' TO 20'	45% FROM 10' TO 15'
45% FROM 20' TO 25'	75% FROM 15' TO 20'
	NO LIMIT BEYOND 20'

FIRE DOOR RATINGS (IBC 716.5)
1 HR RATED EXTERIOR WALLS: 45 MIN

INTERIOR WALL AND FINISH REQUIREMENTS
(IBC 803.5) SPRINKLERED

EXIT STAIRS, RAMPS, AND PASSAGEWAYS: CLASS B
CORRIDORS AND EXIT ACCESS ENCLOSURES: CLASS B
ROOMS AND ENCLOSED SPACES: CLASS C

1009.3 EXCEPTION 1. IN OTHER THAN GROUP I-2 AND I-3 OCCUPANCIES, EXIT ACCESS STAIRWAYS THAT SERVE OR ATMOSPHERICALLY COMMUNICATE BETWEEN, ONLY TWO STORIES ARE NOT REQUIRED TO BE ENCLOSED.

1014.3 - COMMON PATH OF EGRESS TRAVEL = 75' WITH SPRINKLER SYSTEM
**NOT COMPLIANT AT SOME BASEMENT LEVEL AREAS*

1016.2 - EXIT ACCESS TRAVEL DISTANCE = 200'

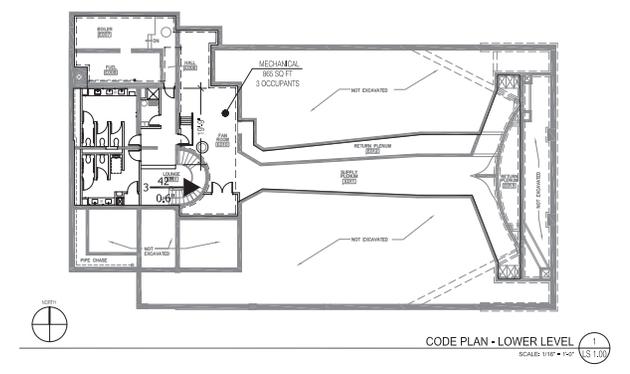
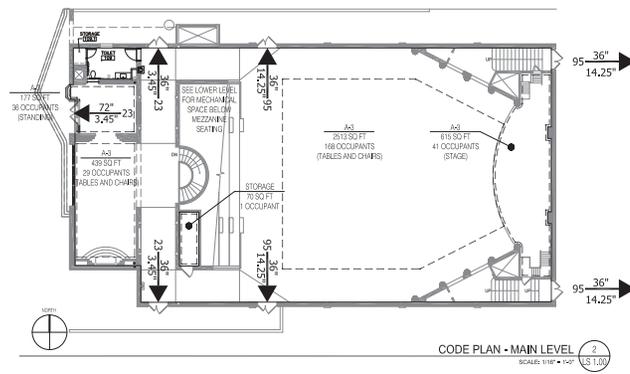
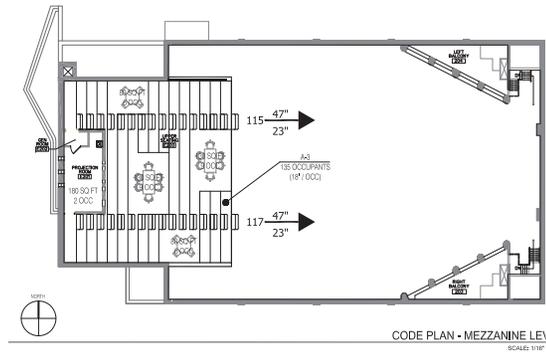
1021.2 - STORIES WITH ONE EXIT OR ACCESS TO ONE EXIT FOR OTHER OCCUPANCIES
OCCUPANCY = A-BASEMENT
MAX OCC PER STORY = 49
MAX EXIT ACCESS TRAVEL DISTANCE = 75' **NOT COMPLIANT*

OCCUPANT LOADS (IBC TABLE 1004.1.2)			413 TOTAL
LOWER LEVEL			3
MECHANICAL	865 SQ FT	300 GROSS	3 OCCUPANTS
MAIN LEVEL			275
ASSEMBLY	2513 SQ FT	15 NET	168 OCCUPANTS
ASSEMBLY (FOYER)	439 SQ FT	5 NET	29 OCCUPANTS
ASSEMBLY (LOBBY)	177 SQ FT	5 NET	36 OCCUPANTS
STAGE	615 SQ FT	15 NET	41 OCCUPANTS
STORAGE	70 SQ FT	300 GROSS	1 OCCUPANT
MEZZANINE LEVEL			167
ASSEMBLY	18' / LIN FT	FIXED	135 OCCUPANTS
ASSEMBLY	340 SQ FT	15 NET	30 OCCUPANTS
BUSINESS	180 SQ FT	100 GROSS	2 OCCUPANTS

EXIT WIDTH PER OCCUPANT (IBC 1005.3)
SPRINKLERED
STAIRWAYS: 0.2 INCHES PER OCCUPANT
OTHER EGRESS COMPONENTS: 0.15 INCHES PER OCCUPANT

SIZE OF DOORS (IBC 1008.1.1)
MINIMUM WIDTH IS 32" BETWEEN STOP AND DOOR WHEN OPEN 90°

REQUIRED NUMBER OF PLUMBING FIXTURES (TABLE 2902.1)			
ASSEMBLY A-3	CALCULATED	REQUIRED	PROVIDED
MALE WATER CLOSETS	1/125	2	3 (2 WC/ 1 URINALS)
FEMALE WATER CLOSETS	1/65	4	3
UNISEX WATER CLOSETS			1
MALE LAVATORIES	1/200	2	2
FEMALE LAVATORIES	1/200	2	3
UNISEX LAVATORIES			1
DRINKING FOUNTAINS	1/500	1	2
SERVICE SINK		1	1



SNOW KREILICH ARCHITECTS

219 NORTH SECOND STREET
SUITE 120
MINNEAPOLIS, MN 55401
612 359 9430
WWW.SNOWKREILICH.COM

HOLLYWOOD THEATER

2815 Johnson St. NE
Minneapolis, MN 55418

CORE AND SHELL - PHASE 2

CLIENT
Out of the Past
Redevelopment, LLC.
Suite 100
Minneapolis, MN 55413
612 746 1774

HISTORIC PRESERVATION
Preservation Design Works
575 9th St. SE, Ste 215
Minneapolis, MN 55414
612 843 4140

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xxx xx July 2016

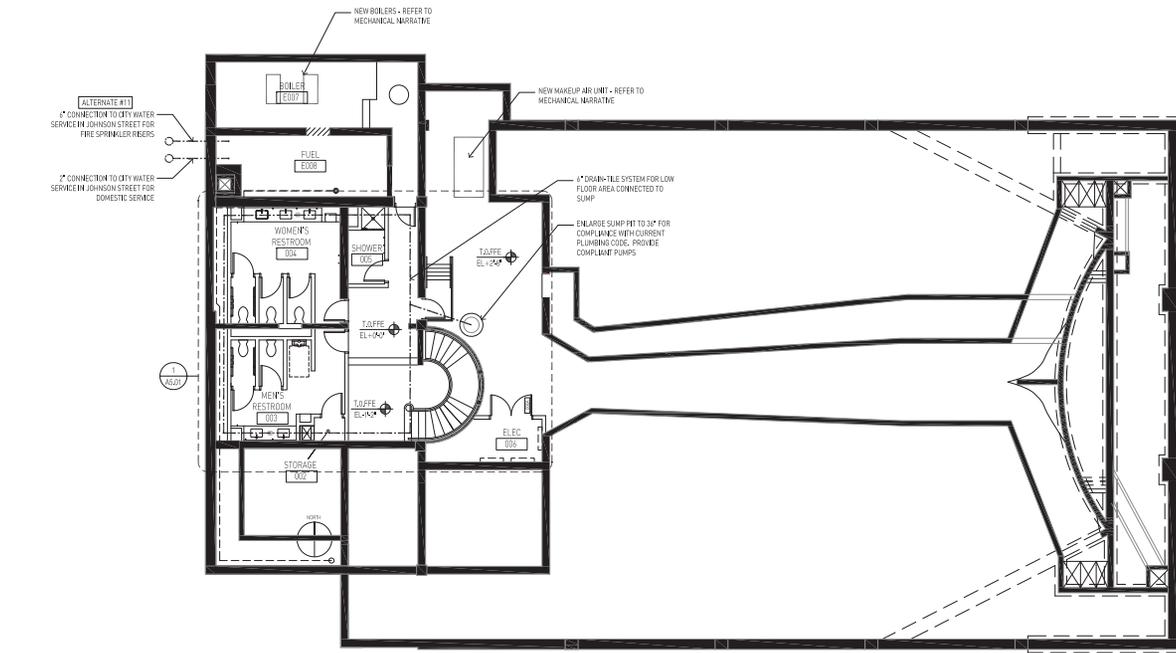
2014.19 tkm
Project Number Drawn By

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature Date
Matthew Krelich
Typed or Printed Name
45716
Registration Number

LIFE SAFETY INFORMATION

LS 1.00



PLAN GENERAL NOTES:

1. ALL WALLS, FLOORS, AND CEILINGS TO BE REFINISHED, PAINTED, AND RESTORED TO A LIKE-NEW CONDITION UNDER THE SCOPE OF THIS WORK. SEE KEYNOTES 6 AND 12. ROOMS AFFECTED INCLUDE:
 LOBBY E108
 FIRST FOYER E102
 SECOND FOYER E103, E104, E108
 RESTROOM 109
 LOUNGE E001
 STORAGE 002
 RESTROOMS 003, 004
 SHOWER ROOM 005
 TERRAZZO FLOOR TO BE PROTECTED THROUGHOUT CONSTRUCTION.
2. REFER TO A6.01 FOR ENLARGED PLANS AND CEILING PLANS FOR PHASE 2 RESTROOM AREAS.
3. REUSE EXISTING EXIT LIGHTING. VERIFY THAT EXISTING LIGHTS COMPLY WITH 5 WATT PER FIXTURE ENERGY CODE REQUIREMENT. IF EXISTING LIGHTS DO NOT COMPLY REPLACE WITH LED FIXTURE.

