

LAND USE APPLICATION SUMMARY

Property Location: 1400 Park Avenue, 627 14th Street East, and 622 15th Street East
Project Name: 1400 Park Avenue Apartments
Prepared By: Lisa Steiner, Senior City Planner, (612) 673-3950
Applicant: BKV Group
Project Contact: Jeff Hemer
Request: To allow a new 6-story, 246-unit mixed-use building.
Required Applications:

Conditional Use Permit	To amend a previously approved conditional use permit for an increase in maximum height from 4 stories/56 feet to 6 stories/80 feet.
Variance	To reduce the required front yard on Park Avenue from 15 feet to 10 feet for the building, 5 feet for a retaining wall and walk-up entry, and 0 feet for planter walls.
Variance	To reduce the required front yard on 14 th Street East from 15 feet to 8 feet for the building, 4 feet for two-story bump-outs and an exhaust vent, and 0 feet for landings/patios and planter walls.
Variance	To reduce the required front yard on 15 th Street East from 15 feet to 10 feet for the building, 5 feet for a retaining wall and patio, 4 feet for two-story bump-outs, and 0 feet for landings/patios.
Variance	To increase maximum fence height in a required front yard from 4 feet to 5 feet 6 inches.
Site Plan Review	To amend a previously approved site plan for a 6-story mixed-use building.

SITE DATA

Existing Zoning	OR2 High Density Office Residence District DP Downtown Parking Overlay District
Lot Area	78,275 square feet / 1.79 acres
Ward(s)	Ward 7; adjacent to Ward 6
Neighborhood	Elliot Park
Designated Future Land Use	Urban Neighborhood
Land Use Features	Downtown Growth Center
Small Area Plan	<u>Elliot Park Neighborhood Master Plan (2003)</u>

Date Application Deemed Complete	July 25, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	September 23, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property consists of three parcels located at 1400 Park Avenue, 627 14th Street East, and 622 15th Street East. The site is bound by 14th Street East/Grant Street to the north, Park Avenue to the east, and 15th Street East to the south. A two-story brick building, a large surface parking lot, and a duplex are currently located on the 1.79 acre site.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The property is located in the Elliot Park neighborhood. The surrounding properties in the immediate area are mostly zoned either R6 or OR2 and include many turn-of-the-century apartment buildings which are three to four stories in height. There is some commercial zoning in the area as well. The rest of the subject block has R6 zoning and consists of 4 story multi-family residential buildings. Immediately to the west of the subject property is a surface parking lot and a locally and nationally designated landmark, the First Church of Christ Scientist, which has been vacant for many years. There is a large public right-of-way area directly north of the subject property due to the alignment of East 14th Street and Grant Street.

PROJECT DESCRIPTION. On April 11, 2016, the Planning Commission approved several land use applications to allow for the construction of a 6-story, 245-unit mixed-use building on the subject site. Shortly after the project was approved, the applicant informed CPED that a new design had been developed for the project. While several of the metrics of the project remain the same such as the floor area ratio and impervious surface area, the proposed changes triggered several new or amended land use applications and constituted a major change to the site plan requiring approval of an amended site plan by the Planning Commission.

The applicant is proposing to demolish the existing two-story brick building at the corner of 14th Street East and Park Avenue as well as the duplex at 622 15th Street East. On the site, a six-story mixed use building would be constructed. The project would include 246 dwelling units and approximately 2,500 square feet of commercial space, which would be located at the corner of 14th Street East and Park Avenue. 289 parking spaces would be accommodated in two levels of underground parking.

Height: The majority of the building height is the same as the proposal approved by the Planning Commission on April 11, 2016, (6 stories/75 feet) except the new tower elements at the northeast and southeast corners of the building. Because these tower elements incorporate a mansard roof, height is measured to the deck line of the mansard roof of the tower elements, which are 80 feet in height. This requires an amendment to the conditional use permit to increase maximum height from 4 stories/56 feet to 6 stories/80 feet.

Front Yard Variances: While front yard variances were approved in the previous proposal, the current design has altered several elements in the 15 foot required front yards along 14th Street, 15th Street, and Park Avenue. This requires reevaluation of these variances for the additional elements located in the required front yards. This includes modified walk-up entries, an additional bump-out along 14th over the parking garage entry, a modified exhaust vent location, and a new 8 foot tall retaining wall/patio at the corner of 15th and Park.

Fence Variance: The applicant has also incorporated a new 5 foot 6 inch tall fence at the southwest corner of the site in the required front yard. Fences in a required front yard are limited to 3 feet in height or 4 feet if made of an open, decorative, ornamental fencing material. The applicant's 5 foot 6 inch tall fence in a required front yard requires a variance of maximum fence height.

Site Plan Review Amendment: Modifications to the site plan, setbacks, building design, and proposed materials have been deemed major changes to the site plan requiring Planning Commission approval of an amendment to the site plan.

RELATED APPROVALS.

Planning Case #	Application	Description	Action
<u>BZZ-7599, PL-304</u>	Rezoning Conditional Use Permit Variances (6) Site Plan Review Preliminary & Final Plat	Rezoning, conditional use permit to increase maximum height, front yard variances, interior side yard variances, impervious surface variance, floor area ratio maximum variance, site plan review, and preliminary and final plat.	Approved by the City Planning Commission <u>April 11, 2016.</u> Rezoning approved by City Council <u>May 13, 2016.</u>

PUBLIC COMMENTS. One letter of support was received from the Elliot Park Neighborhood which is included in the appendix. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum height in the OR2 District from 4 stories or 56 feet to 6 stories, 80 feet based on the following findings:

- 1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The maximum allowed height of a building in the OR2 High Density Office Residence District is 4 stories or 56 feet, whichever is less. The applicant is proposing a building that is 6 stories, 80 feet. The majority of the building height is the same as the proposal approved by the Planning Commission on April 11, 2016, aside from the tower elements at the northeast and southeast corners of the building. Because these tower elements incorporate a mansard roof, height is measured to the deck line of the mansard roof tower elements, which are at 80 feet. Therefore, the previously approved conditional use permit to increase maximum height must be amended for the updated design. The proposed 6 story/80 foot tall building will not be detrimental to or endanger the public health, safety, comfort, or general welfare provided that the development complies with all applicable building codes, life safety ordinances, and Public Works standards.

- 2. The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The property is located in a developed area with a mix of building heights and multi-family residential, commercial, and office uses. The height of surrounding buildings varies from two stories to towers which are nearly 30 stories, although the three- to four-story apartment buildings are most prevalent. Many of these surrounding properties are zoned R6, which would permit a 6-story building by-right. Diagonally across Park Avenue and 15th Street is an 18-story building.

Because the measurement of building height in the zoning code is based on the adjacent natural grade, the topography of the subject property plays an important role in the impact a building's height has in conjunction with the proposed structure's bulk and height as measured by the zoning code. The building is 80 feet in height per the zoning code definition of building height. The two tower elements are the only portions of the building that are 80 feet in height. The majority of the building is 75 feet in height as was previously approved in April 2016. The site has a significant grade change of over 9 feet, so the height of the building at the southwestern corner of the property would be only 67 feet.

The additional two stories, or 24 feet total, of height above what is typically permitted in the OR2 District is not expected to be injurious to the use and enjoyment of other property in the vicinity. It would not impede the normal and orderly development and improvement of surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site would be accessed by vehicles on 14th Street East/Grant Street. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The use is not expected to contribute to traffic congestion in the adjacent public streets. The applicant would provide 289 parking spaces in two levels of underground parking accessed from 14th Street East/Grant Street.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The subject property is located within the Downtown Growth Center land use feature. The future land use identified for this property is Urban Neighborhood. The request for increased height would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- 1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- 1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide "eyes on the street".

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

- 3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Additionally, the site is located within the boundaries of the *Elliot Park Neighborhood Master Plan*, adopted by City Council in 2003. The plan includes a number of design guidelines, including recommendations for streetscape, site development, architecture, parking, transit and pedestrian/bicycle connections. The plan “supports the idea of increased density and intensifying the mix of uses at specific nodes, which suggests that this community should examine a new scale of architecture at these locations: generally 4 story, but not to exceed 10 story buildings.” In the plan, the subject property is located within the “Residential District” of the neighborhood, which is guided to include single and multi-family housing at a scale of 2 to 4 stories. Additionally, the plan encourages the development of “new housing between Chicago and Portland Avenues and 14th Street (Elliot Park Boulevard) and 15th Street.” The subject property is located within this area.

Staff finds that the proposed 6-story building at this location, with the additional 5 foot tower elements currently proposed, meets the above applicable guidance in the small area plan and the *Minneapolis Plan for Sustainable Growth*.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of the OR2 District.

Additional Standards to Increase Maximum Height

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following factors when determining the maximum height of principal structures in office residence districts:

1. *Access to light and air of surrounding properties.*

The subject property fronts on three public streets. This provides adequate separation allowing for access to light and air for surrounding properties to the north, east, and south. The immediately adjacent properties include a vacant church along 14th Street, and a surface parking lot along 14th Street. The building would be set back 15 feet from the west property line. Increasing the height of the proposed development and adding two 5-foot tall tower elements should not impede access to light and air that the surrounding properties currently receive.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The applicant has submitted a shadow study identifying shadowing impacts at various times of year. The proposed building would contribute to some shadowing of adjacent properties. Shadowing from the proposed building would be minimal from spring to fall. In winter months, some shadowing of the nearest residential properties to the west along 14th Street and the residential properties to the northeast across Park Avenue would occur. These shadowing impacts of residential uses are anticipated to be minor. There is a solar energy system southwest of the property at 15th and Portland Avenue; however the shadow studies indicate that there will not be any shadowing impact

of this system. There are no other known solar energy systems that would be shadowed by the proposed development. The proposed tower elements with an additional 5 feet of height should not significantly increase the shadowing impact of the building.

3. *The scale and character of surrounding uses.*

The surrounding properties in the immediate area are mostly zoned either R6 or OR2 and include many turn-of-the-century apartment buildings which are three to four stories in height. The rest of the subject block has R6 zoning and consists of 4 story multi-family residential buildings. In the R6 District, six stories would be permitted by-right. Diagonally across Park Avenue and 15th Street is an 18-story building and within a few blocks there are residential towers that are nearly 30 stories in height.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

Immediately to the west of the subject property is a locally and nationally designated landmark, the First Church of Christ Scientist, which has been vacant for many years. The proposed building may block views of the landmark from Park Avenue. However, the impact to these views is primarily due to the proposed development of the existing surface parking lot area and is not significantly impacted by the additional two stories of height that is requested. There are no significant open spaces or water bodies that would be impacted. The additional tower elements would not impair views.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the required front yards along Park Avenue, 14th Street East, and 15th Street East based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Park Avenue, 14th Street East, and 15th Street East: The applicant is seeking variances to reduce the front yard setbacks along Park, 14th, and 15th. In office residence districts, uses are subject to a 15 foot minimum front yard. Along all three streets, the applicant is proposing to construct the majority of the building wall 10 feet from the property line. On 14th, a 30-foot portion of the façade extends to 8 feet from the property line on floors 2-5 and two bump-outs project to 4 feet from the property line on floors 1 and 2. An exhaust vent is also located 4 feet from the property line on 14th Street. On 15th Street, several bump-outs project to 4 feet from the property line on floors 1 and 2. Additionally, the variance request includes permitting various obstructions such as landings/patios for the walk-up units and planter walls in all three required yards. Wrapping the corner of 15th and Park is a newly proposed 8 foot tall retaining wall located 5 feet from both front property lines which is also part of the variance request.

The *Elliot Park Neighborhood Master Plan* recommends that “in most cases, new construction projects should place buildings close to the street (along edge of walk), matching existing building setbacks to provide continuity and encourage visual and physical interaction between building uses, sidewalk and street.” Further, the small area plan recommends that “new buildings should be constructed within six feet of the street property or right-of-way line and should extend as long as practical to define and contain space at the street's edge.” The adjacent vacant church property has a 16 foot setback for the building with walls and steps between the building and front lot line. All of the existing

apartment buildings on the subject block are built directly at their front property lines with no setback. The policy recommendations and the existing context of building placement in this location contribute to unique circumstances that have not been created by the applicant. Staff recommends approval of the building wall placement and bump-outs proposed as well as the walk-up entries, exhaust vent, and planter walls.

However, the proposed 8 foot retaining wall wrapping the corner of 15th and Park negatively impacts the pedestrian realm as the height of the wall is not of a pedestrian scale and contributes to a blank, inactive wall. This is a highly visible corner of the building and the wall prevents natural surveillance and observation of public spaces. Staff therefore recommends that the opaque retaining wall be limited to a maximum height of 4 feet at the corner. Acknowledging that the applicant wishes to provide a patio area for the southeast corner unit, an open decorative fence may top the 4 foot wall at the corner, as has been designed for the portions of the wall further from the corner.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Park Avenue, 14th Street East, and 15th Street East: The planter walls vary and step up in height from 2 feet to 6 feet from the adjacent grade. The patios/landings for the walk-ups along 15th, Park, and 14th are approximately 100 square feet in area. As noted above, the small area plan recommends matching existing building setbacks and placing buildings close to the street. The *Minneapolis Plan for Sustainable Growth* also recommends that buildings reinforce the street wall. The proposed building placement along the three streets is reasonable and the proposed patios/landings for the first level walk-ups and planter walls are reasonably located as they will reinforce the street wall. The proposal is generally in keeping with the spirit and intent of the ordinance and the comprehensive plan.

However, the height of the proposed 8 foot retaining wall at the corner of 15th and Park is not reasonable and will not be in keeping with the spirit and intent of the ordinance and the comprehensive plan. At 8 feet high, the retaining wall is not of a pedestrian scale. The retaining wall contributes to a long blank, inactive wall, which would negatively impact the pedestrian experience and natural surveillance at this prominent corner of the site. The goal of the *Elliot Park Neighborhood Master Plan Design Guidelines* for streetscapes is “to foster a safe and interesting public realm to invite pedestrian activity.” While staff recommends approval of the location of the wall 5 feet from the property line, the opaque retaining wall shall be limited to 4 feet in height. An open decorative fence may top the retaining wall if desired. This condition will allow for the street wall to be reinforced while also allowing for greater opportunities for natural surveillance and visibility and therefore fostering a safe public realm.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Park Avenue, 14th Street East, and 15th Street East: The reduced front yard setbacks for the building placement, two-story bump-outs, exhaust vent, walk-up entries, and planter walls along the three streets will not alter the essential character of the locality or be injurious to the use or enjoyment of nearby property. The proposed setbacks will help reinforce the street wall at a pedestrian scale level in an area where multi-family buildings were historically built at their front lot lines. The variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

However, the proposed 8 foot retaining wall at the corner of 15th and Park will alter the essential character and will be injurious as it would negatively impact the pedestrian experience at a highly

visible corner of the site. Pedestrian scale features and amenities contribute to the feeling of safety and security for pedestrians utilizing the property and nearby properties and public right-of-way. Therefore, staff recommends a condition of approval limiting the height of the opaque retaining wall to a pedestrian scale as discussed above to allow for natural surveillance and observation of the public realm.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the maximum fence height based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is proposing a 5 foot 6 inch tall open decorative fence in the required front yard along East 15th Street. Fences in a required front yard are limited to 3 feet in height, which can be increased to 4 feet if constructed of an open, decorative material. There are no practical difficulties in complying with the maximum fence height of 4 feet. There are no unique circumstances necessitating the 5 foot 6 inch fall fence.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The purpose of regulating fence location and height is to promote the public health, safety, and welfare, encourage an aesthetic environment, and allow for privacy while maintaining access to light and air. The fence height regulations acknowledge that fences in front yards may be desired but limits them to 3 feet, or 4 feet if open and decorative, to limit the impact of the fence for both the subject and neighboring properties.

The applicant indicates that the purpose of the fence is to provide privacy and security for the units in the southwestern corner of the building. While staff acknowledges the desire for a fence in this location, staff does not find that exceeding the maximum height of a fence is reasonable or necessary to achieve the objective stated by the applicant. A 4 foot tall open decorative fence would reasonably delineate between public and private space and thus provide adequate security.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

While walk-up units, stoops, and similar entry features are common in the surrounding area, tall fences in front yards are not. The surrounding area has a fairly uniform built environment and this will be negatively impacted by a fence exceeding the maximum height in a required front yard. The variance will alter the essential character of the area and therefore may be injurious to the use and enjoyment of other property. The variance would not be detrimental to the health, safety, or welfare of the general public.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.**BUILDING PLACEMENT AND DESIGN****Building placement – Meets requirements**

- The first floor of a building is required to be within 8 feet of the front lot line except where a greater yard is required. There is a 15 foot required yard along all three streets. The majority of the building is located ten feet from the front lot lines on Park, 14th, and 15th. Variances have been requested and are being recommended for approval with conditions as analyzed above.
- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation. Staff is recommending a condition of approval related to the retaining wall at the corner of 15th and Park which will allow for greater natural surveillance and visibility at that corner.
- The area between the building and lot line includes amenities such as landscaping planters, walk-up unit stairs and patios, and tables at the corner of 14th and Park.
- All on-site accessory parking is located entirely within an enclosed structure and partially below grade. Due to the grade changes on the site, approximately 6 feet of the parking garage would be above grade along most of the Park Avenue and 14th Street residential portions of the building, as well as about half of the 15th Street elevation.

Principal entrances – Meets requirements

- The building is oriented so that at least one principal entrance faces the front property line. The subject property has three front yards. The main entry into the commercial space at the northeast corner is a vestibule area with an entrance facing 14th Street/Grant Street. Another entrance for the residential units is located on 15th Street East. Additionally, there are individual walk-up entries to the first floor units along all three streets.
- All principal entrances are clearly defined and emphasized through the use of architectural features such as canopies.

Visual interest – Requires alternative compliance

- The building walls provide architectural detail and contain windows in order to create visual interest.
- The proposed building emphasizes architectural elements, such as recesses, projections, windows, and walk-up entries to divide the building into smaller identifiable sections.
- There are blank, uninterrupted walls exceeding 25 feet in length, including a 56 foot blank wall on the east elevation, a 34 foot blank wall on the north elevation, and a 40 foot blank wall on the west elevation. These require alternative compliance. Alternative compliance was previously granted for the 40 foot blank wall on the west elevation. The other blank walls are new or modified in this proposal and must be evaluated.

Exterior materials – Requires alternative compliance

- The applicant is proposing face brick, fiber cement siding, and metal panel as the building's primary exterior materials. Each elevation would generally comply with the City's durability standards for exterior materials (see Table 1), although the west and south elevations exceed the recommended percentage of fiber cement siding utilized. Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review. In addition, the application is consistent with the City's policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials. (See *Guide to Exterior*

Building Walls and Materials.) However, the proposal incorporates more fiber cement siding than recommended on the south and west elevations based on the calculations submitted by the applicant. This requires alternative compliance.

- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Table 1. Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West
Brick (face)	100%	28%	25%	25%	17%
Glass	100%	32%	32%	35%	35%
Metal Panel	75%	6%	5%	16%	8%
Fiber Cement Siding	30%	30%	33%	17%	34%

Windows – Meets requirements

- For residential uses, the zoning code requires that no less than 20 percent of the walls on the first floor, and no less than ten percent of the walls on each floor above the first that face a public street shall be windows. The project is in compliance with the minimum window requirement on the Park Avenue and 15th Street East elevations but is not in compliance on the 14th Street East elevations (see Table 3). This elevation requires alternative compliance. Alternative compliance was considered for this elevation in the previous land use approval from April 2016 and was granted with the following condition of approval: “At least 256 square feet of transparency shall be incorporated in the residential portion of the north elevation. Transparency within garage or pedestrian doors may be utilized towards this requirement.” The current proposal meets this condition of approval as there is 204 square feet of windows on the residential portion of the north elevation and an additional 125 square feet of transparency in the pedestrian door and garage doors.
- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. The project is in compliance with the minimum nonresidential window area requirement (see Table 2). However, because the applicant has not indicated the visual light transmittance of the proposed glass in the nonresidential portion of the building, staff recommends a condition of approval which ensures that the glass will meet that requirement.
- All windows are vertical in proportion and are evenly distributed along the building walls.

Table 2. Percentage of Windows per Applicable Elevation

	Code Requirement	Proposed		
Residential Uses				
Park: 1st floor	20% minimum	288 sq. ft.	30%	426 sq. ft.
Park: 2nd floor and above	10% minimum	Varies	Varies – meets requirements	
14 th Street: 1 st floor	20% minimum	256 sq. ft.	16%	204 sq. ft. windows, 125 sq. ft. additional transparency
14 th Street: 2nd floor and above	10% minimum	Varies	Varies – meets requirements	
15 th Street: 1 st floor	20% minimum	448 sq. ft.	41%	923 sq. ft.
15 th Street: 2nd floor and above	10% minimum	Varies	Varies – meets requirements	
Nonresidential Uses				

Park: 1 st floor	30% minimum	120 sq. ft.	50%	202 sq. ft.
14 th Street: 1 st floor	30% minimum	162 sq. ft.	70%	380 sq. ft.

Ground floor active functions – Meets requirements

- All of the first floor building frontages facing Park Avenue, 14th Street East, and 15th Street East contain active functions.

Roof line – Meets requirements

- The principal roof line of the building will be flat, which is similar to that of surrounding buildings.

Parking garages – Meets requirements

- All of the proposed parking is located enclosed within the building and partially below ground.
- Although portions of the garage are above grade, the parking garage does not qualify as a story and therefore is not subject to typical ground floor window requirements and active use requirements.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities.

