

**LAND USE APPLICATION SUMMARY**

*Property Location:* 3621 Bryant Avenue S  
*Project Name:* 3621 Bryant Avenue S 4-Plex  
*Prepared By:* Kimberly Holien, Principal Planner, (612) 673-2402  
*Applicant:* Farkas Wagner, LLC  
*Project Contact:* James Graham, Cundy, Santine and Associates, Architects  
*Request:* To reduce the north and south interior side yard setbacks for a new four-story residential building with four dwelling units.

*Required Applications:*

<b>Variance</b>	To reduce the north interior side yard setback from 11 feet to 10 feet and to reduce the south interior side yard setback from 11 feet to 10 feet.
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**SITE DATA**

<b>Existing Zoning</b>	R5, Multiple-family District
<b>Lot Area</b>	5,421 square feet / 0.12 acres
<b>Ward(s)</b>	10
<b>Neighborhood(s)</b>	East Harriet
<b>Designated Future Land Use</b>	Urban Neighborhood
<b>Land Use Features</b>	Community Corridor (Bryant Avenue)
<b>Small Area Plan(s)</b>	<u>N/A</u>

<b>Date Application Deemed Complete</b>	April 8, 2016	<b>Date Extension Letter Sent</b>	N/A
<b>End of 60-Day Decision Period</b>	June 7, 2016	<b>End of 120-Day Decision Period</b>	N/A

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The site currently contains a single-family home that was constructed in 1912. The home is proposed to be demolished as part of the project.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The site is located on Bryant Avenue S between 36<sup>th</sup> Street W and 37<sup>th</sup> Street W. Bryant Avenue S is a Community Corridor in this location. The block contains a mix of residential densities with commercial uses at the corner of 36<sup>th</sup> Street W and Bryant Avenue S, within a Neighborhood Commercial Node. The site is bordered by multi-family residential structures to the north and south. The building to the north is three stories in height (plus a garden level) and contains 20 residential units. The building to the south is two stories in height (plus a garden level) and contains five dwelling units. The property directly across the street is a 2.5 story duplex.

**PROJECT DESCRIPTION.** The applicant is proposing to construct a new four-story residential building with four dwelling units. The first floor contains two dwelling units that are accessed from the front of the structure. The first floor units are combined with the basement with living space on the first floor and three bedrooms for each unit in the basement. The second two units begin on the second floor and are accessed from the rear of the building. Each of these units has five bedrooms and has floor space on floors two through four. For each unit, living space is located on the second floor, three bedrooms are located on the third floor and the fourth floor contains two bedrooms. The fourth floor is recessed eight feet from the south property line to allow for roof decks. The front of the building will have an open porch on the ground floor and deck space above.

The applicant is proposing four parking stalls, three of which are surface stalls and one garage space. The parking is located in the rear yard and accessed from the alley. Exterior materials include fiber cement siding and board and batten fiber cement siding.

**PUBLIC COMMENTS.** Staff has not received any correspondence as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Zoning Board of Adjustment for consideration.

## ANALYSIS

### VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the north and south interior side yard setbacks from 11 feet to 10 feet, based on the following findings:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The side yard setback requirement for multi-family residential structures in the R5 district is 5+2x where “x” equals the number of stories above the first floor. For this four-story building the required side yard setback is 11 feet. The applicant is proposing 10-foot setbacks from the north and south interior side lot lines and a variance has been requested accordingly.

Staff finds that practical difficulties exist in complying with the side yard setbacks due to circumstances unique to the property, primarily the narrow lot width. The lot is only 42 feet in

width, limiting the available space for development. The structure proposed by the applicant is only 22 feet in width and narrowing it would reduce the livability of the units and impact internal circulation. The minimum required width of 1-4 unit residential buildings is 20 feet. Complying with the side yard setbacks would result in a building that just meets the minimum buildable width. While the proposed height is contributes to the increased setback requirement, the proposed four-story height is allowed as of right in the R5 district. While the applicant could do a 3.5 story building in lieu of a four-story building and comply with the yard requirements, that would result in a building design that is out of character with the surrounding area.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that is in keeping with the spirit and intent of the ordinance and the comprehensive plan. The R5, Multiple-family District is established to provide an environment of high density apartments, congregate living arrangements and cluster developments. New single-family homes are not allowed in the R5 district. The site is located along a community Corridor, which calls for low- to medium-density residential development with more intensive development near neighborhood commercial nodes. As previously stated, there is a node near the intersection of Bryant Avenue S and 36<sup>th</sup> Street W. As such, the proposed four-unit building is a reasonable use of the property.

Further, the purpose of setback requirements is to maintain access to light and air, provide adequate separation between uses and provide for normal and orderly development. The applicant is proposing 10-foot setbacks from the north and south, allowing for adequate side yards and adequate separation between uses. The proposed building will be located approximately 17 feet from the residential structure to the north and 15 feet from the residential structure to the south. As previously noted, the fourth floor steps back eight feet from the south building wall to provide additional relief on the top floor.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The pattern of development on this portion of the block includes multi-family residential structures with limited side yard setbacks. The 20-unit building to the north is setback seven feet from the south property line. The building to the south is setback approximately 5.5 feet from the north interior side lot line. Based on aerial photos and staff observations, the setbacks of other multi-family buildings in the area are similar to those of the neighboring buildings. The proposed variance will not be detrimental to the health, safety, or welfare of the general public or those using nearby properties.

## RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the application by Farkas Wagner, LLC for the property located at 3621 Bryant Avenue S:

### A. Variance of the north and south interior side yard setbacks

Recommended motion: **Approve** the application to reduce the north and south interior side yard setbacks each from 11 feet to 10 feet, subject to the following conditions:

1. Each egress window well in the interior side yards shall not exceed 16 square feet in area, in compliance with Section 535.280 of the zoning code.
2. The fourth floor cantilever shall maintain a front yard setback of 15 feet.

## **ATTACHMENTS**

1. PDR report
2. Written description and findings submitted by applicant
3. Zoning map
4. Site plan
5. Plans
6. Building elevations
7. Photos



# Cundy, Santine & Associates Architects

3434 Lexington Avenue North  
Phone/Fax 651-490-5454

Shoreview, Minnesota 55126  
www.cs-architects.com

**3621 Bryant Avenue South – 4 Plex**

**March 28, 2016**

## **Project Description**

The Proposed Bryant Avenue 4-Plex Project is located at 3621 Bryant Avenue South in the East Harriet Farmstead Neighborhood. The site is a single lot with an area of 5,421 sf (0.12 acres). The lot is zoned R5 and has no overlay districts. Multiple-family housing is a permitted use within the R5 zoning district.