KEY NOTES:

- APPLY TRANSLUCENT FILM TO ALL INTERIOR SURFACES OF GLASS AT TICKET BOOTH.
- REFURBISH RAILINGS AND BALUSTRADE. REFER TO 34.07.00. INSTALL GLASS RAIL IN ALUMINUM CHANNEL BEHIND ORNAMENTAL GUARDRAIL AT FIRST FLOOR LEVELS. PHASE WALL-MOUNTED HANDRAIL TO CURRENT CODE HEIGHT.
- REFURBISH GUARDRAILS. REFER TO 4.87.00. MODIFY SLOPING GUARDRAIL WITH ADDITIONAL HORIZONTAL SLOPING BARS TO RAISE TO CURRENT CODE HEIGHT. INFILL NON-COMPLIANT SECTIONS WITH VERTICAL BARS TO RESTRICT OPENINGS TO LESS THAN 4" BAY DIMENSIONS TO MATCH HISTORIC.
- REFURBISH GUARDRAIL. RETURN ALL MEMBERS TO STRAIGHT AND PLUMB SLOPING CONDITION. PAINT TO LIKE-NEW FINISH.
- ORNAMENTAL METAL AUDITORIUM ELEMENTS TO REMAIN UNDISTURBED, UNLESS OTHERWISE NOTED. THERE IS MINIMAL WORK CALLED FOR IN THIS AREA. DAMAGE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- INTACT PLASTER TO BE REPAIRED WHERE POSSIBLE. PATCH SMALL AREAS OF MISSING PLASTER TO MATCH THE EXISTING ADJACENT THICKNESS AND SURFACE FINISH. RAKE OUT MINOR CRACKS IN THE EXISTING PLASTER AND PATCH. LARGE AREAS OF MISSING OR DETERIORATED PLASTER WILL BE REPLACED WITH GYPSUM WALLBOARD FINISH AND A VENEER PLASTER SYSTEM. PAINT.
- INFILL FLOOR WITH HIGH-STRENGTH (1000psi) FOAM INSULATION AND 2" CONCRETE TOPPING. ALIGN WITH FOYER FLOOR AT DOOR THRESHOLD 109A.
- CLEAN, DISINFECT, AND REINSTALL EXISTING DRINKING FOUNTAIN. RESTORE DRINKING WATER SERVICE.
- LINE OF BUILT-UP FLOORING.
- PROTECT EXISTING ELECTRICAL SERVICE COMPONENTS.
- PROTECT EXISTING WALL GRILLE FOR REUSE WITH FUTURE NEW MECHANICAL SYSTEM.
- REPAIR EXISTING INTACT COVE MOULDING TO MATCH EXISTING. REINSTALL IN ORIGINAL LOCATION. REPLACE MISSING OR SEVERELY DETERIORATED COVE MOULDING WITH CAST GYPSUM PLASTER TO MATCH EXISTING PATTERN AND THICKNESS. PAINT.
- RESTORE ORNAMENTAL PLASTER CORNICE
- PROVIDE CABINET UNIT HEATER ABOVE DOOR. RECESS IN WALL WHERE FURRED OUT WITH PLASTER OR GYP BD.
- ROUTE TOILET EXHAUST THROUGH WALL TO LOW ROOF.
- PROVIDE GYP BD CEILING, LAYERED AS SHOWN.
- INFILL WALL OPENING FLUSH WITH EXISTING WALL.
- REMOVE EXISTING RAIL STANTIONS.

LOWER LEVEL FLOOR PLAN 1
 SCALE: 1/8" = 1'-0" A2.00

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2400 RAND TOWER
 527 MARQUETTE AVENUE
 MINNEAPOLIS, MN 55402
 612 559 9430
 WWW.SNOWKREILICH.COM

HOLLYWOOD THEATER

2815 Johnson St. NE
 Minneapolis, MN 55418

CORE AND SHELL - PHASE 2

CLIENT
 Out of the Past Redevelopment, LLC.
 1325 Winter St. NE
 Suite 100
 Minneapolis, MN 55413
 612 746 1774

HISTORIC PRESERVATION
 Preservation Design Works
 575 9th St. SE, Ste 215
 Minneapolis, MN 55414
 612 843 4140

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2014.19 tkm, js
 Project Number Drawn By

Signature Date

Typed or Printed Name

Registration Number

FLOOR PLAN
 LOWER LEVEL

A 2.00

PLAN GENERAL NOTES:

1. ALL WALLS, FLOORS, AND CEILINGS TO BE REFINISHED, PAINTED, AND RESTORED TO A LIKE-NEW CONDITION UNDER THE SCOPE OF THIS WORK. SEE KEYNOTES 6 AND 12. ROOMS AFFECTED INCLUDE:
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 FIRST FOYER E102
 SECOND FOYER E103, E104, E108
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 STORAGE 002
 RESTROOMS 003, 004
 SHOWER ROOM 005
 TERRAZZO FLOOR TO BE PROTECTED THROUGHOUT CONSTRUCTION.
2. REFER TO A6.01 FOR ENLARGED PLANS AND CEILING PLANS FOR PHASE 2 RESTROOM AREAS.
3. REUSE EXISTING EXIT LIGHTING. VERIFY THAT EXISTING LIGHTS COMPLY WITH 5 WATT PER FIXTURE ENERGY CODE REQUIREMENT. IF EXISTING LIGHTS DO NOT COMPLY REPLACE WITH LED FIXTURE.

KEY NOTES:

- APPLY TRANSLUCENT FILM TO ALL INTERIOR SURFACES OF GLASS AT TICKET BOOTH.
- REFURBISH RAILINGS AND BALUSTRADE. REFER TO 3-6/47.00. INSTALL GLASS RAIL IN ALUMINUM CHANNEL BEHIND ORNAMENTAL GUARDRAIL. AT FIRST FLOOR LEVEL, RAISE WALL-MOUNTED HANDRAIL TO CURRENT CODE HEIGHT. PREP, PRIME AND PAINT TO LIKE NEW FINISH.
- REFURBISH GUARDRAILS. REFER TO 4-4/47.00. MODIFY SLOPING GUARDRAIL WITH ADDITIONAL HORIZONTAL SLOPING BARS TO RAISE TO CURRENT CODE HEIGHT. INFILL NOW CORNER UNIT SECTIONS WITH VERTICAL BARS TO RESTRICT OPENINGS TO LESS THAN 4" BAR DIMENSIONS TO MATCH HISTORIC. PREP, PRIME AND PAINT TO LIKE NEW FINISH.
- REFURBISH GUARDRAIL. RETURN ALL MEMBERS TO STRAIGHT AND PLUMB/SLOPING CONDITION. PREP, PRIME AND PAINT TO LIKE NEW FINISH.
- ORNAMENTAL METAL AUDITORIUM ELEMENTS TO REMAIN UNDISTURBED, UNLESS OTHERWISE NOTED, THERE IS MINIMAL WORK CALLED FOR IN THIS AREA. DAMAGE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NOT USED
- INFILL FLOOR WITH HIGH-STRENGTH (1020psi) FOAM INSULATION AND 2" CONCRETE TOPPING. ALIGN WITH FOYER FLOOR AT DOOR THRESHOLD 109A.
- CLEAN, DISINFECT, AND REINSTALL EXISTING DRINKING FOUNTAIN. RESTORE DRINKING FOUNTAIN BASES. RESTORE DRINKING WATER SERVICE.
- LINE OF BUILT-UP FLOORING.
- PROTECT EXISTING ELECTRICAL SERVICE COMPONENTS.
- PROTECT EXISTING WALL GRILLE FOR REUSE WITH FUTURE NEW MECHANICAL SYSTEM.
- REPAIR EXISTING INTACT COVE MOULDING TO MATCH EXISTING. REINSTALL IN ORIGINAL LOCATION. REPLACE MISSING OR SEVERELY DETERIORATED COVE MOULDING WITH CAST GYPSUM PLASTER TO MATCH EXISTING PATTERN AND THICKNESS. PAINT.
- RESTORE ORNAMENTAL PLASTER CORNICE
- PROVIDE CABINET UNIT HEATER ABOVE DOOR. RECESS IN WALL WHERE FURRED OUT WITH PLASTER OR GYP. BD.
- ROUTE TOILET EXHAUST THROUGH WALL TO LOW ROOF.
- PROVIDE GYP. BD CEILING, LAYERED AS SHOWN.
- INFILL WALL OPENING FLUSH WITH EXISTING WALL.
- REMOVE EXISTING RAIL STATIONS.