Transit access – Meets requirements

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses.
- Curb cuts have been consolidated. Five existing curb cuts would be closed and the site would be accessed by one new curb cut at the northwest portion of the site.
- There are no public alleys adjacent to the site.
- Service vehicle access would not conflict with pedestrian traffic. The applicant is proposing a loading zone on the first level of the parking garage. Potential on-street loading areas may also be incorporated but must be approved by Public Works.
- The proposed site plan exceeds the impervious surface coverage maximum in the OR2 District. A variance was requested and approved in the previous land use applications approved in April 2016. There are no changes to impervious surface area in the current proposal.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 5,029 square feet of landscaping on site, or approximately 30 percent of the site not occupied by buildings (see Table 3). Most of this landscaping is located in planters along the walk-up entries and in the stepped retaining wall planters along Park Avenue.

- The tree requirement for the site is 7 canopy trees and the applicant is proposing a total of 5 canopy trees on site. Additionally, the applicant is proposing 21 canopy trees in the adjacent public right-of-way. However, because these are not on the actual property, alternative compliance is still required.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 33 and the applicant is proposing 212 shrubs.
- The remainder of the required landscaped area is covered with perennials, shrubs and other trees.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	78,275 sq. ft.
Building Footprint	--	61,722 sq. ft.
Remaining Lot Area	--	16,553 sq. ft.
Landscaping Required	3,311 sq. ft.	5,029 sq. ft.
Canopy Trees (1:500 sq. ft.)	7 canopy trees	5 canopy trees
Shrubs (1:100 sq. ft.)	33 shrubs	212 shrubs

Parking and loading landscaping and screening – Meets requirements

- There is no surface parking proposed for the site, so the site is not subject to the screening and landscaping requirements for parking areas per section 530.170.
- Information included in the landscape plan indicates that the plant materials, and installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code.
- All other areas not occupied by buildings, parking and loading facilities, or driveways would be covered with grasses, perennials, shrubs, and trees.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – Not applicable

- There are no surface parking spaces proposed on the site.

Site context – Meets requirements

- Immediately to the west of the subject property is a locally and nationally designated landmark, the First Church of Christ Scientist, which has been vacant for many years. The proposed building may block views of the landmark from Park Avenue. However, the impact to these views is primarily due to the proposed development of the existing surface parking lot area. There are no significant open spaces or water bodies that would be impacted. There are no other elements of the city near the site that will be obstructed by the proposed building. The additional tower elements and other changes to the design will not impact views.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – Meets requirements with Conditions of Approval

- With the recommended condition of approval of the variance related to the retaining wall at the corner of 15th and Park, the site plan employs best practices to increase natural surveillance and

visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.

- With the recommended condition of approval of the variance related to the retaining wall at the corner of 15th and Park, the proposed site, landscaping, and building promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The project provides lighting on site, at all building entrances, and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- The landscaping, sidewalks, lighting, fencing, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, fencing, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – Meets requirements

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is permitted in the OR2 District.

Off-street Parking and Loading – Meets requirements

- The restaurant use does not have a parking requirement as it is less than 4,000 square feet in area and is located within the DP Downtown Parking Overlay District. The site qualifies for the transit incentive outlined in Section 541.200 of the zoning code which reduces the typical 246 space residential minimum parking requirement by fifty percent to 123 spaces. The total minimum parking requirement is therefore 123 spaces (see Table 5).
- The minimum bicycle parking requirement is three spaces for the restaurant use and 123 spaces for the dwelling units. The applicant is providing 126 spaces for the residential units in the underground parking garage. Ten bicycle parking spaces would be available on the northeast corner of the site for the commercial use. These spaces would be in the public right-of-way, not on the property, and will require an encroachment permit from Public Works (see Table 6).
- The off-street loading requirement for the residential use is one small loading space. There is not a loading requirement for the commercial use. The applicant is providing one small loading space on the first level of the parking garage. This space would be utilized for move in and move out purposes (see Table 7).

Table 5. Vehicle Parking Requirements Per Use (Chapter 54I)

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
Restaurant, sit down	7	DP Overlay (7 spaces)	0	38	0
Residential Dwellings	246	Transit Incentives (123)	123	418	289
	253	130	123	456	289

Table 6. Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Short-Term	Long-Term	Proposed
Restaurant, sit down	3	Not less than 50%	--	10 (in public right-of-way)
Residential Dwellings	123	--	Not less than 90%	126
	126	--	--	136

Table 7. Loading Requirements (Chapter 541)

Use	Loading Requirement	Minimum Requirement	Proposed
Restaurant, sit down	Low	None	None
Residential Dwellings	None	One small	One small

Building Bulk and Height – Requires conditional use permit

- The applicant has requested a conditional use permit to increase the height of the building from 4 stories or 56 feet to six stories, 80 feet. A conditional use permit to increase maximum height to 6 stories/75 feet was previously approved in April 2016. Also at that time, a variance of the maximum floor area ratio was requested and approved from 3.0 to 3.42. The current proposal has the same floor area ratio as was previously approved. (See Table 8.)

Table 8. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	78,275 sq. ft. / 1.79 acres
Gross Floor Area	--	267,326 sq. ft.
Floor Area Ratio (Maximum)	3.0	3.42
Building Height (Maximum)	4 stories or 56 feet, whichever is less	6 stories/80 feet

Lot Requirements – Meets requirements

- The lot is covered with 92 percent impervious surfaces. A variance of the maximum impervious surface area was requested and approved with the land use application in April 2016. The current proposal has no change in the impervious surface area. The lot coverage, which does not include the courtyard area in the calculation, complies with the requirement (see Table 9).

Table 9. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	246 DUs
Density (DU/acre)	--	137 DU/acre
Impervious Surface Area (Maximum)	85%	92%
Lot Coverage (Maximum)	70%	59%

Yard Requirements – Requires variance(s)

- The previous proposal required variances of the front yards along Park Avenue, 14th Street, and 15th Street, as well as a variance of the west interior side yard. While front yard variances were approved in the previous proposal, the current design has altered several elements in the 15 foot required front yards along 14th Street, 15th Street, and Park Avenue. This requires reevaluation of these variances for the additional elements located in the required front yards. This includes modified walk-up entries, an additional floor area bump-out along 14th, a relocated exhaust vent, and a new 8 foot tall retaining wall/patio at the corner of 15th and Park. The interior side yard has not been modified since the previous approval and does not require reevaluation.

Signs – Meets requirements

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.

Screening of Mechanical Equipment – Meets requirements

- The applicant is proposing individual HVAC units for each dwelling unit which the applicant indicates have been designed with the intent that they appear as an integral part of the structure. The applicant has indicated on their plans that the louvers would be painted to match the adjacent wall material. Staff also encourages the applicant to locate these units, wherever possible, on portions of the building that are perpendicular to the public street in order to minimize their visibility.
- No rooftop mechanical equipment is shown on the plans submitted; any additional mechanical equipment shall be required to comply with the standards above.

Refuse Screening – Meets requirements

- All refuse and recycling storage containers are located within the building.

Lighting – Meets requirements

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code. The applicant is proposing several lighting fixtures throughout the site. The information submitted in the application indicates that the proposed lighting plan meets the standards listed above.

Fences – Requires variance(s)

- Fences must comply with the requirements in Chapter 535. The applicant is proposing a 6 foot tall ornamental fence along the west side interior property line. This height is permitted because the adjoining properties have maintained a minimum interior side yard of at least 5 feet. This fence location complies with the required 15 foot front yards on both 14th Street East and 15th Street East. This fence was part of the previous proposal as well.
- Since the previous proposal, the applicant has incorporated a new 5 foot 6 inch tall fence in the required front yard along 15th Street East. This fence height requires a variance and is recommended for denial as analyzed above.

Specific Development Standards – Not applicable

DP Downtown Parking Overlay District Standards – Meets requirements

- The proposal is in compliance with the DP Downtown Parking Overlay District standards.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as Urban Neighborhood on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- 1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

- 3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

- 10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.
- 10.1.3 Building placement should allow light and air into the site and surrounding properties.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

- 10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.
- 10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.
- 10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.
- 10.2.4 Integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street.

- 10.2.8 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

- 10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.
- 10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city's existing housing stock.

Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

- 10.5.3 Large-scale, high-rise, multi-family residential development is more appropriate in the Downtown Minneapolis Growth Center.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.
- 10.6.6 Integrate transit facilities and bicycle parking amenities into the site design.

Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.

- 10.9.1 Encourage both mixed-use buildings and a mix of uses in separate buildings where appropriate.
- 10.9.2 Promote building and site design that delineates between public and private spaces
- 10.9.4 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

- 10.1.1 Concentrate the tallest buildings in the Downtown core.

- 10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.
- 10.1.3 Building placement should allow light and air into the site and surrounding properties.

CPED finds that with the recommended conditions of approval, the proposed development is in conformance with the above policies of *The Minneapolis Plan for Sustainable Growth*.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of the *Elliot Park Neighborhood Master Plan*, adopted by the City Council in 2003. The plan includes a number of design guidelines, including recommendations for streetscape, site development, architecture, parking, transit and pedestrian/bicycle connections. The design guidelines recommend that new buildings be placed close to the street and match existing setbacks in the area to provide continuity and to encourage visual and physical interaction between the building and the street. Streetscape design guidelines note the importance of landscaping, walls, and fences to delineate between public and private space.

The design guidelines in the neighborhood master plan note the following in regards to building materials:

- Future buildings should employ materials of high quality, durability, and character, taking into account the balance of life-cycle costs with first costs of the material
- Glass, steel and masonry are encouraged - plastics and aluminum are discouraged except in limited applications

Staff finds that the proposal, with the recommended conditions of approval, meets the applicable guidance in the small area plan.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Visual interest.** There are blank, uninterrupted walls exceeding 25 feet in length, including a 40 foot blank wall on the west elevation, a 56 foot blank wall on the east elevation, and a 34 foot blank wall on the north elevation:
 - The 40 foot blank wall on the west elevation was previously granted alternative compliance in April 2016 due to its limited public visibility, and the wall has not significantly changed since that proposal, so staff recommends again granting alternative compliance for this wall.
 - A 56 foot blank wall is proposed on the east elevation; the retaining wall creating this blank wall has been evaluated in the variance section above and the height of the opaque wall is recommended to be reduced to 4 feet. Several shrubs and an ornamental tree are proposed between the public sidewalk and the blank wall. With the recommended condition of approval for the variance and the landscaping that is proposed between the wall and the public sidewalk, staff finds that the negative impact would be adequately mitigated and recommends granting alternative compliance. A condition of approval should be added ensuring the landscaping proposed will be incorporated in final plans.
 - A 34 foot blank wall is proposed on the north elevation between the garage entry and a walk-up entry. This is the location of the exhaust vent for the parking garage. Two

ornamental trees and twelve shrubs are proposed in this area. Staff recommends granting alternative compliance with the condition that this area be landscaped as shown on the submitted plans.

- **Exterior materials.** The proposal incorporates more fiber cement siding than recommended on the south and west elevations based on the calculations submitted by the applicant. The *Elliot Park Neighborhood Master Plan* design guidelines note that buildings should “materials of high quality, durability, and character, taking into account the balance of life-cycle costs with first costs of the material.” The restriction of fiber cement siding to 30 percent of an elevation is due to the lower quality nature of the material compared to more durable materials such as masonry or stone, which would be permitted to cover 100 percent of an elevation. Staff does not recommend granting alternative compliance for this standard as the alternative does not meet the intent of the site plan review chapter and does not mitigate the negative impact with any additional amenities. Staff therefore recommends a condition of approval that the south and west elevations shall incorporate no more than 30 percent fiber cement siding.
- **General landscaping and screening: canopy trees.** The tree requirement for the site is 7 canopy trees and the applicant is proposing a total of 5 canopy trees on site. This received alternative compliance in April 2016. The applicant is proposing 21 additional canopy trees in the adjacent public right-of-way. However, because these are not on the actual property, alternative compliance is still required. Considering the additional trees proposed in the public right-of-way, as well as the proposal’s incorporation of 179 shrubs in excess of their requirement, staff finds that the alternative meets the intent of the requirement and recommends granting alternative compliance.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by BKV Group for the properties located at 1400 Park Avenue, 627 14th Street East, and 622 15th Street East:

A. Conditional Use Permit to increase height from 4 stories or 56 feet to 6 stories, 80 feet in the OR2 District.

Recommended motion: **Approve** the application for an increase in maximum height, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

B. Variance of the required front yard on Park Avenue.

Recommended motion: **Approve** the application for a variance of the required front yard on Park Avenue from 15 feet to 10 feet for the building, 5 feet for a retaining wall and walk-up entry, and 0 feet for planter walls, subject to the following condition:

- I. The opaque retaining wall shall be limited to 4 feet in height. An open decorative fence may top the retaining wall if desired.

C. Variance of the required front yard on 14th Street East.

Recommended motion: **Approve** the application for a variance of the required front yard on 14th Street East from 15 feet to 8 feet for the building, 4 feet for two-story bump-outs and an exhaust vent, and 0 feet for landings/patios and planter walls.

D. Variance of the required front yard on 15th Street East.

Recommended motion: **Approve** the application for a variance of the required front yard on 15th Street East from 15 feet to 10 feet for the building, 5 feet for a retaining wall and patio, 4 feet for two-story bump-outs, and 0 feet for landings/patios, subject to the following condition:

1. The opaque retaining wall shall be limited to 4 feet in height. An open decorative fence may top the retaining wall if desired.

E. Variance to increase maximum fence height.

Recommended motion: **Deny** the application for an increase in maximum fence height for a 5 foot 6 inch fence in a required front yard.

F. Site Plan Review.

Recommended motion: **Approve** the application for a new six-story, 246-unit mixed-use building, subject to the following conditions:

1. All site improvements shall be completed by August 29, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. The plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.
4. The first floor windows of the nonresidential portion of the building shall have clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher.
5. The south and west elevations shall incorporate no more than 30 percent fiber cement siding.
6. The blank walls along the east and north elevations shall be mitigated with the landscaping shown on submitted plans.

ATTACHMENTS

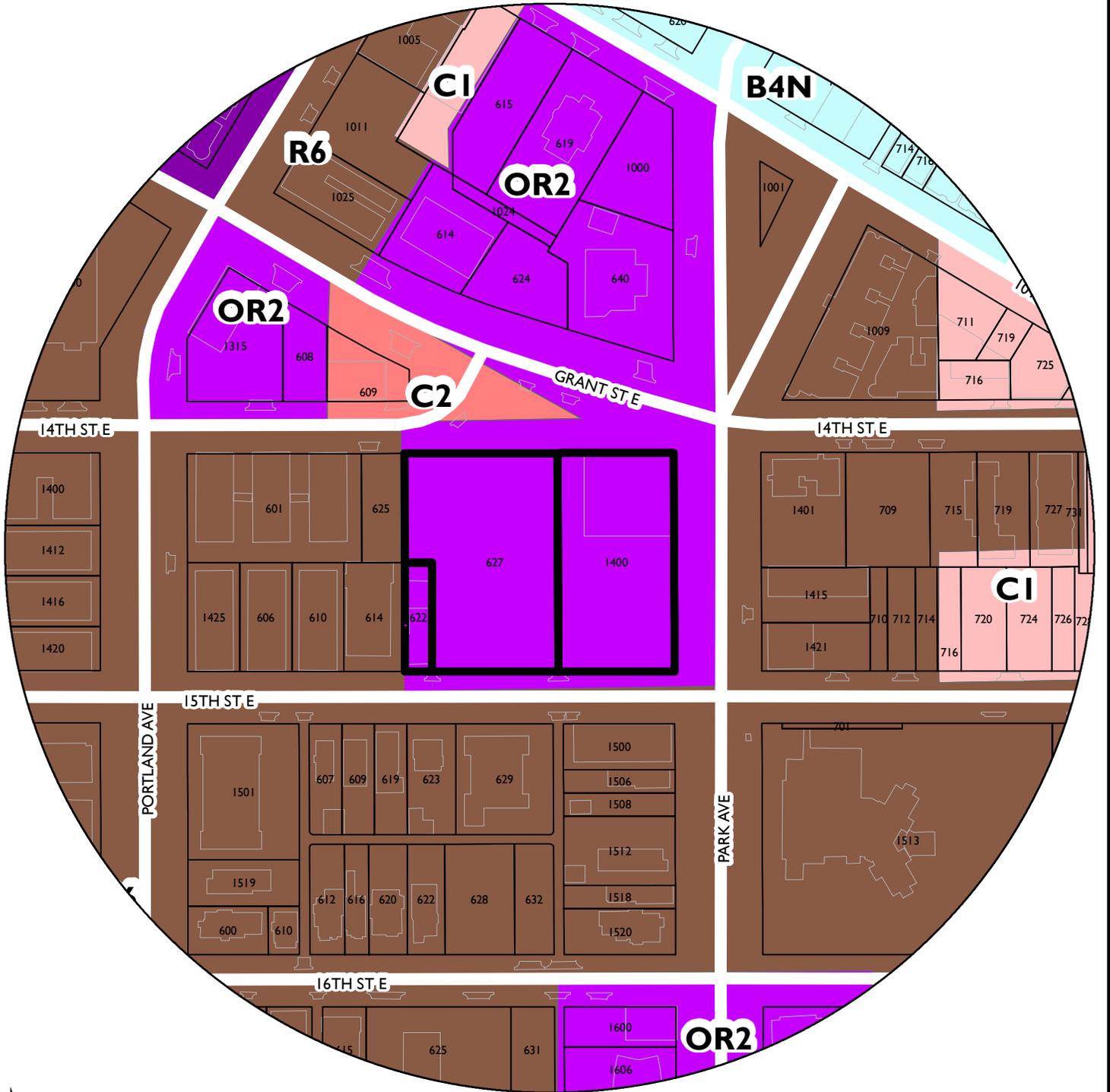
1. Zoning map
2. Aerial photos
3. Written description and findings submitted by applicant
4. Renderings
5. Plans
6. Building elevations
7. PDR report
8. Public comments

BKV Group

7th

NAME OF APPLICANT

WARD

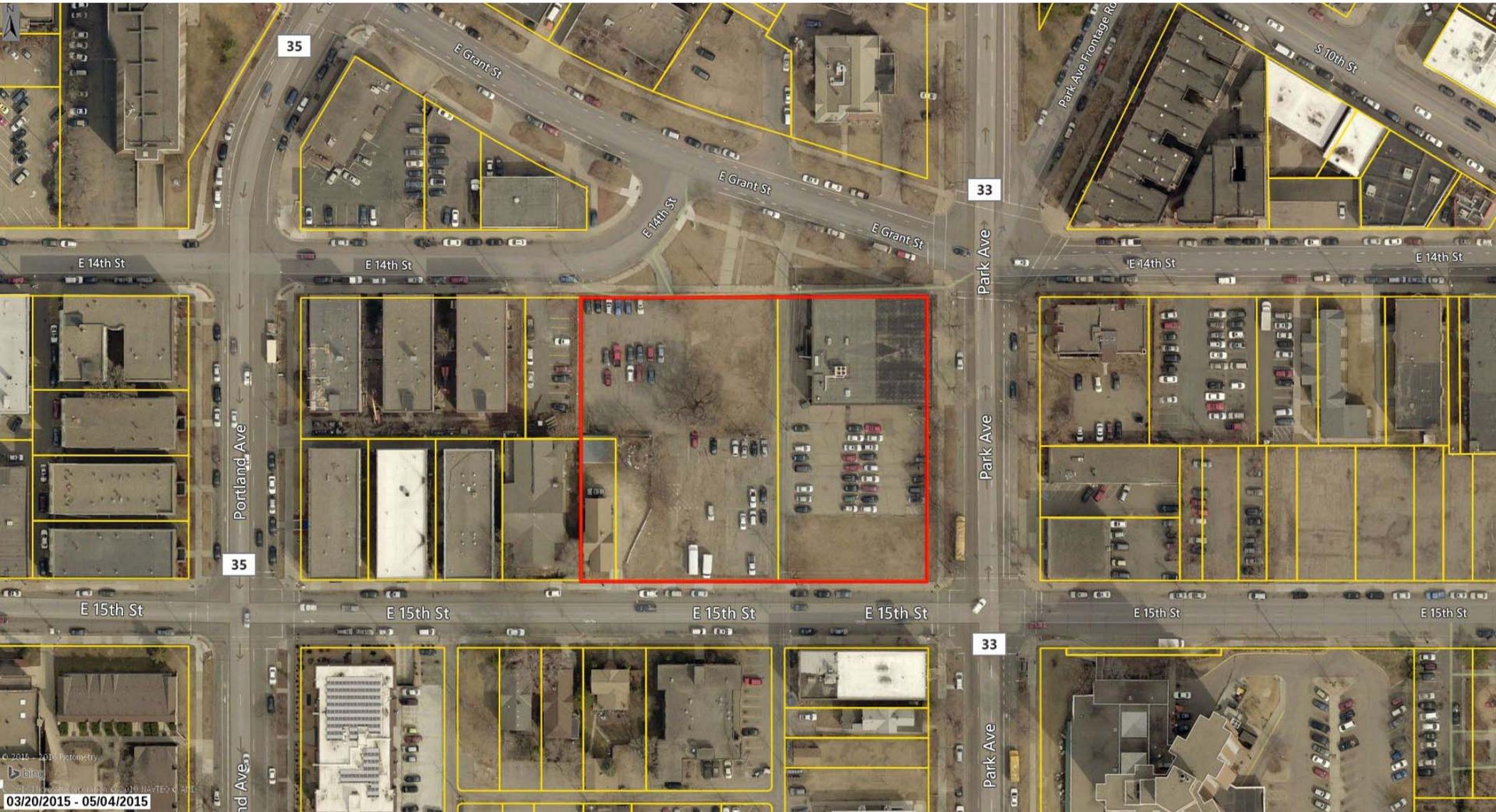


PROPERTY ADDRESS

1400 Park Avenue, 627 14th Street East, and 622 15th Street East

FILE NUMBER

BZZ-7800





04/01/2015

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1400 Park Avenue Apartments LLC.