The project will replace an existing 2 story house and detached garage with a new 4 story 4-plex with a full basement and detached garage. The total building height will be 43'-0" to the top of the highest peak. The building's setbacks are 16'-0" from the Bryant Avenue South property line, 10'-0" from the side property lines, and 37'-6" from the rear property lines. Open porch extends 6'-0" towards the Bryant Avenue South property line, and open porch extends 4'-0" towards the rear property line. The units are 2 and 3 stories, and consist of (2) three bedroom units on the lower levels, and (2) five bedroom units on the upper levels.

The building design provides an active street front using a simple structure with residential sensitivity. The front and rear façades are articulated with covered entry porches, open railings, articulated roof level detail, appropriate fenestration and variations of fiber cement siding detail. The project will provide (3) total parking stalls at the rear of the lot which are accessed from the alley. There is a transit stop north of the property on the corner of Bryant Avenue South and 36<sup>th</sup> Street West.

### **Required Applications:**

PDR  
1-4 Site Plan Review  
Variance – Side Yard Setback (11 ft. required, 10 ft. proposed)

### **Project Information:**

Address: 3621 Bryant Avenue South  
Applicant: Farkas Wagner LLC  
3033 Excelsior Blvd, #100  
Minneapolis, MN 55416  
561-870-2468  
danielperkins@gmail.com

Please contact our office if you have questions or concerns about the above items.  
James L. Graham - Cundy, Santine & Associates Architects

To Whom It May Concern:

I, Drew Levin owner of 3621 Bryant Ave S, authorize both Cundy, Santine & Associates Architects and CNC Construction to submit any application relating to this property.

Thanks

A handwritten signature in black ink, appearing to read "Drew Levin", followed by a long horizontal line extending to the right.

Drew Levin  
Farkas Wagner, LLC  
352-246-8321



# Cundy, Santine & Associates Architects

3434 Lexington Avenue North  
Phone/Fax 651-490-5454

Shoreview, Minnesota 55126  
www.cs-architects.com

**3621 Bryant Avenue South – 4 Plex**

**March 28, 2016**

## **Request for Variance – Interior Side Yard Setback**

The Proposed Bryant Avenue 4-Plex Project is located at 3621 Bryant Avenue South in the East Harriet Farmstead Neighborhood. The site is a single lot, 42.09 ft. wide by 128.54 ft. deep, with an area of 5,421 sf (0.12 acres). The lot is zoned R5 and has no overlay districts. Multiple-family housing is a permitted use within the R5 zoning district. Maximum building height is 4 stories, not to exceed 56'.

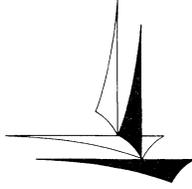
The proposed project was originally intended to be submitted as a 3 1/2 story building with a gable roof and dormers containing the attic floor bedroom and would have met all zoning requirements for this lot. At the request of the local city council member, the project's character was modified from a traditional residential design to the current contemporary design submitted. The 1/2 story attic bedrooms are now considered a fourth floor. The interior side yard setbacks required would be  $5+2(\text{number of stories above the first floor}) = 11$  ft. The proposed structure is 22 ft. wide. The proposed lot is 42 ft. wide, leaving 10 ft. each side for setbacks. The 3 1/2 story apartment building to the north is 7 ft. from the property line and the 2 1/2 story apartment building to the south is 5 ft. 4 in. from the property line.

The proposed setbacks are 16'-0" from the Bryant Avenue South property line (10 ft. min. to the covered porch), 10'-0" from the side property lines, and 37'-6" from the rear property lines. Open porch extends 6'-0" towards the Bryant Avenue South property line, and open porch extends 4'-0" towards the rear property line.

We do not feel the request for a variance of 1 ft. for the side yard setbacks is inconsistent with the existing context.

Sincerely,

James L. Graham, AIA  
Cundy Santine & Associates, Architects



Minneapolis Development Review  
250 South 4<sup>th</sup> Street  
Room 300  
Minneapolis, MN 55415

## Preliminary Development Review Report

**Development Coordinator Assigned:** DONALD ZART  
(612) 673-5645  
don.zart@minneapolismn.gov

Status *

<b>Tracking Number:</b>	PDR 1001421
<b>Applicant:</b>	FARKAS WAGNER LLC 3033 EXCELSIOR BLVD #100  MPLS, MN 55146
<b>Site Address:</b>	3621 BRYANT AVE S
<b>Date Submitted:</b>	29-MAR-2016
<b>Date Reviewed:</b>	

### Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: [http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions\\_home.asp](http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp).

**DISCLAIMER:** *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

### Project Scope

New 4 story, 4 plex

### Review Findings (by Discipline)

#### Zoning - Planning

- The side yard set backs require a variance.
- Please continue to work with Kimberly Holien for this process.

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\***Approved:** You may continue to the next phase of developing your project.  
\***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

**□ Addressing**

The address will be determined.

**□ Parks - Forestry**

- Contact Craig Pinkalla ([cpinkalla@minneapolisparks.org](mailto:cpinkalla@minneapolisparks.org)), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for the proposed four plex, the calculated dedication fee is as follows:
- Residential - 4 x \$1521 = \$6084.00
- Commercial -
- Administrative Fee - 5% of \$6084 = \$ 304.20
- Total = \$6304.20
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at 612-673-2726.

**□ Right of Way**

- Note to the Applicant: The current plan lacks sufficient information related to proposed site disturbance, demolition, and public infrastructure (utilities) for a complete review. In order to be approved the final site plan must provide sufficient detail for the various Public Works Permitting Divisions to easily issue required permits based on the plans; it is recommended that separate plans be provided for demolition, grading & drainage, and utilities.

**□ Sidewalk**

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.
- Note to the Applicant: Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any concrete infrastructure damaged during construction, must be removed and replaced.

**□ Traffic and Parking**

- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations. Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- Note to the Applicant: Please add the following notes to the site plan:
  - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
  - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
  - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

**❑ Street Design**

- The plan as submitted meets the requirements of the Public Works Street Design Division.

**❑ Water**

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing water service connections to the site shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department before any new service lines can be installed, call (612) 673-2451 for more information.
- Domestic water and fire service connections should run in a line perpendicular from the watermain straight into the proposed building to the meter location. The proposed water service connection shall be indicated clearly on the site plan and shall include notes indicating pipe sizes and materials. Please contact Rock Rogers at (612) 673-2286 to confirm domestic water and fire service layout, manhole construction, connections, and sizes.

**❑ Fire Safety**

- Provide required fire suppression system throughout building.
- Fire department connection must be located on the address side of building & within 150 feet of a fire hydrant.
- Provide required fire alarm system throughout building.
- Maintain fire apparatus access at all times.

**❑ Business Licensing**

- There is no Business License requirement for this property.

**❑ Environmental Health**

- If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. The scope of work calls for underground parking. The highest groundwater level expected for this site should be determined and used in establishing the lowest level for underground parking. The underground parking and other subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

**❑ Historical Preservation Committee**

- There is no preservation flag on this property but there will be a preservation review as part of the wrecking permit process. The wrecking permit needs to be obtained by a licensed wrecking contractor.