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2400 RAND TOWER
 527 MARQUETTE AVENUE
 MINNEAPOLIS, MN 55402
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2014.19 Project Number tkm.js Date
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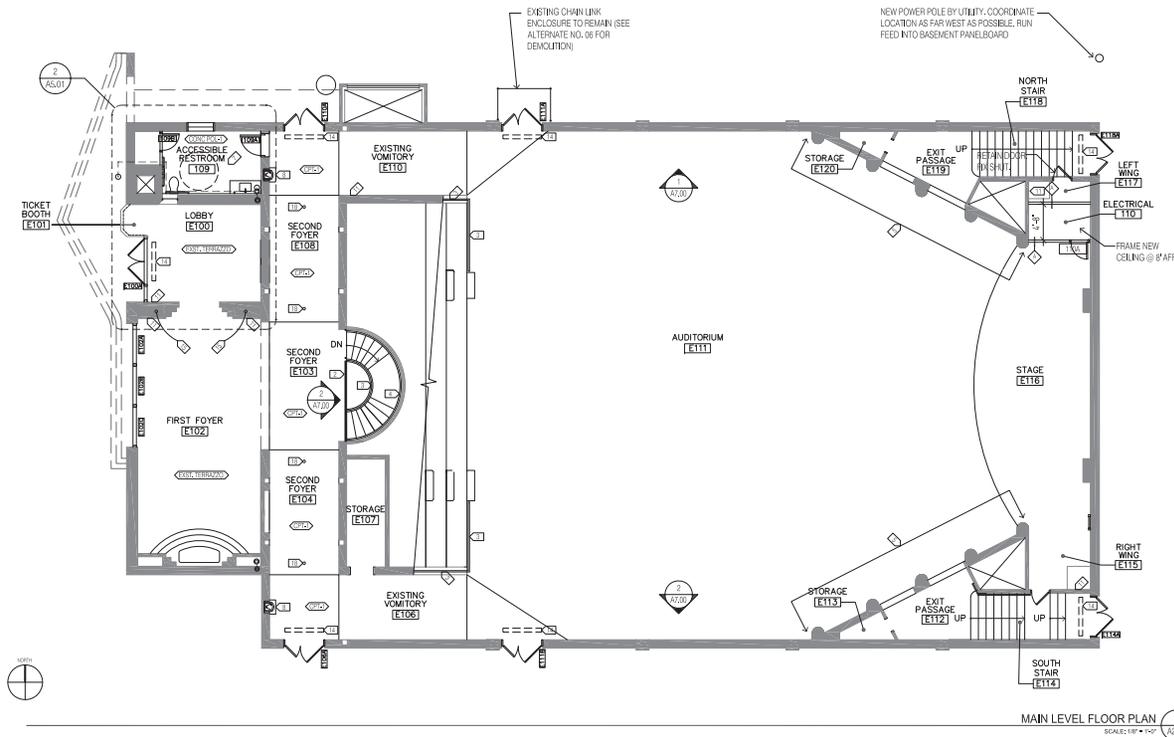
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Typed or Printed Name

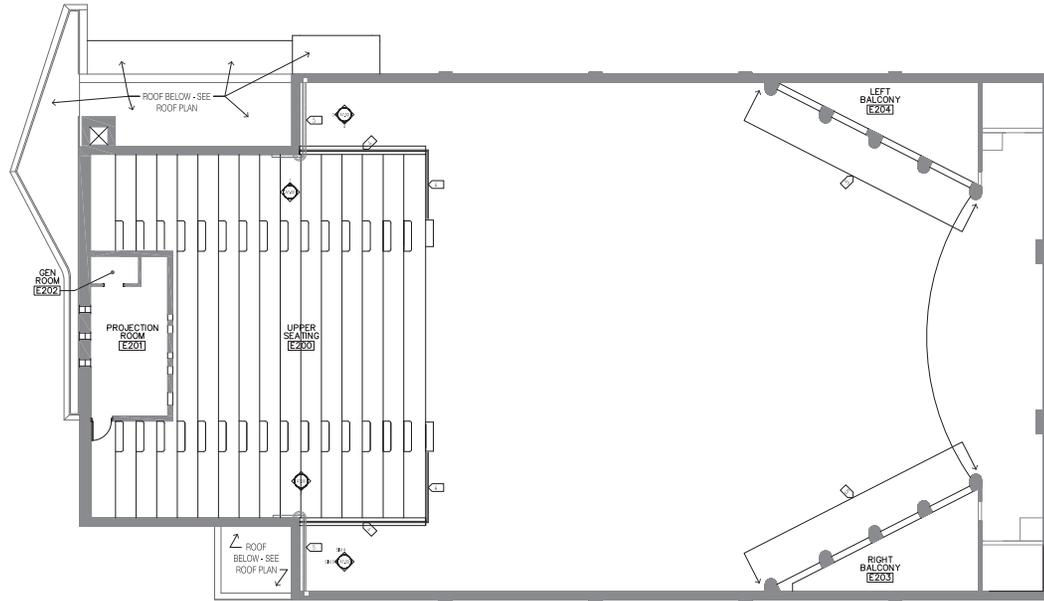
Registration Number

FLOOR PLAN MAIN LEVEL

A 2.10



MAIN LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"



MEZZANINE LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

PLAN GENERAL NOTES:

1. ALL WALLS, FLOORS, AND CEILINGS TO BE REFINISHED, PAINTED, AND RESTORED TO A LIKE-NEW CONDITION UNDER THE SCOPE OF THIS WORK. SEE KEYNOTES #6 AND 12. ROOMS AFFECTED INCLUDE:
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FIRST FOYER E102
SECOND FOYER E103, E104, E108
RESTROOM 109
LOUNGE E001
STORAGE 002
RESTROOMS 003, 004
SHOWER ROOM 005
TERRAZZO FLOOR TO BE PROTECTED THROUGHOUT CONSTRUCTION.
2. REFER TO A6.01 FOR ENLARGED PLANS AND CEILING PLANS FOR PHASE 2 RESTROOM AREAS.
3. REUSE EXISTING EXIT LIGHTING. VERIFY THAT EXISTING LIGHTS COMPLY WITH 5 WATT PER FIXTURE ENERGY CODE REQUIREMENT. IF EXISTING LIGHTS DO NOT COMPLY REPLACE WITH LED FIXTURE.

KEY NOTES:

- 1. APPLY TRANSLUCENT FILM TO ALL INTERIOR SURFACES OF GLASS AT TICKET BOOTH.
- 2. REFURBISH RAILINGS AND BALUSTRADE. REFER TO 3-6/17.00. INSTALL GLASS RAIL IN ALUMINUM CHANNEL BEHIND ORNAMENTAL GUARDRAIL. AT FIRST FLOOR LEVEL, RAISE WALL-MOUNTED HANDRAIL TO CURRENT CODE HEIGHT, PREP, PRIME AND PAINT TO LIKE NEW FINISH.
- 3. REFURBISH GUARDRAILS. REFER TO 4-17/00. MODIFY SLOPING GUARDRAIL WITH ADDITIONAL HORIZONTAL SLOPING BARS TO RAISE TO CURRENT CODE HEIGHT. BUILD NON-COMBUST SECTION WITH VERTICAL BARS TO RESTRICT OPENINGS TO LESS THAN 4" BAR DIMENSIONS TO MATCH HISTORIC. PREP, PRIME AND PAINT TO LIKE NEW FINISH.
- 4. REFURBISH GUARDRAIL. RETURN ALL MEMBERS TO STRAIGHT AND PLUMB SLOPING CONDITION. PREP, PRIME AND PAINT TO LIKE NEW FINISH.
- 5. ORNAMENTAL METAL AUDITORIUM ELEMENTS TO REMAIN UNDISTURBED. UNLESS OTHERWISE NOTED, THERE IS MINIMAL WORK CALLED FOR IN THIS AREA. DAMAGE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 6. NOT USED
- 7. INFILL FLOOR WITH HIGH-STRENGTH (100psi) FOAM INSULATION AND 2" CONCRETE TOPPING. ALIGN WITH FOYER FLOOR AT DOOR THRESHOLD 108A.
- 8. CLEAN, DISINFECT, AND REINSTALL EXISTING DRINKING FOUNTAIN. RESTORE DRINKING FOUNTAIN BASES. RESTORE DRINKING WATER SERVICE.
- 9. LINE OF BUILT-UP FLOORING.
- 10. PROTECT EXISTING ELECTRICAL SERVICE COMPONENTS.
- 11. PROTECT EXISTING WALL GRILLE FOR REUSE WITH FUTURE NEW MECHANICAL SYSTEM.
- 12. REPAIR EXISTING INTACT COVE MOLDING TO MATCH EXISTING. REINSTALL IN ORIGINAL LOCATION. REPLACE MISSING OR SEVERELY DEGRADED COVE MOLDING WITH CAST GYPSUM PLASTER TO MATCH EXISTING PATTERN AND THICKNESS. PAINT.
- 13. RESTORE ORNAMENTAL PLASTER CORNICE
- 14. PROVIDE CABINET UNIT HEATER ABOVE DOOR. RECESS IN WALL WHERE FLURPED OUT WITH PLASTER OR GYP BD.
- 15. ROUTE TOILET EXHAUST THROUGH WALL TO LOW ROOF.
- 16. PROVIDE GYP BD CEILING LAYERED AS SHOWN.
- 17. INFILL WALL OPENING FLUSH WITH EXISTING WALL.
- 18. REMOVE EXISTING RAIL STATIONS.

