

## MEMORANDUM

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**TO:** City Planning Commission, Committee of the Whole

**FROM:** Lisa Steiner, Senior City Planner, (612) 673-3950

**DATE:** January 28, 2016

**SUBJECT:** Harriet Avenue Apartments: 2903, 2905, 2907, 2911 Harriet Ave S & 2900, 2904, 2910, and 2912 Grand Ave S

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### SITE DATA

<b>Existing Zoning</b>	II Light Industrial District and R2B Two-Family District
<b>Lot Area</b>	34,239 square feet / 0.79 acres (not including existing alley)
<b>Ward</b>	10
<b>Neighborhood</b>	Whittier
<b>Designated Future Land Use</b>	Urban Neighborhood
<b>Land Use Features</b>	None
<b>Small Area Plans</b>	<u>Midtown Greenway Land Use and Development Plan (2007)</u> <u>Lyn-Lake Small Area Plan (2009)</u>

### PROJECT DESCRIPTION

The subject property is composed of eight parcels located directly south of the Midtown Greenway between Grand Avenue and Harriet Avenue. The site is bisected by an existing public alley which is proposed to be vacated and rerouted to the south. The site currently includes two houses and a garage that are proposed to be demolished and a surface parking lot. A two-story commercial building is located directly south of the project on Harriet Avenue and a duplex is located south of the project site on Grand Avenue.

The applicant is proposing to construct a six-story multi-family residential building which would include 110 dwelling units and 96 off-street parking stalls accommodated in two levels of underground parking. The parking would be accessed from the redirected public alley. The main entrance for the residences would be on Harriet Avenue with another entrance on Grand Avenue. A new semi-public pedestrian path would be incorporated north of the proposed building which would be open to the public from dawn to dusk. A one-story glass portion of the building would be constructed closest to the greenway. The proposed materials for the building are grey and black metal.

## **APPLICATIONS**

Based on staff's preliminary review, the following land use applications have been identified:

- Rezoning from II Light Industrial District (Harriet parcels) and R2B Two-Family District (Grand parcels) to the R5 Multiple-Family District
- Conditional Use Permit to increase maximum height from required 4 stories/56 feet to 6 stories/74 feet
- Variance of required front yard on Harriet Avenue South from 15 feet to 4 feet for the building and 1 foot for a canopy
- Variance of required front yard on Grand Avenue South from 20 feet (established) to 14 feet for the building and 0 feet for landings and decks
- Variance of the required south interior side yard from 15 feet to 5 feet for the building and 0 feet for balconies
- Variance to reduce the loading requirement
- Site plan review
- Alley vacation
- Plat

Additional applications may be required, depending on the plans that the applicant formally submits.

## **APPLICABLE POLICIES**

The *Midtown Greenway Land Use and Development Plan* provides guidance for future land use and development intensity at this site. This site's future land use is identified as high-density housing (40-120 dwelling units/acre). The site is located in the Urban-Oriented development district, which is intended to incorporate medium density building types of up to four or five stories. The plan also recommends a future pedestrian connections or "promenades" along the southern edge of the greenway in this location. The *Lyn-Lake Small Area Plan* also designates this site as high-density housing (50-120 dwelling units/acre) and recommends stepped back building designs and promenades along the Midtown Greenway to minimize the impacts of shadowing on the Midtown Greenway. With 110 dwelling units, the proposed project would have be slightly higher density at 135 dwelling units/acre.

## **REQUEST FOR FEEDBACK**

Staff is seeking feedback from the Planning Commission on the proposal, particularly the proposed setback on the south interior side lot line (see west elevation). Formal applications have not been submitted at this time.



January 17, 2016

Lisa Steiner  
Principal City Planner, City of Minneapolis  
Department of Community Planning & Economic Development - Planning Division  
250 South 4th Street, Room 300  
Minneapolis, MN 55415

Dear Ms. Steiner:

Please find enclosed the summary for our proposed multifamily development at 2905 Harriet Ave S, and a description of requested variances, re-zoning, and conditional use permit.

**Project Description:**

**2905 Harriet Ave S, Minneapolis, Minnesota**

We are proposing a 110 unit multifamily building consisting of six stories and approximately 114,486 square feet. The new building will be constructed on 8 lots consisting of 2 houses, 6 vacant parcels, and an existing alley. We are expecting to break ground in June of 2016 and complete construction in the summer of 2017.

**The existing site:**

The proposed project is located at 2905 Harriet Ave S and includes lots at: 2903 Harriet Ave S, 2905 Harriet Ave S, 2907 Harriet Ave S, 2911 Harriet Ave S, 2900 Grand Ave S, 2904 Grand Ave S, 2910 Grand Ave S and 2912 Grand Ave S. The site also includes part of a city alley that we are currently petitioning to abandon and relocate as part of this project.

The site is in the Whittier Neighborhood, Council Ward 10, and abuts the Midtown Greenway. The site is zoned R3 and I1. Guided zoning is R5. The existing neighborhood is transitioning from industrial to residential and commercial uses. High density residential is an expected use for this site and other sites in such close proximity to the Greenway. The proposed project will replace two existing asphalt parking lots, three vacant lots, two houses (one of which is abandoned) and a tax forfeit lot. The combined site is 34,199 square feet (.79 acres), not including the alley. The existing pavement and houses will be removed for construction of the proposed building.

