

LAND USE APPLICATION SUMMARY

Property Location: 2903, 2905, 2907, 2911 Harriet Avenue South & 2900, 2904, 2910, and 2912 Grand Avenue South

Project Name: Harriet Avenue Apartments

Prepared By: Lisa Steiner, Senior City Planner, (612) 673-3950

Applicant: Curt Gunsbury & Robb Miller

Project Contact: Dan Pellinen, Tushie Montgomery Architects

Request: To construct a new six-story 111-unit building.

Required Applications:

Rezoning	Petition to rezone 2903, 2905, 2907, and 2911 Harriet Avenue South from the I1 to the R5 District and to rezone 2900, 2904, 2910, and 2912 Grand Avenue South from the R2B to the R5 District
Conditional Use Permit	To increase the maximum height in the R5 District from the permitted 4 stories/56 feet to 6 stories/74 feet
Variance	To reduce the required front yard on Grand Avenue South from 20 feet (established) to 14 feet for the building, 2 feet for a loading area, and 0 feet for stairs, landings, and a portion of the green roof of the parking garage below that extends above grade.
Variance	To reduce the required front yard on Harriet Avenue South from 15 feet to 4 feet for the building and 0 feet for balconies on floors 2 through 6.
Variance	To reduce the required south interior side yard from 15 feet to 5 feet (9 feet at 1 st floor) for the building
Variance	To reduce the loading requirement
Site Plan Review	For a new 6-story, 111-unit residential building.
Preliminary Plat	To consolidate the underlying properties into two lots.
Vacation	Vacation of portion of existing alley (Vac-1652)

Date Application Deemed Complete	March 3, 2016	Date Extension Letter Sent	March 9, 2016
End of 60-Day Decision Period	May 2, 2016	End of 120-Day Decision Period	July 1, 2016

SITE DATA

Existing Zoning	II Light Industrial District and R2B Two-Family District
Lot Area	Developable lot: 34,136 square feet Outlot: 1,271 square feet Total Lot Area: 35,407
Ward	10
Neighborhood	Whittier
Designated Future Land Use	Urban Neighborhood
Land Use Features	None; One block from Lyn-Lake Activity Center, One block from Commercial Corridor (Lake Street), Two blocks from Commercial Corridor (Lyndale Avenue)
Small Area Plans	<u>Midtown Greenway Land Use and Development Plan (2007)</u> <u>Lyn-Lake Small Area Plan (2009)</u>

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property is composed of eight parcels located directly south of the Midtown Greenway between Grand Avenue South and Harriet Avenue South. The site is bisected by an existing public alley which is proposed to be vacated and rerouted to the south. The site currently includes two houses and a garage that are proposed to be demolished as well as a surface parking lot.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The proposal is located in the Whittier neighborhood. The surrounding area includes a variety of uses and a mix of zoning districts. An industrially-zoned two-story commercial building is located directly south of the subject property on Harriet Avenue and a residentially-zoned duplex is located south of the project site on Grand Avenue. The adjacent properties across Harriet Avenue and Grand Avenue are zoned industrially, as is a self-storage facility across the Midtown Greenway. Diagonally across the Midtown Greenway is a multi-family residential building that is zoned R5. Various commercial uses are present along both Lake Street and Lyndale Avenue. Along the Midtown Greenway, there is a mix of industrial, commercial, residential, and office residential zoning, including several residential buildings which have been built within the last decade.

PROJECT DESCRIPTION. The applicant is proposing to construct a six-story multi-family residential building which would include 111 dwelling units. There would be 96 off-street parking stalls accommodated in two levels of underground parking. The applicant is proposing to vacate a portion of the existing public alley and dedicate a new alley extending to Grand Avenue South. The underground parking area would be accessed from the public alley. The main pedestrian entrance for the residences would be on Harriet Avenue with another entrance on Grand Avenue. A pedestrian path would be incorporated north of the proposed building which would provide east to west access between Grand Avenue and Harriet Avenue. A one-story glass portion of the building would be constructed closest to the Greenway.

Since the January 28, 2016, Committee of the Whole meeting, the applicant has widened the pedestrian path north of the building from 3 feet to 4 foot 6 inches or 5 feet, removed balconies from the easternmost portion of the south elevation, reduced the amount of rockface concrete block, and

removed proposed gates on the east and west sides of the pedestrian path along Grand Avenue and Harriet Avenue.

PUBLIC COMMENTS. Letters have been received from the Whittier Alliance and Midtown Greenway Coalition which are included in the appendix. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

REZONING

The Department of Community Planning and Economic Development has analyzed the application for a petition to rezone the property at 2903, 2905, 2907, and 2911 Harriet Avenue South from the I1 to the R5 District and to rezone the property at 2900, 2904, 2910, and 2912 Grand Avenue South from the R2B to the R5 District based on the following findings:

1. *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

The proposed zoning would be consistent with the applicable policies of *The Minneapolis Plan for Sustainable Growth*. The property is designated as Urban Neighborhood on the future land use map. The site is located two blocks from Lyndale Avenue, a Commercial Corridor, one block from the Lyn-Lake Activity Center, and one block from Lake Street, a Commercial Corridor. The Urban Neighborhood land use is supportive of residential zoning with a range of densities based on the surrounding context.

The following principles and policies outlined in the plan apply to this proposal:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- 1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Housing Policy 3.1: Grow by increasing the supply of housing.

- 3.1.1 Support the development of new medium- and high-density housing in appropriate locations throughout the city.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

- 3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Rezoning the properties to the R5 District will support housing density in a location that is well connected by transit and close to commercial, cultural, and natural amenities. The site is within one and two blocks of two major Commercial Corridors and the Lyn-Lake Activity Center.

The site is located within the study area for both the *Midtown Greenway Land Use and Development Plan*, adopted in 2007, and the *Lyn-Lake Small Area Plan*, adopted in 2009. Both plans designate the future land use of this site as high-density housing. Additionally, the *Midtown Greenway Rezoning Study*, which was completed in 2010, had recommended that these parcels be rezoned to the R5 District to encourage the type of development envisioned in the adopted plans. However, that rezoning was not adopted at the time of the study. High-density housing is defined in those plans as up to 120 dwelling units per acre. The subject proposal would have a density of 137 dwelling units/acre, slightly higher than that upper limit.

The *Midtown Greenway Land Use and Development Plan* also notes that its recommendations are similar to a “district-node pattern of urban development, where a mixed-use core or center is surrounded and supported by a concentric pattern that is more intensive near the center and less intensive near the edge of the district.” The subject site is located two blocks from Lyndale Avenue, a Commercial Corridor, one block from the Lyn-Lake Activity Center, and one block from Lake Street, a Commercial Corridor. Staff finds that the site’s proximity to these land use features supports the higher density proposed at this site.

Overall, the proposal to rezone the property from II Light Industrial District and R2B Two-Family District to the R5 Multiple-Family District is consistent with the applicable policies of the comprehensive plan and small area plans.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

The proposal is both in the interest of the property owner and the public interest. Rezoning to the R5 District in this location allows for multiple-family residential development in an area designated for such future land use in several plans and studies as noted above. Rezoning the properties to the R5 District will support housing density in a location that is well connected by transit and close to commercial, cultural, and natural amenities. The site is within one and two blocks of two major Commercial Corridors and the Lyn-Lake Activity Center.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

Higher density residential zoning would be compatible with the varied zoning classifications of the general area, which include residential, commercial, and industrial property. Industrially-zoned properties are located across Harriet Avenue from the subject site as well as across the Midtown Greenway. Diagonally across the Midtown Greenway between Grand Avenue and Pleasant Avenue is a multi-family residential building that is zoned R5. Various commercial uses are present along both Lake Street and Lyndale Avenue. Along the Midtown Greenway, there is a mix of industrial, commercial, residential, and office residential zoning, including several residential buildings, many of which have been built within the last decade. The property south of the subject site along Harriet Avenue is zoned II Light Industrial and is utilized as a commercial building. The properties south of the subject property along Grand Avenue are zoned R2B and R3. The mix of existing uses and zoning classifications of property within the general area are compatible with the proposed R5 zoning.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

The subject parcels on Harriet Avenue are zoned industrially although the existing uses are a surface parking lot and a nonconforming single-family home. New industrial development in this location would not be consistent with adopted plans and policies as the gradual transition of most of the industrial land along the Midtown Greenway is anticipated. The parcels on Grand Avenue are currently zoned R2B and include a duplex, a vacant lot, and a portion of the slope down to the Midtown Greenway. While these are permitted uses, retaining R2B zoning in this location would not allow the high density residential development envisioned in both the *Midtown Greenway Land Use and Development Plan* and the *Lyn-Lake Small Area Plan*.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

When the 1963 zoning code was adopted, the subject parcels were zoned industrially, as was nearly all land along the Midtown Greenway in this area. Around 1983, the subject parcels were rezoned to the R3 District. In 1992, the parcels along Harriet Avenue were rezoned back to industrial and the parcels along Grand Avenue were rezoned to R2B.

As noted above, the adopted small area plans designate the future land use of this site as high-density residential. Although not ultimately adopted by the City Council in 2010, the *Midtown Greenway Rezoning Study* recommended that these parcels be rezoned to the R5 District in order to encourage the type of development envisioned in the adopted plans.

The land use and development patterns along the Midtown Greenway in this area have experienced a great deal of change over the past 20 years. Some of this change has resulted from the abandonment of the railroad line, while other changes can be attributed to changes in the real estate and development market. A significant change in the character or trend of development in the general area has taken place since the properties were zoned within the R2B Two-Family District and II Light Industrial District.

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum height in the R5 District from 4 stories or 56 feet to 6 stories, 74 feet based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The request to increase the maximum height in the R5 District from 4 stories or 56 feet to 6 stories, 74 feet will not be detrimental to or endanger the public health, safety, comfort, or general welfare. The applicant has proposed a terraced building design with the highest portions of the building concentrated at the southern portion of the site. The northernmost portion of the building is 4 stories, 48 feet in height. A fifth story is stepped back 11 feet and the sixth story is stepped back 19 additional feet. This design was intended to minimize the building's shadowing impacts on the Midtown Greenway and accommodate a pedestrian path between the building and the Greenway, while still accommodating dense housing development.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The property is located in a developed area and is not expected to be injurious to the use and enjoyment of other property in the vicinity. The additional height will not impede the normal and orderly development and improvement of surrounding property. The six-story portion of the building is concentrated along the southern portion of the property. Along Harriet, this six-story portion of the building is adjacent to an industrially-zoned two-story commercial building. Because the public alley would be redirected to the south of the proposed building, there will be approximately 45 feet of separation between the six-story portion of the building and the nearest home on Grand Avenue. Because both of these adjacent properties are south of the proposed building, there would not be shadowing impacts due to the six-story building. The proposed building is not exceeding its maximum floor area ratio of 2.4. The building has been designed to minimize shadowing impacts on the Midtown Greenway and therefore accommodates building bulk in the fifth and sixth story which would have a greater impact on shadowing were the building to be constructed nearer to the Greenway. See further shadowing analysis below.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site would be accessed by vehicles utilizing the redirected public alley. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Increasing the height of the building is not expected to contribute to traffic congestion in the adjacent public streets. The minimum parking requirement for the proposed development is 56 spaces. The applicant would provide 96 off-street parking spaces in two levels of underground parking.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- 1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Housing Policy 3.1: Grow by increasing the supply of housing.

- 3.1.1 Support the development of new medium- and high-density housing in appropriate locations throughout the city.

The massing of the building complies with the maximum floor area ratio, which measures bulk and intensity of development. The building has a floor area ratio of 2.31 where the maximum floor area

ratio permitted is 2.4. The heights of buildings in the surrounding area range from two to six stories, with most of the lower density housing being two or two and a half stories. The proposed height will be compatible with the overall context of the surrounding area.

This site is also located within the boundaries of both the *Midtown Greenway Land Use and Development Plan* and the *Lyn-Lake Small Area Plan*. Both plans designate the future land use of this site to be high-density housing.

The *Midtown Greenway Land Use and Development Plan* outlines several guidelines to address development intensity. This site is designated Urban-Oriented, which notes that buildings should be up to five stories in height. The plan also notes that developments should mitigate development intensity by incorporating open space visible from the public realm and stepping back the mass of building from adjacent properties and the Greenway.

The plan does not identify any areas in the study area to be very-high density housing (over 120 dwelling units per acre). The subject proposal would have a density of 137 dwelling units/acre, slightly higher than the upper limit of “high-density housing.” As noted above in the rezoning analysis, the plan states that it is similar to a “district-node pattern of urban development, where a mixed-use core or center is surrounded and supported by a concentric pattern that is more intensive near the center and less intensive near the edge of the district.” The subject site is located one block from the Lyn-Lake Activity Center, one block from Lake Street, a Commercial Corridor, and two blocks from Lyndale Avenue, a Commercial Corridor. Staff finds that the site’s proximity to these land use features supports the higher density proposed at this site.

The plan emphasizes the importance of solar access to the Greenway. Stepping back the mass of buildings along the south side of the Greenway is one of several recommendations in order to minimize shadowing. Additionally, the plan notes that buildings should step down at the boundary between higher density districts and lower density districts and existing residential neighborhoods. The building’s shadowing impact will be analyzed below.

Another primary recommendation of the plan is to provide a linear public “promenade” or walkway wherever possible between private development and the Midtown Greenway, in order to develop a premier public edge along both sides of the Greenway. These promenades create a street-level pedestrian network and visual connections between the Greenway and adjacent spaces. The plan identifies this site as a recommended location for a promenade.

The *Lyn-Lake Small Area Plan* also identifies the future land use of this site as high-density housing. The plan also allows for additional density (very-high density) in Activity Centers. The plan also recommends the creation of a promenade along the Greenway as properties are redeveloped, and notes that several recent developments had included a promenade. Stepped down building heights, a transition of uses, and buffering to adjacent residential areas is encouraged. In addition, the plan states that shadowing of sidewalks and the Midtown Greenway should be minimized to ensure as comfortable of a pedestrian environment as possible.

Staff finds that the proposed six-story building is consistent with the above applicable policies of the comprehensive plan and applicable guidance of the adopted small area plans.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of the R5 Multiple-Family District.

Additional Standards to Increase Maximum Height

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following factors when determining the maximum height of principal structures in commercial districts:

1. *Access to light and air of surrounding properties.*

The subject property would be a through lot and would front on two public streets. This provides adequate separation allowing for access to light and air for surrounding properties to the west and east. The adjacent property to the south on Harriet Avenue is a two-story commercial building constructed only one foot from their northern property line. This existing adjacent building has no ground floor windows and only two glass block windows in the second floor on the north side of the building. The proposed building would be five feet from their shared property line. The nearest property along Grand Avenue is a duplex. Because the public alley is proposed to be redirected to the south of the building, there will be approximately 45 feet of separation between the six-story building and the adjacent home on Grand Avenue. The additional two stories requested is not expected to impact access to light and air of surrounding properties.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The applicant submitted a detailed shadow study depicting shadowing impacts of the proposed six-story building. The nearest residential property is the duplex south of the subject property along Grand Avenue. Because the public alley would be redirected to the south of the proposed building, there would be approximately 45 feet of separation between the six-story building and this adjacent duplex on Grand Avenue. Additionally, because this property is south of the proposed building, shadowing of the duplex would not occur. Because the Midtown Greenway separates the property from the nearest residential use to the north, any shadowing impact would be minimal and limited to winter evenings. There are no known solar energy systems that would be impacted by this proposal.

The Midtown Greenway is a significant public space. The proposed building will shadow the Greenway path for 108 days of the year, between October 29th and February 13th. The rest of the year, any shadowing is limited to the slope area and would not impact the bike or pedestrian path in the Greenway. The building wall setbacks vary from east to west. The majority of the building would be set back 53 to 58 feet from the southern property line of the Midtown Greenway, with the fifth story set back between 61 and 69 feet from that line. The sixth story would be set back between 80 and 88 feet from the Greenway property line. A one-story portion of the building does extend to within 29 feet of that property line but does not contribute significantly to any shadowing. The terraced design and varied setbacks proposed minimizes shadowing of the Greenway.

3. *The scale and character of surrounding uses.*

The height of buildings in the surrounding area range from two to six stories, with most of the lower density housing being two or two and a half stories. The proposed height will be compatible with the overall context of the surrounding area and will support dense development while also minimizing shadowing and providing a pedestrian promenade, as recommended by adopted plans.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

As noted above, the various floors of the terraced building would be set back between 53 and 88 feet from the Greenway property line, with a one-story portion of the building extending to 29 feet from that property line. The building should not significantly block views of landmark buildings, significant open spaces, or bodies of water.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the required front yards along Grand Avenue and Harriet Avenue based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Grand Avenue: The subject property would be a through lot with two front yards. On Grand Avenue, the adjacent duplex has an established front yard of 20 feet, which increases the typical 15 foot front yard requirement for the subject property to 20 feet. The applicant is proposing that the building wall would be located 14 feet from the front property line. Additionally, a portion of the parking garage below would extend above ground within the required front yard, as well as a 20 foot wide stairwell. These obstructions both extend to the property line. Also, the proposed loading area is located within the required front yard, two feet from the property line.

The placement of the building 14 feet from the property line and the location of the green roof of the parking garage below are due to practical difficulties because of circumstances unique to the property. The project site has a greater than typical front yard setback established by the nearest home to the south. The circumstances requiring the variance are unique to the parcel of land due to the location of the adjacent neighbor's house. The proposed setback is only one foot less than the typical front yard requirement of the R5 District.

The adopted plans and policies recommend stepping back the building from the Greenway. The green roof of the parking garage below comes to the property line because the developable north-south footprint of the site is limited by the policies recommending significant setbacks from the Greenway. If the parking garage aligned with the building above, this would also eliminate about 8 of the proposed parking spaces. The applicant is also proposing a 20 foot wide stairway and large landing at the entrance which exceed the allowances for permitted obstructions in a required front yard. Staff recommends approval of the variance for the building wall location at 14 feet and for the noted obstructions in the required front yard.

However, the request for the loading area to be located within the required front yard is not due to any practical difficulties. The applicant is proposing a loading area north of the alley which is 8 feet 7 inches wide by 77 feet. The loading requirement for multi-family dwellings of this size is one small space, with dimensions of 10 feet by 25 feet. There are no practical difficulties which necessitate the loading area be located within the required front yard. While staff recommends approval of the variance for the building wall and other obstructions noted above, staff recommends a condition of approval that the loading area shall be required to comply with the 20 foot required yard.

Harriet Avenue: The minimum front yard requirement along Harriet Avenue is 15 feet. The applicant is proposing a setback of 4 feet for the balconies, with balconies that are not permitted obstructions at 0 feet. The existing adjacent two-story commercial building was constructed directly on their front property line on Harriet Avenue. The commercial properties directly across Harriet are also built to their front property lines. The context of the immediate area contributes to unique circumstances not created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Grand Avenue: The applicant's proposed 14 foot setback for the building and 0 foot setback for the green roof of the parking garage below and large stair and landing are reasonable and are in

keeping with the spirit and intent of the ordinance and the comprehensive plan. Because of the location of the redirected alley, the proposed building will be over 45 feet from the nearest property to the south which should mitigate any impact of the building location or obstructions.

The proposed location of the loading area in the required front yard, however, is not reasonable. Comprehensive plan policies aim to mitigate the impact of parking and loading facilities on nearby properties. Required yards are intended to be unobstructed from the ground level to the sky with the exception of the list of permitted obstructions. Requiring the loading area to comply with the setback requirement would be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Harriet Avenue: The immediately adjacent property to the south and the properties directly across Harriet Avenue are built directly on their property lines. A similarly located building will allow for a consistent street wall in this area. The location of the balconies is reasonable as well. The requested variance of the front yard is reasonable in this location and is in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Grand Avenue: The applicant's proposed 14 foot setback for the building and 0 foot setback for the green roof of the parking garage below and larger stair and landing will not alter the essential character of the locality or be injurious to the use and enjoyment of the property in the vicinity. If granted, the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

However, the proposed location of the loading area within the required front yard will be injurious to the use and enjoyment of other property in the vicinity. The location would impact both the neighbor to the south as well as those utilizing the property and nearby properties as the loading area would be located only 2 feet from the public right-of-way. Staff recommends as a condition of approval for the variance that the loading area must comply with the established yard requirement.

Harriet Avenue: The subject property is adjacent to industrially-zoned property along Harriet Avenue. Industrially-zoned land is also located across Harriet Avenue. Reducing the front yard from the required 15 feet to the proposed 4 feet and locating balconies to 0 feet will not alter the essential character of the locality or be injurious to the use and enjoyment of other property in the vicinity. The variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. Staff is recommending approval of this variance.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the required south interior side yard based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is seeking a variance to reduce the interior side yard setback from 15 feet to 5 feet. Multiple-family residential uses in the R5 District are subject to a minimum interior side yard equal to five feet plus two feet for every story above the first. For this six-story building, the minimum yard requirement is therefore 15 feet.

Adopted plans and policies have designated the future land use of this site as high density housing. The adopted plans also emphasize the importance of minimizing shadowing impacts on the Midtown Greenway and the importance of establishing pedestrian promenades along the rim of the Greenway to create east to west pedestrian access between streets. To minimize shadowing, the applicant has proposed a terraced building design. The majority of the building would be set back 53 to 58 feet from the Greenway, with the fifth story set back between 61 and 69 feet from the Greenway. The sixth story would be set back between 80 and 88 feet from the Greenway. While this design minimizes shadowing on the Greenway, it also concentrates most of the mass of the building towards the property's southern interior side property line. The policy recommendations guiding development in this location contribute to unique circumstances that have not been created by the applicant and create practical difficulties in complying with this yard requirement.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The intent of the interior side yard requirement is to minimize conflict among the land uses and to buffer residential uses from adjacent uses to ensure access to light and air. The property owner proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The neighboring building to the south is a commercial building that is zoned industrially. The second through sixth floors would be cantilevered, so the first floor of the proposed building would be set back 9 feet from the property line, allowing for a larger separation between the existing and proposed buildings at the ground level. Along the eastern half of the site, the proposed building has over an 18 foot setback from the south interior property line.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance of the south interior side yard from 15 feet to 5 feet will not alter the essential character of the locality. The location of the proposed building is not expected to be injurious to the use and enjoyment of other property in the vicinity. The first floor of the building would be set back 9 feet from the nearest property to the south, which is an industrially-zoned commercial building. The variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the minimum off-street loading requirement based on the following findings:

4. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The off-street loading requirement for multiple-family dwellings with 100-250 dwelling units is one small loading space. Small loading spaces are required to be at least 10 feet wide by 25 feet. The applicant is proposing a loading area north of the alley which is 8 feet 7 inches wide by 77 feet. The width and location of the newly dedicated alley is required by City ordinance to incorporate a corner cut as proposed, which dictates the location of the alley. To minimize shadowing impacts, the building is set back significantly from the Greenway. With the required location of the alley and the location of the proposed building, a loading zone only 8 feet 7 inches in width is provided. Increasing

the width of the loading zone would either require shifting the building towards the Greenway or reducing the adjacent path from 4 foot 6 inches to only 3 feet in width. Practical difficulties exist in complying with the ordinance because of unique circumstances that were not self-created.

5. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The loading zone would primarily be utilized for move-in and move-out of the residential units. A typical moving truck is approximately 7 feet 8 inches wide. The new dedicated alley extension to Grand Avenue would be adjacent to the loading area and would be 16 feet in width, approximately 4 feet wider than the existing alley. Considering this, the proposed width of the loading area is reasonable. However, the applicant has not indicated if the loading area will be signed or striped. The loading zone should be designed with visual separation, such as striping, change in materials, or other solutions approved by Public Works, between the public alley and the private loading area and signed as a loading area with private signage. This was also noted in the Preliminary Development Review process by the Public Works Department. Staff recommends a condition of approval requiring that the loading area be signed and designed with a visual separation from the public alley.

6. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

A loading area that is one foot five inches narrower than the dimensional requirements in the zoning code will not alter the essential character of the locality. It is not expected to be injurious to the use or enjoyment of other property in the vicinity. As analyzed in the section regarding the front yard variance along Grand Avenue, staff is recommending a condition of approval for that variance which requires the loading area to be at least 20 feet from the property line. This will lessen any impact of the loading area to property in the vicinity, as will the recommended condition of approval requiring that the loading area be property signed and designed as separate from the public alley. The narrower loading area will not be injurious to the use and enjoyment of other property in the vicinity and will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

1. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The first floor of a building is required to be within 8 feet of the front lot line except where a greater yard is required. The building is proposed on a through lot that fronts on both Grand Avenue and Harriet Avenue. The first floor of the building is located eight feet from the front lot line on Harriet Avenue and fourteen feet from the front lot line on Grand Avenue. Variances to reduce the required front yards have been recommended for approval with some conditions.
- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation. The building exceeds its minimum window

requirements on all elevations. An east-west pedestrian promenade has been incorporated north of the building along the edge of the Greenway.

- The area between the building and lot line includes amenities such as bicycle racks and a green roof area on the Grand Avenue entrance.
- All on-site accessory parking is located entirely below grade.

Principal entrances – Meets requirements

- The building is oriented so that at least one principal entrance faces the front property line. The site is a through lot with two front property lines facing Grand Avenue South and Harriet Avenue South respectively. There are principal entrances facing each front property line.
- The principal entrances are clearly defined and emphasized through the use of a canopy on Harriet Avenue and a wide stairway on Grand Avenue, as well as other architectural features.

Visual interest – Meets requirements

- The building walls provide architectural detail and contain windows in order to create visual interest.
- The proposed building emphasizes architectural elements – including recesses, projections, windows, and entries – to divide the building into smaller identifiable sections. The design utilizes changes in the color of the metal panel and step backs to divide the building into smaller sections.
- There are no blank, uninterrupted walls exceeding 25 feet in length.

Exterior materials – Meets requirements

- The applicant is proposing metal panel as the building’s primary exterior material with some rockface CMU. Two colors of metal panel, grey and black, are proposed. Each elevation would comply with the City’s durability standards for exterior materials (see Table 1). Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- The application is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Table 1. Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West
Glass	100%	34%	31%	32%	43%
Metal Panel	75%	65%	68%	65%	57%
Rockface CMU	30%	1%	1%	3%	0%

Windows – Meets requirements

- For residential uses, the zoning code requires that no less than 20 percent of the walls on the first floor, and no less than ten percent of the walls on each floor above the first that face a public street or public pathway shall be windows. The project is in compliance with the minimum window requirement (see Table 2).
- All windows are vertical in proportion and are evenly distributed along the building walls.

Table 2. Percentage of Windows per Applicable Elevation

	Code Requirement		Proposed	
Residential Uses				
1st floor – Grand	20% minimum	94 sq. ft.	27%	129 sq. ft.
1st floor – Harriet	20% minimum	133 sq. ft.	84%	557 sq. ft.
1st floor – Greenway	20% minimum	400 sq. ft.	54%	1,084 sq. ft.
2nd floor and above – Grand	10% minimum	Varies	Meets requirements	
2nd floor and above – Harriet	10% minimum	Varies	Meets requirements	
2nd floor and above – Greenway	10% minimum	Varies	Meets requirements	

Ground floor active functions – Meets requirements

- The ground floor facing both Grand Avenue and Harriet Avenue contain entirely active functions.

Roof line – Meets requirements

- The principal roof line of the building will be flat, which is similar to that of surrounding commercial, industrial, and multi-family residential buildings. The stepped down roof line is common on newer residential projects along the south side of the Midtown Greenway.

Parking garages – Meets requirements

- All of the proposed parking is located below ground within the building.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities. Additionally, the applicant is proposing to incorporate a pedestrian promenade north of the building which would allow pedestrian access from east to west adjacent to the Greenway.

Transit access – Meets requirements

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses. The underground parking area will be accessed from the public alley.
- Curb cuts have been consolidated.
- Traffic in the adjacent rerouted alley will be directed as to minimize its impact on other residential properties. A ten foot wide outlot with screening will be located between the nearest adjacent property and the new dedicated alley extending to Grand Avenue.
- Service vehicle access does not conflict with pedestrian traffic.
- The proposed site plan minimizes the use of impervious surfaces. According to the materials submitted by the applicant, 23,648 square feet (including the dedicated alley) of the site will be impervious.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 11,418 square feet of landscaping on site, or approximately 55 percent of the site not occupied by buildings (see Table 3).
- At least one canopy tree is required per 500 square feet of the required landscaped area. The applicant is proposing 34 trees on the site with 6 additional trees proposed in the public right-of-way. The tree requirement for the site is 8 canopy trees and the applicant is proposing a total of 13 trees that meet the definition of a canopy tree. However, 12 of these trees are located on the proposed outlot. Ten ornamental trees and 11 evergreen trees are also proposed on the site. Alternative compliance is required.
- Sites are required to incorporate at least one shrub per 100 square feet of the required landscaped area. The requirement for this site is 41 shrubs and the applicant is proposing only 26 shrubs on the site with 3 additional shrubs in the public right-of-way. This requires alternative compliance.
- With the exception of several areas of rock mulch, the remainder of the required landscaped area is covered with native grasses, perennial flowering plants, shrubs and other trees. The outlot south of the alley would be entirely covered with rock mulch. Additional rock mulch would be located along the sides of the pedestrian promenade. Alternative compliance is required.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	35,407 sq. ft.
Building Footprint	--	14,958 sq. ft.
Remaining Lot Area	--	20,449 sq. ft.
Landscaping Required	4,099 sq. ft.	11,418 sq. ft.
Canopy Trees (1:500 sq. ft.)	8 trees	13 trees
Shrubs (1:100 sq. ft.)	41 shrubs	26 shrubs

Parking and loading landscaping and screening – Requires alternative compliance

- While all parking is accommodated underground, the applicant is proposing a loading area north of the alley. This loading area is subject to the screening and landscaping requirements for loading areas per section 530.170 because it fronts on Grand Avenue.
- Along Grand Avenue, a 7 foot landscaped yard is required except where a greater yard is required. The required front yard is 20 feet in this area. As analyzed in the variance section above, staff is recommending that the loading area comply with the yard requirement and be at least 20 feet from the property line. It is currently proposed only 2 feet from the property line. Additionally, a three foot tall screen at least 60 percent opaque is also required along Grand Avenue, as well as one tree. The applicant is proposing several shrubs to screen the loading area in a 5 foot wide yard, 3 feet of which are located in the public right-of-way. Alternative compliance is required.
- The loading area would be across the alley from a residential use and residential zoning. Therefore, an on-site landscaped yard at least seven feet in width with at least 95 percent opaque screening is required. The ten-foot wide outlot complies in terms of size but as it is covered in rock mulch this is not considered a landscaped yard. Alternative compliance is required.
- Information included in the landscape plan indicates that the plant materials, and installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning

code, with the exception of the proposed caliper size of the trees. Staff therefore recommends a condition of approval that the plant materials, and the installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code.

- All other areas not occupied by buildings, parking and loading facilities, or driveways would be covered with native grasses, perennials, shrubs, and trees. Rock mulch is proposed on either side of the pedestrian path north of the building as well as covering the entire outlot. Rock mulch does not meet the intent of the landscaping requirements. Alternative compliance is required.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – Meets requirements

- There are no surface parking spaces proposed on the site. The loading area would be defined by a continuous concrete curb.

Site context – Meets requirements

- Views of the Midtown Greenway or other important elements of the city should not be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties for most of the year. See shadowing analysis in the conditional use permit analysis section above.
- The building has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – Meets requirements

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces. The pedestrian promenade would be open to the public with various design features such as landscaping, stairs, and gates for the individual units adjacent to the path. These features will delineate between public and private space.
- The proposed site, landscaping, and buildings promote natural observation and maximize opportunities for people to observe adjacent spaces and public sidewalks.
- The project provides lighting on site, at all building entrances, and along walkways that will maintain a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- The landscaping, sidewalks, lighting, fencing, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations. The pedestrian promenade would be open to the public, which would be made clear as no gates are proposed from Grand Avenue or Harriet Avenue, and various design features are proposed along the promenade to delineate between public and private space of the walk-ups as noted above.
- The entrances, exits, signs, fencing, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – Meets requirements

- This site is neither historically designated nor is it located in a historic district. The site is adjacent to the Midtown Greenway, or Chicago Milwaukee and St. Paul Railroad Grade Separation which is a designated historic district on the National Register of Historic Places. The district is not locally designated. The adjacent bridges over Grand Avenue and Harriet Avenue are considered contributing resources to the historic district. Although the subject properties are not located within the historic district boundaries, the vertical plane down to the trench is defined by the

earthen slope which is located on these subject properties. Work associated with the proposed development will not alter the existing slope down to the Greenway.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is permitted in the R5 District.

Off-street Parking and Loading – Requires variance(s)

- The applicant is proposing to accommodate 96 parking spaces in two levels of underground parking. The off-street vehicle parking requirement is one space per dwelling unit. Because the property is located within one-quarter mile of a bus transit stop with midday service headways of fifteen minutes or less, the minimum parking requirement is reduced by fifty percent, for a total requirement of 56 spaces (see Table 4).
- The minimum bicycle parking requirement is one space for every two dwelling units, or 56 bicycle spaces. The applicant is proposing 127 bicycle parking spaces including wall mounted bike racks located between each parking space in the underground parking areas (see Table 5).
- The off-street loading requirement for multiple-family dwellings with 100-250 dwelling units is one small loading space. Small loading spaces are required to be at least 10 feet wide by 25 feet. The applicant is proposing a loading area north of the alley which is 8 feet 7 inches wide by 77 feet (see Table 6). This requires a variance, which staff has recommended approval of above.

Table 4. Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
Residential Dwellings	111	Transit Incentives (55)	56	--	--
	--	--	56	--	96

Table 5. Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Short-Term	Long-Term	Proposed
Residential Dwellings	56	--	Not less than 90%	127
	56	--	--	127

Table 6. Loading Requirements (Chapter 541)

Use	Loading Requirement	Proposed
Residential Dwellings	One small	One space – not meeting dimensions for small loading space
	1	1

Building Bulk and Height – Requires conditional use permit

- The proposal complies with the maximum floor area ratio of 2.4. The site is 35,407 square feet in size with a gross floor area of 81,910 square feet, which equals a floor area ratio of 2.31 (see Table 7). This lot area does not include the dedicated alley but does include both the developable lot and the outlot. The applicant has requested a conditional use permit to increase the height of the

building from 4 stories or 56 feet to six stories, 74 feet. Staff is recommending approval of that application as analyzed above.

Table 7. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	35,407 sq. ft. / 0.81 acres
Gross Floor Area	--	81,910 sq. ft.
Floor Area Ratio (Maximum)	2.4	2.31
Building Height (Maximum)	4 stories or 56 feet, whichever is less	6 stories / 74 ft.

Lot Requirements – Meets requirements

- The lot area utilized for the purpose of calculating impervious surface coverage and lot coverage includes the dedicated alley, for a total of 37,472 square feet. Impervious surfaces cover 23,648 square feet, or 63 percent of the site. The lot is 42 percent covered by principal structures (including the green roof of the parking garage that extends above ground), or 15,835 square feet (see Table 8).

Table 8. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	111 DUs
Density (DU/acre)	--	137 DU/acre
Lot Area (Minimum)	5,000 sq. ft.	35,407 sq. ft. / 0.81 acres
Impervious Surface Area (Maximum)	85%	63%
Lot Coverage (Maximum)	70%	42%

Yard Requirements – Requires variance(s)

- The proposal requires variances of the front yards along Grand Avenue and Harriet Avenue as well as a variance of the south interior side yard (see Table 9). Staff is recommending approval of these variances with some conditions as analyzed above.