SNOW KREILICH ARCHITECTS

2400 RAND TOWER
527 MARQUETTE AVENUE
MINNEAPOLIS, MN 55402
612 559 9430
WWW.SNOWKREILICH.COM

HOLLYWOOD THEATER

2815 Johnson St. NE
Minneapolis, MN 55418

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CLIENT
Out of the Past Redevelopment, LLC.
1325 Winter St. NE
Suite 100
Minneapolis, MN 55413
612 746 1774

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Preservation Design Works
575 9th St. SE, Ste 215
Minneapolis, MN 55414
612 843 4140

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2014.19 Project Number tkm, js
Drawn By

Structure tkm

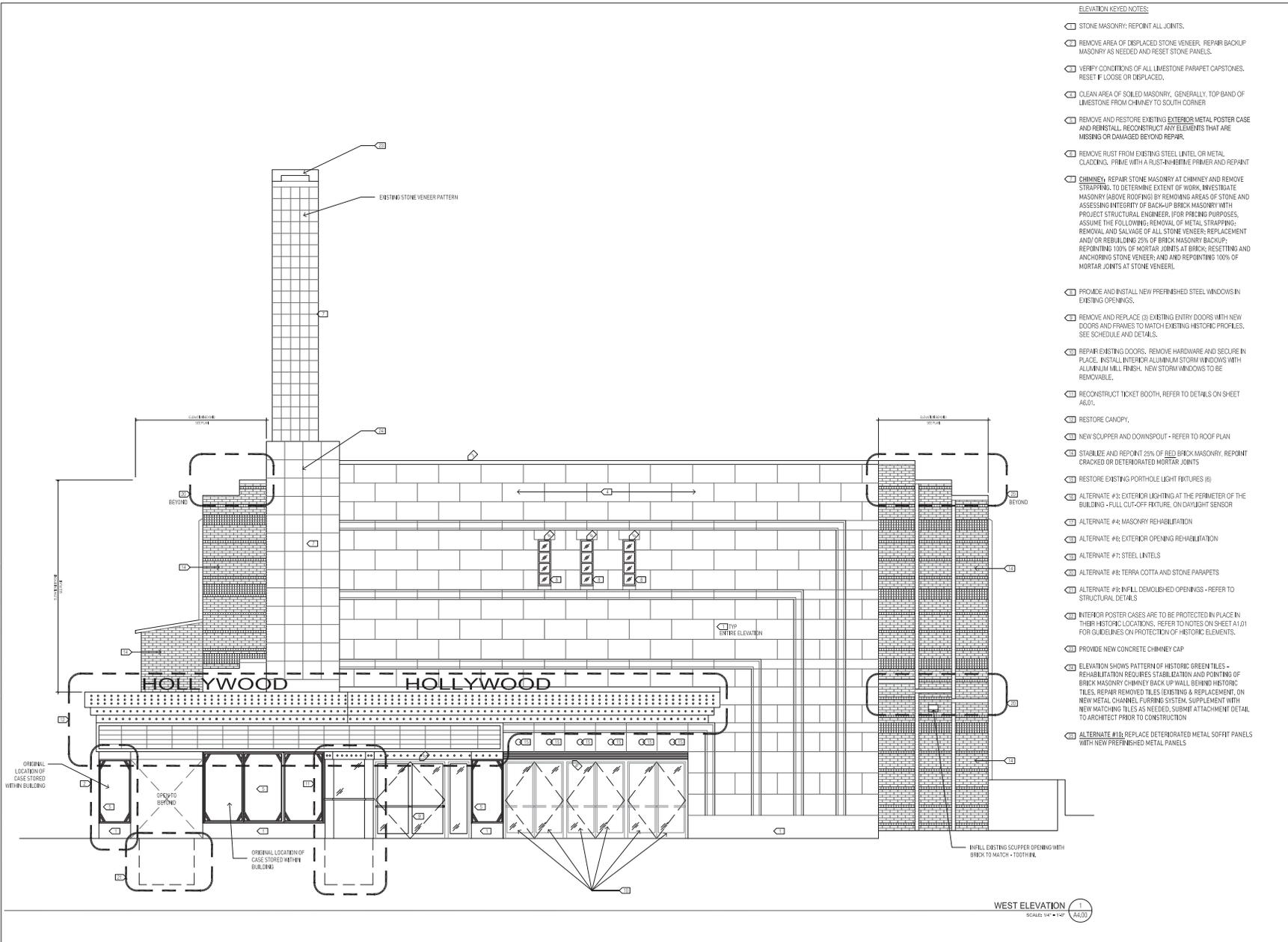
Typed or Printed Name

Registration Number

FLOOR PLAN
MEZZANINE LEVEL

A 2.20

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- ELEVATION KEYED NOTES:
- ① STONE MASONRY: REPOINT ALL JOINTS.
 - ② REMOVE AREA OF DISPLACED STONE VENEER. REPAIR BACKUP MASONRY AS NEEDED AND RESET STONE PANELS.
 - ③ VERIFY CONDITIONS OF ALL LIMESTONE PARAPET CAPSTONES. RESET IF LOOSE OR DISPLACED.
 - ④ CLEAN AREA OF SOILED MASONRY. GENERALLY, TOP BAND OF LIMESTONE FROM CHIMNEY TO SOUTH CORNER.
 - ⑤ REMOVE AND RESTORE EXISTING EXTERIOR METAL POSTER CASE AND REINSTALL. RECONSTRUCT ANY ELEMENTS THAT ARE MISSING OR DAMAGED BEYOND REPAIR.
 - ⑥ REMOVE RUST FROM EXISTING STEEL LINTEL OR METAL CLADDING. PRIME WITH A RUST-INHIBITING PRIMER AND REPAINT.
 - ⑦ CHIMNEY: REPAIR STONE MASONRY AT CHIMNEY AND REMOVE STRAPPING. TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY (ABOVE ROOFING) BY REMOVING AREAS OF STONE AND ASSESSING INTEGRITY OF BACK-UP BRICK MASONRY WITH PROJECT STRUCTURAL ENGINEER. FOR PRICING PURPOSES, ASSUME THE FOLLOWING: REMOVAL OF METAL STRAPPING; REMOVAL AND SALVAGE OF ALL STONE VENEER; REPLACEMENT AND/ OR REBUILDING 25% OF BRICK MASONRY BACKUP; REPOINTING 100% OF MORTAR JOINTS AT BRICK; RESETTING AND ANCHORING STONE VENEER; AND REPOINTING 100% OF MORTAR JOINTS AT STONE VENEER.
 - ⑧ PROVIDE AND INSTALL NEW PREFINISHED STEEL WINDOWS IN EXISTING OPENINGS.
 - ⑨ REMOVE AND REPLACE (3) EXISTING ENTRY DOORS WITH NEW DOORS AND FRAMES TO MATCH EXISTING HISTORIC PROFILES. SEE SCHEDULE AND DETAILS.
 - ⑩ REPAIR EXISTING DOORS. REMOVE HARDWARE AND SECURE IN PLACE. INSTALL INTERIOR ALUMINUM STORM WINDOWS WITH ALUMINUM MILL FINISH. NEW STORM WINDOWS TO BE REMOVABLE.
 - ⑪ RECONSTRUCT TICKET BOOTH. REFER TO DETAILS ON SHEET A4.01.
 - ⑫ RESTORE CANOPY.
 - ⑬ NEW SCUPPER AND DOWNSPOUT - REFER TO ROOF PLAN
 - ⑭ STABILIZE AND REPOINT 25% OF RED BRICK MASONRY. REPOINT CRACKED OR DETERIORATED MORTAR JOINTS
 - ⑮ RESTORE EXISTING PORTHOLE LIGHT FIXTURES (8)
 - ⑯ ALTERNATE #3: EXTERIOR LIGHTING AT THE PERIMETER OF THE BUILDING - FULL CUT-OFF FIXTURE. ON DAYLIGHT SENSOR
 - ⑰ ALTERNATE #4: MASONRY REHABILITATION
 - ⑱ ALTERNATE #6: EXTERIOR OPENING REHABILITATION
 - ⑲ ALTERNATE #7: STEEL LINTELS
 - ⑳ ALTERNATE #8: TERRA COTTA AND STONE PARAPETS
 - ㉑ ALTERNATE #9: INFILL DEMOLISHED OPENINGS - REFER TO STRUCTURAL DETAILS
 - ㉒ INTERIOR POSTER CASES ARE TO BE PROTECTED IN PLACE IN THEIR HISTORIC LOCATIONS. REFER TO NOTES ON SHEET A1.01 FOR GUIDELINES ON PROTECTION OF HISTORIC ELEMENTS.
 - ㉓ PROVIDE NEW CONCRETE CHIMNEY CAP
 - ㉔ ELEVATION SHOWS PATTERN OF HISTORIC GREEN TILES - REHABILITATION REQUIRES STABILIZATION AND POINTING OF BRICK MASONRY CHIMNEY BACK UP WALL BEHIND HISTORIC TILES. REPAIR REMOVED TILES (EXISTING & REPLACEMENT. ON NEW METAL CHANNEL FURRING SYSTEM. SUPPLEMENT WITH NEW MATCHING TILES AS NEEDED. SUBMIT ATTACHMENT DETAIL TO ARCHITECT PRIOR TO CONSTRUCTION
 - ㉕ ALTERNATE #1B: REPLACE DETERIORATED METAL SOFFIT PANELS WITH NEW PREFINISHED METAL PANELS

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2400 RAND TOWER
527 MARQUETTE AVENUE
MINNEAPOLIS, MN 55402
612 359 9430
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MINIMUM IMPROVEMENTS AND ADD
ALTERNATES