**The proposed building:**

The proposed building is a 6-story, 110 unit, market rate apartment building, with two stories of below ground parking. The total gross proposed building square footage is 114,486. There will be 96 parking stalls for residents of the building. The parking ratio for the building is .87. The FAR for the building is 2.39. The building will be constructed of wood framing and concrete.

**Proposed architectural details of the new building:**

The building is respectfully stepped back from the Midtown Greenway. The allowable volume of the building has been moved vertically to the south side of the property to minimize Greenway shadowing. On the west side (Harriet Avenue) the façade of the building meets the street front set back of its industrial neighbor to the south. On the east side (Grand Avenue) the building steps back to create a front yard similar to its existing neighbors. The bulk of the

building is broken into two smaller masses by using contrasting exterior modules of grey and black metal. A "glass box" containing the exercise room hovers at the verge of the Greenway, creating "eyes on the street" and a focal "lighthouse" for Greenway bicyclists and pedestrians.

The building breaks from the neighborhood typology in order to accommodate its scale and its location along the Greenway. The building complements its existing industrial neighbors in the area through use of metal siding and lots of glass.

The top floor of the building includes a rooftop patio and community space, allowing for more eyes on Harriet Avenue and a playful interplay with the skyline of the "new" Greenway.

Along the Greenway a semi-public pedestrian path (open dawn to dusk) has been created as an homage to the "Philosopher's Walk" originally envisioned for the south side of the Greenway. This walkway creates a new east-west route for pedestrians that has not previously existed. It includes flowering trees, limestone pathway markers, and viewpoints over the Greenway. We hope this new Philosopher's Walk will some day be connected to the woonerf and other public amenities envisioned for nearby locations on the south side of the Greenway.

**Proposed site work:**

The site is approximately 34,199 square feet. The first floor footprint of the proposed building is approximately 14,828 square feet. The building will entrances off of both Harriet and Grand Avenues. The building will have a parking entrance off the alley and the existing curb cuts will be eliminated on Harriet Avenue and Grand Avenue. The existing alley will be terminated and rerouted through 2912 Grand Avenue. Landscaping will include new trees, boulevard plantings, perennials, walkway lighting, pet friendly sidewalk verges and a pedestrian-friendly sidewalk.

**Proposed variances, CUP, and re-zoning:**

The project will require variances for set backs at Grand Avenue, Harriet Avenue, and the side yard closest to Harriet Avenue. The project will require a conditional use permit for a height of 74'. The project will require re-zoning to R5. The project will require site plan review.

We are seeking a conditional use permit, re-zoning, and variances in order to develop this site in a manner consistent with long-range planning and Greenway guidelines for the city and neighborhood. We share a common goal with the neighborhood in that we intend to create a project that is thoughtfully laid out, visually appealing, and in line with goals for development of residential density along the Greenway.

2905 Harriet Avenue South will be built to a high sustainability standard as demonstrated in previous award-winning projects we have completed in the City. Meanwhile, the streetscape landscaping, transparent first floor "glass box", and new Philosopher's Walk will provide an inviting pedestrian experience and greatly enhance the public realm along the Greenway.

We look forward to a thoughtful discussion about this site and the potential benefits of its development. Thank you for your consideration.

Sincerely,



Curt Gunsbury



# Harriet Avenue Apartments

2905 HARRIET AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA 55408



## PROJECT INFO.

### SITE INFORMATION:

#### ADDRESSES:

2903, 2905, 2907, 2911 HARRIET AVENUE SOUTH  
2900, 2904, 2910, 2912 GRAND AVE S

#### SITE REGULATIONS:

ZONING PLATE: 25

CURRENT ZONING:

2903, 2905, 2907, 2911 HARRIET: I1

2904, 2910, 2912 GRAND: R2B

2900: NO ZONING, PUBLIC ROW

PROPOSED ZONING: R5

OVERLAY ZONING DISTRICTS: NONE

#### DEVELOPMENT SUMMARY

SITE AREA: 34,199 SF (0.79 ACRES)  
\*DOES NOT INCLUDE ALLEY  
PARCEL B AREA: 1,301 SF (0.02 ACRES)

#### F.A.R.

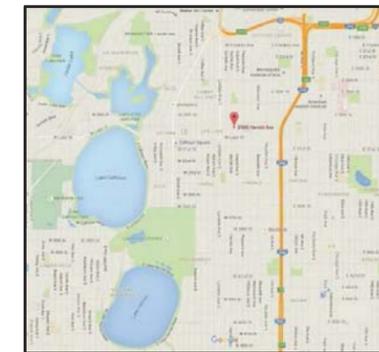
FAR ALLOWED: 2.0 x 1.2\* = 2.40  
\*20% INCREASE FOR ENCLOSED PARKING  
FAR PROPOSED: 2.392  
HEIGHT ALLOWED: 4 STORIES, 56'  
HEIGHT PROPOSED: 6 STORIES, 74'