Table 9. Minimum Yard Requirements

Setback	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front (East - Grand)	15 ft.	Established – 20 ft.	20 ft.	14 ft. building 2 ft. loading area 0 ft. obstructions
Front (West - Harriet)	15 ft.	--	15 ft.	5 ft. 0 ft. balconies
Interior Side (North)	15 ft.	--	15 ft.	28 ft.
Interior Side (South)	15 ft.	--	15 ft.	5 ft.

Signs – Meets requirements

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed. No specific signage is proposed at this time. Multiple-family dwellings on a lot of this size are allowed one non-illuminated, flat wall identification sign less than thirty-two square feet in area and fourteen feet high. On corner lots, properties are permitted to have two such signs. Because the property is located on a through lot, staff has determined that two such signs would be permitted as would be permitted on a corner lot.

Screening of Mechanical Equipment – Meets requirements with Conditions of Approval

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements, including:

535.70. Screening of mechanical equipment.

- a) In general. All mechanical equipment installed on or adjacent to structures shall be arranged so as to minimize visual impact using one (1) of the following methods. All screening shall be kept in good repair and in a proper state of maintenance.
 - 1) Screened by another structure. Mechanical equipment installed on or adjacent to a structure may be screened by a fence, wall or similar structure. Such screening structure shall comply with the following standards:
 - a. The required screening shall be permanently attached to the structure or the ground and shall conform to all applicable building code requirements.
 - b. The required screening shall be constructed with materials that are architecturally compatible with the structure.
 - c. Off-premise advertising signs and billboards shall not be considered required screening.
 - 2) Screened by vegetation. Mechanical equipment installed adjacent to the structure served may be screened by hedges, bushes or similar vegetation.
 - 3) Screened by the structure it serves. Mechanical equipment on or adjacent to a structure may be screened by a parapet or wall of sufficient height, built as an integral part of the structure.
 - 4) Designed as an integral part of the structure. If screening is impractical, mechanical equipment may be designed so that it is balanced and integrated with respect to the design of the building.
- The applicant is proposing individual HVAC units for each dwelling unit which have been designed with the intent that they appear as an integral part of the structure. Some are incorporated within the window design. The applicant has also shown the location of additional rooftop mechanical equipment but has not indicated how these would be screened. Staff recommends as a condition of approval that all rooftop mechanical equipment shall be required to comply with the standards above.

Refuse Screening – Meets requirements

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535. All refuse and recycling storage containers are located within the building.

Lighting – Meets requirements with Conditions of Approval

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code, including:

535.590. Lighting.

- a) In general. No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.
- b) Specific standards. All uses shall comply with the following standards except as otherwise provided in this section:
 - 1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
 - 2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
 - 3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
 - 4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - 5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.
- The applicant is proposing several light fixtures. The lighting plan submitted does not provide the information necessary to ensure compliance with the above standards. Therefore staff is recommending as a condition of approval that a lighting plan indicating compliance with the standards above shall be provided prior to building permit issuance.

Fences – Meets requirements

- Fences must comply with the requirements in Chapter 535. The applicant is proposing one three foot six inch tall aluminum picket fence along the top of the retaining wall north of the building. No other fences are proposed.

Specific Development Standards – Meets requirements

- The applicant’s proposal meets the specific development standards for multiple-family dwellings in Chapter 536.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as Urban Neighborhood on the future land use map. In addition to the policies analyzed previously, the proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

- 10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.

- 10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city's existing housing stock.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.
- 10.6.6 Integrate transit facilities and bicycle parking amenities into the site design.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

- 10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.
- 10.19.2 Plant and tree types should complement the surrounding area and should include a variety of species throughout the site that include seasonal interest. Species should be indigenous or proven adaptable to the local climate and should not be invasive on native species
- 10.19.6 Green roofs, living walls, and porous pavement are encouraged but are not meant to be a substitute for ground-level landscaping of sites as landscaping provides both a natural amenity and aesthetic beauty to the urban landscape.

Urban Design Policy 10.22 Use Crime Prevention Through Environmental Design (CPTED) principles when designing all projects that impact the public realm, including open spaces and parks, on publicly owned and private land.

- 10.22.3 Design the site, landscaping, and buildings to promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- 10.22.4 Provide on-site lighting at all building entrances and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- 10.22.5 Locate landscaping, sidewalks, lighting, fencing and building features to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.

- 10.22.7 Locate entrances, exits, signs, fencing, landscaping, and lighting to distinguish between public and private areas, control access, and to guide people coming to and going from the site.

CPED finds that the proposed development is in conformance with the above policies of *The Minneapolis Plan for Sustainable Growth*.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of both the *Midtown Greenway Land Use and Development Plan* and the *Lyn-Lake Small Area Plan*. Both plans designate the future land use of this site to be high-density housing. The subject proposal would have a density of 137 dwelling units/acre, slightly higher than the upper limit of high-density housing noted in both plans to be 120 dwelling units/acre. The subject site is located two blocks from Lyndale Avenue, a Commercial Corridor, one block from the Lyn-Lake Activity Center, and one block from Lake Street, a Commercial Corridor. Staff finds that the site's proximity to these land use features supports the higher density proposed at this site.

The *Midtown Greenway Land Use and Development Plan* is intended to guide future development in the corridor. The plan establishes several Greenway-supportive development principles that are applicable to the subject proposal:

- Promote a safe, vibrant and active environment with calmed streets and widened sidewalks. Focus investments toward developing an enlivened, pedestrian-friendly public realm.
- Encourage redevelopment projects to be transit-supportive by integrating bicycle and pedestrian amenities as well as accessible and visually appealing transit stops into projects.
- Promote development that reinforces appropriate architectural scale and relates to adjacent land uses. Employ development strategies that minimize Greenway and adjacent property shadowing.
- Use new development, the pedestrian environment and open space to promote an integrated relationship between the Greenway floor and the Greenway edge/rim, fostering a sense of place and community.
- Develop a premier public edge along both sides of the Greenway, including a more pedestrian and bicycle-friendly 29th Street and public promenades.
- Promote Greenway safety and comfort through environmental design features such as doors located on the street or Greenway as appropriate, windows facing public space and the relocation of service doors away from the public realm.

In the plan, this site is designated for Urban-Oriented development intensity, which notes that buildings should be up to five stories in height. The plan also notes that developments should mitigate development intensity by incorporating open space visible from the public realm and stepping back the mass of building from adjacent properties and the Greenway. Primary entrances of buildings are encouraged to face the public street, while balconies, windows, and entries oriented toward the Greenway are also strongly encouraged.

The plan also emphasizes the importance of solar access to the Greenway. Stepping back the mass of future buildings along the south side of the Greenway is one of several recommendations provided in the plan in order to minimize shadowing. Additionally, the plan notes that buildings should step down at the boundary between higher density districts and lower density districts and existing residential neighborhoods. The building's shadowing impact has been analyzed above.

A primary recommendation of the plan is to provide a linear public “promenade” or walkway wherever possible between private development and the Midtown Greenway, in order to develop a premier public edge along both sides of the Greenway. These promenades create a street-level pedestrian network and visual connections between the Greenway and adjacent spaces. The plan identifies this site as a recommended location for a promenade. The plan notes that wherever possible, a minimum of 12 feet of public realm should be provided between private development and the Midtown Greenway right of way for a publicly accessible pedestrian promenade. This includes at least an 8 foot sidewalk with a transition between the promenade and private development including a decorative wall, fence, or landscaping. The fence and landscaping should maintain visibility between spaces over 3½ feet to ensure the safety and desirability of the promenade.

The *Lyn-Lake Small Area Plan* also identifies the future land use of this site as high-density housing. The plan also recommends the creation of a promenade along the Greenway as properties are redeveloped. It also notes that several recent developments had included a promenade. Stepped down building heights, a transition of uses, and buffering to adjacent residential areas is encouraged. In addition, shadowing of sidewalks and the Midtown Greenway should be minimized to ensure as comfortable of a pedestrian environment as possible.

The proposed development incorporates bicycle and pedestrian amenities into the site plan. The building has been designed with significant setbacks of the fifth and sixth story, as well as varied setbacks of the building overall, in order to minimize shadowing of the Greenway and adjacent properties. The incorporation of a new east-west promenade promotes an integrated relationship between the Greenway floor and Greenway edge. The building has many windows on all elevations. Primary entrances face the public street while balconies, windows, and ground floor entries are present on the Greenway-facing elevation as well.

While the building height does not step down towards the lower density R2B zoned properties south of the proposal, the dedication of a new alley provides adequate separation between the uses. The western half of the building is adjacent to an industrially-zoned building.

The promenade feature includes a walkway that varies in width from 4 foot 6 inches to 5 feet in places. The narrower portion of the walkway is due to constraints associated with the location of a retaining wall. Lining the path would be 1 to 2 feet of rock mulch. The individual gates for walk-up units adjacent to the promenade would be located 1 foot off the path back, with landscaping in between. The height of features would retain visibility as recommended. Although the walkway is 3 to 3 ½ feet narrower than that recommended by the plan, staff finds that in providing an east-west pedestrian connection, the proposal meets the intent of this guidance. To ensure that the proposal retains this proposed east-west promenade connection shown in the submitted plans, staff recommends a condition of approval that gates shall not be incorporated in the design in accordance with applicable policies of the comprehensive plan and small area plan. Overall, the proposed development is in conformance with the applicant plans adopted by the City Council.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **General landscaping and screening – required canopy trees.** At least one canopy tree is required per 500 square feet of the required landscaped area. The applicant is proposing 34 trees on the site with 6 additional trees proposed in the public right-of-way. The tree requirement for

the site is 8 canopy trees and the applicant is proposing a total of 13 trees that meet the definition of a canopy tree. However, 12 of these trees are located on the proposed outlot, not on the developable site. Ten ornamental trees and 11 evergreen trees are proposed on the site. Staff finds that although the on-site trees proposed do not meet the definition of a canopy tree, the applicant is providing trees well in excess of the requirement as well as replacing trees in the public right-of-way. This alternative mitigates any adverse impacts of the reduction in on-site canopy trees. Staff recommends granting alternative compliance.

- **General landscaping and screening – required shrubs.** At least one shrub is required per 100 square feet of the required landscaped area. The requirement for this site is 41 shrubs and the applicant is proposing only 26 shrubs on the site with 3 additional shrubs in the public right-of-way. Staff does not find that alternatives have been provided to address the reduction in shrubs on the site, and finds that meeting the required number of shrubs on site would be reasonable. Therefore, a condition of approval requiring 41 shrubs is recommended.
- **General landscaping and screening.** There are several areas where rock mulch is proposed, including along the pedestrian path and in the outlot area. While staff finds that rock mulch is reasonable along the pedestrian path, rock mulch does not meet the intent of landscaping requirements and is not recommended to be approved to be utilized in lieu of wood mulch or other landscaping in the outlot area.
- **Parking and loading landscaping and screening along a public street.** Along Grand Avenue, a 7 foot landscaped yard is required except where a greater yard is required. The required front yard is 20 feet in this area. The applicant is proposing 6 shrubs to screen the loading area in a 5 foot wide yard, 3 feet of which are located in the public right-of-way. As analyzed in the variance section above, staff is recommending that the loading area comply with the yard requirement and be moved to 20 feet from the property line where it is currently only 2 feet from the property line. Additionally, a three foot tall screen at least 60 percent opaque is also required, as well as one tree. Staff does not recommend granting alternative compliance for these standards as the alternative would not adequately screen the loading area from the public street. Therefore, staff recommends that the loading area shall be landscaped and screened with at least a 7 foot wide landscaped yard which incorporates both a three foot tall screen at least 60 percent opaque, and one tree. Staff would further encourage the applicant to landscape the entire 20 foot required yard.
- **Parking and loading landscaping and screening across an alley from a residential use.** The loading area would be across the alley from a residential use and residential zoning. Therefore, a landscaped yard at least seven feet in width with at least 95 percent opaque screening is required. The ten-foot wide outlot complies in terms of size but as it is covered in rock mulch this is not considered a landscaped yard. Additionally, the tall columnar deciduous trees proposed would not meet the screening requirements. Since the loading area is separated by the public alley and the outlot and is not directly adjacent to the residential use, staff finds that a screen only three feet in height and sixty percent opaque would be adequate. Staff recommends a condition of approval that requires a three foot, sixty percent opaque screen, such as evergreen shrubs, be provided in the outlot area to screen the loading area. Additionally, staff recommends a condition of approval that the applicant shall replace the rock mulch on the outlot area with turf grass, shrubs, perennials, wood mulch, or a combination thereof to create a more attractive buffer from the adjacent residential use.
- **Landscaping of other areas.** All other areas not occupied by buildings, parking and loading facilities, or driveways would be covered with native grasses, perennials, shrubs, and trees. As noted above, there are several areas where rock mulch is proposed, including along the pedestrian path and in the outlot area. While staff finds that rock mulch is reasonable along the pedestrian path, rock mulch does not meet the intent of landscaping requirements and is not recommended to be approved to be utilized in lieu of wood mulch or other landscaping in the outlot area as noted above.

PRELIMINARY PLAT

The Department of Community Planning and Economic Development has analyzed the application for a preliminary plat based on the following findings:

1. *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

A lot, outlot, and dedicated alley are proposed. In order to accommodate a corner cut for the alley, a strip of unbuildable land would remain. Any lot which due to the existing grade, physical conditions, hazard of flooding, or of a size, shape or in a location not conforming to these regulations and therefore not suitable for development, may be platted as an outlot.

The subdivision is in conformance with the applicable zoning code regulations and policies of the comprehensive plan, as evaluated above. However, it requires a variance to the subdivision regulations to allow a lot with more than five sides for a multi-family residential building. The applicant is proposing to vacate the existing public alley and dedicate a new alley. In order to accommodate a corner cut for the alley, an outlot would remain south of the alley. Due to this location of the vacation and the dedicated alley extension to Grand Avenue, the resulting property line has six sides.

Subdivision Regulations:

598.310. Variances. *Where the planning commission finds that hardships or practical difficulties may result from strict compliance with these regulations, or that the purposes of these regulations may be served to a greater extent by an alternative proposal, it may approve variances to any or all of the provisions of this chapter. In approving variances, the planning commission may require such conditions as it deems reasonable and necessary to secure substantially the objectives of the standards or requirements of these regulations. No variance shall be granted unless the planning commission makes the following findings:*

- (1) *There are special circumstances or conditions affecting the specific property such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of land.*

The applicant is proposing to vacate the existing alley and dedicate a new alley extending to Grand Avenue. Due to the dimensional requirements of the new alley, a corner cut is required, which creates an outlot south of the dedicated alley. The resulting property line north of the alley would jog because of the location of the adjacent property to the south along Harriet Avenue. In order to accommodate a loading area, additional landscaping, areas for mechanical equipment, and other necessary building functions without pushing the proposed building further towards the Midtown Greenway, the property line jogs south approximately 14 feet, creating a 6-sided lot. The proposed lot configuration will allow for reasonable use of the property considering the location of the dedicated alley.

- (2) *The granting of the variance will not be detrimental to the public welfare or injurious to other property in the area in which the property is located.*

Granting the variance to create a 6 sided lot should not be detrimental to the public welfare or injurious to other property in the vicinity as a newly dedicated alley would be provided. The proposed lot configurations will have no impact beyond the property lines.

2. *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The applicant is proposing to consolidate several existing platted lots into two new lots and dedicate an alley extension to Grand Avenue. The proposed plat would not be injurious to the use and enjoyment of other property in the immediate vicinity, nor would it be detrimental to present and surrounding land uses. The plat should not substantially add to congestion in the public streets.

3. *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

The site is basically level with the exception of grade changes near the Greenway, where the northernmost portion of the site slopes down significantly toward the Greenway. However, the applicant is not proposing to develop any portions of the site with steep slope and these grade changes should not impact the ability to develop the property. The site does not present other noted hazards.

4. *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The proposed lot is buildable, has street frontage on two streets, and is suitable for the proposed use.

5. *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

The proposed plat makes adequate provision for stormwater runoff. The Surface Waters and Sewers division of Public Works Department has initially reviewed the project for appropriate drainage and stormwater management. Specific comments related to stormwater can be found in the attached PDR report.

VACATION – 1652

The applicant is proposing to vacate a portion of the existing alley. The applicant intends to use the vacated alley as part of a developable area to construct a multiple-family dwelling. To prevent the creation of a dead end alley, a new east-west alley segment would be constructed and dedicated to allow access from Grand Avenue.

The area to be vacated is legally described as follows:

That part of the North - South Alley donated and dedicated to the public in Block 6, Excelsior Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota, lying South of a line drawn from a point on the West line of Lot 1, said Block 6, distant 12 feet North of the Southwest corner thereof to a point on the East line of Lot 16, said Block 6, distant 12 feet North of the Southeast corner thereof, and lying North of a line drawn from a point on the West line of Lot 4, said Block 6, distant 14 feet south of the Northwest corner thereof, to a point on the East line of Lot 13, said Block 6, distant 14 feet South of the Northeast corner thereof;

And

The South 12 feet of Lot 1, Block 6, Excelsior Addition to Minneapolis, Hennepin County, Minnesota.

RESPONSES FROM UTILITIES AND AFFECTED PROPERTY OWNERS. Minneapolis Public Works has reviewed the vacation petition and recommends approval. Public Works is also working with the applicant regarding additional excess right of way controlled land, 2900 Grand Avenue and 2905 Harriet Avenue, which would be purchased and utilized as part of the developable area. Of the responses received regarding the vacation, there were no objections and no easements requested, except from CenturyLink. CPED staff encourages the applicant to continue to work directly with CenturyLink moving forward. Staff recommends that an easement be granted over the described area to be vacated at this time.

FINDINGS. A dead-end alley would not be created if a new east-west segment is constructed with access to Grand Avenue South. The Department of Public Works and the Department of Community Planning and Economic Development find that the area proposed for vacation is not needed for any public purpose, and it is not part of a public transportation corridor, and that they can be vacated if any easements requested above are granted by the petitioner.

FOR REZONINGS ONLY

ZONING PLATE NUMBER. 25

LEGAL DESCRIPTION.

Lots 2–4 and 14–15, Block 6, Excelsior Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota; and the North 28 feet of Lot 1, Block 6, Excelsior Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota, together with the Easterly 1/2 of vacated alley which accrued thereto by reason of the vacation thereof; and Lot 16, Block 6, including the adjacent half of alley vacated, Excelsior Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Tushie Montgomery for the properties located at 2903, 2905, 2907, and 2911 Harriet Avenue South & 2900, 2904, 2910, and 2912 Grand Avenue South:

- A. Rezoning the property located at 2903, 2905, 2907, and 2911 Harriet Avenue South from the II District to the R5 District and the property located at 2900, 2904, 2910, and 2912 Grand Avenue South from the R2B District to the R5 District.**

Recommended motion: **Approve** the application for a rezoning.

- B. Conditional Use Permit to increase height from 4 stories or 56 feet to 6 stories, 74 feet in the in the R5 District.**

Recommended motion: **Approve** the application for an increase in maximum height, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

C. Variance of the required front yard on Grand Avenue South.

Recommended motion: **Approve** the application for a variance of the required front yard on Grand Avenue South from 20 feet (established) to 14 feet for the building, 2 feet for a loading area, and 0 feet for stairs, landings, and the green roof of the parking garage below, subject to the following conditions:

1. The proposed loading area shall comply with the established 20 foot required yard.

D. Variance of the required front yard on Harriet Avenue South

Recommended motion: **Approve** the application for a variance of the required front yard on Harriet Avenue South from 15 feet to 4 feet for the building and 0 feet for balconies.

E. Variance of the required south interior side yard.

Recommended motion: **Approve** the application for a variance of the south interior side yard from 15 feet to 5 feet.

F. Variance of the loading requirement.

Recommended motion: **Approve** the application for a variance of the loading requirement to allow a space narrower than the required dimensions for a small loading space, subject to the following conditions:

1. The loading zone shall be designed with visual separation between the public alley and the private loading area and shall be signed as a loading area with private signage.

G. Site Plan Review for a new six-story, 111-unit building.

Recommended motion: **Approve** the application for a new six-story, 111-unit building, subject to the following conditions:

1. All site improvements shall be completed by March 28, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. The plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.
4. All mechanical equipment shall be screened in compliance with Section 535.270 of the zoning code.
5. A lighting plan indicating compliance with Section 535.590 of the zoning code shall be provided.
6. In accordance with the plans submitted in the application, as well as the applicable policies of the comprehensive plan and small area plan, gates along Grand Avenue and Harriet Avenue shall not be incorporated in the design of the promenade.
7. The final landscaping plan shall incorporate 41 shrubs on the developable site.
8. The final landscaping plan shall provide a seven foot landscaped yard along Grand Avenue that incorporates one tree and screening of the loading area that is three feet in height and not less than 60 percent opaque, as required by section 530.170 of the zoning code.
9. The final landscaping plan shall provide screening of the loading area that is three feet in height and not less than 60 percent opaque in the outlot area.
10. The rock mulch on the outlot shall be replaced with turf grass, shrubs, perennials, wood mulch, or a combination thereof to create a more attractive buffer from the adjacent residential use.

H. Preliminary Plat (PL-303).

Recommended motion: **Approve** the preliminary plat.

I. Vacation of part of an alley (Vac-1652).

Recommended motion: **Approve** the vacation of the portion of the alley, subject to the retention of easements by CenturyLink.

ATTACHMENTS

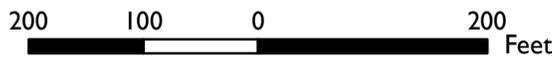
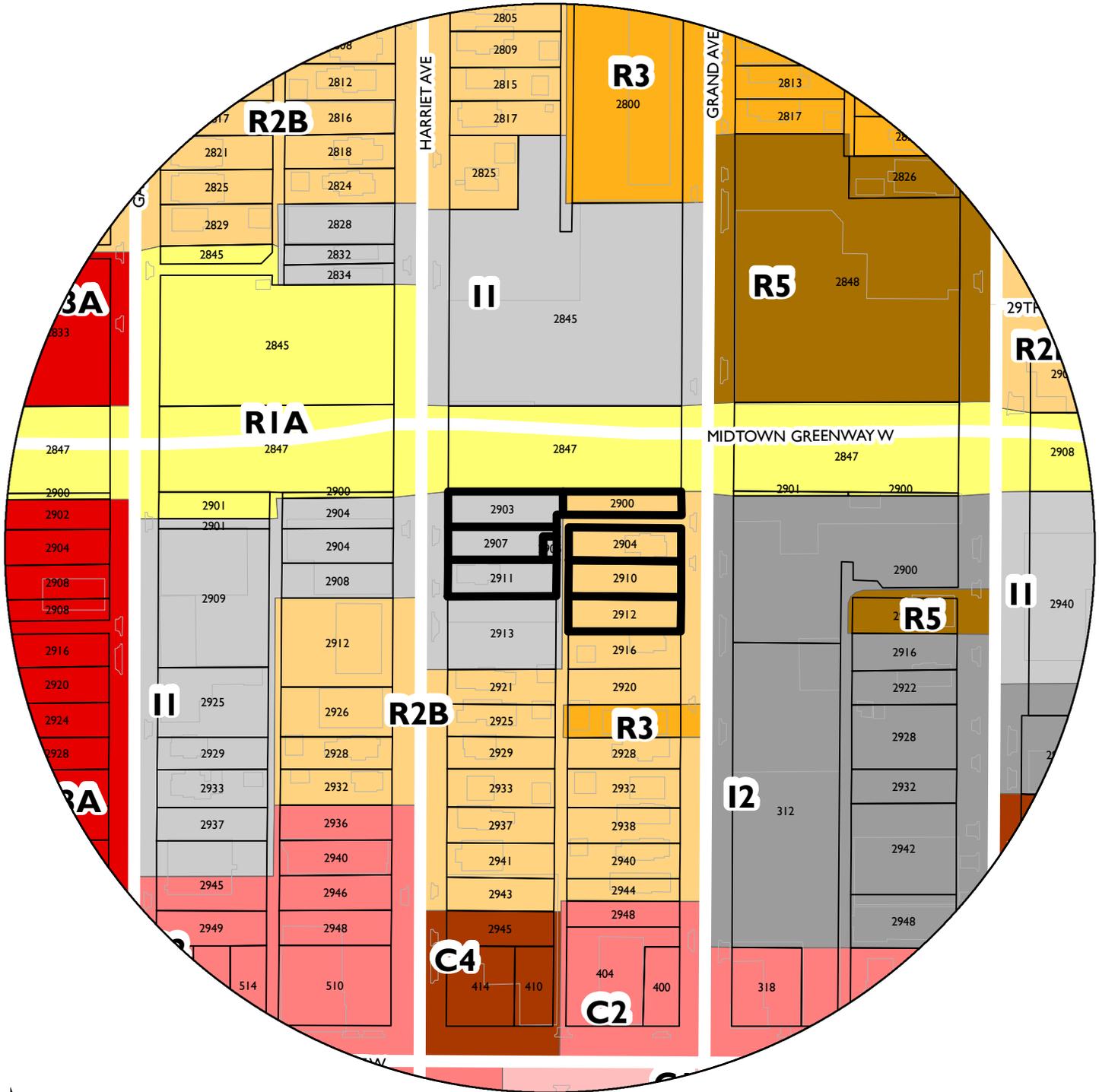
1. Zoning map
2. Aerial photo
3. PDR report
4. Vac-1652 map and Public Works letter
5. Written description and findings submitted by applicant
6. Site survey
7. Plans
8. Building elevations
9. Shadow study
10. Renderings
11. Photos
12. Correspondence

Tushie Montgomery

10th

NAME OF APPLICANT

WARD

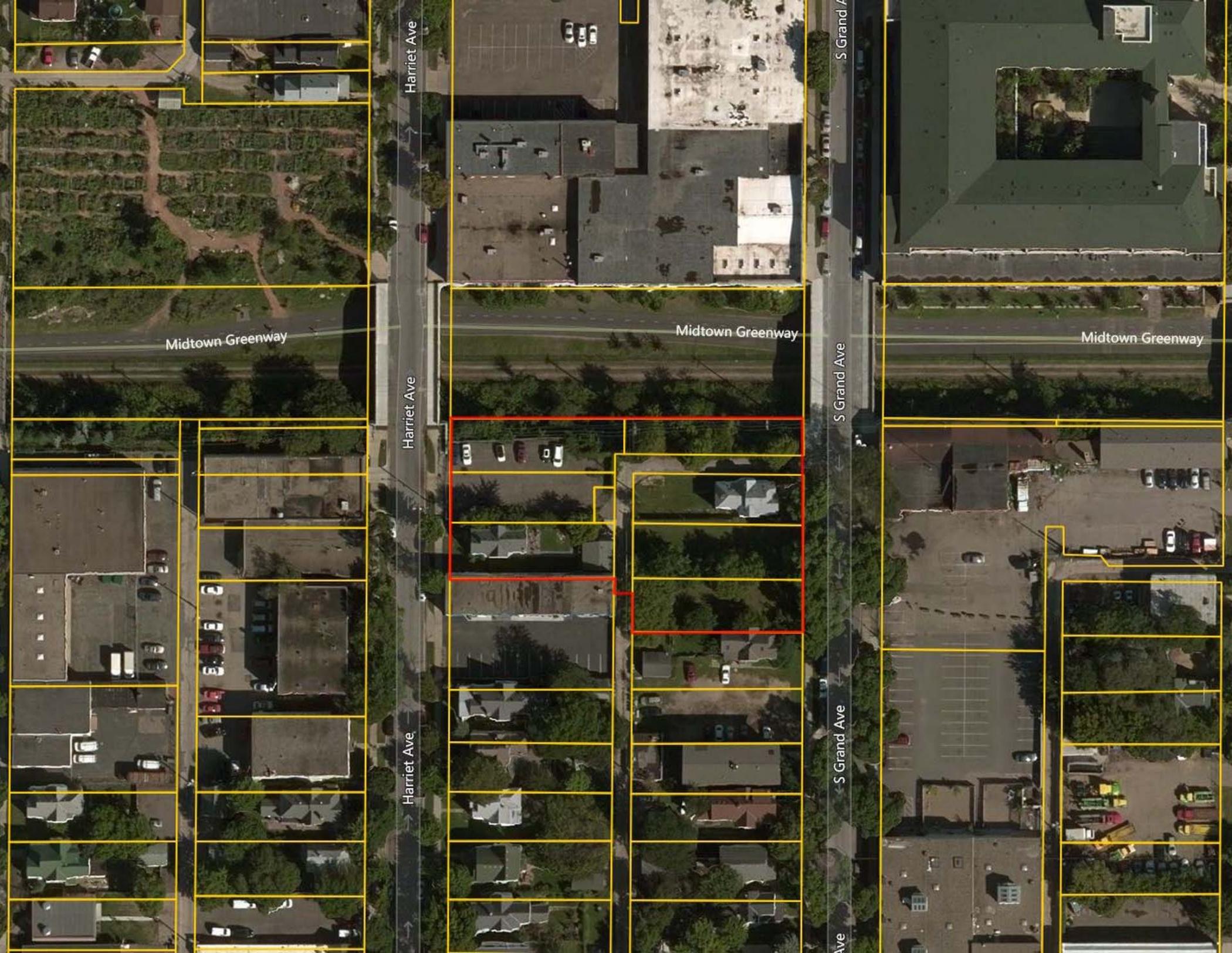


PROPERTY ADDRESS

2903, 2905, 2907, 2911 Harriet Ave S & 2900, 2904, 2910, and 2912 Grand Ave S

FILE NUMBER

BZZ-7587



Harriet Ave

Harriet Ave

Harriet Ave

S Grand Ave

S Grand Ave

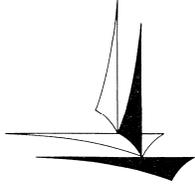
S Grand Ave

S Grand Ave

Midtown Greenway

Midtown Greenway

Midtown Greenway



Minneapolis Development Review
 250 South 4th Street
 Room 300
 Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**
(612) 673-2726
don.zart@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001402
Applicant:	SOLHEM 701 2ND ST N, SUITE 107 MINNEAPOLIS, MN 55401
Site Address:	2903 HARRIET AVE 2905 HARRIET AVE 2907 HARRIET AVE 2911 HARRIET AVE 2900 GRAND AVE S 2900 GRAND AVE S 2904 GRAND AVE S 2910 GRAND AVE S 2912 GRAND AVE S
Date Submitted:	27-JAN-2016
Date Reviewed:	05-FEB-2016

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Proposed 110 unit multifamily building consisting of 6 stories with 2 stories of below grade parking.

Review Findings (by Discipline)

Business Licensing

- There is no Business License requirement at this time.

*Approved: You may continue to the next phase of developing your project.
 *Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Zoning - Planning

- Based on a cursory review of the plans submitted, the following land use applications will be required:
 - Rezoning from I1 Light Industrial District (Harriet parcels) and R2B Two-Family District (Grand parcels) to the R5 Multiple-Family District
 - Conditional Use Permit to increase maximum height from required 4 stories/56 feet to 6 stories/74 feet
 - Variance of required front yard on Harriet Avenue South from 15 feet to 4 feet for the building and 1 foot for a canopy
 - Variance of required front yard on Grand Avenue South from 20 feet (established) to 14 feet for the building and 0 feet for landings and decks
 - Variance of the required south interior side yard from 15 feet to 5 feet for the building and 0 feet for balconies
 - Variance to reduce the loading requirement (1 small loading space, 10' x 25' required for buildings with over 100 dwelling units)
 - Site plan review
 - Alley vacation
 - Plat
- Loading space needs to be screened from the street with 7 foot landscaped yard, screening at least 3 feet in height and 60% opaque, and at least 1 tree. Alternative compliance will be required if not meeting this screening requirement. (530.170)
- Rock mulch is not permitted in landscaped areas and would require alternative compliance (see 530.180). Rock mulch shall not be used or if alternative compliance is requested, rock mulch shall be of a size that will not easily migrate into adjacent walkways or right-of-way.
- On the preliminary plat sheet, the "Parcel C" should not be shown as a separate parcel - this land will be appropriated to the neighboring 2913 Harriet Ave S parcel as part of the alley vacation, not made a separate parcel.
- Other issues may be identified upon further review.

□ Sewer Design

Groundwater:

- Please update the Groundwater Statement on Sheet C2.0 to identify if groundwater discharges are proposed to the sanitary sewer system as well.

Surface Drainage:

- The grading of the alley corner should be in conformance with that shown on City standard detail plate ROAD-3001-R1. Please adjust and provide spot elevations accordingly in this location. Detail plate ROAD-3001-R1 should also be included in the plans.
- Please identify the first floor elevation and lowest floor elevation on the grading plan.
- Utility Connections: Please provide the relevant information on the proposed sanitary sewer connection (inverts, slope, etc.)

Erosion Control:

- It is highly recommended that the existing slope on the north side of the property not be disturbed. If the slope must be disturbed to accommodate the proposed construction, stabilization practices designed for steep slopes should be utilized and identified on the erosion and sediment control plan. Additional erosion and sediment control devices and practices should also be provided.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

□ Historical Preservation Committee

- The wrecking of any existing structures requires a historic review as part of the wrecking permit process. A licensed wrecking contractor is required to obtain this permit.

□ Addressing

- The proposed address for the main apartment entrance will be 2905 Harriet Ave.
- When assigning suite numbers to the interior dwelling spaces the following guidelines apply:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
 - Please provide each condo, suite, unit or apartment number.
- This building is also considered to have a parking ramp per MCO Chapter 108. As such, within 5 years of the date of the certificate of occupancy being issued, the parking ramp will be required to have annual inspections and apply for a Ramp Operating Certificate.

□ Parks - Forestry

- Contact Craig Pinkalla (cpinkalla@minneapolisparks.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Identify proposed tree removals on plan.
- Show replacement trees on Landscape plan
- Bur Oak selection for replacement blvd. trees is approved.
- Add tree planting detail to landscape plan.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project, The Harriet Apartments, the calculated dedication fee is as follows:

• Residential - 110 x \$1521	=	\$167,310
• Administrative Fee - 5% of \$167,310 (capped at \$1,000)	=	\$ 1,000
• Minus credit for existing structures (3x1521=\$4,563)		- \$4,563
• Total	=	\$163,747
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at (612)673-2726

□ Water

- Separate water service lines are required; a combination water service will not be allowed due to the height of the proposed building (pumps are not allowed on combination lines). Meters shall be set at the point where the service line enters the building and shall be set in a location where it is easily assessable. Domestic service lines larger than three inches require a Bypass Assembly (see attachment). Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

□ Sidewalk

- The proposed sidewalks at the new alley access point are shown incorrectly on the Architectural Site Plan (and elsewhere throughout the site plans) with ADA pedestrian ramps (see Street Design comments). The

sidewalk grades through the alley drive apron shall remain constant; therefore no ADA pedestrian ramps are necessary at the alley apron.

❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.
- The site plan proposes the vacation of a portion of the existing alley, dedication of new alley right-of-way, and construction of a new alley connecting to Grand Ave. S.; the Applicant shall work with Bob Boblett at (612) 673-2428 on the alley vacation process.