CLIENT
Out of the Past Redevelopment, LLC.
1325 Winter St. NE
Suite 100
Minneapolis, MN 55413
612 746 1774

HISTORIC PRESERVATION
Preservation Design Works
575 9th St. SE, Ste 215
Minneapolis, MN 55414
612 843 4140

Preservation Review 18 Mar 2015

Issued for Bid 08 May 2015

2014.19 Project Number tkm Drawn By

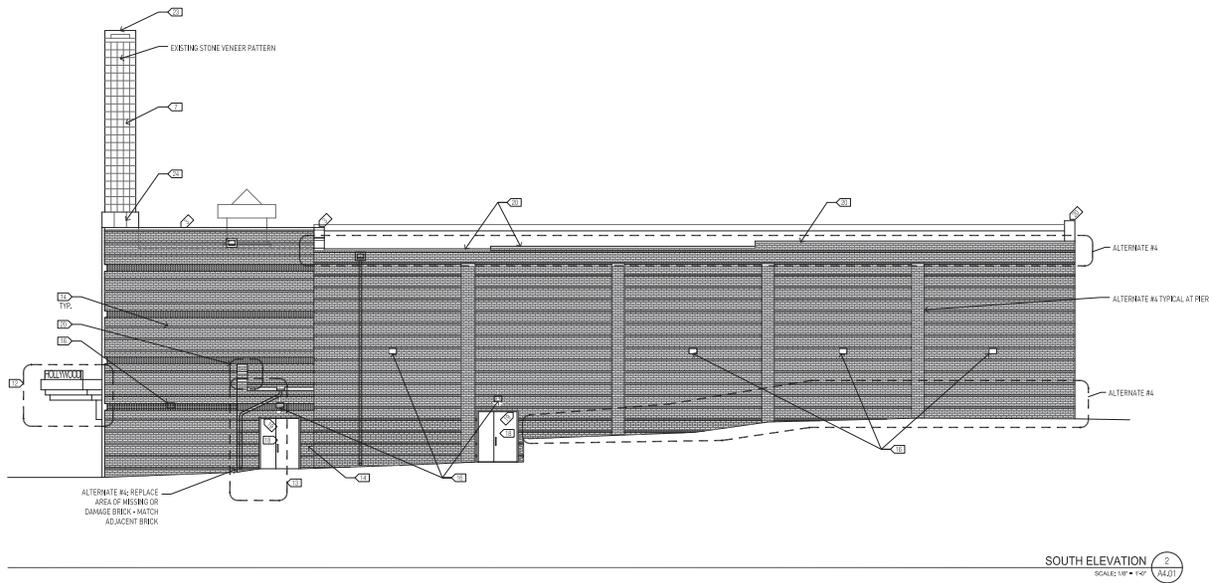
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

M. Kreilich
Matthew Kreilich

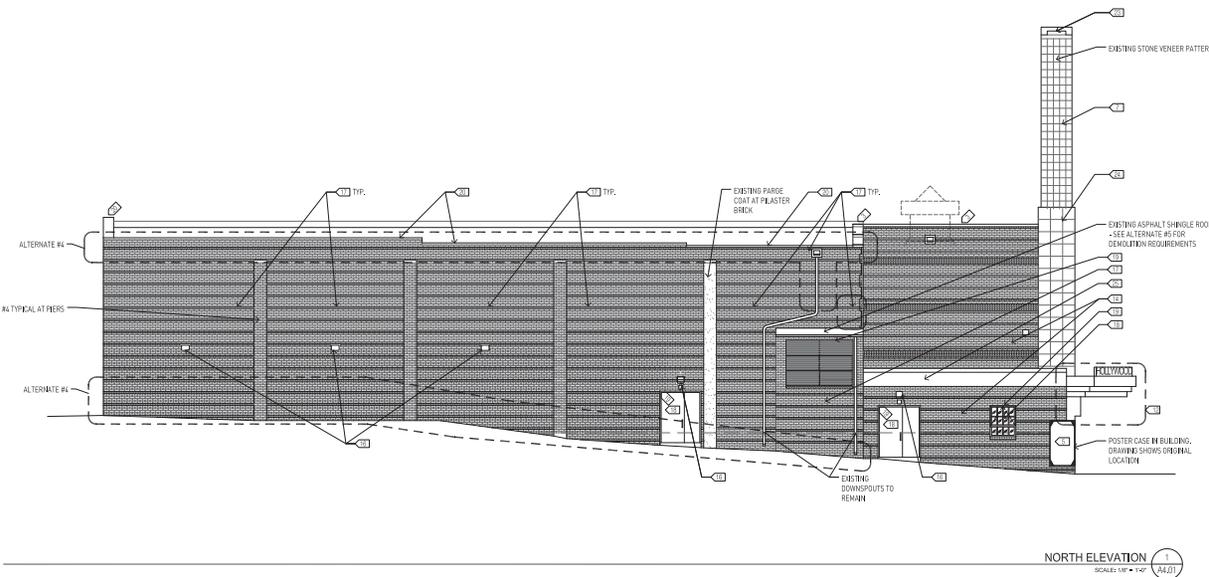
45716

EXTERIOR ELEVATIONS

A 4.00



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
2
A4.01



NORTH ELEVATION
SCALE: 1/8" = 1'-0"
1
A4.01

ELEVATION KEYED NOTES:

- 111 STONE MASONRY: REPOINT ALL JOINTS.
- 112 REMOVE AREA OF DISPLACED STONE VENEER, REPAIR BACKUP MASONRY AS NEEDED AND RESET STONE PANELS.
- 113 VERIFY CONDITIONS OF ALL LIMESTONE PARAPET CAPSTONES, RESET IF LOOSE OR DISPLACED.
- 114 CLEAN AREA OF SOILED MASONRY, GENERALLY, TOP BAND OF LIMESTONE FROM CHIMNEY TO SOUTH CORNER.
- 115 REMOVE AND RESTORE EXISTING EXTERIOR METAL POSTER CASE AND REINSTALL/RECONSTRUCT ANY ELEMENTS THAT ARE MISSING OR DAMAGED BEYOND REPAIR.
- 116 REMOVE RUST FROM EXISTING STEEL LINTEL OR METAL CLADDING, PRIME WITH A RUST-INHIBITIVE PRIMER AND REPAINT.
- 117 CHIMNEY: REPAIR STONE MASONRY AT CHIMNEY AND REMOVE STRAPPING TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY (ABOVE ROOFING) BY REMOVING AREAS OF STONE AND ASSESSING INTEGRITY OF BACK-UP BRICK MASONRY WITH PROJECT STRUCTURAL ENGINEER, FOR PRICING PURPOSES, ASSUME THE FOLLOWING: REMOVAL OF METAL STRAPPING, REMOVAL AND SALVAGE OF ALL STONE VENEER; REPLACEMENT AND/OR REBUILDING 25% OF BRICK MASONRY BACKUP; REPOINTING 100% OF MORTAR JOINTS AT BRICK; RESETTING AND ANCHORING STONE VENEER; AND REPOINTING 100% OF MORTAR JOINTS AT STONE VENEER.
- 118 PROVIDE AND INSTALL NEW PREFINISHED STEEL WINDOWS IN EXISTING OPENINGS.
- 119 REMOVE AND REPLACE (3) EXISTING ENTRY DOORS WITH NEW DOORS AND FRAMES TO MATCH EXISTING HISTORIC PROFILES, SEE SCHEDULE AND DETAILS.
- 120 REPAIR EXISTING DOORS, REMOVE HARDWARE AND SECURE IN PLACE, INSTALL INTERIOR ALUMINUM STORM WINDOWS WITH ALUMINUM MILL FINISH, NEW STORM WINDOWS TO BE REMOVABLE.
- 121 RECONSTRUCT TICKET BOOTH, REFER TO DETAILS ON SHEET A6.01.
- 122 RESTORE CANOPY.
- 123 NEW SCUPPER AND DOWNSPOUT - REFER TO ROOF PLAN.
- 124 STABILIZE AND REPOINT 25% OF RED BRICK MASONRY, REPOINT CRACKED OR DEGRADATED MORTAR JOINTS.
- 125 RESTORE EXISTING PORT-HOLE LIGHT FIXTURES (6).
- 126 ALTERNATE #3: EXTERIOR LIGHTING AT THE PERIMETER OF THE BUILDING - FULL CUT-OFF FIXTURE, ON DAYLIGHT SENSOR.
- 127 ALTERNATE #4: MASONRY REHABILITATION.
- 128 ALTERNATE #6: EXTERIOR OPENING REHABILITATION.
- 129 ALTERNATE #7: STEEL LINTELS.
- 130 ALTERNATE #8: TERRA COTTA AND STONE PARAPETS.
- 131 ALTERNATE #9: INFILL DEMOLISHED OPENINGS - REFER TO STRUCTURAL DETAILS.
- 132 INTERIOR POSTER CASES ARE TO BE PROTECTED IN PLACE IN THEIR HISTORIC LOCATIONS, REFER TO NOTES ON SHEET A1.01 FOR GUIDELINES ON PROTECTION OF HISTORIC ELEMENTS.
- 133 PROVIDE NEW CONCRETE CHIMNEY CAP.
- 134 ELEVATION SHOWS PATTERN OF HISTORIC GREEN TILES - REHABILITATION REQUIRES STABILIZATION AND POINTING OF BRICK MASONRY CHIMNEY BACK-UP WALL BEHIND HISTORIC TILES, REPAIR REMOVED TILES (EXISTING & REPLACEMENT), ON NEW METAL CHANNEL FURRING SYSTEM, SUPPLEMENT WITH NEW MATCHING TILES AS NEEDED, SUBMIT ATTACHMENT DETAIL TO ARCHITECT PRIOR TO CONSTRUCTION.
- 135 ALTERNATE #10: REPLACE DEGRADATED METAL SOFFIT PANELS WITH NEW PREFINISHED METAL PANELS.