#### PERVIOUS / IMPERVIOUS AREA:

TOTAL SITE AREA - 34,199 SF (0.79 ACRES)\*  
TOTAL BUILDING FOOTPRINT - 17,732 SF (52%)  
TOTAL NON-BUILDING SITE AREA - 16,467 SF (48%)  
TOTAL IMPERVIOUS AREA - 20,241 SF (59%)  
TOTAL IMPERVIOUS NON-BUILDING SITE AREA - 2,509 SF  
TOTAL PERVIOUS AREA - 13,958 SF (41%)  
TOTAL LANDSCAPE AREA - 14,258 SF (46%)\*\*  
\*\*(INCLUDES GREEN ROOF)\*\*

## PROJECT INFO.

### SITE INFORMATION:



### BUILDING INFORMATION:

<b>TOTAL BUILDING AREA:</b>	<b>11,4486 SF</b>
LOWER GARAGE 2.1	14937 SF
UPPER GARAGE 1.1	17732 SF
1ST FLOOR	14828 SF
2ND FLOOR	15459 SF
3RD FLOOR	15459 SF
4TH FLOOR	15459 SF
5TH FLOOR	12712 SF
6TH FLOOR	7899 SF
	<b>11,4486 SF</b>

#### GARAGE PARKING:

LOWER GARAGE PARKING	50
UPPER GARAGE PARKING	46
Grand total	96

#### UNIT COUNT:

ONE BED	63
ONE BED DEN	5
STUDIO	27
STUDIO ALCOVE	1
THREE BED	1
TWO BED	13
Grand total	110

#### UNIT TYPES:

UNIT A - STUDIO	454 SF	2
UNIT A - STUDIO	465 SF	13
UNIT B - STUDIO	461 SF	4
UNIT B - STUDIO	467 SF	8
UNIT C - ONE BED 5TH	473 SF	1
UNIT D - ONE BED 5TH	521 SF	1
UNIT E - ONE BED 1ST	462 SF	2
UNIT F - ONE BED 5TH	505 SF	3
UNIT G - ONE BED 5TH	580 SF	1
UNIT G - ONE BED 5TH	586 SF	1
UNIT H - ONE BED 1ST	524 SF	1
UNIT I - ONE BED SLIM	521 SF	1
UNIT I - ONE BED SLIM	533 SF	3
UNIT I - ONE BED SLIM	534 SF	4
UNIT J2 - ONE BED	558 SF	4
UNIT J - ONE BED	553 SF	4
UNIT K - ONE BED	561 SF	2
UNIT K - ONE BED	571 SF	1
UNIT K - ONE BED	575 SF	13
UNIT L - ONE BED	562 SF	8
UNIT M - ONE BED	582 SF	1
UNIT M - ONE BED	583 SF	3
UNIT N - ONE BED	587 SF	8
UNIT O - ONE BED 6TH	602 SF	1
UNIT P - ONE BED 5TH	622 SF	1
UNIT Q - ONE BED DEN	619 SF	4
UNIT R - ONE BED DEN 1ST	766 SF	1
UNIT S2 - TWO BED	912 SF	3
UNIT S - TWO BED	888 SF	3
UNIT T - TWO BED 6TH	838 SF	1
UNIT U - TWO BED	941 SF	4
UNIT V - TWO BED 6TH	1011 SF	1
UNIT W - TWO BED 6TH	1004 SF	1
UNIT X - THREE BED 6TH	1230 SF	1
Grand total		110

UNIT RENTABLE SF: 64764 SF

## PROJECT TEAM

### DEVELOPER:

2905 ASSOCIATES, LLC

C/O SOLHEM LLC

701 N 2nd Street, Suite 107  
Minneapolis, MN 55401

612.598.9416

CURT GUNSBURY

curt@solhemuptown.com

TE MILLER LLC

TE Miller Development, LLC  
300 Frame Center Drive, Suite 245  
Eden Prairie, MN 55345

952.345.7844

ROBERT T. MILLER, ESQ.

rmiller@temilerdevelopment.com

### ARCHITECT:

TUSHIE MONTGOMERY ARCHITECTS

DAN PELLINEN  
EVAN JACOBSEN

danp@tmarchitects.com  
evanj@tmarchitects.com

7645 LYNDALE AVENUE SOUTH, #100  
MINNEAPOLIS, MINNESOTA 55423

(612) 861-9636  
FAX (612) 861-9632

### CIVIL ENGINEER:

CIVIL SITE GROUP

MATT PAVEK

mpavek@civilsitegroup.com

4931 W. 35th ST, SUITE 200  
ST. LOUIS PARK, MN 55416

OFFICE: (612) 615-0060

## SHEET INDEX

Cover Sheet  
Survey

### CIVIL SHEETS:

C1.0	Removals Plan
C2.0	Grading Plan
C3.0	Utility Plan
C4.0	Details
C4.1	Details
SW1.0	SWPPP - Existing Conditions
SW1.1	SWPPP - Proposed Conditions
SW1.2	SWPPP - Details
SW1.3	SWPPP - Narrative

### ARCHITECTURAL SHEETS:

1	Context Site Plan
2	Site Plan
3	Landscape Plan
4	Garage Upper & Lower
5	1st & 2nd Floors
6	3rd & 4th Floors
7	5th, 6th & Roof Floors
8	Elevations
9	Elevations
10	Building Section
11	Site Section - Option A
12	Shadow Study - Solstice / Equinox
13	Shadow Study - Greenway
14	Aerial Context A
15	Harriet/Grand Perspectives
16	Landscape Perspectives
17	Existing Site Context