❑ Street Design

- The plan set contains an Architectural Site Plan, but does not provide for an equivalent Civil Site Plan or "paving plan"; the Applicant shall provide a "paving plan" that indicates proposed features such as sidewalk, curb, driveway aprons, and alley construction.
- The proposed driveway apron at the new alley access point is shown incorrectly on the Architectural Site Plan (and elsewhere throughout the site plans) with ADA pedestrian ramps. Minneapolis standard driveway aprons include an integral sidewalk, consequently ADA pedestrian ramps are unnecessary at these locations. All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets; please refer to the standard details included on Sheet C4.0 of the plans. Details referring to ADA pedestrian ramps on Sheet C4.1 can be removed from the plans.
- The site plan proposes the vacation of a portion of the existing alley and construction of a new alley connecting to Grand Ave. S. The Applicant shall provide complete plans for the construction of the proposed alley, including a plan view and centerline profile.
- All proposed alleys shall be designed and constructed to City standards. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the following details from the ROAD-3000 Series - Alleys to the plans: ROAD-3000 and ROAD-3001-R1.
- In addition to the required sidewalk construction permit, the construction of the proposed alley will require a Right-of-Way Excavation Permit. As part of that permit, the Applicant (and respective Contractors) are required to enter into a separate Testing and Inspection Agreement with the Public Works Department. This agreement outlines the specification requirements for alley construction, performance bond requirements, and the responsibility of the Applicant to cover the costs for the City Engineering Laboratory testing and inspection services. For further information regarding this agreement please coordinate with Paul Miller at (612) 673-3603.

❑ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue; please contact Allan Klugman at (612) 673-2743 to discuss the requirements of a Travel Demand Management Plan (TDMP).
- All street lighting (existing and proposed) shall be shown clearly on the site plan. Residential low level metal pole lighting is recommended as part of this project, installed according to the Street Light Policy and

Standard Supplemental Specs. For any street lighting installed, the city will need to see final plans with photometric calculations and professional engineer approval. If lighting is not installed with this project, it is recommended to install conduit according to City specs (this would minimize right-of-way impacts for potential future lighting projects). Prior to site plan approval, the Applicant shall contact Joseph Laurin at 612-673-5987 to determine street lighting requirements.

- The Applicant shall note the location of any existing Metro Transit "bus stops" on the site plan.
- Vehicle ramps into parking structures shall have no more than a 4% slope for the first 20 feet from the right of way (please indicate slope on the drawings).
- The loading zone should be designed with some type of a visual separation between the legal alley and private loading area and signed with private signage. Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining truck delivery and trash removal operations and show turning maneuvers for all truck type vehicles that will be using the loading/parking entrance areas.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.

□ Environmental Health

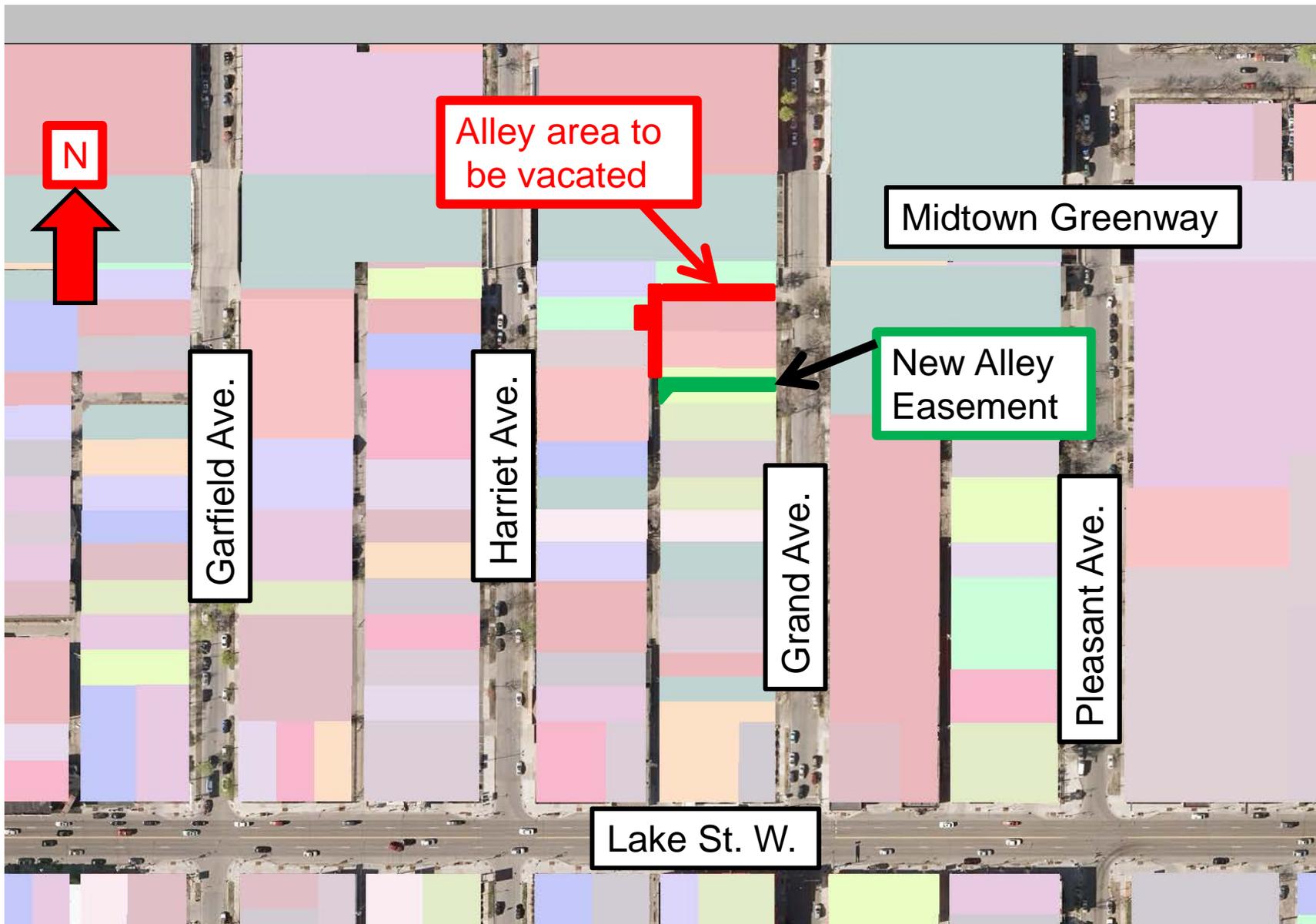
- If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

□ Construction Code Services

- 60% of the building entrances are required to be accessible. It appears that only one of the two entrances (50%) is accessible.
- Contact Scott Knudson, (612)673-2873 regarding any questions on this.
- A SAC determination by the Met Council is required prior to permit issuance. See this link for more information.
http://www.ci.minneapolis.mn.us/www/groups/public/@regservices/documents/webcontent/convert_281675.pdf

□ Fire Safety

- Provide required fire suppression system throughout building.
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant - (there is confusion over the actual address of the proposed building - plan shows 2905 Harriet Ave S).
- Provide required fire alarm system throughout building.
- Provide and maintain fire apparatus access at all times.







March 16, 2016

**Department of
Public Works**

Steven A Kotke, P.E.
City Engineer
Director

350 South 5th Street – Room 203
Minneapolis MN 55415

Office 612 673-3000
Fax 612 673-3565
TTY 612 673-2157

Lisa Steiner
CPED-Planning
250 4th St. So., Room 300
Minneapolis, MN 55415

RE: Vacating a portion of the alley in Block 6, Excelsior Addition, bounded by Lake Street West, Grand Avenue, Harriet Avenue, and Midtown Greenway. (Vacation 1652)

Dear Ms. Steiner:

Public Works staff has reviewed this vacation petition and recommends Approval of said petition.

The alley portion being vacated is legally described as follows:

That part of the North - South Alley donated and dedicated to the public in Block 6, Excelsior Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota, lying South of a line drawn from a point on the West line of Lot 1, said Block 6, distant 12 feet North of the Southwest corner thereof to a point on the East line of Lot 16, said Block 6, distant 12 feet North of the Southeast corner thereof, and lying North of a line drawn from a point on the West line of Lot 4, said Block 6, distant 14 feet south of the Northwest corner thereof, to a point on the East line of Lot 13, said Block 6, distant 14 feet South of the Northeast corner thereof;

And

The South 12 feet of Lot 1, Block 6, Excelsior Addition to Minneapolis, Hennepin County, Minnesota.

Sincerely,

Don Elwood, Director
Transportation Engineering & Design

Cc: Dennis Morris





February 29, 2016

*Revised March 17, 2016

Lisa Steiner

Principal City Planner, City of Minneapolis

Department of Community Planning & Economic Development - Planning Division

250 South 4th Street, Room 300

Minneapolis, MN 55415

Dear Ms. Steiner:

Please find enclosed the summary for our proposed multifamily development at 2905 Harriet Ave S, and a description of requested variances, re-zoning, and conditional use permit.

Project Description:

2905 Harriet Ave S, Minneapolis, Minnesota

We are proposing a 111 unit multifamily building consisting of six stories and approximately 114,619 square feet. The new building will be constructed on 8 lots consisting of 2 houses, 6 vacant parcels, and an existing alley. We are expecting to break ground in June of 2016 and complete construction in the summer of 2017.

The existing site:

The proposed project is located at 2905 Harriet Ave S and includes lots at: 2903 Harriet Ave S, 2905 Harriet Ave S, 2907 Harriet Ave S, 2911 Harriet Ave S, 2900 Grand Ave S, 2904 Grand Ave S, 2910 Grand Ave S and 2912 Grand Ave S. The site also includes part of a city alley that we are currently petitioning to abandon and relocate as part of this project.

The site is in the Whittier Neighborhood, Council Ward 10, and abuts the Midtown Greenway. The site is zoned R2B and I1. Guided zoning is R5. The existing neighborhood is transitioning from industrial to residential and commercial uses. High density residential is an expected use for this site and other sites in such close proximity to the Greenway. The proposed project will replace two existing asphalt parking lots, three vacant lots, two houses (one of which is abandoned) and a tax forfeit lot. The combined site is 34,136 square feet (.79 acres), not

including the alley or the outlost referred to as "Parcel B". The existing pavement and houses will be removed for construction of the proposed building.

The proposed building:

The proposed building is a 6-story, 111 unit, market rate apartment building, with two stories of below ground parking. The total gross proposed building square footage is 114,619. There will be 96 parking stalls for residents of the building. The parking ratio for the building is .86. The FAR for the building is 2.39. The building will be constructed of wood framing and concrete.

Proposed architectural details of the new building:

The building is respectfully stepped back from the Midtown Greenway. The allowable volume of the building has been moved vertically to the south side of the property to minimize Greenway shadowing. On the west side (Harriet Avenue) the façade of the building meets the street front set back of its industrial neighbor to the south. On the east side (Grand Avenue) the building steps back to create a front yard similar to its existing neighbors. The bulk of the building is broken into two smaller masses by using contrasting exterior modules of grey and black metal. A "glass box" containing the exercise room hovers at the verge of the Greenway, creating "eyes on the street" and a focal "lighthouse" for Greenway bicyclists and pedestrians.

The building breaks from the neighborhood typology in order to accommodate its scale and its location along the Greenway. The building complements its existing industrial neighbors in the area through use of metal siding and lots of glass.

The top floor of the building includes a rooftop patio and community space, allowing for more eyes on Harriet Avenue and a playful interplay with the skyline of the "new" Greenway.

Along the Greenway a public pedestrian path (open 24 hours) has been created as an homage to the "Philosopher's Walk" originally envisioned for the south side of the Greenway. This walkway creates a new east-west route for pedestrians. It includes flowering trees, limestone pathway markers, and viewpoints over the Greenway. We hope this new walk way will someday be connected to the woonerf and other public amenities envisioned for nearby locations on the south side of the Greenway.

Proposed site work:

The site is approximately 34,136 square feet. The first floor footprint of the proposed building is approximately 14,958 square feet. The building will have entrances off of both Harriet and Grand Avenues. The building will have a parking entrance off the alley and the existing curb cuts will be eliminated on Harriet Avenue and Grand Avenue. The existing alley will be terminated and rerouted through 2912 Grand Avenue. Landscaping will include new trees, boulevard plantings, perennials, walkway lighting, pet friendly sidewalk verges and a pedestrian-friendly sidewalk.

Proposed variances, CUP, and re-zoning:

The project will require variances for set backs at Grand Avenue, Harriet Avenue, and the side yard closest to Harriet Avenue; a variance for a parcel with more than 5 sides; and a variance to reduce the loading area width. The project will require a conditional use permit for a height of 74'. The project will require re-zoning to R5. The project will require site plan review, replatting and subdivision.

We are seeking a conditional use permit, re-zoning, and variances in order to develop this site in a manner consistent with long-range planning and Greenway guidelines for the city and neighborhood. We share a common goal with the neighborhood to create a project that is thoughtfully laid out, visually appealing, and in line with goals for development of residential density along the Greenway.

2905 Harriet Avenue South will be built to a high sustainability standard as demonstrated in previous award-winning projects we have completed in the City. Meanwhile, the streetscape landscaping, transparent first floor "glass box", and new walkway will provide an inviting pedestrian experience and greatly enhance the public realm along the Greenway.

We look forward to a thoughtful discussion about this site and the potential benefits of its development. Thank you for your consideration.

Sincerely,



Curt Gunsbury

Request for Rezoning:

Requirement:

I1 Light Industrial District (Harriet Parcels); R2B Two Family District (Grand Parcels).

Requested Rezoning:

R5 Multiple-Family District.

Request for Conditional Use Permit:

Requirement:

The R5 Multiple-Family District allows for 4 stories/56 feet.

Requested Conditional Use Permit:

Conditional use permit 6 stories / 74 feet.

Statement Addressing Required Findings for Conditional Use Permit:

1) The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The proposed building is a residential use. The safety and general welfare of both residents and passersby are of the highest priority. The building is designed to provide "eyes on the street," with active spaces fronting the Greenway, Harriet Avenue and Grand Avenue. The new building will provide a significant improvement to the public safety and general welfare along Harriet and Grand over the existing uses— vacant lots, a single family rental house, and a derelict vacant house. The added height of the building is all located within the stepped back portions of 5th and 6th floor. The additional height will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The added height of the building allows for a large green space within the site that enables construction of a pathway connecting Grand and Harriet Avenues.

2) The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of

surrounding property for uses permitted in the district.

The building will not adversely affect neighbors' ability to use and enjoy their property, nor will it prevent neighboring properties from being developed or improved in an orderly manner. This building will be of similar height to other new buildings along the Greenway.

Development of the building will add to the vitality of the neighborhood and will provide much needed entry-level rental options. In addition, development of the building will add density and curb appeal to Harriet and Grand, which may be a catalyst for development and improvement of the surrounding properties.

3) Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.

The proposed project is being developed as a long-term investment in the neighborhood. It is in the owner's and public's best interest to provide utilities, access and facilities that will provide for a durable building well suited to long-term uses. Our civil engineers have made recommendations regarding how to best provide utilities. Plans have already been preliminarily reviewed by the city's plan development review (PDR) process and suggestions and alterations recommended by PDR have been incorporated in this design.

4) Adequate measures have been or will be taken to minimize traffic congestion in the public streets.

The project will not add to traffic congestion in the city's streets. An added residential use for 111 apartments will have minimal added impact on traffic and, given its proximity to commercial districts, local employers, and mass transit, will encourage alternate modes of transportation and increased pedestrian activity.

There will be 96 bike parking spots in the garage and 5 exterior bike racks to encourage bicycle use. Parking spaces are available on site for 96 cars allowing for adequate parking for residents, and reducing pressure for on street parking, a key concern of the neighborhood. The increase in height will have no effect on traffic congestion or public streets.

5) The conditional use is consistent with the applicable policies of the comprehensive plan.

The project is consistent with the applicable policies of the comprehensive plan. We are working with the Midtown Greenway Coalition, Whittier Alliance, and CPED to address concerns about shadowing, street parking, public access, lighting, and plantings that benefit the neighborhood for the long term.

The base of the building has been designed to create a friendly, welcoming streetscape along Harriet and Grand, incorporating glass in the façade, active street front uses, and high-quality lighting and landscaping. Increased pedestrian activity and the addition of new residents matches the city's goal to increase pedestrian population and activity in this area.

Residential buildings are permitted uses in the R5 district.

6) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The proposed project conforms to all other regulations of R5 zoning which is being requested for this parcel, except for the variances which will be addressed below.

Additional findings if applying for an increase in maximum height.

1) Access to light and air of surrounding properties or significant public spaces.

The building steps back significantly from the Greenway in order to provide a publicly accessible walkway and greenspace, subject to the variances requested below. The step backs on the building are designed to maximize light for the Greenway. The step backs move much of the bulk of the building into the 5th and 6th stories of the building in order to allow for extra air and light at ground level.

2) Shadowing of residential properties or significant public spaces, or existing solar energy systems.

The shadow study indicates no significant impact on residential spaces. The shadow study indicates 108 days of winter shadowing of the Greenway bike path as measured by the metric established by other Greenway projects. We have worked closely with CPED to minimize shadowing as much as possible by articulating the building to step upwards toward the south on 5th and 6th stories.

3) *The scale and character of surrounding uses.*

The scale and character of new buildings along the Greenway are very similar. New construction is typically 6 stories with similar residential density. Our building is proposed to be 74 feet tall. This height fits comfortably within the scale and character of similar new and planned development in this evolving neighborhood. Nearby 100-120 year old single family homes and industrial sites along the Greenway are gradually being replaced by this planned density. Our property line setbacks conform closely to those of neighboring properties.

4) *Preservation of views of landmark buildings, significant open spaces or water bodies.*

Views of the proposed building are blocked by trees and other structures from landmark buildings, open spaces and water bodies are not impacted by construction of our building. Along the Greenway our development will actually open up previously hidden views of the Greenway trench.

Statement addressing the required findings for a subdivision:

- 1) *The subdivision is in conformance with these land subdivision regulations, the applicable regulations for the zoning ordinance and policies of the comprehensive plan.***

The subdivision conforms to the proposed zoning and land use recommendations of the comprehensive plan.

- 2) *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.***

The subdivision will allow for greater safety and accessibility than the existing lot layout. The subdivision will conform to existing land uses and not be detrimental to surrounding uses.

- 3) *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding,***

erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.

Water table is well below developed site. Soil conditions allow for good drainage. The existing steep slope will be left in similar form after development. Utility easements will be altered to run with alterations of proposed re-route of alley.

- 4) The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.***

Accessibility from Harriet Avenue, Grand Avenue and from the alley allow for easy access to the construction site and the future garage area. Other than excavating for the garage there will be minimal alteration of the existing site in its final configuration.

- 5) The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.***

The building plans have been reviewed by city engineers and developer's engineers and current plans are acceptable within land use regulations.

Request for Variances:

1) Variance for front yard and side yard setbacks; variance to reduce loading area width

- a)** front yard on Harriet from 15 feet to 4 feet for the building, including 1 foot for a canopy and an encroachment request for the balconies
- b)** front yard on Grand from 20 feet (established) to 14 feet for the building and 0 feet for landings and decks
- c)** variance of south interior sideyard on the west half of the lot from 15 feet to 5 feet for the building
- d)** variance to reduce the loading requirement width from 10 feet to 8 feet 6 inches
- e)** variance required for a parcel with more than 5 sides

Requirement:

The current required front yard set back is 15 feet at Harriet and 20 feet at Grand; the required sideyard set back of 15 feet for the building; loading area width requirement of 10 feet.

Relevant Findings:

Side yard and rear yard set backs are used to promote easier fire access and air and light for neighbors. We will add a large public alley way at the south side of our property. We will allow for a 29 foot wide set back to the Greenway at the one story exercise room and a 52 set back to the Greenway for the primary mass of the building. An existing commercial building at the southwest side of our property has a 0 foot setback. We will use a 9 foot set back at grade, and a 5 foot set back starting at the second floor elevation. The loading area width reduction is by an amount of 1 foot six inches. This reduction allows for a safer walkway and is appropriate considering it's adjacency to the widest portion of the alley. Access for fire trucks and air access will not be hindered; the reduced side and rear yard set backs are consistent with development patterns throughout the neighborhood and preserve public alleyway access.

(i) Practical difficulties exist due to circumstances unique to the property. The

unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

The site requires reconfiguration of the alley, absorption of two unutilized city lots, limited shadowing of the Greenway, and accommodation of a desired public walk way. These requirements present significant restraints for development, creating a unique condition which makes the reduced setbacks appropriate. The prescribed setbacks would not allow the site to be put to a reasonable use, or conform to the guidance for development along the Greenway.

- (ii) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.***

Multi-family is a reasonable use of this property that is supported by the proposed zoning and the comprehensive plan.

- (iii) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.***

Granting of the variance will support the intent of the zoning guidance, while enhancing the Minneapolis comprehensive plan and long term development of the Greenway as a high density housing area. The new building will enhance the public welfare by bringing life and activity to a derelict portion of the neighborhood.

Statement addressing the required findings for a variance to the subdivision ordinance, if applicable; variance required for a parcel with more than 5 sides.

- 1) There are special circumstances or conditions affecting the specific property such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of land.***

The property is combining 7 existing rectangular parcels into one parcel. The seventh parcel will support a reconfiguration of the city alley. Aside from accommodation for the the relocation of the alley, the final six-sided site will otherwise remain rectangular with 4 sides.

2) The granting of the variance will not be detrimental to the public welfare of injurious to other property in the area in which the property is located.

The variance will not change the use of the property, only the shape. Public welfare will not be impacted by this change.

3) The variance and alternatives proposed in lieu of design standards will be in keeping with the spirit and intent of the ordinance.

The reconfiguration of the lot shape will maintain the rectangular configurations already existing in this block of the city. The reconfiguration will also eliminate one under-sized lot that is non-conforming to the typical lot layout of the area, bringing the area into better conformity with the spirit and intent of the ordinance.



Harriet Avenue Apartments

2905 HARRIET AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55408



PROJECT INFO.

SITE INFORMATION:

ADDRESSES:

2903, 2905, 2907, 2911 HARRIET AVENUE SOUTH
2900, 2904, 2910, 2912 GRAND AVE S

SITE REGULATIONS:

ZONING PLATE: 2S
CURRENT ZONING:
2903, 2905, 2907, 2911 HARRIET: **R2B**
2904, 2910, 2912 GRAND: **R2B**
2900: NO ZONING, PUBLIC ROW

PROPOSED ZONING: R5

OVERLAY ZONING DISTRICTS: NONE

DEVELOPMENT SUMMARY

SITE AREA (PARCEL A): 34,136 SF (0.78 ACRES)
*DOES NOT INCLUDE ALLEY
*DOES NOT INCLUDE PARCEL B
PARCEL B AREA: 1,271 SF (0.029 ACRES)

F.A.R.

FAR ALLOWED: 2.0 x 1.2* = 2.40
*20% INCREASE FOR ENCLOSED PARKING
FAR PROPOSED: 2.39952
HEIGHT ALLOWED: 4 STORIES, 56'
HEIGHT PROPOSED: 6 STORIES, 74'

PERVIOUS / IMPERVIOUS AREA:

TOTAL SITE AREA - 34,136 SF (0.78 ACRES)
TOTAL BUILDING FOOTPRINT - 14,958 SF (44%)
TOTAL NON-BUILDING SITE AREA - 19,178 SF (56%)
TOTAL IMPERVIOUS AREA - 18,801 SF (55%)
TOTAL IMPERVIOUS NON-BUILDING SITE AREA - 3,843 SF
TOTAL PERVIOUS - 15,355 SF (45%)
TOTAL LANDSCAPE AREA - 15,835 (46%)

PROJECT INFO.

SITE INFORMATION:



BUILDING INFORMATION:

TOTAL BUILDING AREA:	114,619 SF
LOWER GARAGE 2.I	14,945 SF
UPPER GARAGE 1.I	17,765 SF
1ST FLOOR	14,958 SF
2ND FLOOR	15,449 SF
3RD FLOOR	15,449 SF
4TH FLOOR	15,449 SF
5TH FLOOR	12,720 SF
6TH FLOOR	7,885 SF
	114,619 SF

AREA NOT INCLUDING GARAGE: 81,910 SF

GARAGE PARKING:

LOWER GARAGE PARKING	50
UPPER GARAGE PARKING	46
Grand total	96

UNIT COUNT:

ONE BED	61
ONE BED DEN	13
STUDIO	24
THREE BED	1
TWO BED	12
Grand total	111

UNIT TYPES:

UNIT A - STUDIO	483 SF	10
UNIT A - STUDIO - I	472 SF	2
UNIT B - STUDIO	505 SF	12
UNIT C - ONE BED - S	437 SF	1
UNIT D - ONE BED - S	488 SF	1
UNIT E - ONE BED - I	460-461 SF	2
UNIT F - ONE BED - S	546 SF	3
UNIT G - ONE BED - S	515-518 SF	2
UNIT H - ONE BED - I	543 SF	1
UNIT I - ONE BED	534 SF	9
UNIT J - ONE BED - I	521 SF	2
UNIT K - ONE BED	470 SF	4
UNIT L - ONE BED	575 SF	12
UNIT M - ONE BED - I	561-578 SF	4
UNIT N - ONE BED	561 SF	8
UNIT O - ONE BED - I	583 SF	4
UNIT P - ONE BED DEN	602 SF	8
UNIT Q - ONE BED - G	599 SF	1
UNIT R - ONE BED - S	617 SF	1
UNIT S - ONE BED	639 SF	4
UNIT T - ONE BED DEN - I	700 SF	1
UNIT U - TWO BED	807 SF	6
UNIT V - TWO BED - G	793 SF	4
UNIT W - TWO BED - G	933 SF	4
UNIT X - ONE BED - G	561 SF	1
UNIT Y - TWO BED - G	1,007 SF	1
UNIT X - THREE BED - G	1,251 SF	1
UNIT Y - ONE BED - G	580 SF	1
UNIT Z - ONE BED DEN	517 SF	4
Grand total		111

PROJECT TEAM

DEVELOPER:

2905 ASSOCIATES, LLC
C/O SOLHEM LLC
701 N 2nd Street, Suite 107
Minneapolis, MN 55401
612.598.9416
CURT GUNSBURY
curt@solhem.com

TE MILLER LLC
TE Miller Development, LLC
300 Prairie Center Drive, Suite 245
Eden Prairie, MN 55345
952.345.7844
ROBERT T. MILLER, ESQ.
rmiller@temillerdevelopment.com

ARCHITECT:

TUSHIE MONTGOMERY ARCHITECTS
DAN PELLINI
EVAN JACOBSEN
darp@tmarchitects.com
evanj@tmarchitects.com

7645 LYNDALE AVENUE SOUTH, #100
MINNEAPOLIS, MINNESOTA 55423
(612) 861-9636
FAX (612) 861-9632

CIVIL ENGINEER:

CIVIL SITE GROUP
MATT PAVEK
mpavek@civilsitegroup.com

4931 W. 35th ST, SUITE 200 ST.
LOUIS PARK, MN 55416
OFFICE: (612) 615-0060

SHEET INDEX

Cover Sheet *
Survey
Preliminary Plat *
Final Plat *
ALTA/ACSM Land Title Survey

CIVIL SHEETS:

C1.0 Removals Plan
C2.0 Grading Plan
C2.1 Preliminary Plat *
C3.0 Utility Plan
C4.0 Details
C4.1 Details
SW1.0 SWPPP - Existing Conditions
SW1.1 SWPPP - Proposed Conditions
SW1.2 SWPPP - Details
SW1.3 SWPPP - Narrative

ARCHITECTURAL SHEETS:

1 Context Site Plan
2 Site Plan *
3 Landscape Plan *
4 Landscape Details
5 Landscape Details
6 Lighting Plan
7 Garage Upper & Lower
8 1st & 2nd Floors *
9 3rd & 4th Floors
10 5th, 6th & Roof Floors
11 Roof Plan
12 Elevations
13 Elevations
14 Building Section
15 Site Section - Option A
18 Aerial Context A
19 Terrace/Grand Perspectives *
20 Landscape Perspectives *
21 Walkway Entrances *
22 Existing Site Context *

SUBMITTALS:

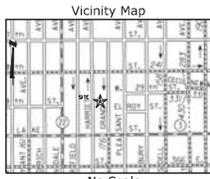
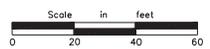
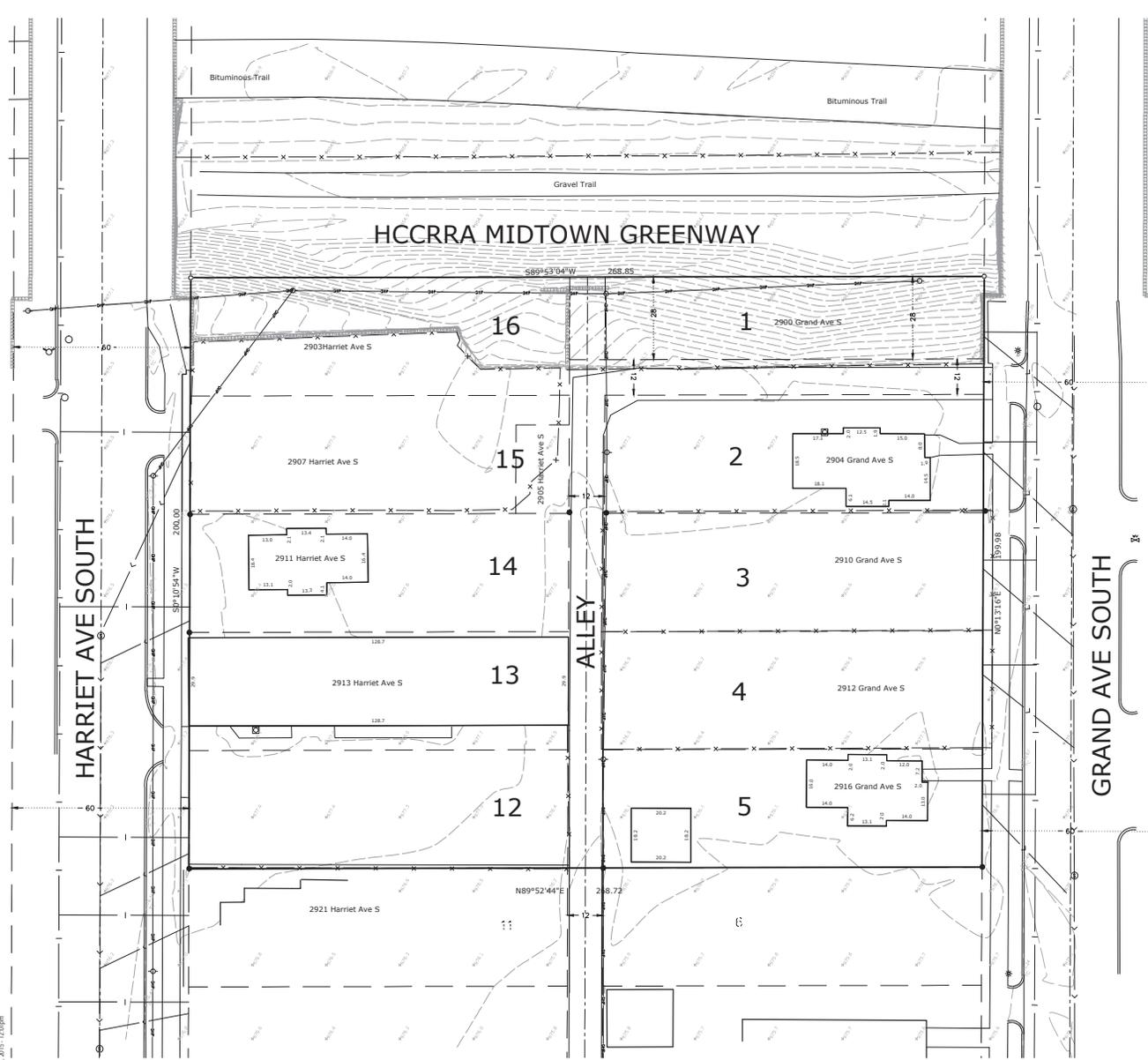
Co/W #1 Submittal.....01-18-2016
PDR Submittal.....01-25-2016
Land - Use Submittal.....02-08-2016
Land - Use Resubmittal.....02-29-2016
Pricing Set.....03-07-2016
Land - Use Resubmittal Amended Sheets.....03-17-2016
* Amended Sheets Indicated with Asterisk

Cover Sheet *

03/17/2016



REF: A:\PROJECTS\2015\2015-08-04\2015-08-04.dwg LAYOUT: 2041
 SCALE: 1" = 40 FEET DATE: Aug 20, 2015 12:09pm
 USER: rpy (RPT)



Linetype & Symbol Legend

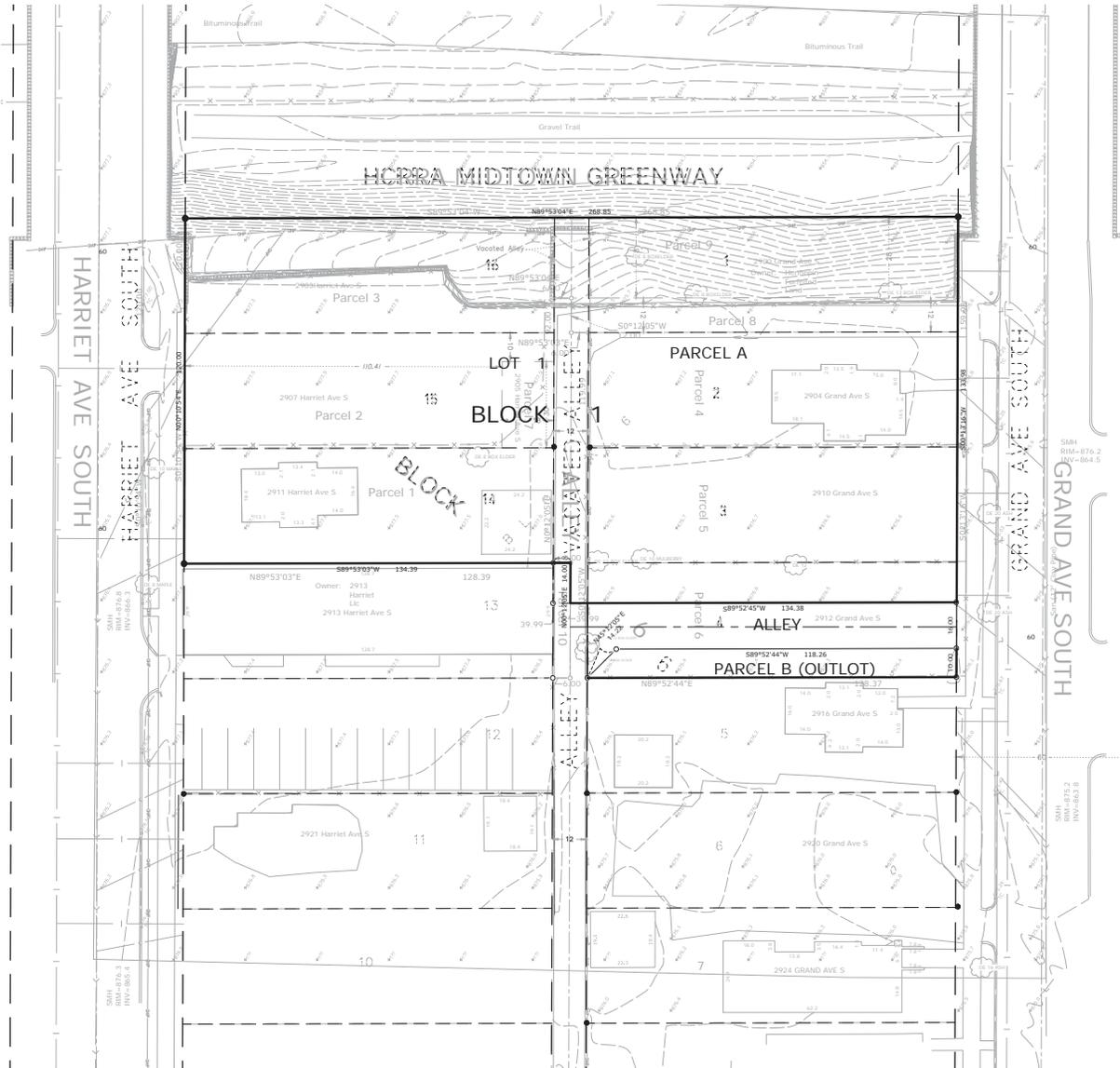
	FIBER OPTIC		ELECTRIC TOWER		AIR CONDITIONER
	GASMAIN		REDUCER		BAR-0-136 FT
	PETROLEUM PIPE		RAILROAD SWITCH		BASKETBALL HOOP
	WATERMAIN		SATELLITE DISH		ROLLARD
	SANITARY SEWER		SIGN		SOIL BORING
	STORM SEWER		SANITARY MANHOLE		CATCH BASIN
	OVERHEAD UTILITIES		STORM MANHOLE		CB BEEHIVE
	TELEPHONE LINE		TELEPHONE BOX		CLEAN OUT
	ELECTRIC LINE		ELECTRIC TRANSFORMER		ELECTRIC BOX
	CABLE LINE		TELEPHONE MANHOLE		ELECTRIC MANHOLE
	GUARDRAIL		TRAFFIC SIGNAL		FLAG POLE
	WOODEN FENCELINE		TRAFFIC LIGHT		FLARED END SECTION
	CHAINLINK FENCELINE		CABLE TV BOX		GAS VALVE
	BARBED WIRE FENCE		ELECTRICAL METER		HANDICAP SYMBOL
	WELL		GAS METER		HANDHOLE
	WATER MANHOLE		WATER METER		HUB
	WATER VALVE		FOUND IRON MONUMENT		HYDRANT
	POST INDICATOR VALVE				CAST IRON MONUMENT
	SET IRON MONUMENT				

Boundary & Topographic Survey

Grand Ave Apartments

HT PO Engineering • Surveying
 Landscape Architecture
HANSEN THORP PELLIN OLSON, Inc.
 7010 Market Place Circle • 5th Floor • Minneapolis, MN 55434
 952-824-0700 • 952-824-7808 fax

Project No.	15-055
Drawn by	RLS
Checked by	PST
Book/Page	
Date	
Client	CHM Site Group



PRELIMINARY PLAT GENERAL NOTES

SURVEYOR:
HTPO
7510 Marketplace Drive
Eden Prairie, MN 55344
952-829-0700

OWNER/DEVELOPER:
Solhem Companies
3021 Holmes Ave Ste 101
Minneapolis MN 55409
612.216.2825

LEGAL DESCRIPTION:

Lots 1 - 4 and 14 - 16, Block 6, Excelsior Addition to Minneapolis; together with the adjoining vacated alley which accrued thereto by reason of vacation thereof.