**□ Sewer Design**

- Groundwater: Please include the low floor elevation on the Grading Plan and identify if discharge of groundwater is proposed in order to keep the below grade portions of the building dry after construction. If not, please clearly indicate this.
- Utility Connections: All existing and proposed sewer service connections to the property shall also be shown and noted on the plans as being removed, remaining in place or new. The relevant sewer information on the services should also be shown (pipe size, type, inverts, etc.).
- Please note the existing sanitary sewer connection may be quite old. It is recommended that the condition of the service line be evaluated prior to re-use and replaced or lined if necessary. The service to the City main, including the connection, is the responsibility of the property owner.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov)

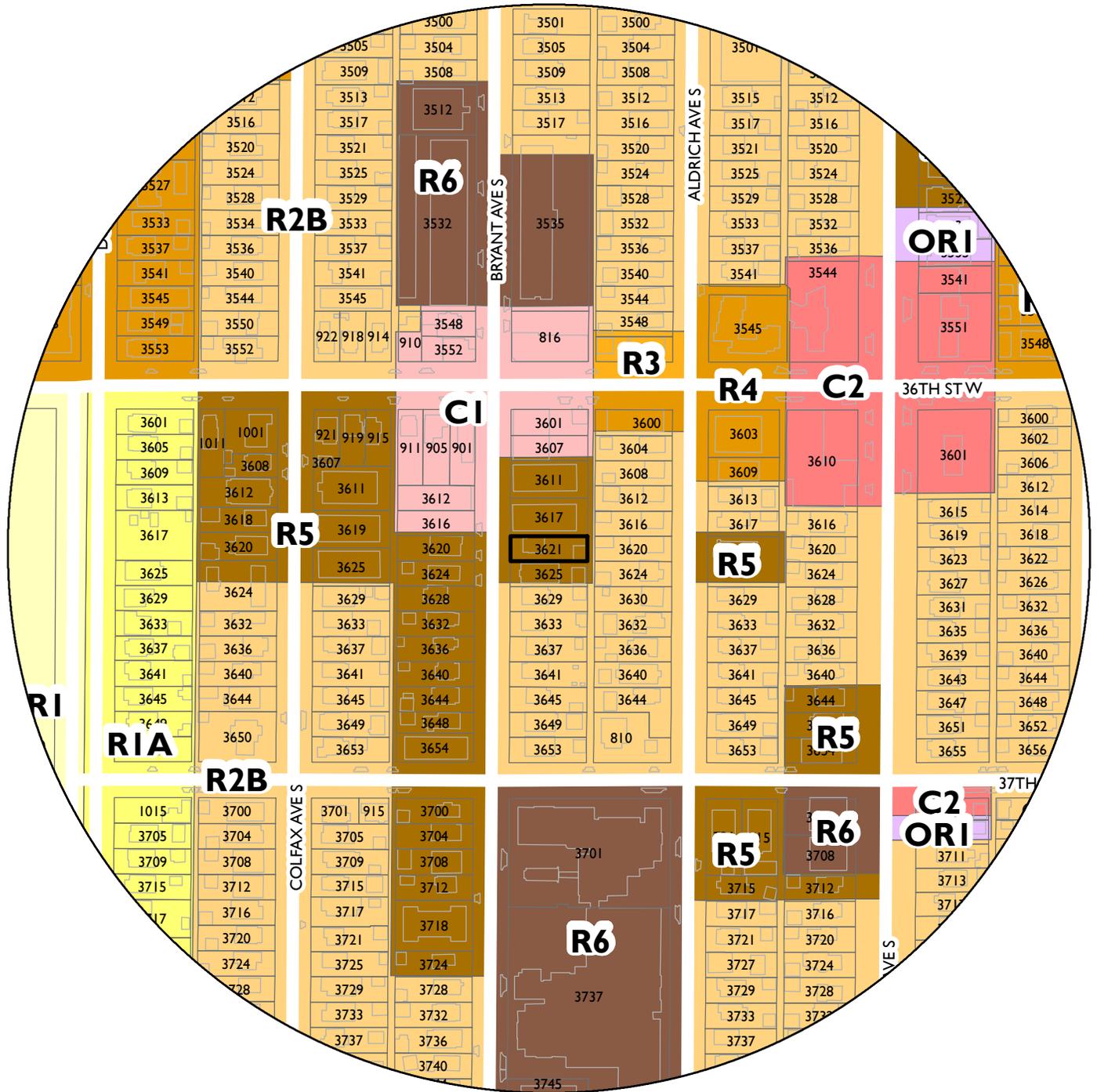
**□ Construction Code Services**

- The plan as submitted meets City of Minneapolis requirements for Construction Code Services for the site plan, however there will be a separate review for the actual construction plans once the PDR is approved.

END OF REPORT

NAME OF APPLICANT

WARD



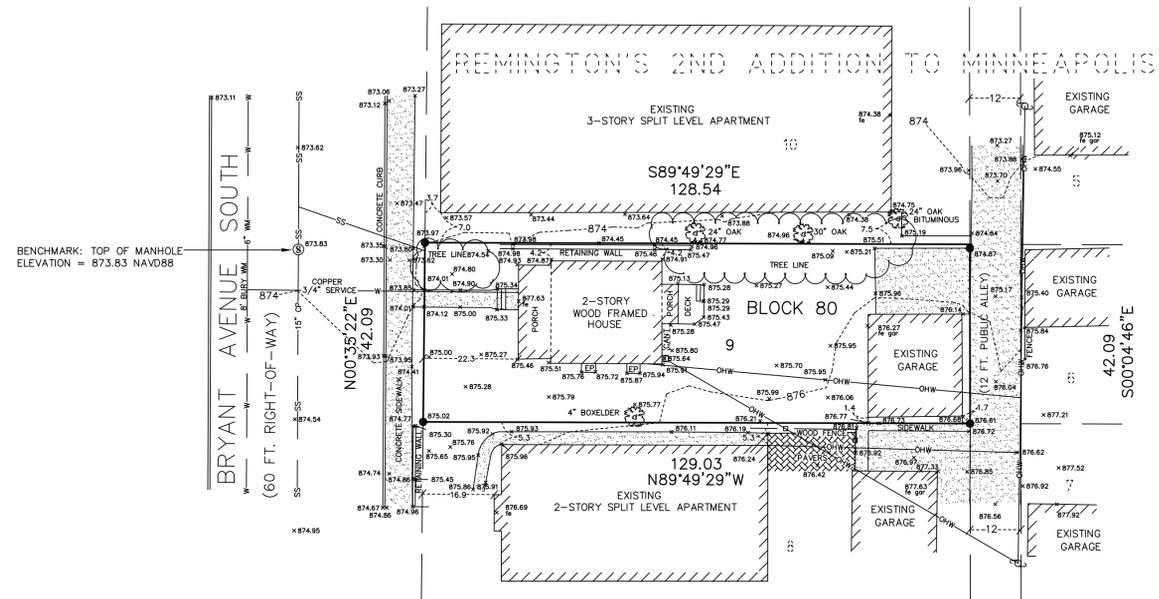
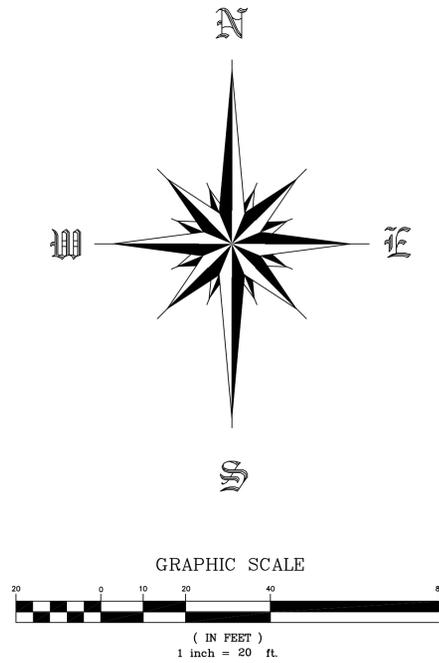
PROPERTY ADDRESS