### SUBMITTALS:

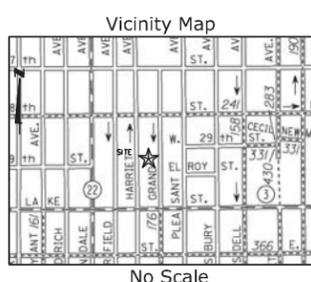
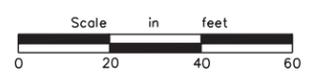
CoW #1 Submittal.....01-18-2016

Cover Sheet

01/18/2016



FILE: P:\2015\15-065 Grand Ave Apts.dwg LAYOUT: 22x34  
 SCALE: DATE: AUG 25, 2015 - 12:00pm  
 USER: Roy KRFF



**Linetype & Symbol Legend**

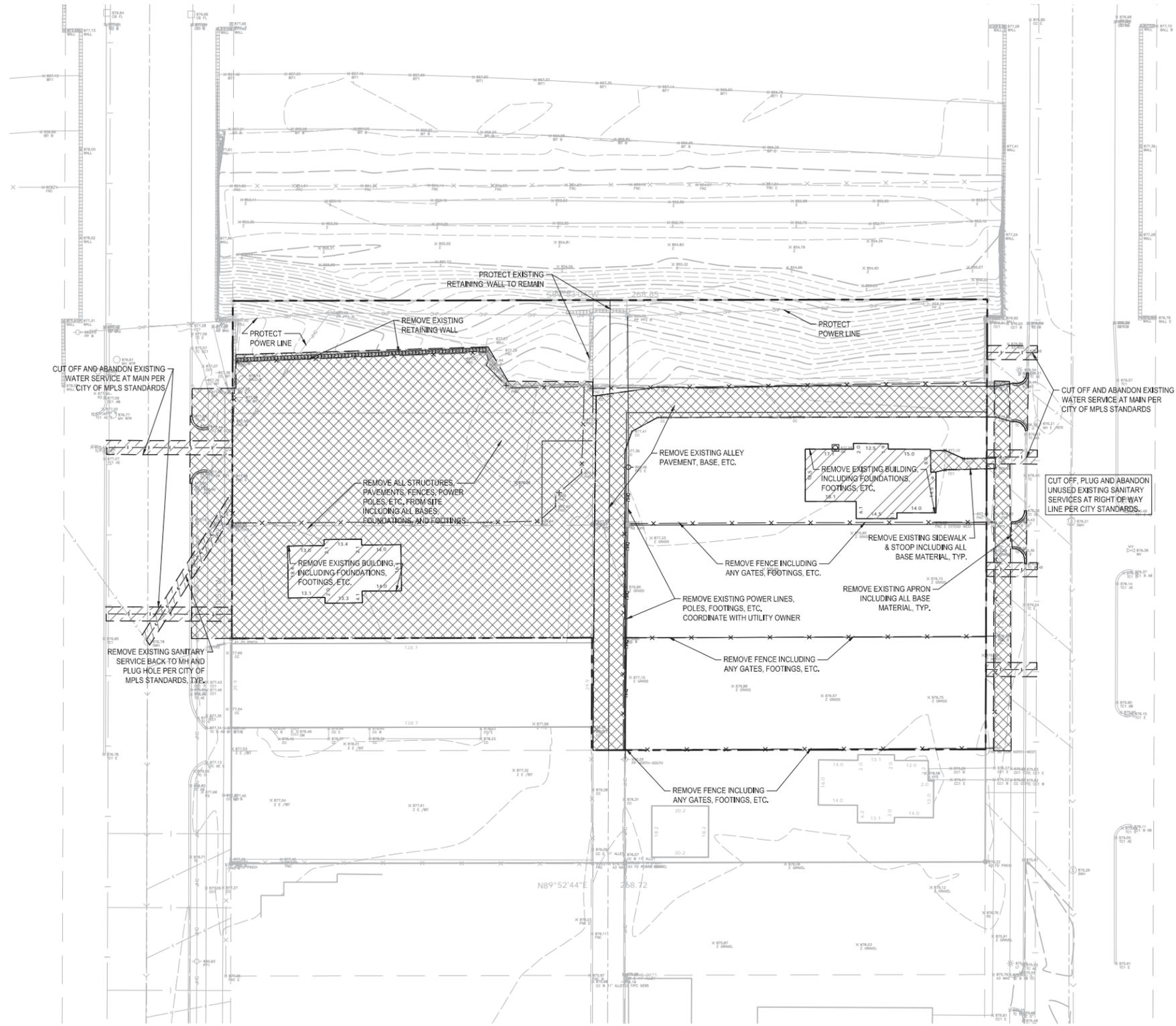
	FIBER OPTIC		ELECTRIC TOWER		AIR CONDITIONER
	GASMAIN		REDUCER		BAR-B-QUE PIT
	PETROLEUM PIPE		RAILROAD SWITCH		BASKETBALL HOOP
	WATERMAIN		SATLLITE DISH		BOLLARD
	SANITARY SEWER		SIGN		SOIL BORING
	STORM SEWER		SANITARY MANHOLE		CATCH BASIN
	OVERHEAD UTILITIES		STORM MANHOLE		CB BEEHIVE
	TELEPHONE LINE		TELEPHONE BOX		CLEAN OUT
	ELECTRIC LINE		TELEPHONE MANHOLE		ELECTRIC BOX
	CABLE LINE		ELECTRIC TRANSFORMER		ELECTRIC MANHOLE
	GUARDRAIL		TRAFFIC SIGNAL		FLAG POLE
	WOODEN FENCELINE		TRAFFIC LIGHT		FLARED END SECTION
	CHAINLINK FENCELINE		CABLE TV BOX		GAS VALVE
	BARBED WIRE FENCE		ELECTRICAL METER		HANDICAP SYMBOL
	WELL		GAS METER		HANDHOLE
	WATER MANHOLE		WATER METER		HUB
	WATER VALVE		FOUND IRON MONUMENT		HYDRANT
	POST INDICATOR VALVE				CAST IRON MONUMENT
	SET IRON MONUMENT				

