

HERITAGE PRESERVATION APPLICATION SUMMARY

Property Location: 515 Washington Avenue North
Project Name: The Maytag Building
Prepared By: Lisa Steiner, Senior City Planner, (612) 673-3950
Applicant: AWH Architects
Project Contact: Alex Haecker
Ward: 3
Neighborhood: North Loop
Request: To construct a stairway addition and rehabilitate the existing building for use as offices and a retail/restaurant at the ground level.

Required Applications:

Certificate of Appropriateness	To allow exterior modifications and the construction of a stairway addition.
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HISTORIC PROPERTY INFORMATION

Current Name	Gardner Hardware
Historic Name	Maytag Co.
Historic Address	513-517 Washington Ave N
Original Construction Date	1916
Original Architect	C.A. Boehme
Original Builder	Jas. H. Brown Co.
Original Engineer	Unknown
Historic Use	Appliance sales & warehouse
Current Use	Vacant (Formerly Gardner Hardware store from 1960 - 2015)
Proposed Use	Offices and Retail/Restaurant

Date Application Deemed Complete	December 28, 2015	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	February 26, 2016	End of 120-Day Decision Period	Not applicable

CLASSIFICATION

Local Historic District	Minneapolis Warehouse Historic District
Period of Significance	1865 - 1930
Criteria of Significance	<p><i>Criteria 1:</i> The property is associated with significant events or with periods that exemplify broad patterns of cultural, political, economic or social history.</p> <p><i>Criteria 4:</i> The property embodies the distinctive characteristics of an architectural or engineering type or style, or method of construction.</p> <p><i>Criteria 6:</i> The property exemplifies works of master builders, engineers, designers, artists, craftsmen or architects.</p>
Date of Local Designation	2009
Date of National Register Listing	1989
Applicable Design Guidelines	<u><i>Minneapolis Warehouse District Design Guidelines (2010)</i></u>

SUMMARY

BACKGROUND. The Maytag Company warehouse is a four-story brick and reinforced concrete building that was constructed in 1916. The building has classical proportions with pilaster columns, a formal entry with a stylized pediment, and a small projecting cornice. The front façade of the building features a golden brown glazed brick which achieves a polychromatic effect as well as geometric ornamentation on the pilaster columns and a rectangular design on recessed panels. The property also includes a surface parking lot located south of the building.

The building was designed by Christopher Boehme, who designed several buildings in the Minneapolis Warehouse Historic District. The building was originally constructed for the Maytag Company as a warehouse and sales showroom. The Maytag Company was founded in Iowa in 1894. Though the company was originally a farm implement manufacturer, Maytag started producing washing machines in the early twentieth century. The building at 515 Washington Avenue North in Minneapolis served as the company's northwest branch until 1960, when Gardner Hardware purchased the building.

The building was designated in the National Register of Historic Places as part of the Warehouse Historic District in 1989, although it had not been included as part of the original local Warehouse Historic District designated in 1978. When the local Warehouse Historic District boundaries were expanded to better align with the National Register boundaries in 2009, the subject building became locally designated.

APPLICANT'S PROPOSAL. The applicant is proposing to rehabilitate the exterior of the building; interior renovations are also planned to take place but those interior changes are not reviewed by the Heritage Preservation Commission. Proposed exterior modifications include:

Exterior Masonry Repairs: The front façade of the building is clad in decorative glazed brick. The three secondary elevations of the building are exposed reinforced concrete framed with Chaska brick masonry. The applicant is proposing to tuckpoint approximately 20 percent of the masonry area (9,350 square feet) on the building, including 100 percent tuckpointing on the north façade which has been covered in vines for many years. The exposed reinforced concrete frame is in poor to fair condition

with many areas of delamination, deterioration, and exposed reinforcement steel. About 375 square feet of exposed steel would be cleaned and coated with a rust-inhibiting coating.

Stairway Addition: The existing building currently has only one means of egress from each level. In order to meet today's building code exiting requirements, the applicant is proposing to construct a stairway addition to create a second means of egress. This addition would have an approximately 200 square foot footprint and would be located on the south elevation approximately 25 feet from the front façade of the building. The stairway addition would be primarily clad with zinc metal panel with glass located where the addition meets the original building. The addition would also require the removal of some historic masonry at each level to accommodate entry doors.

Windows: With the exception of two windows, the applicant is proposing to retain and restore all existing historic windows on all elevations of the building. The two historic windows that would be removed are located where the proposed stairway addition would be constructed.

On the front façade, the scope for restoration of the existing wood windows includes:

- Scraping and repainting wood components, recaulking joints, repairing and/or replacing wood components in kind as needed
- Repairing and/or replacing sash cords, weights and pullies as needed
- Removing non-historic interior storms, hardware and associated components

On the north, south, and west facades of the building, the typical scope of restoration for the existing steel windows includes:

- Removing all glass units and glazing compound
- Removing rust and flaking from steel components, replacing and/or repairing as required
- Priming, painting, and installing new single pane clear glass units
- Repairing masonry surrounds and caulking with elastomeric caulk
- Cleaning, lubricating, and/or repairing hinges and moving parts
- Removing non-historic components

On the south and west elevations, existing non-historic windows would be replaced with metal frame windows. Where historic window openings have been infilled with concrete masonry units on the south and west elevations, the original openings would be restored. The three loading bay openings at the first level facing the alley would be replaced with new aluminum and glass garage doors.

Entryway Alterations: On the front of the building, the original entry doors would be restored. On the south elevation near the alley, the existing loading dock would be modified to allow for an ADA-accessible entry. The existing garage door would be replaced with a glass storefront system and new door. Existing stairs would be removed and new stairs and a ramp would be constructed.

Signs: The two "Gardner Hardware" metal signs on the front façade of the building would be removed. The applicant intends to restore a historic "The Maytag Co." sign which is extant but currently obscured by the Gardner Hardware sign. The two large painted signs on the south and north elevations would be repainted with signs displaying the future tenant names of the building.

Roof Deck: The applicant is proposing to construct an approximately 2,900 square foot roof deck, accessed by an existing rooftop penthouse. The roof deck would be set back two structural bays from the front façade. The applicant intends to utilize the existing parapet on the north and south elevations

of the building as the code-required railing; however if this is not sufficient, a railing would need to be added to the parapet.

PUBLIC COMMENTS. No comments had been received as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

ANALYSIS

CERTIFICATE OF APPROPRIATENESS

The Department of Community Planning and Economic Development has analyzed the application to allow exterior modifications and the construction of a stairway addition based on the following findings:

1. *The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

The Minneapolis Warehouse Historic District is historically significant as an early example of commercial growth as the city's warehouse and wholesaling district. The district expanded during the late nineteenth and early twentieth centuries and helped transform Minneapolis into a major distribution and jobbing center. The buildings, structures, and industrial landscape of the Warehouse District reflect the genesis and evolution of these industries. The district is also architecturally significant for its remarkably intact concentration of commercial buildings designed by the city's leading architects which demonstrate every major architectural style from the late nineteenth to early twentieth century. The period of significance for the district is identified as 1865 through 1930.

With the submittal of a more detailed masonry plan complying with the adopted design guidelines, the proposed masonry repairs would be limited in scope and would address maintenance issues, thereby helping ensure the longevity of the building and its ability to convey its significance for decades to come. The applicant is proposing to retain and repair all historic windows with the exception of two windows on the south elevation. The historic entryway and "Maytag Co" sign would be restored on the front façade. A loading dock, which does not date from the period of significance, would be altered to allow for an ADA-accessible entry into the building. With the recommended conditions of approval, the alterations proposed would be compatible with and continue to support the criteria and period of significance of the Minneapolis Warehouse Historic District.

2. *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The subject building was constructed in 1916 and shares many of the typical design features of twentieth century warehouses in the area. These buildings were large rectilinear boxes built for warehousing and manufacturing that were designed for an industrial purpose, though the wealth generated by the businesses and industries that built these buildings often afforded the architects who designed these boxy buildings to embellish their buildings with ornate details. The alterations proposed will retain the character-defining features of the building and masonry rehabilitation will address maintenance issues to ensure the long-term viability of the building. The historic entryway will be restored and utilized as the main entrance to the first floor use of the building.

3. *The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.*

Integrity is the ability of a property to convey its significance. With the recommended conditions of approval, staff finds that the proposal will ensure the continued integrity of the subject building within the Minneapolis Warehouse Historic District. The proposal will not impact the location or setting of the building. Character-defining features will be preserved. The proposed stairway addition will be simple in design and will be differentiated from the historic building by utilizing contemporary materials. Original workmanship will remain evident. In all, the feeling of the building and its association with its historic use as the Maytag showroom and warehouse will remain.

4. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The *Warehouse Historic District Design Guidelines* were adopted in 2010. The following design guidelines for existing buildings are applicable to the proposal:

Streets

Requirement

- 1.11. Loading docks and canopies dating from the period of significance shall be preserved and retained.

Staff Comment

Because the existing alley is the location of a historic rail spur, it is likely that loading took place directly from the back of the building during the period of significance. The newer angled loading dock at the westernmost bay of the south elevation was probably added to accommodate truck deliveries towards the back of the building when rail access was no longer utilized. This loading dock does not date from the period of significance and is proposed to be altered to accommodate an ADA-accessible entrance. This meets the above requirement.

General Guidance

Requirement

- 2.1. Character defining features such as loading docks, water towers, fire escapes and chimneys shall be preserved.
- 2.2. Distinctive architectural features shall be preserved.
- 2.4. A building's original pedestrian entrance shall remain and shall be used as the building's primary entrance.
- 2.5. Building entrances shall not be reoriented so that freight entrances and loading docks are used as primary building entrances.
- 2.6. ADA accessibility shall be made within the interior of the building using the existing primary building entrance.

- 2.9. Only replace features that are missing or proven beyond repair with the same kind of materials. Replacement with a substitute material will be considered if the form and design of the substitute material is proven durable and conveys the visual appearance of the original material.
- 2.10. Original or historically significant painted signs (ghost signs) on the sides of building shall be retained.

Staff Comment

The character defining features and distinctive architectural features of the building would be retained. The applicant is proposing to replace only non-historic materials on the building. Where the stairway addition would be constructed, some historic masonry would be removed to accommodate doors at each level. Staff would encourage the applicant to reuse any undamaged brick that is removed for rehabilitation of masonry elsewhere on the building.

The building's original pedestrian entrance would remain along Washington Avenue North. Due to the design of this entry, ADA accessibility would not be possible without exterior modifications to the front façade of the building. The applicant is proposing a second entrance at the westernmost bay of the south elevation which would be modified for ADA accessibility. It is intended that this entrance would become the main entrance for the office tenants on floors 2-4. Staff finds that this meets the intent of the guidelines as the front entrance would still be regularly utilized for the first floor tenants.

There are many visible ghost signs on the building including two "Seaman Paper Co" signs on the rear elevation (probably an original tenant of the building before Maytag utilized the entire building), portions of two Maytag signs including "The Maytag Co..." on the south elevation, and "...G Company" on the north elevation which is also obscured by a newer painted sign. The applicant intends to preserve the ghost signs "to the extent possible." Staff would recommend that a plan for the preservation of the existing ghost signs be submitted with a masonry plan as noted in the section below.

Façade Materials

Requirement

- 2.11. Water proofing and water repellent coatings shall not be used unless there is evidence of past water retention.
- 2.12. Abrasive cleaning techniques, such as sandblasting, soda blasting, or high-pressure water wash shall not be used under any circumstances.
- 2.13. Façade cleaning methods that are considered to be gentle, non-abrasive methods such as a low pressure (100 psi or less) water wash shall be used.
- 2.14. Painting of currently painted masonry facades is allowed.
- 2.15. Painting of unpainted masonry facades shall not be allowed.
- 2.16. Mortar joints shall only be repointed where there is evidence of a moisture problem or when a substantial amount of the mortar is missing.

- 2.17. Mortar joints shall be cleared with hand tools. The use of electric saws and hammers to remove mortar can seriously damage the adjacent brick and are inappropriate.
- 2.18. Replacement mortar shall duplicate the original mortar's composition, color, texture, joint width, and joint profile.
- 2.19. When patching an area of historic brick wall, the new brick and mortar shall match the original brick and mortar in material, color, profile, dimension, and texture.

Other Considerations

- 2.20. Chemical cleaning will be considered only in consultation with CPED. Consultation includes an agreement on the area to test the treatment, reviewing the results, and developing an agreed upon process to complete the cleaning.

Staff Comment

The applicant has stated that all masonry work will be completed to follow the above guidelines. Tuckpointing would be completed on 20% of the masonry exterior of the building. Any replacement bricks or sills would be replaced with units matching the existing. Because the application submitted did not provide a specific masonry plan, staff recommends a condition of approval that the applicant submit a detailed masonry plan demonstrating that the scope complies with the requirements above prior to building permit approval.

Fenestration – Windows: Windows are an important character defining feature of existing buildings. Original windows can often be repaired instead of being replaced. Simple modifications, that are sensitive to the original fabric, can often be made to improve their thermal capacity.

Requirement:

- 2.21. Original and historically significant windows shall be retained and repaired.
- 2.22. All decorative trim around the windows shall be retained, including lintels, pediments, moldings or hoods and if replacements are proven necessary, the original profile shall be replicated.
- 2.23. Clear transparent glass shall be used to replace missing panes or in full window replacement unless historical documentations show other treatments. Low emission coatings will be considered if they are not reflective or tinted.
- 2.24. Windows on primary facades shall not be removed or blocked to install air conditioning, mechanical equipment, louvers, or for any other reason.
- 2.25. New or expanded window openings on primary facades are not allowed, unless it is to restore an historical window opening and evidence is provided to support the opening.

Other Considerations:

- 2.26. New window openings on secondary facades will be considered.

- 2.27. Replacement windows will be considered if evidence is provided that significant numbers of the historical or original windows have been previously removed. A survey of the existing windows is required to document their condition and type.
- 2.28. Replacement windows will be considered if evidence is provided that original or historically significant windows cannot be feasibly repaired. A survey of the existing windows is required to document their condition and type.
- 2.29. When considering the replacement of historically significant windows, new windows shall be compatible in material, type, style, operation, sashes, size of lights and number of panes of the existing windows in that location.
- 2.30. True divided lights are required when replacing a divided light window.
- 2.31. Where true divisions are not possible, applied muntins, with an interstitial spacer will be considered. Applied muntins shall be installed on both sides of the glass.
- 2.32. Internal muntins, sandwiched between two layers of glass, alone are not allowed.
- 2.33. Replacement windows shall be finished with a painted enamel finish. Anodized or other unfinished treatments are not allowed.

Staff Comment

The proposal complies with the guidelines for windows. The applicant has completed a window survey of all of the existing windows. Most of the historic windows are in fair or good condition. With the exception of two windows, all existing historic windows would be restored. The two windows proposed to be replaced are noted to be in “fair” condition. Because the two windows that are proposed to be removed were noted to be in fair condition, staff would encourage the applicant to attempt to utilize parts of these windows to assist in repair of other identical windows that are proposed to be restored.

Non-historic windows on the west elevation of the building would be replaced with steel windows replicating the design features of the adjacent remaining historic windows. These replacement windows would have true divided lights and would be compatible in material, type, style, operation, sashes, size of lights, and number of panes as the similar historic windows. Historic window openings on secondary facades that have been infilled with concrete masonry units would be reopened to their original dimensions.

On the south elevation, ten non-historic windows are proposed to be removed and replaced with two-over-two divided light metal frame windows. While this introduces a different design, staff finds that this would still be compatible with the overall design of the historic windows on the building. Only ten non-historic windows would be replaced with this newer design. There are no identically sized window openings on the building, so it is possible that these are not historic window openings, which supports providing flexibility with their design.

Fenestration – Entryways

Requirement:

- 2.34. Original or historically significant entryways and doorway configurations shall be retained.
- 2.35. Original or historic features of the entryway and storefront including trim and other architectural features shall be retained.
- 2.37. Original loading dock doors, which were typically overhead or sliding, shall be maintained when feasible. Filling the opening with glass or another treatment that preserves the wall opening will be considered.
- 2.39. ADA accessibility shall be accommodated within the interior of the building using the existing primary entrance. If this is proven infeasible then alternative entryways will be considered to allow for accessibility. Exterior ramping is not allowed on elevations facing a public street.

Staff Comment

The proposal complies with the above guidelines for entryways. The original entry doors and doorway configuration on Washington Avenue North would be restored. The original loading dock doors are not extant but the applicant is proposing to install new aluminum and glass garage doors at the rear of the building in the original openings. The applicant is also proposing to provide an ADA-accessible entrance at the location of the existing non-historic loading dock due to the historic condition of the front entry on Washington Avenue North, adapting that entrance would be infeasible without exterior ramping facing a public street.

Loading Docks: Loading docks are an important character defining feature of the district. Their existence reflects the industrial heritage of the district. The location and dimensions of loading docks, whether on streets or in alleys, must be retained. It is not appropriate to remove, lower, or narrow them.

Loading areas that are integrated into the rear of the building are common along rail spurs and rail yards. These features were created to accommodate to and from freight rail cars. These are important character defining features and reflect the interdependence of the railroad and warehouse and manufacturing industries within the district.

Requirement:

- 2.56. Loading docks and their associated canopies shall be preserved. Their location, height, width, and length shall be retained.

Staff Comment

Because the existing alley is the location of a historic rail spur, it is likely that loading took place directly from the back of the building during the period of significance. The newer angled loading dock at the westernmost bay of the south elevation was probably added to accommodate truck deliveries towards the back of the building when rail access was no longer utilized. This loading dock does not date from the period of significance and is

proposed to be altered to accommodate an ADA-accessible entrance. The proposed modifications will preserve most of the non-historic loading dock. Considering that the loading dock does not date from the period of significance, the proposal meets the above requirement.

Roofs & Parapets:

Requirement:

- 2.63. Rooftop decks and equipment including HVAC, wind or solar power equipment that projects above the roofline shall be set back from the primary building elevation(s) one structural bay. They shall not be visible from the street. More visible locations will be considered if evidence is provided of structural load needs.

Staff Comment

The applicant is proposing to construct an approximately 2,900 square foot roof deck on the top of the building, accessed by an existing rooftop penthouse. The roof deck would be set back two structural bays from the primary building elevation. The applicant intends to utilize the existing parapet on the north and south (secondary) elevations of the building as the code-required railing; however if this is not sufficient in terms of height and force resistance, a railing would need to be added. This potential railing would likely be visible from the street. Staff recommends a condition of approval that the applicant work with CPED staff for approval of a railing design that is only minimally visible from the right of way if necessary.

The applicant is proposing several new rooftop HVAC units. All units would be located at the rear of the building near the existing elevator penthouse and would not be visible from Washington Avenue North. This complies with the above guideline. Staff would also note that the zoning code requires screening of mechanical equipment so these units will need to be screened to meet zoning requirements.

Building Additions to the Side & Rear of Existing Buildings:

Requirement:

- 2.72. Additions shall not be located on character defining facades of the front, rear, or sides of a property.
- 2.73. New additions shall be limited in the size to preserve the relationship with the existing building. The new addition shall not exceed the height, width, or depth of the existing building.
- 2.74. New additions built along the public right-of-way shall be treated as new construction and shall comply with Part III of this document, Design Guidelines for New Buildings on Infill Sites.

Other Considerations:

- 2.75. Additions to non-character defining facades will be considered on a case by case basis

Staff Comment

The proposed stairway addition would be located on a non-character defining façade. The addition is limited in size to preserve the relationship with the existing building and is subordinate to the width and depth of the existing building. It is set back approximately 25 feet from the front façade of the building and the public right-of way of Washington Avenue North. The addition is taller than the majority of the building due to the requirement for a second means of egress from the roof deck. There is an existing historic penthouse on the roof which exceeds the proposed height of the stairway addition, so the stairway does not exceed the height of the overall building. Staff finds that the proposed addition meets the requirements above.

Accessory Structures

Requirement:

- 2.76. Accessory structures including but not limited to storage buildings and dumpster enclosures shall not be visible from the public right of way and shall not obscure the building's features.
- 2.77. Accessory structures shall be compatible to the primary building or structure. Such compatibility shall be determined by architectural style, colors, materials and finishes.

Staff Comment

The applicant is proposing to construct a trash enclosure at the southwest corner of the site. The enclosure does not obscure any of the building's features. The applicant has not identified the materials of the trash enclosure, so staff recommends a condition of approval that the accessory structure be designed compatibly with the building in terms of style, colors, materials, and finishes.

The *Design Guidelines for On-Premise Signs and Awnings* were adopted in 2003. Signs that do not meet the design guidelines require certificate of appropriateness approval. The following guidelines apply to this proposal:

Wall Signs:

Location. Wall signs should be located between the first and second floor and should not be higher than fourteen (14) feet, except where the historic sign band is higher. Wall signs should not conceal architectural features or obstruct openings.

Size. Wall signs should be no more than two (2) feet high and thirty-two (32) square feet in area and should not extend outward from the building more than eight (8) inches.

Materials. Wall signs may be constructed of wood, metal, painted fiberglass or painted plastic.

Installation. Wall signs should be attached to the building through the mortar joints. If illuminated, a wall sign should be placed adjacent to or over a permanent mounting plate for electrification. Electrical conduit and lighting fixtures should be attached to the top of the wall sign, and should not be attached to the building. Wall signs should not be painted directly on the surface of the building, except as part of the maintenance or restoration of an existing historic sign.

Staff Comment

The applicant is proposing to paint over the two existing painted “Gardner Hardware” signs on the north and south façades of the building and display a new sign with “The Maytag Co” and the tenant names for the building. These new painted signs would not comply with the location, size, materials, or installation guidelines noted above. However, considering that the painted signs are already existing, staff finds that repainting them to display the new name of the building and the tenant names is reasonable. *Façade Material Guideline 2.14* states that painting of masonry facades that are already painted is allowable. As shown in the 1954 photo in the appendix, painted signs have been present in this location throughout the building’s history. Removing the many layers of painted signs would be more likely to damage masonry.

5. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

The following standards apply to this proposal:

- A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The building was originally built for the Maytag Company and served as the showroom and warehouse for the company until 1960. The building was utilized as a hardware store between 1960 and 2015. The applicant’s proposal to convert the building to a mixed use building with office space on the upper levels and a retail/restaurant use on the ground floor will require only minimal changes to the defining characteristics of the building and its site and environment.

Historic features that characterize the property, such as the detailed front façade masonry ornamentation and original formal entry and pediment will be retained and preserved. Only non-historic materials are proposed to be replaced.

The proposed stairway addition requires the removal of two historic windows and some masonry to allow for new openings at each level. All other historic windows will be retained and the rest of the masonry will be rehabilitated to ensure its longevity. Although the addition may not be entirely

reversible as portions of the exterior walls would be removed and two windows would be removed, the essential form and integrity of the property would not be impacted as the addition is located on a non-character defining façade and is over 25 feet from the front façade of the building. The location of the addition is dictated by today's building code exiting requirements. Masonry and window removal would be required regardless of the location of the addition. The proposed addition would be primarily glass where it meets the historic building which would allow the original masonry wall to remain visible. Staff would encourage the applicant to reuse any undamaged brick that is removed and the windows removed for rehabilitation of masonry and windows elsewhere on the building. Considering all of the above factors, staff finds that the alterations proposed are compatible with and will ensure the continued integrity of the existing building within the Minneapolis Warehouse Historic District.

6. *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

The certificate of appropriateness would comply with all applicable regulations of the preservation ordinance and is consistent with the following applicable policies of the comprehensive plan:

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

- 8.1.1 Protect historic resources from modifications that are not sensitive to their historic significance.
- 8.1.2 Require new construction in historic districts to be compatible with the historic fabric.

Heritage Preservation Policy 8.10: Promote the benefits of preservation as an economic development tool and a method to achieve greater environmental sustainability and city vitality.

- 8.10.5 Prioritize the reuse of the city's historic buildings as a strategy for sustainable development.

7. *Destruction of any property. Before approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection, the commission shall make findings that the destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.*

No aspects of the proposal constitute destruction.

Before approving a Certificate of Appropriateness, and based upon the evidence presented in each application submitted, the Commission shall make findings that alterations are proposed in a manner that demonstrates that the Applicant has made adequate consideration of the following documents and regulations:

8. *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

Evidence presented in the application submitted and the alterations proposed demonstrate that the applicant has made adequate consideration of the description and statement of significance of the Minneapolis Warehouse Historic District and the contribution of this building to the significance of the district.

9. *Where applicable, adequate consideration of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

The alterations proposed do not trigger Site Plan Review.

10. *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

The application submitted presents evidence that the applicant has adequately considered the applicable guidelines from the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

Before approving a Certificate of Appropriateness that involves alterations to a property within an historic district, the Commission shall make findings based upon, but not limited to, the following:

11. *The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.*

With the recommended conditions of approval, the proposed alterations are compatible with and will ensure continued significance and integrity of all contributing properties in the Minneapolis Warehouse Historic District based on the period of significance of 1865 to 1930. See findings 1-4 for more detailed analysis.

12. *Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.*

With the recommended conditions of approval, granting the certificate of appropriateness will be in keeping with the spirit and intent of the preservation ordinance and will not negatively alter the essential character of the district.

13. *The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.*

With the recommended conditions of approval, the certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district. It will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt staff findings for the application by AWH Architects for the property located at 515 Washington Avenue North in the Warehouse Historic District:

A. Certificate of Appropriateness.

Recommended motion: **Approve** the certificate of appropriateness to allow exterior modifications and the construction of a stairway addition, subject to the following conditions:

1. CPED staff shall review and approve the final plans before building permits may be issued.
2. The applicant shall submit a detailed masonry plan demonstrating that the scope complies with the façade material requirements in the *Warehouse Historic District Design Guidelines* prior to building permit approval. This shall include a plan for the preservation of the remaining ghost signs.
3. The applicant shall work with CPED staff for approval of a railing design if utilizing the parapet in lieu of a railing along the secondary facades of the building is not possible.
4. The proposed accessory structure shall be designed to be compatible with the building in terms of style, colors, materials and finishes.
5. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than January 19, 2018.
6. By ordinance, all approvals granted in this certificate of appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this certificate of appropriateness and may result in termination of the approval.