**3621 Bryant Avenue S**

FILE NUMBER

**BZZ-7658**

# CERTIFICATE OF SURVEY for: CNC Construction, LLC



**Property Described As:**

Lot 9, Block 80, REMINGTON'S 2ND ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota.  
(Legal Description from Hennepin County Tax Records)

**Site Address:**

Site Address: 3621 Bryant Avenue South, Minneapolis, Minnesota 55405

**LEGEND**

- DENOTES IRON MONUMENT FOUND
- DENOTES 12 INCH COMMON SPIKE SET AND MARKED BY LIC. NO. 16363
- 890.52 DENOTES EXISTING SPOT ELEVATION
- XXX-- DENOTES EXISTING CONTOURS
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊕ DENOTES SANITARY SEWER MANHOLE
- ⊖ DENOTES WATER MAIN MANHOLE
- DENOTES CATCH BASIN
- ⊠ DENOTES GAS METER
- ⊡ DENOTES ELECTRIC METER
- ⊕ DENOTES UTILITY POLE
- DENOTES UNDERGROUND GAS MAIN
- OHW- DENOTES OVERHEAD UTILITY WIRES
- ⊕ DENOTES FIRE HYDRANT
- ▨ DENOTES CONCRETE SURFACE

TOTAL LOT AREA: 5,421 sq. ft. or 0.12 acres  
EXISTING IMPERVIOUS AREA = 1,809 sq. ft.

BASIS OF BEARINGS: Hennepin Co. Coord. System NAD83

Client CNC CONSTRUCTION, LLC 4540 210TH LANE NE EAST BEIHEL, MN 55011 PHONE: 612-789-2155	Design by	Original date 3-10-16	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Registered Surveyor under the laws of the State of Minnesota.  Jonathan J. Faraco Date: 3-10-16 Minnesota Reg. No. 16464
	Drawn by JF/JK	Revisions	
LAKE AND LAND SURVEYING, INC. LAND SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE CURVE, STE 275 MENDOTA HEIGHTS, MN 55120 PHONE (651) 776-6211 E-MAIL: DEVENGP@WEST.NET	Survey book No.	Page title SURVEY	
	S.A.P. number 2016.015	Sheet number 1 of 1	



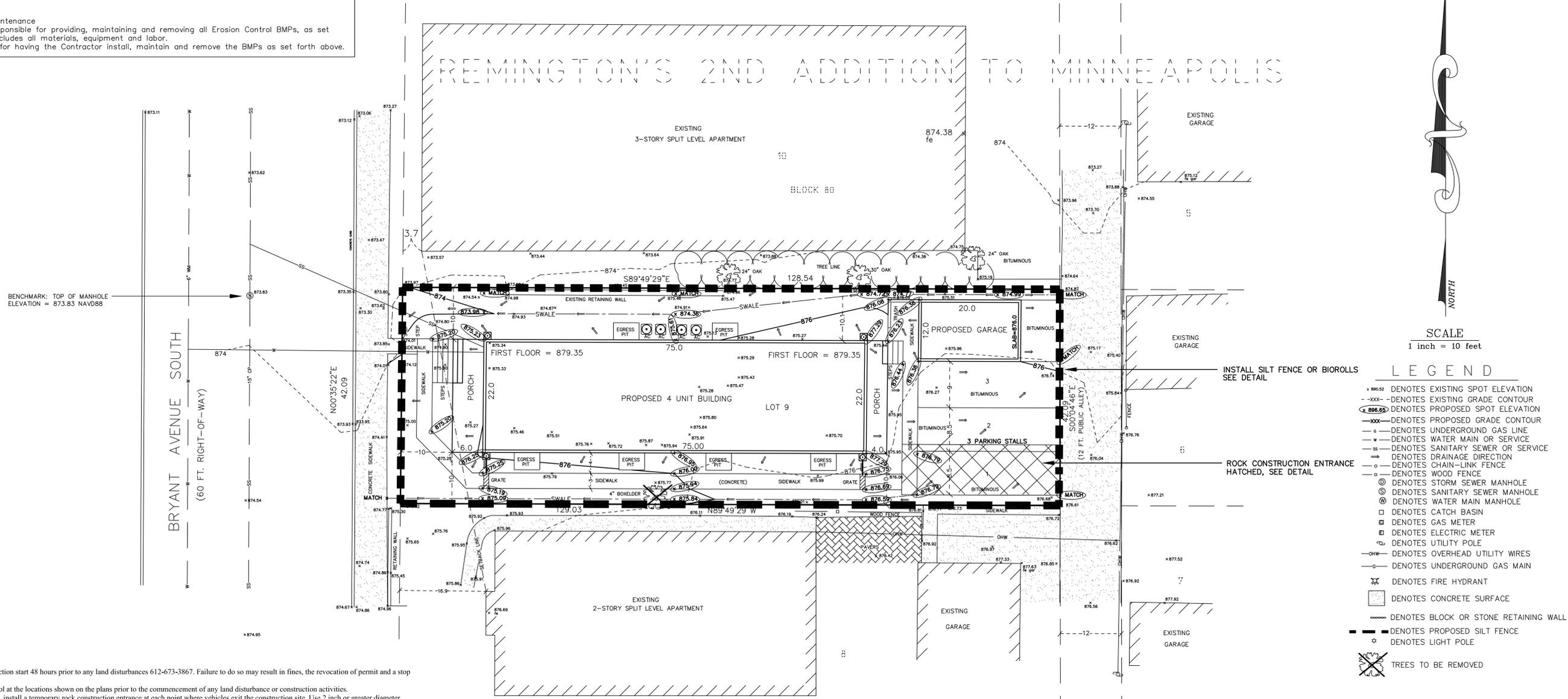
# Storm Water Management/Erosion and Sediment Control