# Boundary & Topographic Survey

## Grand Ave Apartments

**HT PO** Engineering • Surveying  
 Landscape Architecture  
**HANSEN THORP PELLINEN OLSON, Inc.**  
 7510 Market Place Drive • Eden Prairie, MN 55344  
 952-829-0700 • 952-829-7806 fax

Revision	Project No. 15-065
	Drawn by RLS
	Checked by PAT
	Book/Page
	Date:
	Client: Civil Site Group



**REMOVAL NOTES:**

- SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
- EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS, WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
- MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS.
- DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT, SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
- VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS, AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY, THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED, ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES, NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.

**CITY OF MINNEAPOLIS REMOVAL NOTES:**

- RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

**EROSION CONTROL NOTES:**

SEE SWPPP ON SHEETS SW1.0-SW1.3

**REMOVALS LEGEND:**

- EX. 1" CONTOUR ELEVATION INTERVAL
- REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT, CONC. AND GRAVEL P/MTS.
- REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- REMOVAL OF UTILITY LINES - COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION
- TREE PROTECTION
- TREE REMOVAL - INCLUDING ROOTS AND STUMPS

**OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT**

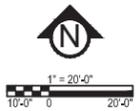
ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW:

OWNER: \_\_\_\_\_  
 DEVELOPER: \_\_\_\_\_  
 CONTRACTOR: \_\_\_\_\_

**OWNER INFORMATION**

OWNER: CURT GUNSBURY  
 SOLHEM COMPANIES  
 3021 HOLMES AVE  
 SUITE 101  
 MINNEAPOLIS, MN 55408

**GOPHER STATE ONE CALL**  
 WWW.GOPHERSTATEONECALL.ORG  
 (800) 252-1166 TOLL FREE  
 (651) 454-0002 LOCAL



**Harriet Ave Apartments**  
 2905 Harriet Ave. S.

PREPARED FOR:  
**TE Miller**  
 Development, LLC

ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PRINT NAME: Matthew R. Pavak  
 SIGNATURE:   
 DATE: 1-18-16 LICENSE # 44263

Revisions & Addendums  
 1/18/2016 - CoW #1 SUBMITTAL

215074A  
 REMOVALS PLAN  
**C.I.O.**  
 © 2014 Tushie Montgomery & Associates, Inc.

**PRELIMINARY - NOT FOR CONSTRUCTION**

**Harriet Ave Apartments**  
2905 Harriet Ave. S.

PREPARED FOR:  
**TE Miller**  
Development, LLC

ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
PRINT NAME: Matthew R. Pavlek  
SIGNATURE:   
DATE: 1-18-16 LICENSE #44263

Revisions & Addendums  
9/2/2015 - CHECK SET  
1/18/2016 - COW #1 SUBMITTAL

**-PRELIMINARY-  
NOT FOR  
CONSTRUCTION**

**GENERAL GRADING NOTES:**

- SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
- THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING OPERATIONS, TRAFFIC AND EROSION, REPAIR ALL AREAS THAT HAVE SETTLED BELOW THE CORRECT GRADE, ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
- PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
- GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
- PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1.
- PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
- IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
- EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES, AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION, REPAIR ALL AREAS THAT HAVE SETTLED BELOW THE CORRECT GRADE, ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS, THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- TOLERANCES
  - THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
  - THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
  - AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
  - TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
- MAINTENANCE
  - THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
  - CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDED AND MULCHED.
  - WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

**GRADING PLAN LEGEND:**

- 891 --- EX. 1' CONTOUR ELEVATION INTERVAL
- 819 --- 1.0' CONTOUR ELEVATION INTERVAL
- SPOT GRADE ELEVATION (FLOW LINE UNLESS OTHERWISE NOTED)
- 891.0 G SPOT GRADE ELEVATION GUTTER
- 891.0 BC SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
- 891.0 BS/TS SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
- TIP OUT (T.O.) CURB AND GUTTER WHERE APPLICABLE - TAPER GUTTERS TO DRAIN AS SHOWN
- EXISTING AND PROPOSED DRAINAGE ARROWS

**NON STORM WATER DISCHARGES:**

THERE ARE NO KNOWN NON-STORM WATER DISCHARGES ON THE EXISTING SITE AND NONE ARE PROPOSED AS PART OF THIS DEVELOPMENT.