Land use Application for 1400 Park Ave. Apartments.

Date: February 19, 2016, RESUBMITTAL JULY 1, 2016



BKV
GROUP

BKV Group, Inc.
Architecture
Interior Design
Landscape Architecture
Engineering

222 North Second Street
Minneapolis, Minnesota 55401
www.bkvgroup.com

7. PROJECT NARRATIVE

The project site for the proposed 1400 Park Avenue Apartments is bounded by 14th Street E and Grant Street on the north, Park Avenue on the east, and 15th Street E on the south. The properties to the west contain a parking lot on the north end (facing 14th street E) and an existing church that has a historic resource designation on the south (facing 15th Street E.). The site is currently occupied by a 2-story brick office building (1400 Park Ave), a parking lot (627 14th Street E), and a single family home (622 15th Street E). The proposed project is an infill, dense urban development that will include mostly residential units, plus a small area of commercial/retail space. This use is consistent with the OR2 and R6 zoning of the site and with the adjacent residential and retail uses. The existing 2-story building at 1400 Park Ave. and the single family home on 622 15th St. are proposed to be demolished. The property containing the existing church at 624 15th St. is also owned by the developers. This building is proposed to remain however the long range use for it not yet been determined. Some options for this property would be to rehabilitate the building for an amenity use for the housing project or raze the building to make way for a dog park and landscape garden for the housing project.

The proposed development consists of 6 stories of residential dwelling units and 2 levels of below grade parking. The main entrance, lobby, leasing offices, and common areas are located on Level-1 adjacent to Park Avenue on the east side of the site with the main entrance doors facing the intersection of Park Avenue and Grant Street. The lobby will include commercial space for a cafe that will be available to neighborhood residents as well as to residents of the building. Vehicular access to below-grade parking and the grade-level loading zone will be from the northwest corner of the site from 14th Street East. A large courtyard located at the interior of the site at Level-1 will include residential amenities such as swimming pool, spa, grilling and dining areas, landscaping, and unit patios. The building design is intended to be pedestrian friendly and consistent with the scale and architectural rhythm of the neighborhood. Walk-up entries to individual dwelling units are provided at 14th Street, 15th Street, Park Avenue, and the interior side yard. Also along Park Avenue, patios for fitness and leasing are included to provide outdoor space for these areas and to activate the street-front.

~~9. REZONING, FORM A~~

~~See attached exhibit for Rezoning Form A as Exhibit F.~~

~~10. PRELIMINARY AND FINAL PLAN~~

~~A plat drawing is enclosed as Exhibit G.~~

11. VERIFICATION OF HISTORICAL STATUS

The project site is not located in a historic district and there are no buildings on site with historic designation.

~~12. —CONDITIONAL USE PERMIT— INCREASING MAXIMUM HEIGHT REQUIRED FINDINGS~~

13. VARIANCE REQUIRED FINDING

Amend the Variance for Yard for Yard Requirements

Variance Application for Yard Requirements. The variance request previously approved by the City allows for zero feet yard under the following conditions:

- Reduce the required yard from 15 feet to 0 feet at East 15th Street, East Grant Street, and East 14th Street. As shown on the Site Plan, stairs and dwelling unit patios are located between 0 feet and 5 feet from the property line. 2-story walk-up entry “bump outs” are located in the area between 5 feet and 10 feet from the property line. The main building wall ranging in height from 5-stories to 6-stories is located 10 feet back from the property line.

The amendment to this variance would add the following description: Allow for a 2’-6” projection from the main building wall at level-2 through level-5 at 14th Street East at the west end of the building. This wall is proposed to be located 7’-6” from the property line.

The Project meets the required findings under Zoning Code § 525.500 for this variance as discussed below:

1. *The property cannot be put to reasonable use under the conditions allowed by the official controls and strict adherence to the regulations of this Zoning Ordinance would cause an undue hardship.*

The proposed setbacks of the building are reasonable uses for a multiple-family housing development in the particular urban environment of the Project site. The projecting portion is proposed to be located 7’-6” from the property line and is set 2’-6” from the main building wall at this location in the project. This projection is set between the main building wall (10’ from property line) and the 2-story bump outs (5’ from property line) where the variance request was previously approved.

Requiring strict adherence to the yard setback requirements would cause undue hardship because it would not allow these reasonable uses and desirable urban design features for the Project.

2. *The circumstances are unique to the parcel of land to which the variance is sought and have not been created by any persons presently having an interest in the property. Economic considerations alone shall not constitute an undue hardship if reasonable use of the property exists under the terms of the Ordinance.*

On 14th we have a main building setback of 10' which is less to reflect the street building context which is generally built up to the property with no setback. The proposed projected area is set 7'-6" back from the front of the buildings on the same block. As stated elsewhere we are proposing a better overall design by a form based urban approach stepping the building closer at grade and further back at the top floor

3. *The granting of the variance will be in keeping with the spirit and intent to the Ordinance and will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity.*

The proposed setbacks are in keeping with the spirit and intent of the ordinance and will not have a negative impact on the adjacent properties because they provide greater building setbacks than the other buildings within the block on 14th Street and 15th Street. On 14th and 15th street, the main building wall is set back 10' from the property line while the existing apartment buildings on the block have a zero setback. The 2-story high bump outs are located 5' back from the property line at these areas. The proposed projected area at level 2 through level-5 is set 7'-6" back from the property line. Also, the building steps back an additional 5' on level-6 for the majority of the floor level. This step at the top floor provides the 15' setback at this level.

In total, the undulating street façade provides a more dynamic and interesting design than a flat plane set back to the required 15' would provide.

4. *The proposed variance will not substantially increase the congestion of the public streets, or increase the danger of fire, or be detrimental to the public welfare or endanger public safety.*

The proposed variances will not substantially increase the congestion of the public streets or increase the danger of fire or be detrimental to public welfare or endanger public safety. The setbacks will comply with fire and building code regulations for setback of residential uses with windows from adjacent properties. The patios and bump outs will be beneficial to the public welfare and safety by providing pedestrian connections and encouraging eyes on the streets by Project residents.

Variance for 5'-0" high fence in front yard at 15th Street.

Variance Application to increase fence height in 535.420 in front yard to 5'-0". The ordinance limits the fence height to 3'-0" maximum in the front yard and allows an increase to 4'-0" maximum for fences "constructed of open, decorative, ornamental fencing materials that are less than sixty (60) percent opaque". The proposed fence design is decorative metal with vertical pickets at 4" on center and provides less than 60% opacity. The total length of fence proposed is 85' along the front yard and 15' along the front portion of the interior side yard.

1. *The property cannot be put to reasonable use under the conditions allowed by the official controls and strict adherence to the regulations of this Zoning Ordinance would cause an undue hardship.*

The proposed 5'-0" high fence will provide a needed layer of security for the outdoor patio space and secondary entrance to the unit adjacent to the sidewalk. At this location in the project, the floor level of the dwelling units is 1'-6" below the level of the sidewalk. This relationship causes an undue hardship due to a lack of privacy and visual security separation between the private space of the patio and the public

space of the sidewalk. The 5'-0" fence will provide a physical barrier for security and a partial visual screen for the patio space and dwelling unit.

2. *The circumstances are unique to the parcel of land to which the variance is sought and have not been created by any persons presently having an interest in the property. Economic considerations alone shall not constitute an undue hardship if reasonable use of the property exists under the terms of the Ordinance.*

The existing grade of the site changes approximately 6'-6" from the southwest corner to the northeast corner of the site. In order to provide a consistent first floor elevation in the building, this level is set to tie out with the grade elevation at a building entrance point approximate 90' east of the SW corner of the site. This design places the first floor approximately 1'-6" below the sidewalk elevation at the SW corner. As stated above, this grade differential necessitates the need for the 5'-0" fence.

3. *The granting of the variance will be in keeping with the spirit and intent to the Ordinance and will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity.*

The variance request proposes a 5'-0" fence which is only 1'-0" higher than what is allowed by the ordinance. This small difference in fence height for a length of 85' at the sidewalk and 15' at the interior side yard will not alter the essential character of the neighborhood.

4. *The proposed variance will not substantially increase the congestion of the public streets, or increase the danger of fire, or be detrimental to the public welfare or endanger public safety.*

The proposed increase in fence height will have no effect on traffic congestion or danger of fire. The Applicant believes that the use of unit patios and the proposed 5'-0" high security fence will increase street activity and contribute to enhancing public welfare and public safety,



EAST GRANT STREET SOUTH



EAST GRANT STREET NORTH



PORTLAND AVENUE WEST



PORTLAND AVENUE EAST



EAST 15TH STREET SOUTH



EAST 15TH STREET NORTH



PARK AVENUE WEST



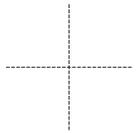
PARK AVENUE EAST

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
20160218		LAND USE SUBMITTAL
20160214		LAND USE SPECIFIC
20160103		LAND USE PRELIMINARY
20150705		LAND USE PRELIMINARY

NOT FOR
CONSTRUCTION

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

License Number	Date
DATE	07/05/2016
DRAWN BY	ADW
CHECKED BY	CHW
CONSTRUCTION NUMBER	204031

SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G101

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
 APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
20160218		LAND USE SUBMITTAL
20160314		LAND USE UPDATE
20160701		LAND USE RESUBMITTAL
20160725		LAND USE RESUBMITTAL

**NOT FOR
 CONSTRUCTION**

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

License Number	Date
DATE	07/26/2016
DRAWN BY	Author
CHECKED BY	Orsola
COMMISSION NUMBER	246421

SHEET TITLE

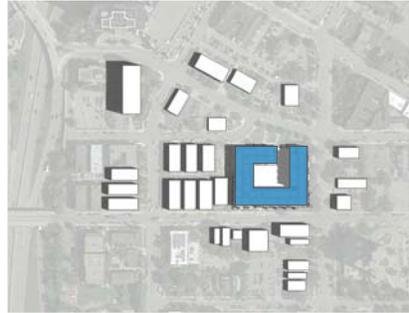
SHADOW STUDY

SHEET NUMBER

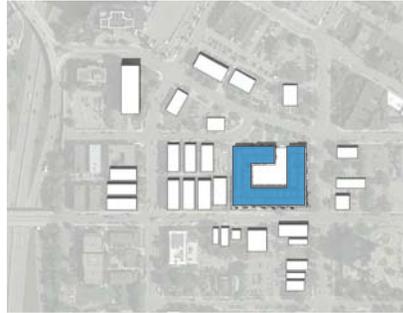
G102

JUNE 21ST

9:00 AM



12:00 PM



3:00 PM



SEPTEMBER 21ST



DECEMBER 21ST





1
0100 Perspective - Corner Park & 14th



2
0100 Perspective - Corner Park & 15th



3
0100 15 th street view



4
0100 Perspective - 14th street corner

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
20160110	20160110	LAND USE REGULATORY
20160110	20160110	LAND USE REGULATORY
20160110	20160110	LAND USE REGULATORY
20160110	20160110	LAND USE REGULATORY

NOT FOR
CONSTRUCTION

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

License Number _____ Date _____

DATE	1/20/2016
DRAWN BY	AJL
CHECKED BY	CHW
COMMISSION NUMBER	204121

SHEET TITLE

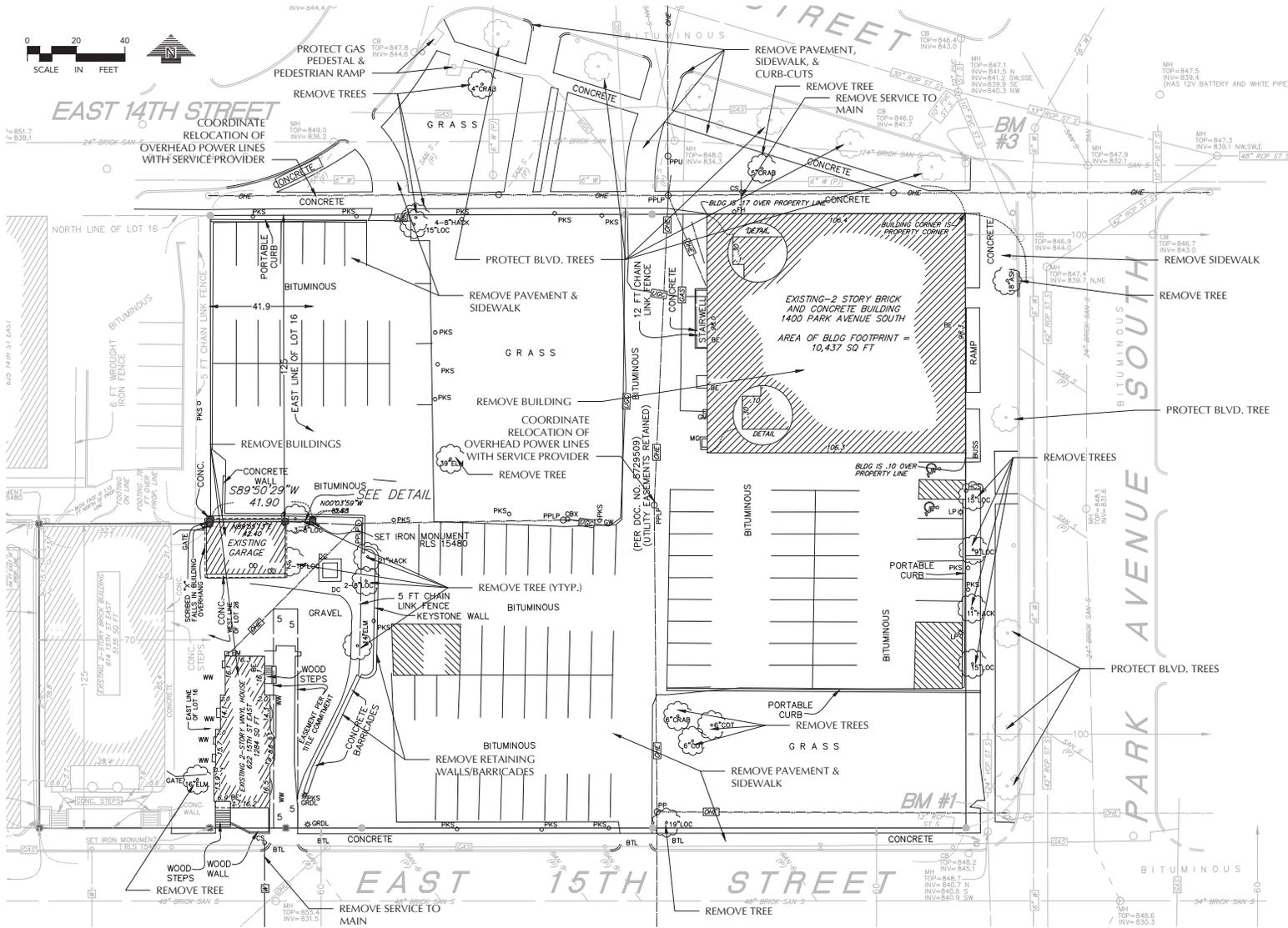
RENDERINGS

SHEET NUMBER

G103



EAST 14TH STREET
COORDINATE
RELOCATION OF
OVERHEAD POWER LINES
WITH SERVICE PROVIDER



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SUBMITTAL/REVISIONS

10.30.15	CITY SUBMITTAL
11.15.15	JOB SUBMITTAL
12.15.15	LAND USE SUBMITTAL
07.01.16	REVISED LAND USE APP.
07.01.16	REVISED PLAN, SPECIFICATIONS, PREVENTION PLAN, SWPPP
07.01.16	REVISED HANDBOOK

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QUALITY CONTROL

License No.	45681
Date	1-15-16
Projects Project No.	15301
Project Lead	NMM
Drawn By	TRG
Checked By	NMM
Review Date	1-15-16

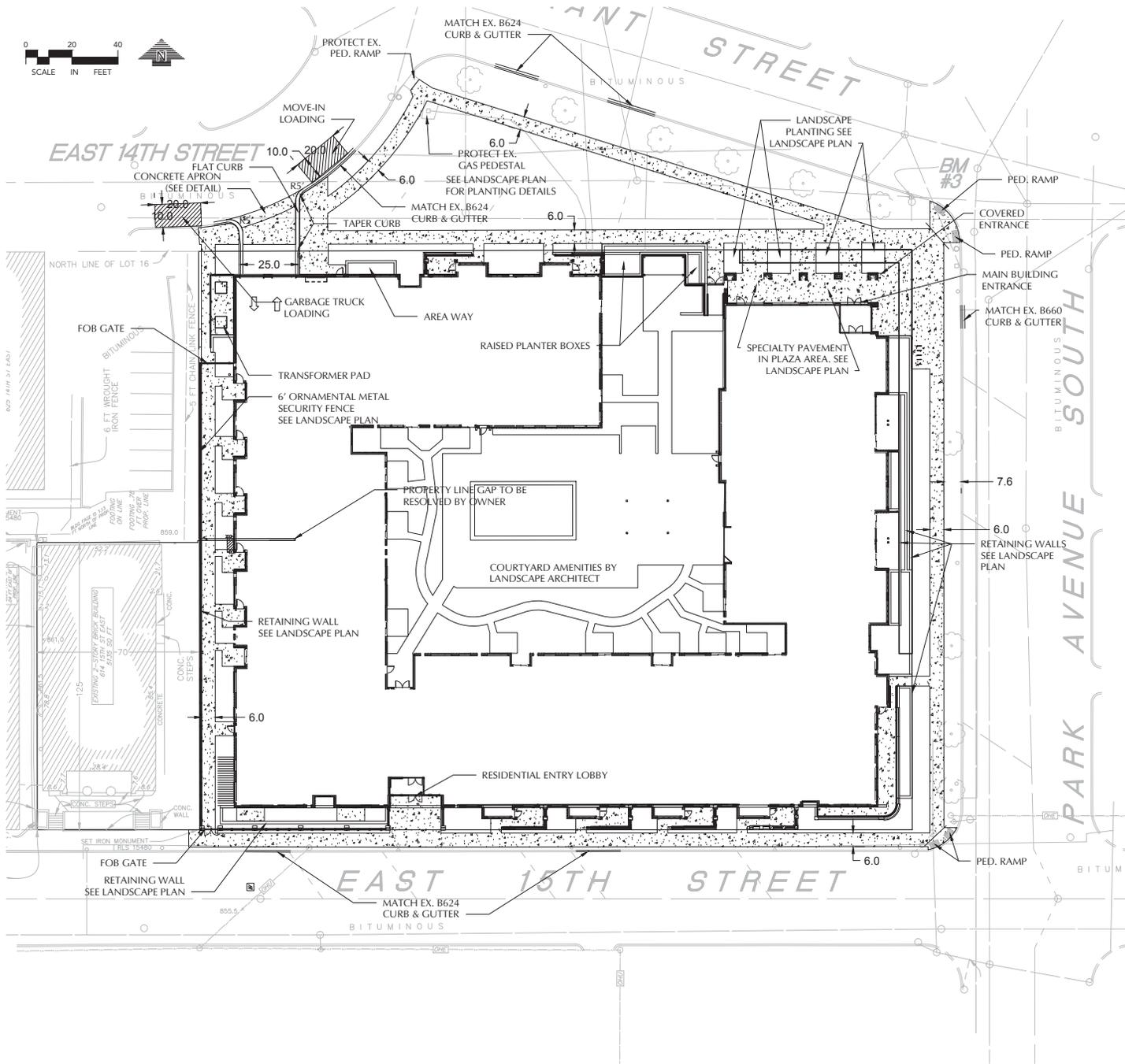
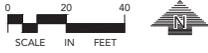
SHEET INDEX

C1.1	DEMOLITION PLAN
C1.2	DEMOLITION PLAN
C1.3	GRADING & DRAINAGE PLAN
C1.4	LANDSCAPE ARCHITECTURE
C1.5	STORM WATER POLLUTION PREVENTION PLAN
C1.6	STORM WATER POLLUTION PREVENTION PLAN
C1.7	STORM WATER POLLUTION PREVENTION PLAN
C1.8	STORM WATER POLLUTION PREVENTION PLAN
C1.9	STORM WATER POLLUTION PREVENTION PLAN
C1.10	STORM WATER POLLUTION PREVENTION PLAN

SITE DEMOLITION NOTES

- CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
- CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.
- CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS, STRIP TOP SOIL, AND STOCKPILE ON-SITE. REFER TO GRADING PLAN AND SWPPP FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.
- CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.

DEMOLITION PLAN
C1-2



- SITE NOTES**
1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS AND STATISTICAL JURISDICTION REQUIREMENTS.
 2. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL STATE REQUIREMENTS.
 3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
 5. TYPICAL FULL SIZED PARKING STALL IS 9' X 18' UNLESS OTHERWISE NOTED.
 6. ALL CURB RADI SHALL BE 5.0' UNLESS OTHERWISE NOTED.
 7. BITUMINOUS IMPREGATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
 8. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.
 9. ADA PEDESTRIAN RAMPS TO BE BUILT "ACCESSIBLE PEDESTRIAN SIGNAL" READY.
 10. ANY CURRENTLY DEFECTIVE SIDEWALKS OR OTHER CONCRETE INFRASTRUCTURE DAMAGED DURING CONSTRUCTION, MUST BE REMOVED AND REPLACED.