ATTACHMENTS

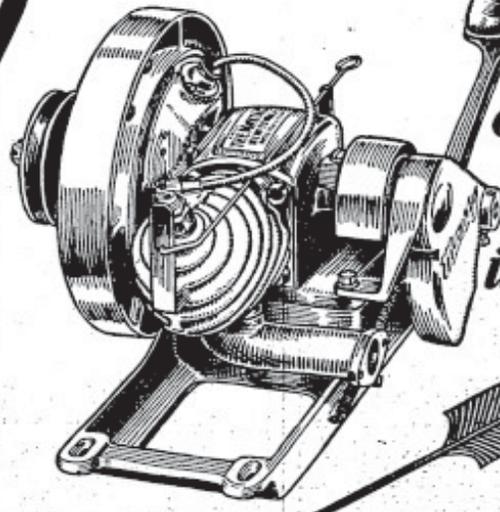
1. BZH Map
2. 1928 Maytag advertisement
3. 1954 and 1986 photos
4. Current photos
5. Written description and findings submitted by applicant
6. Plans
7. Building elevations
8. Window survey
9. Colored elevation
10. Steel window details
11. Correspondence

Modern Gasoline Power built into the famous **MAYTAG!**

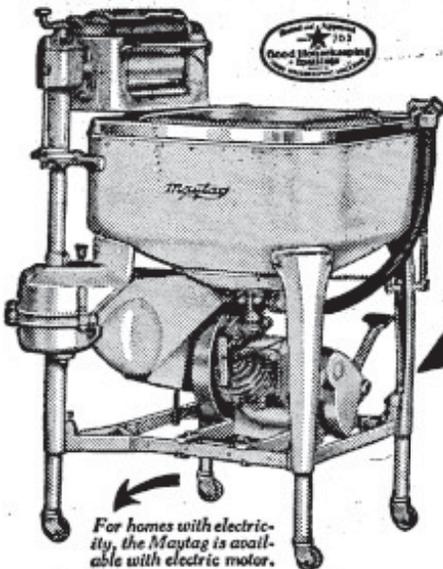
YOU, too, can have the washer that changes washday to washhour, the washer that washes everything clean without hand-rubbing, that washes by water action alone—the washer that won world leadership in 600 days. Choose your power—an electric motor or the Maytag Gasoline Multi-Motor. Either way you are assured of the same wonder-washing Maytag.

You are entitled to this time and labor-saving Maytag. It is just as much an economy as the farm engine or tractor, the feed grinder or thresher. The time saved can be spent with your children, with your garden or your chicks—in earning extra money.

The Maytag dealer will divide the payments to suit your convenience, and then your washday problem will be solved for a lifetime. The Maytag is practically all metal. The precision-cut steel gears give it astonishing smoothness, remarkable absence of vibration. The neat, compact design and durable lacquer finish give it a pleasing appearance.



"Step on it" and Away it goes!



For homes with electricity, the Maytag is available with electric motor.

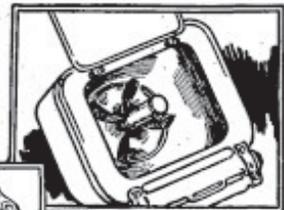
As Compact As An Electric Motor

Four bolts fasten the Gasoline Multi-Motor to the Maytag—the same four bolts that hold the electric motor to the Maytag, and the Multi-Motor gives the same, sure, steady flow of power. All working parts are rugged and there are remarkably few of them. This unusually fine, modern engine represents 15 years

development. There are no belts to line up, the carburetor has but one adjustment, and is flood proof. High-grade bronze bearings are used throughout; starter and engine are combined in one unit. It is built for a woman to operate—as simple and dependable as an electric motor.

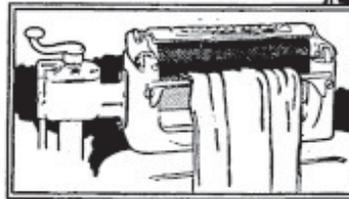
The Cast-Aluminum Tub

Thirty-six pounds of pure aluminum are used in the Maytag tub. Expensive yes, but not costly when built in Maytag's own foundry with a capacity of 2,000 a day. The Maytag tub is roomy, all washing space. It keeps the water hot for an entire washing, then empties and cleans itself. It will not rust, warp, dent, chip nor corrode.



The Soft-Roller Water Remover

This is the latest, safest, and most thorough method of removing the soap and water from the clothes, and it is exclusively owned and controlled by Maytag. The large soft-rolls hug every fold, lump and seam, removing both soap and water evenly from all parts of the garment without pressing in hard-to-iron wrinkles. Buttons go through unharmed. Practically every operation is automatic. The tension adjusts itself, for a thin handkerchief or a bulky blanket, the drainboard reverses itself and of equal importance is the new Safety Feed.



Deferred Payments You'll Never Miss

Free Trial Washing

The Maytag must sell itself to you before you invest a penny. Write or telephone the Maytag dealer near you. He is prepared to loan you a Maytag without cost or obligation. Do your next washing with a Maytag.

If it doesn't sell itself, don't keep it

Maytag Radio Programs

WHT, Chicago, Tues. Wed. Thurs. Fri. Sat. 9:00 P.M.
WCCO, Minneapolis, Fri. 8:30 P.M.
WHO, Des Moines, Sun. 7:15 P.M.
KDKA, Pittsburgh, Tues. and Wed. 10:00 P.M.
WBAP, Fort Worth, Mon. 8:30 P.M. **KEX**, Portland, Ore., Tues. and Sat. 8:30 P.M.
WBZ, Boston, Fri. 7:00 P.M.
Hours designated are standard time at the stations named

THE MAYTAG COMPANY, Newton, Iowa

Founded 1894

NORTHWESTERN BRANCH: 515 Washington Ave. North, MINNEAPOLIS, MINN.

The Maytag Co., Ltd., Winnipeg, Canada
Hot Point Electric Appliance Co., Ltd., London, England

Maytag Company of Australia—Sydney—Melbourne
John Chambers & Son, Ltd., Wellington, N. Z.

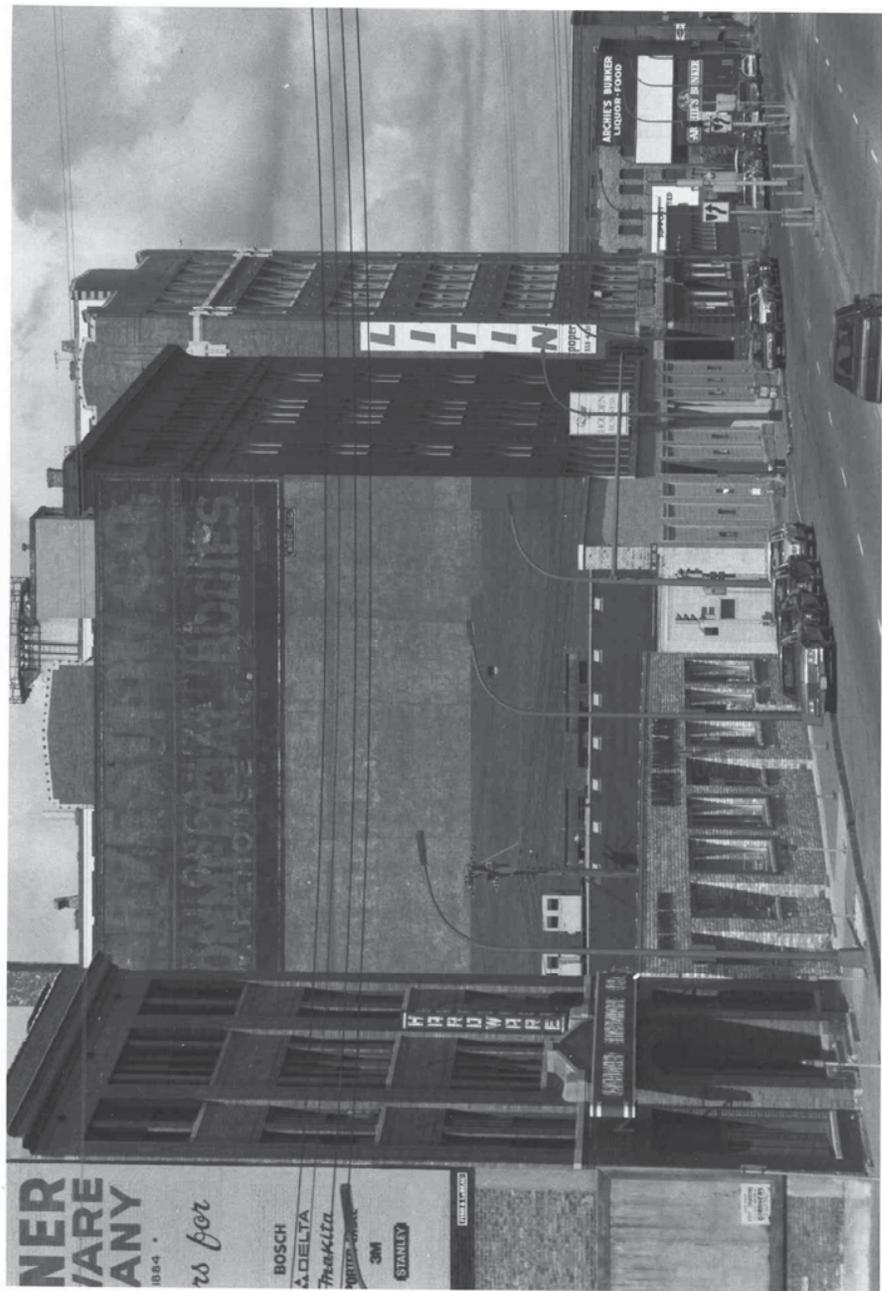
F-6-28

Maytag Aluminum Washer

515 Washington Ave N



1954 - Minnesota Historical Society





North Side of Building Elevation & East Front Side of Building Elevation



South Side of Building Elevation & East Front Side of Building Elevation



South Side of Building Elevation



North Side of Building Elevation & West Side of Building Elevation



West Side of Building Close Up



Lisa Steiner

City Planner – Land Use, Design and Preservation

City of Minneapolis – Community Planning and Economic Development

250 South Fourth Street – Room 300

Minneapolis, MN 55415

12/9/2015

Maytag Building (aka Gardner Hardware Building) – Certificate of Appropriateness

As part as our CofA application we submit the following:

Site Description and Background:

The building at 515 N Washington Ave is located mid-block, between North 5th and 6th avenues, in the heart of the Warehouse Historic District. Primarily, brick warehouses and industrial buildings surround the Maytag building. The lot to the South of the building is vacant and is currently used for parking. The Southeast corner fronts onto a loading dock, which was not constructed during the period of significance. The West of the building abuts the historic Great Northern rail spur corridor. To the Northeast is a covered bank drive through and to the Northwest is a parking lot for Sunrise Bank. The building was designed by Minneapolis architect Christopher A. Boehme, and erected in 1916, by the Maytag Company, in the classical Chicago School style. The symmetrical, main façade of light brown and orange glazed brick is divided into three bays over four stories. Secondary facades are applied masonry infill within a reinforced site-cast concrete frame. Several historic masonry openings and windows on the secondary facades have been replaced and/or filled in.

Proposed Changes:

The Applicant is applying for a Certificate of Appropriateness for the following:

- The building is proposed to be redeveloped into a Class B commercial mixed-use building with office tenants on floors 2-4 and retail/restaurant on the ground level and basement. As such, the project will be completed in phases. The first phase and the focus of this application is the Core and Shell redevelopment.
- Enlarge and install new openings on the ground level South façade for ADA and service entry.
- Removal of non-historic masonry infill, restoration of opening to original dimensions, and installation of appropriate replacement windows.
- Create new lobbies, corridors and public restrooms on five floors as part of core and shell redevelopment of the building into a Class B commercial mixed-use building.
- Repair and restoration of the exposed concrete frame on the secondary facades.
- Addition of a second means of egress stair and an ADA entrance and service entrance to the South façade.
- Original main entrance building signage to be uncovered located on the Washington Avenue North main façade and non-conforming sign on the South and North secondary facades will be reused.
- Updated mechanical, plumbing, and electrical base building systems.
- New elevator in the existing freight elevator core.



Status of Historic Tax Credit Review

We are currently working with the Minnesota State Historic Preservation Office on participating with the Historic Tax Credit process. As of the date of this letter we have submitted the Part I and Part II applications.

Regards,

A handwritten signature in black ink, appearing to be 'AH', with a long, sweeping underline that extends to the right.

Alex Haecker, AIA



12/23/2015

Certificate of Appropriateness Findings (Maytag Building)

Introduction and Overview:

The proposed alterations, and exterior restoration of the Maytag Building is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the Minneapolis Warehouse Historic District was designated (1865-1930). The Maytag Building was designed by Minneapolis architect Christopher A. Boehme and built by the Maytag Company in 1916. The design of the primary façade is in the classical Chicago School style with a symmetrical four-story three-bay applied masonry structure over reinforced concrete. The building is located inside of the historic Implement Row district, and was constructed during an era in which Minneapolis was the largest distributor of agricultural implements in the world. Originally constructed to serve as a showroom and warehouse for agricultural implements and farm machinery the building remains remarkably intact and without major alterations with the exception of the non-historic loading dock on the Southwest corner of the building, modified first-story bays flanking the entry, and a few instances of modified openings/windows on the secondary facades. The remainder of the exterior masonry, windows and doors openings remain intact and likely original, although in need of major repair. In recent times the first floor was occupied by Gardner Hardware. Incidentally, the Gardner family purchased the building from the Maytag Company in 1960 in order to provide a new location after vacating their Nicollet Ave location. Although the interior of the building is not designated itself, ground floor alterations of Gardner Hardware are minimal, maintaining the original “showroom” effect of the large first floor windows on Washington Avenue.

Rehabilitation work on the Maytag Building will be phased as tenants are secured. Phase one includes exterior improvements including masonry and window restoration and replacement, common area layout and improvements, the addition of a second means of egress stair, a new elevator and base building mechanical systems. The project proposes to largely restore all the wood windows on the primary facades of Washington Avenue North. On the secondary facades (North, South, and alley side) where a small percentage of the windows are missing the project proposes to replace into the historic size masonry opening metal framed window units with divided light. This approach, restored where possible and divided light replacements where historic windows are missing, will create historically similar divided light conditions on the interior while creating a distinction between the historic hot-rolled steel sashes and recently updated windows. The first floor has an arched main entry in the central bay, with large fixed wood storefront windows in the flanking bays and painted over transom prism glass block. The main entry will be restored and an additional ADA entrance will be added to the Southeast corner of the secondary façade.

The primary elevation facing Washington Avenue North achieves a polychromatic effect with glazed brick in dark red and light brown hues. Primary elevation proportions are classical, with

geometric ornamentation on the pilaster columns, a formal entry with a stylized pediment, and a small projecting cornice. The recessed spandrel panels feature a rectangular design. The building's three secondary elevations are utilitarian with exposed reinforced-concrete frame with Chaska brick masonry infill. The exposed concrete frame is in poor to fair condition with many areas of delamination, deterioration, and exposed reinforcement steel. The project proposes to both clean, repair, and repoint the masonry on the building to provide a weather tight envelope. **Specifically, the brick work includes 20% tuckpointing of the brick area on the building, with 100% tuckpointing behind the areas on the north aspect that have been covered by vine growth for years. Approximately 9,350 SF of tuckpointing. Exposed rebar in the concrete beams will be cleaned and coated with a rust inhibiting coating, epoxy paint will not be used. There will be approximately 375 SF of beam patching. There is an allowance for replacing caps in the roof coping. All work will be executed with a swing stage. All masonry work to follow the district guidelines 2.11-2.20.** No new masonry openings are proposed on the primary façade and all the exterior brick work, stone sills, mortar wash sills and all associated exterior masonry work is proposed to be fully restored. In some instances, stone sills, bricks, etc will need full replacement and will be replaced with a unit to match the existing. Most windows on the secondary elevations are historic and are proposed to be fully restored in place. A few of the historic steel sash windows that are in poor condition will be replaced with a steel window to emulate the historic configuration. All non-historic windows and infilled historic masonry openings will be removed and replaced with a metal window with insulated clear glass.

One modified opening is proposed on the south façade. The bay between A1-A2 has been modified outside the period of significance to accommodate a small, angled loading dock, with masonry infill removed and featuring a wood stud wall, overhead door, and man-sized door. Here the infill is proposed to be removed and replaced with an aluminum storefront window system with a double-door entrance. The loading dock will remain, and a new main entrance for building tenants on floors 2-4 will be built in this bay. The entrance will include an ADA ramp, stairs, and glass railings. On the alley side the three ground-level bays are original concrete frame with non-historic infill. All infill is proposed to be removed and replaced with overhead glass garage doors.

On the north and south walls there exists large faded "ghost" painted signs, likely from the period of significance. **Ghost signs from the period of significance will be preserved to the greatest extent possible. Tuck pointing and replacement of bricks will only be performed where there is evidence of a moisture problem or when a substantial amount of the mortar is missing.** A large, recently painted sign that obscures the last few letters of the ghost signs is proposed to be reused for building and tenant identification.

Over the existing main entry, a metal banner sign and marque are present that say "Gardner Hardware". Although these have become somewhat iconic in themselves they were not installed during the period of significance and are proposed to be removed to uncover and restore the historic "The Maytag Co" sign that is over the front door entry vestibule. **The original entry doors will be restored.**

As a part of the phase one core and shell redevelopment the renovations to the interior will be minimal. One non-historic shaft is proposed to be demolished and the historic site-cast concrete shaft is to remain. The modern freight elevator in the historic shaft will be replaced with a mechanical shaft to service the building, and a new passenger size elevator with the remaining

of the shaft to act as a light monitor to penetrate daylight into the core of the building while celebrating and making apparent to the building occupant or visitor the original use of this massive freight shaft which conveyed large scale equipment throughout the building. The existing non-historic restrooms are proposed to be removed. A new restroom core is proposed between bays A5-A6 and B2-B3. In general, new finishes and treatments will be clearly new as not to distract or confuse occupants from what is original historic components.

The project proposes to add a roof deck, but will be set back two structural bays on the Washington Avenue North side as per the district guidelines. It is believed that after renovation of the current roof the existing parapet will provide sufficient enclosure to the North and South sides of the roof. Additionally, the project proposes to add a secondary means of egress along the Southern façade. The stair will service the building as the required second means of egress for the proposed change of use to a B occupancy. The location was determined by code distances while also having minimal impact on the historic fabric. Where the proposed shaft meets the existing exposed concrete frame with masonry infill there will be a “light touch” of a simple, clean glass curtain wall system. Additionally, the shaft is located such that it will utilize existing window masonry openings within bay A5-A6 thereby minimizing the overall impact and ultimately being easily reversible.

Specific Certificate of Appropriateness Findings Justification

1) The team contends that the proposed combined effort of a careful exterior restoration, sensible interior rehabilitation, new egress core and roof deck is in keeping and compatible with and will continue to support the criteria and period of significance for which Maytag Building is designated. Although the proposed mixed-use program with office and retail/restaurant is not industrial by nature, the new programs housed by the building represent a new paradigm of economic activity based upon technology, business environments, and entertainment and leisure activities within the historic district.

2). As a contributing structure to the Minneapolis Warehouse Historic District the proposed alteration is compatible with and supports the exterior designation of the building. Specifically, the proposed restoration work will restore the exterior of the building with masonry work including masonry cleaning and pointing as per the applicable Secretary of Interior Standards Preservation Briefs, restored windows, new replica windows to match. The exterior restoration, additional ADA entrance, roof deck and secondary egress core will not adversely affect the collective impression of the building and its relationship to the district at large. The egress core addition and new replica windows will be compatible with the original features in their own right. With a transparent reveal between the historic structure and the addition, the new metal clad mass will easily differentiate itself from the historic fabric while accompanying the orthogonal mass of the original building. The intent is to be distinct but not disjointed. The proposed replica windows will emulate the historic steel sash windows. Where new windows are to be added it is proposed that the divided character of the light is to be similar yet different so as to distinguishing themselves from the historic windows. All distinctive features such as the detailed masonry work will be preserved. The historic painted “ghost” sign on the west side of the building will be maintained while the modern painted sign will be reused under non-conforming rights.

3) Although the building remains largely intact it is need of major repair as there are large cracks in the exterior masonry on all sides, concrete delamination and deterioration, exposed reinforcement steel, delaminated brick, compromised mortar joints, and extensive grade-level efflorescence, spalling, and salt-fretting. The project proposes to address all of these deferred maintenance items thereby ensuring the continued integrity of the building into the future.

4). The proposed alterations, specifically the new ADA entry, and secondary egress core will not materially impair the significance of the historic district and meets the Minneapolis Warehouse Historic District Guidelines. The addition of the ADA entrance is not located on a character defining façade and the size is limited to the reasonable requirements of universal design. The ramp for the ADA entrance is accessible from Washington Avenue North. The secondary egress core is also not on a character defining façade and its size is limited to the minimum requirements for egress.

5) The project is pursuing historic tax credits through the Minnesota State Historic Preservation Office and the National Park Service and as such will be consistent with and adhere to all recommendations contained in the Secretary of the Interior's Standards for the Treatment of Historic Properties. The team submitted a Part II HTC Submission on November, 9 2015. Although the building's interior is not specifically designated the design teams overall intent, in addition to the aforementioned exterior efforts to restore the exterior of the building, the project also proposes to retain and restore most of the interior's feel and character. Specifically, in most public locations the site-cast concrete frame and masonry infill will be left exposed and unencumbered. The historic concrete shaft will be retained and re-utilized as a mechanical and circulation shaft. The interior of the masonry infill will be cleaned, repaired and repointed as required per the applicable Preservation Briefs, but will be largely left exposed, especially in public areas and the ground floor.

6). The applicant contends that through the above mentioned alterations, restoration and rehabilitation efforts the proposed project conforms to all applicable regulations including the Minneapolis Preservation Ordinance and is consistent with the applicable policies of the comprehensive plan and Warehouse District Heritage Street Plan. Although not specifically addressed in the Heritage Street Plan the project meets the spirit and overall intent. The principle entry is maintained on the primary façade of Washington Avenue. The Heritage Street Plan calls for street trees and the project proposes to maintain and protect the existing healthy street trees. Lastly, there does not exist any historic pavers or fabric for the sidewalks surrounding the building and as such nothing is proposed although it is likely that some of the contemporary sidewalks will need repair.

7) NA

8). The alteration to the Maytag Building is compatible with and will ensure continued historical significance and historical integrity of all contributing properties in the Minneapolis Warehouse District based on the period of significance for which the district was designated.

9). The proposed redevelopment of the Maytag building does not include any single or multi-family housing; therefore, title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review does not apply to the consideration of this proposal.

10). All proposed work to the Maytag Building will strictly follow the typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructions and restoring historic buildings.

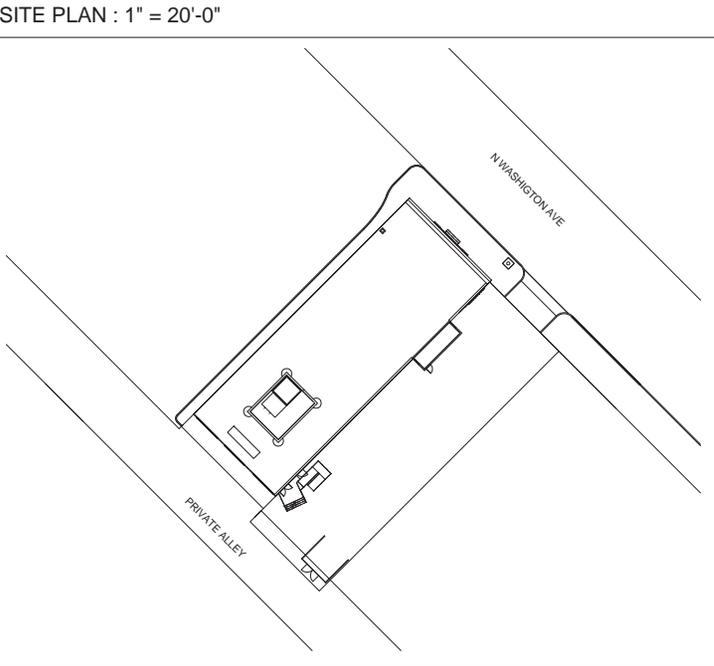
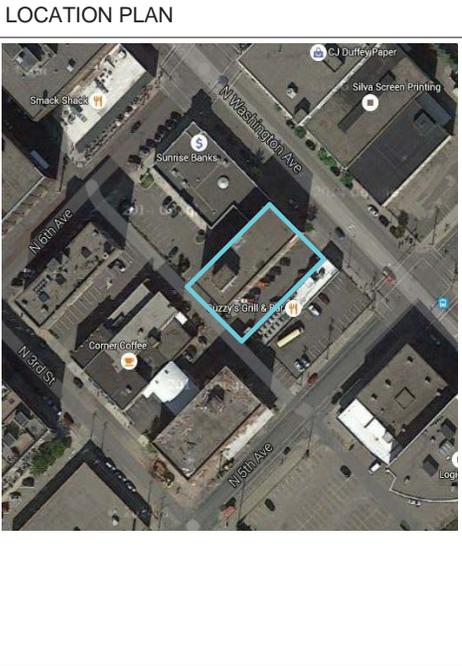
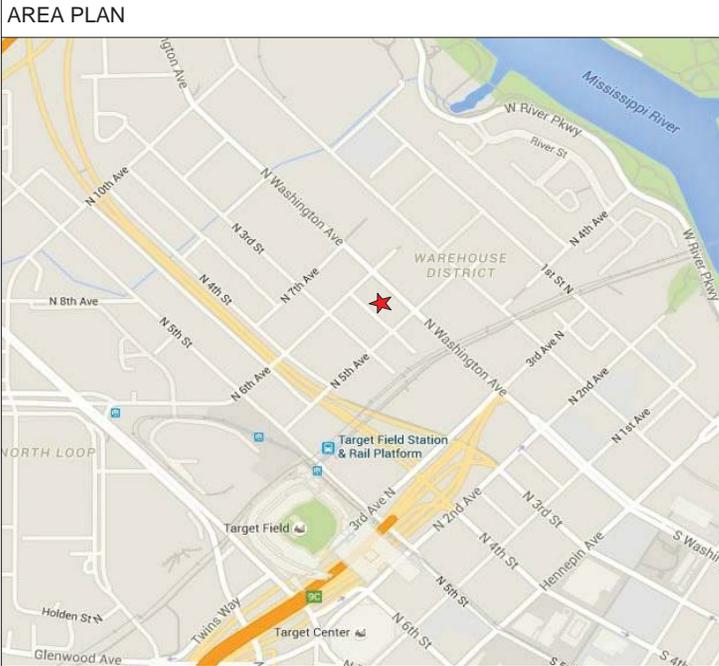
11). The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.

12). Granting the **Certificate of Appropriateness** will keep with the spirit and intent of the ordinance, and will not negatively alter the essential character of the historic district.