And

The westerly Half of the alley adjoining Lot 13, said Block 6.

DATE OF PREPARATION:
2-6-16

BENCHMARK:
Elevations are based on the city of Minneapolis datum

EXISTING ZONING:
The current Zoning for the subject property is R2B and 11 per the City of Minneapolis's zoning database found on there web site on October 5, 2015.

PROPOSED ZONING:

AREAS:
Total Property Area = 37,669 Sq.Ft. or 0.841 Acres
Right of way Dedication Area = 2,414 Sq.Ft. or 0.055 Acres
Net Property Area = 35,255 Sq.Ft. or 0.786 Acres

PROPOSED BUILDING SETBACKS:
Per Site Plan

Linetype & Symbol Legend

FO	FO	FIBER OPTIC	U	UTILITY MANHOLE	AC	AIR CONDITIONER
GS	GS	GAS	S	SIGN	B	BOLLARD
WM	WM	WATERMAIN	SM	SANITARY MANHOLE	SB	SOIL BORING
SS	SS	SANITARY SEWER	ST	STORM MANHOLE	CB	CATCH BASIN
TL	TL	TELEPHONE LINE	TE	TELEPHONE BOX	CB	CB BEEHIVE
EL	EL	ELECTRIC LINE	EM	ELECTRIC MANHOLE	EB	ELECTRIC BOX
EV	EV	ELECTRIC VALVE	ET	ELECTRIC TRANSFORMER	ES	ELECTRIC SIGNAL
CL	CL	CABLE LINE	TL	TRAFFIC LIGHT	ET	ELECTRIC MANHOLE
GU	GU	GUARDRAIL	CT	CABLE TV BOX	FL	FLAG POLE
WF	WF	WOODEN FENCELINE	CB	CATCH BASIN	FE	FLARED END SECTION
CF	CF	CHAINLINK FENCELINE	GM	GAS METER	GV	GAS VALVE
BW	BW	BARBED WIRE FENCE	WM	WATER METER	HS	HANDICAP SYMBOL
BR	BR	BLOCK RET WALL	WM	WATER METER	H	HANDHOLE
WH	WH	WATER MANHOLE	FI	FOUND IRON MONUMENT	HY	HYDRANT
WI	WI	WATER VALVE	PO	POWER POLE	CI	CAST IRON MONUMENT
SI	SI	SET IRON MONUMENT				

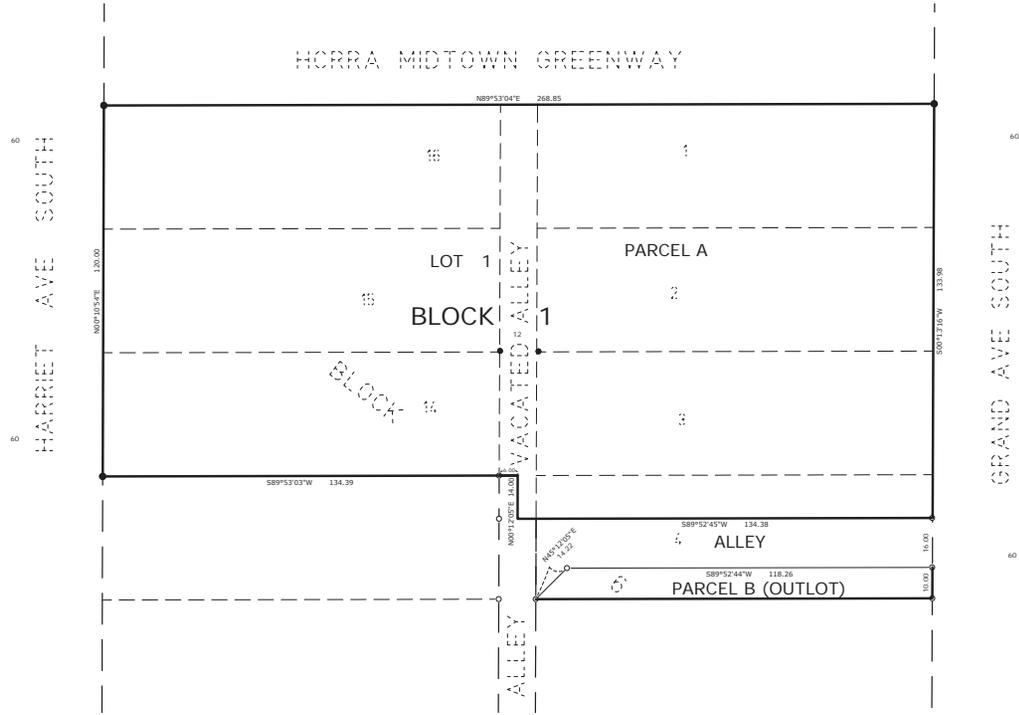
Preliminary Plat

Harriet Avenue Apartments

<p>HANSEN THORP PELLINEN OLSON, Inc. 7510 Marketplace Drive • Eden Prairie, MN 55344 952-829-0700 • 952-829-7900 fax</p>	<p>Revision 2-26-16 Comments</p>	<p>Project No. _____ Drawn by _____ Checked by _____ Book/Plot _____ Date _____ Client _____</p>

HARRIET AVENUE APARTMENTS

C.R. DOC. NO. _____



KNOW ALL PERSONS BY THESE PRESENTS: That Solhem, LLC, a Minnesota limited liability company, fee owner, of the following described property situated in the State of Minnesota, County of Hennepin, to wit:

Lots 1 - 4 and 14 - 16, Block 6, Excelsior Addition to Minneapolis; together with the adjoining vacated alley which accrued thereto by reason of vacation thereof.

And

The westerly Half of the alley adjoining Lot 13, said Block 6.

Has caused the same to be surveyed and platted as Harriet Avenue Apartments

In witness whereof said ESolhem, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 2015.

BY: SOLHEM

By: _____ Its, _____

STATE OF MINNESOTA, COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this _____ day of _____, 2015. By: _____ Its, _____ of Solhem, LLC, a Minnesota limited liability company on behalf of the company.

Notary Public, Hennepin County, Minnesota

Notary Printed Name

My Commission Expires: _____

SURVEYORS CERTIFICATE

I, Rory L. Synstollen do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 2015.

Rory L. Synstollen, Licensed Land Surveyor
Minnesota License No. 44565

STATE OF MINNESOTA, COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this _____ day of _____, 2015, by Rory L. Synstollen

Notary Public, Hennepin County, Minnesota

Notary Printed Name

My Commission Expires: _____

MINNEAPOLIS, MINNESOTA

I the Secretary of the Planning Commission of the City of Minneapolis, Minnesota, do hereby certify that on this _____ day of _____, A.D., 2015, the City of Minneapolis acting by and through its City Planning Commission duly approved the plat of HARRIET AVENUE APARTMENTS, and duly authorized such action of the Commission by its Secretary. The prescribed ten-day period for Section 59B.230 of the Minneapolis Code of Ordinances.

By: _____ Secretary of Planning Commission

MINNEAPOLIS, MINNESOTA

This plat of HARRIET AVENUE APARTMENTS was approved and accepted by the City Planning Commission of Minneapolis, Minnesota at a regular meeting held this _____ day of _____, 2015. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes, Section 505.03, Subdivision 2.

By: _____ Assistant City Clerk

RESIDENT AND REAL ESTATE SERVICES

Hennepin County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat.

Dated this _____ day of _____, 2015.

Mark V. Chapin, Hennepin County Auditor

By: _____ Deputy

SURVEY DIVISION

Hennepin County, Minnesota

Pursuant to Minnesota Statutes Section 383B.565 (1969), this plat has been approved this _____ day of _____, 2015.

Chris F. Mavis, Hennepin County Surveyor

By: _____

COUNTY RECORDER

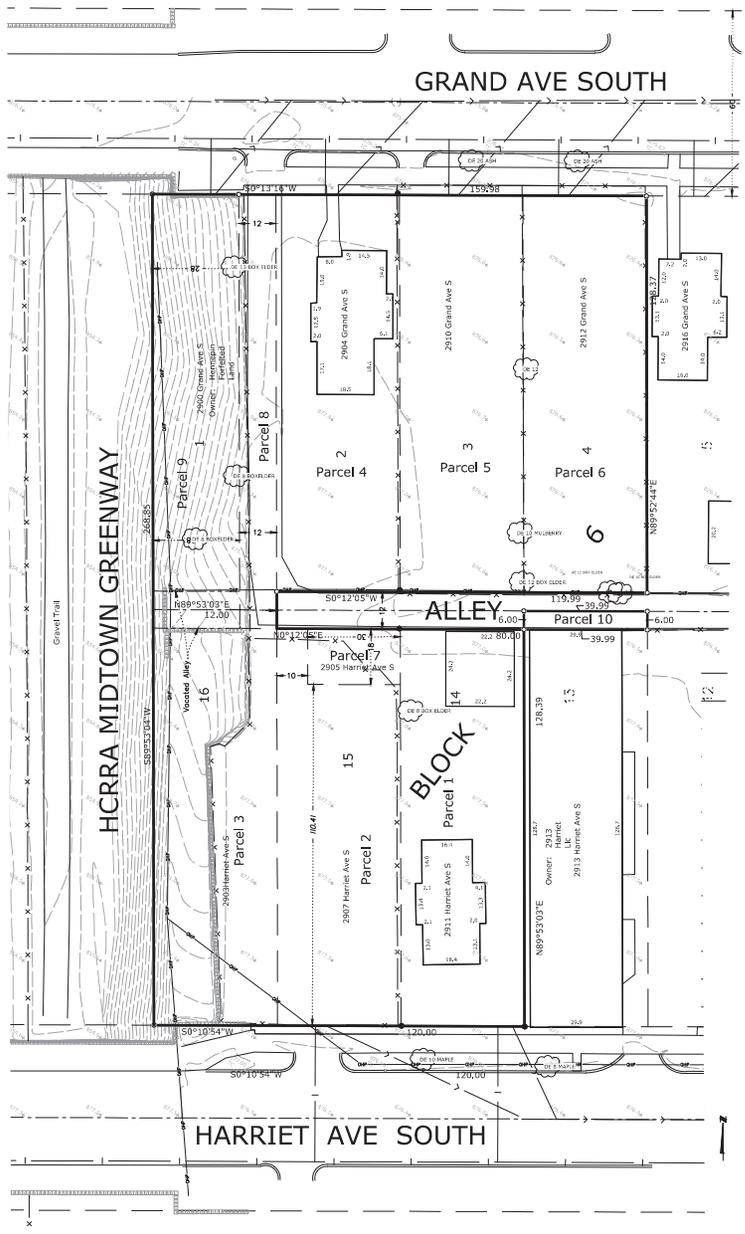
HENNEPIN COUNTY, MINNESOTA

I hereby certify that the within plat of HARRIET AVENUE APARTMENTS was recorded in this office this _____ day of _____, 2015, at _____ o'clock _____ M.

Martin McCormick, County Recorder

By: _____ Deputy





DESCRIPTION OF PROPERTY SURVEYED

- Parcel 1: 2911 Harriet Avenue South, Minneapolis, MN 55408
Lot 16, Block 6, Excavator Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)
- Parcel 2: 2907 Harriet Avenue South, Minneapolis, MN 55408
North 30 feet and the South 30 feet of the West 110.54 feet of Lot 15, Block 6, Excavator Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)
- Parcel 3: 2903 Harriet Avenue South, Minneapolis, MN 55408
Lot 16, Block 6, including the adjacent half of alley vacated, Excavator Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)
- Parcel 4: 2904 Grand Avenue South, Minneapolis, MN 55408
Lot 2, Block 6, Excavator Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)
- Parcel 5: 2910 Grand Avenue South, Minneapolis, MN 55408
Lot 4, Block 6, Excavator Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)
- Parcel 6: 2912 Grand Avenue South, Minneapolis, MN 55408
Lot 4, Block 6, Excavator Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)
- Parcel 7: 2905 Harriet Avenue South, Minneapolis, MN 55408
The South 30 feet of the East 18 feet of Lot 15, Block 6, Excavator Addition to the City of Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)
- Parcel 8: 2900 1/2 Grand Avenue South, Minneapolis, MN 55408
The South twelve (12) feet of Lot one (1), Block six (6), Excavator Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota, together with the Eastern 1/2 of vacated alley which accrued thereto by reason of the vacation thereof.
(Abstract Property)
- Parcel 9: 2900 Grand Avenue South, Minneapolis, MN 55408
The North 28 feet of Lot 1, Block 6, Excavator Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota, together with the Eastern 1/2 of vacated alley which accrued thereto by reason of the vacation thereof.
(Abstract Property)
- Parcel 10: 2913 Harriet Avenue South, Minneapolis, MN 55408
Western 1/2 of alley adjoining Lot 13, Block 6, Excavator Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)

GENERAL NOTES

1. **Site Address:** See Site plan for individual addresses
3. This property is contained in partially contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) and Zone AE (Base Flood Elevation Determined) per Flood Insurance Rate Map, Community Panel No. 22705-00426, effective date of September 2, 2004. Please note the map appears to note that the base flood elevation in this area is an elevation of 905 feet. We have shown the location of the division lines per digitizing said map. Also we have highlighted the actual location of the 905 contour for this site.
4. The Gross land area is 36,669 +/- square feet or 0.841 +/- acres.
6. The current Zoning for the subject property is R2B and I1 per the City of Minneapolis's zoning database found on their web site on October 5, 2015. The general setback, height, and floor space area restrictions for said zoning designation were obtained from the online code of ordinances found on their web site and are as follows: **R2B: Front Setback:** 20 feet; 1-2 times the number of stories above the first floor; **Rear:** 5 times the number of stories above the first floor; **Interior Side:** 5 times the number of stories above the first floor; **Corner Side:** 5 times the number of stories above the first floor; **Height:** The maximum height of all principal structures, except for single- and two-family dwellings, located in the R2B District shall be two and one-half (2 1/2) stories or thirty-five (35) feet in height, whichever is less. The maximum height for all single- or two-family dwellings located in the R2B District shall be two and one-half (2 1/2) stories or twenty-eight (28) feet in height, whichever is less. The height of the roof of a single- or two-family dwelling with a gable, hip, or gambrel roof shall not exceed thirty-three (33) feet. The maximum floor area ratio shall be as specified in Table 164-9: R2B Lot Dimension and Building Bulk Requirements. **Gross floor area** computation for single- or two-family dwellings: The floor area will be computed based on ceiling height greater than fourteen (14) feet. **Gross floor area** for single- or two-family dwellings shall not include the following: Detached accessory structures. Open porches. The basement floor area if the finished floor of the first story is forty-two (42) inches or less from natural grade for more than fifty (50) percent of the total perimeter. **First story floor area:** If we did not find site restriction information in the code of ordinances for this district, please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.
9. The number of parking stalls on this site are as follows: there are not striped parking stall on the subject property.
- 11(0). We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking a caveat, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.
13. The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from Hennepin County GIS database.
16. I am not aware of any recent observable evidence of earth moving work.
17. I am not aware of any proposed right-of-way changes or recent street or sidewalk construction.
18. I am not aware of any observable evidence of this site having been used as a solid waste dump, sump or sanitary landfill.
21. Professional Liability Insurance policy has been obtained by the surveyor in the minimum amount of \$2,000,000 and is in effect for this project.

Survey Report

- This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Old Republic National Title Insurance Company, File No. 62316, dated January 26, 2016.
1. We note the following with regards to Schedule B of Title Commitment, File No. 61907-1:
 - a. Item no. 5: 1.4, 11 - 14, are not survey related.
 - b. The following are numbered per the referenced title commitment:
 7. Terms and conditions of Shared Parking Lease between Balance Properties III, LLC and Barre Bliss LLC as evidenced by Document No. 10225220. (As to Parcel 2 and 3)
 8. Terms and conditions of Shared Parking Lease between Balance Properties III, LLC and Marvel Athletics, LLC as evidenced by Document No. 10225221. (As to Parcel 2 and 3)
 9. Terms and conditions of Shared Parking Lease between Balance Properties III, LLC and Big Wet Coffee LLC as evidenced by Document No. 10225222. (As to Parcel 2 and 3)
 10. Overlap with property to the east as described in Document No. 1329109.
 15. Public alley over Parcel 10 as dedicated in the plat of Excavator Addition to Minneapolis. (as shown hereon)

ALTA CERTIFICATION

To: 2905 Associates LLC, a Minnesota limited liability company; 2905 Associates LLC, a Minnesota limited liability company (As to Parcels 1, 2, 3, 4, 5 and 6)
City of Minneapolis (As to Parcels 7, 8, and 9) and Old Republic National Title Insurance Company

This is to certify that this map and plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Survey, jointly established and adopted by ALTA and NSPS, and includes Items 1-4, 6, 7(a) of Table A thereof. The field work was completed on 2-11-2016.

Date of this Map: 2-28-2016

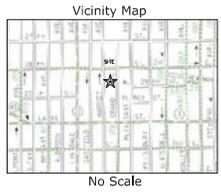
Rory L. Sjöström, PLS Minnesota License No. 44565
rory@tippo.com

Minnesota Certification

I hereby certify this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date: 2-28-2016

Rory L. Sjöström Minnesota License No. 44565
rory@tippo.com



Linetype & Symbol Legend

	FIBER OPTIC		ELECTRIC TOWER		AIR CONDITIONER		ELECTRICAL METER
	GASMAIN		REDUCER		BAR-B-QUE PIT		GAS METER
	PETROLEUM PIPE		RAILROAD SWITCH		BASKETBALL HOOP		WATER METER
	WATERMAIN		SATELLITE DISH		BOLLARD		FOUND IRON MONUMENT
	SANITARY SEWER		SIGN		SOIL BORING		WATER VALVE
	STORM SEWER		SANITARY MANHOLE		CATCH BASIN		SET IRON MONUMENT
	OVERHEAD UTILITIES		STORM MANHOLE		CB BEEHIVE		HANDICAP SYMBOL
	TELEPHONE LINE		CLEAN OUT		ELECTRIC BOX		HANDHOLE
	ELECTRIC LINE		ELECTRIC MANHOLE		HUB		HYDRANT
	CABLE LINE		TELEPHONE MANHOLE		FLAG POLE		CAST IRON MONUMENT
	GUARDRAIL		TRAFFIC SIGNAL		TRAFFIC LIGHT		
	WOODEN FENCELINE		TRAFFIC END SECTION		GAS VALVE		
	CHAINLINK FENCELINE		CABLE TV BOX				
	BARBED WIRE FENCE						

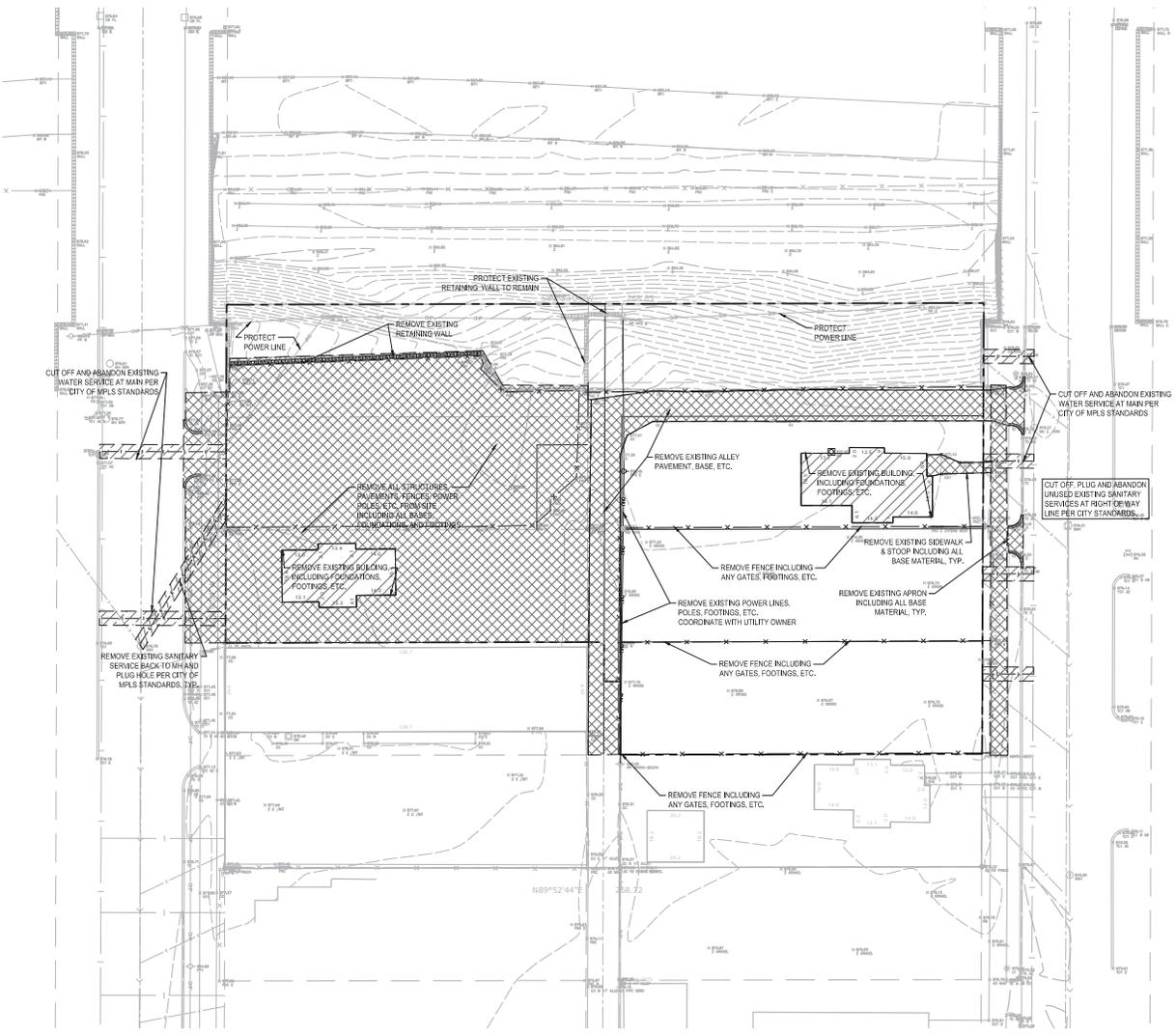
ALTA/ACSM Land Title Survey

Harriet Ave Apartments

HTPO Engineering • Surveying
Landscaping • Architecture

1700 Marquette Avenue, Suite 1000, Minneapolis, MN 55404
652-828-0700 • 652-828-7800 fax

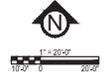
Revision	11-2-15 updated title	Project No.	15-045
Checked by	RLS	Drawn by	RLS
Checked by	PAI	Checked by	PAI
Book/Page			
Date			
Client	CHM Site Group		



CITY OF MINNEAPOLIS REMOVAL NOTES:

1. THE WRECKING OF ANY EXISTING STRUCTURES REQUIRES A HISTORIC REVIEW AS PART OF THE WRECKING PERMIT PROCESS. A LICENSED WRECKING CONTRACTOR IS REQUIRED TO OBTAIN THIS PERMIT.
2. CONTACT GRAY PINKALLA (CPIN@ALLIANCEMINNEAPOLISPARTNERS.ORG), TELEPHONE (612)492-9223 REGARDING REMOVAL OR PROTECTION OF TREES DURING CONSTRUCTION IN THE CITY RIGHT OF WAY.

GOPHER STATE ONE CALL
 WWW.GOPHERSTATEONECALL.ORG
 (800) 252-1166 TOLL FREE
 (651) 454-0002 LOCAL



REMOVAL NOTES:

1. SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
2. REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
3. REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
4. EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
5. REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
6. ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
7. EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
8. PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
9. MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS.
10. DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
11. PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT OBTAIN EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
12. SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM AND THEFT, DURING AND AFTER NORMAL WORK HOURS. THROUGHOUT THE DURATION OF THE CONTRACT, SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
13. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
14. ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
15. SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
16. STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SM1.05/SM1.3

REMOVALS LEGEND:

- EX. 1 CONTOUR ELEVATION INTERVAL
- REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC. AND GRAVEL PAVTS.
- REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- REMOVAL OF UTILITY LINES - COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION
- TREE PROTECTION
- TREE REMOVAL - INCLUDING ROOTS AND STUMPS

OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW:

OWNER: _____
 DEVELOPER: _____
 CONTRACTOR: _____

OWNER INFORMATION

OWNER: CURT GUNSBURY
 SOLHEM COMPANIES
 301 HOLMES AVE
 SUITE 101
 MINNEAPOLIS, MN 55408

CivilSite
 401 W. 5TH ST., #200
 ST. LOUIS PARK, MN 55416
 612.515.5800
 CivilSiteGroup.com

TUSHNET MONTGOMERY ARCHITECTS
 7445 LINDALE AVENUE, SOUTH, #100
 MINNEAPOLIS, MINNESOTA 55423-4004
 C12.001.9636 FAX: C12.001.9632
 WWW.TMARCHITECTS.COM

Harriet Ave Apartments
 2905 Harriet Ave. S.

PREPARED FOR:
TE Miller
 Development, LLC

ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PROJECT NAME: Montrose
 SIGNATURE: *AB*
 DATE: 2-21-16 LICENSE # 44232

Revisions & Addendums
 1/15/2016 C - CIVIL #1 SUBMITTAL
 1/25/2016 C - PDR SUBMITTAL
 2/5/2016 C - LAND USE SUBMITTAL
 2/15/2016 C - LAND USE RESUBMITTAL

-PRELIMINARY-
 NOT FOR
 CONSTRUCTION

2/15/2016
 REMOVALS PLAN
 C1.0

GENERAL GRADING NOTES:

- SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
- THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
- GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
- PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
- GRADES OF WALKS SHALL BE INSTALLED WITH 3% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
- PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1.
- PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL SET OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SEEDING ACTIVITIES.
- IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
- EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR REUSE/SPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TYPED IS TO BE ESTABLISHED, TO A DEPTH OF 4 INCHES. REUSE/SPREAD TOPSOIL IN AREAS WHERE TYPED IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNFORMALLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRASSES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS. TRAFFIC AND EROSION: REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET/PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- TOLERANCES
 - THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.50 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 - AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 - TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
- MAINTENANCE
 - THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
 - CONTRACTOR SHALL REPAIR AND REESTABLISH GRASSES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES DURING THE CONSTRUCTION. IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEED AND MULCHED.
 - WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCOUR, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

GRADING PLAN LEGEND:

- 891 --- EX. 1' CONTOUR ELEVATION INTERVAL
- 819 --- 1/2" CONTOUR ELEVATION INTERVAL
- SPOT GRADE ELEVATION (FLOW LINE UNLESS OTHERWISE NOTED)
- 891.0 G SPOT GRADE ELEVATION GUTTER
- 891.0 BC SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
- 891.0 BS/TS SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
- T/O (T.O.) CURB AND GUTTER WHERE APPLICABLE - TAPER GUTTERS TO DRAIN AS SHOWN
- EXISTING AND PROPOSED DRAINAGE ARROWS

NON STORM WATER DISCHARGES:

THERE ARE NO KNOWN NON-STORM WATER DISCHARGES ON THE EXISTING SITE AND NONE ARE PROPOSED AS PART OF THIS DEVELOPMENT.

GROUNDWATER STATEMENT:

THIS PROJECT DOES NOT PROPOSE ANY PERMANENT GROUNDWATER DISCHARGE TO THE STORM WATER SYSTEM. THIS PROJECT DOES NOT PROPOSE ANY PERMANENT GROUNDWATER DISCHARGE TO THE SANITARY SEWER SYSTEM.

OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW.

OWNER: _____
DEVELOPER: _____
CONTRACTOR: _____

CITY OF MINNEAPOLIS GRADING NOTES:

- IF IMPACTED SOIL IS ENCOUNTERED DURING SITE ACTIVITIES CALL THE MN STATE DUTY OFFICER AT 615-663-5451.
- NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00PM AND 7:00 AM ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT. CONTACT ENVIRONMENTAL SERVICES AT 612-673-2867 FOR PERMIT INFORMATION.
- PERMITS AND APPROVAL ARE REQUIRED FROM ENVIRONMENTAL SERVICES FOR THE FOLLOWING ACTIVITIES: TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE; REUSE OF IMPACTED SOILS ON SITE; DEWATERING AND DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER; UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL; WELL CONSTRUCTION OR SEALING; CONTACT TOM FRAME AT 612-473-8807 FOR PERMIT APPLICATIONS AND APPROVALS.

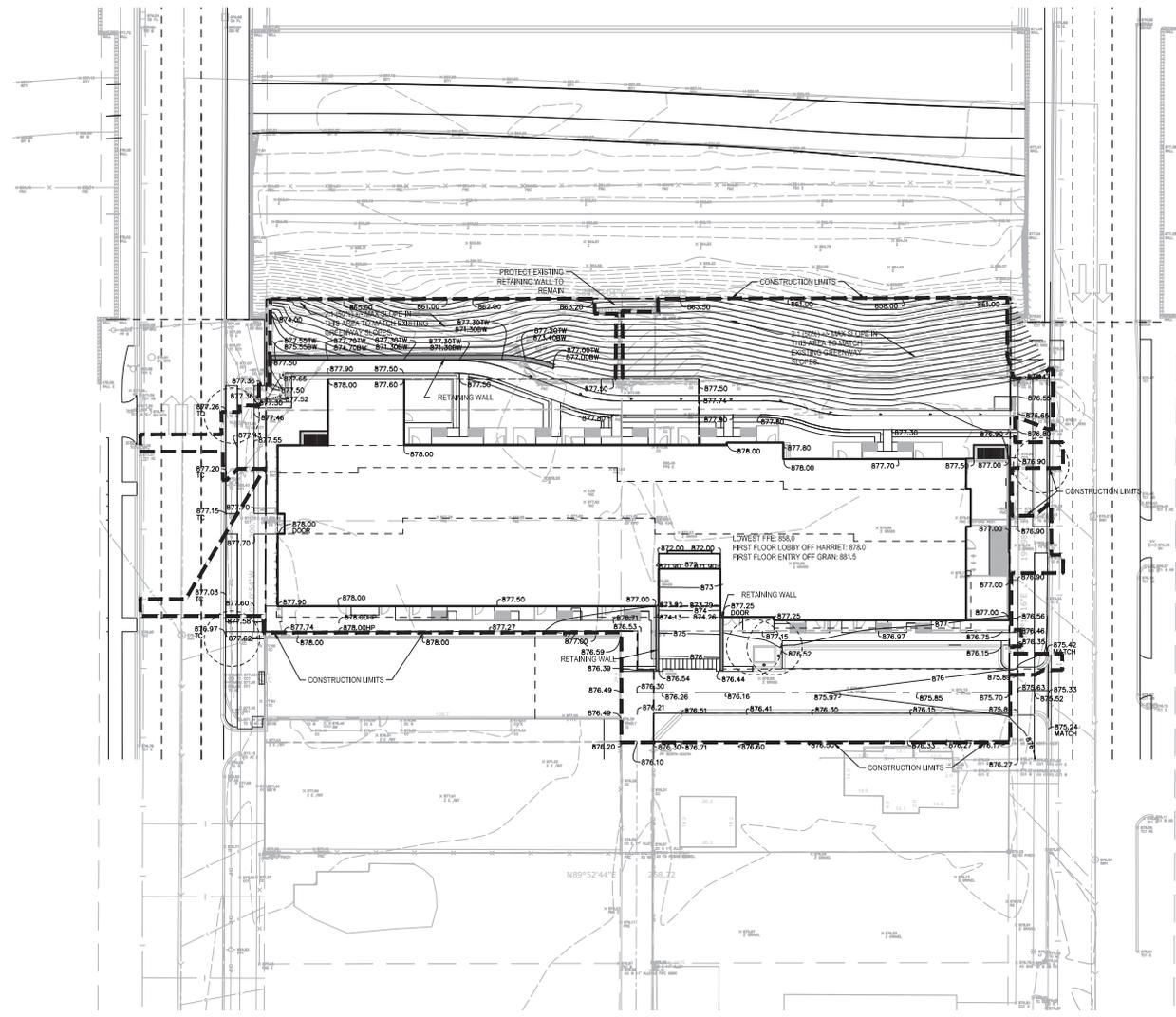
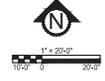
EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1-D-SW1.3

GROUNDWATER INFORMATION:

NO GEOTECHNICAL EXPLORATION HAS BEEN COMPLETED FOR THIS SITE. GROUNDWATER INFORMATION SHALL BE UPDATED WHEN GEOTECHNICAL REPORT IS COMPLETE.

GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL



Harriet Ave Apartments
 2905 Harriet Ave. S.