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SUBMITTAL/REVISIONS

DATE	DESCRIPTION
10.20.15	CITY SUBMITTAL
11.16.15	FOR SUBMITTAL
12.10.15	LAND USE SUBMITTAL
07.01.16	REVISED LAND USE APP.
11.04.16	REVISIONS TO LAND USE APP.

PROFESSIONAL SIGNATURE

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License No. 43561
Date 1-15-16

QUALITY CONTROL

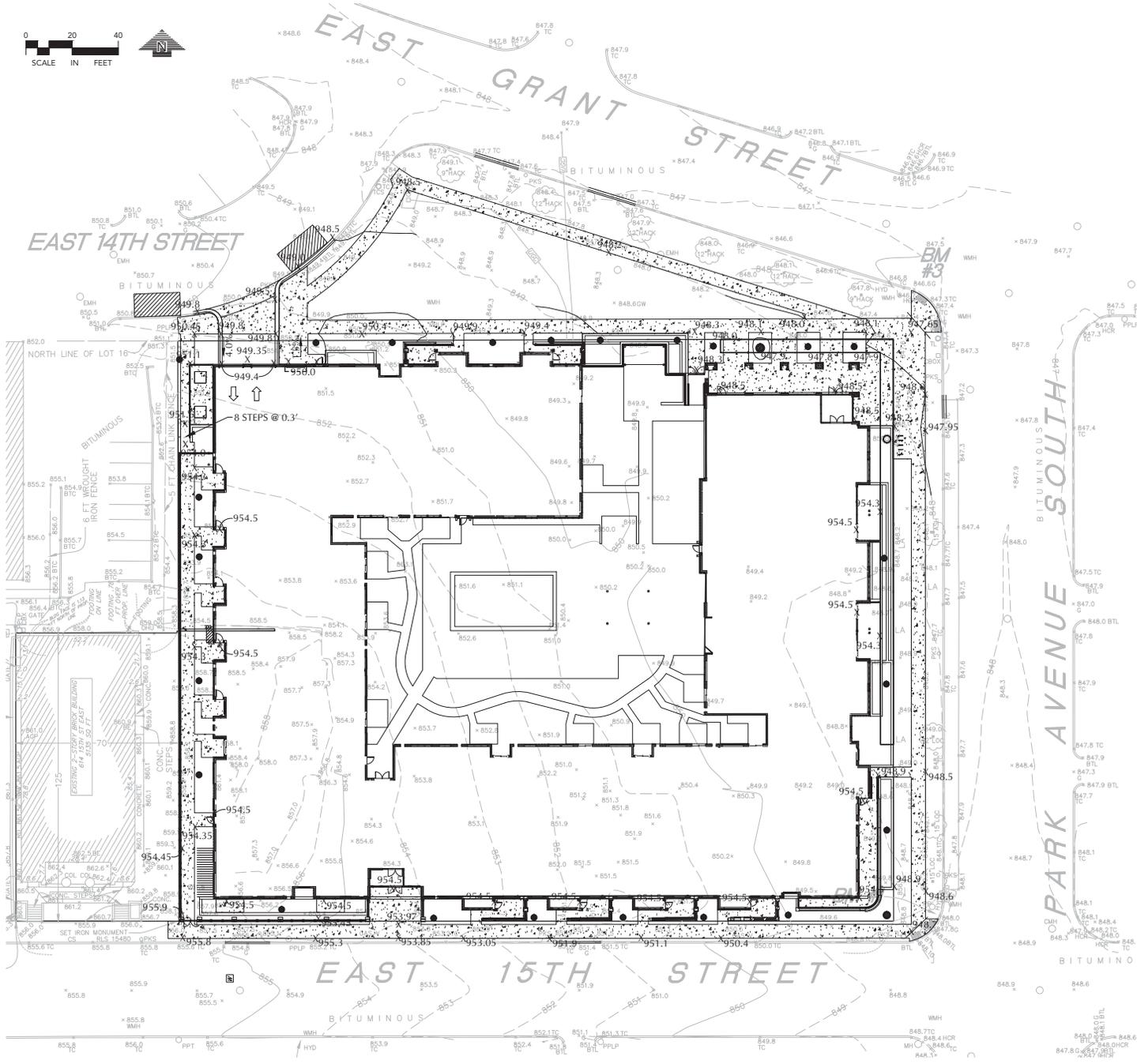
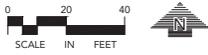
Loucks Project No. 15301
Project Lead NMM
Drawn By TRG
Checked By NMM
Review Date 1-15-16

SHEET INDEX

SHEET NO.	TITLE
C2-1	DEMOLITION PLAN
C2-2	CONCRETE SITE PLAN
C2-3	GRADING & DRAINAGE PLAN
C2-4	LANDSCAPE PLAN
C2-5	STORM WATER POLLUTION PREVENTION PLAN
C2-6	STORM WATER POLLUTION PREVENTION NOTES
C2-7	UTILITY LOCATIONS
C2-8	DETAIL SHEET
C2-9	DETAIL SHEET
C2-10	DETAIL SHEET

SITE PLAN
C2-1

Plotfile: 07.05.2016 7:12 AM W:\2015\15301\CADD\DATA\CIVIL\1400 Park Sheet Plotfile.C2-1



GRADING, DRAINAGE & EROSION CONTROL NOTES

1. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
3. GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCTS WITH RUNNER TRACKS ARE RECOMMENDED.
4. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
5. FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "CW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BY" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
6. REFER TO THE REPORT OF GEOTECHNICAL EXPLORATION AND REVIEW (REPORT NO. _____), DATED _____, AS PREPARED BY _____ FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
7. STREETS MUST BE CLEANED AND SWEEP WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
8. DUST MUST BE ADEQUATELY CONTROLLED.
9. SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
10. SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
11. SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.

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SUBMITTAL/REVISIONS

10.30.15	CITY SUBMITTAL
07.15.15	DOB SUBMITTAL
07.15.15	LAND USE SUBMITTAL
07.01.15	REVISED LAND USE APP.
07.01.15	REVISED WATERSHED MAP
07.01.15	REVISED WATERSHED MAP

PROFESSIONAL SIGNATURE

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License No. 43681
Date 1-15-16

QUALITY CONTROL

Loucks Project No. 1530
Project Lead NMM
Drawn By TRG
Checked By NMM
Review Date 1-15-16

SHEET INDEX

C1.1	DEMOLITION PLAN
C1.2	DEMOLITION SITE PLAN
C2.1	EXISTING SITE PLAN
C2.2	GRADING & DRAINAGE PLAN
C2.3	EXISTING UTILITIES
C2.4	PROPOSED UTILITIES
C2.5	STORM WATER POLLUTION CONTROL PLAN
C2.6	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.7	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.8	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.9	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.10	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.11	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.12	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.13	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.14	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.15	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.16	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.17	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.18	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.19	STORM WATER POLLUTION CONTROL PLAN - SWPPP
C2.20	STORM WATER POLLUTION CONTROL PLAN - SWPPP

GRADING & DRAINAGE PLAN

C3-1

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4TH STREET

15TH STREET

BITUMINOUS

BITUMINOUS

OT 16

BM #3

BITUMINOUS

5 FT CHAIN LINK FENCE

ROOFING 24" DROP LINE

CONC. STEPS

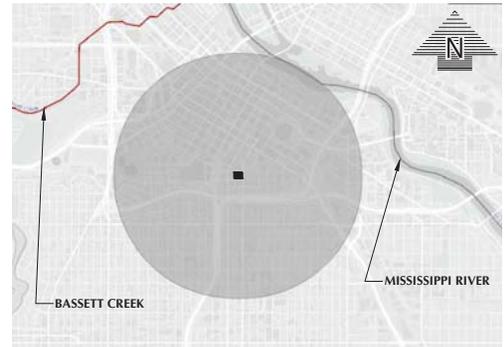
CONC. WALL

BM #2

EAST 15TH STREET

BITUMINOUS

BITUMINOUS
PARK AVENUE SOUTH



MAP LEGEND
 [Symbol] IMPAIRED WATER
 [Symbol] SPECIAL WATER
 [Symbol] 1 MILE RADIUS AREA

TYPICAL SUBSURFACE SOIL STRATUM

STRATUM	DEPTH TO BASE OF STRATUM BELOW EXISTING GRADE	MATERIAL DESCRIPTION
1	3 TO 12 INCHES	TOPSOIL
2	1 TO 14 FEET	SM, SP
3	5 TO 25	SM-SP

PROJECT LOCATION

COUNTY	TOWNSHIP	LATITUDE	LONGITUDE
HENNEPIN	29	44.9684	-93.2658

*SEE GEOTECH REPORT AS PART OF SWPPP FOR ADDITIONAL SOILS INFORMATION

NOTE
 1. SEE SHEET C3-3 FOR SWPPP NOTES AND DETAILS

ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	2
PREFABRICATED CONCRETE WASHOUT	EA	1
SILT FENCE (STANDARD)	LF	8,000
BIOROLLS (STANDARD)	LF	200
INLET PROTECTION	EA	50
TURF RESTORATION	AC	5

PERMANENT STORMWATER MANAGEMENT

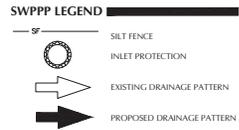
X	INFILTRATION
	STORMWATER HARVEST AND REUSE
	FILTRATION
	WET SEDIMENTATION BASIN
	REGIONAL PONDING

RECEIVING WATERS

NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMPAIRED WATER	TYPE OF SPECIAL WATER	TYPE OF IMPAIRMENT
MISSISSIPPI RIVER	RIVER	NO	NO		

PERMANENT MAINTENANCE

Inspection Activity	Responsible Party/Personnel	Frequency	Inspection/Action	Frequency	Inspection/Action
1. Visual inspection of all stormwater management structures for debris, sediment, and structural damage.	Site Manager	Monthly	Remove debris and sediment; repair structural damage.	Monthly	Remove debris and sediment; repair structural damage.
2. Visual inspection of all stormwater management structures for proper functioning of flow control devices.	Site Manager	Monthly	Adjust flow control devices to maintain proper functioning.	Monthly	Adjust flow control devices to maintain proper functioning.
3. Visual inspection of all stormwater management structures for proper functioning of sedimentation devices.	Site Manager	Monthly	Remove sediment; adjust sedimentation devices to maintain proper functioning.	Monthly	Remove sediment; adjust sedimentation devices to maintain proper functioning.
4. Visual inspection of all stormwater management structures for proper functioning of filtration devices.	Site Manager	Monthly	Remove debris; adjust filtration devices to maintain proper functioning.	Monthly	Remove debris; adjust filtration devices to maintain proper functioning.
5. Visual inspection of all stormwater management structures for proper functioning of infiltration devices.	Site Manager	Monthly	Remove debris; adjust infiltration devices to maintain proper functioning.	Monthly	Remove debris; adjust infiltration devices to maintain proper functioning.
6. Visual inspection of all stormwater management structures for proper functioning of wet sedimentation basins.	Site Manager	Monthly	Remove sediment; adjust wet sedimentation basins to maintain proper functioning.	Monthly	Remove sediment; adjust wet sedimentation basins to maintain proper functioning.
7. Visual inspection of all stormwater management structures for proper functioning of regional ponding.	Site Manager	Monthly	Remove debris; adjust regional ponding to maintain proper functioning.	Monthly	Remove debris; adjust regional ponding to maintain proper functioning.
8. Visual inspection of all stormwater management structures for proper functioning of stormwater harvesting and reuse systems.	Site Manager	Monthly	Remove debris; adjust stormwater harvesting and reuse systems to maintain proper functioning.	Monthly	Remove debris; adjust stormwater harvesting and reuse systems to maintain proper functioning.



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SUBMITTAL/REVISIONS

10.30.15	CITY SUBMITTAL
11.15.15	FOR SUBMITTAL
12.15.15	FINAL SUBMITTAL
07.01.16	REVISED LAND USE APP.
11.01.16	REVISED SWPPP

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License No. 45561
 Date 1-15-16

QUALITY CONTROL
 Loucks Project No. 1530
 Project Lead NMM
 Drawn By TRG
 Checked By NMM
 Review Date 1-15-16

SHEET INDEX

C1-2	DEMOLITION PLAN
C2-1	UTILITY SITE PLAN
C2-2	GRADING & DRAINAGE PLAN
C2-3	PERMANENT SWPPP
C2-4	STORMWATER COLLECTION, PREVENTION PLAN - SWPPP
C2-5	STORMWATER POLLUTION PREVENTION PLAN - SWPPP
C2-6	STORMWATER POLLUTION PREVENTION PLAN - SWPPP
C2-7	STORMWATER POLLUTION PREVENTION PLAN - SWPPP
C2-8	STORMWATER POLLUTION PREVENTION PLAN - SWPPP
C2-9	STORMWATER POLLUTION PREVENTION PLAN - SWPPP
C2-10	STORMWATER POLLUTION PREVENTION PLAN - SWPPP

STORM WATER POLLUTION PREVENTION PLAN - SWPPP

C3-2

SWPPP NOTES

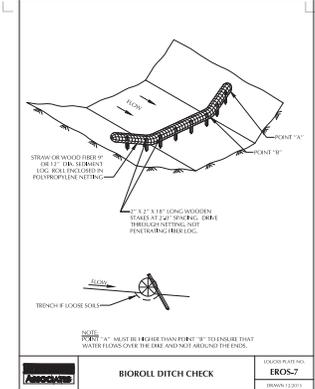
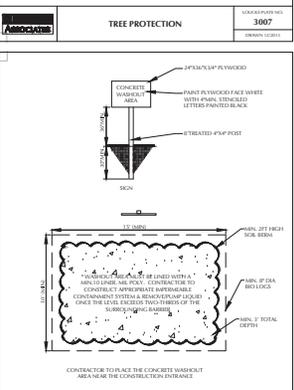
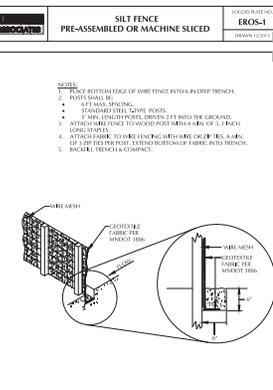
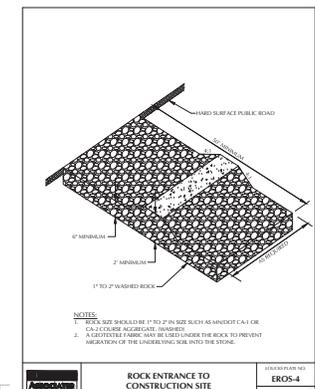
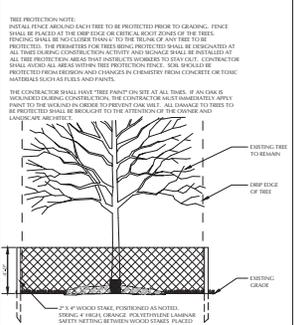
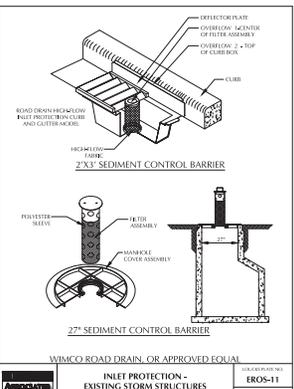
- PROJECT DESCRIPTION**
THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING A MULTI TENANT RESIDENTIAL BUILDING WITH ASSOCIATED SURFACE PAVEMENTS, UTILITIES AND STORMWATER MANAGEMENT. THIS SITE IS LOCATED WITHIN A CONCESSION AREA OF THE MISSISSIPPI RIVER IN A SECTION THAT IS NOT SPECIAL OR IMPAIRED.
- SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:**
 - INSTALL VEHICLE TRACKING BUMP
 - INSTALL SILT FENCE AROUND THE SITE
 - INSTALL PROTECTIVE FENCE AROUND TREES TO REMAIN CLEAR AND CURB SITE
 - STRIP AND STOCKPILE TOPSOIL
 - CONSTRUCT STORMWATER MANAGEMENT SYSTEMS
 - INSTALL SILT FENCE AROUND STORM SEWER
 - ROCK GRANULES
 - INSTALL UTILITIES
 - INSTALL BUILDING FOUNDATIONS
 - INSTALL CURB AND GUTTER
 - SEED AND MULCH LANDSCAPE PER PLAN
 - FINAL GRADE SITE
 - INSTALL PERMITS AND UTILITIES
 - WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND REEVAL ANY AREAS DISTURBED BY THE REMOVAL.
- SITE DATA**
AREA OF DISTURBANCE: 2.2± AC
PRE-CONSTRUCTION IMPERVIOUS AREA: 1.3 AC
POST-CONSTRUCTION IMPERVIOUS AREA: 1.7± AC
GENERAL SOIL TYPE: HSG A
- THE LOCATION OF ROAD TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SOILING. ONLY A VAILABLE PERMITS OR BY MEANS OF MULCHING OR COVERING. EQUIVALENT CONTROL MEASURE, AT A RATE OF 1.5 TONS STANDARD SEEDING FINAL STABILIZATION TO BE DONE PER LANDSCAPE PLAN, SEE SHEET L11.
- ON SLOPES 3:1 OR GREATER MAINTAIN SHIELD SLOPE AND MINIMIZE RILLS AND/OR GULLIES. SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.
DENOTES SLOPES GREATER THAN 3:1. ALL 3:1 SLOPES TO BE STABILIZED WITH EROSION CONTROL BLANKET
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORMWATER CONDUITS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT. CLEAN AGGREGATE STOCKPILES, REMEDIATION CONCRETE STOCKPILES, SAND STOCKPILES.
- SEDIMENT LOADED WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BUMPS.
- SOLID WASTE MUST BE DEPOSED OR PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BUMPS.
- THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR OR CONTRACTOR WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS III.B., PART III.C., PART III.E., PART IV AND APPLICABLE CONSTRUCTION ACTIVITIES ARE DESCRIBED IN PART III.A., PART C. OF THE PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
- TERMINATION OF COVERAGE/PERMITTEES WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION TO THE MPCA. ALL PERMITTEES MUST AVOID A NOTICE WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:**
 - FINAL STABILIZATION PER NPDES PERMIT PART IV.G. HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMIT IS RESPONSIBLE.
 - TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT.
- INSPECTIONS**
 - INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 - EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT
 - STABILIZED AREAS: ONCE EVERY 30 DAYS
 - FROZEN GROUND: AS SOON AS REMOVAL OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
 - INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE DATE AND TIME OF ACTIVITY, NAME OF PERSONS CONDUCTING WORK, FINDINGS OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAIN EVENTS GREATER THAN 0.5 INCHES IN 24 HOUR PERIOD.
- MINIMUM MAINTENANCE**
 - SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL, WITHIN 24 HOURS
 - SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME. REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.
 - SEDIMENT REMOVED FROM SURFACE WATERS WITHIN 72 HOURS OF DISCOVERY.
 - CONSTRUCTION SITE VISITS INSPECTED: TRACKED SEDIMENT REMOVED WITHIN 24 HOURS.
 - PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN 1/2" IN 24 HOURS.
- THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THE SITE.
- OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMIT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.
- SWPPP MUST BE AMENDED WHEN:
 - THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGES.
 - INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
 - THE BUMPS IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.
 - ANY TIME AFTER PERMIT COVERAGE IS EFFECTIVE, THE MPCA MAY DETERMINE THAT THE PROJECT'S STORMWATER DISCHARGES MAY CAUSE, HAVE RESONABLE POTENTIAL TO CAUSE, OR CONTRIBUTE TO NONATTAINMENT OF ANY APPLICABLE WATER QUALITY STANDARDS, OR THAT THE SWPPP DOES NOT INCORPORATE THE APPLICABLE REQUIREMENTS IN PART III.A., IMPAIRED WATERS AND TENDERS; OR A WATER QUALITY STANDARD CHANGE DURING THE TERM OF THIS PERMIT. THE MPCA WILL USE A DETERMINATION AS TO WHETHER A MODIFICATION OF THE SWPPP IS NECESSARY TO ADDRESS THE NEW STANDARD. IF THE MPCA MAKES SUCH DETERMINATION, THE MPCA WILL, AS A CONDITION OF ANY PERMIT III.B.1., THE MPCA WILL NOTIFY THE PERMITTEE IN WRITING. IN RESPONSE, THE PERMITTEE MUST AMEND THE SWPPP TO ADDRESS THE IDENTIFIED CONCERNS AND SUBMIT INFORMATION REQUESTED BY THE MPCA, WHICH MAY INCLUDE AN INDIVIDUAL PERMIT APPLICATION, IF THE MPCA'S WRITTEN NOTICE REQUIRES REVISION. FAILURE TO RESPOND WITHIN THE SPECIFIED TIMEFRAME CONSTITUTES PERMIT VIOLATION.
- CONCRETE WASHOUT AREA**
 - CONTRACTOR TO PROVIDE PREFABRICATED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.
 - CONCRETE WASH-OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT OVERFLOW"
 - CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING WATER IN WASHOUT AREA.
- IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.
- PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