13). The **Certificate of Appropriateness** will not be injurious to the significance and integrity of other resources in the historic district, and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

MAYTAG BUILDING - 515 N WASHINGTON AVE, MINNEAPOLIS, MN 55401

PROJECT DESCRIPTION: .PROJECT INCLUDES CORE AND SHELL REDEVELOPMENT OF BUILDING INTO COMMERCIAL OFFICE SPACE. WORK INCLUDES EXTERIOR MASONRY RESTORATION, RESTORE WINDOWS, NEW EXTERIOR WINDOWS ON THE NON-CONTRIBUTING ELEVATIONS, NEW CORE, LOBBIES AND RESTROOMS ON 4 FLOORS, AND OTHER LIFE-SAFETY SYSTEMS.



PROJECT DIRECTORY
OWNER
SATURDAY PROPERTIES
DEVELOPER
SATURDAY PROPERTIES
PROJECT ARCHITECT
AWH Architects, LLC
STRUCTURAL ENGINEER
TBD
MECH., ELECTRICAL & PLUMBING
STEEN
GENERAL CONTRACTOR
FRANA
MEP TO BE D/B, SUBMIT UNDER SEPARATE COVER FIRE SUPPRESSION TO BE D/B, SUBMIT UNDER SEPARATE COVER

ABBREVIATIONS	
ABV ABOVE	LIN LINEAR
ACT ACOUSTICAL CEILING TILE	LTG LIGHTING
AFF ABOVE FINISHED FLOOR	MATL MATERIAL
ALT ALTERNATE	MAX MAXIMUM
APPROX APPROXIMATELY	MEL MELAMINE
AV AUDIO VISUAL	MDF MEDIUM DENSITY FIBERBOARD
AVG AVERAGE	MECH MECHANICAL
AWT ACOUSTICAL WALL TREATMENT	MIN MINIMUM
BLK BLACK	OC ON CENTER
BP BACK PAINTED	OH OVERHEAD
CAB CABINET	PLM PLASTIC LAMINATE
CLNG CEILING	PNL PANEL
CMU CONCRETE MASONRY UNIT	PREFAB PREFABRICATED
CONF CONFERENCE	QTY QUANTITY
CONT CONTINUE (OUS) (ATION)	RCP REFLECTED CEILING PLAN
CPT CARPET	REF REFRIGERATOR
CW CURTAIN WALL	REF REFERENCE
DEG DEGREE	REQD REQUIRED
DTL DRINKING FOUNTAIN	RO ROUGH OPENING
DTL DETAIL	SIM SIMILAR
DW DISHWASHER	SPEC SPECIFICATIONS
DWG DRAWING	STK SMALL TIGHT KNOT
EQ EQUAL	STOR STORAGE
EXG EXISTING	TBD TO BE DETERMINED
FF FINISHED FACE, FACE OF WALL	TEMP TEMPORARY
FIN FINISH	TOB TOP OF BEAM
FXKT FIXTURE	TOC TOP OF CONCRETE
FLR FLOOR	TOD TOP OF DECK
GC GENERAL CONTRACTOR	TOS TOP OF SLAB
GWB GYPSUM WALL BOARD	TOW TOP OF WALL
HT HEIGHT	VAR VARIES
INSUL INSULATION	VERT VERTICAL
LAM LAMINATE	
LF LINEAR FOOT	

SHEET INDEX
A000 COVER SHEET
G001 SURVEY - A00
D100 DEMOLITION PLAN
D101 DEMOLITION PLAN
D102 DEMOLITION PLAN
D103 DEMOLITION PLAN
D200 DEMOLITION ELEVATION
D201 DEMOLITION ELEVATION
A100 BASEMENT PLAN
A101 FIRST FLOOR PLAN
A102 SECOND & THIRD FLOOR PLAN
A103 FOURTH & ROOF FLOOR PLAN
A104 PENTHOUSE PLAN
A200 ELEVATION
A201 ELEVATION
A210 ENLARGED ELEVATIONS
A301 BUILDING SECTION
A302 BUILDING SECTION
A400 ENLARGE PLANS
A401 ENLARGE PLANS
A402 ENLARGE PLANS
A601 WINDOW TYPES
A602 WINDOW TYPES
A603 WINDOW TYPES
A604 WINDOW TYPES
WS01 WINDOW SURVEY
WS02 WINDOW SURVEY

SHEET INDEX
WS03 WINDOW SURVEY
M102 SECOND FLOOR HVAC NEW
M103 THIRD FLOOR HVAC NEW
M105 ROOF HVAC NEW

LIST OF CODES
CODE AND ORDINANCE
2015 INTERNATIONAL BUILDING CODE - IBC W/ MN AMENDMENTS
2007 MINNESOTA STATE BUILDING CODE - W/ IBC AMENDMENTS
2005 NATIONAL ELECTRIC CODE - NEC
2000 INTERNATIONAL MECHANICAL CODE - IMC (PER MN STATE BUILDING CODE 1346)
1998 MINNESOTA PLUMBING CODE W/ 2003 AMENDMENTS - CHAPTER 4715
2000 INTERNATIONAL FUEL & GAS CODE - IFGC W/ AMENDMENTS
2002 NFPA - 13
2003 ANSI 117.1 - (PER MN STATE BUILDING CODE CH. 1341)
SPRINKLER
SPRINKLER THROUGHOUT PER 403.2 NFPA - 13 WET SYSTEM
OCCUPANCY TYPE
B
CONSTRUCTION TYPES
4-STORY OFFICE, TYPE I-A
MEP TO BE D/B, SUBMIT UNDER SEPARATE COVER FIRE SUPPRESSION TO BE D/B, SUBMIT UNDER SEPARATE COVER

ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT:

MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

Name: Alex Haackler, AIA
Signature: [Signature]
License: 48654
Date: 12/23/15

DATE	DATE
NPS PART II	11/06/15
Code Application	12/01/15
Code RFR	12/23/15

COVER SHEET

SHEET TITLE: A000
SHEET NO:

NOT FOR CONSTRUCTION

ALTA/ACSM LAND TITLE SURVEY FOR: 515 Washington Properties, LLC

LEGAL DESCRIPTION:

Lot 11 and 12, the Southeastly one-half of Lot 13, and All of Lot 14,
 Block 23, Bradford and Lee's Addition to Minneapolis.

NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-94 Adj.).
- The total area of the property described herein is 24,511 square feet or 0.5627 acres.
- The legal description and assessment information used in the preparation of this survey is based on Certificate of Title Number 1206739 created by Document Number 440163.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us or by resident testimony. Other utilities and services may be present. Verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- No zoning report or letter was received from the insurer pursuant to Optional Table A Item 4(c) & 6(b) of Table A, as set forth in the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys.
- The property described hereon lies within Flood Zone X (Area determined to be outside the 0.2% annual chance floodplain) per Federal Insurance Rate Map No. 27053 C 0357 E, dated September 2, 2004.
- As of the date of this survey the property described hereon contains a total of 54 standard parking spaces of which 23 parking spaces are partially within the right of way of 5th Avenue North and the adjacent alley.
- As of the date of this survey there is no observable evidence of current earth moving work, building construction or building additions on the property described hereon.
- As of the date of this survey and according to the City of Minneapolis Engineering Department there are no completed or proposed changes in street right-of-way lines. As of the date of this survey there is no observable evidence of recent street or sidewalk construction or repairs that affect the property described hereon.
- As of the date of this survey there is no observable evidence that the property described hereon is being used as a solid waste dump, sump or sanitary landfill.

MEMORIALS ON CERTIFICATE OF TITLE:

- Document Number 12321569, Judgment, June 6, 1994 at 10:00 am, granting an easement.
 Said easement for encroachment of building wall affects the subject property and said wall is depicted hereon.
- Document Number 13627794, Easement, November 7, 2002 at 4:30 pm, granting an easement for electrical distribution purposes over part of above Lot 12.
 Said easement for electrical distribution purposes affects the subject property and is depicted hereon.

CERTIFICATION:

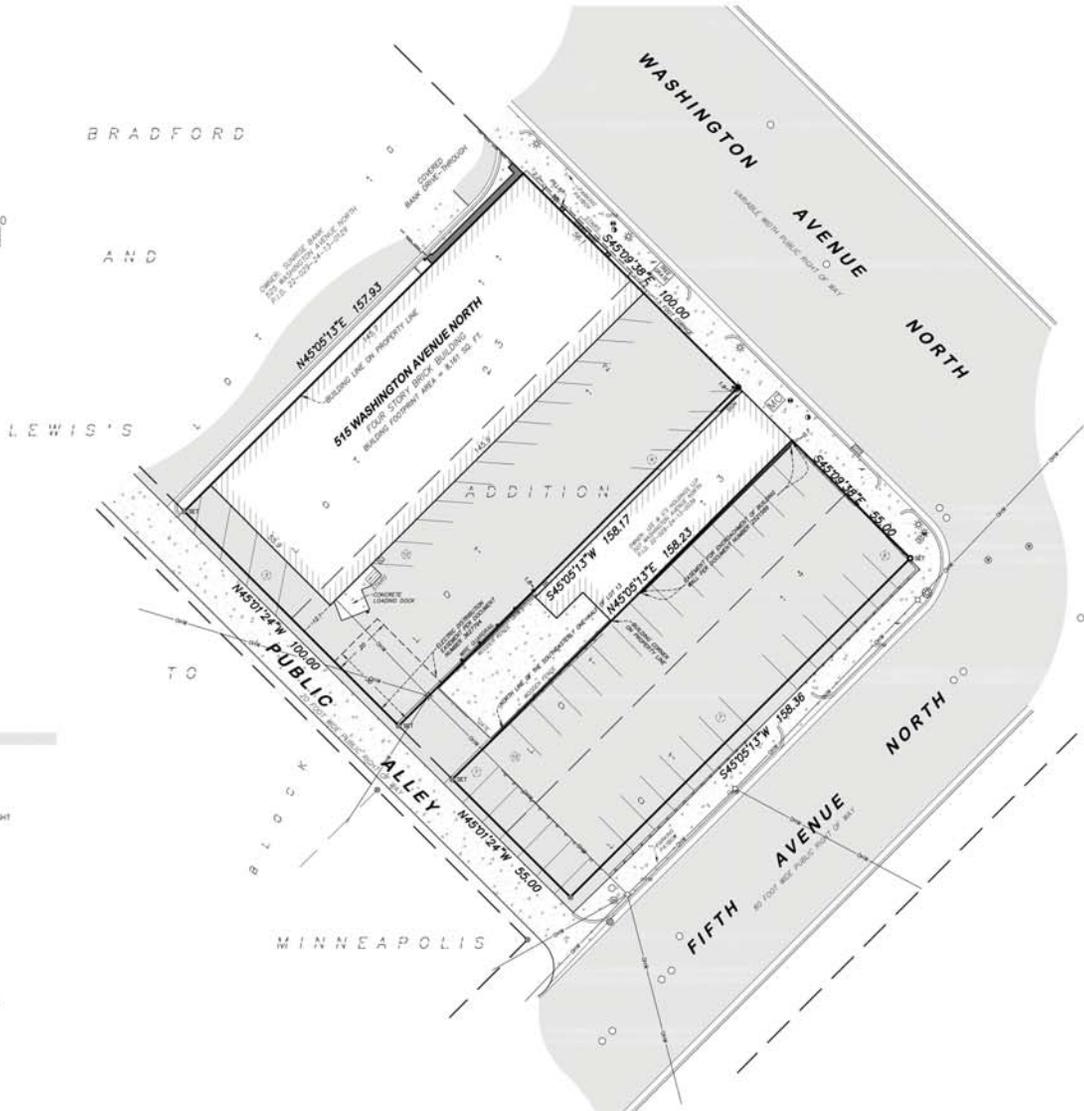
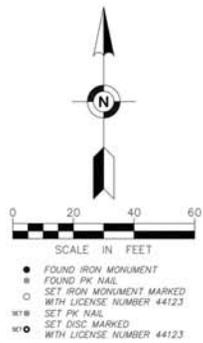
To 515 Washington Properties, LLC:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 7(d), 8, 9, 11(a), 12, 16, 17 and 18 of Table A thereof. The field work was completed on July 13, 2015.
 Date of Plat or Map: July 27, 2015

Brent S. Peters
 Brent S. Peters
 Minnesota License No. 44123



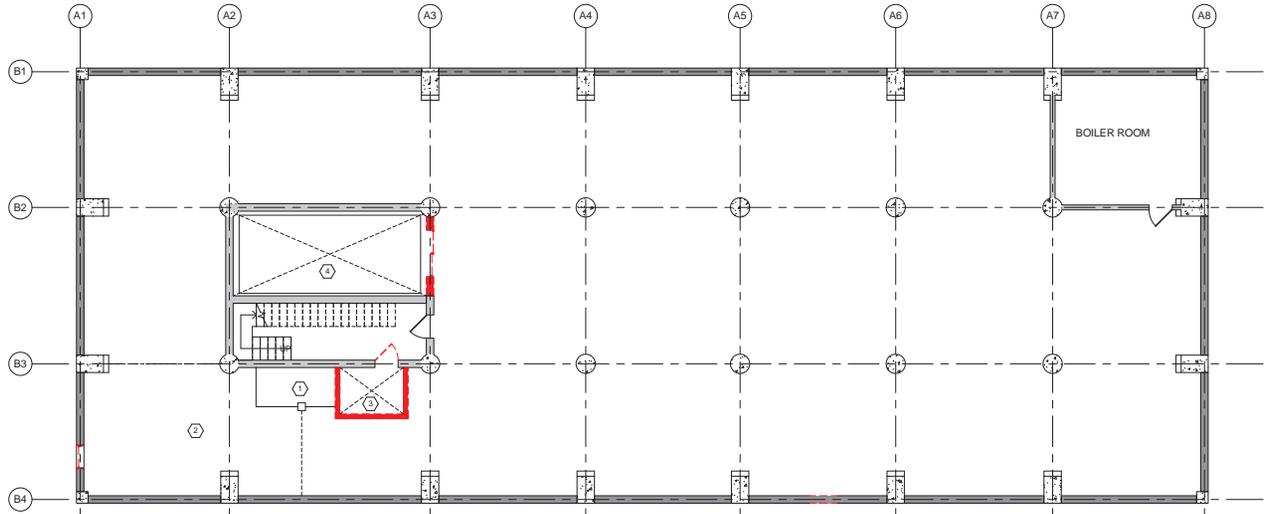
VICINITY MAP
 NOT TO SCALE

NOT FOR CONSTRUCTION

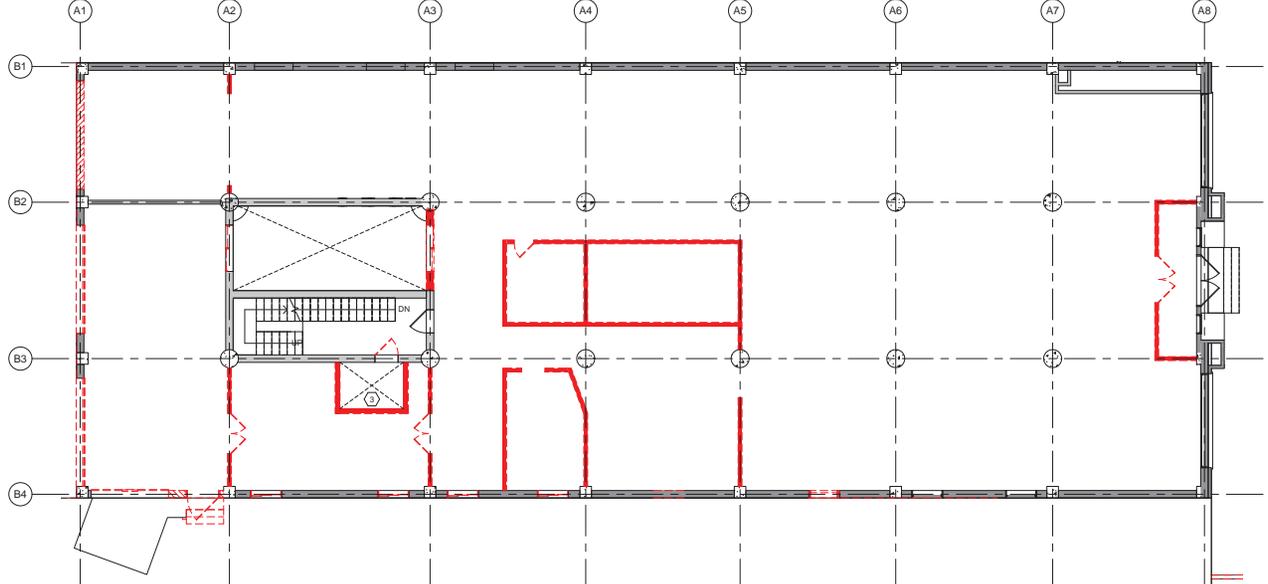


LEGEND:

- MANHOLE
- ⊗ CATCH BASIN
- ⊕ WATER MANHOLE
- STOP SIGN
- GAS VALVE
- ⊕ POWER POLE WITH LIGHT
- ⊕ UTILITY POLE
- ⊕ LIGHT
- ⊕ MANHOLE
- ⊕ CROSSWALK LIGHT
- ⊕ SEMAPHORE
- ⊕ ELECTRIC METER
- PIPE
- BOLLARD
- SIGN
- PARKING METER
- METAL COVER
- PARKING COUNT
- WOOD FENCE
- GUARDRAIL
- OVERHEAD WIRE
- BITUMINOUS SURFACE
- CONCRETE SURFACE



1 BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

WALL KEY

- ALL WALLS MASONRY UNO
- WO / GWB - NON HISTORIC
 - EXIG HISTORIC WALL
 - CONCRETE
 - MASONRY/LIMESTONE
 - PYROBLOCK
 - GWB

KEYNOTES

- 1 WATER SERVICE ENCLOSED IN WTL FENCE
- 2 AREA CLG DROPS TO 7'-4"
- 3 NON-HISTORIC PASSENGER ELEVATOR
- 4 MODERN LIFT IN HISTORICAL SHAFT

DEMOLITION KEY

	DESCRIPTION
	DEMOLISH ITEM ASSOCIATED COMPONENTS
	REMOVE DOOR AND ASSOCIATED COMPONENTS
	EXG WALL - VERIFY AT ALL CORRIDORS TO MAINTAIN 1HR RATING
	EXG DOOR - VERIFY 1 HR RATING AT ALL CORRIDOR CONDITIONS

GENERAL DEMOLITION NOTES:

SCOPE OF WORK ONLY INCLUDES CORE AND SHELL REDEVELOPMENT.
 CONSULT ARCHITECT FOR CLARIFICATION OF INTENT IF UNCLEAR AND IF SPECIAL CONDITIONS ARE ENCOUNTERED.
 SEE NEW ELEVATIONS TO VERIFY SCOPE OF WORK AND MASONRY REMOVAL.
 PATCH AND REPAIR FLOOR TO BE LEVEL WITH EXISTING FLOOR. PREPARE FLOOR FOR NEW FLOOR FINISH. SEE FINISH PLANS.
 SECURE AND FASTEN ALL LOOSE DEBRIS IN EXISTING WALLS AND COLUMNS TO REMAIN, SUCH AS NAILS, SCOLTS, ETC.
 REMOVE ALL LOOSE MORTAR, BRICKS, CMU, STEEL AND ASSOCIATED COMPONENTS FROM WALLS TO REMAIN.
 SALVAGE ALL BRICK REMOVED FROM WINDOW AND OTHER OPENINGS DURING DEMOLITION FOR US IN FUTURE WALL INFILL. APPLIES TO INTERIOR AND EXTERIOR WALLS.
 PROTECT MATERIALS TO REMAIN; REPAIR DAMAGE TO BUILDING TO REMAIN.
 COORDINATE DEMOLITION WITH REHAB AND NEW CONSTRUCTION.
 PATCH NEW ROOF PENETRATIONS TO EXISTING ROOF SYSTEM(S). COORDINATE W/ ROOFING CONTRACTOR TO MAINTAIN CURRENT WARRANTIES IF APPLICABLE.
 DEMOLISH WALLS AS INDICATED; PROTECT WALLS/COLUMNS TO REMAIN. REPAIR AS REQUIRED. CONSULT ARCHITECT.



ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT:

MAYTAG BUILDING
CORE AND SHELL PACKAGE

PROPOSED MIXED USE DEVELOPMENT

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

Name:
Alex Haackler, AIA
Signature:

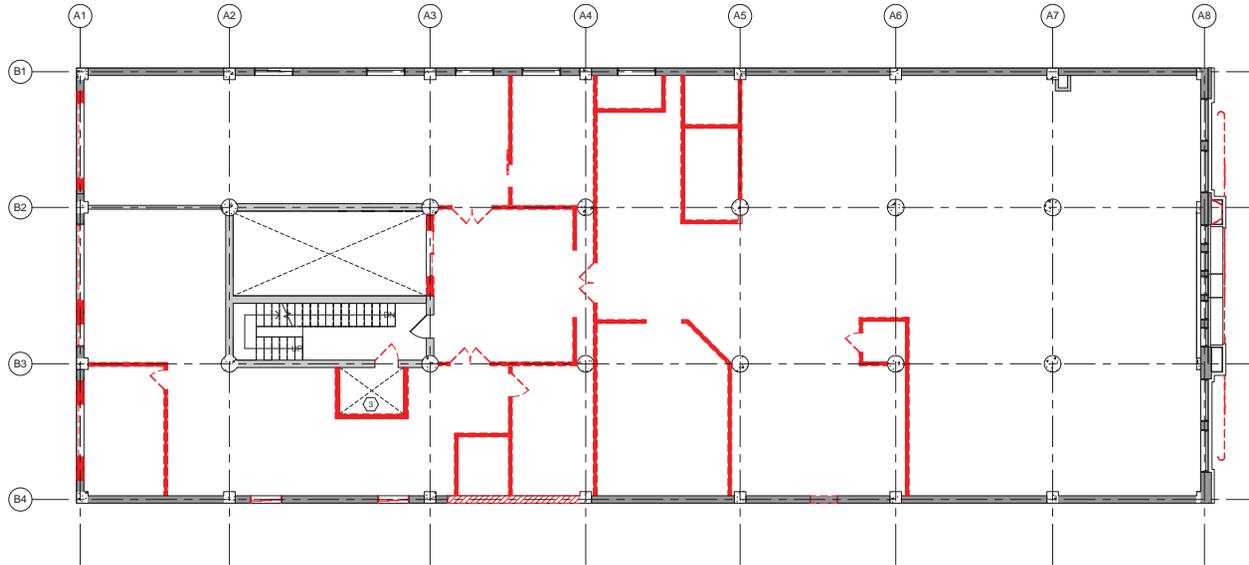
License # 49654
Date: 12/23/15

DATE	DESCRIPTION
11/06/15	NPS PART II
12/01/15	Public Application
12/23/15	COIA RFP

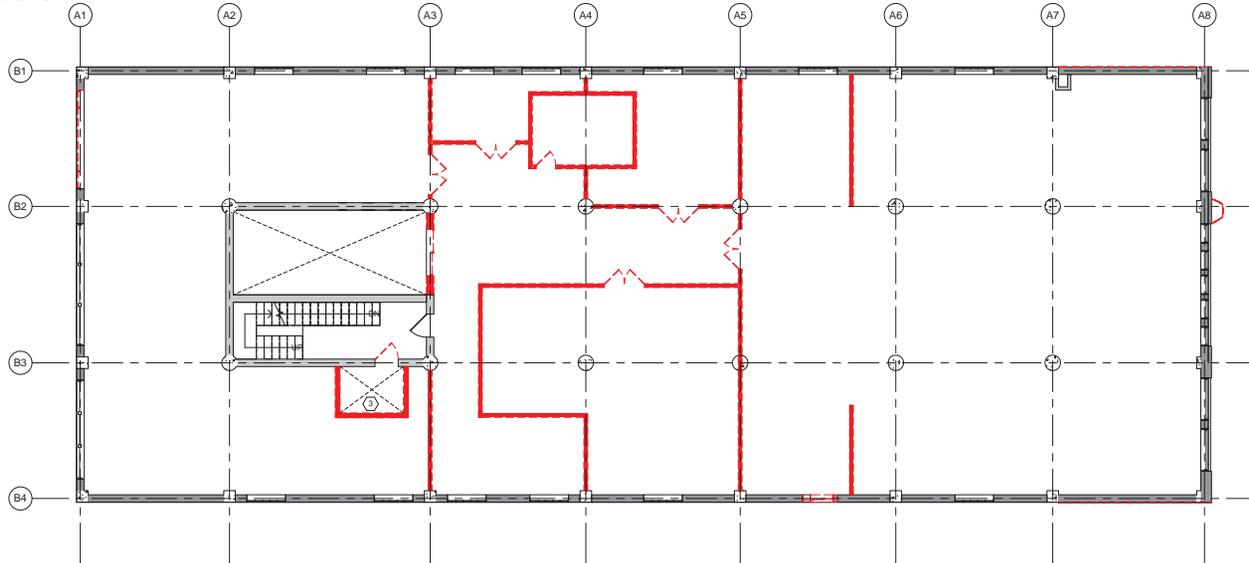
DEMOLITION PLAN

SHEET TITLE: _____
D100
SHEET NO: _____

AS-BUILT CONDITIONS



1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 THIRD FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

WALL KEY

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- WO / GWB - NON HISTORIC
 - EXIG HISTORIC WALL
 - CONCRETE
 - MASONRY/LIMESTONE
 - PYROBLOCK
 - GWB

KEYNOTES

- 1 WATER SERVICE ENCLOSED IN MTL. FENCE
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DEMOLITION KEY

	DESCRIPTION
	DEMOLISH ITEM ASSOCIATED COMPONENTS
	REMOVE DOOR AND ASSOCIATED COMPONENTS
	EXIG WALL - VERIFY AT ALL CORRIDORS TO MAINTAIN 1HR RATING
	EXIG DOOR - VERIFY 1 HR RATING AT ALL CORRIDOR CONDITIONS

GENERAL DEMOLITION NOTES:

SCOPE OF WORK ONLY INCLUDES CORE AND SHELL REDEVELOPMENT.
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ARCHITECT

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CIVIL ENGINEER

PROJECT:

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PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

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License # 48654
Date: 12/23/15