- Sequence of Erosion Control Construction Activities
  - Installation of silt fence and/or bio rolls prior to any construction activity.
  - Installation of rock construction entrance prior to any construction activity.
  - The site shall be re-vegetated within 48 hours of final grading.
  - Install landscaping as per landscape plan.
- Erosion and Sediment Control Measures
 

All best management practices (BMPs) determined by the Engineer to be effective are available for use on the site. BMPs anticipated to be used on the Project include the following:

  - \* Silt Fence or Bio Rolls
  - \* Rock Construction Entrance
  - \* Concrete Mixing/Washout to be done offsite
  - \* Final Landscaping with Seed, Fertilizer, Topsoil or Sod
  - \* Street Sweeping
- Inspection and Maintenance
 

The Contractor is responsible for providing, maintaining and removing all Erosion Control BMPs, as set forth above, which includes all materials, equipment and labor. Owner is responsible for having the Contractor install, maintain and remove the BMPs as set forth above.



- SCALE  
1 inch = 10 feet
- LEGEND
- 890.32 DENOTES EXISTING SPOT ELEVATION
  - XXX- DENOTES EXISTING GRADE CONTOUR
  - 886.65 DENOTES PROPOSED SPOT ELEVATION
  - DENOTES PROPOSED GRADE CONTOUR
  - g DENOTES UNDERGROUND GAS LINE
  - w DENOTES WATER MAIN OR SERVICE
  - ss DENOTES SANITARY SEWER OR SERVICE
  - DENOTES DRAINAGE DIRECTION
  - DENOTES CHAIN-LINK FENCE
  - DENOTES WOOD FENCE
  - DENOTES STORM SEWER MANHOLE
  - ⊙ DENOTES SANITARY SEWER MANHOLE
  - ⊙ DENOTES WATER MAIN MANHOLE
  - DENOTES CATCH BASIN
  - ⊠ DENOTES GAS METER
  - ⊠ DENOTES ELECTRIC METER
  - ⊠ DENOTES UTILITY POLE
  - OHW- DENOTES OVERHEAD UTILITY WIRES
  - g DENOTES UNDERGROUND GAS MAIN
  - ⊠ DENOTES FIRE HYDRANT
  - DENOTES CONCRETE SURFACE
  - ▨ DENOTES BLOCK OR STONE RETAINING WALL
  - DENOTES PROPOSED SILT FENCE
  - ☆ DENOTES LIGHT POLE
  - ⊗ DENOTES TREES TO BE REMOVED

- Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
- Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
- Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
- Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped grates are not allowed for inlet protection.
- Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
- Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
- Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way and onsite. All concrete related production, cleaning and mixing activities are prohibited onsite. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
- Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
- If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.

NOTES:

- Install gutters with downspouts as indicated on the Development Plan
- All concrete trucks to washout offsite
- Snow to be taken offsite

Site Address:  
Site Address: 3621 Bryant Avenue South, Minneapolis, Minnesota 55409

LOT AREA: 5,421 sq. ft. or 0.12 acres  
EXISTING IMPERVIOUS AREA = 1,809 sq. ft.

PROPOSED IMPERVIOUS SURFACE: 3420 sq ft  
IMPERVIOUS RATIO: (3420/5421) x 100 = 63%

BASIS OF BEARINGS: Hennepin Co. Coord. System NAD83

Client CNC CONSTRUCTION, LLC 4540 210TH LANE NE EAST BETHEL, MN 55011 PHONE: 612-789-2155	Design by JF	Original date 3-10-16	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Registered Engineer under the laws of the State of Minnesota.  Jonathan L. Faraci Date: 3-10-16 Minnesota Reg. No. 16464
	Drawn by JF	Revisions	
LAKE AND LAND SURVEYING, INC. LAND SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE CURVE, STE 275 MENDOTA HEIGHTS, MN 55120 PHONE (651) 776-8211 E-MAIL: DEVENGP@QWEST.NET	Survey book No.		Page title
	S.A.P. number 2016.015		Sheet number of

# Bryant Avenue 4-Plex Housing

3621 Bryant Avenue South Minneapolis, MN

## Owner Information

FARKSA WAGNER LLC. Contact Person: Danny Perkins 561-870-2468

## Contractor Information

CNC Construction Contact Person: Chris Casey 612-789-2155

## Building Codes

THE FOLLOWING CODES AND STANDARDS-LATEST EDITION, ARE USED IN PREPARATION OF THESE DOCUMENTS. THE CONTRACTOR SHOULD REVIEW AND BE FAMILIAR WITH THE REQUIREMENTS AND STANDARDS THEREIN. ANY NONCONFORMITY DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR SHALL BE REPORTED PROMPTLY TO THE ARCHITECT.

- MINNESOTA STATE BUILDING CODES
- MINNESOTA STATE ACCESSIBILITY CODE
- CITY OF MINNEAPOLIS CODES & ORDINANCES

### 1 A1 General Information

#### Site Information

Zoning District R-5  
 Front Yard Setback 15'-0"  
 Side Yard Setback 5'-0" + 2 (x) = 11'-0" (Variance requested for 10')  
 Lot Size 5,421 sf

Building Coverage (4-Plex = 1,893 sf + Garage = 240) 2,133.00 sf [Max Lot Coverage = 70% = 3,592.68 sf]  
 Parking Coverage 807.00 sf  
 Sidewalk Coverage 514.00 sf  
 Total Impervious Coverage = 64% = 3,454.00 sf [Max Imper. Coverage = 85% = 4,362.54 sf]