**GROUNDWATER STATEMENT:**

THIS PROJECT DOES NOT PROPOSE ANY PERMANENT GROUNDWATER DISCHARGE TO THE STORM WATER SYSTEM.

**OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT**

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW:

OWNER: \_\_\_\_\_  
DEVELOPER: \_\_\_\_\_  
CONTRACTOR: \_\_\_\_\_

**CITY OF MINNEAPOLIS GRADING NOTES:**

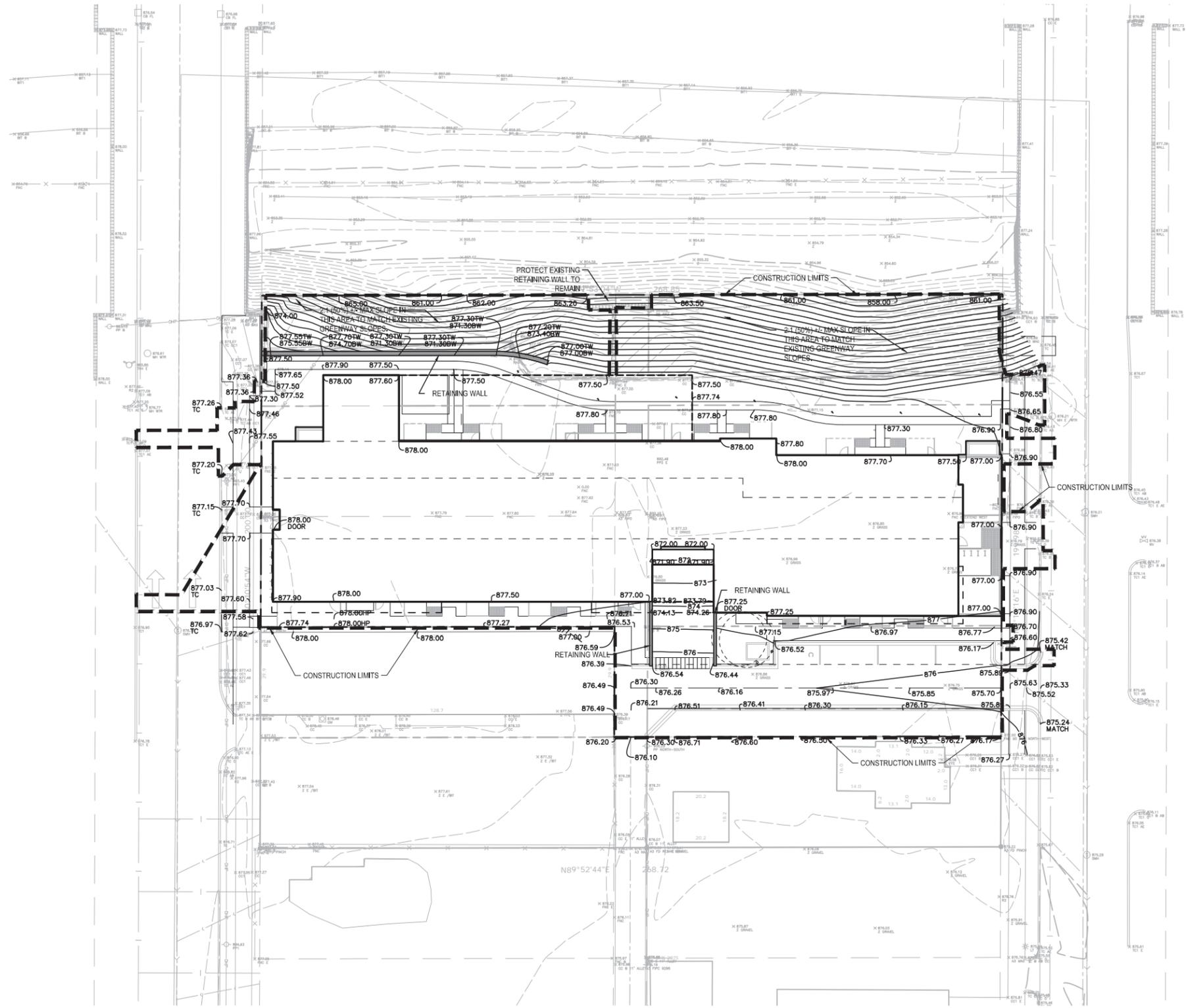
- RESERVED FOR CITY SPECIFIC GRADING NOTES.

**EROSION CONTROL NOTES:**

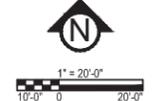
SEE SWPPP ON SHEETS SW1.0-SW1.3

**GROUNDWATER INFORMATION:**

NO GEOTECHNICAL EXPLORATION HAS BEEN COMPLETED FOR THIS SITE. GROUNDWATER INFORMATION SHALL BE UPDATED WHEN GEOTECHNICAL REPORT IS COMPLETE.



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(651) 454-0002 LOCAL



215074A  
GRADING PLAN  
**C2.0**  
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PREPARED FOR:  
**TE Miller**  
Development, LLC

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PRINT NAME: Matthew R. Pavik  
SIGNATURE:   
DATE: 1-18-16 LICENSE # 44263

Revisions & Addendums  
9/2/2015 - CHECK SET  
1/18/2016 - CoW #1 SUBMITTAL

**-PRELIMINARY-  
NOT FOR  
CONSTRUCTION**

215074A  
UTILITY PLAN  
**C3.0**

**GENERAL UTILITY NOTES:**

- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS. 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE SHALL BE HDPE UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
- A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
- ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS OR APPROVED EQUAL MEETING STATE PLUMBING CODE MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.