DATE	DATE
NPS PART II	11/06/15
CDIA Application	12/01/15
CDIA RFP	12/23/15

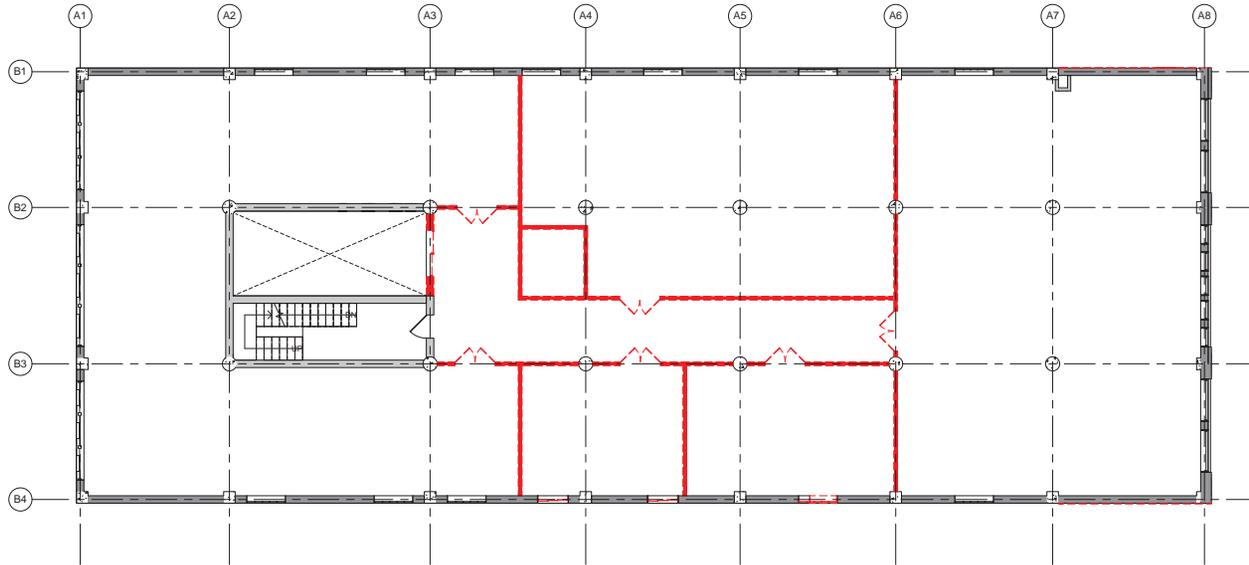
DEMOLITION PLAN

SHEET TITLE

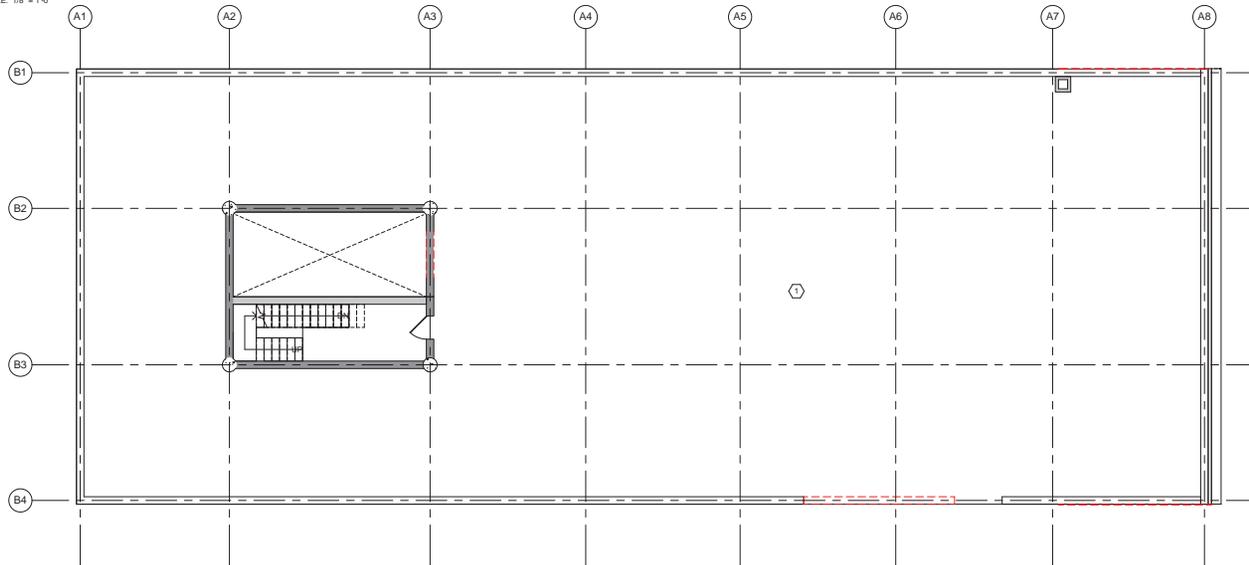
D101

SHEET NO.

NOT FOR CONSTRUCTION



1 FOURTH DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 ROOF DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

WALL KEY

- ALL WALLS MASONRY UNO
- WO / GWB - NON HISTORIC
 - EXIG HISTORIC WALL
 - CONCRETE
 - MASONRY/LIMESTONE
 - PYROBLOCK
 - GWB

KEYNOTES

- 1 WATER SERVICE ENCLOSED IN MTL. FENCE
- 2 AREA CLG DROPS TO 7'-4"
- 3 NON-HISTORIC PASSENGER ELEVATOR
- 4 MODERN LIFT IN HISTORICAL SHAFT

DEMOLITION KEY

	DESCRIPTION
	DEMOLISH ITEM ASSOCIATED COMPONENTS
	REMOVE DOOR AND ASSOCIATED COMPONENTS
	EXIG WALL - VERIFY AT ALL CORRIDORS TO MAINTAIN 1HR RATING
	EXIG DOOR - VERIFY 1 HR RATING AT ALL CORRIDOR CONDITIONS

GENERAL DEMOLITION NOTES:

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 COORDINATE DEMOLITION WITH REHAB AND NEW CONSTRUCTION.
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 DEMOLISH WALLS AS INDICATED; PROTECT WALLS/COLUMNS TO REMAIN. REPAIR AS REQUIRED. CONSULT ARCHITECT.

ROOF KEYNOTES

- 1 REMOVE EXISTING ROOF MEMBRANCE AND ASSOCIATED COMPONENTS



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 49654
 Date: 12/23/15

DATE	DATE
NPS PART II	11/06/15
CDIA Application	12/01/15
CDIA RFI	12/23/15

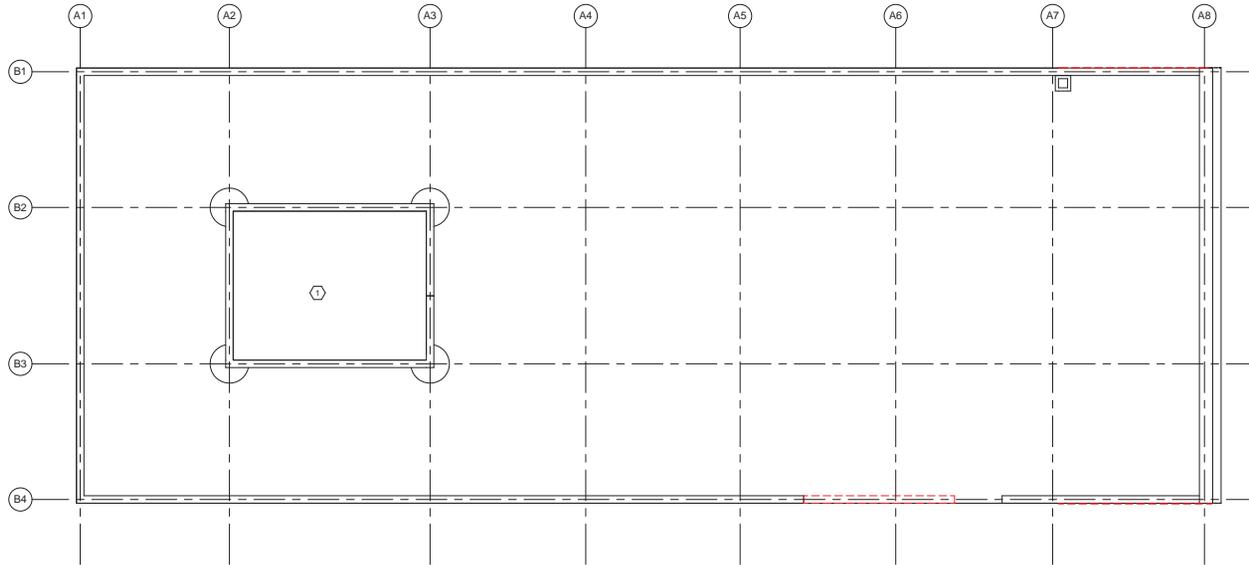
DEMOLITION PLAN

SHEET TITLE

D102

SHEET NO.

NOT FOR CONSTRUCTION



1 PENTHOUSE PLAN
SCALE: 1/8" = 1'-0"

WALL KEY

ALL WALLS MASONRY UNO

- WO / GWB - NON HISTORIC
- EXIST HISTORIC WALL
- CONCRETE
- MASONRY/LIMESTONE
- PYROBLOCK
- GWB

KEYNOTES

- ① WATER SERVICE ENCLOSED IN MTL. FENCE
- ② AREA CLG DROPS TO 7'-4"
- ③ NON-HISTORIC PASSENGER ELEVATOR
- ④ MODERN LIFT IN HISTORICAL SHAFT

DEMOLITION KEY

DESCRIPTION	DESCRIPTION
	DEMOLISH ITEM ASSOCIATED COMPONENTS
	REMOVE DOOR AND ASSOCIATED COMPONENTS
	EXG WALL - VERIFY AT ALL CORRIDORS TO MAINTAIN 1HR RATING
	EXG DOOR - VERIFY 1 HR RATING AT ALL CORRIDOR CONDITIONS

GENERAL DEMOLITION NOTES:

SCOPE OF WORK ONLY INCLUDES CORE AND SHELL REDEVELOPMENT.
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COORDINATE DEMOLITION WITH REHAB AND NEW CONSTRUCTION.
PATCH NEW ROOF PENETRATIONS TO EXISTING ROOF SYSTEM(S). COORDINATE W/ ROOFING CONTRACTOR TO MAINTAIN CURRENT WARRANTIES IF APPLICABLE.
DEMOLISH WALLS AS INDICATED; PROTECT WALLS/COLUMNS TO REMAIN. REPAIR AS REQUIRED. CONSULT ARCHITECT.

ROOF KEYNOTES

- ① REMOVE EXISTING ROOF MEMBRANCE AND ASSOCIATED COMPONENTS

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ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT:

MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

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Name:
Alex Haacker, AIA
Signature:

License: 49654
Date: 12/23/15

Book	Date
NPS PART II	11/06/15
Cost Application	12/01/15
Cost RFI	12/23/15

DEMOLITION PLAN

SHEET TITLE: _____
SHEET NO: _____

NOT FOR CONSTRUCTION

DEMOLITION KEY	
DESCRIPTION	
[Pattern: Dotted]	INDICATES EXISTING COMMON BRICK TO REMAIN.
[Pattern: Horizontal Lines]	INDICATES CMU TO BE REMOVED. NON-HISTORIC INFILL.
[Pattern: Dashed]	INDICATES EXISTING CONDITION TO BE REMOVED.

- GENERAL ELEVATION DEMOLITION NOTES:**
1. VERIFY ALL OPENINGS IN FIELD.
 2. REFER TO ELEVATIONS FOR NEW WINDOWS AND ASSOCIATED MASONRY OPENINGS.
 3. MASONRY CONTRACTOR TO SET UP SWING STAGING ON BRICK ELEVATIONS.
 4. 20% TUCKPOINT OF BRICK AREA ON EAST, SOUTH AND WEST ASPECTS.
 5. 100% TUCKPOINT OF BRICK AREA ON NORTH ASPECT.
 6. 375 ST OF BEAM PATCHING ON ALL ASPECTS.
 7. REBAR TO BE CLEANED AND COATED WITH A RUST INHIBITING COATING. NO EPOXY POINTS.
 8. ROOF COPING - ALLOWANCE OF 15 NEW CAPS.

- KEYNOTES**
- 1 REMOVE NON-HISTORIC INFILL
 - 2 REMOVE MASONRY INFILL & WINDOW IF APPLICABLE
 - 3 NON-HISTORIC PAINTED SIGN
 - 4 HISTORIC GHOST SIGN TO BE PRESERVED

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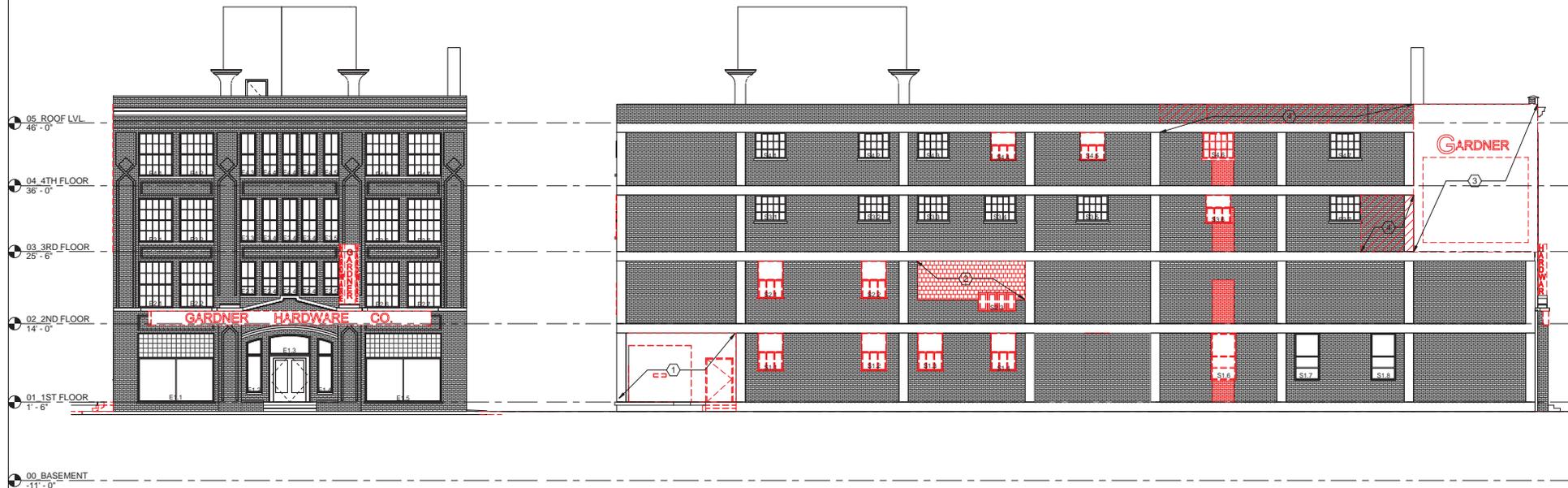
Name:
 Alex Haackler, AIA
 Signature:

 License: 48654
 Date: 12/23/15

DATE	DATE
NPS PART II	11/06/15
CDIA Application	12/01/15
CDIA RFP	12/23/15

DEMOLITION ELEVATION

SHEET TITLE: _____
 SHEET NO.: D200



1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

DEMOLITION KEY	
	DESCRIPTION
	INDICATES EXISTING COMMON BRICK TO REMAIN.
	INDICATES CMU TO BE REMOVED, NON-HISTORIC INFILL.
	INDICATES EXISTING CONDITION TO BE REMOVED

- GENERAL ELEVATION DEMOLITION NOTES:**
1. VERIFY ALL OPENINGS IN FIELD.
 2. REFER TO ELEVATIONS FOR NEW WINDOWS AND ASSOCIATED MASONRY OPENINGS.
 3. MASONRY CONTRACTOR TO SET UP SWING STAGING ON BRICK ELEVATIONS.
 4. 20% TUCKPOINT OF BRICK AREA ON EAST, SOUTH AND WEST ASPECTS.
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 6. 375 ST OF BEAM PATCHING ON ALL ASPECTS.
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 8. ROOF COPING - ALLOWANCE OF 15 NEW CAPS

- KEYNOTES**
- 1 REMOVE NON-HISTORIC INFILL
 - 2 REMOVE MASONRY INFILL & WINDOW IF APPLICABLE
 - 3 NON-HISTORIC PAINTED SIGN
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Book
 NPS PART II 11/06/15

Code Application 12/01/15

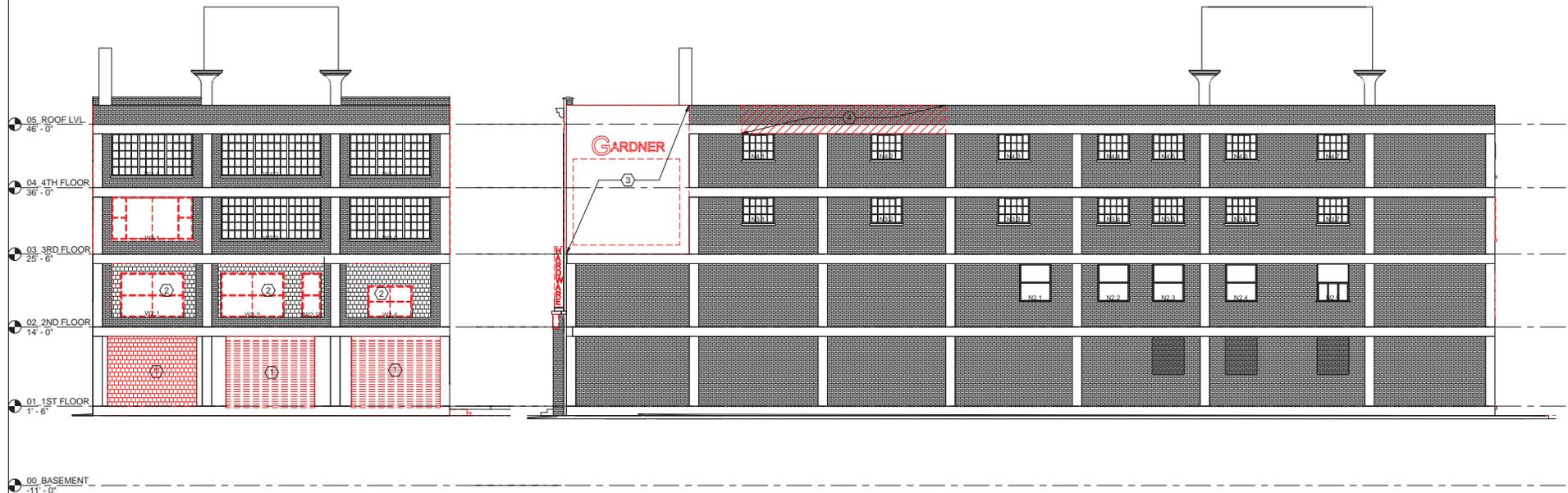
Code RFI 12/23/15

DEMOLITION ELEVATION

SHEET TITLE

D201

SHEET NO.



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

WALL KEY

- EXISTING WALL
- NEW WALL

WALL TYPE SCHEDULE

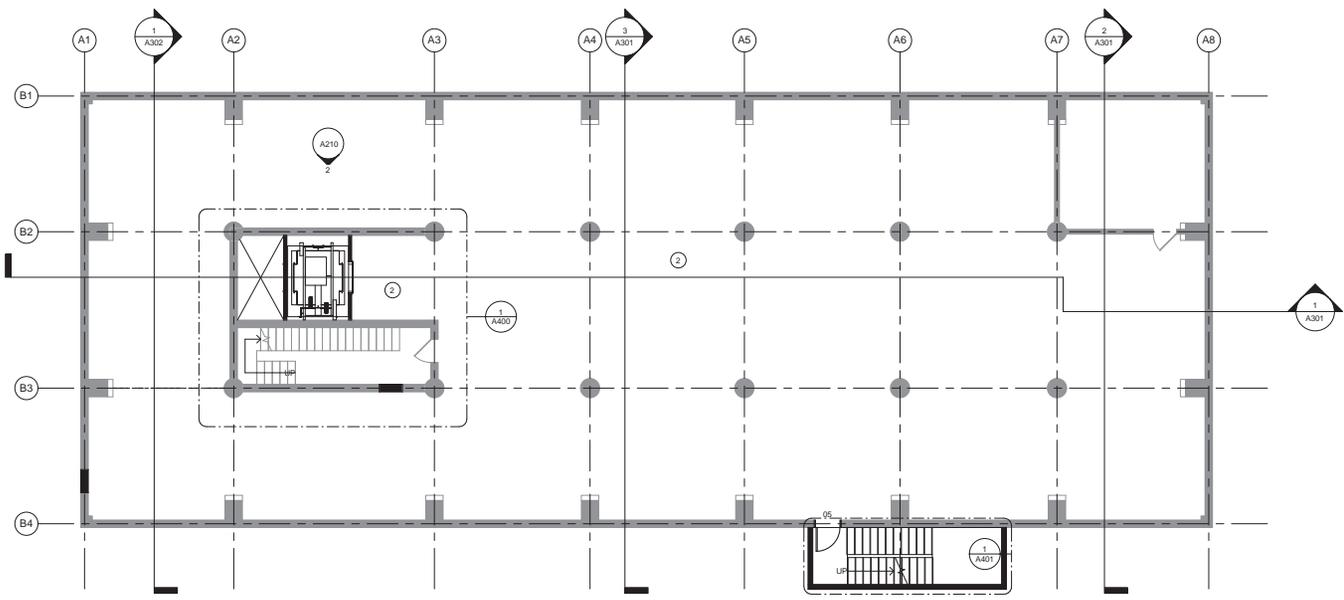
- 1 SHAFT WALL
- 2 1/2" TMP GLASS
- 3 3.5" METAL STUD @ 16" O.C. W/ GWB R/S
- 4 6" STL STUD WALL ASSEMBLY W/ 5/8" GWB INTERIOR, INTL SKIN
- 5 MASONRY INFILL TO MATCH ADJACENT
- 6 GLASS CURTAIN WALL

FLOOR / ROOF TYPE SCHEDULE

- 1 GLASS FLOOR
- 2 EXE CONCRETE
- 3 ROOF PAVERS OVER 4
- 4 RIGID INSULATION ROOF BOARD, TAPERED W/FULLY ADHERED EPDM ROOF MEMBRANE
- 5 GLASS ROOF
- 6 STEEL DECK AND CONCRETE

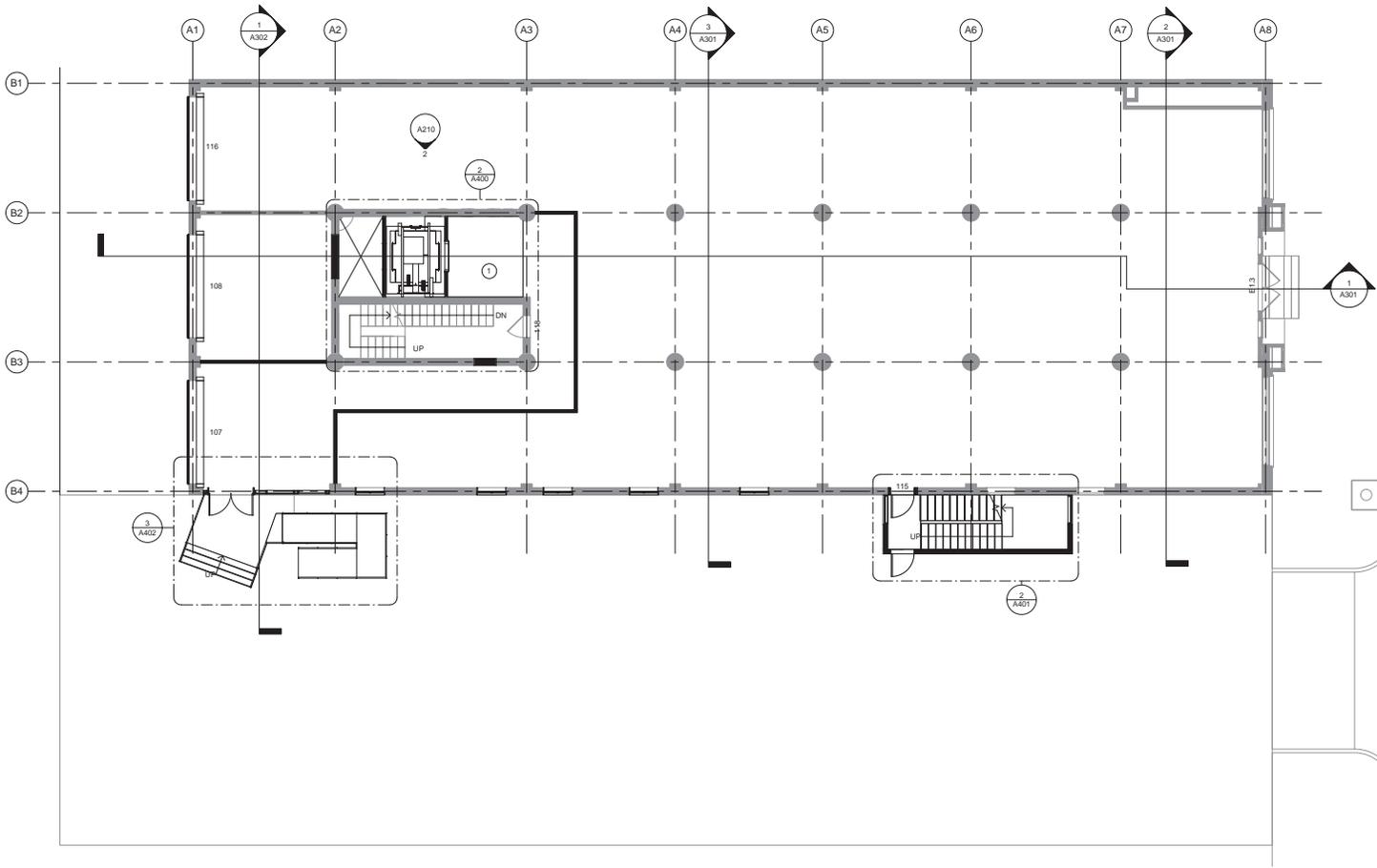
GENERAL NOTES:

1. CONSULT ARCHITECT FOR CLARIFICATION OF INTENT IF UNCLEAR AND IF SPECIAL CONDITION ARE ENCOUNTERED.
2. FIELD VERIFY ALL DIMENSION ARE EXISTING CONDITION.
3. DIMENSIONS AT EXTERIOR WALL ARE TO OUTSIDE FACE OF SHEATHING.
4. DIMENSIONS AT INTERIOR WALLS ARE TO CENTER LINE OF WALL.
5. DIMENSIONS AT DEMISING WALLS ARE TO CENTER LINE OF WALL.
6. NEW DEMISING WALLS ARE TO BE TO UNDERSIDE OF EXISTING CONCRETE SLAB, 1HR FIRE RATING WITH ACOUSTIC RATING UNLESS NOTED OTHERWISE.