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2400 RAND TOWER
527 MARQUETTE AVENUE
MINNEAPOLIS, MN 55402
612 359 9430
WWW.SNOWKREILICH.COM

HOLLYWOOD THEATER

2815 Johnson St. NE
Minneapolis, MN 55418

MINIMUM IMPROVEMENTS AND ADD
ALTERNATES

CLIENT
Out of the Past Redevelopment, LLC,
1325 Winter St. NE
Suite 100
Minneapolis, MN 55413
612 746 1774

HISTORIC PRESERVATION
Preservation Design Works
575 9th St. SE, Ste 215
Minneapolis, MN 55414
612 843 4140

Preservation Review 18 Mar 2015

Issued for Bid 08 May 2015

2014.19 tkm
Project Number Drawn By

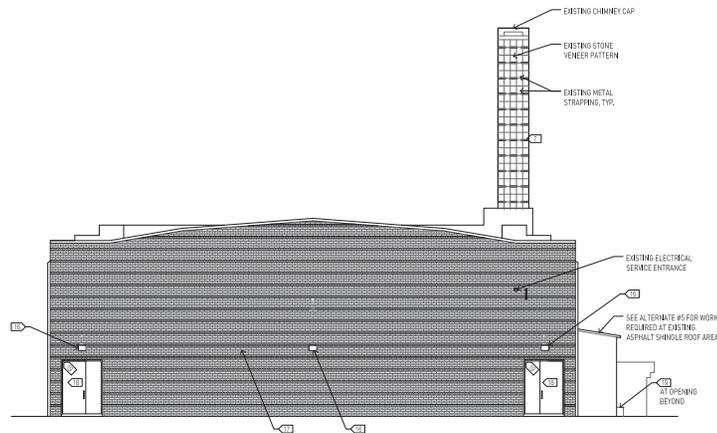
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

M. Kreilich
Signature Date

Matthew Kreilich
Typed or Printed Name
45716
Registration Number

EXTERIOR ELEVATIONS

A 4.01



EAST ELEVATION
SCALE: 1/8" = 1'-0"
A4.02

ELEVATION KEYED NOTES:

- STONE MASONRY: REPOINT ALL JOINTS.
- REMOVE AREA OF DISPLACED STONE VENEER. REPAIR BACKUP MASONRY AS NEEDED AND RESET STONE PANELS.
- VERIFY CONDITIONS OF ALL LIMESTONE PARAPET CAPSTONES. RESET IF LOOSE OR DISPLACED.
- CLEAN AREA OF SOILED MASONRY. GENERALLY, TOP BAND OF LIMESTONE FROM CHIMNEY TO SOUTH CORNER.
- REMOVE AND RESTORE EXISTING EXTERIOR METAL POSTER CASE AND REINSTALL. RECONSTRUCT ANY ELEMENTS THAT ARE MISSING OR DAMAGED BEYOND REPAIR.
- REMOVE RUST FROM EXISTING STEEL LINTEL OR METAL CLADDING. PRIME WITH A RUST-INHIBITIVE PRIMER AND REPAINT.
- CHIMNEY: REPAIR STONE MASONRY AT CHIMNEY AND REMOVE STRAPPING. TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY (ABOVE ROOFING) BY REMOVING AREAS OF STONE AND ASSESSING INTEGRITY OF BACK-UP BRICK MASONRY WITH PROJECT STRUCTURAL ENGINEER, IF FOR PRECING PURPOSES. ASSUME THE FOLLOWING: REMOVAL OF METAL STRAPPING; REMOVAL AND SALVAGE OF ALL STONE VENEER; REPLACEMENT AND/OR REBUILDING 25% OF BRICK MASONRY BACKUP; REPOINTING 100% OF MORTAR JOINTS AT BRICK; RESETTING AND ANCHORING STONE VENEER; AND REPOINTING 100% OF MORTAR JOINTS AT STONE VENEER.
- PROVIDE AND INSTALL NEW PREFINISHED STEEL WINDOWS IN EXISTING OPENINGS.
- REMOVE AND REPLACE (3) EXISTING ENTRY DOORS WITH NEW DOORS AND FRAMES TO MATCH EXISTING HISTORIC PROFILES. SEE SCHEDULE AND DETAILS.
- REPAIR EXISTING DOORS. REMOVE HARDWARE AND SCULPTE IN PLACE. INSTALL INTERIOR ALUMINUM STORM WINDOWS WITH ALUMINUM MILL FINISH. NEW STORM WINDOWS TO BE REMOVABLE.
- RECONSTRUCT TICKET BOOTH. REFER TO DETAILS ON SHEET A4.01.
- RESTORE CANOPY.
- NEW SCUPPER AND DOWNSPOUT - REFER TO ROOF PLAN.
- STABILIZE AND REPOINT 25% OF RED BRICK MASONRY. REPOINT CRACKED OR DETERIORATED MORTAR JOINTS.
- RESTORE EXISTING PORTHOLE LIGHT FIXTURES (8)
- ALTERNATE #3: EXTERIOR LIGHTING AT THE PERIMETER OF THE BUILDING - FULL CUT-OFF FIXTURE, ON DAYLIGHT SENSOR
- ALTERNATE #4: MASONRY REHABILITATION
- ALTERNATE #6: EXTERIOR OPENING REHABILITATION
- ALTERNATE #7: STEEL LINTELS

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M. Kreilich
Signature Date

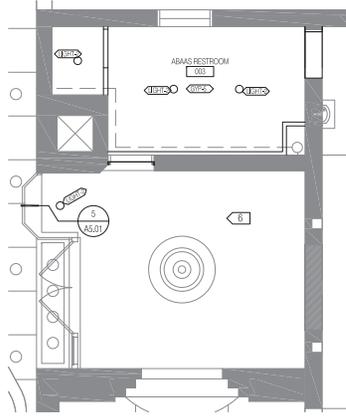
Matthew Kreilich
Typed or Printed Name
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Registration Number

EXTERIOR ELEVATIONS

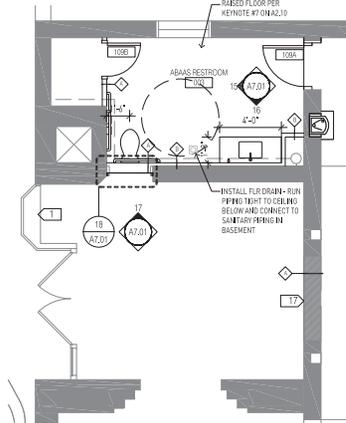
A 4.02

KEY NOTES:

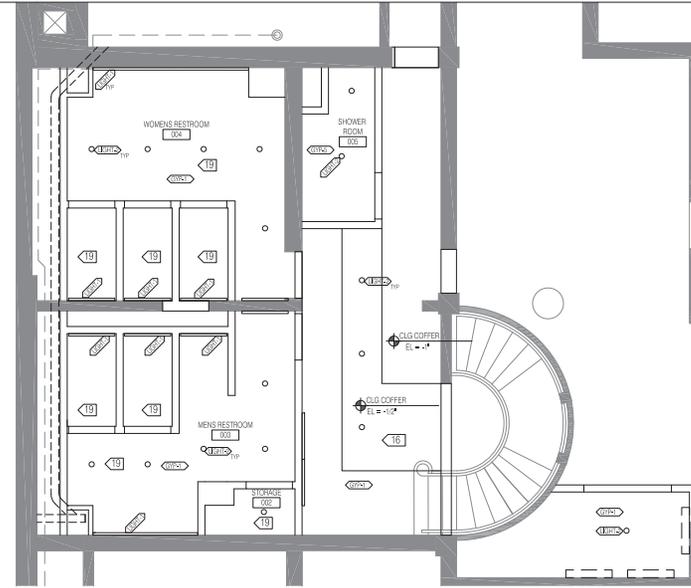
- APPLY TRANSLUCENT FILM TO ALL INTERIOR SURFACES OF GLASS AT TICKET BOOTH.
- REFURBISH RAILINGS AND BALUSTRADE. REFER TO 3-6/47.00. INSTALL GLASS RAIL IN ALUMINUM CHANNEL BEHIND ORNAMENTAL GUARDRAIL AT FIRST FLOOR LEVEL. RAISE WALL-MOUNTED HANDRAIL TO CURRENT CODE HEIGHT. PREP, PRIME AND PAINT TO LIKE NEW FINISH.
- REFURBISH GUARDRAILS. REFER TO 4/47.00. MODIFY SLOPING GUARDRAIL WITH ADDITIONAL HORIZONTAL SLOPING BARS TO RAISE TO CURRENT CODE HEIGHT. INSTALL NON-COMPLIANT SECTIONS WITH VERTICAL BARS TO RESTRICT OPENINGS TO LESS THAN 4" BAR DIMENSIONS TO MATCH HISTORIC. PREP, PRIME AND PAINT TO LIKE NEW FINISH.
- REFURBISH GUARDRAIL. RETURN ALL MEMBERS TO STRAIGHT AND FLUSH SLOPING CONDITION. PREP, PRIME AND PAINT TO LIKE NEW FINISH.
- ORNAMENTAL METAL ALUMINUM ELEMENTS TO REMAIN UNDISTURBED, UNLESS OTHERWISE NOTED. THERE IS MINIMAL WORK CALLED FOR IN THIS AREA. DAMAGE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NOT USED
- INFILL FLOOR WITH HIGH-STRENGTH (1000psi) FOAM INSULATION AND 2" CONCRETE TOPPING. ALIGN WITH FLOOR AT DOOR THRESHOLD 109A.
- CLEAN, DISINFECT, AND REINSTALL EXISTING DRINKING FOUNTAIN. RESTORE DRINKING FOUNTAIN BASES. RESTORE DRINKING WATER SERVICE.
- LINE OF BUILT-UP FLOORING.
- PROTECT EXISTING ELECTRICAL SERVICE COMPONENTS.
- PROTECT EXISTING WALL GRILLE FOR REUSE WITH FUTURE NEW MECHANICAL SYSTEM.
- RESTORE ORNAMENTAL PLASTER CORNICE
- PROVIDE CABINET UNIT HEATER ABOVE DOOR. RECESS IN WALL WHERE FURRED OUT WITH PLASTER OR GYP SO.
- ROUTE TOILET EXHAUST THROUGH WALL TO LOW ROOF.
- PROVIDE GYP BD CEILING, LAYERED AS SHOWN.
- INFILL WALL OPENING FLUSH WITH EXISTING WALL.
- REMOVE EXISTING RAIL STATIONING.