- FINAL STABILIZATION**
FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY. AND THAT ALL TEMPORARY FAVORS HAVE BEEN INSTALLED. ALL TEMPORARY BUMPS SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RESTORE DESIGN CAPACITY.
- TEMPORARY SEDIMENTATION BASINS**
A. THE TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AND MAINTAINED PRIOR TO DISTURBANCE OF 10 OR MORE ACRES DRAINING TO A COMMON LOCATION.
B. TEMPORARY SEDIMENTATION BASINS ARE REQUIRED PRIOR TO RUNOFF LEAVING THE CONSTRUCTION SITE OR ENTERING SURFACE WATERS WITHIN 10 OR MORE ACRES OF DISTURBED SOILS DRAIN TO A COMMON LOCATION. THE BASIN SHALL BE PROTECTED BY 3.00 CURB FEET OF 24 HOUR STABILIZED SOIL OR DRAINAGE. IF CALCULATIONS ARE AVAILABLE, THE TEMPORARY SEDIMENTATION BASIN SHALL BE MAINTAINED WITH A MINIMUM OF 100 GPM OF FLOW. THE BASIN SHALL BE MAINTAINED AT A CASE LESS THAN 1:00 CURB FEET PER ACRE DRAINING. THE TEMPORARY SEDIMENTATION BASIN SHALL BE CONSTRUCTED AND MAINTAINED OPERATIONAL CONFORMANCE WITH THE STATE OF SOIL DISTRIBUTION. THE TEMPORARY SEDIMENTATION BASIN SHALL BE DESIGNED TO PREVENT COMPLETE DRAINDOWN OF THE POND FOR MAINTENANCE ACTIVITIES, AND HAVE ENERGY DISSIPATION. THE BASIN SHALL BE DESIGNED TO REMOVE FEASIBLE EROSION, ALLOW FOR COMPLETE DRAINDOWN OF THE POND FOR MAINTENANCE ACTIVITIES, AND HAVE ENERGY DISSIPATION. EMERGENCY SLOPWAYS SHALL BE STABILIZED.
C. TEMPORARY SEDIMENTATION BASINS SHALL BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY REQUIRED BUFFER ZONE, AND MUST BE DESIGNED TO AVOID DRAINING WETLANDS, UNLESS THE IMPACT IS IN COMPLIANCE WITH THE REQUIREMENTS OF THIS PERMIT.
D. EXCESSIVE SEDIMENT-LOADED WATER THAT IS NOT PROPERLY FILTERED WILL NOT BE PERMITTED TO DISCHARGE FROM SITE.
- DRAINAGE AND BASIN DRAINING**
 - TEMPORARY OR PERMANENT SURFACE WATERS RELATED TO DRAINAGE OR BASIN DRAINING SHALL BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS NECESSARY. THE TEMPORARY OR PERMANENT BASIN MAY DISCHARGE TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT THE PERMITTEE'S COMPLIANCE WILL NOT BE AFFECTED. DISCHARGE POINTS SHALL BE ABSOLUTELY PROTECTED FROM EROSION AND PROPER VELOCITY DISSIPATION PROVIDED.
 - ALL WATER FROM DRAINAGE OR BASIN DRAINING ACTIVITIES MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN THE RECEIVING CHANNELS OR ON DOWN SLOPE PROPERTIES, OR INTERFERENCE WITH ANY OTHER CAUSING SIGNIFICANT ADVERSE IMPACTS TO THE WETLANDS.
 - IF FERTILIZER BACKWASH WATERS ARE USED, THE BACKWASH WATER SHALL BE HALLED AWAY FOR DISPOSAL, RETURNED TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATED INTO SITE IN A MANNER THAT DOES NOT CAUSE EROSION OR INTERFERENCE WITH ANY OTHER CAUSING SIGNIFICANT ADVERSE IMPACTS TO THE WETLANDS.
- POLLUTION PREVENTION**
 - BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER TO PREVENT DISCHARGE OR PROTECTED BY AN EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER.
 - HAZARDOUS MATERIALS AND TOXIC WASTE MUST BE PROVIDED TO PREVENT VANDALISM.
 - SOLID WASTE MUST BE STORED, COLLECTED AND DISPOSED OF IN COMPLIANCE WITH MN, RC 7035.
 - PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR OVERFLOWED. SANITARY WASTE MUST BE DISPOSED OF PROPERLY IN ACCORDANCE WITH MN, RC 7041.
 - DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED SHALL BE PREVENTED USING: DRIP PANS OR ABSORBENTS. SLOPPES SHALL BE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD MUST BE AVAILABLE FOR RECOVERED SPILLED MATERIALS.
- DESIGN CALCULATIONS**
TEMPORARY AND PERMANENT STORMWATER TREATMENT ARE DESIGNED TO MEET A GENERAL, SPECIAL WATER MANAGEMENT PLAN, AND THE HYDROLOGIC RECORDS, WHICH IS TO BE CONSIDERED PART OF THE SWPPP DOCUMENTS. SEE HYDROLOGY REPORT FOR ADDITIONAL INFORMATION.
- GENERAL STORMWATER DISCHARGE REQUIREMENTS**
ALL REQUIREMENTS LISTED IN PART B OF THE PERMIT FOR DESIGN OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART III.D. SHALL BE ONE TO TWO INCH OF RUNOFF FROM THE NEW IMPERVIOUS SURFACES CREATED BY THE PROJECT. SEE PART III.D.1. FOR MORE INFORMATION ON INFILTRATION DESIGN, PROHIBITIONS AND APPROPRIATE SITE CONDITIONS.
- CONSTRUCTION OF INFILTRATION BASINS**
 - NO HEAVY TRAFFIC ON INFILTRATION AREAS. CONSTRUCTION TO BE DONE WITH MINIMAL COMPACTION TO INFILTRATION AREAS. IF COMPACTION IS ENCOUNTERED, BASIN SOILS FOR THE FIRST 18" MUST BE REWORKED & RELOADED.
 - INFILTRATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS REGIONAL EROSION PREVENTION AND SEDIMENT CONTROLS ARE PROVIDED PER III.D.1.C.
 - WHEN AN INFILTRATION SYSTEM IS EXCAVATED TO FINAL GRADE OR WITHIN THREE (3) FEET OF FINAL GRADE, THE PERMITTEE MUST TAKE PRECAUTIONS TO PREVENT EROSION AND SEDIMENT CONTROL (E.C.) DIVERSION BERMS TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA. THE AREA MUST BE STAKED OFF AND MARKED SO THAT HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT WILL NOT COMPACT THE SOIL IN THE PROPOSED INFILTRATION AREA.
 - TO PREVENT CLOGGING OF THE INFILTRATION OR FILTRATION SYSTEM, THE PERMITTEE MUST USE A PRE-TREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, SMALL SEDIMENTATION BASIN, OR WATER QUALITY INLET ETC. GET CHAMBER TO SETtle PARTICULATES BEFORE THE STORMWATER DISCHARGES INTO THE INFILTRATION OF FILTRATION SYSTEM.
- POST CONSTRUCTION**
THE WATER QUALITY VOLUME THAT MUST BE RETAINED ON SITE BY THE PROJECT'S PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART III.D. SHALL BE ONE TO TWO INCH OF RUNOFF FROM THE NEW IMPERVIOUS SURFACES CREATED BY THE PROJECT. SEE PART III.D.1. FOR MORE INFORMATION ON INFILTRATION DESIGN, PROHIBITIONS AND APPROPRIATE SITE CONDITIONS.
- RESPONSIBILITIES**
 - THE OWNER MUST IDENTIFY A CONTRACTOR WHO WILL COVER THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE.
 - THE OWNER MUST IDENTIFY THE PERSON WHO WILL BE RESPONSIBLE FOR LONG TERM OPERATIONS AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM.
- TRAINING REQUIREMENTS**
THE PERMITTEE SHALL ENSURE THE FOLLOWING INDIVIDUALS IDENTIFIED IN THIS PART HAVE BEEN TRAINED IN ACCORDANCE WITH THIS PERMIT'S TRAINING REQUIREMENTS.
 - WHO MUST BE TRAINED:
 - INDIVIDUALS PREPARING THE SWPPP FOR THE PROJECT
 - INDIVIDUALS OVERSEEING IMPLEMENTATION OF, REVISIONS, AND AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS AS REQUIRED IN PART III.E. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.
 - INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, OPERATION, AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM MUST BE TRAINED IN THESE JOB DUTIES.
 - TRAINING CONTENT
THE CONTENT AND EXTENT OF TRAINING MUST BE COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THIS PERMIT. AT LEAST ONE INDIVIDUAL PERMANENTLY EMPLOYED BY THE PROJECT SITE (OR AVAILABLE TO THE PROJECT SITE IN 72 HOURS) MUST BE TRAINED IN THE JOB DUTIES DESCRIBED IN PART III.E.1 AND 3.
 - THE PERMITTEES SHALL INSURE THAT THE INDIVIDUALS ARE TRAINED BY LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONS WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER MANAGEMENT AND THE MINNESOTA NPDES CONSTRUCTION STORMWATER PERMIT. AN ON-SITE BARRIERS TRAINING MUST BE ATTENDED EVERY ONE (1) YEAR STARTING THREE (3) YEARS FROM THE ISSUANCE DATE OF THIS PERMIT.

4.1. LIST OF CONTACTS

TITLE	NAME	COMPANY	PHONE NUMBER
OWNER	###		###
PROJECT MANAGER	NICK ANDERSON	LOUCKS ASSOCIATES	763-496-6757
ENGINEER SWPPP	VAL VANDERSON	LOUCKS ASSOCIATES	763-496-6728
CONTRACTOR			
SITE MANAGER			

*MPCA 24HR. HAZARDOUS SPILL HOTLINE: 651-695-6537 OR 800-278-7878



1400 PARK

MINNEAPOLIS, MN

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7200 Hennock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.louckscorp.com

CADD QUALIFICATION

CADD files prepared by the Consultant for the project are submitted to the Permitting Authority for review and approval. The Permitting Authority may require the Consultant to submit additional information to the Permitting Authority to complete the review process. The Consultant shall be responsible for providing the information requested by the Permitting Authority. The Consultant shall be responsible for providing the information requested by the Permitting Authority. The Consultant shall be responsible for providing the information requested by the Permitting Authority.

SUBMITTALS AND REVISIONS

10.20.15 CITY SUBMITTAL
10.21.15 JOB SUBMITTAL
10.22.15 REVISED SUBMITTAL
10.23.15 REVISED LAND USE APP.
10.24.15 REVISED PERMITTING PLAN
10.25.15 REVISED PERMITTING PLAN

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. 45561
Date 1-15-16

QUALITY CONTROL

Projects Project No. 15301
Project Name TRC
Drawn by NMM
Checked by TRC
Review Date 1-15-16

SHEET INDEX

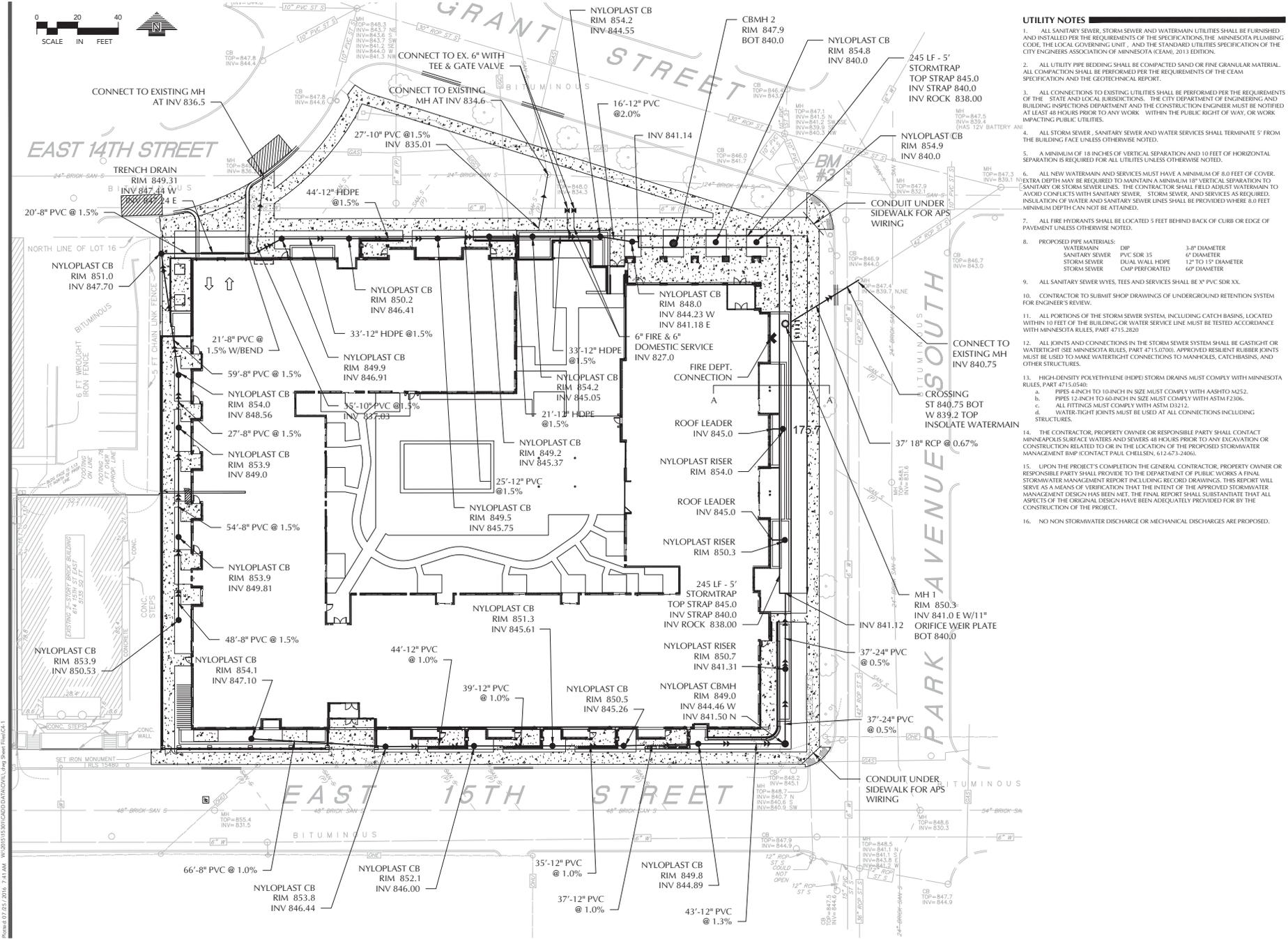
C11 DEMOLITION PLAN
C12 EXISTING UTILITIES
C13 GRADING & DRAINAGE PLAN
C14 EXISTING AND PROPOSED PAVEMENT
C15 EXISTING AND PROPOSED CONCRETE
C16 STORM WATER POLLUTION CONTROL PLAN
C17 CONSTRUCTION STORMWATER MANAGEMENT PLAN
C18 DETAIL SHEET
C19 CONSTRUCTION STORMWATER MANAGEMENT PLAN

SWPPP NOTES & DETAILS

C3-3

File Path: C:\Users\jvander\OneDrive\Documents\SWPPP\1400 Park\1400 Park SWPPP\1400 Park SWPPP\CADD\DATA\CADD\Sheet Files\C3-3

University of Minnesota
Val Anderson
Design of Construction SWPPP July 2011



UTILITY NOTES

1. ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM, 2013 EDITION).
2. ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTON SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION AND THE GEOTECHNICAL REPORT.
3. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK. SERVICE LINE MUST BE TESTED WATER, OR WORK IMPACTING PUBLIC UTILITIES.
4. ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
5. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
6. ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
7. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
8. PROPOSED PIPE MATERIALS:

WATERMAIN	18" DP	3.0" DIAMETER
SANITARY SEWER	PVC SDR 35	6" DIAMETER
STORM SEWER	DUAL WALL HDPE	12" TO 15" DIAMETER
STORM SEWER	CAP PERFORATED	60" DIAMETER
9. ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE 1/2" PVC SDR 35.
10. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF UNDERGROUND RETENTION SYSTEM FOR ENGINEER'S REVIEW.
11. ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.
12. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
13. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART 4715.0540:
 - a. PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - b. PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - c. ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - d. WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
14. THE CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL CONTACT MINNEAPOLIS SURFACE WATERS AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT BMP (CONTACT PAUL CHELSEN, 612-673-2400).
15. UPON THE PROJECT'S COMPLETION THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THE FINAL REPORT SHALL SUBstantiate THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.
16. NO NON STORMWATER DISCHARGE OR MECHANICAL DISCHARGES ARE PROPOSED.

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763.424.5555
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SUBMITTAL REVISIONS

10.30.15	CITY SUBMITTAL
10.15.15	FOR SUBMITTAL
07.15.15	LAND USE SUBMITTAL
07.01.15	REVISED LAND USE APP.
06.15.15	FOR SUBMITTAL
06.15.15	FOR SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. 45681
Date 1-15-16

QUALITY CONTROL

Projects Project No.	1530
Project Lead	NMM
Drawn By	TRO
Checked By	NMM
Review Date	1-15-16

SHEET INDEX

C1	DEMOLITION PLAN
C2	UTILITY SITE PLAN
C3	GRADING & DRAINAGE PLAN
C4	STORMWATER POLLUTION PREVENTION PLAN
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UTILITY PLAN
C4-1

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SUBMITTAL REVISIONS

Table with 2 columns: Revision Number and Description. Includes entries for City Submittal, Plan Review, and Revisions.

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QUALITY CONTROL

Table with 2 columns: License No. and Name. Lists Loucks Project No. 15301, Project Lead TRG, and Checked By NMM.

SHEET INDEX

Table listing various sheets including Demolition Plan, Site Plan, Grading and Drainage Plan, and Storm Water Pollution Prevention Plan.

DETAIL SHEET

C8-1

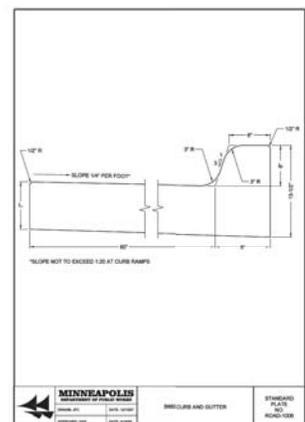
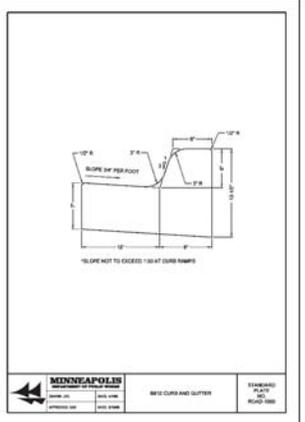
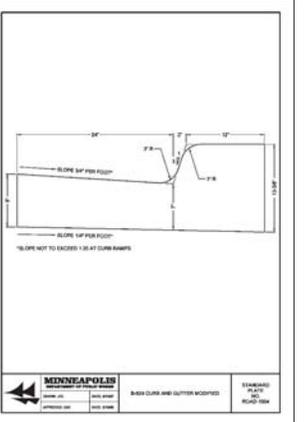
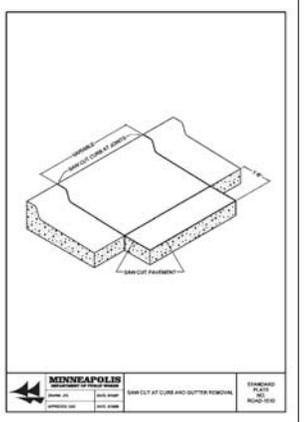
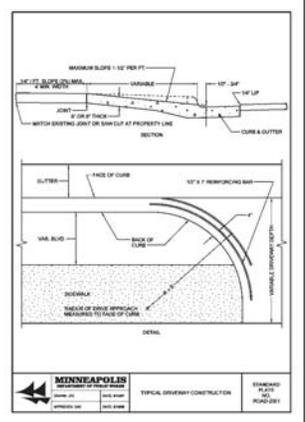
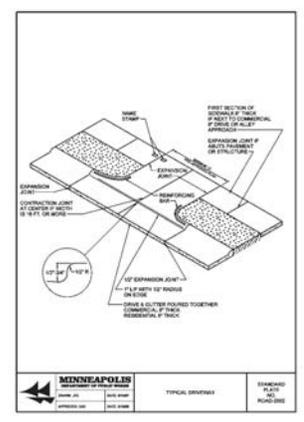
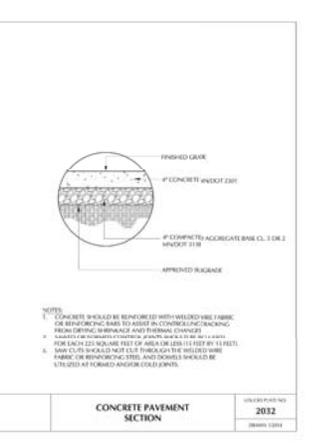
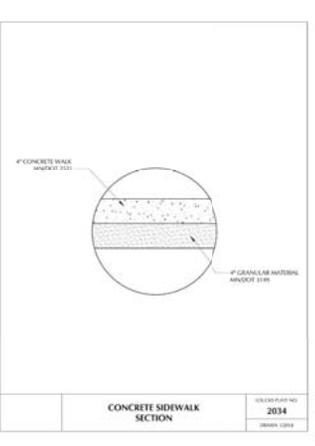
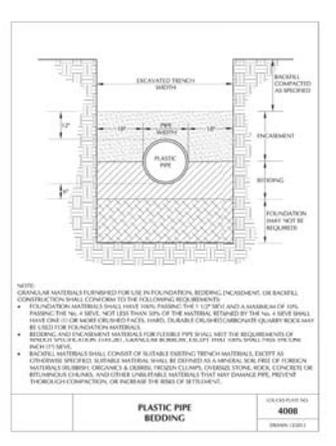
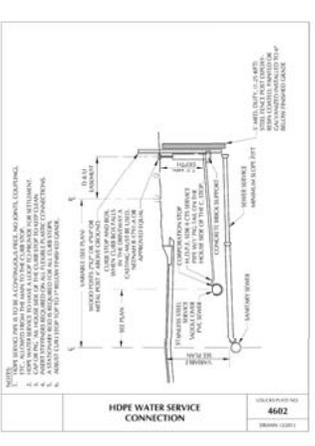
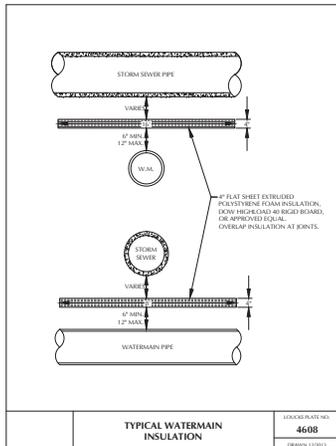
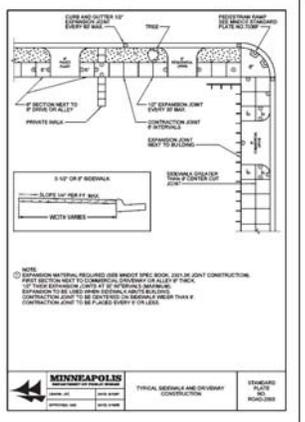
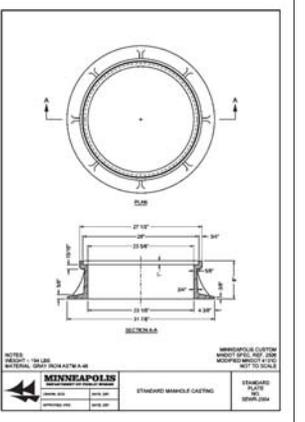


Table with 4 columns: Material ID, Material Name, Weight, and Area of Pipe. Lists various pipe materials and their specifications.