1 BASEMENT PLAN
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL KEY

- EXISTING WALL
- NEW WALL

WALL TYPE SCHEDULE

- 1** SHAFT WALL
- 2** 1/2" TMP GLASS
- 3** 3 5/8" METAL STUD @ 16" O.C. W/ GWB R/S
- 4** 8" STL STUD WALL ASSEMBLY W/ 5/8" GWB INTERIOR, MTL SKIN
- 5** MASONRY INFILL TO MATCH ADJACENT
- 6** GLASS CURTAIN WALL

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- 3** ROOF PAVERS OVER **4**
- 4** RIGID INSULATION ROOF BOARD, TAPERED W/ FULLY ADHERED EPDM ROOF MEMBRANE
- 5** GLASS ROOF
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ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT:

MAYTAG BUILDING
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CORE AND SHELL PACKAGE

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12/01/15	Code Application
12/23/15	Code RFI

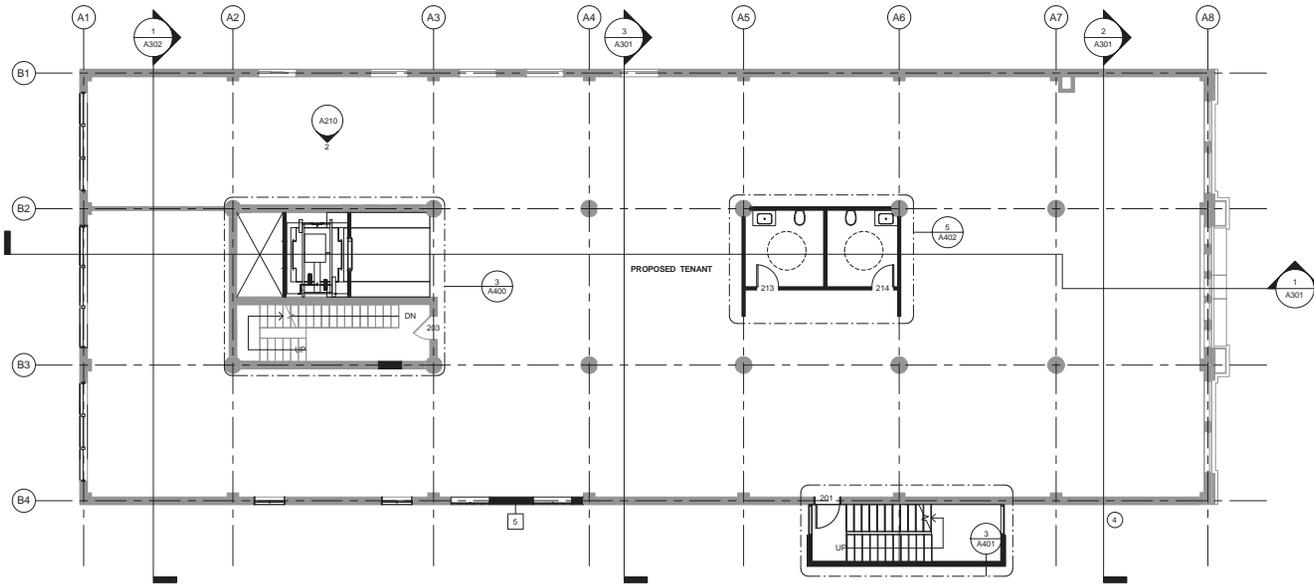
FIRST FLOOR PLAN

SHEET TITLE

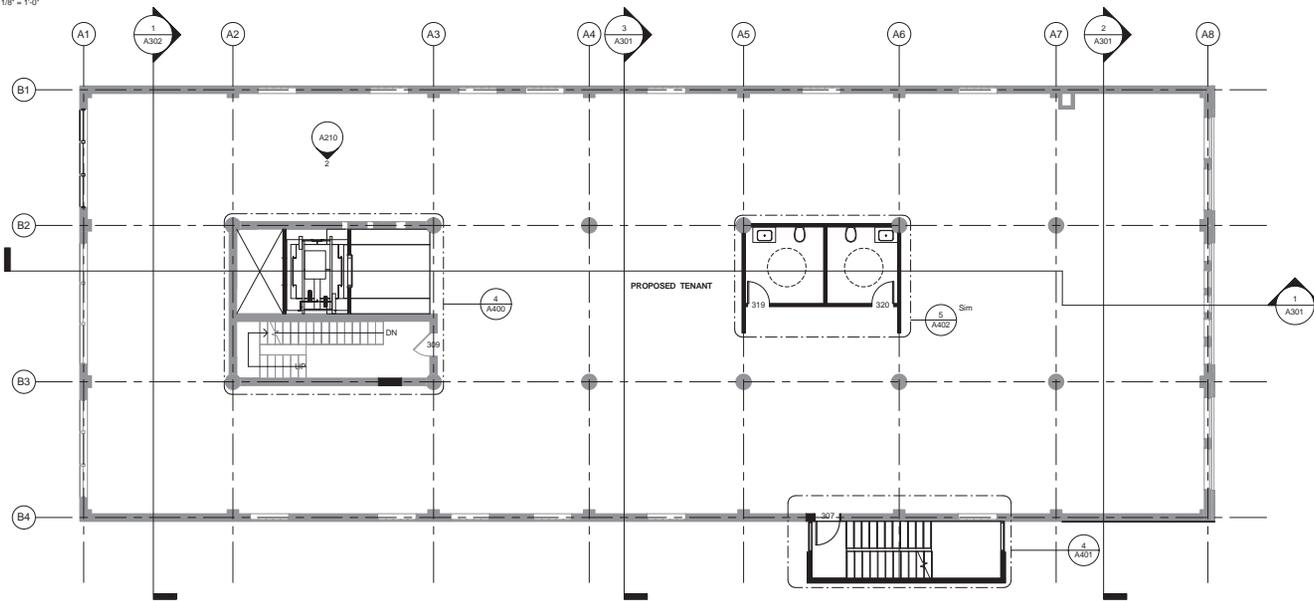
A101

SHEET NO.

NOT FOR CONSTRUCTION



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL KEY



WALL TYPE SCHEDULE

- 1 SHAFT WALL
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ARCHITECT

STRUCTURAL ENGINEER

CIVIL/EA ENGINEER

PROJECT:

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PROPOSED MIXED USE DEVELOPMENT
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Name:

Alex Haacker, AIA

Signature:

License 49654

Date: 12/23/15

DATE	DATE
NPS PART II	11/06/15
Code Application	12/01/15
Code RFI	12/23/15

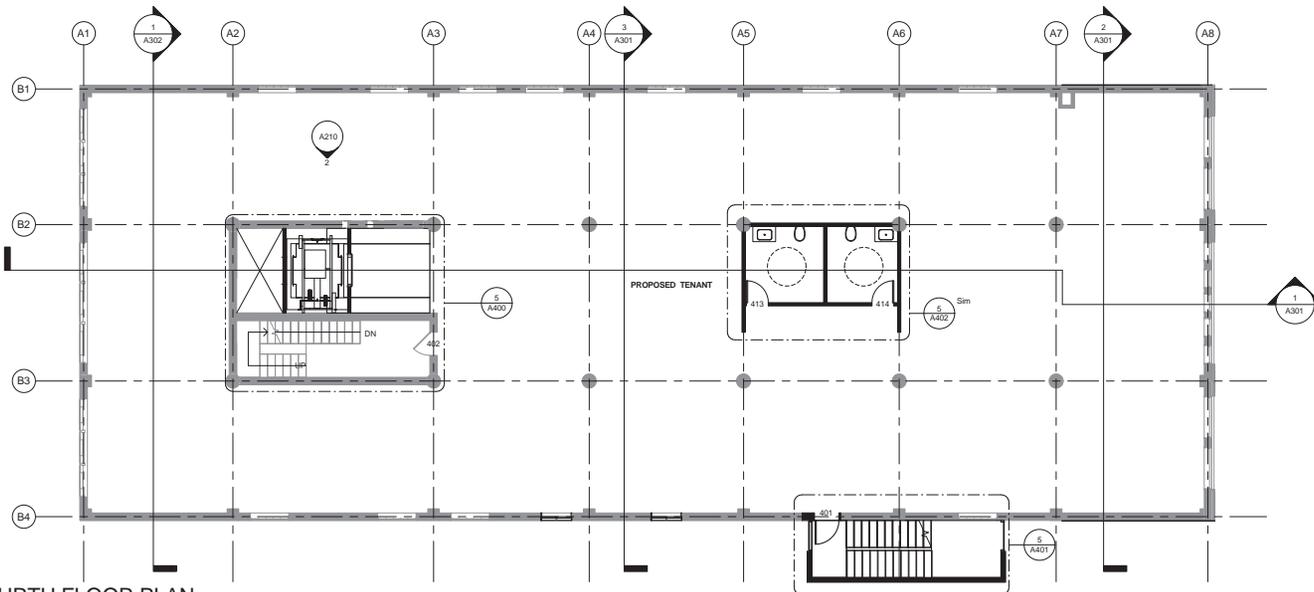
SECOND & THIRD FLOOR PLAN

SHEET TITLE

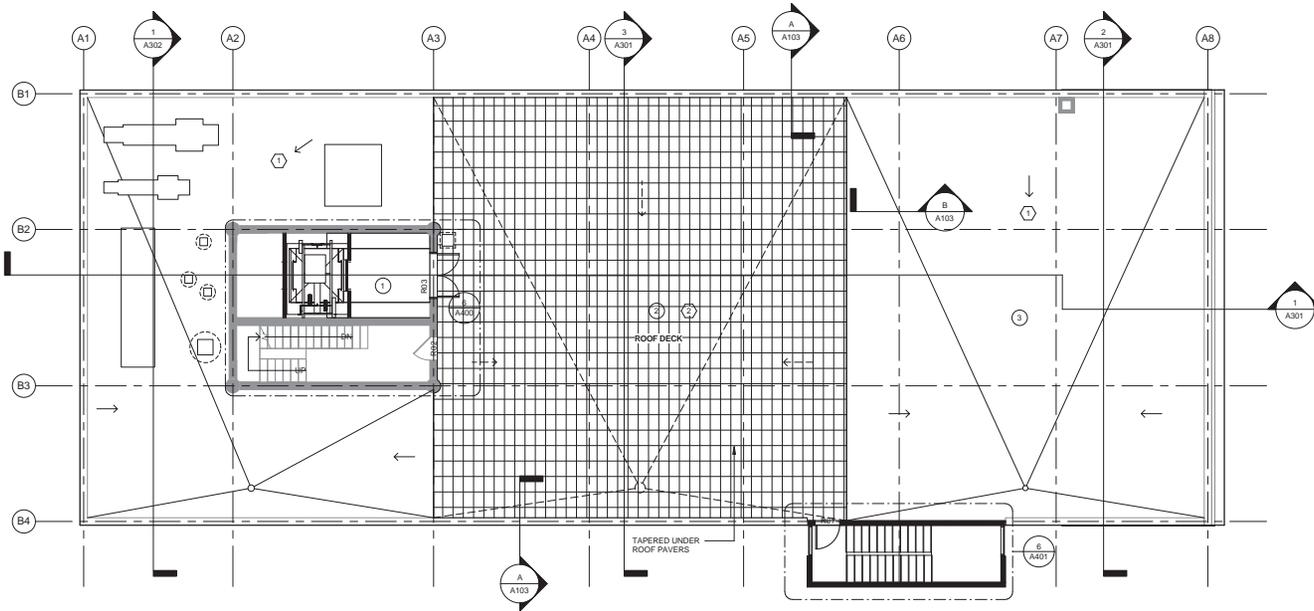
A102

SHEET NO.

NOT FOR CONSTRUCTION



1 **FOURTH FLOOR PLAN**
SCALE: 1/8" = 1'-0"



2 **ROOF PLAN**
SCALE: 1/8" = 1'-0"

WALL KEY



WALL TYPE SCHEDULE

- 1 SHAFT WALL
- 2 1/2" TMP GLASS
- 3 3.5" METAL STUD @ 16" O.C. W/ GWB R/S
- 4 6" STL STUD WALL ASSEMBLY W/ 5/8" GWB INTERIOR INTL SWIN
- 5 MASONRY INFILL TO MATCH ADJACENT
- 6 GLASS CURTAIN WALL

FLOOR / ROOF TYPE SCHEDULE

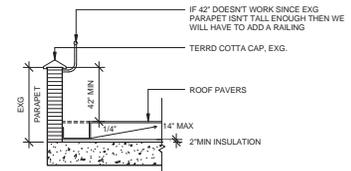
- 1 GLASS FLOOR
- 2 EXE CONCRETE
- 3 ROOF PAVERS OVER 1
- 4 RIGID INSULATION ROOF BOARD, TAPERED W/FULLY ADHERED EPDM ROOF MEMBRANE
- 5 GLASS ROOF
- 6 STEEL DECK AND CONCRETE

GENERAL NOTES :

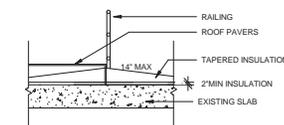
1. CONSULT ARCHITECT FOR CLARIFICATION OF INTENT IF UNCLEAR AND IF SPECIAL CONDITION ARE ENCOUNTERED.
2. FIELD VERIFY ALL DIMENSION ARE EXISTING CONDITION.
3. DIMENSIONS AT EXTERIOR WALL ARE TO OUTSIDE FACE OF SHEATHING.
4. DIMENSIONS AT INTERIOR WALLS ARE TO CENTER LINE OF WALL.
5. DIMENSIONS AT DEMISING WALLS ARE TO CENTER LINE OF WALL.
6. NEW DEMISING WALLS ARE TO BE UNDERSIDE OF EXISTING CONCRETE SLAB, 1HR FIRE RATING WITH ACOUSTIC RATING UNLESS NOTED OTHERWISE.

ROOF KEYNOTE

- 1 TAPERED INSULATION OVER EXISTING CONCRETE DECK WITH T.P.O. ROOF MEMBRANE, RIGID INSULATION MIN. THICKNESS 2". TAPER @ 1:4" PER FOOT AS SHOWN WITH " < "
- 2 ROOF PAVERS ON ADJUSTABLE STANDS.

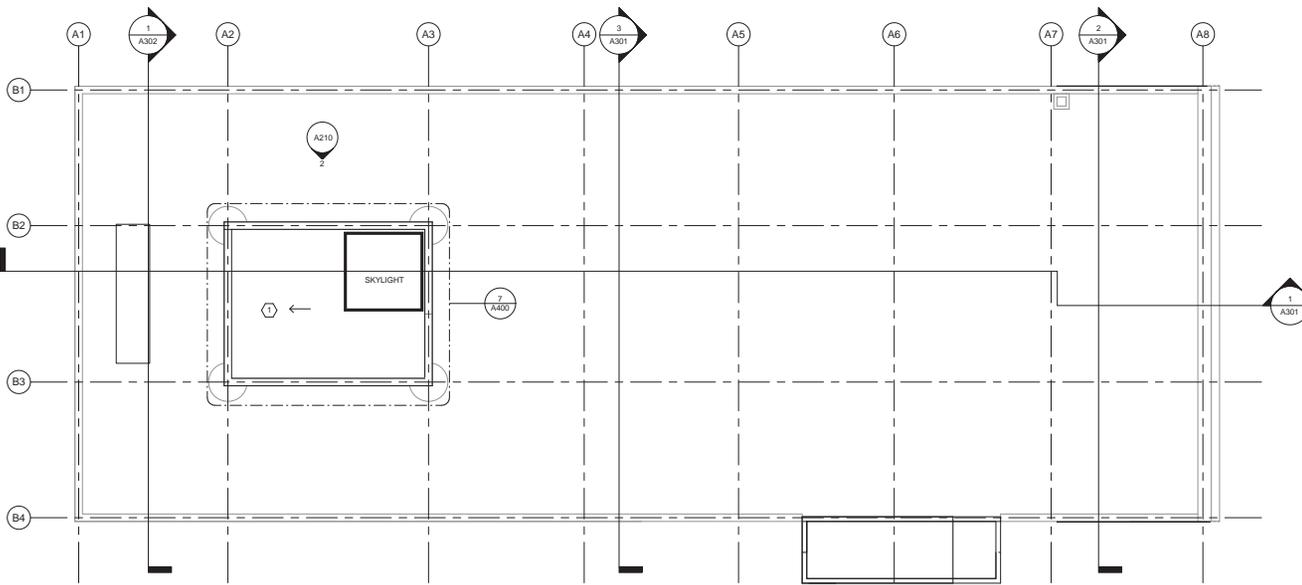


A **ROOF SECTION**
SCALE: 1/4" = 1'-0"



B **ROOF SECTION**
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



1 PENTHOUSE PLAN
SCALE: 1/8" = 1'-0"

WALL KEY



WALL TYPE SCHEDULE

- 1 SHAFT WALL
- 2 1/2" TYP GLASS
- 3 3/8" METAL STUD @ 16" O.C. W/ GWB R/S
- 4 6" STL STUD WALL ASSEMBLY W/ 5/8" CWB INTERIOR, MTL SKIN MASONRY FINISH TO MATCH ADJACENT
- 5 MASONRY FINISH TO MATCH ADJACENT
- 6 GLASS CURTAIN WALL

FLOOR / ROOF TYPE SCHEDULE

- 1 GLASS FLOOR
- 2 EXE CONCRETE
- 3 ROOF PAVERS OVER
- 4 RIGID INSULATION ROOF BOARD, TAPERED W/ FULLY ADHERED EPDM ROOF MEMBRANE
- 5 GLASS ROOF
- 6 STEEL DECK AND CONCRETE

GENERAL NOTES :

1. CONSULT ARCHITECT FOR CLARIFICATION OF INTENT IF UNCLEAR AND IF SPECIAL CONDITION ARE ENCOUNTERED.
2. FIELD VERIFY ALL DIMENSION ARE EXISTING CONDITION.
3. DIMENSIONS AT EXTERIOR WALL ARE TO OUTSIDE FACE OF SHEATHING.
4. DIMENSIONS AT INTERIOR WALLS ARE TO CENTER LINE OF WALL.
5. DIMENSIONS AT DEMISING WALLS ARE TO CENTER LINE OF WALL.
6. NEW DEMISING WALLS ARE TO BE TO UNDERSIDE OF EXISTING CONCRETE SLAB, 1HR FIRE RATING WITH ACOUSTIC RATING UNLESS NOTED OTHERWISE.

ROOF KEYNOTE

- 1 TAPERED INSULATION OVER EXISTING CONCRETE DECK WITH T.P.O. ROOF MEMBRANE, RIGID INSULATION MIN. THICKNESS 2". TAPER @ 1/4" PER FOOT AS SHOWN WITH ←
- 2 ROOF PAVERS ON ADJUSTABLE STANDS.



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ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT:

MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

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Name:
Alex Haacker, AIA
Signature:

License 49654
Date: 12/23/15

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Code RFI	12/23/15

PENTHOUSE PLAN

SHEET TITLE

A104

SHEET NO.

NOT FOR CONSTRUCTION

GENERAL ELEVATION NOTES:

- 1 VERIFY ALL OPENINGS IN FIELD
- 2 REFER TO WINDOW TYPES AND DETAILS FOR WINDOW AND ASSOCIATED MASONRY OPENINGS.
- 3 ALL EXTERIOR EXPOSED CONCRETE TO BE GENTLY CLEANED, REPAIR SPALDING AND CRACKS AND PAINTED WITH A GEMMINTIOUS GRAY PAINT. TOTAL 395 SF OF BEAM PATCHING.
- 4 ALL EXTERIOR MASONRY AND MORTAR JOINTS TO HAVE PAINT REMOVED. GENTLY CLEANED AND REPOINTED. 20% TUCKPOINT OF BRICK AREAS ON EAST, SOUTH AND WEST ASPECTS. 100% TUCKPOINT ON NORTH ASPECT.
- 5 AT NEW WINDOW/MASONRY OPENINGS, EXTERIOR BRICK TO BE CAREFULLY REMOVED (NOT SAWCUT) AND SAVED FOR REUSE. TOOTH IN REUSED BRICK AT WINDOW JAMBS AND RETURNS.
- 6 ALL EXISTING NON- PAINTED BRICK TO BE PROPERLY REPAIRED AND LEFT UNPAINTED.
- 7 REBAR TO BE CLEANED AND COATED WITH A RUST INHIBITING COATING, NO EPOXY PAINTS.
- 8 ROOF COPING - ALLOWANCE OF 15 NEW CAPS.
- 9 MASONRY CONTRACTOR TO SET UP SWING STAGING ON BRICK ELEVATIONS.

EXTERIOR MATERIAL KEYNOTES

- 1A METAL PANEL ZINC COLOR #1
- 2A CHASKA BRICK
- 3A MASONRY CAP
- 4A CONCRETE
- 5A STUCCO
- 6A GLAZED BRICK



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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Name:
Alex Haacker, AIA
Signature:
[Signature]
License: 49654
Date: 12/23/15

DATE	DATE
NPS PART II	11/06/15
Code Application	12/01/15
Code RFI	12/23/15

ELEVATION

SHEET TITLE
A200
SHEET NO.

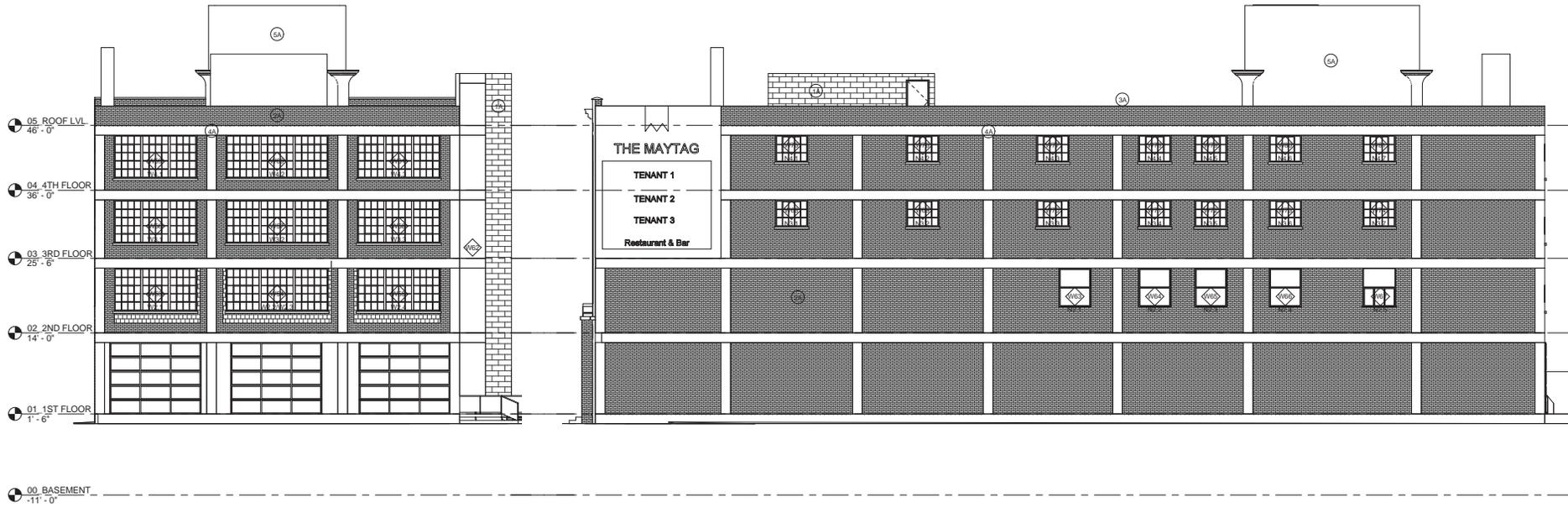
NOT FOR CONSTRUCTION

GENERAL ELEVATION NOTES:

- 1 VERIFY ALL OPENINGS IN FIELD
- 2 REFER TO WINDOW TYPES AND DETAILS FOR WINDOW AND ASSOCIATED MASONRY OPENINGS.
- 3 ALL EXTERIOR EXPOSED CONCRETE TO BE GENTLY CLEANED, REPAIR SPALLING AND CRACKS AND PAINTED WITH A GEMINTTIOUS GRAY PAINT. TOTAL 375 SF OF BEAM PATCHING.
- 4 ALL EXTERIOR MASONRY AND MORTAR JOINTS TO HAVE PAINT REMOVED. GENTLY CLEANED AND REPOINTED. 20% TUCKPOINT OF BRICK AREAS ON EAST, SOUTH AND WEST ASPECTS. 100% TUCKPOINT ON NORTH ASPECT.
- 5 AT NEW WINDOW/MASONRY OPENINGS, EXTERIOR BRICK TO BE CAREFULLY REMOVED (NOT SAWCUT) AND SAVED FOR REUSE. TOOTH IN REUSED BRICK AT WINDOW JAMBS AND RETURNS.
- 6 ALL EXISTING NON-PAINTED BRICK TO BE PROPERLY REPAIRED AND LEFT UNPAINTED.
- 7 REBAR TO BE CLEANED AND COATED WITH A RUST INHIBITING COATING. NO EPOXY PAINTS.
- 8 ROOF COPING - ALLOWANCE OF 15 NEW CAPS.
- 9 MASONRY CONTRACTOR TO SET UP SWING STAGING ON BRICK ELEVATIONS.