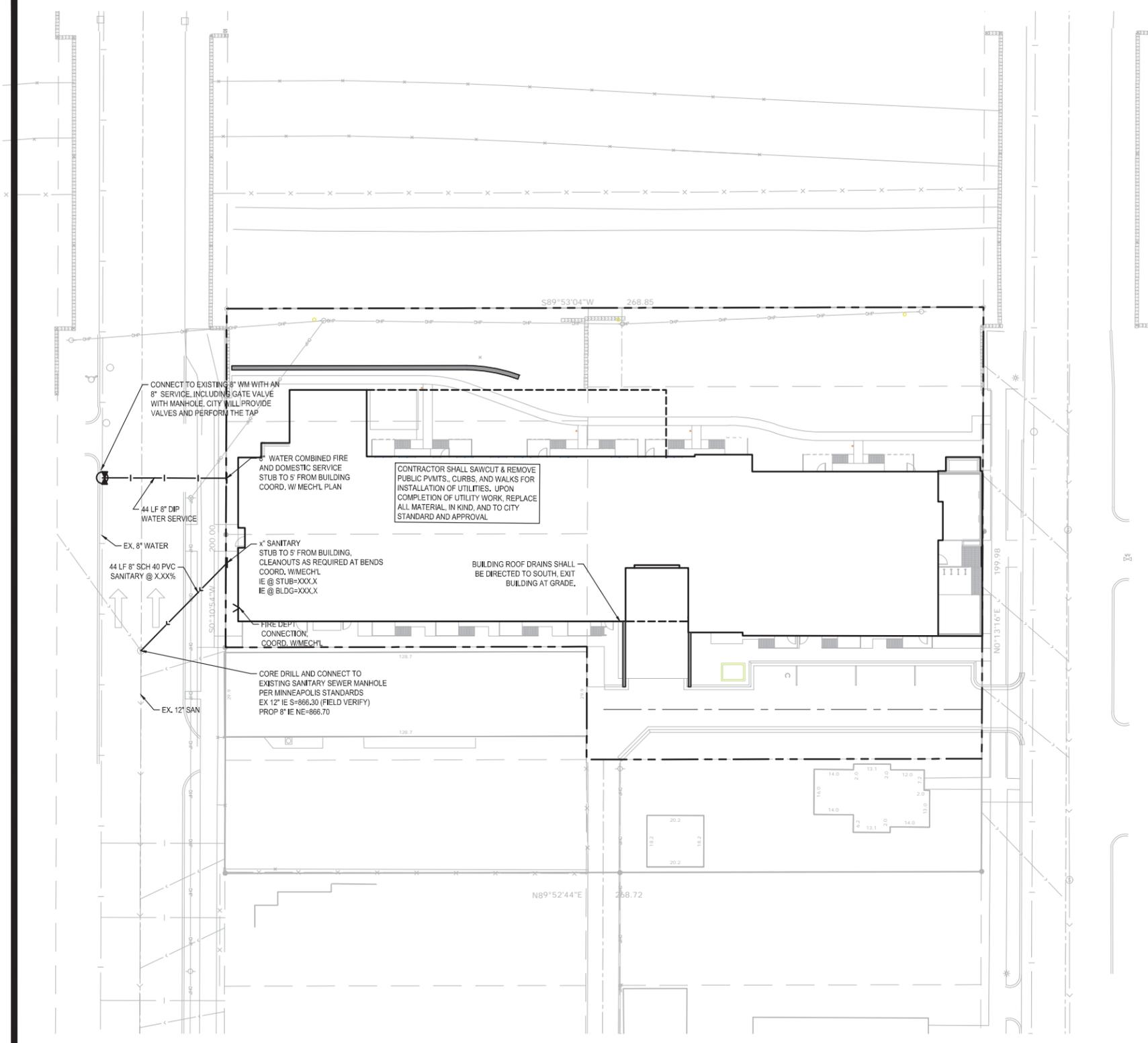
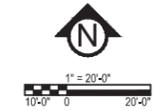
**CITY OF MINNEAPOLIS UTILITY NOTES:**

- RESERVED FOR CITY SPECIFIC UTILITY NOTES.