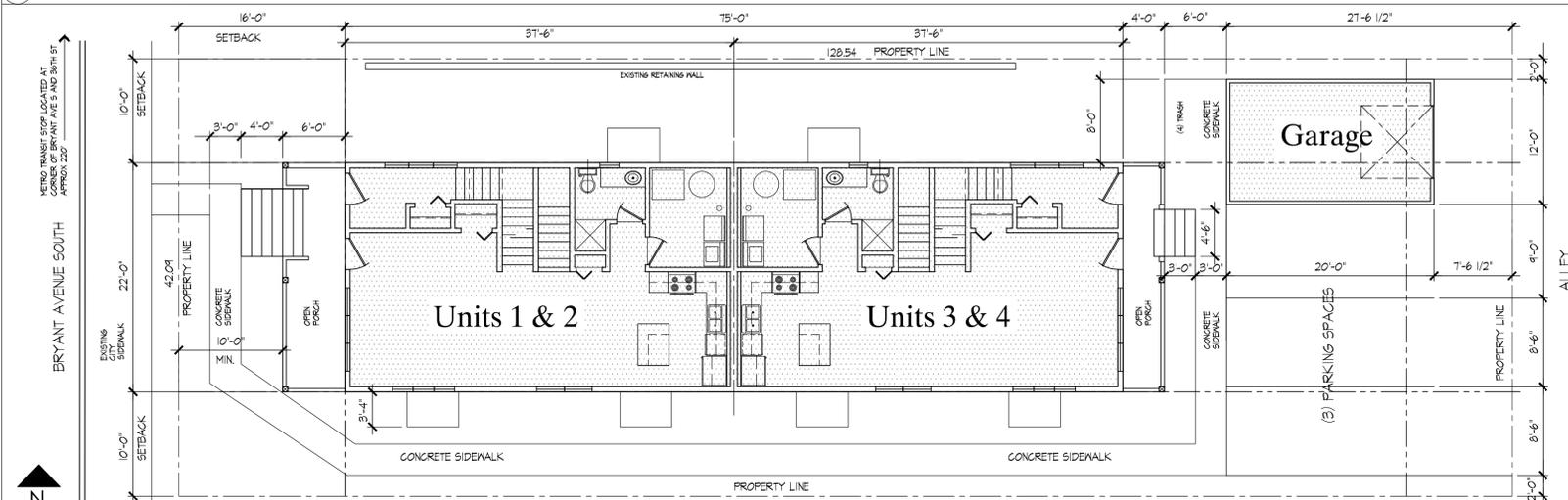
#### Building Information

Construction Type 5-A 1 Hour rating per Table 601  
 Occupancy Type R-2  
 Maximum Square Footage 12,000 sf  
 Maximum Height 3 Stories + 1 Additional w/ Automatic Sprinkler System

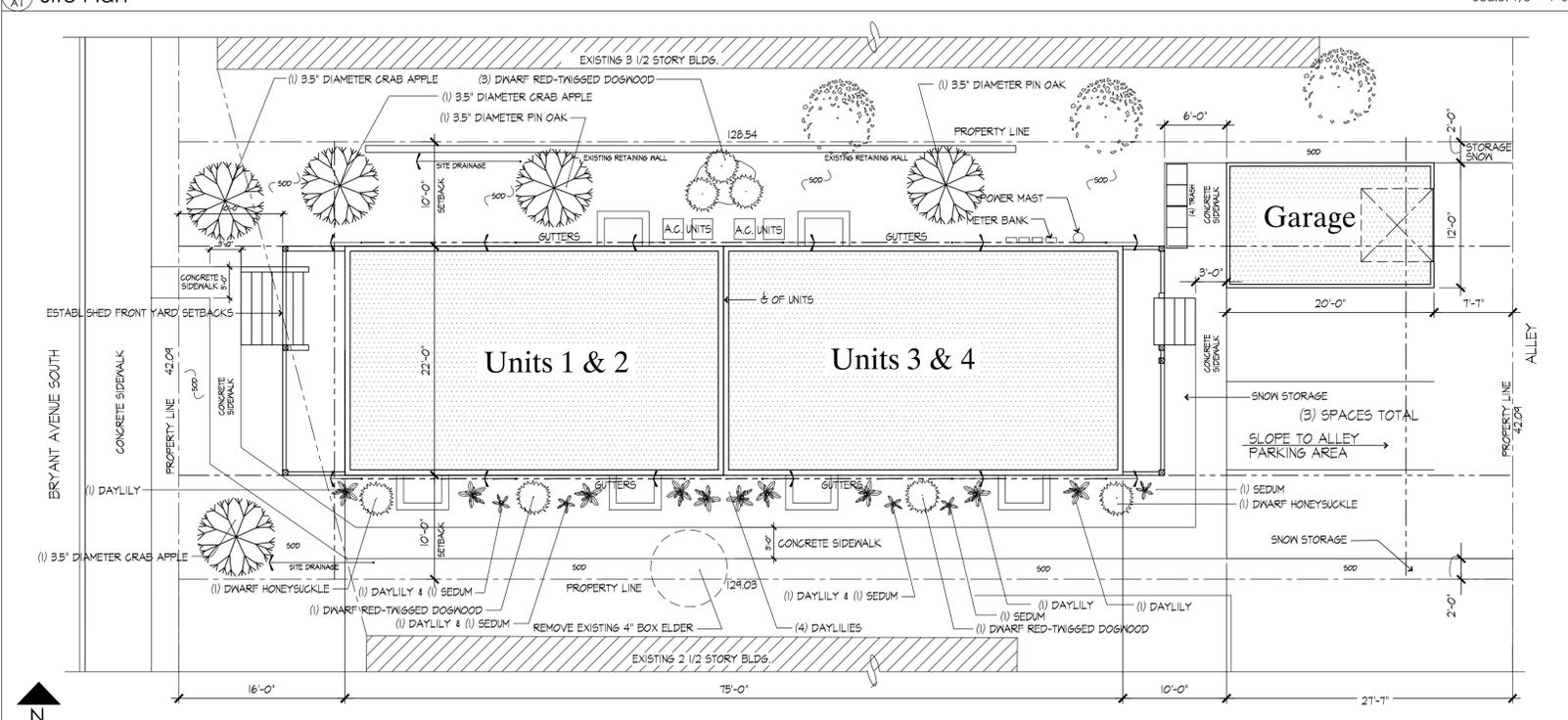
#### Building Square Footage (gross sf)

Basement Level 825 (2) = 1650  
 First Floor 825 (2) = 1650  
 Second Floor 825 (2) = 1650  
 Third Floor 825 (2) = 1650  
 Attic Level 489 (2) = 978  
 Total 7,578