EXTERIOR MATERIAL KEYNOTES

- 1A METAL PANEL ZINC COLOR #1
- 2A CHASKA BRICK
- 3A MASONRY CAP
- 4A CONCRETE
- 5A STUCCO
- 6A GLAZED BRICK



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



ARCHITECT
STRUCTURAL ENGINEER
CIVIL ENGINEER

PROJECT:
MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

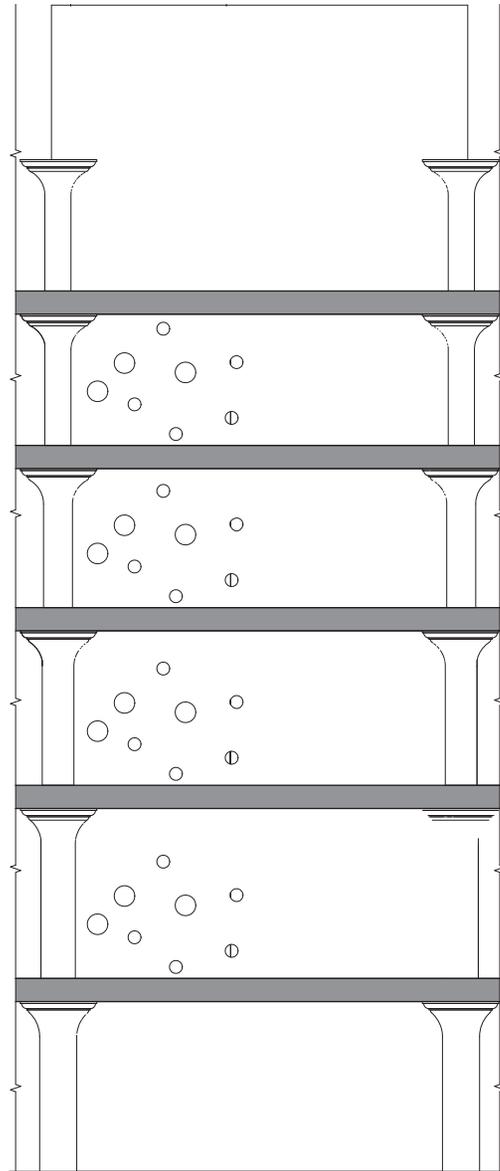
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Name:
Alex Haacker, AIA
Signature:
[Signature]
License: 48654
Date: 12/23/15

DATE	DATE
NPS PART II	11/06/15
Code Application	12/01/15
Code RFI	12/23/15

ELEVATION
SHEET TITLE
A201
SHEET NO.

NOT FOR CONSTRUCTION



2 LIFT ELEVATION
SCALE: 1/4" = 1'-0"



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PROJECT:

MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

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Name:
Alex Haacker, AIA

Signature:

[Signature]

License 49614

Date: 12/23/15

DATE	DESCRIPTION
11/06/15	NPS PART II
12/01/15	COIA Application
12/23/15	COIA RFI

ENLARGED ELEVATIONS

SHEET TITLE

A210

SHEET NO.

NOT FOR CONSTRUCTION



1 SECTION
SCALE: 1/8" = 1'-0"



2 SECTION
SCALE: 1/8" = 1'-0"



3 SECTION
SCALE: 1/8" = 1'-0"



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ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT:

MAYTAG BUILDING
CORE AND SHELL PACKAGE
PROPOSED MIXED USE DEVELOPMENT

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Name:

Alex Haacker, AIA

Signature:

License 48654

Date: 12/23/15

Issue

NPS PART II 11/06/15

Code Application 12/23/15

Code RFI 12/23/15

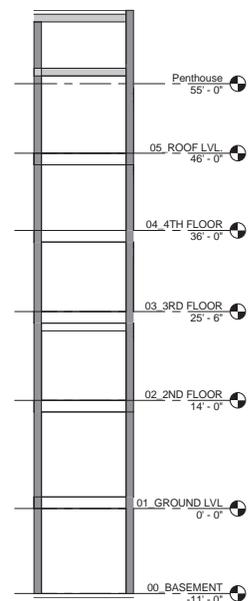
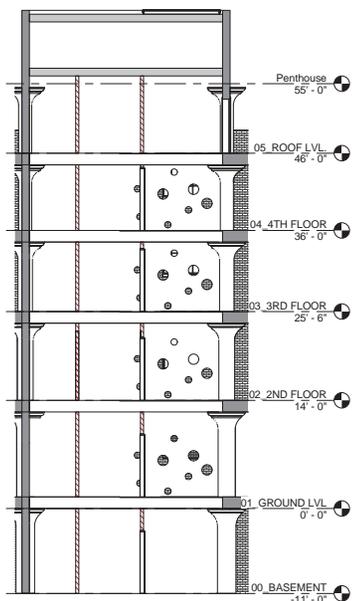
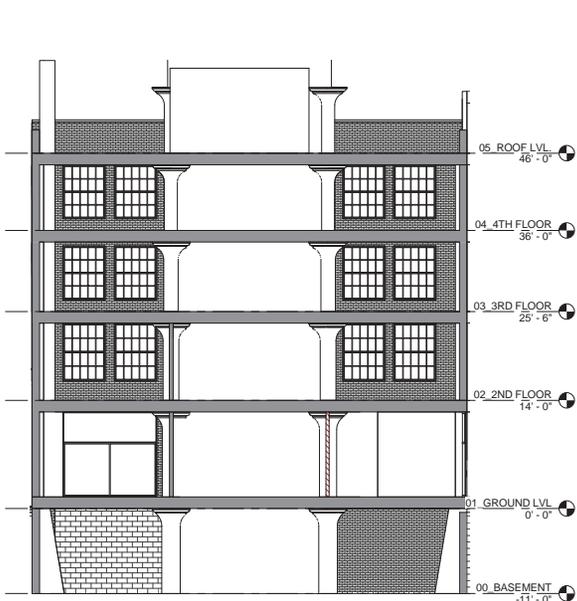
BUILDING SECTION

SHEET TITLE

A301

SHEET NO.

NOT FOR CONSTRUCTION



1 SECTION
SCALE: 1/8" = 1'-0"

2 SECTION
SCALE: 1/8" = 1'-0"

3 SECTION
SCALE: 1/8" = 1'-0"

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Name:
Alex Haackler, AIA
Signature:

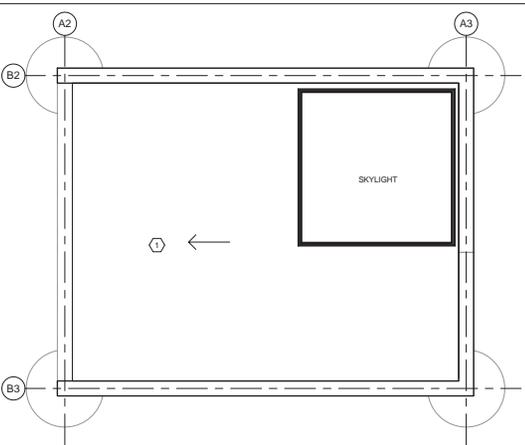
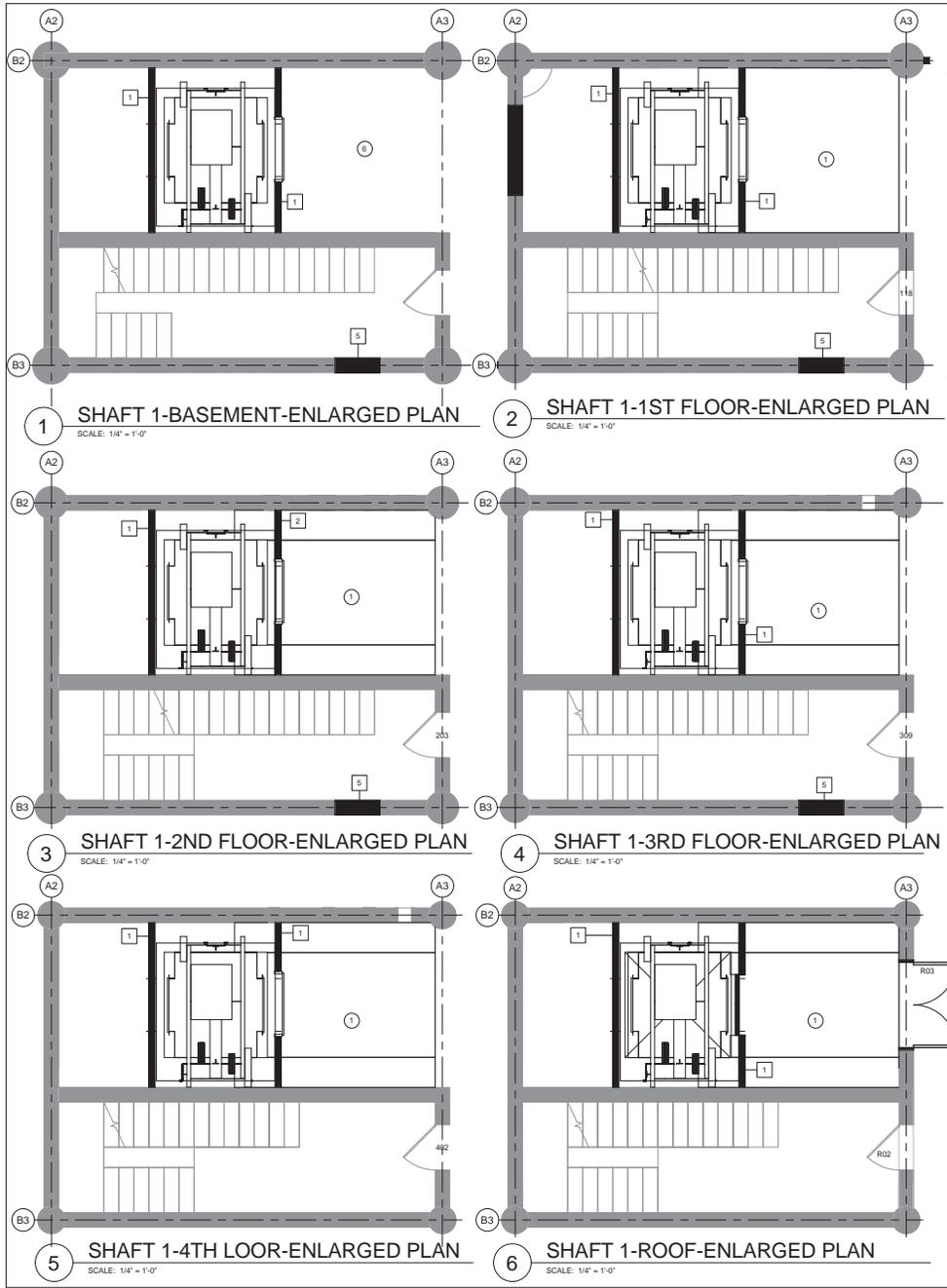
Alex Haackler
License 49624
Date: 12/23/15

DATE	DESCRIPTION
11/06/15	NPS PART II
12/01/15	Cost Application
12/23/15	Cost RFI

BUILDING SECTION

SHEET TITLE
A302
SHEET NO.

NOT FOR CONSTRUCTION



7 SHAFT 1-PENTHOUSE-ENLARGED PLAN
SCALE: 1/4" = 1'-0"

WALL KEY



WALL TYPE SCHEDULE

- 1 SHAFT WALL
- 2 1/2" TMP GLASS
- 3 3.58" METAL STUD @ 18" O.C. W/ GWB R/S
- 4 6" STL STUD WALL ASSEMBLY W/ 5/8" GWB INTERIOR, INTL. SINK
- 5 MASONRY INFILL TO MATCH ADJACENT
- 6 GLASS CURTAIN WALL

FLOOR / ROOF TYPE SCHEDULE

- 1 GLASS FLOOR
- 2 EXE CONCRETE
- 3 ROOF PAVERS OVER 4
- 4 RIGID INSULATION ROOF BOARD, TAPERED W/FULLY ADHERED EPDM ROOF MEMBRANE
- 5 GLASS ROOF
- 6 STEEL DECK AND CONCRETE

ROOF KEYNOTE

- 1 TAPERED INSULATION OVER EXISTING CONCRETE DECK WITH T.P.O. ROOF MEMBRANE. RIGID INSULATION MIN. THICKNESS 2"; TAPER @ 1:4" PER FOOT AS SHOWN WITH ←
- 2 ROOF PAVERS ON ADJUSTABLE STANDS.



ARCHITECT

STRUCTURAL ENGINEER

CIVIL/EA ENGINEER

PROJECT:

MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

11/06/15
12/23/15

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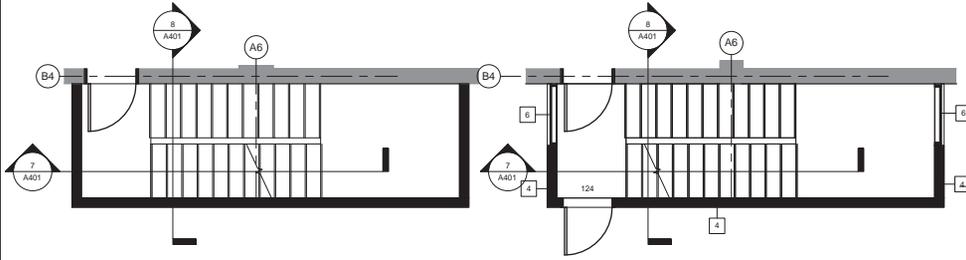
12/23/15

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12/23/15

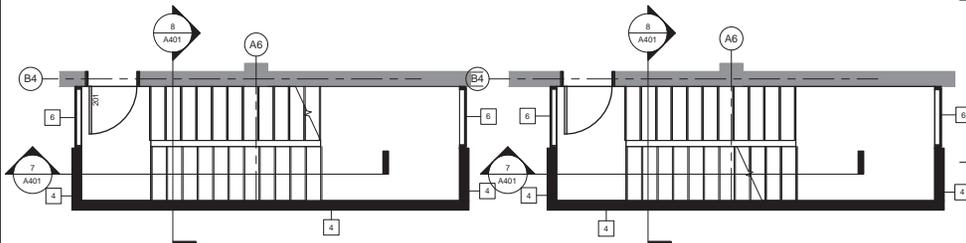
NOT FOR CONSTRUCTION

ENLARGE PLANS
SHEET TITLE
A400
SHEET NO.



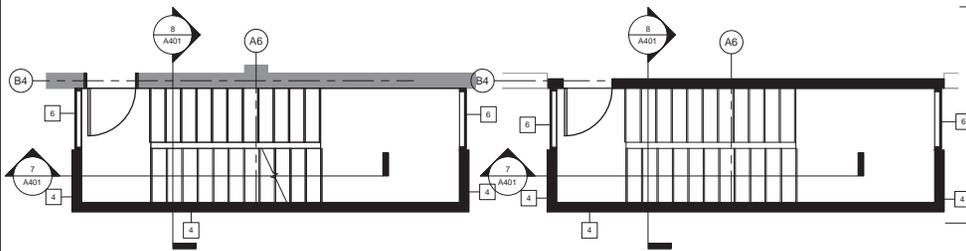
1 EGRESS STAIR ENLARGED-BAS FL
SCALE: 1/4" = 1'-0"

2 EGRESS STAIR ENLARGED-1ST FL
SCALE: 1/4" = 1'-0"



3 EGRESS STAIR ENLARGED-2ND FL
SCALE: 1/4" = 1'-0"

4 EGRESS STAIR ENLARGED-3RD FL
SCALE: 1/4" = 1'-0"

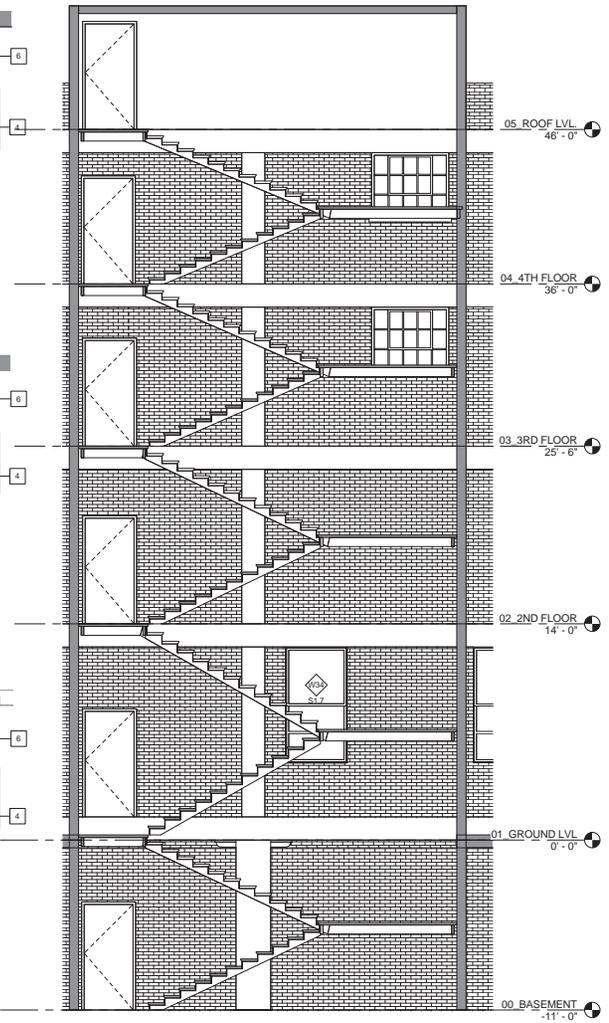


5 EGRESS STAIR ENLARGED-4TH FL
SCALE: 1/4" = 1'-0"

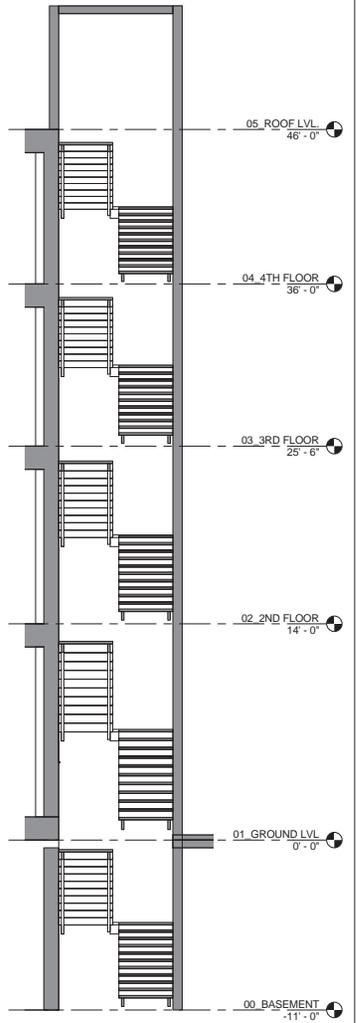
6 EGRESS STAIR ENLARGED-ROOF
SCALE: 1/4" = 1'-0"

WALL TYPE SCHEDULE

- 1 SHAFT WALL
- 2 1/2" TMP GLASS
- 3 3 5/8" METAL STUD @ 16" O.C. W/ GWB RIS
- 4 6" STL STUD WALL ASSEMBLY W/ 5/8" GWB INTERIOR, MTL SKIN
- 5 MASONRY INFILL TO MATCH ADJACENT
- 6 GLASS CURTAIN WALL



7 EGRESS STAIR SECTION 1
SCALE: 1/4" = 1'-0"



8 EGRESS STAIR SECTION 2
SCALE: 1/4" = 1'-0"

ARCHITECT

STRUCTURAL ENGINEER

CIVIL/EA ENGINEER

PROJECT:

MAYTAG BUILDING
CORE AND SHELL PACKAGE
PROPOSED MIXED USE DEVELOPMENT

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Name: Alex Haecker, AIA
Signature:
License: 48654
Date: 12/23/15

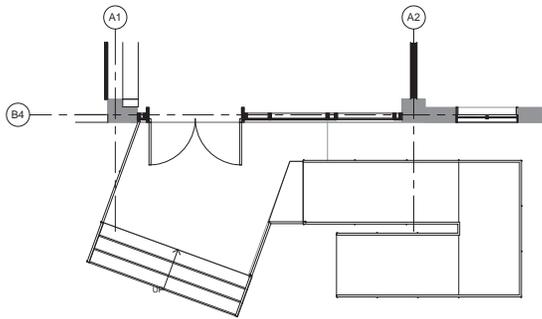
DATE	DESCRIPTION
11/06/15	NSP PART II
12/01/15	Code Application
12/23/15	Code RFI

ENLARGE PLANS

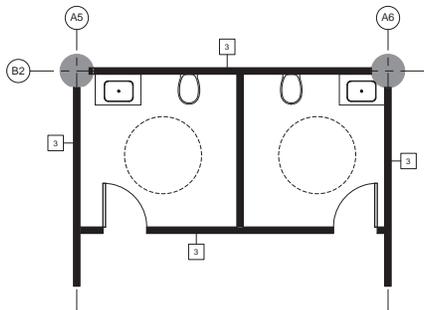
SHEET TITLE

A401
SHEET NO.

NOT FOR CONSTRUCTION



3 ENLARGE DETAIL - 5
SCALE: 1/4" = 1'-0"



5 TYPICAL TOILET LAYOUT
SCALE: 1/4" = 1'-0"

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Name:

Alex Haacker, AIA

Signature:

License 49614

Date: 12/23/15

Issue	Date
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ENLARGE PLANS

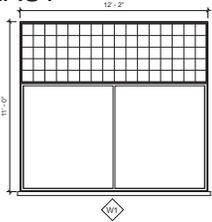
SHEET TITLE

A402

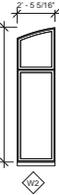
SHEET NO.

NOT FOR CONSTRUCTION

EAST



Window E1.1 Exterior
Proposed Work- Window to be restored: remove paint from glass block, scrape and repair wood components, re-caulk joints, repair and replace wood components as needed.

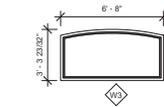


Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and replace wood components as needed. Non-Historic double door to be replaced with new wood door with insulated glass to match historic profile.

Window E1.1 Interior
Proposed Work- Window to be restored: remove boarded up panels, scrape and repair wood components, re-caulk joints, repair and replace wood components as needed.

Window E1.2 Interior
Historic wood frame windows with single pane Condition: Good
Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and replace wood components as needed. Remove all non-historic hardware and components.

Window E1.1 Interior Close Up
Proposed Work- Repair or replace missing wood component.

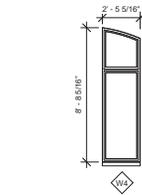


Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and replace wood components as needed. Non-Historic double door to be replaced with new wood door with insulated glass to match historic profile.

Window E1.3 Interior
Historic wood frame windows with single pane Condition: Good
Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and replace wood components as needed. Remove all non-historic hardware and components.

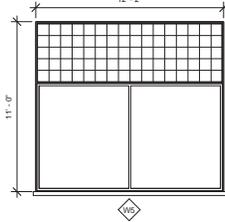
Window E1.3 Interior Close Up Door
Proposed Work- Non-Historic double door to be replaced with new wood door with insulated glass to match historic profile.

Window E1.3 Interior Close Up Window
Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and replace wood components as needed. Remove all non-historic hardware and components.



Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and replace wood components as needed. Non-Historic double door to be replaced with new wood door with insulated glass to match historic profile.

Window E1.4 Interior
Historic wood frame windows with single pane Condition: Good
Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and replace wood components as needed. Remove all non-historic hardware and components.
Maytag Building
Window Survey 10/27/2015

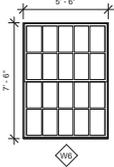


Proposed Work- Window to be restored: remove paint from glass block, scrape and repair wood components, re-caulk joints, repair and replace wood components as needed. New glass block to match historic where missing.

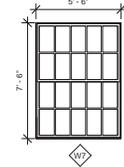
Window E1.5 Interior
Historic wood frame storefront window with multi lite glass block transom and single pane lower sash Condition: Fair
Proposed Work- Window to be restored: remove boarded up panels, scrape and repair wood components, re-caulk joints, repair and replace wood components as needed.

Window E1.5 Interior Close Up
Proposed Work- Repair or replace missing wood component. Remove non-historic hardware and components.

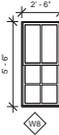
LEVEL 1



Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed and missing panes. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed and missing panes. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



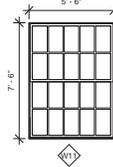
Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed and missing panes. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



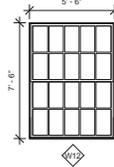
Proposed Work- Windows to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed and missing panes. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed and missing panes. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.

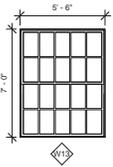


Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.

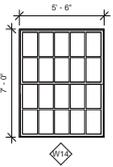
Window E2.1-A
Proposed Work- Replace in kind dry rot wood frame, sill and surrounds as needed.

Window E2.1-B
Proposed Work- Replace in kind dry rot wood frame, sill and surrounds as needed.

LEVEL 2



Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



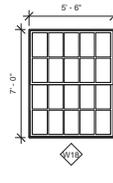
Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed and missing panes. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



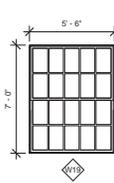
Proposed Work- Windows to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed and missing panes. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.

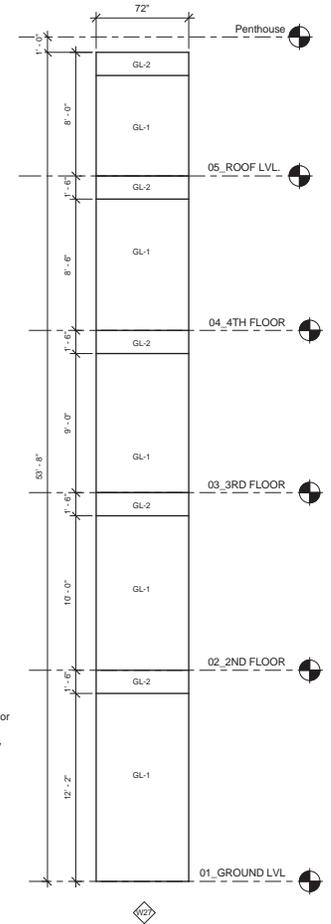


Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.



Proposed Work- Window to be restored: Scrape and repair wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove non-historic interior storm, hardware and associated components.

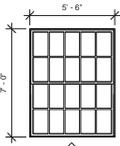
LEVEL 3



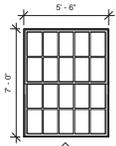
1ST FLOOR TO ROOF LVL

GLASS SCHEDULE			
GL-1	NEW	1/2" INSUL. GLASS, AR FILL, TEMP AS REQ'D	
GL-2	NEW	SPANDREL GLASS	
GL-3	OLD	1/4" THICK CLEAR	

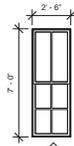
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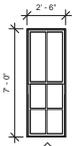
Proposed Work- Window to be restored: Scrape and repaint wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove any non-historic components.



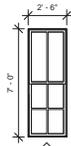
Proposed Work- Window to be restored: Scrape and repaint wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove any non-historic components.



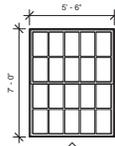
Proposed Work- Window to be restored: Scrape and repaint wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove any non-historic components.



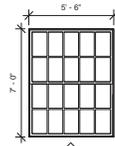
Proposed Work- Windows to be restored: Scrape and repaint wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Replace or restore loose pane and frame. Replace dry rot exterior wood surrounds as needed. Remove any non-historic components.



Proposed Work- Window to be restored: Scrape and repaint wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Replace dry rot wood surrounds as needed. Remove non-historic interior storm, hardware and associated components.