PREPARED FOR:
TE Miller
 Development, LLC

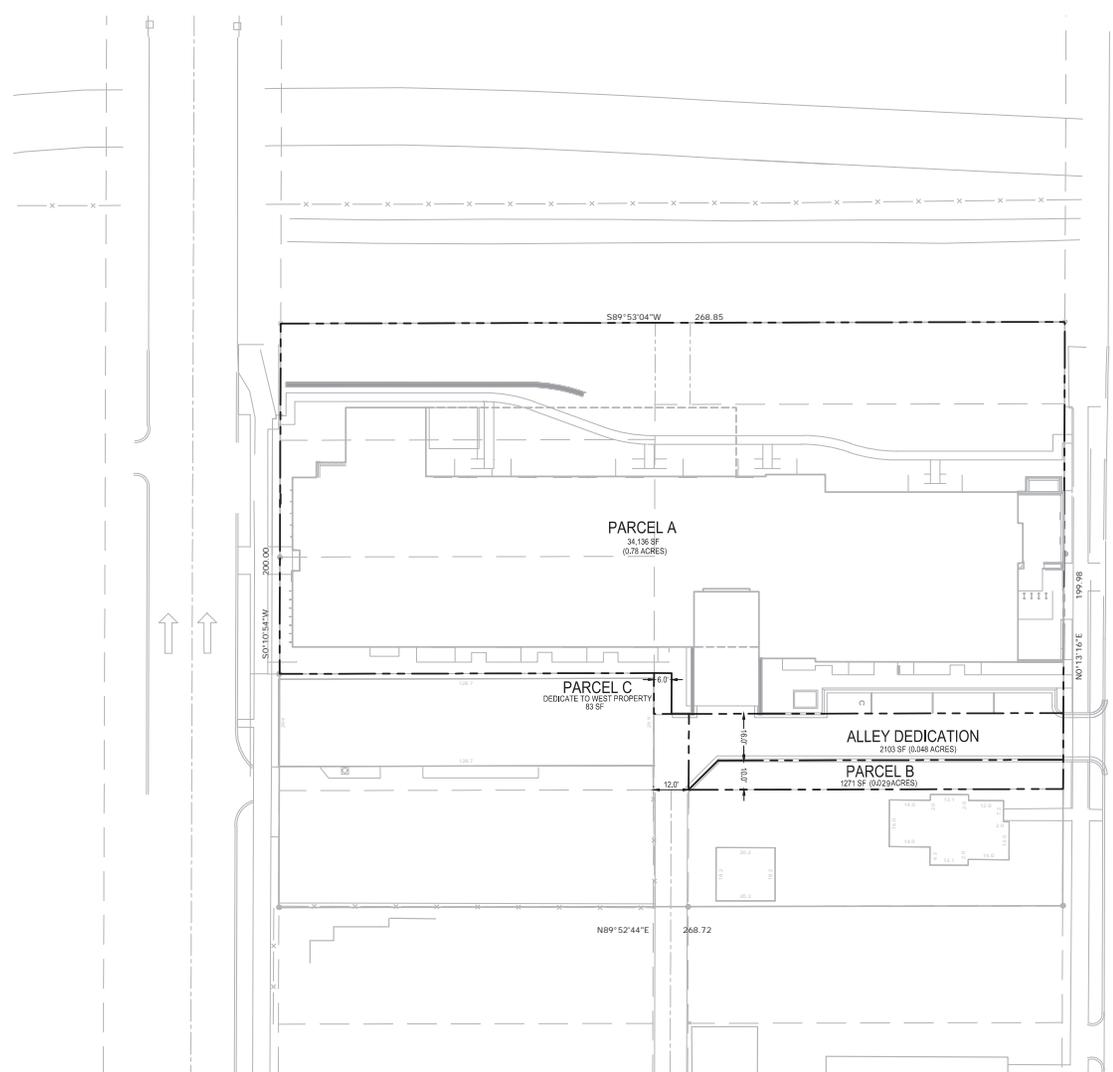
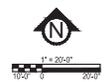
ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINT NAME: Matthew R. Pe
 SIGNATURE: *MR*
 DATE: 1-18-16 LICENSE # 44223

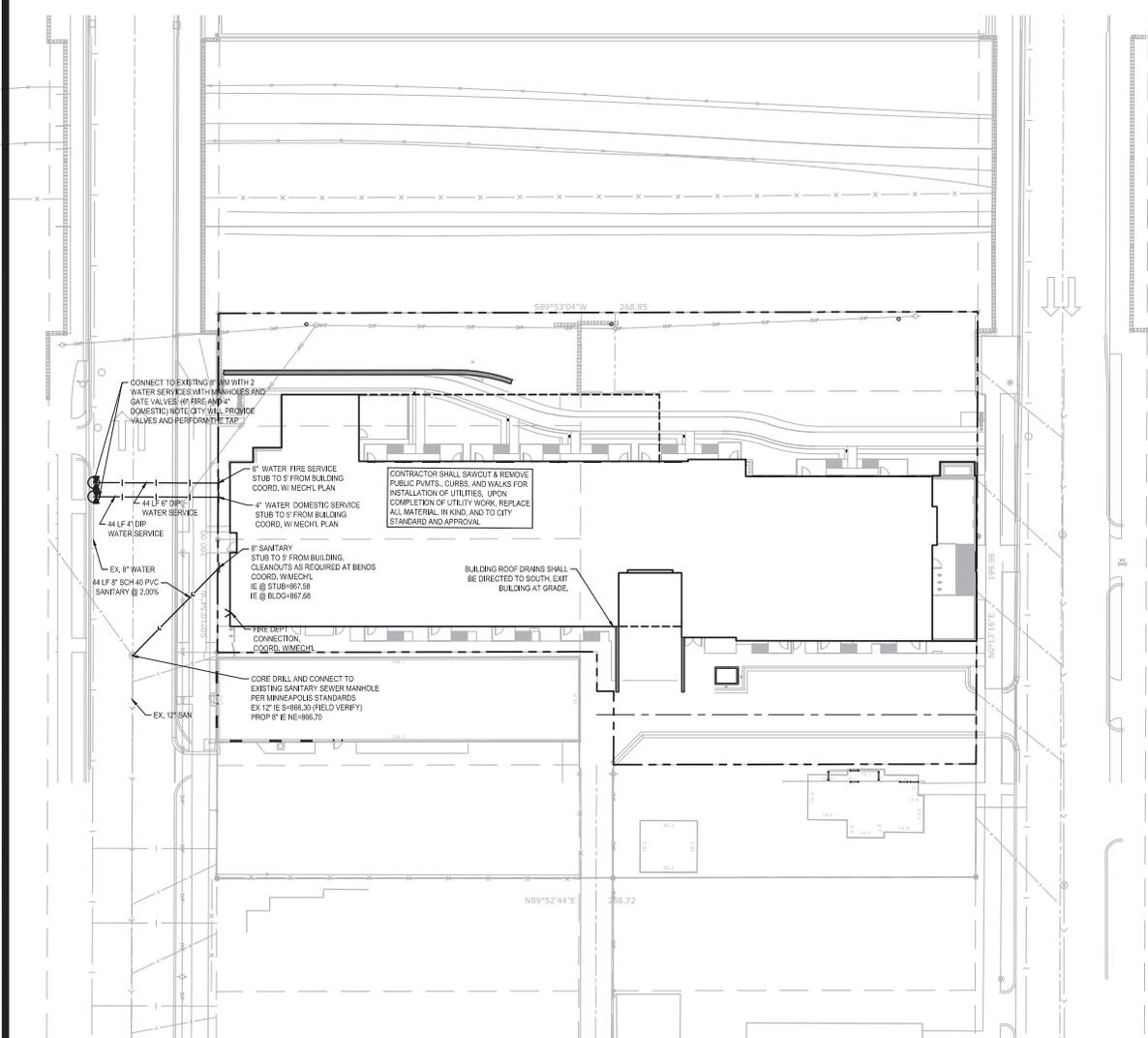
Revisions & Abbreviations
9/20/15 - CHECK SET
1/10/2016 - CIVIL #1 SUBMITTAL
1/25/2016 - PDR SUBMITTAL

**-PRELIMINARY-
 NOT FOR
 CONSTRUCTION**

2/5/2016
 PRELIMINARY PLAN
C2.1

GOPHER STATE ONE CALL
 WWW.GOPHERSTATEONECALL.ORG
 (800) 252-1166 TOLL FREE
 (651) 454-0002 LOCAL





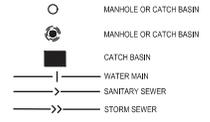
GENERAL UTILITY NOTES:

- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL (855)454-0002 OR 800-252-1166 FOR UTILITY LOCATIONS. 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE SHALL BE HDPE UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
- A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADINGS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
- ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT APPROVED RESILIENT RUBBER JOINTS OR APPROVED EQUAL MEETING STATE PLUMBING CODE MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.

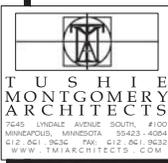
CITY OF MINNEAPOLIS UTILITY NOTES:

- RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY LEGEND:



401 W. 37TH ST., #200
ST. LOUIS PARK, MN 55416
612.515.5880
CivilSiteGroup.com



Harriet Ave Apartments
2905 Harriet Ave. S.



ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

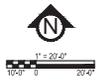
FRONT NAME: Matthew P. ...
SIGNATURE:
DATE: 2-21-24 LICENSE # 44232

Revisions & Abbreviations
3/20/2015 - CHECK SET
1/11/2021 C - Coll #1 SUBMITTAL
1/25/2021 C - FOR SUBMITTAL
2/9/2021 C - LAND USE SUBMITTAL
2/11/2021 C - LAND USE RESUBMITTAL

**-PRELIMINARY-
NOT FOR
CONSTRUCTION**



GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL



2150744

UTILITY PLAN

C3.0

MINNEAPOLIS
 STANDARD OF PRACTICE FOR PRECAST MANHOLE

DRIVER: JCS DATE: 9/18/09
 APPROVED: GMS DATE: 9/18/09

TYPICAL DRIVEWAY

STANDARD PLATE NO. ROAD-2002

MINNEAPOLIS
 STANDARD OF PRACTICE FOR PRECAST MANHOLE

DRIVER: JCS DATE: 9/18/09
 APPROVED: GMS DATE: 9/18/09

TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION

STANDARD PLATE NO. ROAD-2003

MINNEAPOLIS
 STANDARD OF PRACTICE FOR PRECAST MANHOLE

DRIVER: JCS DATE: 9/18/09
 APPROVED: GMS DATE: 9/18/09

27" OFFSET MANHOLE TOP SLAB ALTERNATE

STANDARD PLATE NO. SEW-1015

MINNEAPOLIS
 STANDARD OF PRACTICE FOR PRECAST MANHOLE

DRIVER: JCS DATE: 9/18/09
 APPROVED: GMS DATE: 9/18/09

CLASS 'B' BEDDING FOR TRENCH CONDUIT

STANDARD PLATE NO. SEW-9002

MINNEAPOLIS
 STANDARD OF PRACTICE FOR PRECAST MANHOLE

DRIVER: JCS DATE: 9/18/09
 APPROVED: GMS DATE: 9/18/09

8" CURE AND GUTTER

STANDARD PLATE NO. ROAD-1003

MINNEAPOLIS
 STANDARD OF PRACTICE FOR PRECAST MANHOLE

DRIVER: JCS DATE: 9/18/09
 APPROVED: GMS DATE: 9/18/09

TYPICAL DRIVEWAY CONSTRUCTION

STANDARD PLATE NO. ROAD-2001

MINNEAPOLIS
 STANDARD OF PRACTICE FOR PRECAST MANHOLE

DRIVER: JCS DATE: 9/18/09
 APPROVED: GMS DATE: 9/18/09

MANHOLE BASE SLAB

STANDARD PLATE NO. SEW-1003

MINNEAPOLIS
 STANDARD OF PRACTICE FOR PRECAST MANHOLE

DRIVER: JCS DATE: 9/18/09
 APPROVED: GMS DATE: 9/18/09

TYPICAL MANHOLE CONSTRUCTION

STANDARD PLATE NO. SEW-1005-81

PREPARED FOR:
TE Miller
 Development, LLC

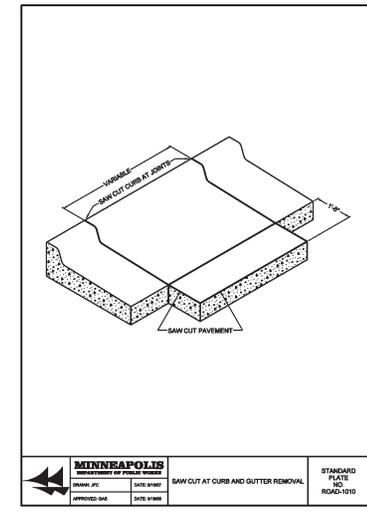
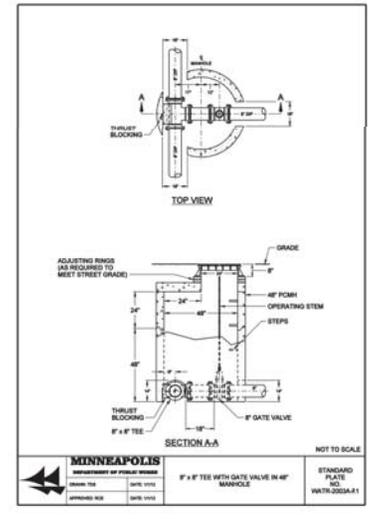
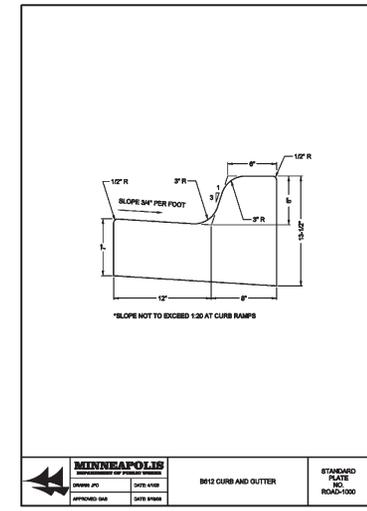
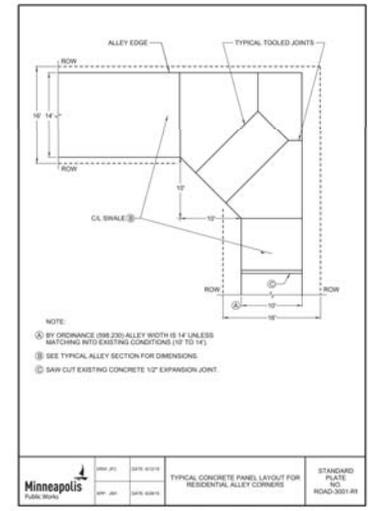
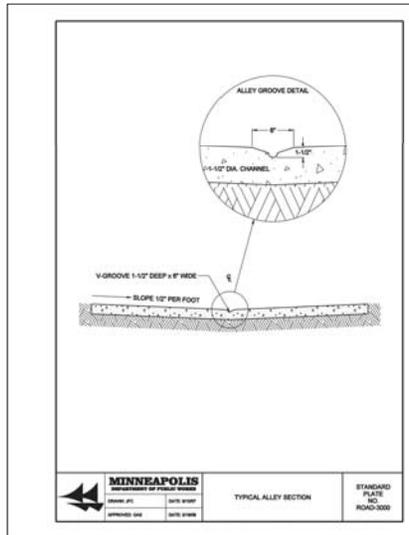
ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: *Robert*
 SIGNATURE: *Robert*
 DATE: 2-8-11 LICENSE # 444232

Revisions & Addendums
 9/20/10 - CHECK SET
 1/10/2011 - Cdw #1 SUBMITTAL
 1/10/2011 - FOR SUBMITTAL
 2/8/2011 - LAND USE SUBMITTAL
 2/10/2011 - LAND USE SUBMITTAL

-PRELIMINARY-
 NOT FOR
 CONSTRUCTION

2/15/2014
 DETAILS
 C4.0



Harriet Ave Apartments
2905 Harriet Ave. S.

PREPARED FOR:
TE Miller Development, LLC
solhem

ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: Matthew R. P...
SIGNATURE: *MP*
DATE: 2-21-10 LICENSE # 44232

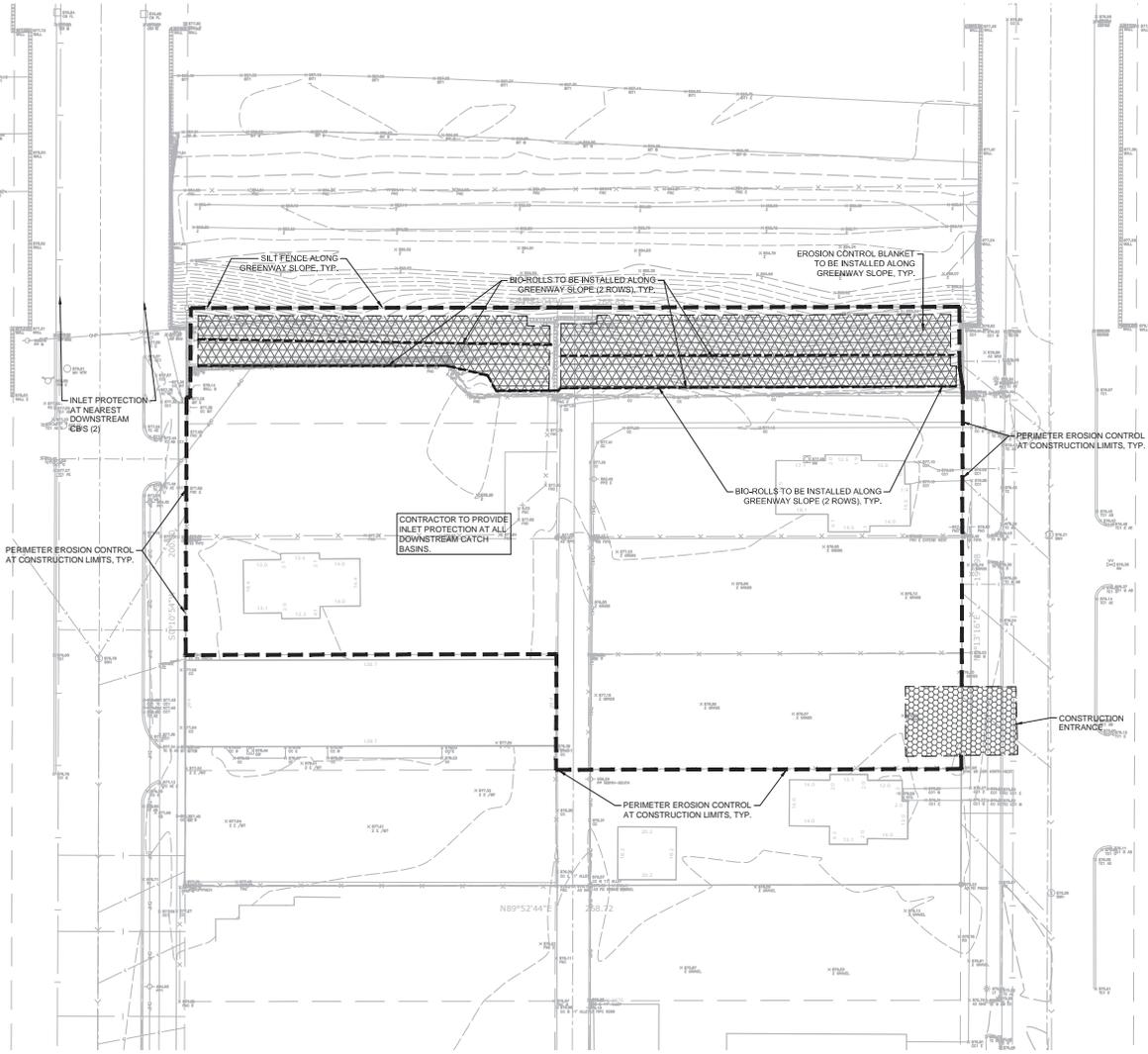
- Revisions & Abbreviations
- 9/20/10 - CHECK SET
 - 1/10/2010 - Corr #1 SUBMITTAL
 - 1/25/2010 - FOR SUBMITTAL
 - 2/9/2010 - LAND USE SUBMITTAL
 - 2/10/2010 - LAND USE RESUBMITTAL

-PRELIMINARY-
NOT FOR
CONSTRUCTION

2/15/0744

DETAILS

C4.1



SWPPP NOTES:

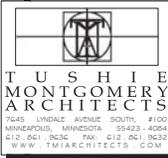
1. SEE SHEETS SW1.2-1.3 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
2. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
3. CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

CITY OF MINNEAPOLIS EROSION CONTROL NOTES:

1. RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

LEGEND:

- 5'2' EX. 1' CONTOUR ELEVATION INTERVAL
- 9'2' 1' CONTOUR ELEVATION INTERVAL
- 1.0' EXISTING SPOT GRADE ELEVATION
- 1.0' PROPOSED SPOT GRADE ELEVATION
- DRAINAGE ARROW
- SILT FENCE / GRADING LIMIT
- INLET PROTECTION (WITH HIGH FLOW BYPASS/OVERFLOW DEVICE)
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET
- PROPOSED MANHOLE OR CATCH BASIN
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND CABLE
- EXISTING MANHOLE
- EXISTING CATCH BASIN
- ◇ EXISTING HYDRANT
- EXISTING STOPBOX
- EXISTING GATE VALVE
- EXISTING ELECTRIC BOX
- ★ EXISTING LIGHT
- EXISTING GAS METER
- ◆ EXISTING GAS VALVE



Harriet Ave Apartments
 2905 Harriet Ave. S.

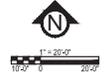


ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINT NAME: Matthew P. P...
 SIGNATURE: *MP*
 DATE: 2-21-16 LICENSE # 44222

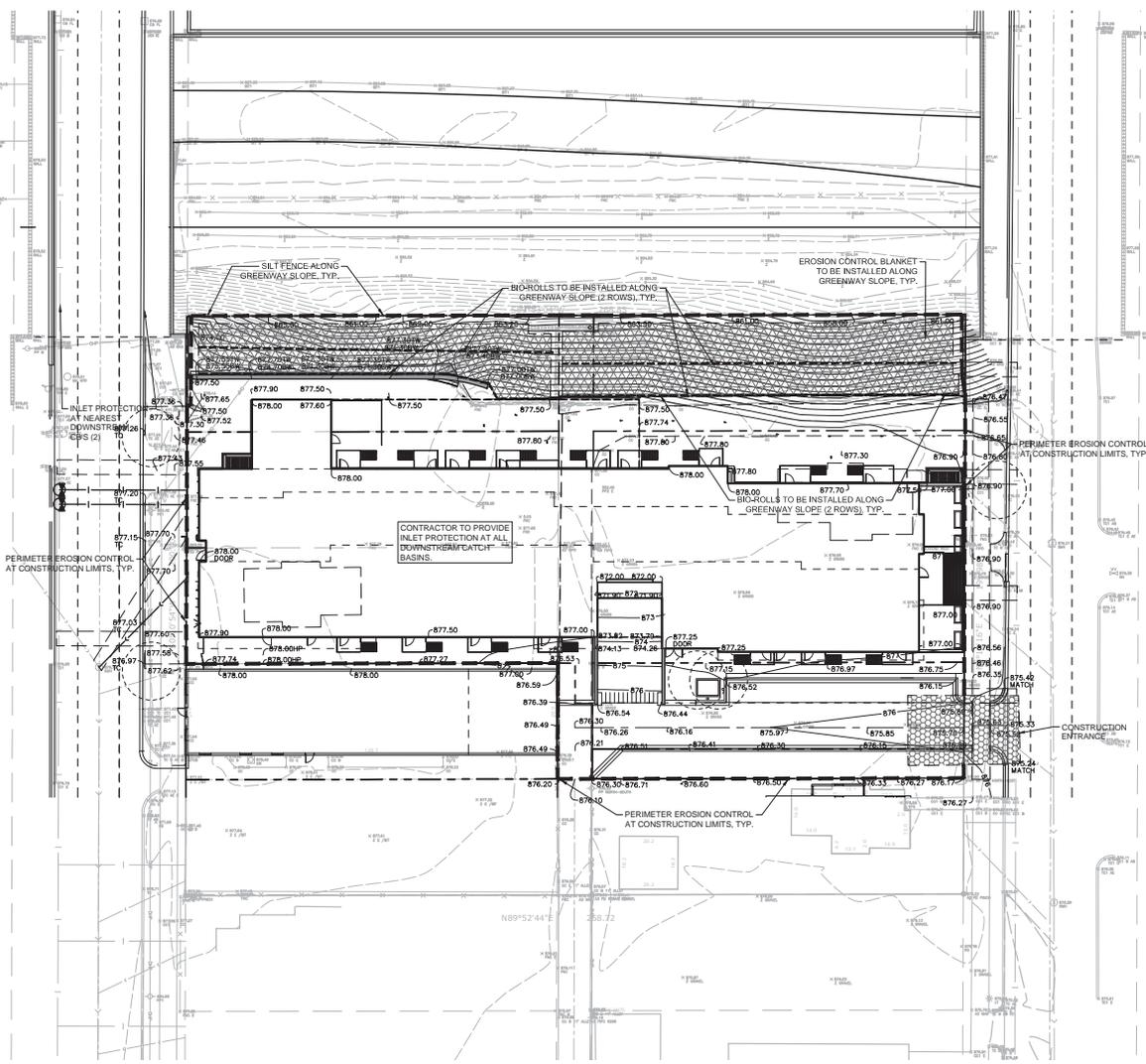
- Revisions & Abbreviations
- 02/2016 - CHECK SET
 - 11/02/2016 - Corr #1 SUBMITTAL
 - 11/25/2016 - PDR SUBMITTAL
 - 2/8/2016 - LAND USE SUBMITTAL
 - 21/02/2016 - LAND USE RESUBMITTAL

**-PRELIMINARY-
NOT FOR
CONSTRUCTION**

GOPHER STATE ONE CALL
 WWW.GOPHERSTATEONECALL.ORG
 (800) 252-1166 TOLL FREE
 (651) 454-0002 LOCAL



2150744
 SWPPP -
 EXISTING CONDITIONS
SW1.0



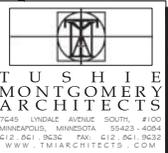
SWPPP NOTES:

- SEE SHEETS SW1.2-1.3 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
- SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
- CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

CITY OF MINNEAPOLIS EROSION CONTROL NOTES:

- RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

- LEGEND:**
- 5'2' EX. 1' CONTOUR ELEVATION INTERVAL
 - - - 1' CONTOUR ELEVATION INTERVAL
 - EXISTING SPOT GRADE ELEVATION
 - PROPOSED SPOT GRADE ELEVATION
 - DRAINAGE ARROW
 - SILT FENCE / GRADING LIMIT
 - INLET PROTECTION (WITH HIGH FLOW BYPASS/OVERFLOW DEVICE)
 - [Pattern] STABILIZED CONSTRUCTION ENTRANCE
 - [Pattern] EROSION CONTROL BLANKET
 - PROPOSED MANHOLE OR CATCH BASIN
 - PROPOSED GATE VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - EXISTING STORM SEWER
 - EXISTING WATER MAIN
 - EXISTING GAS MAIN
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING UNDERGROUND CABLE
 - EXISTING MANHOLE
 - EXISTING CATCH BASIN
 - ◇ EXISTING HYDRANT
 - EXISTING STOPBOX
 - EXISTING GATE VALVE
 - ⊠ EXISTING ELECTRIC BOX
 - ⊠ EXISTING LIGHT
 - ⊠ EXISTING GAS METER
 - ⊠ EXISTING GAS VALVE



Harriet Ave Apartments
 2905 Harriet Ave. S.

PREPARED FOR:

ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: Matthew P. P...
 SIGNATURE: *MP*
 DATE: 2-21-16 LICENSE # 44222

- Revisions & Abbreviations
- 9/20/15 - CHECK SET
 - 1/16/2016 - CIVIL #1 SUBMITTAL
 - 1/25/2016 - PDR SUBMITTAL
 - 2/8/2016 - LAND USE SUBMITTAL
 - 2/16/2016 - LAND USE RESUBMITTAL

GOPHER STATE ONE CALL
 WWW.GOPHERSTATEONECALL.ORG
 (800) 252-1166 TOLL FREE
 (651) 454-0002 LOCAL

**-PRELIMINARY-
 NOT FOR
 CONSTRUCTION**

2/15/2016

SWPPP -
 PROPOSED CONDITIONS

SW1.1

GENERAL SWPPP CONTROLS AND NOTES:

THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2013) (MN100000) PAGES 1-53) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

PART III STORMWATER DISCHARGE DESIGN REQUIREMENTS

SWPPP (PART III.A)

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS, AND INCLUDING ANY AND ALL SHOWN EROSION CONTROL, SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE ATTACHMENT A, CONSTRUCTION SWPPP TEMPLATE FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs, STANDARD DETAILS ARE ATTACHED TO THIS DOCUMENT.

THE INTENSED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITY BMPs AS FOLLOWS:

- 1. VERIFY THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED AND/OR OBTAIN THE NECESSARY PERMITS
2. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
3. INSTALLATION OF SILT FENCE AROUND SITE
4. INITIAL GRASS CONSTRUCTION TRACING AROUND INFILTRATION AREAS
5. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL
6. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (PART III.B)
7. CLEAR AND GRUB REMAINDER OF SITE
8. DEMOLISH AND REMOVE ALL EXISTING PAVEMENTS AND STRUCTURES PER REMOVAL PLAN.
9. STRIP AND STOCKPILE TOPSOIL
10. ROUGH GRADE THE SITE
11. STABILIZE DEMOLISHED AREAS AND STOCKPILES
12. CONTRACTOR SHALL INSPECT, MONITOR AND MAINTAIN TEMPORARY AND PERMANENT EROSION CONTROL BMPs AS SHOWN ON PLANS AND IN CONFORMANCE WITH NPDES PERMIT. CONTINUOUSLY DURING THE WORK, CONTRACTOR SHALL STABILIZE ALL EXPOSED SOILS NO LATER THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
13. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
14. INSTALL SILT FENCE INLET PROTECT ON RAIN DOWNS
15. INSTALL STREET SECTION
16. INITIAL CURB AND GUTTER
17. INITIAL BITUMINOUS ON STREETS
18. INITIAL SHALL UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.)
19. FINAL GRADE BOLLIVARD, INSTALL SEED AND MULCH
20. GRADE AND ACCUMULATE SEDIMENT IN TRAP AND FILTER BASINS
21. FINAL GRADE POND/ INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS) (PART III.C)
22. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOIL/SLURRYCURE, REMOVE BMPs AND RESEED ANY AREAS DESTABILIZED BY THE REMOVAL.
23. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
24. INITIAL SILT FENCE INLET PROTECT ON RAIN DOWNS
25. INITIAL STREET SECTION
26. INITIAL CURB AND GUTTER
27. INITIAL BITUMINOUS ON STREETS
28. INITIAL SHALL UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.)
29. FINAL GRADE BOLLIVARD, INSTALL SEED AND MULCH
30. GRADE AND ACCUMULATE SEDIMENT IN TRAP AND FILTER BASINS
31. FINAL GRADE POND/ INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS) (PART III.C)
32. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOIL/SLURRYCURE, REMOVE BMPs AND RESEED ANY AREAS DESTABILIZED BY THE REMOVAL.

RECORDS RETENTION (PART III.E)

THE SWPPP (FORM, OR COPIES) INCLUDING, ALL CHANGES TOIT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION UNTIL THE PERMITS WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP SHALL BE KEPT EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNERS MUST KEEP THE SWPPP ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN PART III.C. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

- 1. THE FINAL SWPPP
2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT
3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (PART III.G, INSPECTIONS AND MAINTENANCE)
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED INCLUDING ALL RIGHT OF WAY CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE, AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

PART IV. CONSTRUCTION ACTIVITY REQUIREMENTS

EROSION PREVENTION (PART IV.B)

THE CONTRACTORS RESPONSIBLE FOR PLANNING FOR AND IMPLEMENTING APPROPRIATE CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING, AND OTHER CONSTRUCTION PRACTICES THAT MINIMIZE EROSION, SO THAT THE INSPECTION AND MAINTENANCE REQUIREMENTS OF PART III.A ARE COMPLIED WITH. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS.

ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT NO LATER THAN THE END OF THE NEXT WORK DAY WHEN EARTH-DISTURBING ACTIVITIES WILL CEASE FOR AT LEAST 7 DAYS. TEMPORARY STOCKPILES WITHOUT SENSITIVE SILT, CLAY OR ORGANIC COMPONENTS (E.G. CLEAN AGGREGATE, STOCKPILES OF FRACTION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT BUT MUST COMPLY WITH PART III.C.

SOILS WITH 200 FEET OF A PUBLIS WATERS AS DESIGNATED BY THE MINNESOTA DNR MUST BE STABILIZED WITHIN 24 HOURS DURING FISH SPAWNING TIMES. THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 500 LINEAL FEET MUST BE COMPLETED WITHIN 48 HOURS AFTER CONNECTING TO A SURFACE WATER.

STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETED WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION THAT PORTION OF THE DITCH IS TEMPORARILY OR PERMANENTLY CEASED.

TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BENT BOLLS, BENT TIPS ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS MUST BE STABILIZED WITHIN 48 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

FIRE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT EROSION OBSERVATION WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.

SEED NOTES (PART III.A.4.A): ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL. GENERAL RECOMMENDATIONS: IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF INCHES.

TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET. SEED: TEMPORARY SEED SHALL BE MNDOT SEED MIX 2-112 (WINTER WEED COVER CROP) FOR WINTER AND 2-111 (DAYS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.

MULCH: IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 30% COVERAGE (1 TONS PER ACRE OF STRAW MULCH)

SLOPES: 1:2 (HORIZONTAL) OR GREATER MUST ALSO BE COVERED WITH MULCH. SLOPES STEEPER THAN 1:3 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET. SEE PLAN FOR MORE DETAILED DITCH AND STEP SLOPE EROSION CONTROL TREATMENTS.

SEDIMENT CONTROL (PART IV.C)

SEDIMENT CONTROL PRACTICES MUST MINIMIZE SEDIMENT FROM ENTERING SURFACE WATERS, INCLUDING CURBS AND GUTTER SYSTEMS AND STORM SEWER INLETS. A. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS THAT ARE DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES AS APPROPRIATE TO THE DESIGN AND FUNCTION OF THE STRUCTURE.

- 1. IF THE DOWN GRADIENT TREATMENT SYSTEMS OVERLOADED, ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT SYSTEMS MUST BE INSTALLED TO ELIMINATE THE OVERLOADING, AND THE SWPPP MUST BE AMENDED TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN PART III.A.4. THROUGH C.
2. IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE HILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OR GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 1:3 OR STEEPER.

SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL ALL DOWN GRADIENT PERMETERS ARE IN ACCORDANCE WITH PART III.A.4.

THE THING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING OR PASSAGE OF VEHICLES. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. HOWEVER, SEDIMENT CONTROL PRACTICES MUST BE INSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE ACTIVITY IS NOT COMPLETE.

ALL STORM DRAIN INLETS MUST BE PROTECTED BY APPROPRIATE BMPs DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY BE REMOVED FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (STREET FLOODING/FREEZING) HAS BEEN IDENTIFIED AND THE PERMITTEE HAS RECEIVED WRITTEN CORRESPONDENCE FROM THE JURISDICTIONAL AUTHORITY (E.G. CITY/COUNTY/STATE/MN DOT ENGINEERS VERIFYING THE NEED FOR REMOVAL, THE WRITTEN CORRESPONDENCE MUST BE DOCUMENTED IN THE SWPPP OR AVAILABLE WITHIN 72 HOURS UPON REQUEST). WHEN WRITTEN CORRESPONDENCE CAN NOT BE OBTAINED IN A TIMELY MANNER, THE SPECIFIC INLET PROTECTION CAN BE REMOVED TO ALLEVIATE THE IMMEDIATE SAFETY CONCERN, HOWEVER, EFFORTS TO OBTAIN WRITTEN CORRESPONDENCE MUST BE DOCUMENTED IN THE SWPPP AND AVAILABLE WITHIN 72 HOURS UPON REQUEST. PERMITTEES TO REMOVE INLET PROTECTION BASED ON A SPECIFIC SAFETY CONCERN MUST BE OBTAINED FROM THE JURISDICTIONAL AUTHORITY WITHIN 30 DAYS OF REMOVAL.

TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURBS AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.

VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE (OR ON STREETS WITHIN THE SITE) MUST BE MINIMIZED BY BMPs SUCH AS STONE PADS, CONCRETE OR STEEL WASH RACKS, OR EQUIPMENT SYSTEMS. STREET SHEETING MUST BE USED IF SUCH BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED ON THE STREET (SEE PART III.A.4.A).

THE PERMITTEE MUST MINIMIZE SOIL COMPACTION AND, UNLESS INEVITABLE, PRESERVE TOPSOIL. MINIMIZING SOIL COMPACTIONS IS NOT REQUIRED WHERE THE FUNCTION OF THE SPECIFIC AREA OF THE SITE DEMANDS THAT IT BE COMPACTED. METHODS FOR MINIMIZING COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT, AND STAYING OFF OF AREAS TO BE LEFT UNCOMPACTED. METHODS TO PRESERVE TOPSOIL INCLUDE STRIPPING AND STOCKPILING TOPSOIL PRIOR TO GRUBBING OR EXCAVATION OPERATIONS.

THE PERMITTEE MUST INSTALL TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN PART III.B OF THIS PERMIT. DETAILED DESIGN AND BASIN DRAINING (PART IV.D).

DEWATERING OR BASIN DRAINING (E.G., PUMPS, DISCHARGES, TRENCH/CUT CUTS FOR DRAINAGE) RELATED TO THE CONSTRUCTION ACTIVITY THAT MAY HAVE TURBID OR SEDIMENT LOADED DISCHARGE WATER MUST BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE WHENEVER POSSIBLE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPs SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER, DOWNSTREAM LANDOWNERS OR METHODS. THE CONTRACTOR MUST ENSURE THAT DISCHARGE POINTS ARE ADEQUATELY PROTECTED FROM EROSION AND COLLAPSE. THE DISCHARGE MUST BE DISPOSED IN A NATURAL ROCK SPRAW, SANDWASH, PLASTIC SHEETING OR OTHER ACCEPTED ENERGY DISSIPATION MEASURES. ADEQUATE SEDIMENTATION CONTROL MEASURES ARE REQUIRED FOR DISCHARGE WATER THAT CONTAINS SUSPENDED SOLIDS.

RIVER BACKWASH WATERS MUST BE HAULED AWAY FOR DISPOSAL, RETURNED TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. DISCHARGE OF THE BACKWASH WATER TO SANITARY SEWER IS ALLOWED WITH PERMISSION OF THE SANITARY SEWER AUTHORITY.

INSPECTIONS AND MAINTENANCE (PART IV.E)

THE CONTRACTOR IS RESPONSIBLE AT ALL TIMES FOR THE MAINTENANCE AND PROPER OPERATION OF EROSION AND SEDIMENT CONTROL FACILITIES. THE CONTRACTOR SHALL AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.25 INCHES OR GREATER AND WITHIN 7 DAYS AFTER THAT. CONTINUE INSPECTION ACTIVITIES UNTIL CONSTRUCTION ACTIVITY HAS CEASED. THEREAFTER THE CONTRACTOR SHALL PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVERS IS ESTABLISHED. INSPECTIONS MUST INCLUDE STABILIZED AREAS, EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND INFILTRATION AREAS.

BASED ON INSPECTION RESULTS THE CONTRACTOR MAY MODIFY THE SWPPP IN ORDER TO PREVENT POLLUTANTS FROM LEAVING THE SITE IN STORM WATER RUNOFF. THIS MODIFICATION MUST BE MADE WITHIN 7 CALENDAR DAYS OF THE INSPECTION UNLESS OTHERWISE REQUIRED BY THE TERMS OF THE PERMIT, LOCAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS.

INSPECTION REPORTS MUST BE RECORDED WITHIN 24 HOURS IN WRITING AND KEPT ON FILE BY THE CONTRACTOR AS AN INTEGRAL PART OF THE SWPPP ON SITE AND THEN FOR AT LEAST 3 YEARS FROM THE DATE OF COMPLETION OF THIS PROJECT.

ALL PERMITTER CONTROL DEVICES MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 12% OF THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY, OR THEREAFTER AS SOON AS BEST CONDITIONS ALLOW ACCESS.

REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED TOPSOIL. THIS REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN 7 DAYS OF DISCOVERY UNLESS PRELUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS.

SEE ATTACHMENT A, CONSTRUCTION SWPPP TEMPLATE FOR SITE SPECIFIC INSPECTIONS AND MAINTENANCE REQUIREMENTS. POLLUTION PREVENTION MANAGEMENT (PART IV.F).

HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT UNAUTHORIZED STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPICA REGULATIONS.

EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUMFUCK MUST BE CONTAINED AND WASTEWATER PROPERLY DISPOSED OF AS HIGHEST REGARDATIONS ALLOWED ON SITE.

CONCRETE WASHOUT ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER THE GROUND IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPICA REGULATIONS. A SEW MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO REMOVE CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. CONCRETE WASHOUT MAY ALSO OCCUR OFF SITE ACCORDING TO THE APPROPRIATE REGULATIONS.

FUELING OPERATION PLAN: ALL FUELING SHALL TAKE PLACE AT THE DESIGNATED FUELING LOCATION AND ACCORDING TO BEST PRACTICES FOR SITE FUELING OPERATIONS AS TO MINIMIZE THE POTENTIAL FOR SPILLS.

SPILL PREVENTION PLAN: ALL SPILLS SHALL BE IMMEDIATELY CLEANED UP AFTER DISCOVERY. THE SITE SUPERINTENDENT, WHO IS RESPONSIBLE FOR DAILY/ON GOING CONSTRUCTION OPERATIONS WILL BE THE SPILL PREVENTION COORDINATOR AND WILL BE RESPONSIBLE FOR IMPLEMENTING CLEAN UP PROCEDURES, STOPPING CLEAN UP RECOMMENDATIONS, AND ENSURING PROPER CLEAN UP TRAININGS OF APPROPRIATE PERSONNEL.

SANITARY AND SEPTIC WASTE: SANITARY/SEPTIC FACILITIES SHALL BE PROTECTED AND MAINTAINED IN A NEAT AND SANITARY CONDITION. FOR THE USE OF THE CONTRACTORS EMPLOYEES, A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY STATE REGULATIONS, WILL COLLECT SANITARY WASTE FROM PORTABLE UNITS.

FINAL STABILIZATION (PART IV.G)

THE CONTRACTOR MUST ENSURE FINAL STABILIZATION OF THE SITE ACCORDING TO THE DEFINITIONS IN THE NPDES GENERAL PERMIT PART B, SECTION G. THE CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION (N.O.T.) WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE OR WITHIN 7 DAYS AFTER SELLING THE SITE OR PORTION OF THE SITE (THAT HAS NOT UNDERGONE FINAL STABILIZATION) TO ANOTHER PARTY. A COPY OF THIS NOTICE OF TERMINATION/ PERMIT MODIFICATION FORM MUST GO TO THE NEW OWNER. THE ORIGINAL CURRENT OWNERS SHALL BE RESPONSIBLE FOR NOTIFYING THE NEW OWNERS THAT SPECIFICALLY ADDRESSES THE REMAINING CONSTRUCTION MUST GO TO THE NEW SWPPP PLAN SHEETS AND SWPPP NARRATIVE ATTACHMENT A, CONSTRUCTION SWPPP TEMPLATE AND SWPPP PLAN SHEETS FOR FINAL STABILIZATION MEASURES.

TRAINING (PART III.A.2)

DESIGN ENGINEER: MATTHEW P. PAVEL P.E. TRAINING COURSE: DESIGN OF SWPPP TRAINING ENTITY: UNIVERSITY OF MINNESOTA INSTRUCTOR: JOHN CHAPMAN DATES OF TRAINING COURSE: 5/15/2011 - 5/16/2011 TOTAL TRAINING HOURS: 12 RE-CERTIFICATION: 1/31/14/1/31/14 (8 HOURS), EXPI: 5/31/2017

AREAS AND QUANTITIES (PART III.A.4.B&C)

Table with columns: SITE AREA CATEGORIES, EXISTING, PROPOSED, and PERCENTAGE. Rows include BUILDING COVERHAGE, ALLEYS/PARKWAYS, ALLISON PAVEMENTS, TOTAL SITE AREA, IMPERVIOUS SURFACE, EXISTING COVERAGE, PROPOSED COVERAGE, PERFORATED COVERAGE, CHANGES TO VOLUME, EROSION CONTROL BLANKET, and HALF PROTECT DEVICES.

OWNER INFORMATION

OWNER: CURT GUNSBURY SOUTHSEA COMPANIES 3011 HOLMES AVE SUITE 101 MINNEAPOLIS, MN 55408

SWPPP CONTACT PERSON

CONTRACTOR: XXXX XXXX XXXX XXXX

SWPPP INSPECTOR TRAINING: ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP.

PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

NO PERMANENT STORM WATER MANAGEMENT SYSTEM IS REQUIRED FOR THE SITE SINCE IT IS SMALLER THAN 1 ACRE.

SWPPP ATTACHMENTS:

NOT APPLICABLE. SITE IS SMALLER THAN 1 ACRE.

SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES:

THE PROPOSED PROJECT IS THE CONSTRUCTION OF A NEW APARTMENT BUILDING AND PARKING LOT. THE EXISTING SITE HAS A PARKING LOT, ALLEY AND TWO YARDS TO BE DEMOLISHED. SITE AND GRADING IMPROVEMENTS WILL OCCUR.

PERMANENT STORM WATER MANAGEMENT SYSTEM (IF REQUIRED): NOT APPLICABLE - SITE IS SMALLER THAN 1 ACRE

SPECIAL TMDL BMP REQUIREMENTS/ SITE SPECIFIC (IF REQUIRED): NOT REQUIRED - NO SPECIAL OR IMPAIRED WATERS NEAR SITE.

PERMANENT STABILIZATION NOTES/ SITE SPECIFIC:

- PERMITTEE SEED MIX: FOR THE PROJECT ALL AREAS THAT ARE NOT TO BE SCODED OR LANDSCAPED SHALL RECEIVE A NATIVE PERENNIAL SEED MIX. AREAS IN BUFFERS AND ADJACENT TO OR IN WET AREAS (MDOT SEED MIX 3-281 (STORMWATER WEST AND WEST)) AT 35 LBS PER ACRE. AREAS (MDOT SEED MIX 3-221 (DRY PRARE GENERAL)) AT 40 LBS PER ACRE. MAINTENANCE SHALL BE IN ACCORDANCE TO THE MDOT SEEDING MANUAL.

CITY OF MINNEAPOLIS EROSION CONTROL NOTES:

City of Minneapolis Erosion Control Notes. Includes a logo and detailed text regarding erosion control requirements for various construction activities, including site preparation, grading, and stabilization.



401 N 5TH ST, SUITE 4000 ST. LOUIS PARK, MN 55416 612.515.5800 CivilSiteGroup.com



7645 LINDALE AVENUE SOUTH #100 MINNEAPOLIS, MINNESOTA 55423 409-612.001 952-336-7444 FAX: 612.061.9632 WWW.TMAARCHITECTS.COM

Harriet Ave Apartments 2905 Harriet Ave. S.



ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHER RIGHTS ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PREPARED FOR: TE Miller Development, LLC

DATE: 2-8-16 LICENSE # 142202

Revisions & Additions 3/20/2016 - CHECK SET 1/11/2016 - CIVIL #1 SUBMITTAL 1/20/2016 - FOR SUBMITTAL

3/20/2016 - LAND USE SUBMITTAL 2/10/2016 - LAND USE RESUBMITTAL

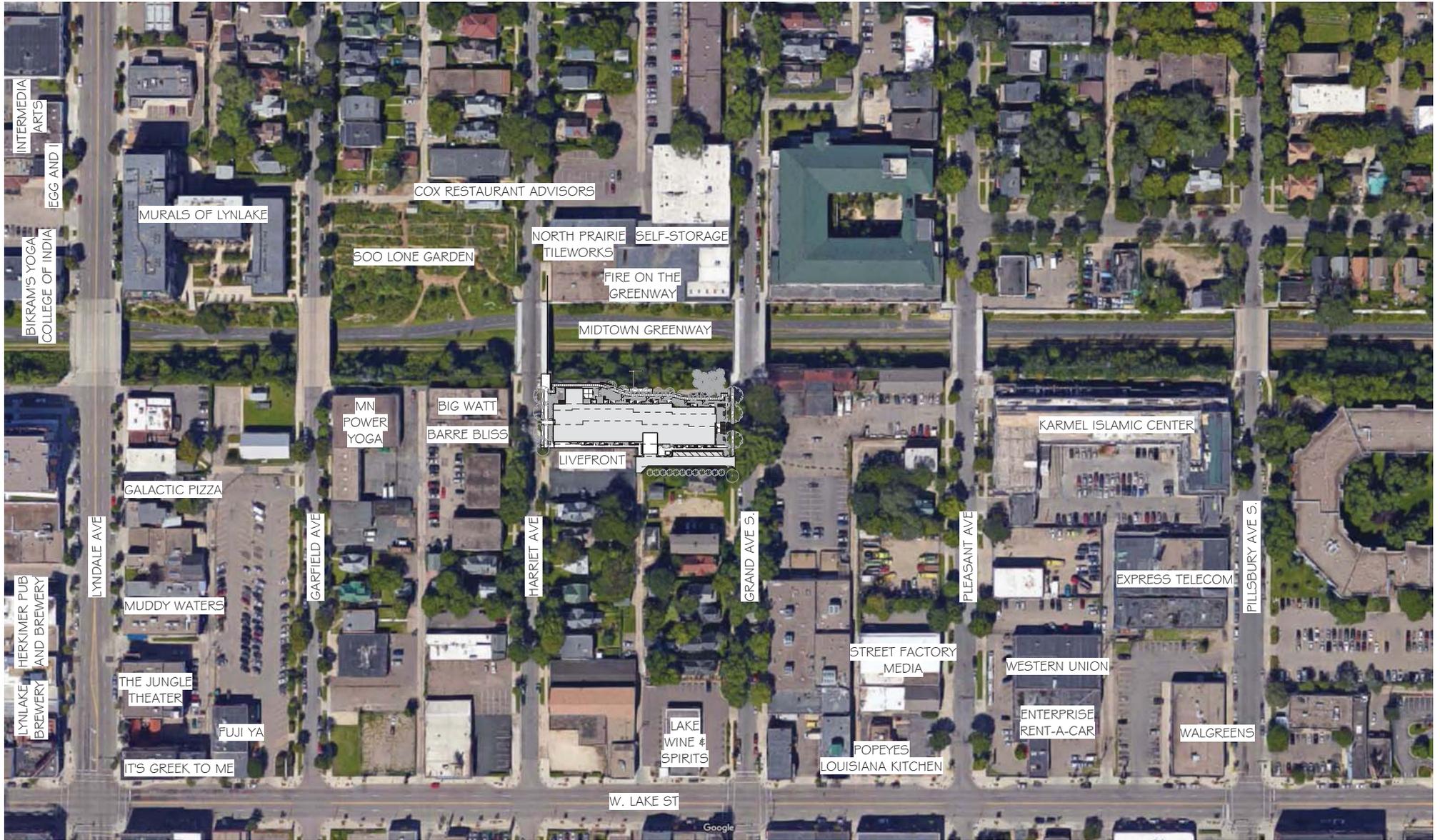
-PRELIMINARY- NOT FOR CONSTRUCTION

2/15/2014

SWPPP - NARRATIVE

SWI.3

© 2014 Civil Site Group, Inc. All Rights Reserved.



1 CONTEXT SITE PLAN
 SCALE 1/16" = 1'-0"



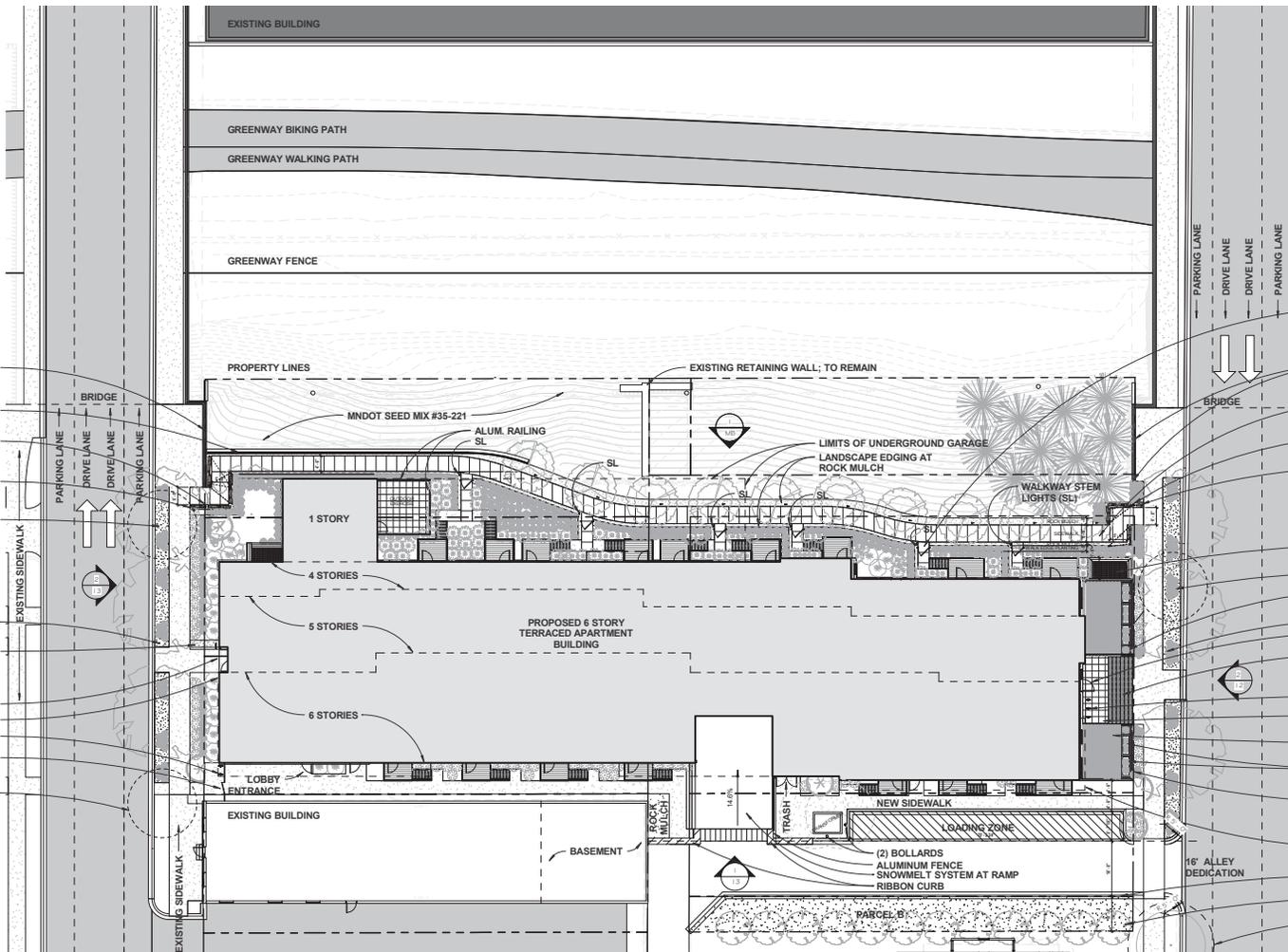
Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Context Site Plan -- 1

03/17/2016



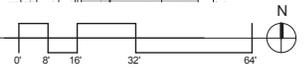


RECLAIMED STONE SITE FEATURES; OWNER PROVIDED*

- EXISTING BRIDGE CONC. WALL - DARK GRAY
- 95' RETAINING WALL WITH 3" - 6" ALUMINUM RAILING
- LIGHTED BOLLARD
- RECLAIMED STONE SITE FEATURES; OWNER PROVIDED*
- (1) TREE TO BE REMOVED AND REPLACED
- HARDWOOD MULCH
- DECORATIVE ROCK MULCH BED FOR CANOPY RAINWATER DISCHARGE
- LOBBY ENTRANCE
- FDC
- (2) BIKE RACKS
- ALUM. FENCE / GATE
- (1) TREE TO BE PROTECTED (SEE ARCH SHEET PG. 5)

- GATES: TYP. AT ALL WALK-UPS: DARK BRONZE ALUMINUM MOUNTED TO 4X4 CEDAR POSTS
- EXISTING BRIDGE CONC. WALL - DARK GRAY
- PHILOSOPHERS WALK; "PUBLIC DOMAIN"
- LIGHTED BOLLARD
- RECLAIMED STONE SITE FEATURES; OWNER PROVIDED*
- AREA WELL W/ METAL GRATE
- (1) TREE REMOVED AND REPLACED
- (2) 2-1/2' X 2-1/2' PREFAB WAUSAU CONC. PLANTERS; PAINTED
- HARDWOOD MULCH SECURE ENTRANCE
- ALUMIN. DECK AND STAIR COMPONENTS TO MATCH WALK-UP BALCONIES
- (3) BIKE RACKS
- TOPPING SLAB AT BIKE PARKING
- GREEN ROOF OVER SLOPED CONCRETE DECK
- (5) 6' X 2-1/2' PREFAB WAUSAU CONC. PLANTERS; PAINTED
- APPROX. 1'-6" BLOCK WALL W/ 1'-0" HEIGHT ALUMIN. RAIL ABOVE
- CANTILEVERED BUILDING ABOVE
- RIBBON CURB
- ROCK MULCH
- (1) TREE TO BE PROTECTED (SEE ARCH SHEET PG. 5)

1 SITE PLAN - PLAN A
SCALE 1/16" = 1'-0"



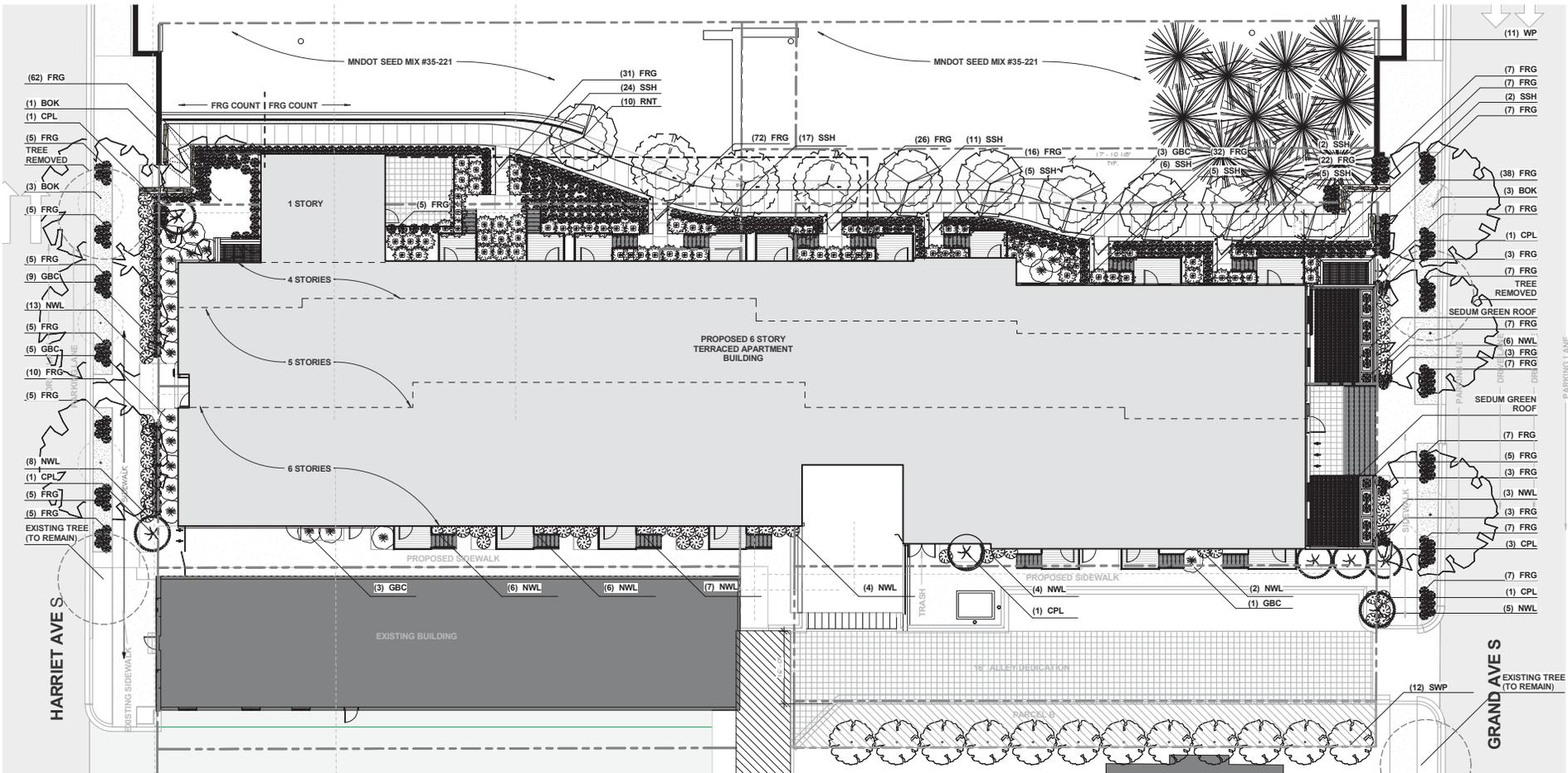
Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Site Plan * -- 2

03/17/2016





1 PLANTING PLAN
SCALE 3/32" = 1'-0"

Planting Schedule					
Count	ID	Common Name	Botanical Name	Size	Comments
1. Deciduous Tree					
7	BOK	Bur Oak	<i>Quercus macrocarpa</i>	2' Caliper Ball and Burlap	
10	RNT	Northern Tree Redbud	<i>Cercis canadensis</i>	2' Caliper Ball and Burlap	
2. Evergreen Tree					
11	WP	White Pine	<i>Pinus strobus</i>	6' Tall Ball and Burlap	
3. Shrub					
5	CPL	Common Purple Lilac	<i>Syringa vulgaris</i>	#5 Container	
21	GBC	Glossy Black Chokeberry	<i>Aronia melanocarpa elata</i>	#6 Container	
4. Perennial					
436	FRG	Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	#5 Container	
64	NWL	Nepeta Walkers Low	<i>Nepeta x faassenii 'Walker's Low'</i>	#1 Container	
77	SSH	Sum and Substance Hosta	<i>Hosta 'Sum and Substance'</i>	#1 Container	
Grand total: 634					

Planting Schedule - Parcel B					
Count	ID	Common Name	Botanical Name	Size	Comments
1. Deciduous Tree					
12	SWP	Sweedish Poplar	<i>Populus tremula 'Erecta'</i>	2.0' Caliper Ball and Burlap	PARCEL B
Grand total: 12					

LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF CERTIFICATION OF SUBSTANTIAL COMPLETION FOR THE PROJECT OR LATER IF INSTALLATION IS DELAYED BECAUSE OF PLANTING SEASON.
- ALL PLANT MATERIAL SHALL MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-2004).
- NO PLANT OR MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- TREES SHALL ONLY BE STAKED AND GUIDED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT. IN CASES OF EXTREMELY WINDY LOCATIONS AND/OR WET CLAY OR VERY SANDY SOIL REFER TO LANDSCAPE PLAN AND DETAILS FOR SPECIFIC PLANTING INSTRUCTIONS.
- IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES IN THE PLANT LIST AND THOSE GRAPHICALLY REPRESENTED, THE GRAPHIC REPRESENTATION SHALL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- IF PLANTS OR LANDSCAPE ELEMENTS CANNOT BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN, THE CONTRACTOR SHALL STAKE LOCATIONS FOR THE LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO ANY EXCAVATION OR INSTALLATION.
- UNLESS INDICATED OTHERWISE, ALL LANDSCAPE AREAS WITHIN THE SITE BOUNDARY SHALL RECEIVE SOIL. AREAS OUTSIDE THE SITE BOUNDARY WHICH HAVE BEEN DISTURBED SHALL RECEIVE SEED OR BE REPAIRED BACK TO THEIR ORIGINAL CONDITION, UNLESS NOTED OTHERWISE.
- ALL BOULEVARD PLANTINGS TO RECEIVE HARDWOOD MULCH.
- UNLESS INDICATED OTHERWISE ALL LANDSCAPE BEDS TO RECEIVE DECORATIVE ROCK MULCH.
- ALL SOIL AND LANDSCAPE INSTALLATIONS SHALL BE IRRIGATED, UNLESS NOTED OTHERWISE.
- WOOD FIBER BLANKET MULCH SHALL BE APPLIED OVER SEED ON ALL SLOPES. NATIVE GRASS HAY MULCH MAY BE USED ON RELATIVELY FLAT AREAS.
- IN AREAS WHERE AN EXISTING PARKING LOT OR DRIVE AREAS HAVE BEEN REMOVED, ALL SUB-BASE SHALL BE REMOVED AND REPLACED WITH TOPSOIL AND ORGANIC MATTER.



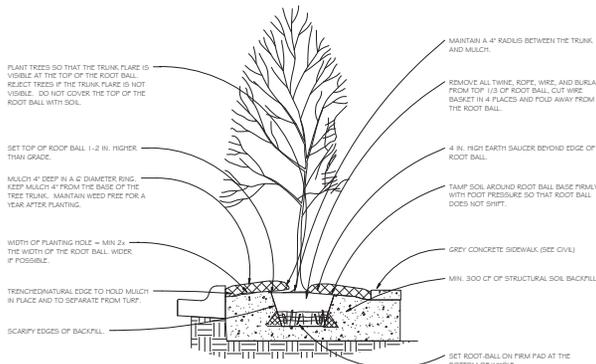
Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Landscape Plan * -- 3

03/17/2016

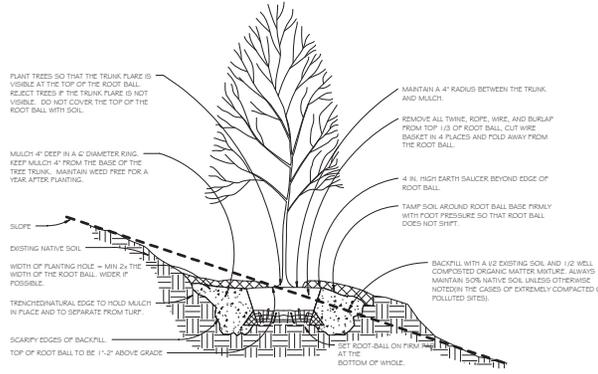




- PLANT TREES SO THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. REJECT TREES IF THE TRUNK FLARE IS NOT VISIBLE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- SET TOP OF ROOT BALL 1-2 IN. HIGHER THAN GRADE.
- MULCH 4" DEEP IN A 6" DIAMETER RING. KEEP MULCH 4" FROM THE BASE OF THE TREE TRUNK. MAINTAIN WEED FREE FOR A YEAR AFTER PLANTING.
- WIDTH OF PLANTING HOLE = MIN 2x THE WIDTH OF THE ROOT BALL, WIDER IF POSSIBLE.
- TRENCHED/NATURAL EDGE TO HOLD MULCH IN PLACE AND TO SEPARATE FROM TURF.
- SCARIFY EDGES OF BACKFILL.
- MAINTAIN 4" RADIUS BETWEEN THE TRUNK AND MULCH.
- REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP 1/3 OF ROOT BALL. CUT WIRE BASKET IN 4 PLACES AND FOLD AWAY FROM THE ROOT BALL.
- 4 IN. HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.
- TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
- GREY CONCRETE SIDEWALK (SEE CIVIL)
- MIN. 300 CF OF STRUCTURAL SOIL BACKFILL
- SET ROOT BALL ON FIRM PAD AT THE BOTTOM OF HOLE.
- NOTES:**
1. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE CROWN.
 2. STAKE AND WRAP TREES ONLY IF DIRECTED BY LANDSCAPE ARCHITECT, SEE STAKING AND/OR WRAPPING DETAILS AS NEEDED.
 3. LOCATE PLANTS AS DIRECTED ON LANDSCAPE PLAN.
 4. MAKE SURE PLANTING BED SOIL IS LOOSENED AND NOT TOO WET PRIOR TO PLANTING AND AVOID SOIL COMPACTION DURING PLANTING.
 5. MULCH LAYER TO EVENLY COVER THE ENTIRE BED AREA 4"-6" THICK, MAINTAIN A 4" RADIUS BETWEEN MULCH AND TRUNK.
 6. NO SUBSTITUTIONS OF PLANTS OR ADJUSTMENTS TO PLANT LOCATIONS, WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.

1 B+B TREE PLANTING @ CITY BOULEVARD

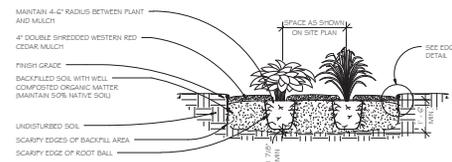
SCALE 1/2" = 1'-0"



- PLANT TREES SO THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. REJECT TREES IF THE TRUNK FLARE IS NOT VISIBLE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- MAINTAIN 4" RADIUS BETWEEN THE TRUNK AND MULCH.
- REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP 1/3 OF ROOT BALL. CUT WIRE BASKET IN 4 PLACES AND FOLD AWAY FROM THE ROOT BALL.
- 4 IN. HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.
- TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
- BACKFILL WITH A 1/2 EXISTING SOIL AND 1/2 WELL-COMPOSTED ORGANIC MATTER MIXTURE. ALWAYS MAINTAIN 50% NATIVE SOIL UNLESS OTHERWISE NOTED IN THE CASES OF EXTREMELY COMPACTED OR POLLUTED SITES.
- SET ROOT BALL ON FIRM PAD AT THE BOTTOM OF HOLE.
- SCARIFY EDGES OF BACKFILL.
- TOP OF ROOT BALL TO BE 1"-2" ABOVE GRADE.
- NOTES:**
1. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE CROWN.
 2. STAKE AND WRAP TREES ONLY IF DIRECTED BY LANDSCAPE ARCHITECT, SEE STAKING AND/OR WRAPPING DETAILS AS NEEDED.
 3. LOCATE PLANTS AS DIRECTED ON LANDSCAPE PLAN.
 4. MAKE SURE PLANTING BED SOIL IS LOOSENED AND NOT TOO WET PRIOR TO PLANTING AND AVOID SOIL COMPACTION DURING PLANTING.
 5. MULCH LAYER TO EVENLY COVER THE ENTIRE BED AREA 4"-6" THICK, MAINTAIN A 4" RADIUS BETWEEN MULCH AND TRUNK.
 6. NO SUBSTITUTIONS OF PLANTS OR ADJUSTMENTS TO PLANT LOCATIONS, WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.