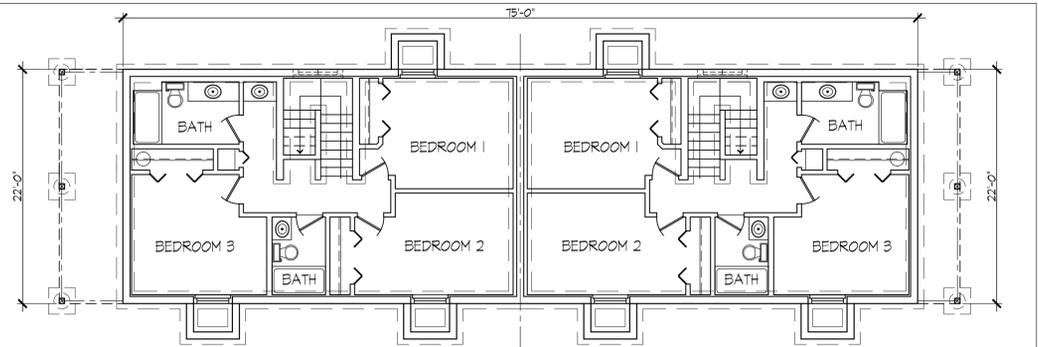
### 2 A1 Site & Building Information



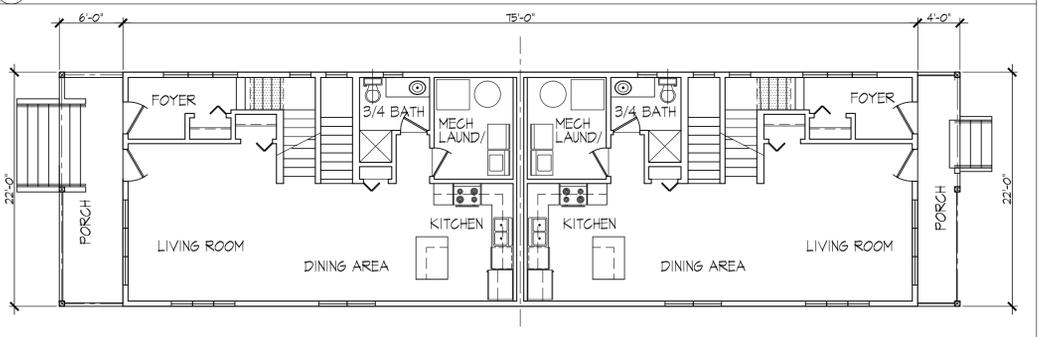
### 3 A1 Site Plan



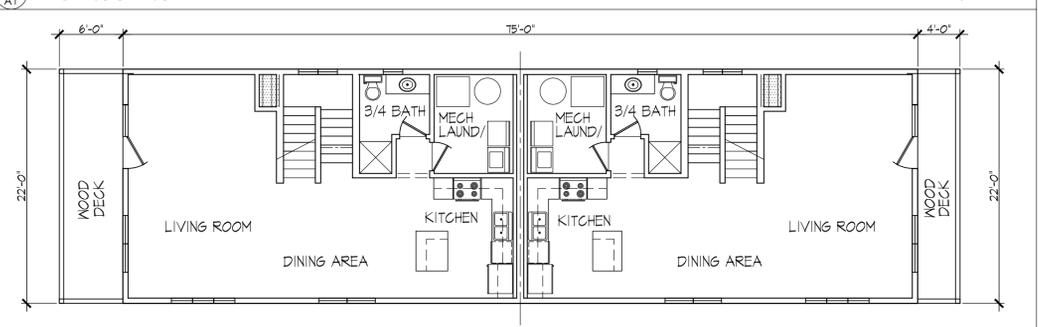
### 4 A1 Landscape Plan



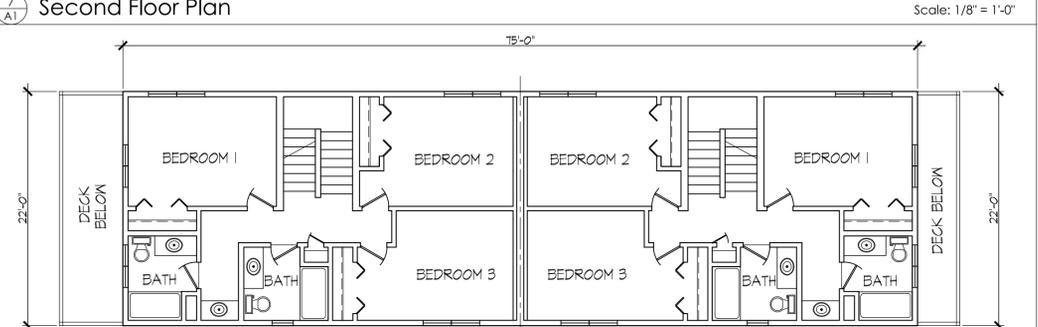
### 5 A1 Basement Floor Plan



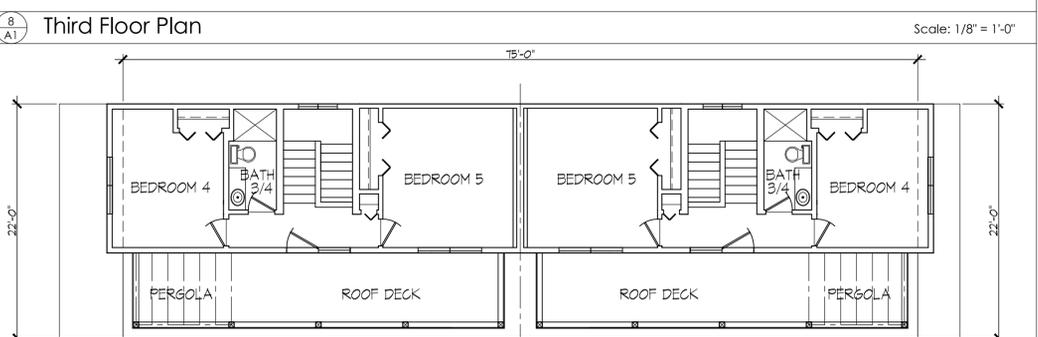
### 6 A1 First Floor Plan



### 7 A1 Second Floor Plan



### 8 A1 Third Floor Plan



### 9 A1 Fourth Floor Plan

CUNDY, SANTINE & ASSOCIATES ARCHITECTS  
 3454 LEXINGTON AVENUE NORTH STOREVIEW, MN 55126  
 651-490-5454  
 Residential & Commercial Architecture

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.  
 Name: \_\_\_\_\_  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Reg. No.: \_\_\_\_\_

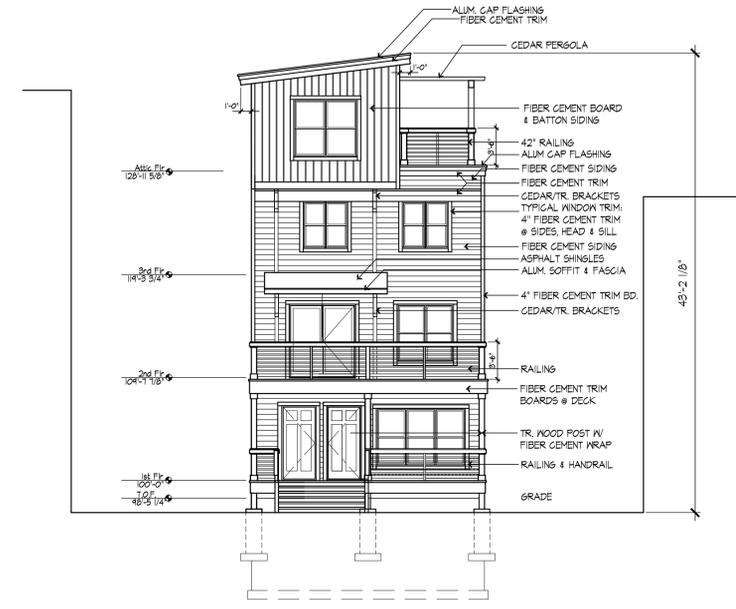
FARKSA WAGNER LLC  
 3033 Excelsior Blvd. #100  
 Minneapolis, MN 55146  
 561-870-2468