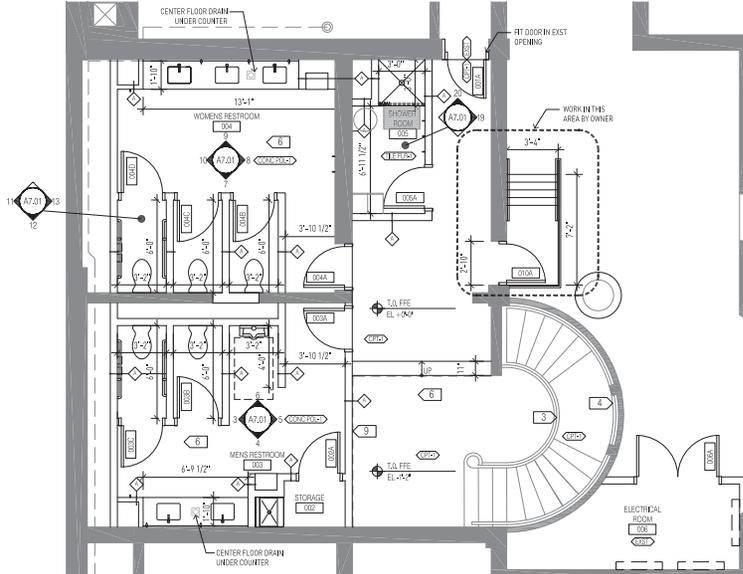
ENLARGED MAIN LEVEL RESTROOM / LOBBY PLANS (SCALE 1/4\"/>



ENLARGED MAIN LEVEL RESTROOM / LOBBY PLANS (SCALE 1/4\"/>



ENLARGED LOWER LEVEL CEILING PLANS (SCALE 1/4\"/>



ENLARGED LOWER LEVEL PLANS (SCALE 1/4\"/>

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MINNEAPOLIS, MN 55402
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WWW.SNOWKREILICH.COM

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CORE AND SHELL - PHASE 2

CLIENT
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Suite 100
Minneapolis, MN 55413
612 746 1774

HISTORIC PRESERVATION
Preservation Design Works
575 9th St. SE, Ste 215
Minneapolis, MN 55414
612 843 4140

NOT FOR CONSTRUCTION

Pricing Package 19 Apr 2016

2014.19 Project Number tkm_js
Drawn By

Signature Date

Type or Printed Name

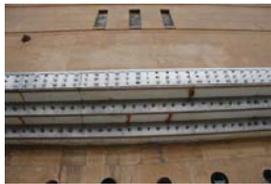
Registration Number

ENLARGED FLOOR AND CEILING PLANS

A 5.01



MARQUEE



MARQUEE SOFFIT AND LIGHTING



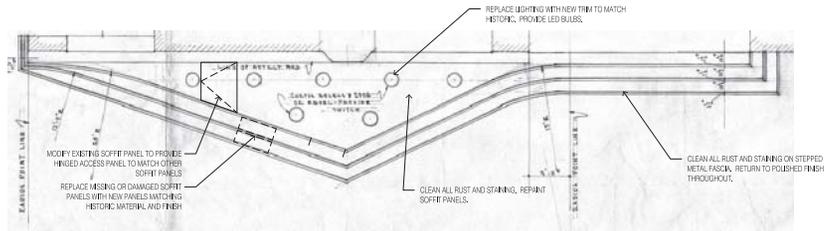
MARQUEE SOFFIT, LIGHTING, AND ATTRACTION BOARD



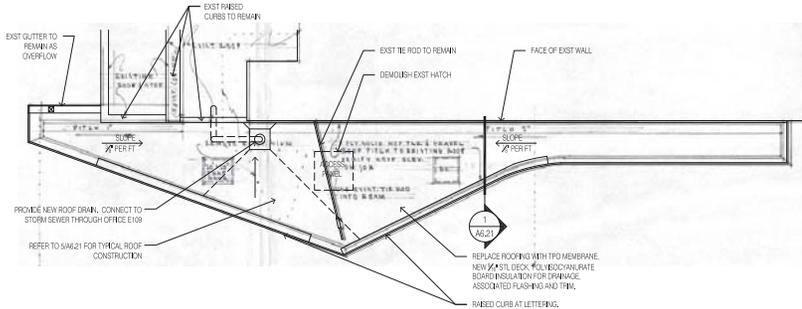
MARQUEE SOFFIT AND LIGHTING

METAL PANEL ACCESS PANEL

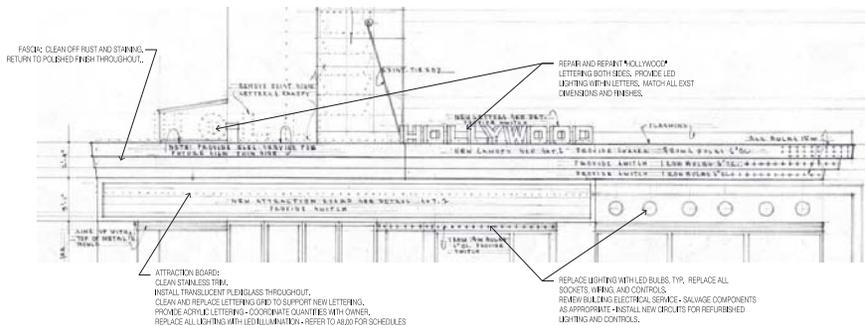
REFERENCE PHOTOS
SCALE: NONE



MARQUEE HISTORIC REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



MARQUEE HISTORIC ROOF PLAN
SCALE: 1/4" = 1'-0"



MARQUEE HISTORIC ELEVATION
SCALE: 1/4" = 1'-0"

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Preservation Review 18 Mar 2015

Issued for Bid 08 May 2015

2014.19 tkm
Project Number Drawn By

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M. Kreilich
Signature Date

Matthew Kreilich
Typed or Printed Name
45716

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MARQUEE ENLARGED PLANS & DETAILS

A 6.20

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MINNEAPOLIS, MN 55402
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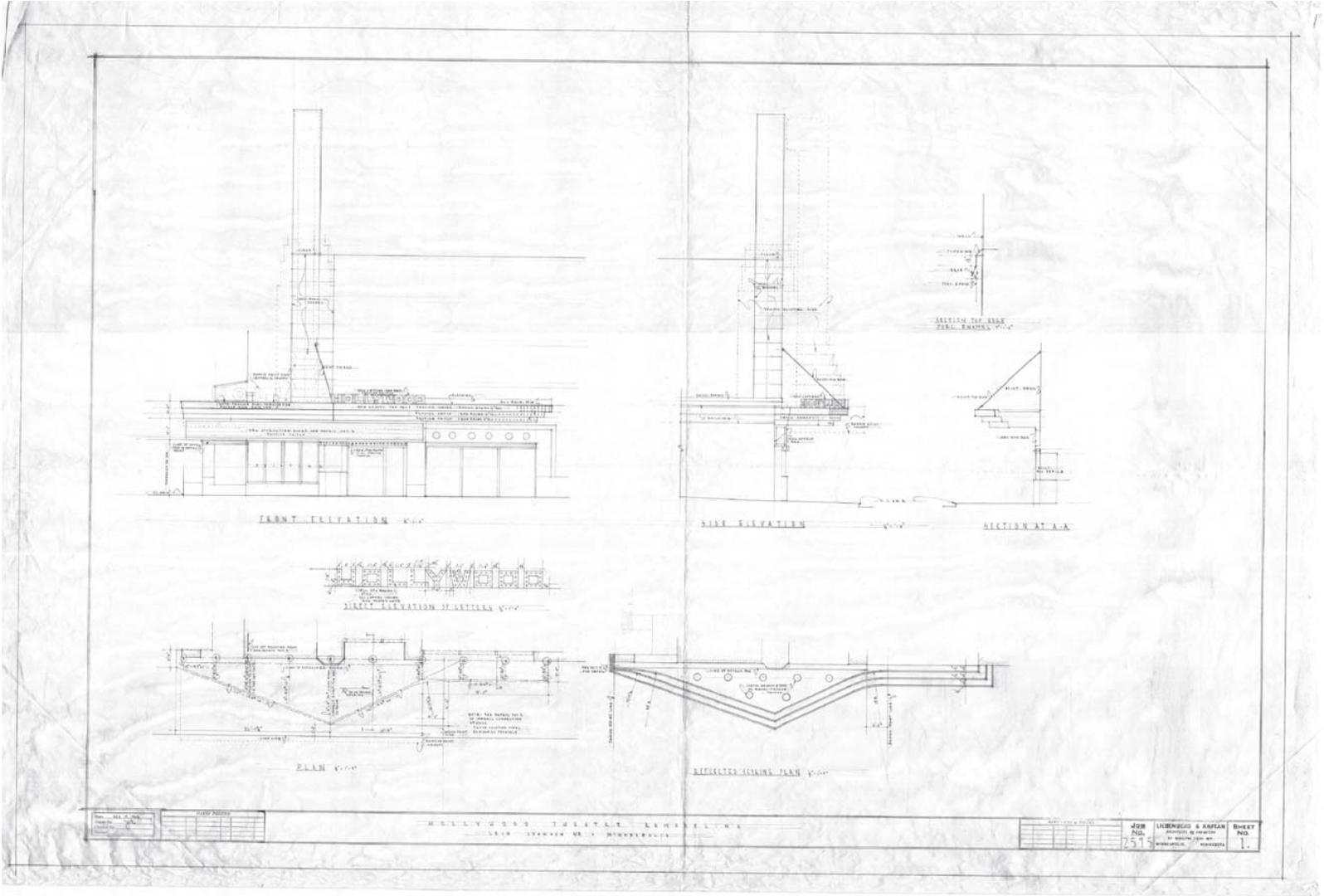
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HISTORIC
MARQUEE DRAWINGS