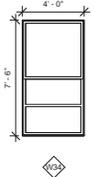
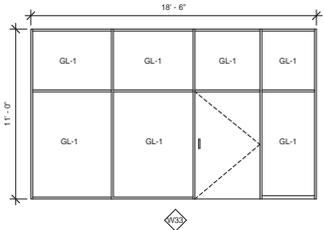
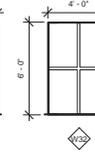
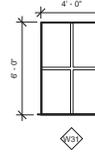
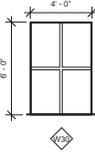
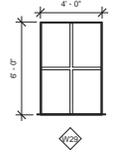
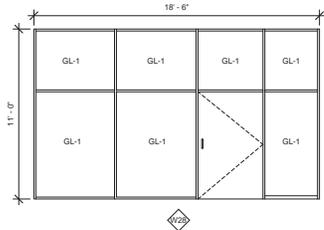
Proposed Work- Window to be restored: Scrape and repaint wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Replace dry rot exterior wood surrounds as needed. Remove any non-historic components.



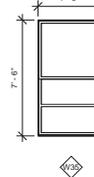
Proposed Work- Window to be restored: Scrape and repaint wood components, re-caulk joints, repair and or replace wood components in kind as needed. Repair and or replace sash cords, weights and pulleys as needed. Remove any non-historic components.

LEVEL 4

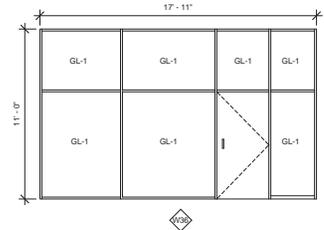
SOUTH



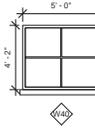
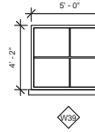
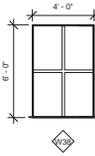
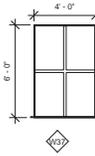
Proposed Work- Window to be restored: Scrape and repaint components, re-caulk joints, repair and or replace components in kind as needed. Scrap paint from all glazing. Remove any non-historic components. Window to be secured shut and made non-operable.



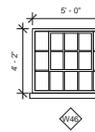
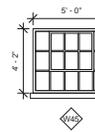
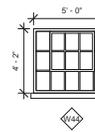
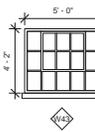
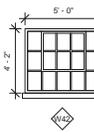
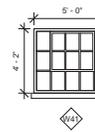
Proposed Work- Window to be restored: Scrape and repaint components, re-caulk joints, repair and or replace components in kind as needed. Scrap paint from all glazing. Remove any non-historic components. Window to be secured shut and made non-operable.



LEVEL 1



LEVEL 2



Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts.

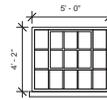
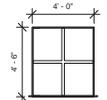
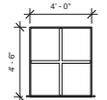
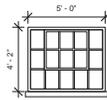
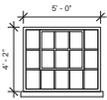
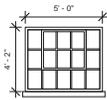
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.

LEVEL 3

GLASS SCHEDULE			
GL-1	NEW	1/2" INSUL. GLASS, AR FILL, TEMP AS REQD	
GL-2	OLD	1/4" THICK CLEAR	



Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove degraded steel components and operable sections. Clean, lubricate and/or repair hinges and moving parts.

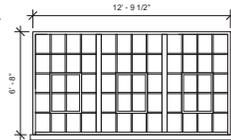
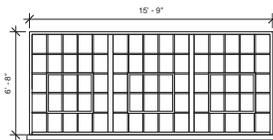
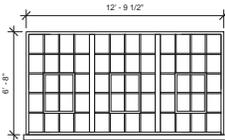
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove degraded steel components and replace in-kind. Repair masonry and concrete surrounds as required.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.

LEVEL 4

WEST

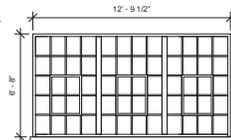
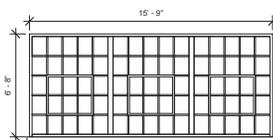
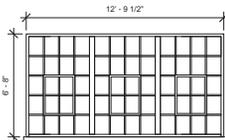


Proposed Work- Window to be removed. Infill concrete masonry unit infill to be removed. New Window: 2x3 steel frame fixed window with insulated clear glass.

Proposed Work- Window to be removed. Infill concrete masonry unit infill to be removed. New Window: 2x3 steel frame fixed window with insulated clear glass.

Proposed Work- Window to be removed. Infill concrete masonry unit infill to be removed. New Window: 2x3 steel frame fixed window with insulated clear glass.

LEVEL 2

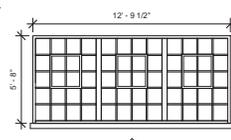
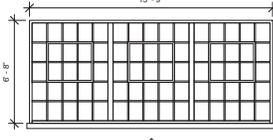
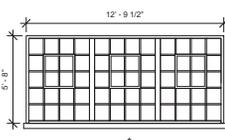


Proposed Work- Window to be removed. New Window: 2x3 steel frame fixed window with insulated clear glass.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.

LEVEL 3

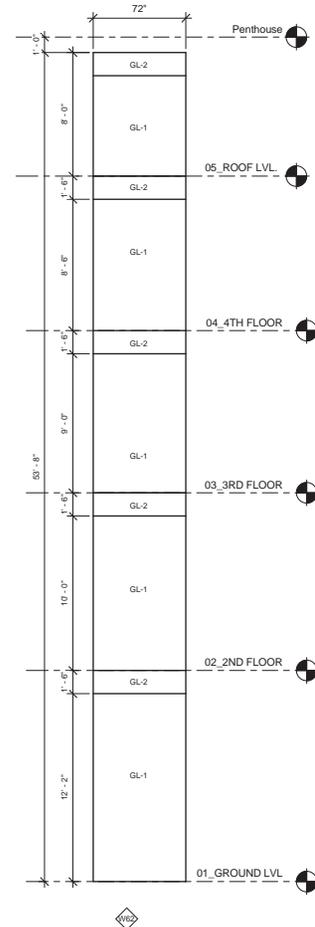


Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic wood surrounds.

Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.

LEVEL 4



1ST FLOOR TO ROOF LVL

GLASS SCHEDULE			
GL-1	NEW	1/2" INSUL. GLASS, AR FILL, TEMP AS REQ'D.	
GL-2	OLD	1/4" THICK CLEAR	



Alex Haackler, AIA
21 E 26th St
Minneapolis, MN 55404
alex@amhinc.com
612-556-5383

ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT:

MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Name:

Alex Haackler, AIA

Signature:

License 48654

Date: 12/23/15

Scale

NPS PART II 1/16/15

Code Application 1/25/15

Code RFI 1/23/15

WINDOW TYPES

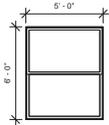
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A603

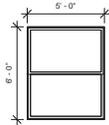
SHEET NO.

NOT FOR CONSTRUCTION

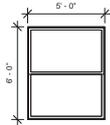
NORTH



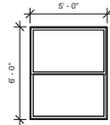
Proposed Work- Window to be removed and replaced.
New Window: 2/2 aluminum window frame with insulated, clear glass.



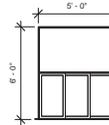
Proposed Work- Window to be removed and replaced.
New Window: 2/2 aluminum window frame with insulated, clear glass.



Proposed Work- Window to be removed and replaced.
New Window: 2/2 aluminum window frame with insulated, clear glass.

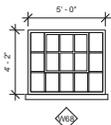


Proposed Work- Window to be removed and replaced.
New Window: 2/2 aluminum window frame with insulated, clear glass.

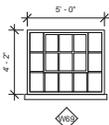


Proposed Work- Window to be removed and replaced.
New Window: 2/2 aluminum window frame with insulated, clear glass.

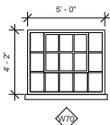
LEVEL 2



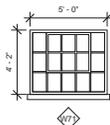
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts.



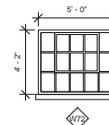
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.



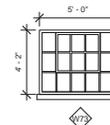
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts.



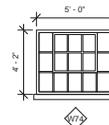
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts.



Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts.

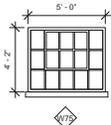


Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.

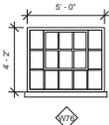


Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.

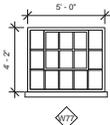
LEVEL 3



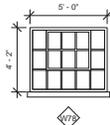
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.



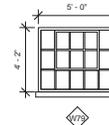
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.



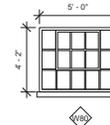
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.



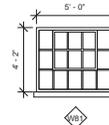
Proposed Work- Window to be restored. Remove all glass units and glazing compound. Remove rust and flaking from steel components, replace and/or repair as required. Prime, paint and install new single pane clear glass units. Repair masonry surrounds and caulk with elastomeric caulk. Clean, lubricate and/or repair hinges and moving parts. Remove non-historic components.



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LEVEL 4

GLASS SCHEDULE			
GL-1	NEW	1/2" INSUL. GLASS, AR FILL, TEMP AS REQD	
GL-2	OLD	1/4" THICK CLEAR	

NOT FOR CONSTRUCTION



ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT:

MAYTAG BUILDING
PROPOSED MINED USE DEVELOPMENT
CORE AND SHELL PACKAGE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

Name:
Alex Haackler, AIA
Signature:

License
4864
Date: 12/23/15

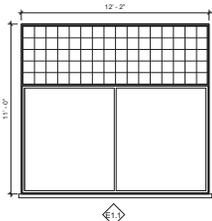
DATE	DESCRIPTION
11/06/15	NPS PART II
12/01/15	CDIA Application
12/23/15	CDIA RFI

WINDOW TYPES

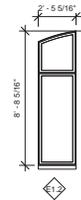
SHEET TITLE

A604

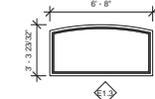
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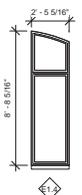
Window E1.1 Exterior Historic wood frame storefront window with multi lite glass block transom and single pane lower sash
Condition: Fair



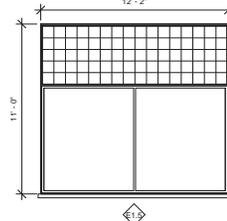
Window E1.2-3-4 Historic wood frame windows with single pane
Condition: Good



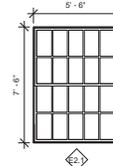
Window E1.2-3-4 Historic wood frame windows with single pane
Condition: Good



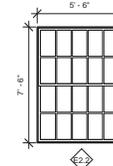
Window E1.2-3-4 Historic wood frame windows with single pane
Condition: Good



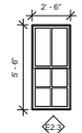
Window E1.5 Historic wood frame storefront window with multi lite glass block transom and single pane lower sash
Condition: Fair



Historic double hung 10/10 wood frame windows with single pane
Condition: Fair



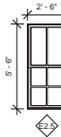
Historic double hung 10/10 wood frame windows with single pane
Condition: Good



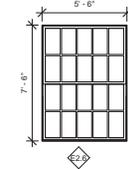
Window E2.3 Historic double hung 2/4 wood frame windows with single pane
Condition: Fair



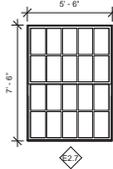
Set of (3) Historic double hung 2/4 wood frame windows with single pane
Condition: Fair



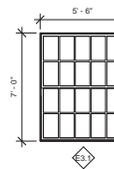
Historic double hung 2/4 wood frame windows with single pane
Condition: Fair



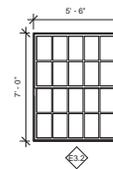
Historic double hung 10/10 wood frame windows with single pane
Condition: Fair



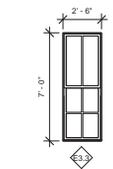
Historic double hung 10/10 wood frame windows with single pane
Condition: Fair



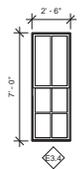
Historic double hung 10/10 wood frame windows with single pane
Condition: Fair



Historic double hung 10/10 wood frame windows with single pane
Condition: Fair



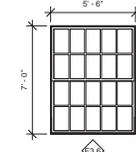
Historic double hung 2/4 wood frame windows with single pane
Condition: Fair



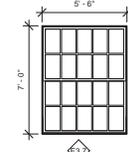
Set of (3) Historic double hung 2/4 wood frame windows with single pane
Condition: Fair



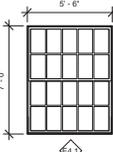
Historic double hung 2/4 wood frame windows with single pane
Condition: Fair



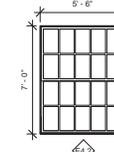
Historic double hung 10/10 wood frame windows with single pane
Condition: Fair



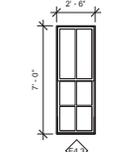
Historic double hung 2/4 wood frame windows with single pane
Condition: Fair



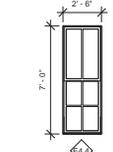
Historic double hung 10/10 wood frame windows with single pane
Condition: Good



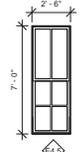
Historic double hung 10/10 wood frame windows with single pane
Condition: Good



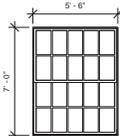
Historic double hung 2/4 wood frame windows with single pane
Condition: Good



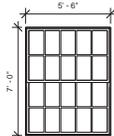
Set of (3) Historic double hung 2/4 wood frame windows with single pane
Condition: Fair



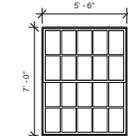
Historic double hung 2/4 wood frame windows with single pane
Condition: Fair



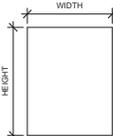
Historic double hung 10/10 wood frame windows with single pane
Condition: Fair



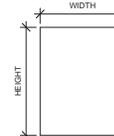
Historic double hung 10/10 wood frame windows with single pane
Condition: Good



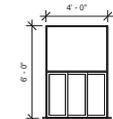
Non-historic fixed 3/3 metal frame window with insulated glazing.
Condition: Fair



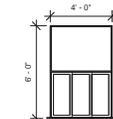
Historic fixed 5/5 wood frame window with single pane
Condition: Fair



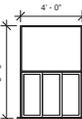
Historic fixed 5/5 wood frame window with single pane
Condition: Fair



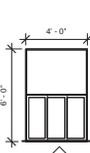
Non-historic fixed 3/3 metal frame window with insulated glazing.
Condition: Fair



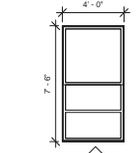
Non-historic fixed 3/3 metal frame window with insulated glazing.
Condition: Fair



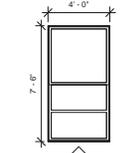
Non-historic fixed 3/3 metal frame window with insulated glazing.
Condition: Fair



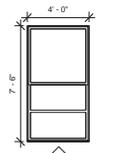
Non-historic fixed 3/3 metal frame window with insulated glazing.
Condition: Fair



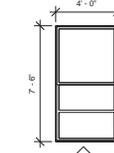
Historic 3/3 double hung metal frame with single pane chicken wire glazing.
Condition: Fair



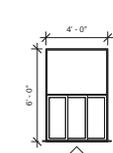
Historic 3/3 double hung metal frame with single pane chicken wire glazing.
Condition: Fair



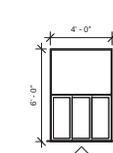
Historic 3/3 double hung metal frame with single pane chicken wire glazing.
Condition: Fair



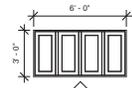
Historic 3/3 double hung metal frame with single pane chicken wire glazing.
Condition: Fair



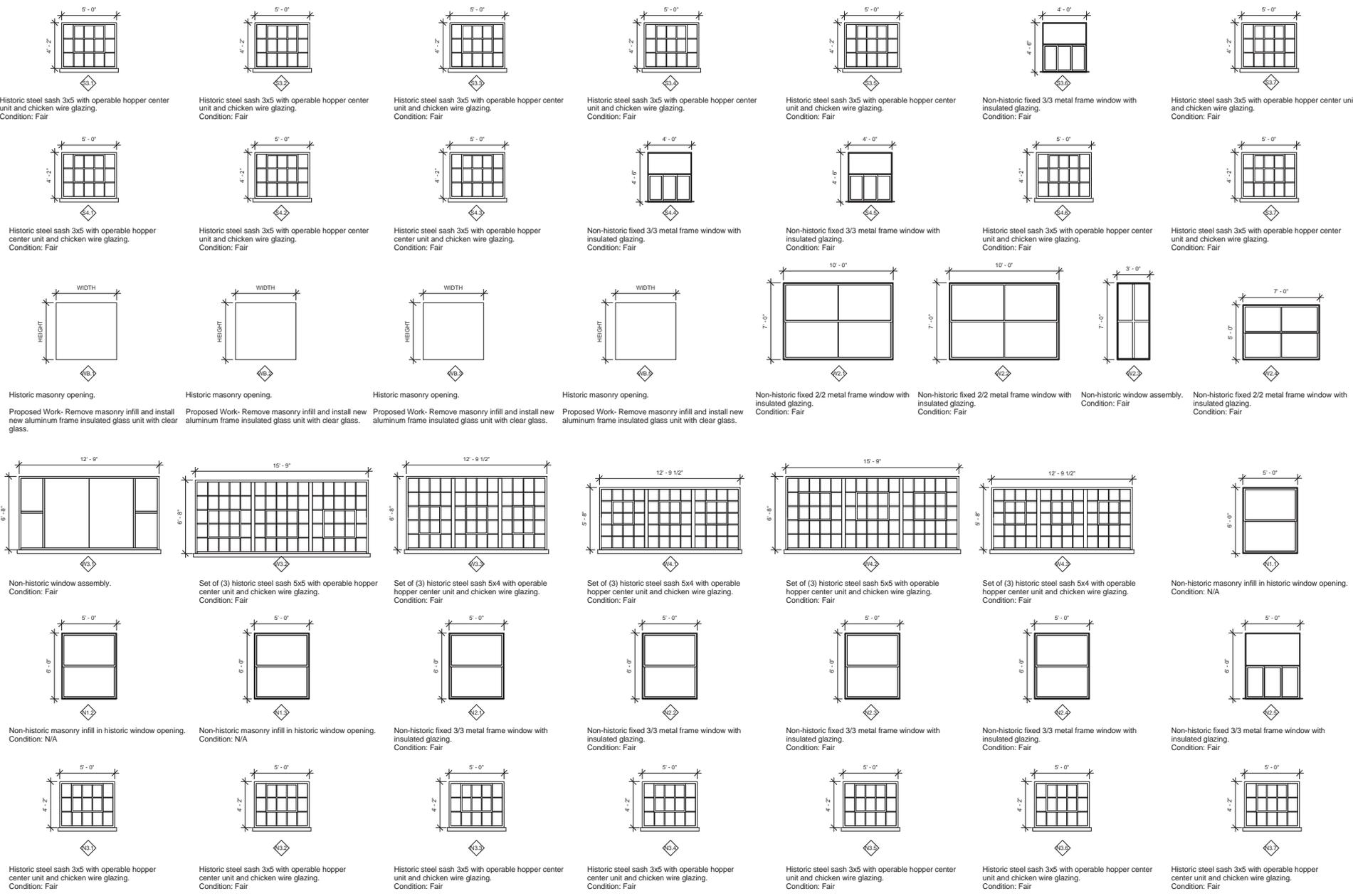
Non-historic fixed 3/3 metal frame window with insulated glazing.
Condition: Fair



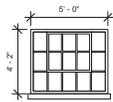
Non-historic fixed 3/3 metal frame window with insulated glazing.
Condition: Fair



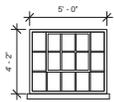
Non-historic wood casement window with insulated glazing.
Condition: Fair



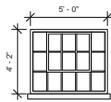
NOT FOR CONSTRUCTION



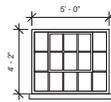
Historic steel sash 3x5 with operable hopper center unit and chicken wire glazing.
Condition: Fair



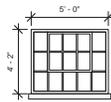
Historic steel sash 3x5 with operable hopper center unit and chicken wire glazing.
Condition: Fair



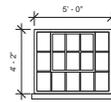
Historic steel sash 3x5 with operable hopper center unit and chicken wire glazing.
Condition: Fair



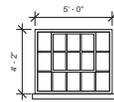
Historic steel sash 3x5 with operable hopper center unit and chicken wire glazing.
Condition: Fair



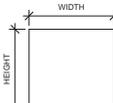
Historic steel sash 3x5 with operable hopper center unit and chicken wire glazing.
Condition: Fair



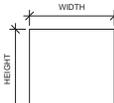
Historic steel sash 3x5 with operable hopper center unit and chicken wire glazing.
Condition: Fair



Historic steel sash 3x5 with operable hopper center unit and chicken wire glazing.
Condition: Fair



Historic steel sash 2x5 with chicken wire glazing.
Condition: Poor
Proposed Work- Window to be replaced.
New Window: Aluminum storefront assembly with insulated, clear glass.



Historic steel sash 2x3 with chicken wire glazing.
Condition: Fair

EXISTING WINDOW TYPES



Alex Haacker, AIA
21 E 26th St
Minneapolis, MN 55404
alex@amhinc.net
amhinc.net 612-556-0383

ARCHITECT

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT:

MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Name:
Alex Haacker, AIA
Signature:

License 49624
P.

Date: 12/23/15

Book	Date
NPS PART II	11/06/15
Cost Application	12/23/15
Cost RFI	12/23/15

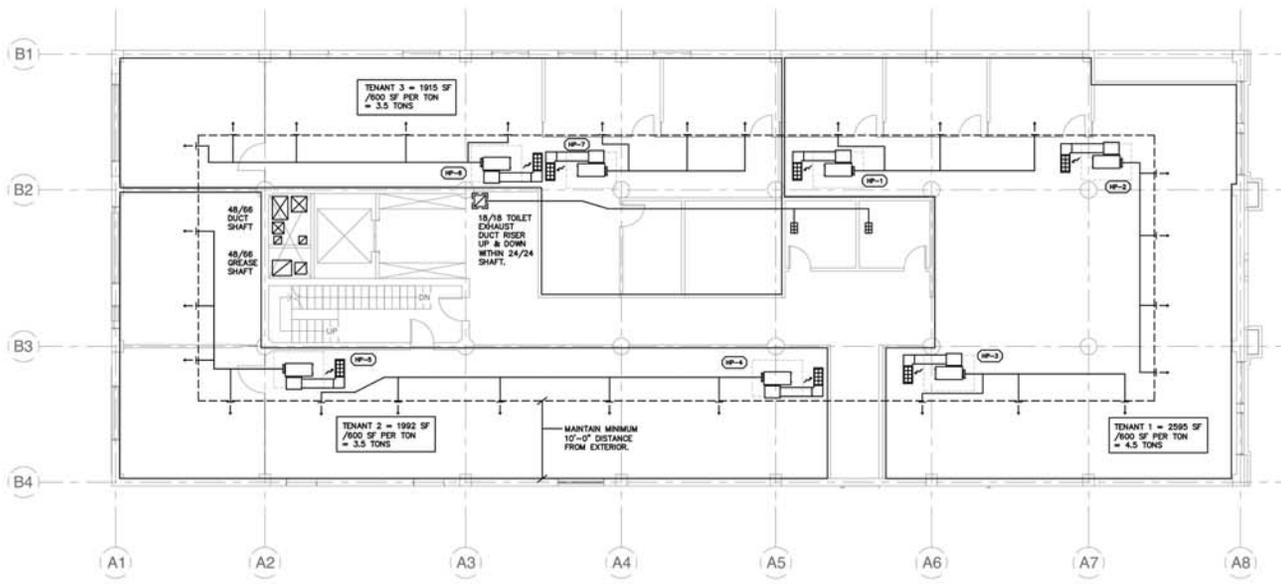
WINDOW SURVEY

SHEET TITLE

WS03

SHEET NO.

NOT FOR CONSTRUCTION



1 SECOND FLOOR - HVAC NEW CONSTRUCTION PLAN
(TYPICAL MULTI-TENANT)
1/8" = 1'-0"



FRANA
companies
633 Second Avenue South
Hopkins, Minnesota 55343
952.935.8500
952.935.9644 fax
www.frana.com

STEEN
ENGINEERING INC.
763-585-6742
763-585-6757 fax
Email: steen@steeneng.com
5430 Douglas Drive North
Crystal, MN 55429
Steen Job #FAS201305

AMH
Alex Haacker, AIA
21 E 26th St
Minneapolis, MN 55404
alex@amhinc.net
amhinc.net 612-556-0383

ARCHITECT
STRUCTURAL ENGINEER
CIVIL ENGINEER

PROJECT:
MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

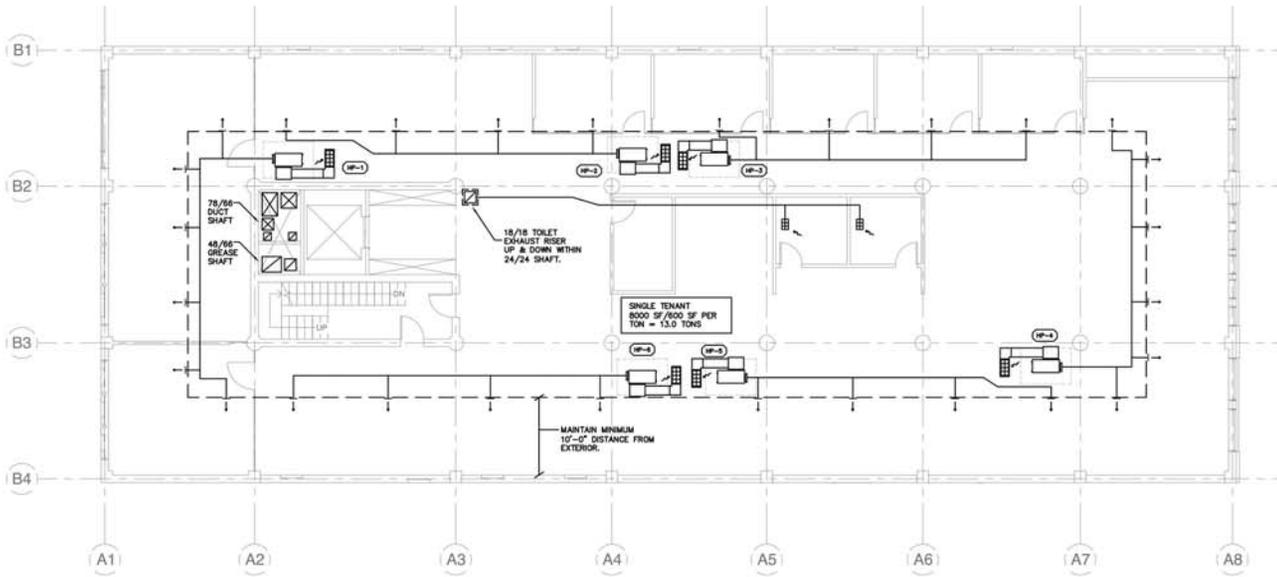
Name:
Alex Haacker, AIA
Signature:
License: 49614
Date: 12/23/15

Book	Date
NPS PART II	11/06/15
Code Application	12/23/15
Code Ref	12/23/15

SECOND FLOOR HVAC NEW

SHEET TITLE
M102
SHEET NO.