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SUBMITTAL REVISIONS

10.20.15	CITY SUBMITTAL
10.15.15	FOR SUBMITTAL
10.15.15	LAND USE SUBMITTAL
10.15.15	REVISED LAND USE APP.
10.15.15	REVISED SITE PLAN
10.15.15	REVISION HANDBOOK

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QUALITY CONTROL

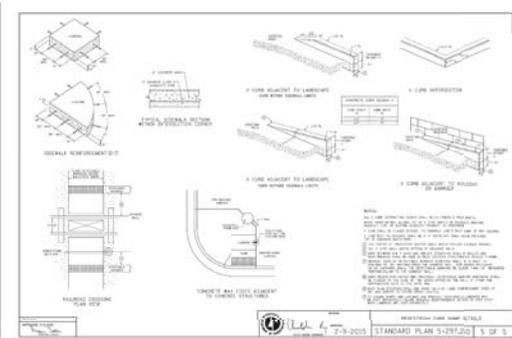
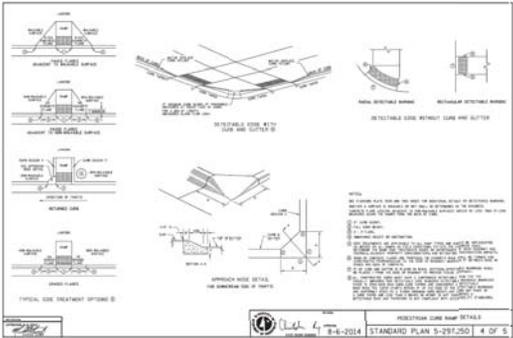
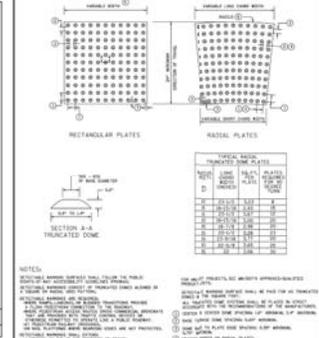
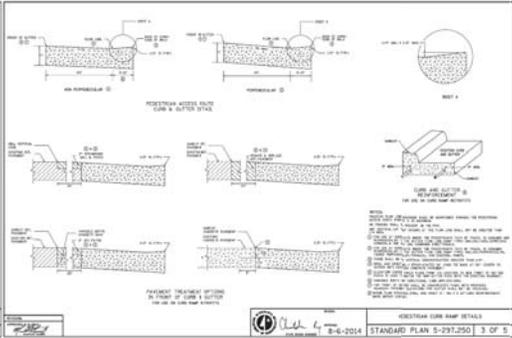
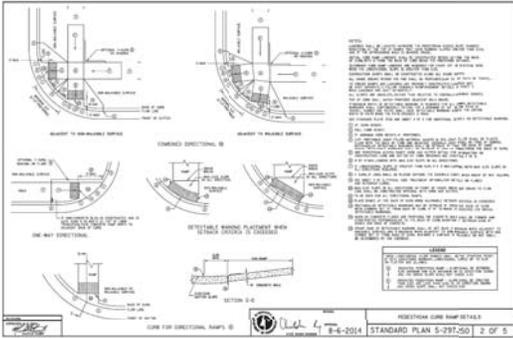
License No. 45561
Date 1-15-16

SHEET INDEX

1.1	DEMOLITION PLAN
1.2	EXISTING SITE PLAN
1.3	GRADING & DRAINAGE PLAN
1.4	PROPOSED WATER POLLUTION PREVENTION PLAN
1.5	STORM WATER POLLUTION PREVENTION PLAN
1.6	UTILITY PLAN
1.7	DETAIL SHEET
1.8	DETAIL SHEET

QUALITY CONTROL

License No. 45561
Date 1-15-16



CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
20150215		LAND USE REGULATORY

**NOT FOR
CONSTRUCTION**

CERTIFICATION

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License Number _____ Date _____

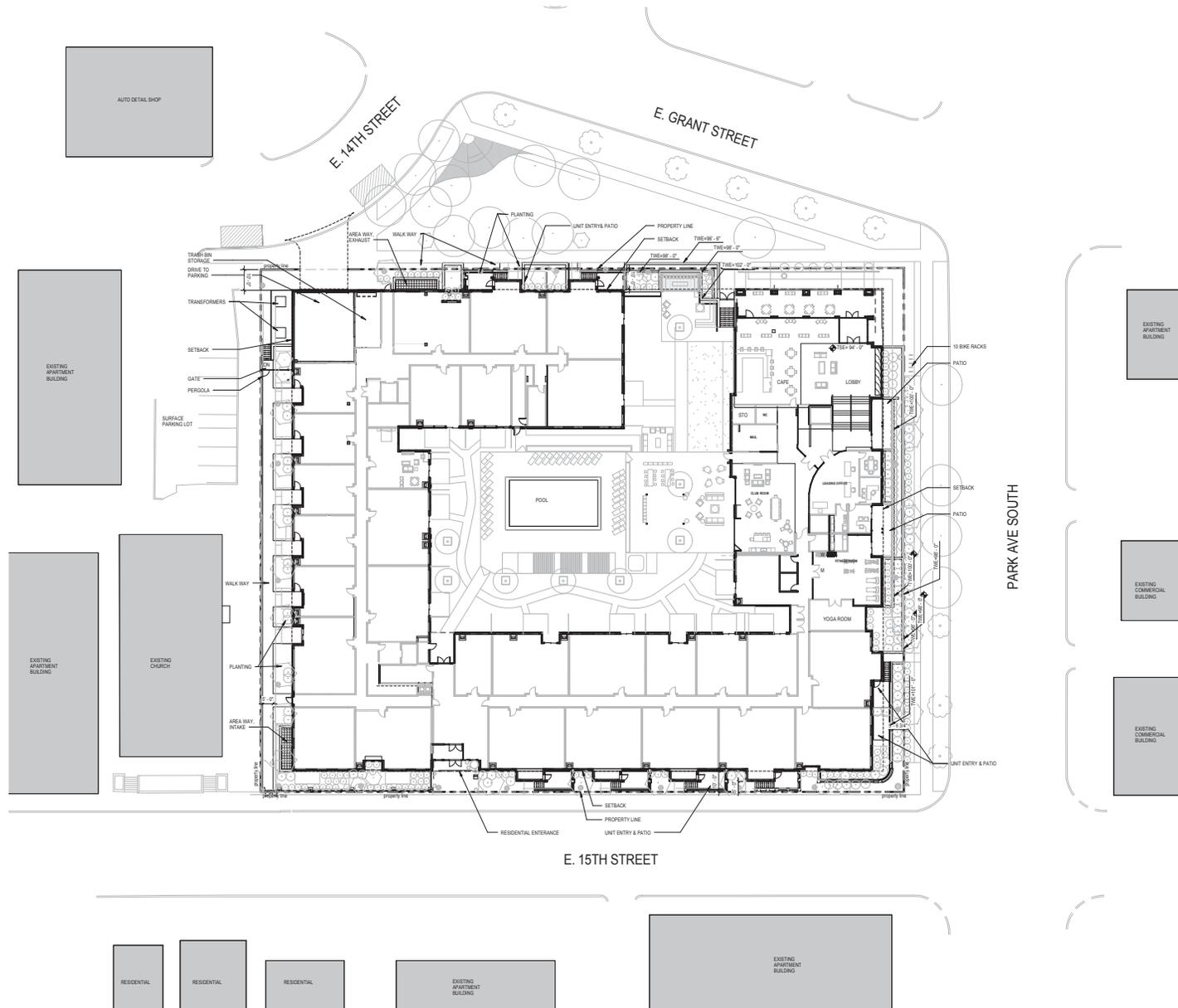
DATE	1/15/2016
DRAWN BY	AJW
CHECKED BY	CHW
COMMISSION NUMBER	204121

SHEET TITLE

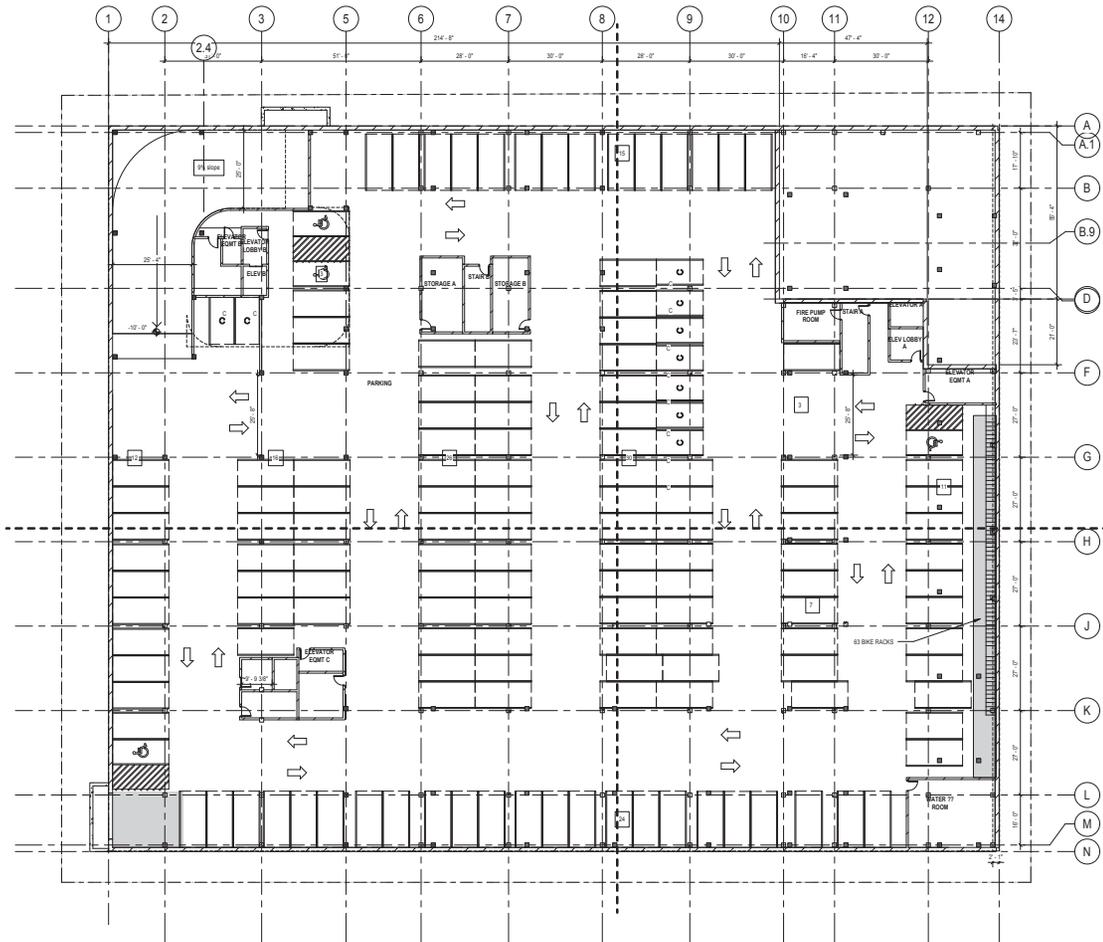
ARCHITECTURAL
SITE PLAN

SHEET NUMBER

A010



Parking Schedule			
Family and Type	Level	Count	
Level P2			
Parking - 90 Degree Spaces: 8'-0" x 15'-0" Compact (MPLS)	Level P2	9	
Parking - 90 Degree Spaces: 8'-0" x 15'-0" ADA	Level P2	1	
Parking - 90 Degree Spaces: 8'-0" x 15'-0" ADA	Level P2	3	
Parking - 90 Degree Spaces: 8'-0" x 15'-0" Standard	Level P2	135	
Level P1			
Parking - 90 Degree Spaces: 8'-0" x 15'-0" Compact (MPLS)	Level P1	9	
Parking - 90 Degree Spaces: 8'-0" x 15'-0" ADA	Level P1	3	
Parking - 90 Degree Spaces: 8'-0" x 15'-0" Standard	Level P1	129	
Level P1: 141			
Grand total: 289			



CONSULTANTS

PROJECT TITLE
1400 PARK AVE APARTMENTS



ISSUE #	DATE	DESCRIPTION
20160210		LAND USE REGULATORY
20160210		LAND USE PERMITS
20160210		LAND USE REGULATORY
20160210		LAND USE REGULATORY

NOT FOR CONSTRUCTION

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License Number	Date
DATE	1/25/2016
DRAWN BY	AJW
CHECKED BY	CHOW
COMMISSION NUMBER	280121

SHEET TITLE

REFERENCE
PLAN - LEVEL P2

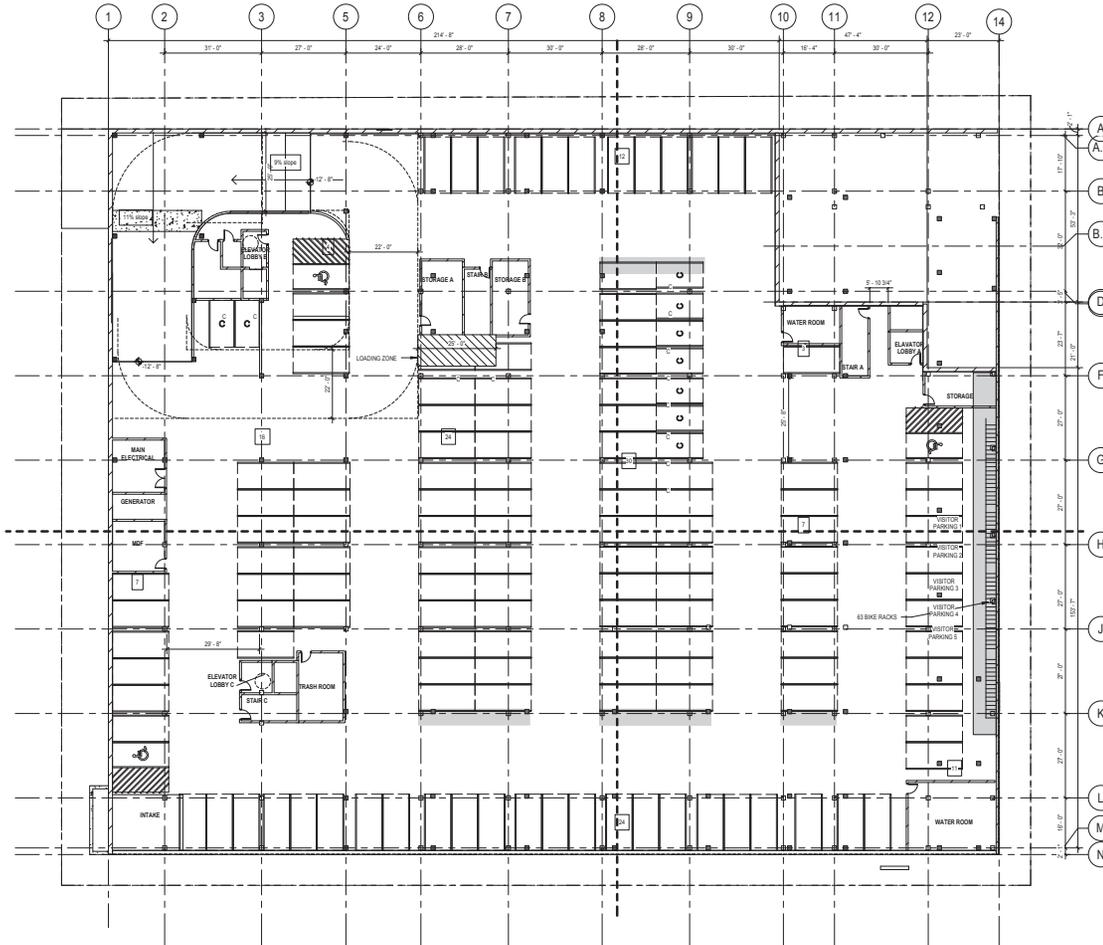
SHEET NUMBER

A098

REFERENCE PLAN - LEVEL P2

C:\Reel\cadd\04001_1400ParkAve_A_2016_sheets\bkvgroup.com.rvt
7/26/2016 11:22:07 AM

Parking Schedule			
Family and Type	Level	Count	
Level P2			
Parking - 90 Degree Spaces: 8'-0" x 15'-0" Compact (MPS)	Level P2	9	
Parking - 90 Degree Spaces: 8'-0" x 15'-0" ADA	Level P2	1	
Parking - 90 Degree Spaces: 8'-0" x 15'-0" ADA	Level P2	3	
eStairs			
Parking - 90 Degree Spaces: 8'-0" x 15'-0" Standard	Level P2	135	
Level P1			
Parking - 90 Degree Spaces: 8'-0" x 15'-0" Compact	Level P1	9	
Parking - 90 Degree Spaces: 8'-0" x 15'-0" ADA	Level P1	3	
Parking - 90 Degree Spaces: 8'-0" x 15'-0" Standard	Level P1	129	
Level P1: 141			
Grand total: 269			



1400 REFERENCE PLAN - LEVEL P1

CONSULTANTS

PROJECT TITLE
1400 PARK AVE APARTMENTS



ISSUE #	DATE	DESCRIPTION
	2016/02/15	LAND USE REGULATORY

NOT FOR CONSTRUCTION

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License Number	Date
DATE	1/25/2016
DRAWN BY	ADW
CHECKED BY	CHW
COMMISSION NUMBER	2842/PT

SHEET TITLE
REFERENCE PLAN - LEVEL P1

SHEET NUMBER

A099

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
20160210		LAND USE PERMIT/FINAL
20160210		LAND USE PERMIT/REVISED
20160210		LAND USE PERMIT/FINAL
20160210		LAND USE PERMIT/FINAL

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License Number _____ Date _____

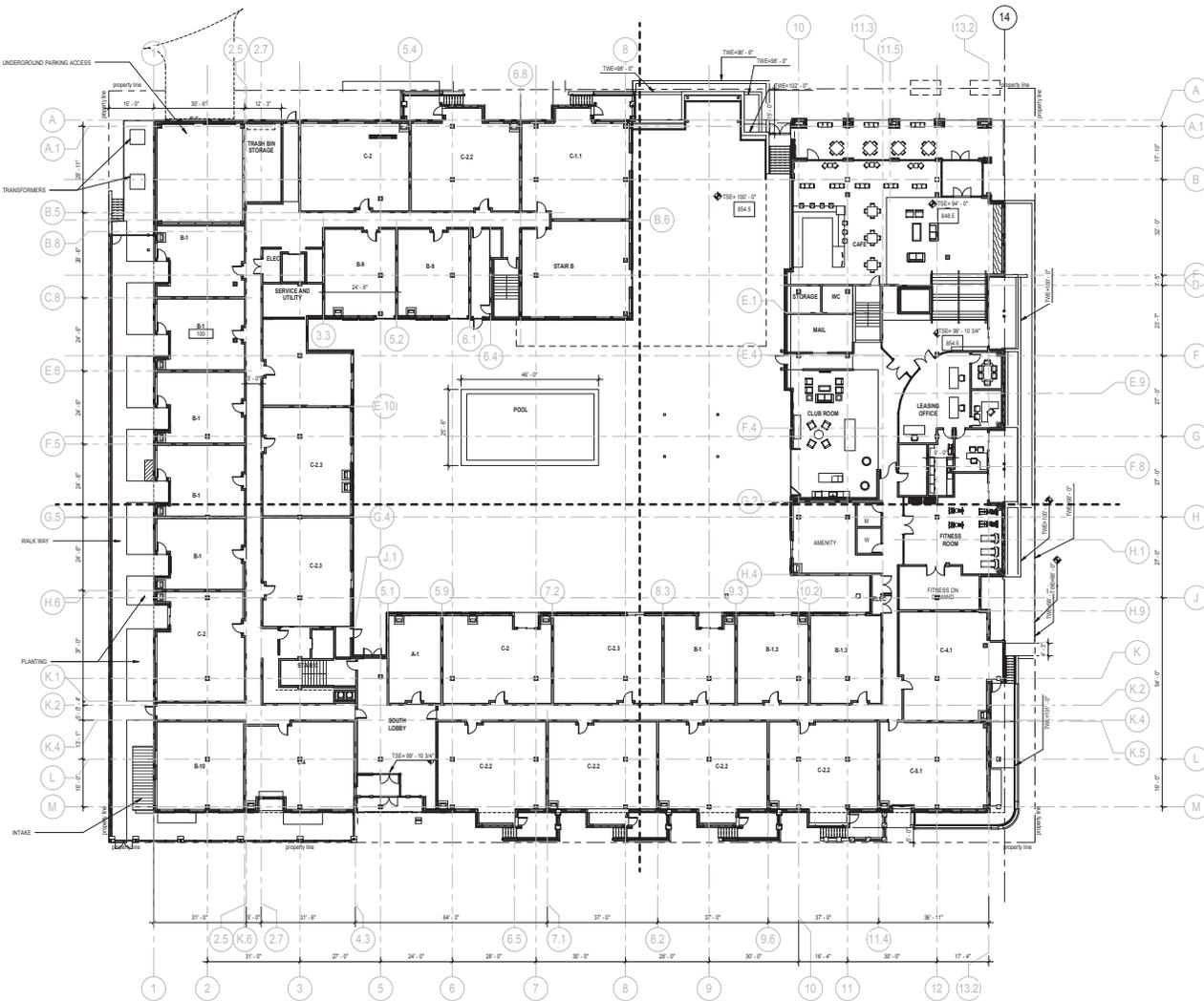
DATE	2/20/2016
DRAWN BY	AJL/BJ
CHECKED BY	CHW
COMMISSION NUMBER	284127