2 B+B TREE PLANTING - ON A SLOPE

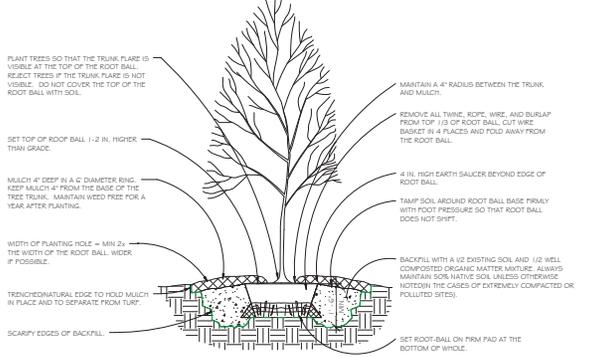
SCALE 1/2" = 1'-0"



- MAINTAIN 4"-6" RADIUS BETWEEN PLANT AND MULCH.
- 4" DOUBLE SHREDDED WESTERN RED CEDAR MULCH
- FRESH GRADE
- BACKFILLED SOIL WITH WELL-COMPOSTED ORGANIC MATTER (MAINTAIN 50% NATIVE SOIL)
- UNDISTURBED SOIL
- SCARIFY EDGES OF BACKFILL AREA
- SCARIFY EDGE OF ROOT BALL
- SEE EDGING INSTALLATION DETAIL
- NOTES:**
1. MAKE SURE PLANTING BED SOIL IS LOOSENED AND NOT TOO WET PRIOR TO PLANTING, WHILE AVOIDING SOIL COMPACTION DURING PLANTING.
 2. MULCH LAYER TO EVENLY COVER THE ENTIRE BED AREA 4"-6" THICK.
 3. SPACING BETWEEN PLANTS AS DIRECTED ON LANDSCAPE PLAN.
 4. WHEN PLANTING LARGE PERENNIAL BEDS, PLANT THE OUTER EDGES OF THE BED FIRST IN A STAGGERED DOUBLE ROW, THEN FILL THE INTERIOR OF THE BED.
 5. WHEN PLANTING GROUNDCOVERS, PLACE MULCH OVER ENTIRE BED FIRST, THEN INSERT THE PLANTS INTO THE SOIL THROUGH THE MULCH.
 6. USE WOVEN GEOTEXTILE FILTER FABRIC WHEN USING ROCK OR INORGANIC MULCHES.
 7. NO SUBSTITUTIONS OF PLANTS OR ADJUSTMENTS TO PLANT LOCATIONS, WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.

3 PERENNIAL PLANTING

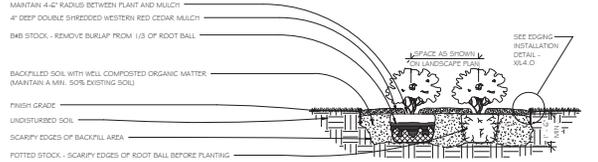
SCALE 3/8" = 1'-0"



- PLANT TREES SO THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. REJECT TREES IF THE TRUNK FLARE IS NOT VISIBLE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- SET TOP OF ROOT BALL 1-2 IN. HIGHER THAN GRADE.
- MULCH 4" DEEP IN A 6" DIAMETER RING. KEEP MULCH 4" FROM THE BASE OF THE TREE TRUNK. MAINTAIN WEED FREE FOR A YEAR AFTER PLANTING.
- WIDTH OF PLANTING HOLE = MIN 2x THE WIDTH OF THE ROOT BALL, WIDER IF POSSIBLE.
- TRENCHED/NATURAL EDGE TO HOLD MULCH IN PLACE AND TO SEPARATE FROM TURF.
- SCARIFY EDGES OF BACKFILL.
- MAINTAIN 4" RADIUS BETWEEN THE TRUNK AND MULCH.
- REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP 1/3 OF ROOT BALL. CUT WIRE BASKET IN 4 PLACES AND FOLD AWAY FROM THE ROOT BALL.
- 4 IN. HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.
- TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
- BACKFILL WITH A 1/2 EXISTING SOIL AND 1/2 WELL-COMPOSTED ORGANIC MATTER MIXTURE. ALWAYS MAINTAIN 50% NATIVE SOIL UNLESS OTHERWISE NOTED IN THE CASES OF EXTREMELY COMPACTED OR POLLUTED SITES.
- SET ROOT BALL ON FIRM PAD AT THE BOTTOM OF HOLE.
- NOTES:**
1. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE CROWN.
 2. STAKE AND WRAP TREES ONLY IF DIRECTED BY LANDSCAPE ARCHITECT, SEE STAKING AND/OR WRAPPING DETAILS AS NEEDED.
 3. LOCATE PLANTS AS DIRECTED ON LANDSCAPE PLAN.
 4. MAKE SURE PLANTING BED SOIL IS LOOSENED AND NOT TOO WET PRIOR TO PLANTING AND AVOID SOIL COMPACTION DURING PLANTING.
 5. MULCH LAYER TO EVENLY COVER THE ENTIRE BED AREA 4"-6" THICK, MAINTAIN A 4" RADIUS BETWEEN MULCH AND TRUNK.
 6. NO SUBSTITUTIONS OF PLANTS OR ADJUSTMENTS TO PLANT LOCATIONS, WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.

4 B+B TREE PLANTING

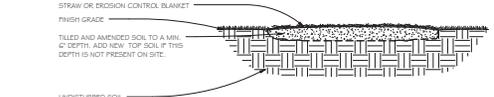
SCALE 1/2" = 1'-0"



- MAINTAIN 4"-6" RADIUS BETWEEN PLANT AND MULCH.
- 4" DEEP DOUBLE SHREDDED WESTERN RED CEDAR MULCH
- B&B STOCK - REMOVE BURLAP FROM 1/3 OF ROOT BALL
- BACKFILLED SOIL WITH WELL-COMPOSTED ORGANIC MATTER (MAINTAIN A MIN. 50% EXISTING SOIL)
- FRESH GRADE
- UNDISTURBED SOIL
- SCARIFY EDGES OF BACKFILL AREA
- POTTED STOCK - SCARIFY EDGES OF ROOT BALL BEFORE PLANTING
- SEE EDGING INSTALLATION DETAIL - X14.0
- NOTES:**
1. AVOID PLANTING IN WET OR SATURATED SOIL TO PREVENT SOIL COMPACTION DURING PLANTING.
 2. MULCH LAYER TO EVENLY COVER THE ENTIRE BED AREA, EXCEPT KEEP MULCH 4" FROM BASE OF SHRUB BRANCHES.
 3. SPACING BETWEEN PLANTS AS DIRECTED ON LANDSCAPE PLAN.
 4. MAKE SURE PLANTING BED SOIL IS LOOSENED AND NOT TOO WET PRIOR TO PLANTING AND AVOID SOIL COMPACTION DURING PLANTING.
 5. SPACING BETWEEN PLANTS AS INDICATED ON LANDSCAPE PLAN.
 6. USE WOVEN GEOTEXTILE FILTER FABRIC WHEN USING ROCK OR INORGANIC MULCHES.
 7. NO SUBSTITUTIONS OF PLANTS OR ADJUSTMENTS TO PLANT LOCATIONS, WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.

5 SHRUB PLANTING

SCALE 3/8" = 1'-0"



- STRAW OR EROSION CONTROL BLANKET
- FRESH GRADE
- TILED AND AMENDED SOIL TO A MIN. 6" DEPTH. ADD NEW TOP SOIL IF THIS DEPTH IS NOT PRESENT ON SITE.
- UNDISTURBED SOIL
- NOTES:**
1. FILL TO A DEPTH OF 4"-6", ADD NEW TOPSOIL IF THERE IS NONE PRESENT ON SITE, AND AMEND SOIL ACCORDING TO SOIL TEST.
 2. REMOVE ALL DEBRIS.
 3. SMOOTH AND DO A FINAL GRADING. ENSURE DRAINAGE AWAY FROM BUILDINGS. FILL ANY LOW SPOTS, AND GRADE TO 1" BELOW HARD SURFACE AREAS (SIDEWALKS, DRIVEWAYS, CURBS, ETC.).
 4. ROLL SOIL SURFACE LIGHTLY.
 5. WATER SOIL SURFACE, SO IT IS MOIST BEFORE SPREADING SEED.
 6. MULCH WITH 2" WEED FREE STRAW ON LEVEL SURFACES (UP TO 5% SLOPE) OR COVER WITH EROSION CONTROL BLANKET ON STEEP SLOPES (OVER 5% SLOPE).
 7. INITIALLY WATER TO 3-4" DEPTH, FOLLOWED BY PERIODIC WATERING TO MAINTAIN A MOIST SOIL AROUND SEEDS. TAPER BACK WATERING AS PLANTS ARE ESTABLISHED.

6 SEED PLANTING

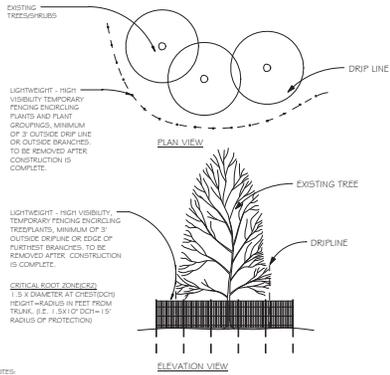
SCALE 3/8" = 1'-0"



Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA





- NOTES:**
1. THERE SHALL BE NO CONSTRUCTION EQUIPMENT OPERATION AND NO MATERIAL STORAGE/VEHICLE PARKING UNDER THE DRIPLINE OF EXISTING TREES TO BE SAVED.
 2. TO BE INSTALLED AROUND ALL TREES AND OTHER PLANTINGS TO BE PRESERVED - SEE LANDSCAPE PLAN FOR DETAILS.
 3. PLANTS MUST BE CONTINUALLY WATERED, AS NEEDED, DURING CONSTRUCTION.
 4. CARE MUST BE TAKEN TO MINIMIZE ANY COMPACTION, SHADING, OR ANY OTHER INTERRUPTION OF THE PLANTS NATURAL FUNCTIONS.

1 EXISTING TREE/SHRUB PROTECTION
SCALE 1/16" = 1'-0"

© 2014 TUSHNET MONTGOMERY ARCHITECTS, INC.



Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA



Light Linear PT 11
L3-3000K



LUMINAIRE SPECIFICATION

LJE-31771
Jet square wall up-down light LED

Light Linear PT 11 is a square wall up-down light LED luminaire. It features a square wall design with a clear lens and a black finish. The luminaire is designed for use in residential and commercial applications. It is available in three color temperatures: 3000K, 4000K, and 5000K. The luminaire is dimmable and has a long life expectancy of up to 50,000 hours.

Manufacturer: LIGMAN

Light Linear PT 3
L4217X



LUMINAIRE SPECIFICATION

LHA-60035
Harrier inground uplight round dia 4.72 LED

Light Linear PT 3 is a square wall up-down light LED luminaire. It features a square wall design with a clear lens and a black finish. The luminaire is designed for use in residential and commercial applications. It is available in three color temperatures: 3000K, 4000K, and 5000K. The luminaire is dimmable and has a long life expectancy of up to 50,000 hours.

Manufacturer: LIGMAN

Light Linear PT 3
L4217X



LUMINAIRE SPECIFICATION

LHA-60035
Harrier inground uplight round dia 4.72 LED

Light Linear PT 3 is a square wall up-down light LED luminaire. It features a square wall design with a clear lens and a black finish. The luminaire is designed for use in residential and commercial applications. It is available in three color temperatures: 3000K, 4000K, and 5000K. The luminaire is dimmable and has a long life expectancy of up to 50,000 hours.

Manufacturer: LIGMAN

Light Linear PT 3
L4217X



LUMINAIRE SPECIFICATION

LHA-60035
Harrier inground uplight round dia 4.72 LED

Light Linear PT 3 is a square wall up-down light LED luminaire. It features a square wall design with a clear lens and a black finish. The luminaire is designed for use in residential and commercial applications. It is available in three color temperatures: 3000K, 4000K, and 5000K. The luminaire is dimmable and has a long life expectancy of up to 50,000 hours.

Manufacturer: LIGMAN

Light Linear PT 11
L3-3000K



LUMINAIRE SPECIFICATION

LJE-31771
Jet square wall up-down light LED

Light Linear PT 11 is a square wall up-down light LED luminaire. It features a square wall design with a clear lens and a black finish. The luminaire is designed for use in residential and commercial applications. It is available in three color temperatures: 3000K, 4000K, and 5000K. The luminaire is dimmable and has a long life expectancy of up to 50,000 hours.

Manufacturer: LIGMAN

Light Linear PT 11
L3-3000K



LUMINAIRE SPECIFICATION

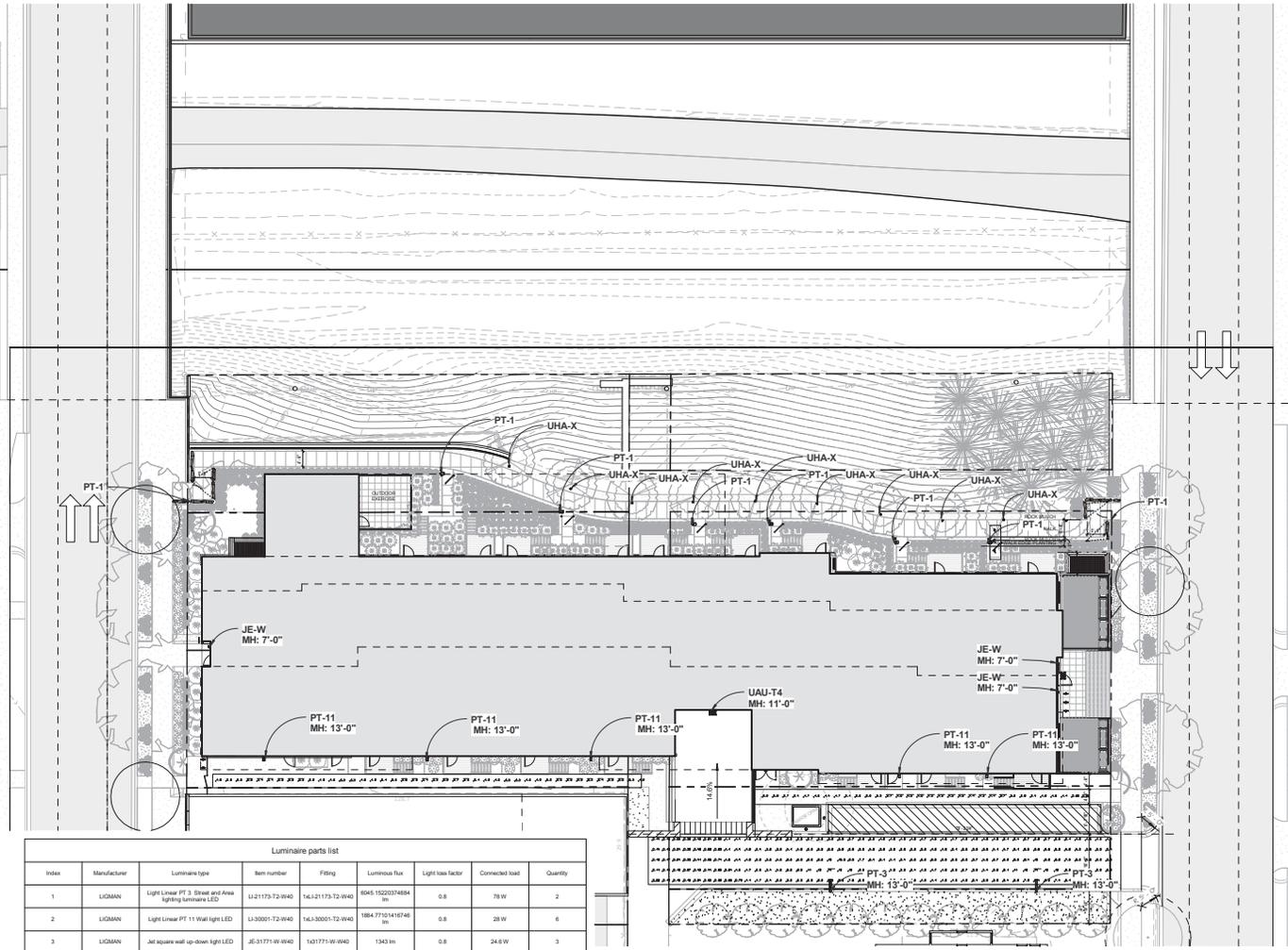
LJE-31771
Jet square wall up-down light LED

Light Linear PT 11 is a square wall up-down light LED luminaire. It features a square wall design with a clear lens and a black finish. The luminaire is designed for use in residential and commercial applications. It is available in three color temperatures: 3000K, 4000K, and 5000K. The luminaire is dimmable and has a long life expectancy of up to 50,000 hours.

Manufacturer: LIGMAN

PT-1

UAU-T4



Luminaire parts list							
Index	Manufacturer	Luminaire type	Item number	Filing	Luminous flux	Light loss factor	Connected load
1	LIGMAN	Light Linear PT 3 Round and Area lighting luminaire LED	L21173-T2-W40	14L21173-T2-W40	6945.15220374884 lm	0.8	78 W
2	LIGMAN	Light Linear PT 11 Wall light LED	L330001-T2-W40	14L330001-T2-W40	1884.77101418746 lm	0.8	28 W
3	LIGMAN	Jet square wall up-down light LED	LJE31771-W-W40	14J31771-W-W40	1343 lm	0.8	24.6 W
4	LIGMAN	Light Linear PT 1 Inland LED	L110001-T2-W40	14L110001-T2-W40	1884.77101418746 lm	0.8	28 W
5	LIGMAN	Harrier inground uplight dia 4.72" LED	LHA60035-X-C-W40	14HA60035-C-W40	80 lm	0.8	3 W
6	LIGMAN	Austin Medium wall washer 12 LED	AU30051-T4-W40	14U30051-T4-W40	1678.53278167071 lm	0.8	20.4 W

#	Name	Parameter	Min	Max	Average	Min/Average	Min/Max
1	Sidewalk 2	Perpendicular Illuminance	1.4 fc	3.2 fc	2.3 fc	0.61	0.45
2	Driveway	Perpendicular Illuminance	0.08 fc	13.69 fc	3.7 fc	0.02	0.01
3	Sidewalk 1	Perpendicular Illuminance	0.66 fc	4.2 fc	2.6 fc	0.23	0.16
				48.86 fc	35.62 fc	0.81	0.59

1 LIGHTING PLAN
SCALE: 1/16" = 1'-0"

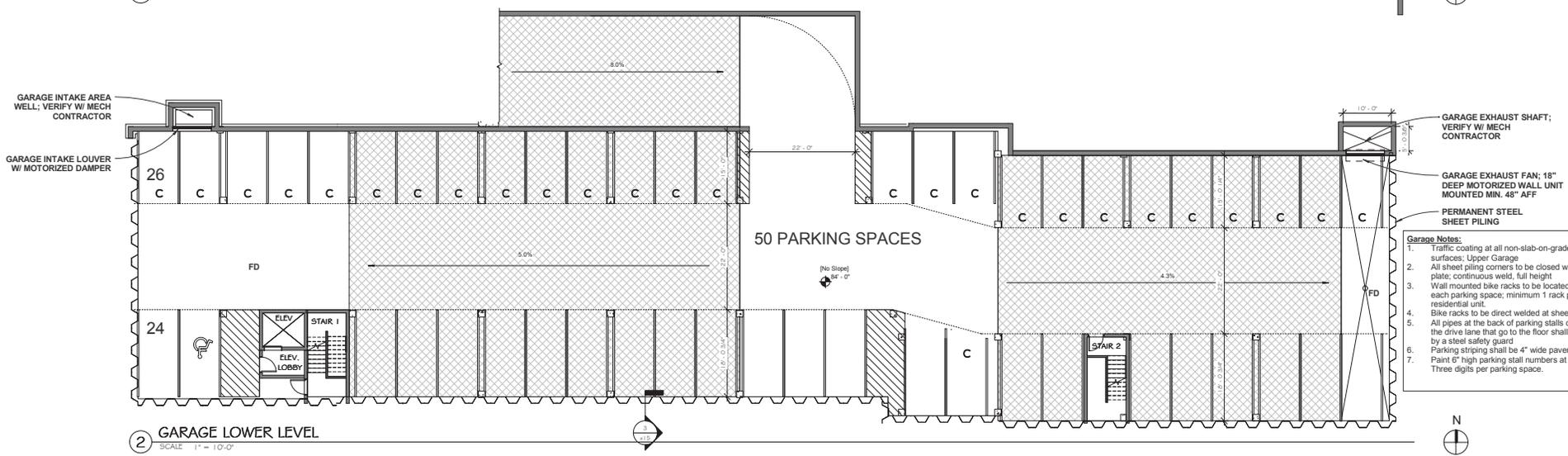
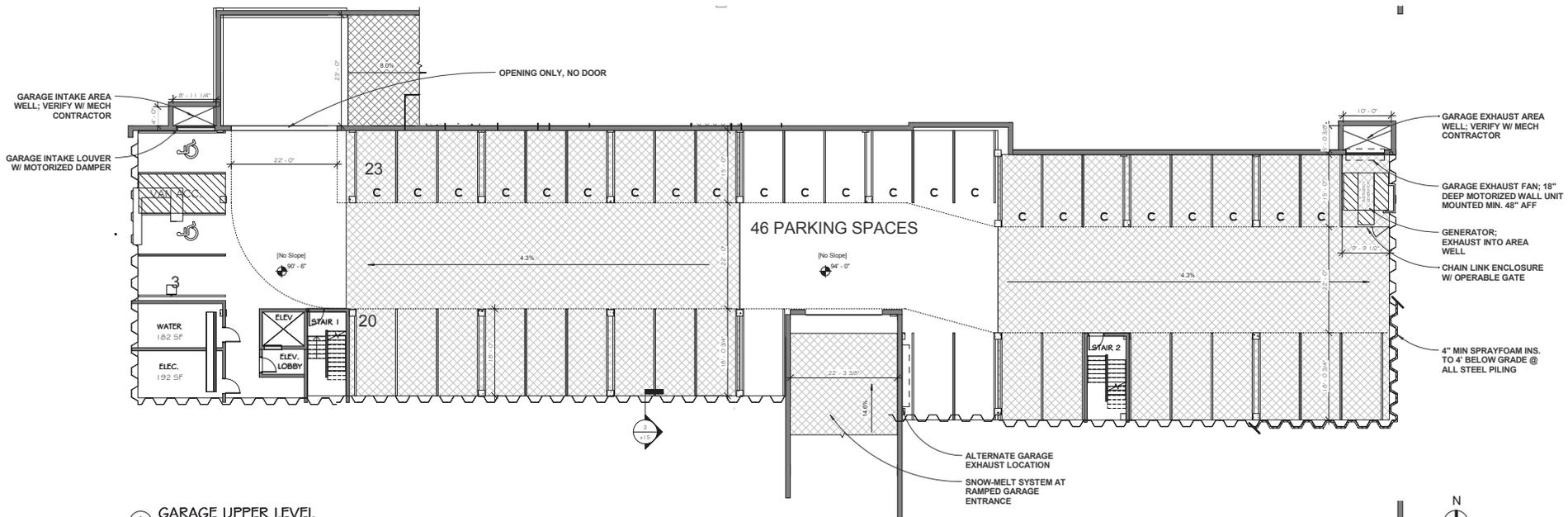


Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Lighting Plan -- 6
03/17/2016





- Garage Notes:**
- Traffic coating at all non-slab-on-grade parking surfaces; Upper Garage
 - All sheet piling corners to be closed w/ 3/8" steel plate; continuous weld, full height
 - Wall mounted bike racks to be located between each parking space; minimum 1 rack per residential unit.
 - Bike racks to be direct welded at sheet piling walls.
 - All pipes at the back of parking stalls or exposed to the drive lane that go to the floor shall be protected by a steel safety guard
 - Parking striping shall be 4" wide pavement paint
 - Paint 6" high parking stall numbers at each stall. Three digits per parking space.



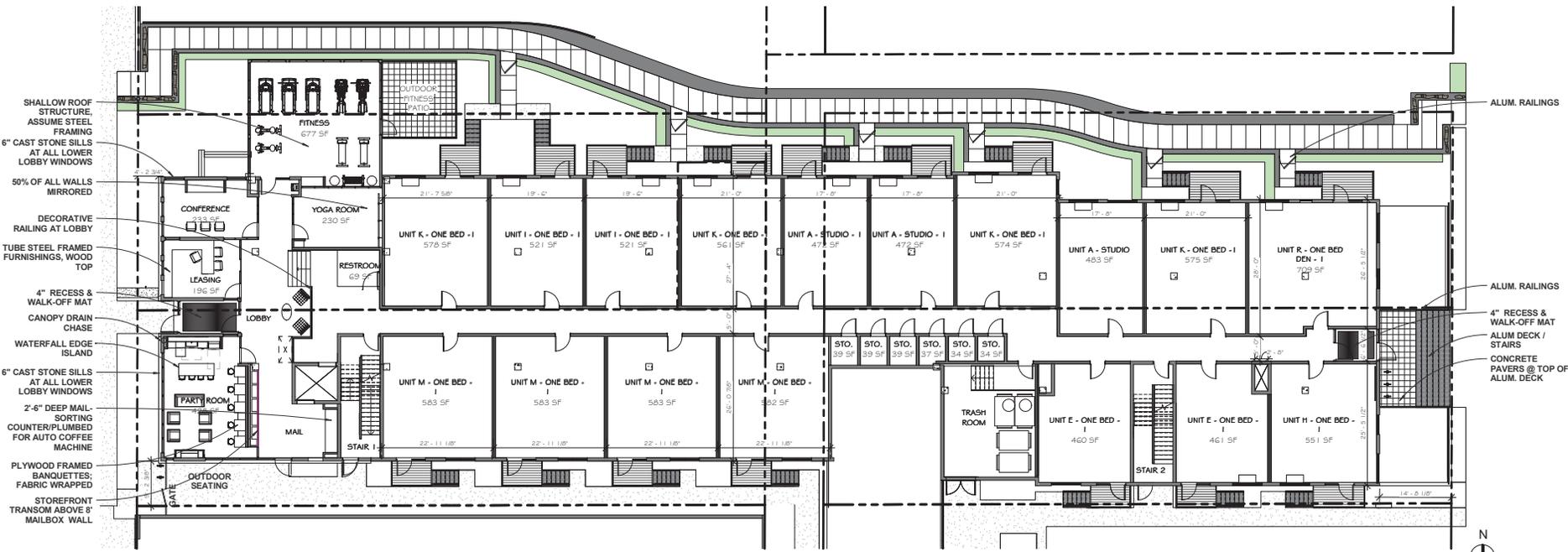
Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

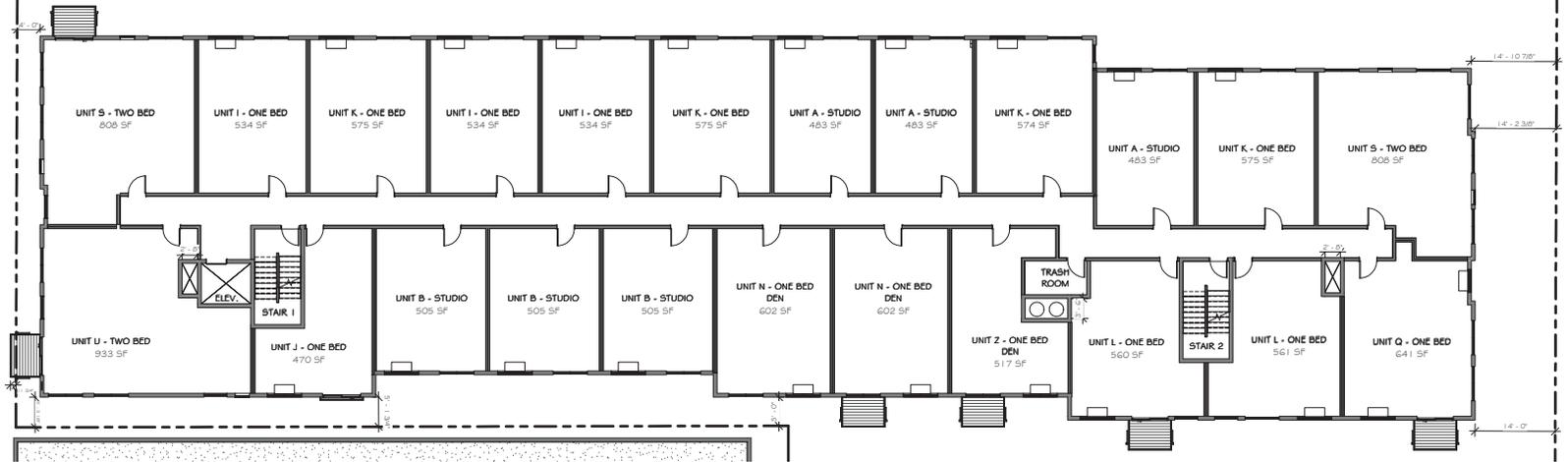
Garage Upper & Lower -- 7

03/17/2016





③ 1ST FLOOR
SCALE: 1" = 10'-0"



② 2ND FLOOR
SCALE: 1" = 10'-0"



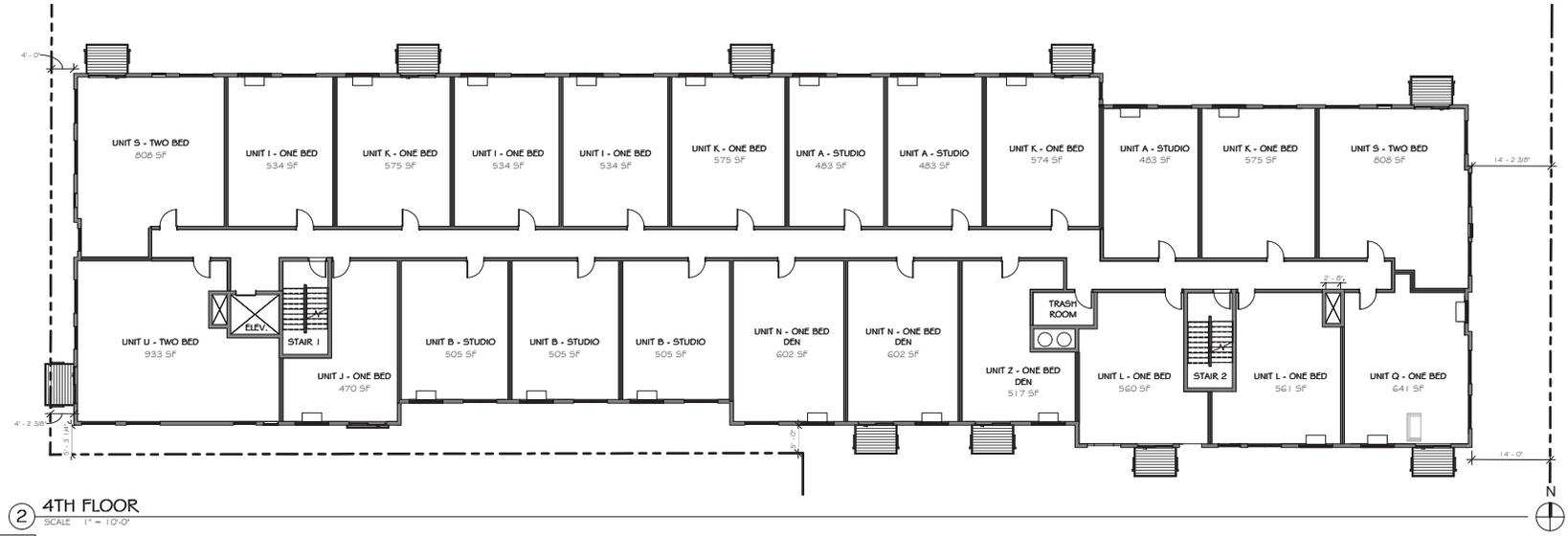
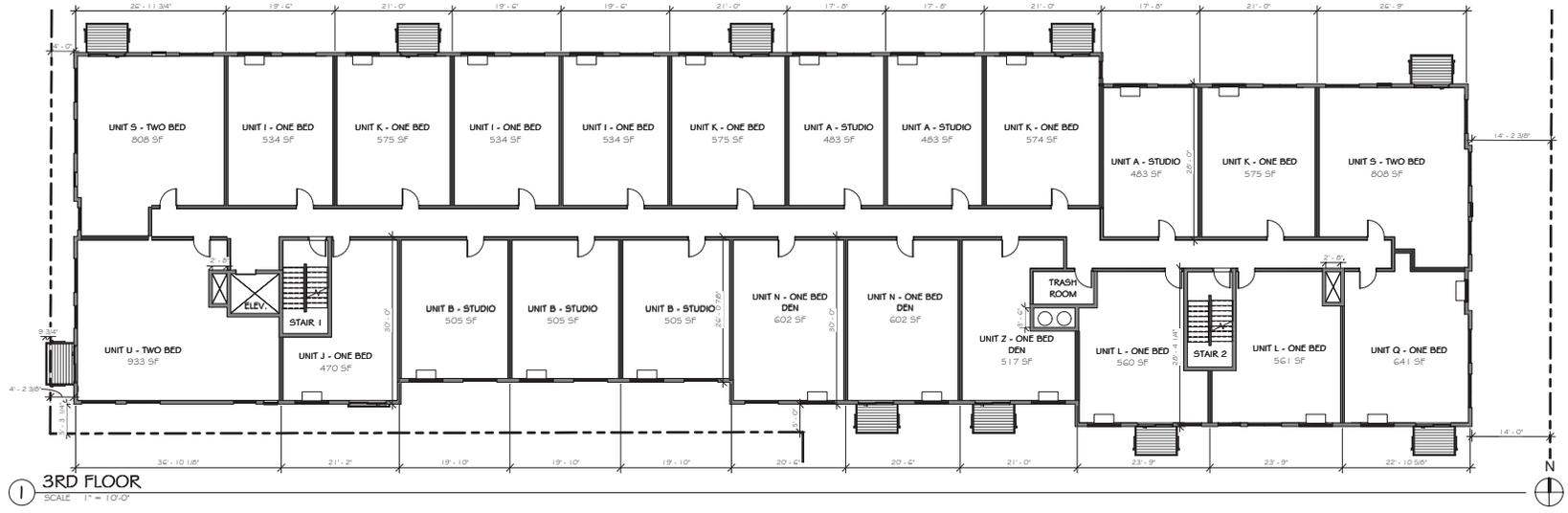
Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