**PRELIMINARY
NOT FOR
CONSTRUCTION**
NOT FOR CONSTRUCTION



1 THIRD FLOOR - HVAC NEW CONSTRUCTION PLAN
(TYPICAL SINGLE TENANT)
1/8" = 1'-0"



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amhinc.net 612-556-0383

ARCHITECT
STRUCTURAL ENGINEER
CIVIL/EA ENGINEER

PROJECT:

MAYTAG BUILDING
PROPOSED MIXED USE DEVELOPMENT
CORE AND SHELL PACKAGE

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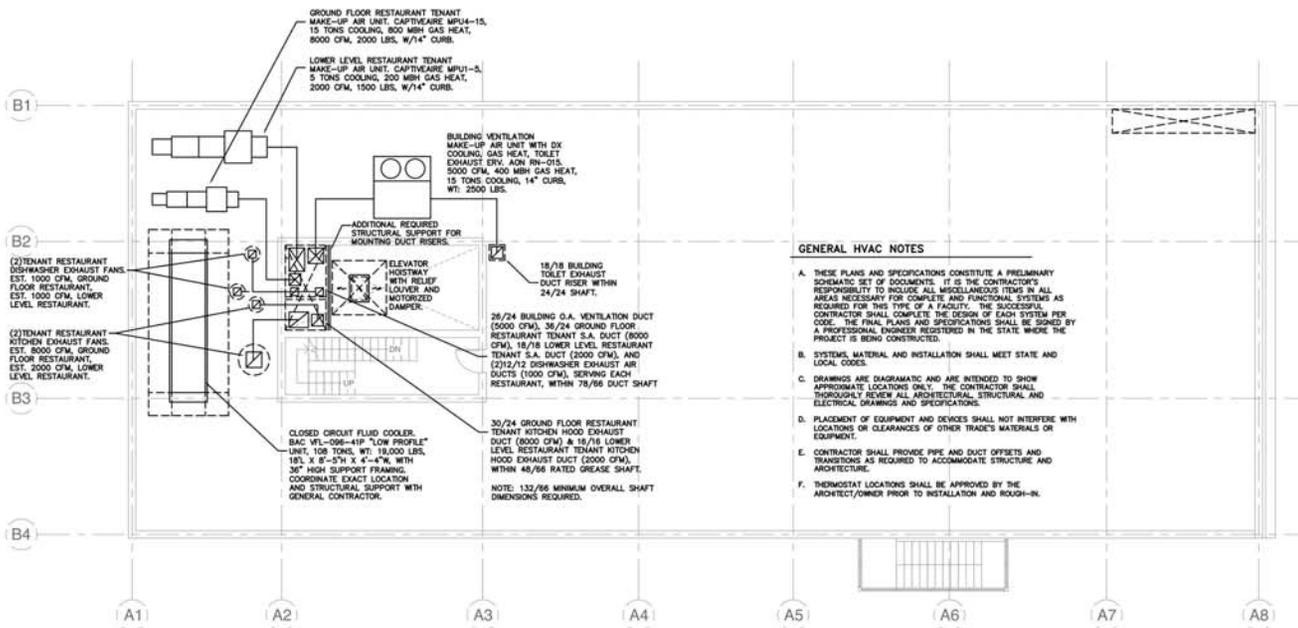
Name:
Alex Haacker, AIA
Signature:
License 49654
Date: 12/23/15

DATE	DATE
NPS PART II	11/06/15
Code Application	12/01/15
Code RFI	12/23/15

THIRD FLOOR
HAVC NEW

SHEET TITLE
M103
SHEET NO.

**PRELIMINARY
NOT FOR
CONSTRUCTION**
NOT FOR CONSTRUCTION



GENERAL HVAC NOTES

- THESE PLANS AND SPECIFICATIONS CONSTITUTE A PRELIMINARY SCHEMATIC SET OF DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE ALL MISCELLANEOUS ITEMS IN ALL AREAS NECESSARY FOR COMPLETE AND FUNCTIONAL SYSTEMS AS REQUIRED FOR THIS TYPE OF A FACILITY. THE SUCCESSFUL CONTRACTOR SHALL COMPLETE THE DESIGN OF EACH SYSTEM PER CODE. THE FINAL PLANS AND SPECIFICATIONS SHALL BE SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS BEING CONSTRUCTED.
- SYSTEMS, MATERIAL AND INSTALLATION SHALL MEET STATE AND LOCAL CODES.
- DRAWINGS ARE DIAGRAMATIC AND ARE INTENDED TO SHOW APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- PLACEMENT OF EQUIPMENT AND DEVICES SHALL NOT INTERFERE WITH LOCATIONS OR CLEARANCES OF OTHER TRADES MATERIALS OR EQUIPMENT.
- CONTRACTOR SHALL PROVIDE PIPE AND DUCT OFFSETS AND TRANSITIONS AS REQUIRED TO ACCOMMODATE STRUCTURE AND ARCHITECTURE.
- THERMOSTAT LOCATIONS SHALL BE APPROVED BY THE ARCHITECT/OWNER PRIOR TO INSTALLATION AND ROUGH-IN.

1 ROOF HVAC NEW CONSTRUCTION PLAN
1/8" = 1'-0"



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Steen Job #FA5201505



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21 E 26th St
Minneapolis, MN 55404
alex@amhinc.net
612-556-0383

ARCHITECT
STRUCTURAL ENGINEER
CIVIL/EA ENGINEER

PROJECT:

MAYTAG BUILDING
PROPOSED MINED USE DEVELOPMENT
CORE AND SHELL PACKAGE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Name: Alex Haackler, AIA
Signature: [Signature]
License: 49654
Date: 12/23/15

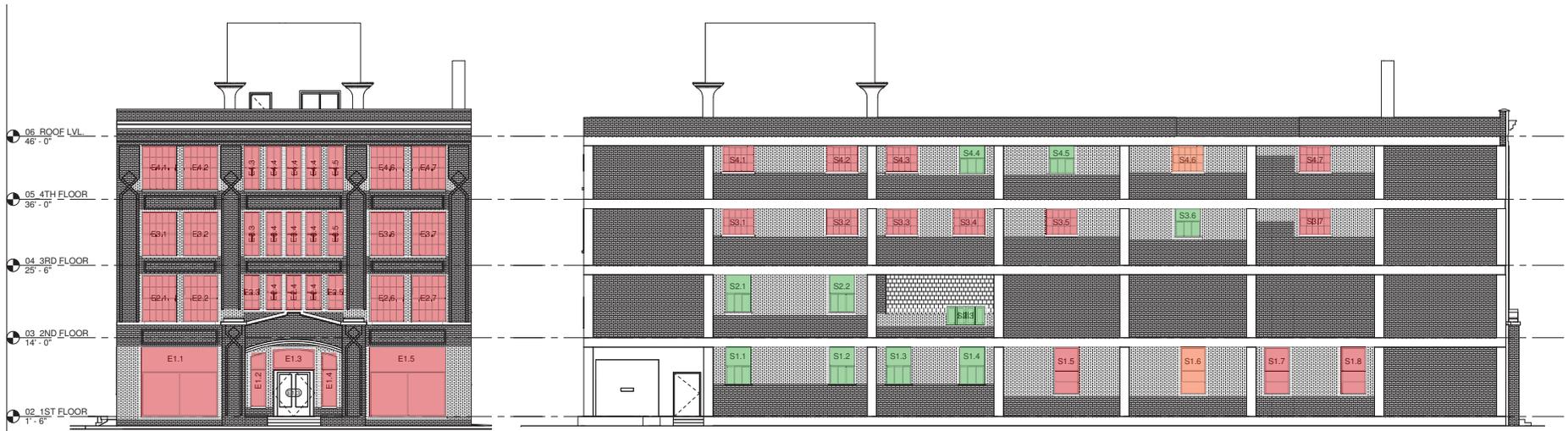
DATE	DATE
NPS PART II	11/06/15
Code Application	12/01/15
Code RFI	12/23/15

ROOF HVAC NEW

SHEET TITLE: _____
M105
SHEET NO: _____

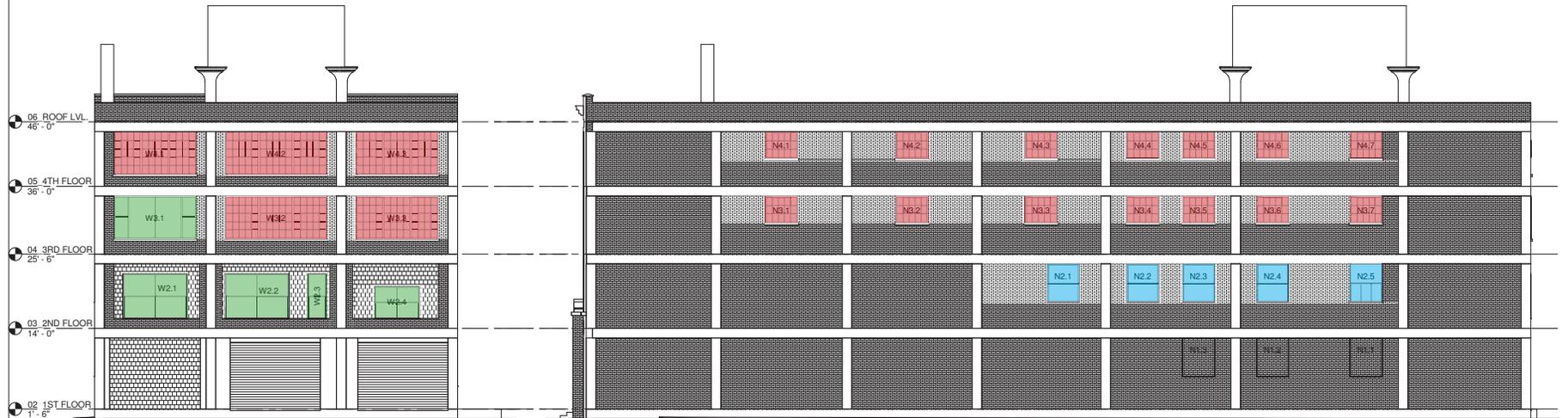
**PRELIMINARY
NOT FOR
CONSTRUCTION**

NOT FOR CONSTRUCTION



1 EAST ELEVATION
RA200 SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION
RA200 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
RA201 SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION
RA201 SCALE: 1/8" = 1'-0"



E2.5.JPG



E2.6.JPG



E2.7 Interior Close Up A.JPG



E2.7 Interior Close Up B.JPG



E2.7.JPG



E3.1.JPG



E3.2.JPG



E3.3.JPG



E3.4.JPG



E3.5.JPG



E3.6.JPG



E3.7.JPG



E4.1.JPG



E4.2.JPG



E4.3.JPG



E4.4 Interior Close Up A.JPG



E4.4 Interior Close Up B.JPG



E4.4.JPG



E4.5 Interior Close Up.JPG



E4.5.JPG



E4.6 Interior Close Up.JPG



E4.6.JPG



E4.7.JPG



N1.1.JPG



N1.2.JPG



N1.3.JPG



N2.1.JPG



N2.2.JPG



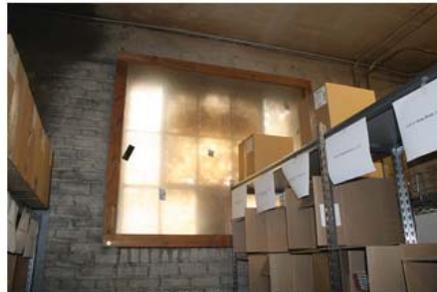
N2.3.JPG



N2.4.JPG



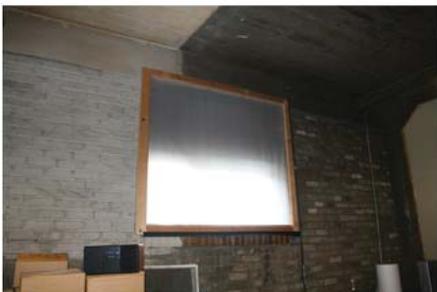
N2.5.JPG



N3.1.JPG



N3.2.JPG



N3.3.JPG



N3.4.JPG



N3.5.JPG



N3.6 Interior Close Up.JPG



N3.6.JPG



N3.7.JPG



N4.1.JPG



N4.2.JPG



N4.3.JPG



N4.4.JPG



N4.5.JPG



N4.6 Interior Close Up.JPG



N4.6.JPG



N4.7.JPG



S1.1.JPG



S1.2.JPG



S1.3.JPG



S1.4.JPG



S1.5.JPG



S1.6.JPG



S1.7.JPG



S1.8.JPG



S2.1.JPG



S2.2.JPG



S2.3.JPG



S3.1.JPG



S3.2.JPG



S3.3.JPG



S3.4.JPG



S3.5.JPG



S4.1.JPG



S4.2.JPG



S4.3.JPG



S4.4.JPG



S4.5.JPG



S4.6 Interior Close Up A.JPG



S4.6 Interior Close Up B.JPG



S4.6 Interior Close Up C.JPG



S4.6.JPG



S4.7.JPG



SB.1 Exterior.JPG



SB.1.JPG



SB.2 Close Up.JPG



SB.2 Exterior.JPG



SB.2.JPG



W2.1.JPG



W2.2.JPG



W2.3.JPG



W2.4.JPG



W3.1 Interior Close Up.JPG



W3.1.JPG



W3.2.JPG



W3.3.JPG



W4.1.JPG



W4.2.2.JPG



W4.2.JPG



W4.3.2.JPG



E1.1 - E1.2 Exterior Close Up.JPG



E1.1 Exterior.JPG



E1.1 Interior Close Up.JPG



E1.1.JPG



E1.2 Exterior - E1.3 - E1.4.JPG



E1.2.JPG



E1.3 Interior Close Up B.JPG



E1.3 Interior Close Up.JPG



E1.3 Interior.JPG



E1.4 Interior.JPG



E1.5 Exterior Close Up.JPG



E1.5 Exterior.JPG



E1.5 Interior Close Up.JPG



E1.5 Interior.JPG



E2.1.JPG



E2.2.JPG



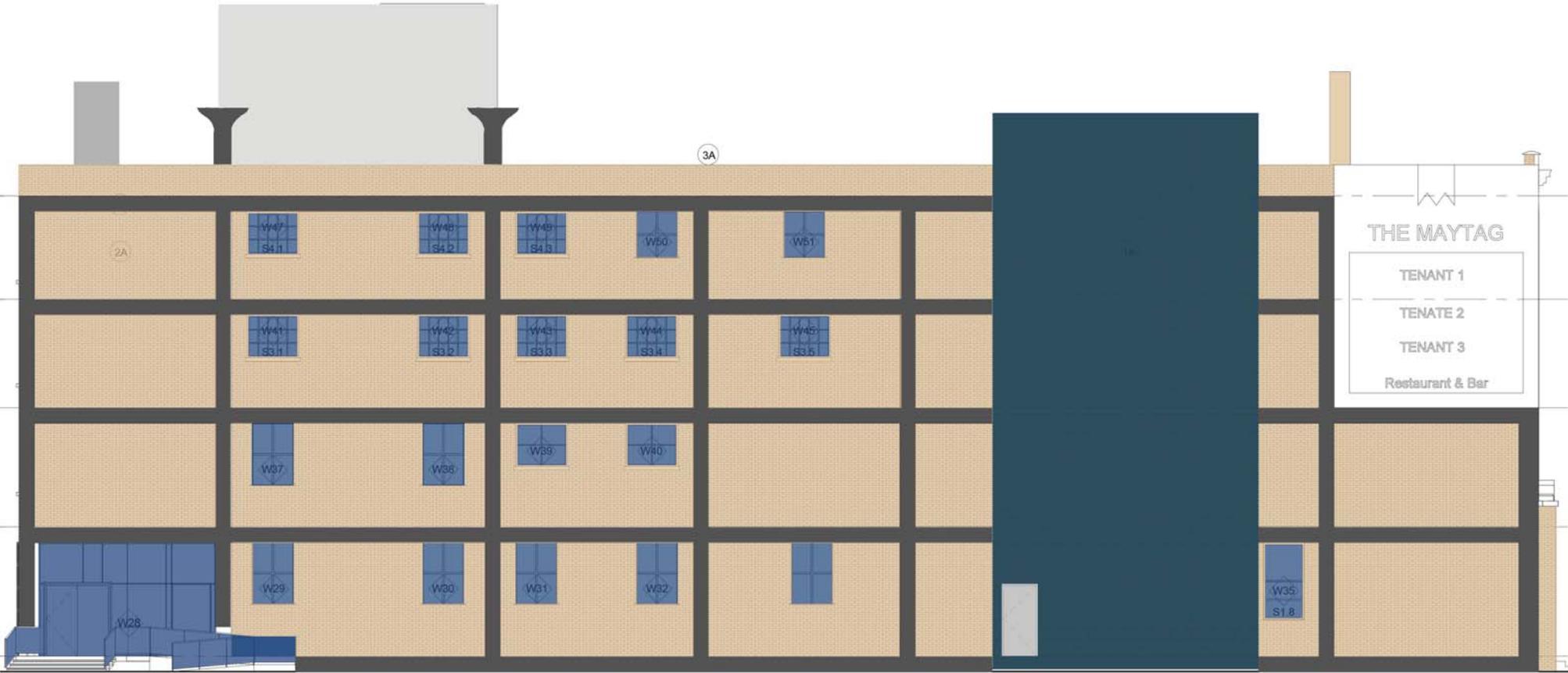
E2.3.JPG



E2.4.JPG



W4.3.JPG



2

SOUTH ELEVATION

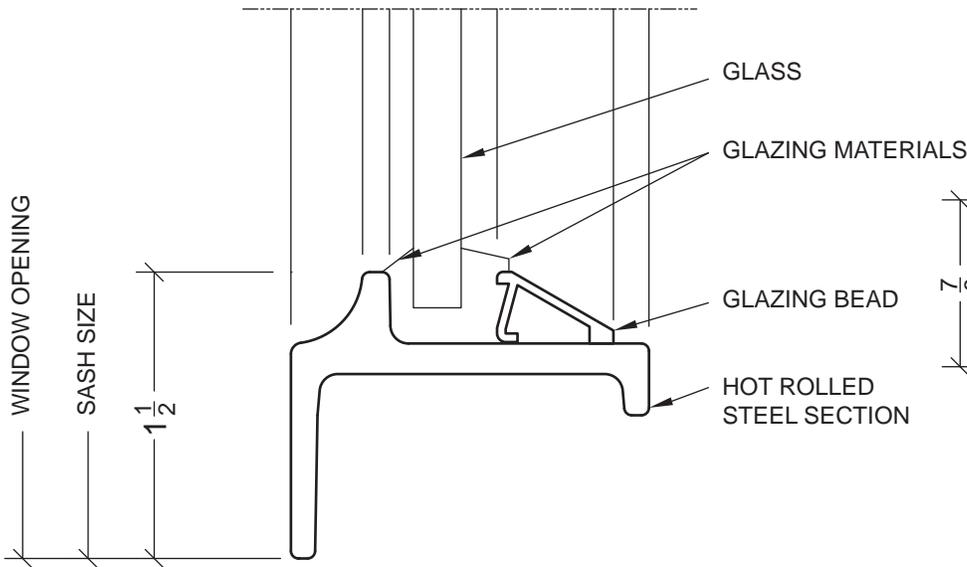
SCALE: 1/8" = 1'-0"

HOPE'S[®]

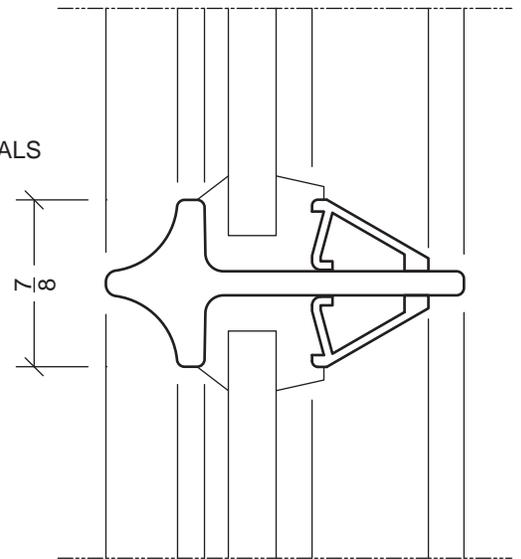
One55™ Series

TYPICAL FULL SIZE DETAILS

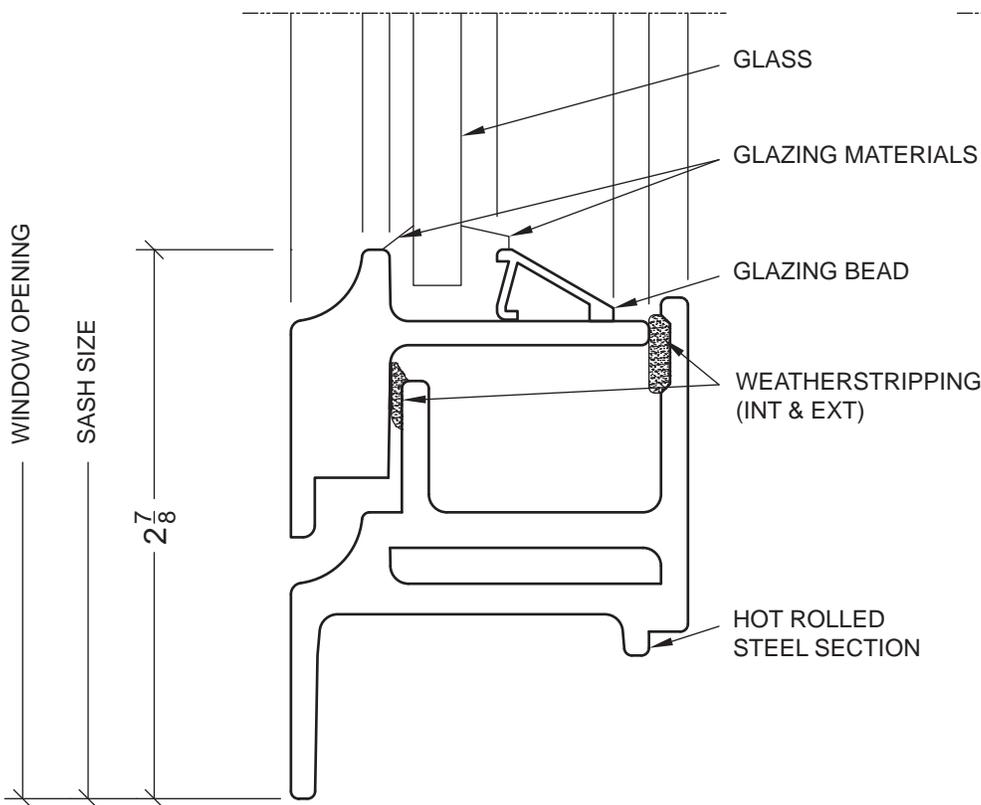
SEE THE "DOWNLOAD" LINK
TO ACCESS CAD FILES FOR
COMPLETE SELECTION OF DETAILS



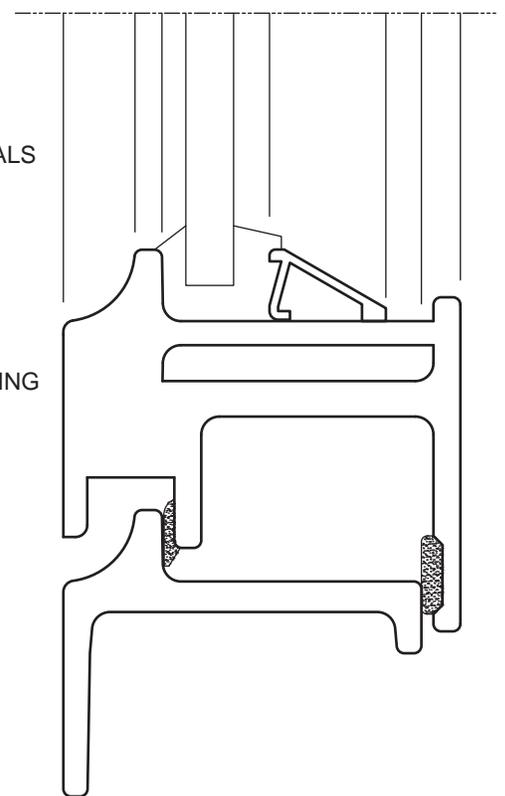
FIXED DETAIL
INTERIOR GLAZED WITH 1/4" GLASS



#449 TRUE MUNTIN DETAIL
INTERIOR GLAZED WITH 1/4" GLASS



SWING-OUT DETAIL
INTERIOR GLAZED WITH 1/4" GLASS



SWING-IN DETAIL
INTERIOR GLAZED WITH 1/4" GLASS

Details are full scale.



Jacob Frey
Ward 3 Council Member
City of Minneapolis
350 S. 5th St.
Room 307
Minneapolis, MN 55415

December 1, 2015

Maytag Building – PROPOSED ALTERATIONS

Dear Mr. Frey:

In accordance with the Heritage Preservation Commission Certificate of Appropriateness Application requirements we are hereby providing notice of the proposed alterations to the Maytag Building 515 N Washington Ave, Minneapolis MN 55401.

We are proposing to adaptively reposition the building for commercial and retail tenants. We understand that a Certificate of Appropriateness is required for such alterations and are presently in the process of submitting to the HPC.

The applicant for the work will be:

Maytag Building LLC
Saturday Properties – Brent Rogers
1400 Van Buren Street NE
Suite C200-202
Minneapolis, MN 55413
612-419-6680
brogers@saturdayproperties.com

Regards,

A handwritten signature in black ink, appearing to read 'AH', with a long horizontal flourish extending to the right.

Alex Haecker, AIA



North Loop Neighborhood Association
207 5th Avenue North
Minneapolis, MN 55401

December 1, 2015

Maytag Building – PROPOSED ALTERATIONS

To Whom It May Concern:

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Saturday Properties – Brent Rogers
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Suite 200-202
Minneapolis, MN 55413
612-419-6680
brogers@saturdayproperties.com

Regards,

A handwritten signature in black ink, appearing to read 'Alex Haecker', with a long, sweeping underline.

Alex Haecker, AIA