PDR - Project Information, Site Plan, Landscape Plans, Floor Plan  
 3621 Bryant Avenue S. 4-Plex  
 PRELIMINARY NOT FOR CONSTRUCTION  
 PROJECT NO. DATE: 3-26-16  
 SHEET NO. REVISIONS:  
 A1 OF 1  
 Minneapolis, MN



1 North Side Elevation

Scale: 1/8" = 1'-0"



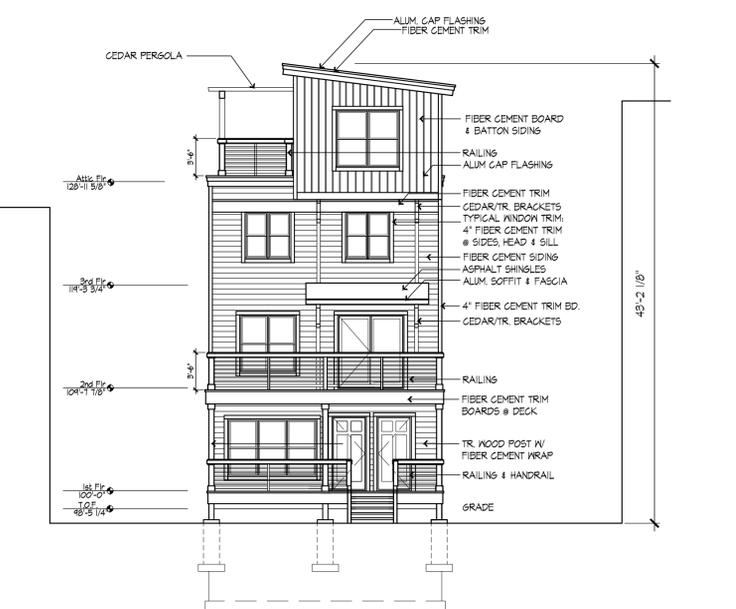
2 Front (Bryant Avenue) Elevation

Scale: 1/8" = 1'-0"



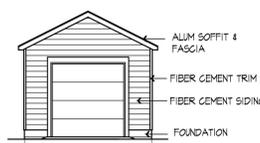
3 South Side Elevation

Scale: 1/8" = 1'-0"

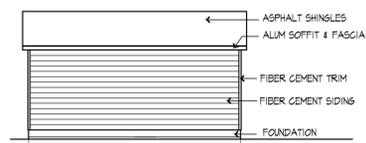


4 Rear (Alley) Elevation

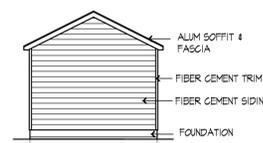
Scale: 1/8" = 1'-0"



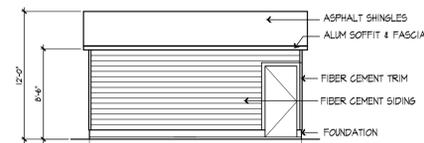
5 Garage Elevation (Alley)



6 Garage Elevation (North)



6 Garage Elevation (West)



6 Garage Elevation (South)

Scale: 1/8" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.  
Name: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_  
Reg. No.: \_\_\_\_\_

FARKAS WAGNER LLC  
3033 Excelsior Blvd. #100  
Minneapolis, MN 55146  
561-870-2468



# Cundy, Santine & Associates Architects

3434 Lexington Avenue North  
Phone/Fax 651-490-5454

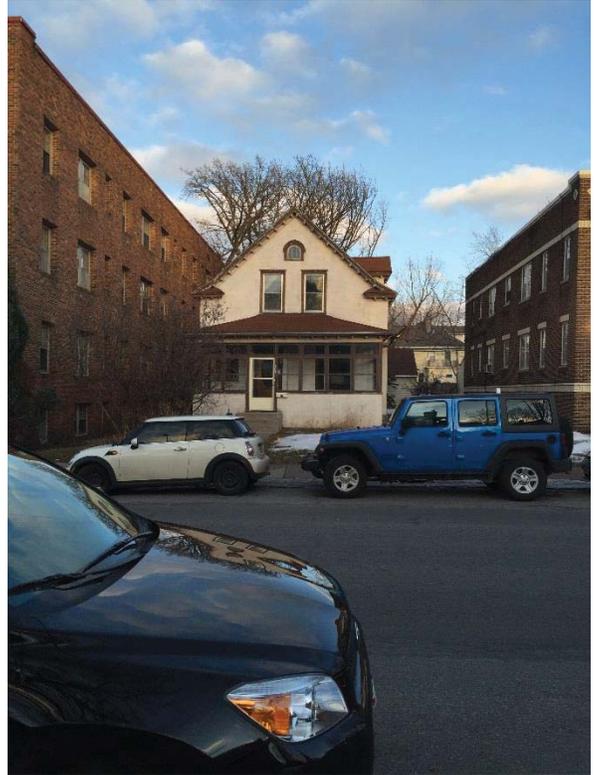
Shoreview, Minnesota 55126  
www.cs-architects.com

## Site Photographs

## 3621 Bryant Avenue South



A



B



C



## Jim Graham

---

**From:** Jim Graham  
**Sent:** Monday, March 28, 2016 12:04 PM  
**To:** 'lisa.bender@minneapolismn.gov'; 'info@eastharriet.org'  
**Cc:** 'Danny Perkins'  
**Subject:** 3621 Bryant Avenue South  
**Attachments:** PDR CSA Description Leter-REVISED.pdf

March 28, 2016

To: Minneapolis City Council Member Lisa Bender  
East Harriet Farmstead Neighborhood Association Coordinator Deb Schriber

Project Information:

3621 Bryant Avenue South 4-Plex

Notification:

This Notification of submission of Land Use Application is sent on behalf of the applicant, Farkas Wagner LLC. Cundy, Santine and Associates Architects is the applicant's representative. We have revised our original proposed design and we are submitting the land use application on Monday, March 28th for the redevelopment of the single lot at 3621 Bryant Avenue South.

The plan is to demolish and replace the existing 2 story house with a 4 unit, 4 story 4-plex.

The applications required for the project are:

PDR  
1-4 Site Plan Review  
Variance – Side Yard Setback (11 ft. required, 10 ft. proposed)

The Project Description is attached.

Please contact our office if you have questions or concerns about the above notification.

Regards,

James L. Graham, AIA - Cundy, Santine & Associates Architects

James Graham, AIA  
**Cundy, Santine & Associates Architects**  
3434 N. Lexington Ave.  
Shoreview, MN 55126  
651-490-5454