H 1.00

SNOW KREILICH ARCHITECTS

219 NORTH SECOND STREET
SUITE 120
MINNEAPOLIS, MN 55401
612 359 9430
WWW.SNOWKREILICH.COM

HOLLYWOOD THEATER

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CORE AND SHELL - PHASE 2

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xxx July 2016

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Signature Date

Matthew Kreilich

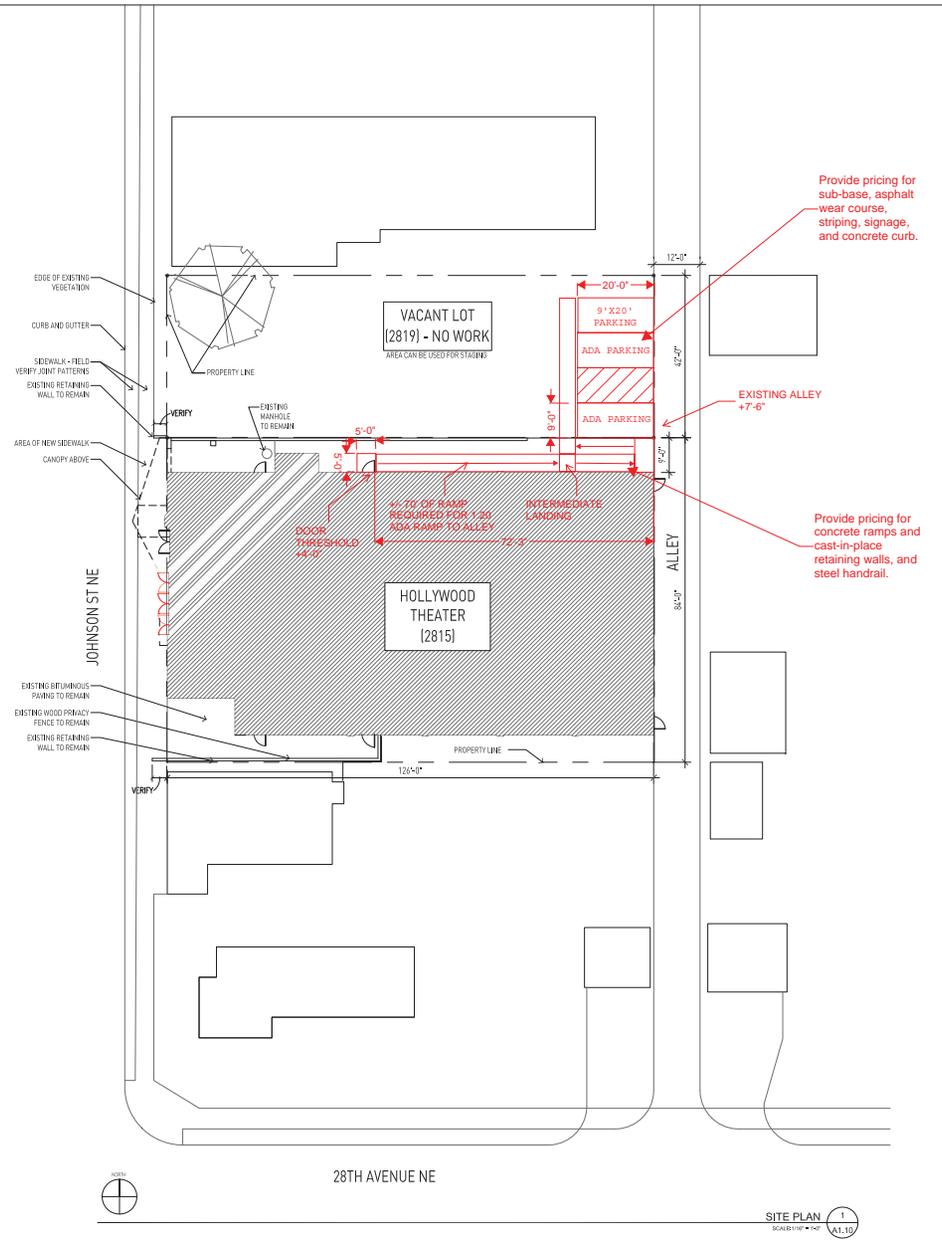
Typed or Printed Name

45716

Registration Number

SITE PLAN

A 1.10



Provide pricing for sub-base, asphalt wear course, striping, signage, and concrete curb.

Provide pricing for concrete ramps and cast-in-place retaining walls, and steel handrail.

© Snow Kreilich Architects, 2014. P: 2014.19 Hollywood Theater\Drawings\Sheets\A-1.10_SitePlan_HW000.dwg

PRESERVATION DESIGN WORKS, LLC

August 18, 2016

Audubon Neighborhood Association
2600 Johnson Street NE, Suite A
Minneapolis, MN 55418

Regarding: Application for Historic Variances
 Hollywood Theater
 2815 Johnson Street NE
 Minneapolis, MN 55418

Dear Audubon Neighborhood Association:

This letter is to inform you of the ongoing rehabilitation project at The Hollywood Theater at 2815 Johnson Street NE. The Hollywood Theater is a designated local landmark and is also listed in the National Register of Historic Places. As a local landmark, the project is subject to the review and approval of the Minneapolis Heritage Preservation Commission, and all other regulations of Title 23, Chapter 599, Heritage Preservation, of the City of Minneapolis Code of Ordinances. Rehabilitation work at the Hollywood Theater also requires the review of the Minnesota State Historic Preservation Office (SHPO) and the National Park Service for compliance with the Secretary of the Interior's Standards for Rehabilitation. Finally, the first phase of the project was financed in part with funds provided by the State of Minnesota through the Minnesota Historical Society from the Arts and Cultural Heritage Fund. Additionally, the theater is currently in the process of applying to the HPC for Historic Variances for the following:

- Reuse of the Hollywood Theater as an event center
- Zero off-street parking spaces

Redevelopment and reuse of this historic icon is essential to the continued success of this unique neighborhood commercial core and offers a sense of vibrancy to the community that has been missing from the south end of this block since final closure of the theater in 1987.

The proposed building use as an event center is consistent with the Heritage Preservation Ordinance, City of Minneapolis Comprehensive Plan and the Audubon Park Neighborhood Small Area Plan. The reuse of the Hollywood Theater furthers the goals of the Comprehensive Plan which include promoting the protection and reuse of culturally significant buildings. Per the plan's policy 8.10, this project has the potential to become an example of the revitalization of an iconic

neighborhood structure, thus exemplifying the importance of preservation as it relates to the city's history, vitality and "achieving greater environmental sustainability." Specific recommendations from the small area plan include the utilization of the Hollywood Theater being used as a multi-use entertainment venue. The reuse of the Hollywood Theater as an event center more closely aligns with and helps preserve the interior of the building in a way that is more consistent with the historic use. The event center use will accommodate and encourage more public access to the interior than other uses, such as a private office space.

Preservation Design Works (PVN) is the Hollywood Theater's authorized representative for this project. Please contact us with any questions or concerns you have regarding the project. We will follow up with you via email to let you know when the date of the public hearing for the Historic Variances is set.

Sincerely,

PRESERVATION DESIGN WORKS

575 9th St SE. Ste. 215

Minneapolis, MN 55414

A handwritten signature in blue ink, appearing to read 'Meghan Elliott', with a horizontal line extending to the right.

Meghan Elliott, Principal and Founder
elliott@pvnworks.com
(612) 843-4140

A handwritten signature in black ink, appearing to read 'Casie Lee Radford', written in a cursive style.

Casie Radford, AIA, LEED AP,
Historical Architect
radford@pvnworks.com
(612) 843-4140