1st & 2nd Floors * -- 8

03/17/2016

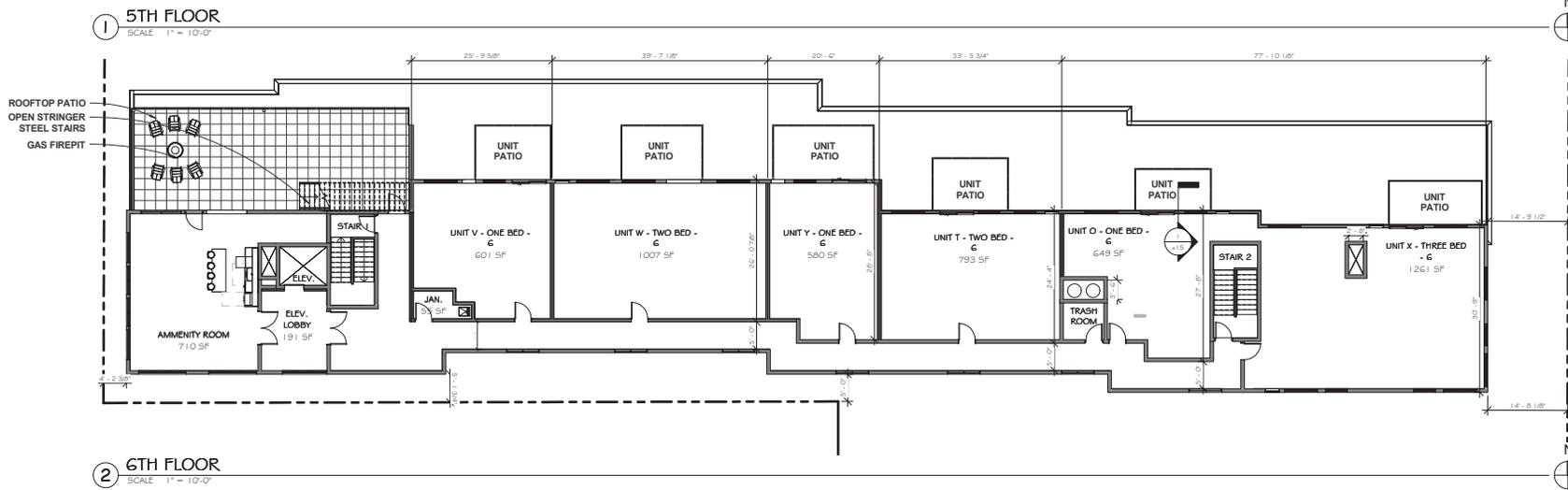
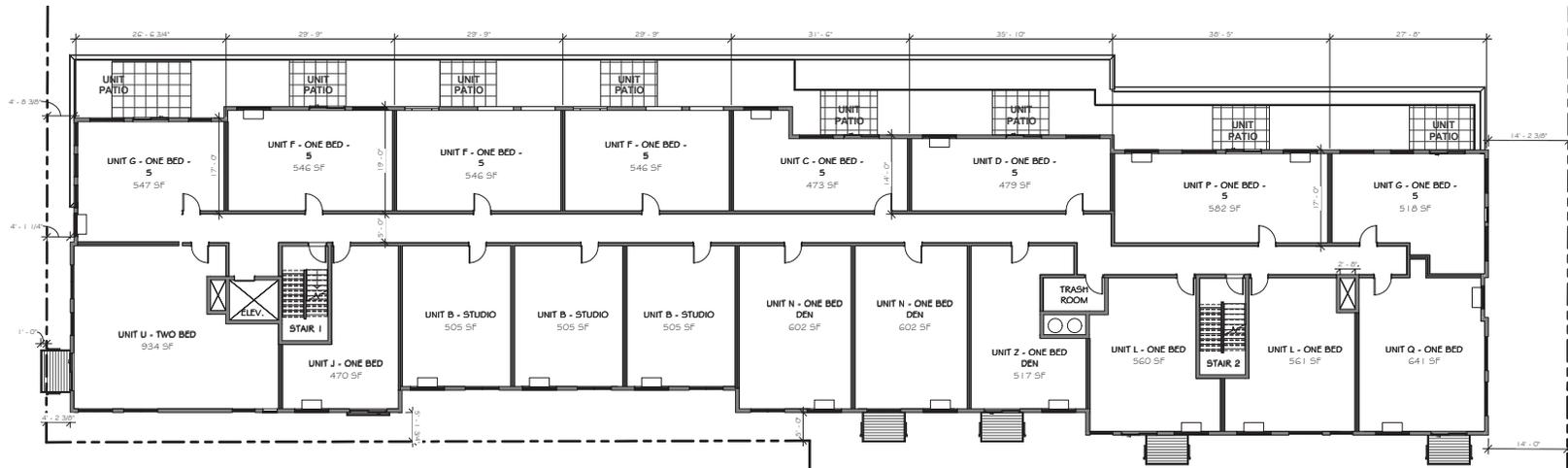




Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA





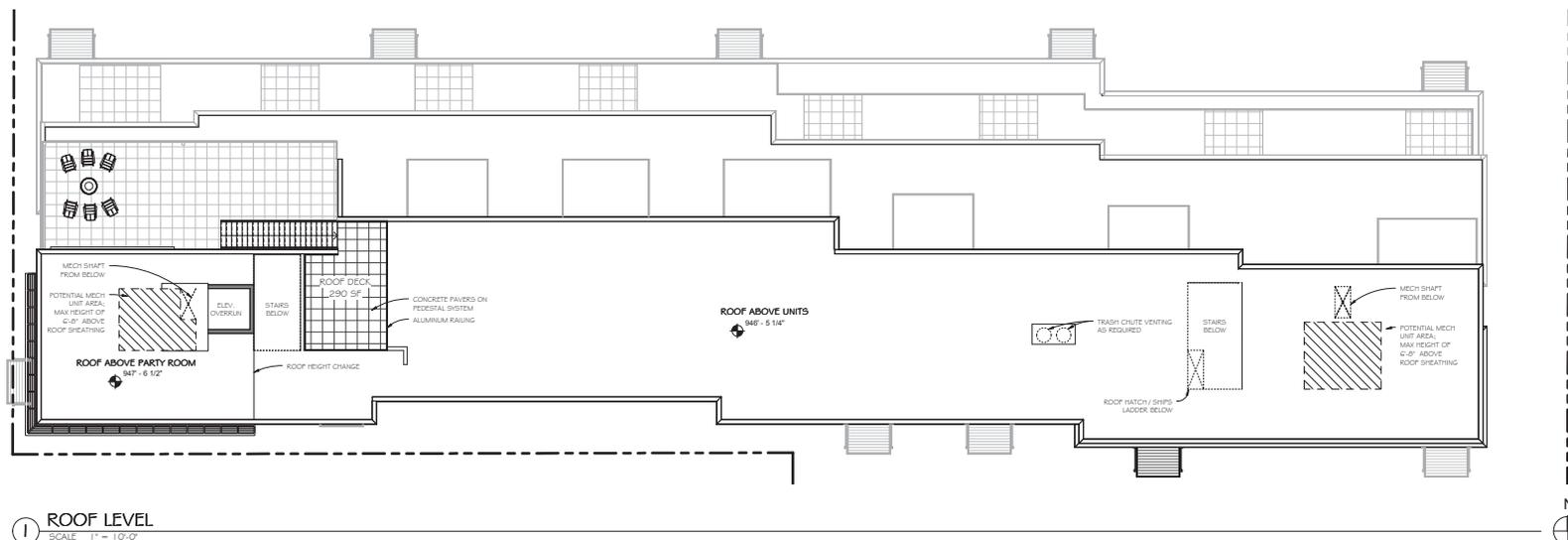
Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

5th, 6th & Roof Floors -- 10

03/17/2016





1 ROOF LEVEL
SCALE 1" = 10'-0"

- Roof Notes:**
1. Assume 10 roof drains and 10 overflow per roof terrace level; design by plumbing contractor
 2. Assume 48 window washing anchors; 40 standard, 8 "flush top" anchors at patio locations



Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

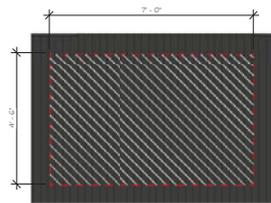
Roof Plan -- 11

03/17/2016

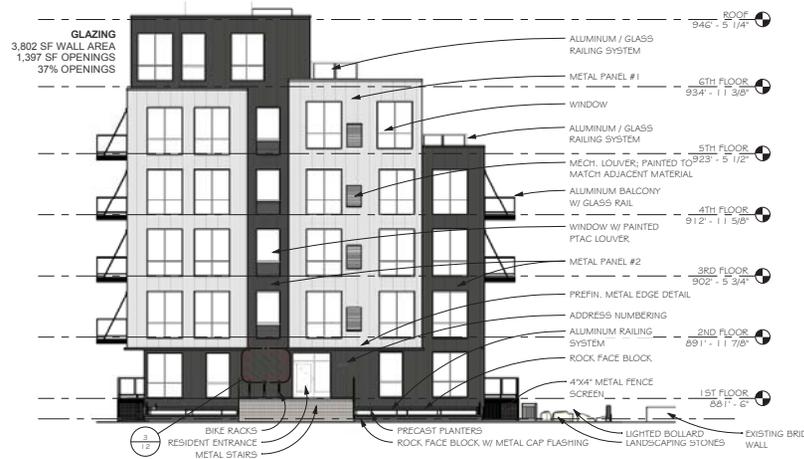




1 NORTH ELEVATION
SCALE 1" = 10'-0"



3 EAST ENTRY SIGN - 32 SF
SCALE 1/2" = 1'-0"



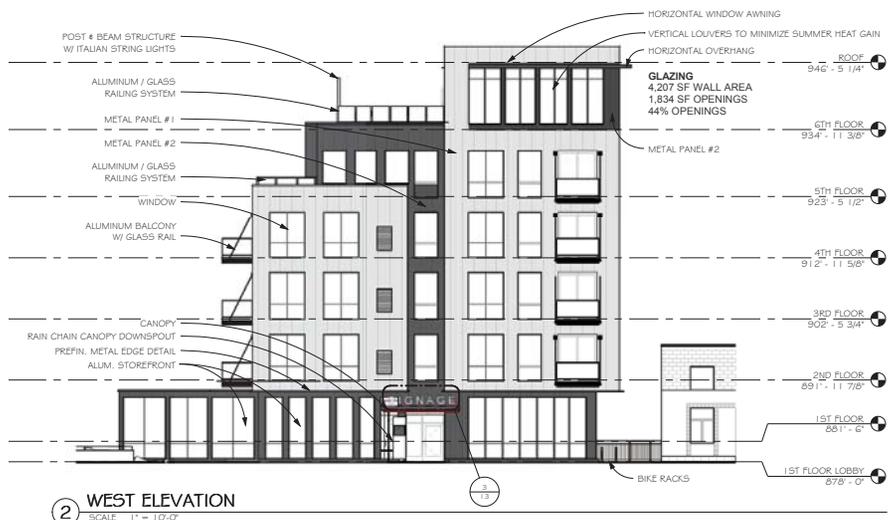
2 EAST ELEVATION
SCALE 1" = 10'-0"

FINISH SCHEDULE

METAL PANEL #1:	MANUFACTURER:	FIRESTONE
	TYPE:	VERTICAL CORRUGATED
	COLOR:	MATTE BLACK
METAL PANEL #2:	MANUFACTURER:	FIRESTONE
	TYPE:	VERTICAL CORRUGATED
	COLOR:	CITYSCAPE
PREFIN. CAP FLASHING:	MANUFACTURER:	TBD
	COLOR:	TO MATCH ADJACENT FIELD COLOR
ROCKFACE BLOCK:	MANUFACTURER:	ANCHOR BLOCK
	COLOR:	PREMIUM COLOR; MIDNIGHT
WINDOWS:	MANUFACTURER:	TBD
	TYPE:	VINYL
	COLOR:	WHITE OR SIMILAR
PRECAST CONC. SILL:	MANUFACTURER:	TBD
	FINISH:	SAND BLAST
	COLOR:	TO MATCH ROCKFACE 'MIDNIGHT'
LOUVERS:	COLOR:	PAINTED TO MATCH ADJACENT METAL PANEL
STOREFRONT GLAZING:	MANUFACTURER:	TBD
	FINISH:	ANODIZED ALUMINUM AND DARK BRONZE (AS INDICATED ON COLORED ELEVATIONS)
DECKS & RAILINGS:	MANUFACTURER:	TBD
	TYPE:	ALUMINUM
	COLOR:	WHITE AND DARK BRONZE (AS INDICATED ON COLORED ELEVATIONS)



1 SOUTH ELEVATION
SCALE: 1" = 10'-0"



2 WEST ELEVATION
SCALE: 1" = 10'-0"



3 WEST ENTRY SIGN - 32 SF
SCALE: 1/2" = 1'-0"



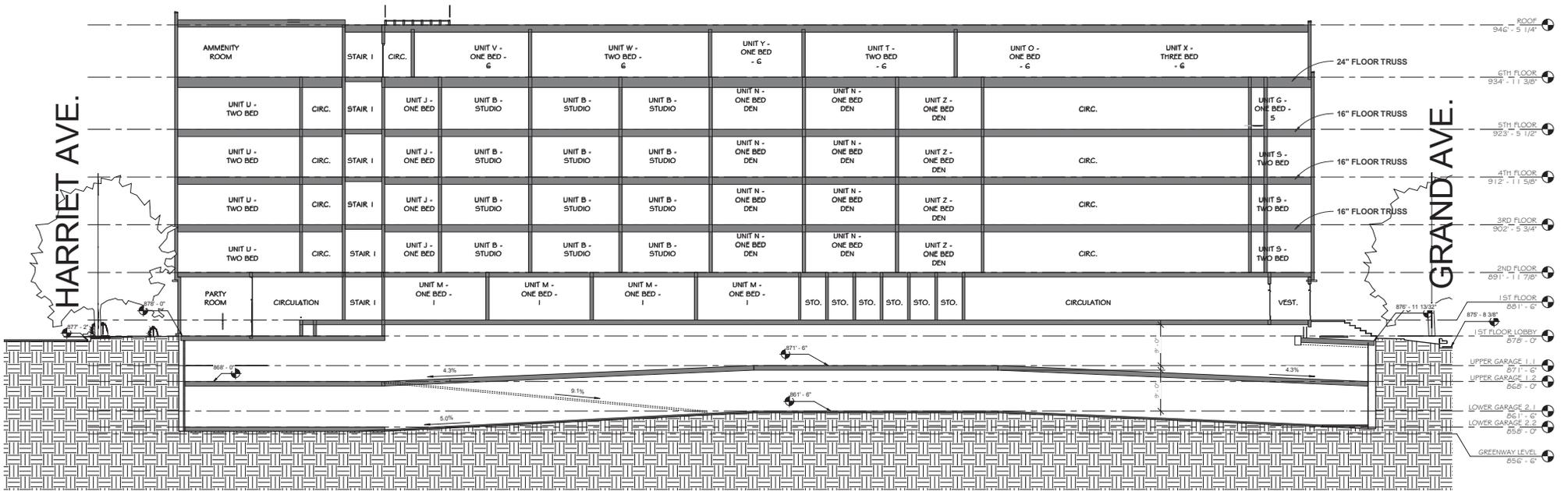
Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Elevations -- 13

03/17/2016





1 Longitudinal Section
SCALE: 1" = 10'-0"



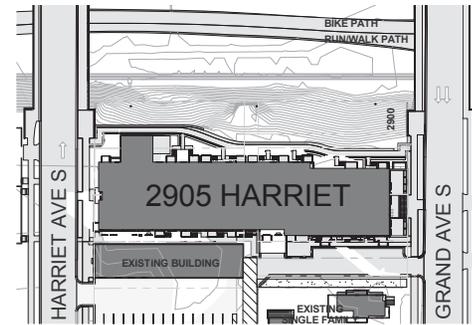
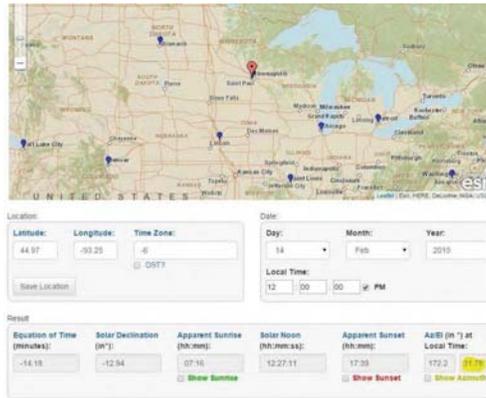
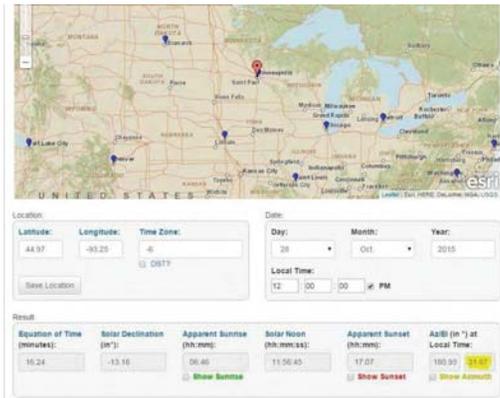
Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

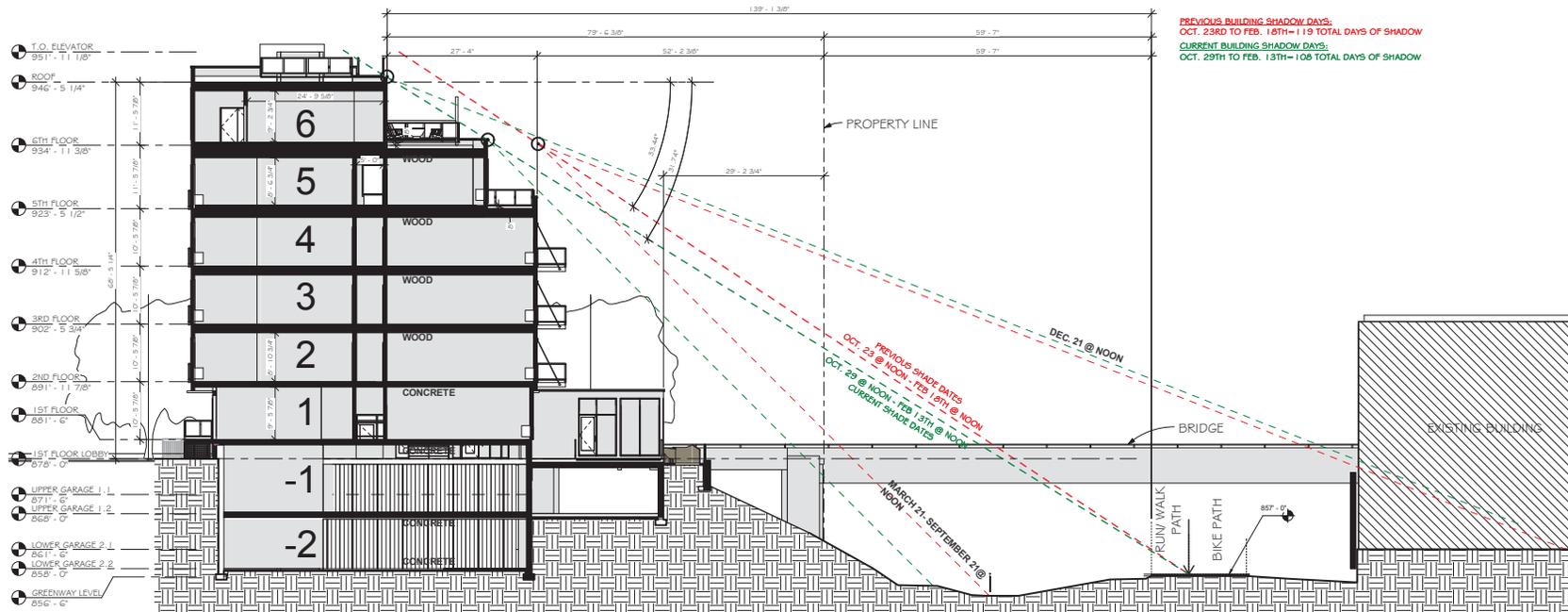
Building Section -- 14

03/17/2016





2 SITE PLAN SHADOW STUDY
 SCALE: 1" = 30'-0"



1 SUN STUDY SECTION A
 SCALE: 1" = 10'-0"



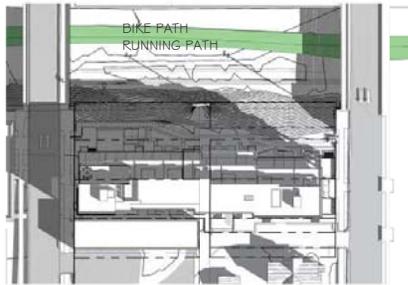
Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

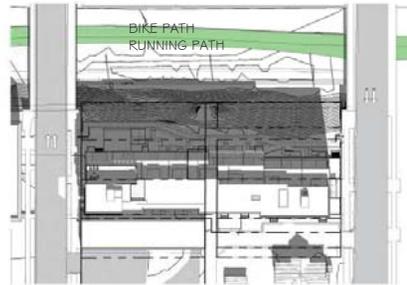
Site Section - Option A -- 15

03/17/2016

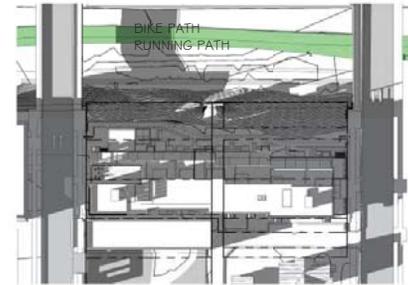




1 SHADOW STUDY - 9 AM SPRING EQUINOX
SCALE 1" = 60'-0"



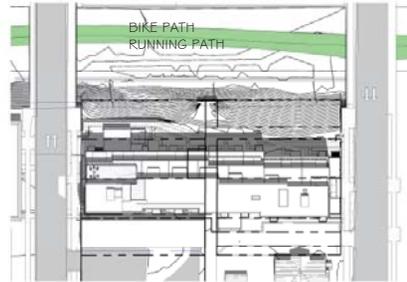
2 SHADOW STUDY - 12 PM SPRING EQUINOX
SCALE 1" = 60'-0"



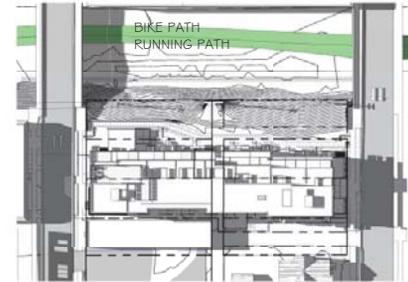
3 SHADOW STUDY - 5 PM SPRING EQUINOX
SCALE 1" = 60'-0"



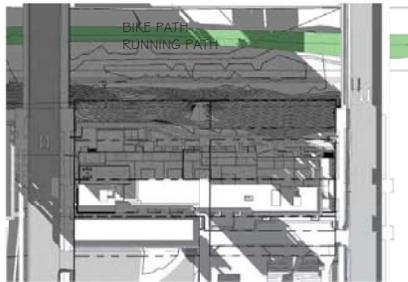
4 SHADOW STUDY - 9 AM SUMMER SOLSTICE
SCALE 1" = 60'-0"



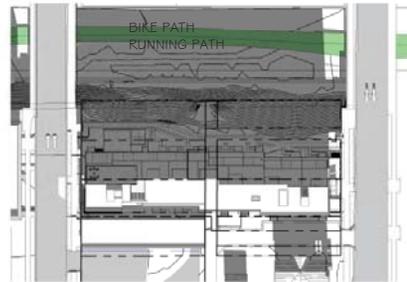
5 SHADOW STUDY - 12 PM SUMMER SOLSTICE
SCALE 1" = 60'-0"



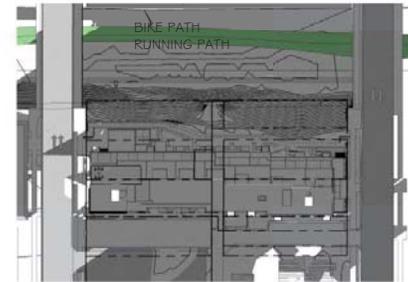
6 SHADOW STUDY - 5 PM SUMMER SOLSTICE
SCALE 1" = 60'-0"



7 SHADOW STUDY - 9 AM WINTER SOLSTICE
SCALE 1" = 60'-0"



8 SHADOW STUDY - 12 PM WINTER SOLSTICE
SCALE 1" = 60'-0"



9 SHADOW STUDY - 5 PM WINTER SOLSTICE
SCALE 1" = 60'-0"



Harriet Ave Apartments

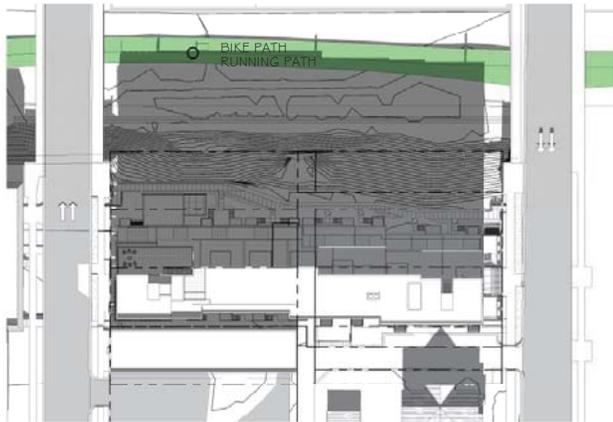
2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA



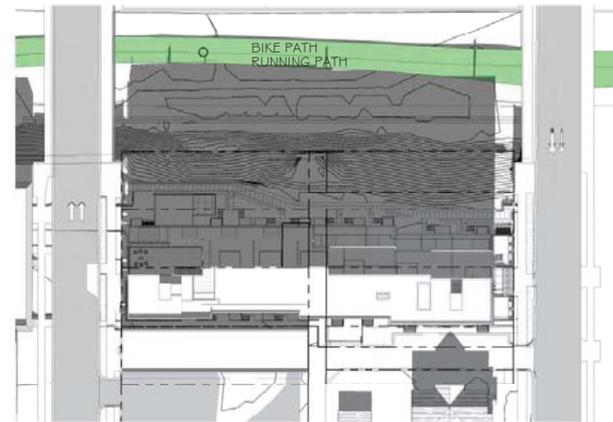
Shadow Study - Solstice / Equinox -- 16



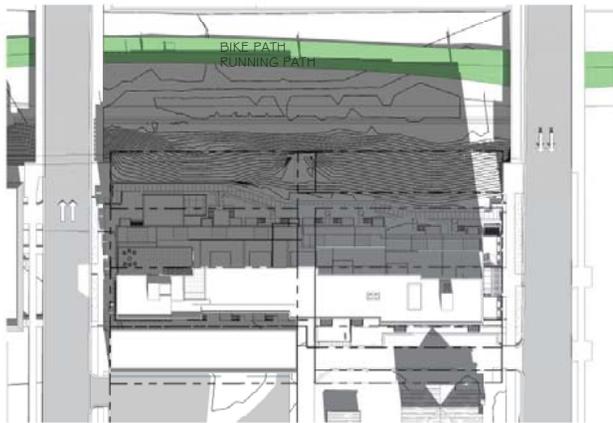
03/17/2016



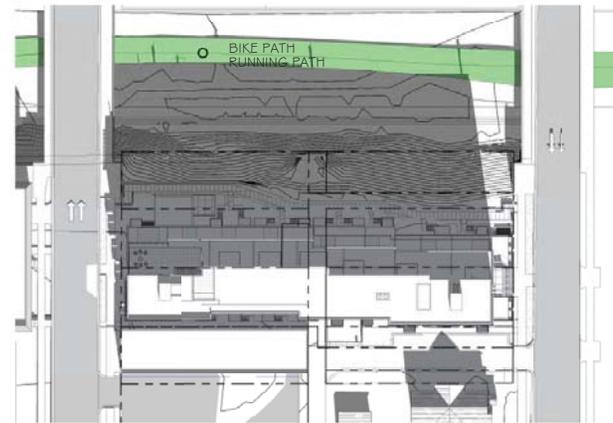
① OCTOBER 28TH @ NOON (BIKE SHADOW PERIOD BEGINS)
SCALE 1" = 40'-0"



② OCTOBER 22ND @ NOON (PREVIOUS DESIGN BIKE SHADOW BEGAN)
SCALE 1" = 40'-0"



③ FEBRUARY 14TH @ NOON (BIKE SHADOW PERIOD ENDS)
SCALE 1" = 40'-0"



④ CURRENT PLAN FEBRUARY 19TH @ NOON (PREVIOUS DESIGN BIKE SHADOW ENDED)
SCALE 1" = 40'-0"



Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA



Shadow Study - Greenway -- 17



03/17/2016



AERIAL LOOKING SOUTHWEST



Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Aerial Context A -- 18

03/17/2016





① HARRIET AVE. VIEW - A
SCALE



② HARRIET AVE. VIEW - B
SCALE



③ GRAND AVE. VIEW - A
SCALE



④ GRAND AVE. VIEW - B
SCALE



Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA





① GRAND AVE BRIDGE PERSPECTIVE
SCALE



② GREENWAY PATH PERSPECTIVE
SCALE



PROPOSED
GREENWAY HILL
SEEDING



Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA





1 WALK ENTRANCE - EAST 1
SCALE



2 WALK ENTRANCE - EAST 2
SCALE



3 WALK ENTRANCE - EAST 3
SCALE



4 WALK ENTRANCE - WEST 1
SCALE



5 WALK ENTRANCE - WEST 2
SCALE



6 WALK ENTRANCE - WEST 3
SCALE



Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Walkway Entrances * -- 21

03/17/2016





Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA



Dan Pellinen

From: Robb Miller <rmiller@temillerdevelopment.com>
Sent: Friday, February 05, 2016 4:21 PM
To: lisa.bender@minneapolismn.gov
Cc: Robb Miller; Curt Gunsbury (curt@solhem.com)
Subject: Land Use Application for 2905 Harriet - 111 Unit Apartment Project
Attachments: 2905 Land Use Description 2 05 16 EJ.PDF

Dear Council Member Bender,

As previously discussed, we are submitting a land use application to the City of Minneapolis for development of a 111 unit apartment project at 2905 Harriet Avenue.

We anticipate a public hearing with the City Planning Commission in mid-March.

Please see our attached land use description and let us know if you have any questions.

Thanks,
Robb and Curt

Robert T. Miller | Vice President | **TE Miller Development, LLC**
300 Prairie Center Drive, Suite 245 | Eden Prairie, MN 55344 | p 952-345-7857 | m 612-868-7501 | fax 952-345-8065 | rmiller@temillerdevelopment.com

Dan Pellinen

From: Robb Miller <rmiller@temillerdevelopment.com>
Sent: Friday, February 05, 2016 4:24 PM
To: Ricardo@whittieralliance.org
Cc: Robb Miller; Curt Gunsbury (curt@solhem.com)
Subject: Land Use Application for 2905 Harriet - 111 Unit Apartment Project
Attachments: 2905 Land Use Description 2 05 16 EJ.PDF

Hello Ricardo,

I am writing to inform you that we are submitting a land use application to the City of Minneapolis for development of a 111 unit apartment project at 2905 Harriet Avenue.

We anticipate a public hearing with the City Planning Commission in mid-March.

Please see our attached land use description and let us know if you have any questions.

See you Monday!

Thanks,
Robb and Curt

Robert T. Miller | Vice President | **TE Miller Development, LLC**
300 Prairie Center Drive, Suite 245 | Eden Prairie, MN 55344 | p 952-345-7857 | m 612-868-7501 | fax 952-345-8065 | rmiller@temillerdevelopment.com



March 7, 2016

Councilmember Lisa Bender
Minneapolis City Hall
350 South 5th Street, Room 307
Minneapolis, MN 55415

Dear Lisa,

I am writing to inform you of the action taken by the Whittier Alliance Board at its February 25, 2016, meeting regarding the Planning Commission hearing scheduled for regarding the 2905 Harriet Avenue development.

Motion: The Whittier Alliance Board of Directors supports that the lots in question at 2905 Harriet Ave S, 2903 Harriet Ave S, 2907 Harriet Ave S, 2911 Harriet Ave S, 2900 Grand Ave S, 2904 Grand Ave S, 2910 Grand Ave S and 2912 Grand Ave S be rezoned from I1, R3 and R2B to R5 multi-family residential – on the condition that if any of the houses on the site are in habitable condition they be relocated at the expense of the developer to a suitable vacant lot in the Whittier neighborhood. **Motion Carried.**

Motion: The Whittier Alliance Board of Directors supports the Conditional Use Permit to increase maximum height from the required 4 stories/56 feet to 6 stories/74 feet on the condition that the pedestrian walkway is not gated – in accordance with the Whittier Alliance design guidelines and the wishes of the Midtown Greenway – and that the adjacent property owners and the Greenway are not shaded for more than 109 days per year. **Motion Carried.**

The 2905 Harriet development will be a significant one for the Whittier neighborhood and the board members discussed it at length. The developers contacted the Midtown Greenway at the same time as they contacted the Whittier Alliance – very late in the process – and many of the residents of neighboring properties only learned about it from our communications to the neighborhood. The board reiterated that it is much more desirable for the neighborhood to be notified and involved with the development process before formal planning documents are submitted to the City.

Board members had concerns about the shading of the Greenway and the fate of the house remaining on the site. The board also strongly concurs with the Midtown Greenway and nearby residents that the pedestrian pathway adjacent to the Greenway should not be gated, night or day. The developers are requesting numerous variances from the City and contributing a genuine public access walkway would be a gesture of good faith to the neighborhood. If a fobbed access gate is installed, the neighborhood has no guarantee it will not be closed at all times. Other property owners south of the Greenway have expressed willingness to cooperate in the creation of a pedestrian thoroughfare.

Sincerely,

A handwritten signature in black ink, appearing to read "Ricardo McCurley".

Ricardo McCurley
Executive Director

Cc: Lisa Steiner, Senior City Planner, City of Minneapolis
Curt Gunsbury, Owner, Solheim Companies
Soren Jensen, Executive Director, Midtown Greenway Coalition

2834 10th Avenue South
Greenway Level, Suite 2
Minneapolis, MN 55407
Phone: 612-879-0103
Fax: 612-879-0104



March 15, 2016

Lisa Steiner
Senior City Planner – Land Use, Design and Preservation
City of Minneapolis – Community Planning and Economic Development
250 South Fourth Street – Room 300
Minneapolis, MN 55415

Dear Ms. Steiner:

The Midtown Greenway Coalition would like to submit this letter regarding the proposed Harriet Avenue Apartments at 2905 Harriet Avenue South. We have met with the developer and reviewed the project plans. However, we were asked to review the project design very late in the process, and earlier designs were never shared with us. We hope that future projects are shared with us much earlier in the process.

The variance request to increase the maximum allowable height is of concern to us, due to the extensive shadowing this will create on the Greenway. However, we appreciate that steps have been taken to mitigate shadowing, by moving the project toward the back of the property (away from the Greenway) and stepping the upper-levels back. We also appreciate that the building design helps to increase “eyes on the Greenway” by proposing a glass structure/exercise room, balconies, and a rooftop patio.

In addition, we were pleased to see a proposed public walkway along the Greenway’s edge. However, we were dismayed to learn that the developer plans to shut the walkway down at night. This would be the opposite of having “eyes on the Greenway” and could make the project more attractive to criminals, who could easily go around the gates. (Unfortunately, the developer has thus far rejected our suggestion to use gates at the walkways going up to the units instead.)

It has been suggested that perhaps the walkway gates could stay open at night, as a test. However, even when opened, we believe the gates and the landscaping (rocks) will create a perception of a private walkway. This is not in alignment with our vision for public promenades along the Greenway, and counter to the many public promenades along the corridor that have already been constructed.

The developer has also expressed support for connecting the project to the 29th Street woonerf in the future; however, the proposed walkway appears to be too narrow to support such a connection.

Accordingly, the Midtown Greenway Coalition conditions our support for the Harriet Avenue Apartments project upon keeping the walkway open to the public 24/7; the removal of the proposed gates and landscaping (including rocks) that could make the walkway appear to be private; and the expansion of the width of the walkway to at least 8 feet, to better connect to the 29th street woonerf in the future.

Sincerely,

A handwritten signature in black ink, appearing to read "Soren R. Jensen".

Soren R. Jensen
Executive Director, Midtown Greenway Coalition

cc: Lisa Bender, Minneapolis City Council Member
Ricardo McCurley, Executive Director of the Whittier Alliance

MIDTOWNGREENWAY.ORG

PHILLIPS WEST MIDTOWN PHILLIPS
LOVE OUR PATHWAYS

WEST CALHOUN

CEDAR ISLES DEAN

EAST ISLES

EAST CALH

CARAG

LOWRY HILL EAST

WHITTIER LYNDAL CANDO

PROSPECT PARK

LONGFELLOW

SEWARD

EAST PHILLIPS

CORCORAN

POWDERHORN