SHEET TITLE

REFERENCE
PLAN - LEVEL 1

SHEET NUMBER

A101



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7/26/2016 11:22:22 AM

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
20160215		LAND USE PERMITTAL
20160215		LAND USE PERMITAL
20160215		LAND USE PERMITTAL
20160215		LAND USE PERMITTAL

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CONSTRUCTION**

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License Number _____ Date _____

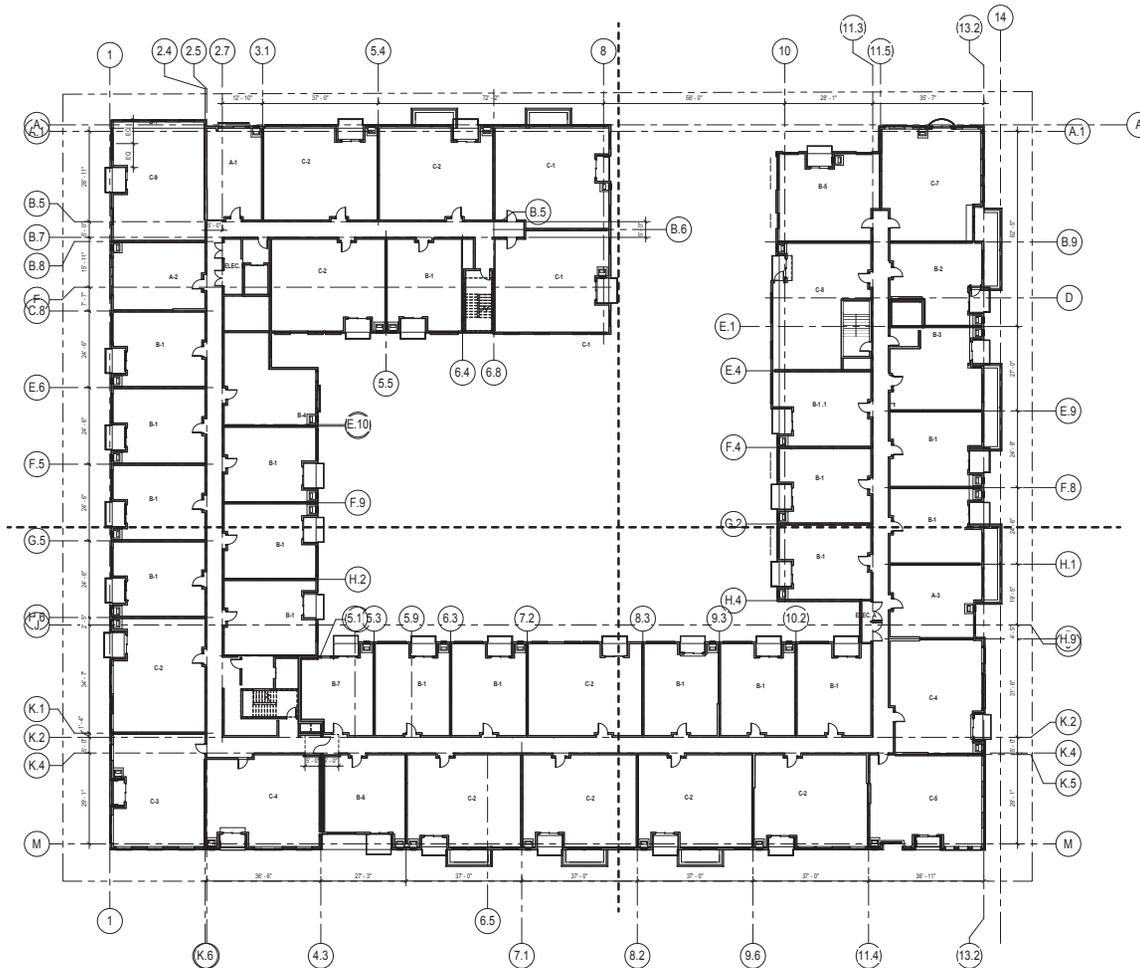
DATE	1/20/2016
DRAWN BY	AJL/BJ
CHECKED BY	CHW
COMMISSION NUMBER	284127

SHEET TITLE

REFERENCE
PLAN - TYPICAL -
LEVELS 3-5

SHEET NUMBER

A103



PLAN - LEVEL 3-5 TYP
1/8" = 1'-0"

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
20160210		LAND USE REGULATORY

**NOT FOR
CONSTRUCTION**

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License Number _____ Date _____

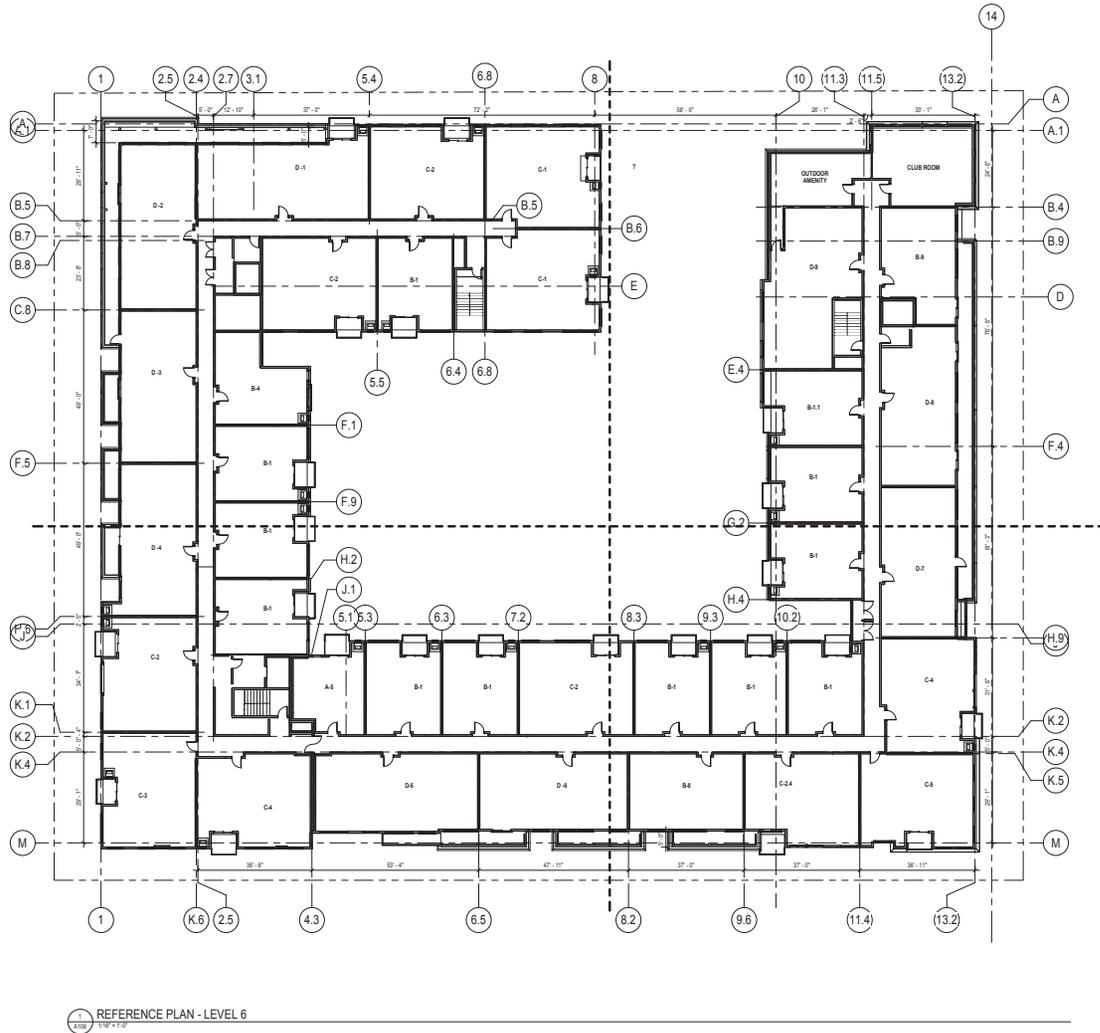
DATE	1/20/2016
DRAWN BY	AJW
CHECKED BY	CHW
COMMISSION NUMBER	284217

SHEET TITLE

REFERENCE
PLAN - LEVEL 6

SHEET NUMBER

A106



1 REFERENCE PLAN - LEVEL 6
A106 1/8" = 1'-0"

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
20150215		LAND USE REGULATORY

**NOT FOR
CONSTRUCTION**

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License Number _____ Date _____

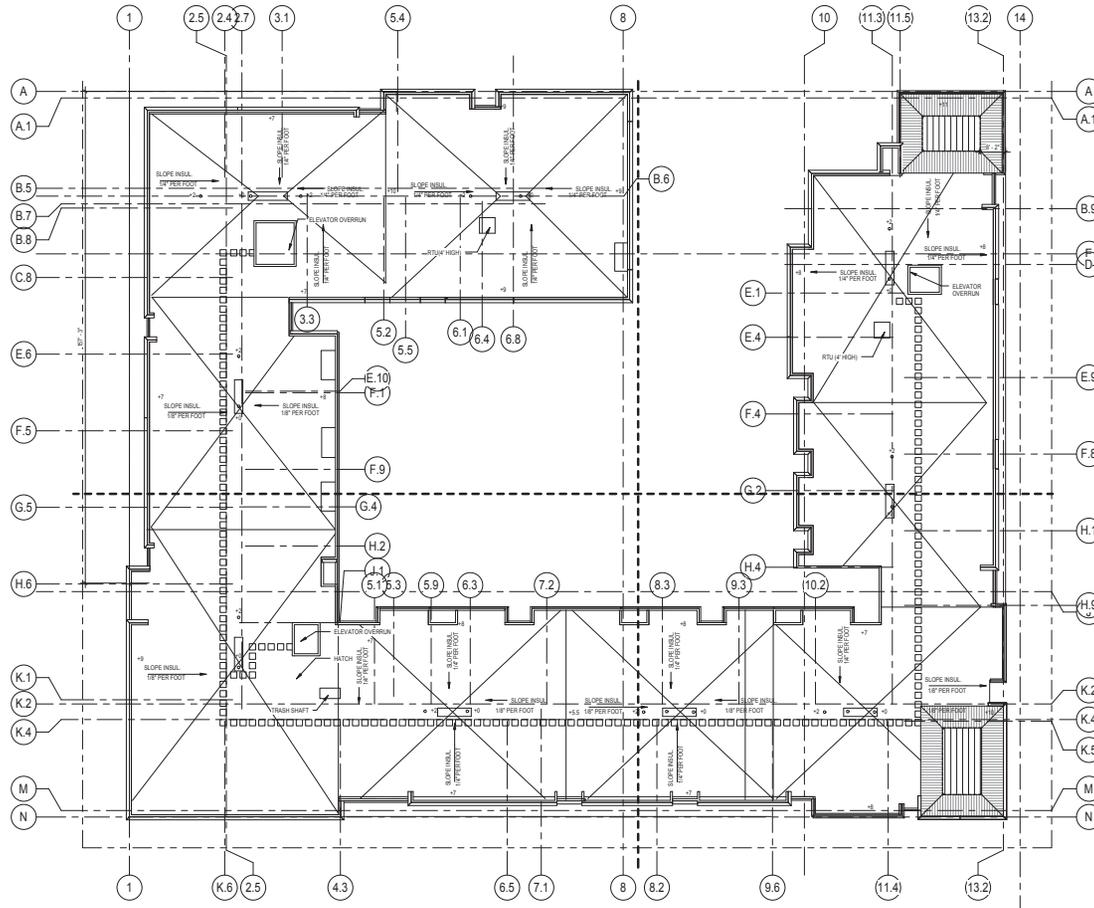
DATE	1/20/2016
DRAWN BY	ADDF
CHECKED BY	CHOW
COMMISSION NUMBER	284121

SHEET TITLE

REFERENCE
PLAN - ROOF

SHEET NUMBER

A107



ROOF PLAN
1/16"

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN

ISSUE #	DATE	DESCRIPTION
20160210		LAND USE SUBMITTAL
20160210		LAND USE PERMITS
20160201		LAND USE SUBMITTAL

NOT FOR
CONSTRUCTION

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License Number	Date
DATE	01/20/2016
DRAWN BY	AJW
CHECKED BY	CHW
COMMISSION NUMBER	284121

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A402C

EXTERIOR MATERIAL LEGEND

FSDG-1	5/8" FIBER CEMENT LAP SIDING, 6" TERRACOTTA PAINT
FSDG-2	5/8" FIBER CEMENT LAP SIDING, 10" CREAM PAINT
FSDG-3	5/8" FIBER CEMENT LAP SIDING, 6" GRAY PAINT
FSDG-4	5/8" FIBER CEMENT BOARD PANEL PAINT
FB-1	BRICK MASONRY VENEER, BURGUNDY, 4:20 EMPEROR MASONRY
FB-2A	BRICK MASONRY VENEER, GRAY, UTILITY W/ DARK GRAY BANDING
FB-2B	BRICK MASONRY VENEER, GRAY
CSTN-1	CAST STONE, ARRISCAFT RENAISSANCE STONE
APC-1	ARCHITECTURAL PRECAST CONCRETE
MP-1	METAL SHINGLE, 6" x 12", BRONZE
MP-1	METAL ROOF PANEL, STANDING SEAM, BRONZE
SMF-1	SHEET METAL FLASHING
W-1	COMPOSITE WINDOW
BSD-1	COMPOSITE SLIDING GLASS DOOR
AFS-1	ALUMINUM FRAMING SYSTEM
RAIL-1	PREFINISHED ALUMINUM RAILING
BALC-1	PREFINISHED ALUMINUM BALCONY

NOTE: GRILLS TO BE PAINTED TO MATCH ADJACENT WALL MATERIAL



WEST ELEVATION AT COURTYARD_COLOR

1/16/17



SOUTH ELEVATION AT COURTYARD_COLOR

1/16/17



EAST ELEVATION AT COURTYARD_COLOR

1/16/17



NORTH ELEVATION AT COURTYARD_COLOR

1/16/17

Courtyard - East Elevation

Material	Area	Percentage
Masonry	1122	12%
Glass	3322	35%
Fiber Cement Siding - 5/8"	0	0%
Fiber Cement Siding - 1/4"	3691.25	39%
Metil Panel	850	9%
Metil Trim	573.75	6%

Courtyard - North Elevation

Material	Area	Percentage
Masonry	1421	19%
Glass	2351	32%
Fiber Cement Siding - 5/8"	1984.5	27%
Fiber Cement Siding - 1/4"	1160.5	16%
Metil Panel	0	0%
Metil Trim	384	5%

Courtyard - South Elevation

Material	Area	Percentage
Masonry	1022.75	9%
Glass	4567	39%
Fiber Cement Siding - 5/8"	2334.25	20%
Fiber Cement Siding - 1/4"	3368.5	29%
Metil Panel	0	0%
Metil Trim	517.5	4%

Courtyard - West Elevation

Material	Area	Percentage
Masonry	1600	13%
Glass	3844	32%
Fiber Cement Siding - 5/8"	1165.25	10%
Fiber Cement Siding - 1/4"	4697	40%
Metil Panel	0	0%
Metil Trim	572	5%

CONSULTANTS

PROJECT TITLE
**1400 PARK AVE
APARTMENTS**

KEY PLAN
TRUE NORTH PLAN NORTH

ISSUE #	DATE	DESCRIPTION
20160115		FOR SUBMITTAL
20160115		FOR CITY SUBMITTAL
20160701		LAND USE PERMIT
20160701		LAND USE PERMIT

NOT FOR
CONSTRUCTION

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Chad S. Kaulb	
4278	Date
License Number	01010294
DATE	2/10/2016
DRAWN BY	JTD
CHECKED BY	CSK
COMMISSION NUMBER	284021

SHEET TITLE

PHOTOMETRIC
SITE PLAN

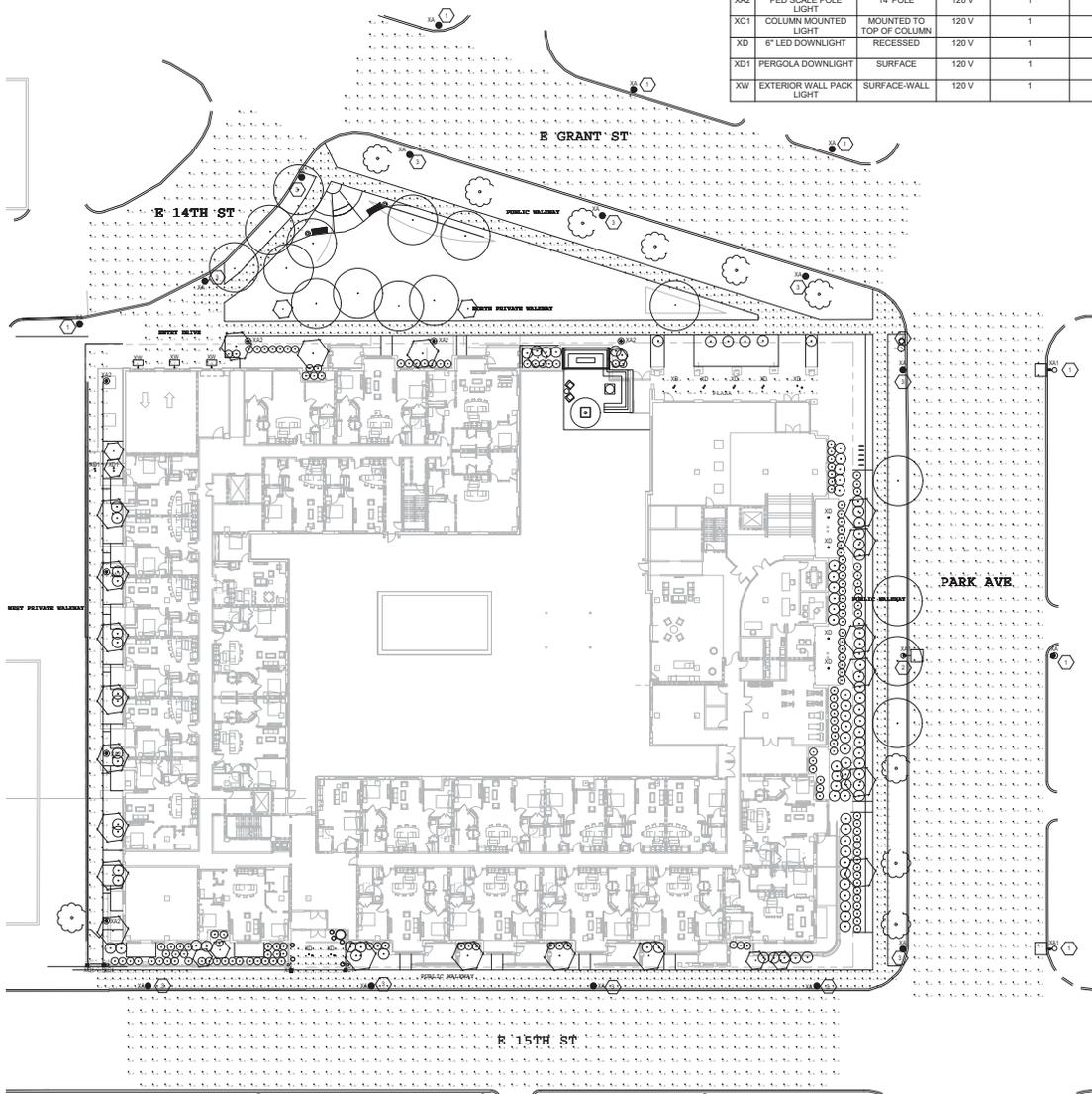
SHEET NUMBER

E010

LUMINAIRE FIXTURE SCHEDULE (EXTERIOR)										
ID	FIXTURE TYPE	MOUNTING	VOLTS	FIXTURE LAMP QUANTITY	FIXTURE WATTAGE	FIXTURE LAMP TYPE	CONTROL MEDIA (LENS, LOUVERS, ETC)	FIXTURE DESCRIPTION TYPE	MANUFACTURER SERIAL NUMBER	NOTES
XA	LOW LEVEL POLE LIGHT	15' POLE	120 V	1	70 W	LED	TYPE III DISTRIBUTION	MINNEAPOLIS STANDARD LOW LEVEL POLE LIGHT	HOLOPHONE WASHINGTON FULL CUTOFF SERIES W/ MINNEAPOLIS STANDARD 15' POLE	
XA1	HIGH LEVEL POLE LIGHT	30' POLE	120 V	1	82 W	LED	TYPE III DISTRIBUTION	MINNEAPOLIS STANDARD HIGH LEVEL POLE LIGHT	LECTEK GC1-40F-MV-NW-3-GY-700	
XA2	PED SCALE POLE LIGHT	14' POLE	120 V	1	34 W	LED	TYPE III DISTRIBUTION	PEDESTRIAN SCALE POLE LIGHT	LUMINIS MAYA 20 SERIES W/ PAA414-BKT POLE	
XC1	COLUMN MOUNTED LIGHT	MOUNTED TO TOP OF COLUMN RECESSED	120 V	1	50 W	LED	TYPE III DISTRIBUTION	PIER MOUNT BASE DIMMING DRIVER	STERNBERG LIGHTING 1843LED8E450PB3ARC3S13MDL03	
XD	6" LED DOWNLIGHT		120 V	1	23 W	23 LED, 3000K	OPEN APERTURE	6" APERTURE DOWNLIGHT	GOTHAM EVO SERIES	
XD1	PERGOLA DOWNLIGHT	SURFACE	120 V	1	18 W	LED 3000K	FLOOD LENS	POWER CANOPY FOR PERGOLA MOUNTING	BK LIGHTING DENALI DE-LED-X31-FL WITH POWER CANOPY	
XW	EXTERIOR WALL PACK LIGHT	SURFACE-WALL	120 V	1	50 W	LED	TYPE IV DISTRIBUTION		LITHONIA WSR-LED	

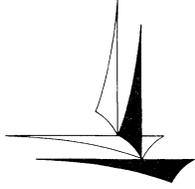
ELECTRICAL KEYNOTES

- 1 HYPOTHETICAL FUTURE CITY STREET LIGHT LOCATION. LIGHT FIXTURE SHOWN FOR PHOTOMETRIC CALCULATION PURPOSES ONLY.
- 2 NEW CITY OF MINNEAPOLIS HIGH LEVEL STREET LIGHT. TO BE CONNECTED TO CITY CONTROL AND POWER. PROVIDED AND INSTALLED BY CITY.
- 3 NEW CITY OF MINNEAPOLIS LOW LEVEL STREET LIGHT. TO BE CONNECTED TO CITY CONTROL AND POWER. PROVIDED AND INSTALLED BY CITY.
- 4 CITY OF MINNEAPOLIS CBD CABINET TO BE LOCATED IN RIGHT-OF-WAY NEXT TO SIGNAL CABINET AT THIS LOCATION. CABINET TO INCLUDE PULL OUT DISCONNECT AND SPACE FOR TWO METERS. PROVIDED AND INSTALLED BY CITY.



Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
E 14th St	Illuminance	FC	1.75	3.7	0.5	3.59	7.40
E 15th St	Illuminance	FC	1.73	6.5	0.5	3.46	13.00
E Grant St	Illuminance	FC	1.62	3.5	0.6	3.70	6.50
Entry Drive	Illuminance	FC	6.49	9.7	3.9	1.66	2.49
NORTH PRIVATE WALKWAY	Illuminance	FC	1.71	5.3	0.3	5.70	17.67
PARK AVE	Illuminance	FC	1.58	4.9	0.6	3.97	6.67
PARKA	Illuminance	FC	7.96	10.8	6.9	1.35	1.83
PUBLIC WALKWAY	Illuminance	FC	1.58	26.1	0.3	18.80	261.00
West Private Walkway	Illuminance	FC	2.46	15.4	1.0	3.46	15.40

ELECTRICAL PHOTOMETRIC SITE PLAN



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATHEW JAMES**
(612) 673-
mathew.james@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001396
Applicant:	BKV 222 N. 2ND ST MINNEAPOLIS, MN 55401
Site Address:	1400 PARK AVE 627 14TH ST E 622 15TH ST E
Date Submitted:	15-JAN-2016
Date Reviewed:	27-JAN-2016

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.

Project Scope

Mixed-use development with 260 housing units and a 1,200 square foot restaurant.

Review Findings (by Discipline)

Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of existing structures.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Business Licensing

- Continue to work with Matthew D. James (612-673-2547) concerning a Food Plan Review and a Business License for the restaurant that will occupy 1,200 feet of the structure.

□ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed 1400 Park Ave Apartments building will be 1400 Park Ave. The secondary address will be 1501 15th St. E. as this is a second residential entrance. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
 - Please provide each condo, suite, unit or apartment number.

□ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparks.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
- Park Dedication Fee Calculation =

• Residential (260 units x \$1,521 per unit)	= \$395,460.00
• 5% of \$395,460 (Administration Fee, \$1,000 max)	= \$ 1,000.00
• Total Park Dedication Administrative Fee	= \$396,460.00
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Matthew D. James at (612) 673-2547.

□ Zoning - Planning

- Based on a cursory review of the plans submitted, the following land use applications will be required:
- Rezoning of the 622 E 15th St parcel to OR2 District
- Conditional Use Permit to increase maximum height
- Variance to increase maximum floor area ratio
- Variances to reduce the front yards on Park Avenue, 14th St E, and 15th St E
- Variance to reduce the interior side yard (for transformers)
- Curb cuts in the OR2 District which exceed 25 feet would require a variance. (541.240)
- Site plan review
- Plat (if applicant chooses to)
- Please clarify the location of terraces/retaining walls/planters/walk ups on site plan.

- Identify height of all retaining walls/planters
- The east and north elevations are not meeting minimum window area requirements for site plan review. First floor minimum window area is measured between 2 and 10 feet above the adjacent grade. Alternative compliance will be required if not meeting the minimum window area requirements. (530.120)
- Note visible light transmittance of windows proposed in nonresidential space.
- Clarify location of fence and provide detail (see fence standards 535.370)
- Please provide more detail about the lighting proposed. Review lighting requirements in Section 535.590 of the zoning code.
- Please provide a landscaping matrix to ensure that the proposed landscaping meets the site plan review landscaping requirements (530.160)
- Provide architectural line drawing of elevations as well (not colored and no trees etc rendered).
- A historic review letter was requested by BKV in August 2015 for the property at 622 15th Street East. That letter stated that the property does not appear to meet the local designation criteria listed in section 599.201 of the Minneapolis Code of Ordinances and has been determined not to be a historic resource. Contact Lisa Steiner or Beth Elliot (612) 673-2442 for more details or a copy of the letter.

□ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.

□ Street Design

- The proposed driveway apron is shown incorrectly, with radius and curbs that exceed minimums. All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road, and the standard plates included on Sheet C8-1 of the plans.
- The curb & gutter details included on Sheet C8-1 of the plans do not appear to match existing conditions. All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City Standard B624 Curb and Gutter. If curb replacement along Park Ave. S. is required, replacement curb shall be City Standard B660 Curb & Gutter. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the following details from the ROAD-1000 Series - Curbs and Gutters to the plans: ROAD-1003 and Road -1006.

□ Sidewalk

- The proposed 5' sidewalk along E. 15th St. does not meet City design guidelines for the pedestrian clear zone. The Project streetscape shall be designed in accordance with the Access Minneapolis design guidelines; see <http://www.ci.minneapolis.mn.us/publicworks/transplan/index.htm> for further information. Specifically, the pedestrian zone is of concern, a minimum 6'-0" clear zone (un-obstructed) sidewalk shall be maintained for

the length of any block in a straight line (the clear pedestrian zone cannot "jog" around planters and tree grates). Locations for site furniture, tree grates, planters and other proposed design elements that fall within the Public right-of-way shall be modified to provide for the required pedestrian clear zone space. For further clarification, site plans shall be fully dimensioned in relation to the property lines, Public right-of-way, sidewalks, street furniture, landscaping, utilities, and other obstructions.

- ADA compliant pedestrian ramps are required at each crosswalk at the intersection of Park Ave. S. and E. 14th St, and at Park Ave. S. and E. 15th St.. Construct two (2) ADA compliant pedestrian ramps at each of these locations. All pedestrian ramps will need to meet current ADA regulations and be "Accessible Pedestrian Signal" (APS) ready. Please contact Ryan Anderson at 612-673-3986 for more information on current APS designs. Include the appropriate details and standard plates in the site plan; refer Mn/DOT Standard Plan 5-297.250 Pedestrian Curb Ramp Details at: <http://standardplans.dot.state.mn.us/stdplan.aspx>
- Note to the Applicant: The ADA pedestrian ramp at the corner of Grant St. E. and E. 14th St. meets current standards and should be protected from damage if at all possible.
- The Applicant shall provide details of the proposed bike racks; contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way. If the racks are privately owned, they will require an encroachment permit.
- Note to the Applicant: Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any concrete infrastructure damaged during construction, must be removed and replaced.

□ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue; please continue to work with Allan Klugman at (612) 673-2743 to discuss the requirements for completion of the submitted Travel Demand Management Plan (TDMP).
- All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Joseph Laurin at (612) 673-5987 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels. Per the City of Minneapolis Street Lighting Policy, street lighting is required as the project falls within the Central Business District. Lighting levels shall be as follows:
 - Grant Street is within the Central Business District with the standard 1.5-2.0 fc, uniformity 3 to 1 max (low level lights would be fine at this location).
 - E. 15th St. is considered a "pedestrian priority corridor", and based on road width; low level lights should be able to reach the standard of .8 to 1.2 fc with a uniformity of 3 to 1 max.
 - Park Avenue is considered a "pedestrian priority corridor", but due to the road width we would require a high level -low level mix of street lights. Park Avenue will need to meet the same pedestrian priority lighting standards of .8 to 1.2 fc, uniformity 3 to 1 max.
- All street lighting in the Public right-of-way shall be designed and constructed to City standards. The Applicant shall submit a detailed plan specifying pole locations, light standards and fixture types, and include all required Minneapolis standard plates for installation details. These include design plates for poles (15' aluminum or 30' high level pole), fixture cut sheets from suppliers (must meet full cutoff standard and be a fixture identified in the Minneapolis Street Light Policy), concrete pole foundation details, lighting cabinet (typically 120 volt cabinet CBD for downtown, non-CBD for elsewhere), and wiring diagrams for lighting connections. A power source for the lighting must be identified from Xcel Energy and be located in the Public right-of-way (street lighting shall not be powered from sources on the private development site). Note that the plan does not appear to place the street lighting foundations with the centerline of the foundation 24 inches from the backside of the curb.
- Note to the Applicant: In addition to the various required construction permits, impacts to existing traffic signal and street lighting systems (including installation of new street lights) will require the Applicant and respective Contractors to enter into a separate Right-of-Way Excavation Permit (including Testing and Inspection requirements) with the Public Works Department, for further information regarding this permit please coordinate with Paul Miller at (612) 673-3603. If this project chooses not to use City forces to install the street lighting, the Contractor shall follow the standard supplemental specifications for the DIVISION SL-

LIGHTING. For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>

- The site plan indicates truck turning maneuvers leaving the parking garage, but no indication of how trucks enter the garage. Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property (backing of trucks from the Public right-of-way to a loading area is not allowed). Please provide a narrative explaining the truck delivery and trash removal operations and show all turning maneuvers for all truck type vehicles that will be using the loading dock/parking entrance areas.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- The proposed driveway apron width of 37.5' exceeds minimums; driveways in excess of 35' may require a variance. The Applicant shall provide detailed information to justify the wider driveway opening.
- The vehicle access point on E. 14th St. shall provide for an unobstructed 20' sight triangle and shall have less than a 4% slope for the first 20 feet from the property line. If these minimums cannot be attained the Applicant shall provide mitigating measures, such as pedestrian warning devices, signage, and slip prevention measures on the ramp. Generally, a vehicle should not be stopped on the sidewalk or in a moving lane of traffic waiting for a garage door to open. Please provide a narrative explaining garage door operation on E. 14th St.
- Note to the Applicant: Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

□ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.
- Meters shall be set at the point where the service line enters the building and shall be set in a location where it is easily assessable. Domestic service lines larger than three inches require a Bypass Assembly (see attachment).
- Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

□ Sewer Design

- Groundwater: Please identify the first and lowest floor elevations on the grading plan. Please also identify if any groundwater discharges are proposed in order to keep the below grade portions of the building dry.
- Stormwater Management: It is recommended that infiltration practices not be located within 10' of a building foundation. Please consider the potential risks associated with this design.

- The foundation drain tile is in close proximity to the infiltration system. Please identify where this foundation drain tile system discharges and demonstrate that runoff intended to be infiltrated is not being intercepted by the drain tile.
- The HydroCAD model assumes the courtyard area will be some type of green roof system. No details have been provided on the courtyard design. Please provide detail to support the stormwater modeling or model the courtyard assuming it is impervious area.
- The width of the stone storage bed around the 60" CMP is shown as 6' on Sheet C8-2, while the HydroCAD model has it as 7'. Please revise accordingly.
- The top elevation of the 60" CMP is labeled as 842.25 on Sheet C8-2, which would make the pipe 4' diameter instead of 5', as shown. The top of pipe and top of rock are also shown to have the same elevation, which differs from the detail. Please revise accordingly.
- In the absence of field measured infiltration rates, the design infiltration rates from the MN Stormwater Manual (http://stormwater.pca.state.mn.us/index.php/Design_infiltration_rates) should be used for the design of the infiltration practice.
- Please clarify what pipe is identified as having an invert of 844.03 at MH 1.
- As a 15" orifice appears to be proposed at the outlet of MH 1, the entire storm connection to the City storm sewer should be 15" as well.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or paul.chellsen@minneapolismn.gov).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- Utility Connections: There appears to be a potential conflict with the existing watermain and the proposed storm sewer connection in Park Ave. The invert of the storm at the MH nearby is 840.2, putting the connection about 7' deep. This will likely conflict with the existing watermain elevation; any potential conflicts should be resolved as part of the site plan approval process.
- Please justify the proposed two 10" sanitary sewer connections. Two 10" sanitary services seem excessively large for a building of this size.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

❑ Construction Code Services

- The plan as submitted meets the requirements of the Construction Code Services Division.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf or SACprogram@metc.state.mn.us

☐ Fire Safety

- Provide required fire suppression system throughout building
- Fire department connection must be on the address side of building and within 150 feet of a fire hydrant.
- Provide a fire alarm system throughout building.
- Provide and maintain fire apparatus access at all times.

☐ Environmental Health

- No outstanding environmental issues were identified with the property that need to be addressed with the project. One of the historical uses was a mortuary.
- If during demolition and excavation tanks, wells or contaminated soil is encountered the project will need notify the City and the State Duty Officer.
- A permit must be obtained from Environmental Services for the removal of tanks, sealing of wells, storage of impacted soils, discharge of water during excavation and afterhours work.

END OF REPORT

1400 Park Avenue Apartments LLC

June 22, 2016

Lynn Regnier
609 South 10th Street, Suite 170
Minneapolis, MN 55404

Dear Lynn:

This letter is given to inform you that the developer is submitting a revision to the General Land Use Application for a mixed use project (residential and commercial) called 1400 Park Avenue Apartments. In general, the proposed development is the same as previously submitted in February; i.e., size, height, landscape design, setbacks. However, there have been some aesthetic changes to the architectural design and material choices that require a resubmittal. Also, there is an amendment to a previous variance and one new variance request that will be considered.

Executive Summary

The project site for the proposed 1400 Park Avenue Apartments is bounded by 14th Street E and Grant Street on the north, Park Avenue on the east, and 15th Street E on the south. The properties to the west contain a parking lot on the north end (facing 14th street E) and an existing church that has a historic resource designation on the south (facing 15th Street E.). The site is currently occupied by a 2-story brick office building (1400 Park Ave), a parking lot (627 14th Street E), and a single family home (622 15th Street E). The proposed project is an infill, dense urban development that will include mostly residential units, plus a small area of commercial/retail space. This use is consistent with the OR2 and R6 zoning of the site and with the adjacent residential and retail uses. The existing 2-story building at 1400 Park Ave. and the single family home on 622 15th St. are proposed to be demolished. The property containing the existing church at 624 15th St. is also owned by the developers. This building is proposed to remain however the long range use for it not yet been determined. Some options for this property would be to rehabilitate the building for an amenity use for the housing project or raze the building to make way for a dog park and landscape garden for the housing project.

The proposed development consists of 6 stories of residential dwelling units and 2 levels of below grade parking. The main entrance, lobby, leasing offices, and common areas are located on Level-1 adjacent to Park Avenue on the east side of the site with the main entrance doors facing the intersection of Park Avenue and Grant Street. The lobby will include commercial space for a cafe that will be available to neighborhood residents as well as to residents of the building. Vehicular access to below-grade parking and the grade-level loading zone will be from the northwest corner of the site from 14th Street East. A large courtyard located at the interior of the site at Level-1 will include residential amenities such as swimming pool, spa, grilling and dining areas, landscaping, and unit patios. The building design is intended to be pedestrian friendly and consistent with the scale and architectural rhythm of the neighborhood. Walk-up entries to individual dwelling units are provided at 14th Street, 15th Street, Park Avenue, and the interior side yard. Also along Park Avenue, patios for fitness and leasing are included to provide outdoor space for these areas and to activate the street-front.

Planning Department Considerations

In order for the project to be accepted for review by the Planning Commission, the following variance applications are required by the City in addition to the Land Use Application.

1. Variance Application for Yard Requirements. The variance request previously approved by the City allows for zero feet yard under the following conditions:
 - Reduce the required yard from 15 feet to 0 feet at East 15th Street, East Grant Street, and East 14th Street. As shown on the Site Plan, stairs and dwelling unit patios are located between 0 feet and 5 feet from the property line. 2-story walk-up entry “bump outs” are located in the area between 5 feet and 10 feet from the property line. The main building wall ranging in height from 5-stories to 6-stories is located 10 feet back from the property line.

The amendment to this variance would add the following description: Allow for a 2'-6" projection from the main building wall at level-2 through level-5 at 14th Street East at the west end of the building. This wall is proposed to be located 7'-6" from the property line.

2. Variance Application to allow for a 5' high fence in the front yard on East 15th Street. The fence design consists of masonry piers at 5'-6" high and a prefinished metal fence at 5'-0" high with vertical pickets at 4" on-center spanning between the piers and metal posts. The purpose of the fence is to give added security and privacy for the three units located at the southwest corner of the building since the floor level is 1'-6" to 1'-0" below the level of the sidewalk.

We thank you for your efforts in working with us on to revise our application for the proposed development and hope that you will continue to support this project.

Sincerely,



Daniel E. Hunt

Hunt Development

Phone: 612-910-5414

Fax: 612.284.5337

Email: dhunt@huntassociatesllc.com



July 6, 2016

Lisa Steiner, City Planner
Minneapolis Community Planning and Economic Development
250 South Fourth Street, Room 300
Minneapolis, MN 55415

Re: **REVISED** 1400 Park Avenue Apartments

Dear Ms. Steiner:

Dan Hunt, Hunt Associates, presented new drawings to the Elliot Park community for the market rate apartment building to be built at 1400 Park Avenue. (A previous design was approved by the EPNI Board of Directors and by the City Planning Commission.) The building owner subsequently preferred a less contemporary design and changes were made to reflect more of the historic building elements as seen in the neighborhood. The design now incorporates several shades of red and cream brick, mansard rooftops at the corners, archways and several covered porch entries. The new design requires two additional variances from the original plan:

1. Variance Application for Yard Requirements. The variance request previously approved by the City allows for zero feet yard under the following conditions: Reduce the required yard from 15 feet to 0 feet at East 15th Street, East Grant Street, and East 14th Street. As shown on the Site Plan, stairs and dwelling unit patios are located between 0 feet and 5 feet from the property line. 2-story walk-up entry "bump outs" are located in the area between 5 feet and 10 feet from the property line. The main building wall ranging in height from 5-stories to 6-stories is located 10 feet back from the property line.

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Following a motion and recommendation from the Building, Land Use & Housing Committee the EPNI Board of Directors approved the following on July 5, 2016: ***Motion to support the change of materials and design and the additional two variances as presented (for 1400 Park Avenue Apartments) on 6-16-2016 (plans dated 06.13.2016).***

Please contact me if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads "Lynn Regnier". The signature is written in a cursive, flowing style.

Lynn Regnier, Executive Director

cc. 7th Ward Council Member Lisa Goodman
Dan Hunt, Hunt Associates



August 10, 2016

Lisa Steiner, City Planner
Minneapolis Community Planning and Economic Development
250 South Fourth Street, Room 300
Minneapolis, MN 55415

Re: **REVISED-2** 1400 Park Avenue Apartments

Dear Ms. Steiner:

Dan Hunt, Hunt Associates, presented new drawings to the Elliot Park community for the market rate apartment building to be built at 1400 Park Avenue. The design was changed to reduce the number of different materials on the exterior of the building.

Following a motion and recommendation on July 21, 2016 from the Building, Land Use & Housing Committee, the EPNI Board of Directors approved the following on August 10, 2016: ***Motion to support the change of materials and design for 1400 Park Avenue Apartments as presented on 7-21-2016 (plans dated 07-19-2016).***

Please contact me if you have any questions.

Sincerely,

Lynn Regnier, Executive Director

cc. 7th Ward Council Member Lisa Goodman
Dan Hunt, Hunt Associates