**UTILITY LEGEND:**

- MANHOLE OR CATCH BASIN
- MANHOLE OR CATCH BASIN
- CATCH BASIN
- WATER MAIN
- SANITARY SEWER
- STORM SEWER

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(651) 454-0002 LOCAL



MINNEAPOLIS  
DEPARTMENT OF PUBLIC WORKS  
DRAWN: JFC DATE: 8/10/07  
APPROVED: GAB DATE: 8/10/08

TYPICAL DRIVEWAY

STANDARD PLATE NO. ROAD-2002

MINNEAPOLIS  
DEPARTMENT OF PUBLIC WORKS  
DRAWN: JFC DATE: 8/10/07  
APPROVED: GAB DATE: 8/10/08

TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION

STANDARD PLATE NO. ROAD-2003

TYPE II (ROADWAY LOADS)					
MIN	TOP SLAB	WEIGHT OF	"A"	"A"	TOP
(D. IN.)	(D. IN.)	(D. IN.)	(IN.)	(IN.)	(D. IN.)
40	38	1140	8	8	85 AT 8
54	56	2000	8	8	85 AT 8
80	72	2626	8	7	85 AT 4
88	78	3106	8	7	85 AT 4
72	68	3740	8	8	85 AT 6
78	82	4403	8	8	85 AT 4
84	100	5140	8	9	85 AT 4
90	106	5840	8	9	85 AT 4
96	112	6580	8	9	85 AT 4
102	118	7400	8	9	85 AT 4

MINNEAPOLIS  
DEPARTMENT OF PUBLIC WORKS  
DRAWN: ECD DATE: 3/88  
APPROVED: HSB DATE: 1/88

STANDARD PLATE NO. SEWR-1015

CIRCULAR CONCRETE PIPE											
HEIGHT OF BACKFILL IN FEET FOR CLASS C BEDDING MEASURED AT TOP OF PIPE IN FEET, 120 PCF SOIL DENSITY											
PIPE CLASS	CLASS I	CLASS II		CLASS IV		CLASS V		CLASS VI		CLASS VII	
		N	W	N	W	N	W	N	W	N	W
12	6	6	6	6	6	6	6	6	6	6	6
15	6	6	6	6	6	6	6	6	6	6	6
18	7	7	7	7	7	7	7	7	7	7	7
21	7	7	7	7	7	7	7	7	7	7	7
24	7	7	7	7	7	7	7	7	7	7	7
27	7	7	7	7	7	7	7	7	7	7	7
30	7	7	7	7	7	7	7	7	7	7	7
33	7	7	7	7	7	7	7	7	7	7	7
36	7	7	7	7	7	7	7	7	7	7	7
42	7	7	7	7	7	7	7	7	7	7	7
48	8	8	8	8	8	8	8	8	8	8	8
54	8	8	8	8	8	8	8	8	8	8	8
60	8	8	8	8	8	8	8	8	8	8	8
66	8	8	8	8	8	8	8	8	8	8	8
72	8	8	8	8	8	8	8	8	8	8	8
78	8	8	8	8	8	8	8	8	8	8	8
84	8	8	8	8	8	8	8	8	8	8	8
90	8	8	8	8	8	8	8	8	8	8	8
96	8	8	8	8	8	8	8	8	8	8	8
102	8	8	8	8	8	8	8	8	8	8	8
108	8	8	8	8	8	8	8	8	8	8	8

MINNEAPOLIS  
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STANDARD PLATE NO. SEWR-1002

MINNEAPOLIS  
DEPARTMENT OF PUBLIC WORKS  
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APPROVED: GAB DATE: 8/10/08

8012 CURB AND GUTTER

STANDARD PLATE NO. ROAD-1000

MINNEAPOLIS  
DEPARTMENT OF PUBLIC WORKS  
DRAWN: JFC DATE: 8/10/07  
APPROVED: GAB DATE: 8/10/08

B 624 CURB AND GUTTER

STANDARD PLATE NO. ROAD-1003

MINNEAPOLIS  
DEPARTMENT OF PUBLIC WORKS  
DRAWN: JFC DATE: 8/10/07  
APPROVED: GAB DATE: 8/10/08

TYPICAL DRIVEWAY CONSTRUCTION

STANDARD PLATE NO. ROAD-2001

STRUCTURE	PRECAST CONCRETE BASE				
	SIZE (IN.)	OUTSIDE DIA. (IN.)	MIN. REINFORCEMENT (1) (IN.)	WT. (LBS.)	
30	44	6	6	12	1980
48	66	6	6	12	3200
60	78	6	6	12	3200
72	90	6	6	12	4020
84	102	6	6	8	6120
96	120	6	6	8	7800
108	132	10	6	8	10800
120	146	12	6	8	17460

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STANDARD PLATE NO. SEWR-1003

MINNEAPOLIS  
DEPARTMENT OF PUBLIC WORKS  
DRAWN: ECD DATE: 3/88  
APPROVED: HSB DATE: 1/88

TYPICAL MANHOLE CONSTRUCTION

STANDARD PLATE NO. SEWR-1000-R1

MINNEAPOLIS  
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DRAWN: JFC DATE: 8/10/07  
APPROVED: GAB DATE: 8/10/08

SAW CUT AT CURB AND GUTTER REMOVAL

STANDARD PLATE NO. ROAD-1010

MINNEAPOLIS  
DEPARTMENT OF PUBLIC WORKS  
DRAWN: JFC DATE: 8/10/07  
APPROVED: GAB DATE: 8/10/08

8" x 8" TEE WITH GATE VALVE IN 48" MANHOLE

STANDARD PLATE NO. WATR-2003A-R1

PREPARED FOR:

**TE Miller**  
Development, LLC

**solhem**

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PRINT NAME: Matthew R. Pavik  
SIGNATURE: *[Signature]*  
DATE: 1-18-16 LICENSE # 44263

Revisions & Addendums  
9/2/2015 - CHECK SET  
1/18/2016 - COW #1 SUBMITTAL

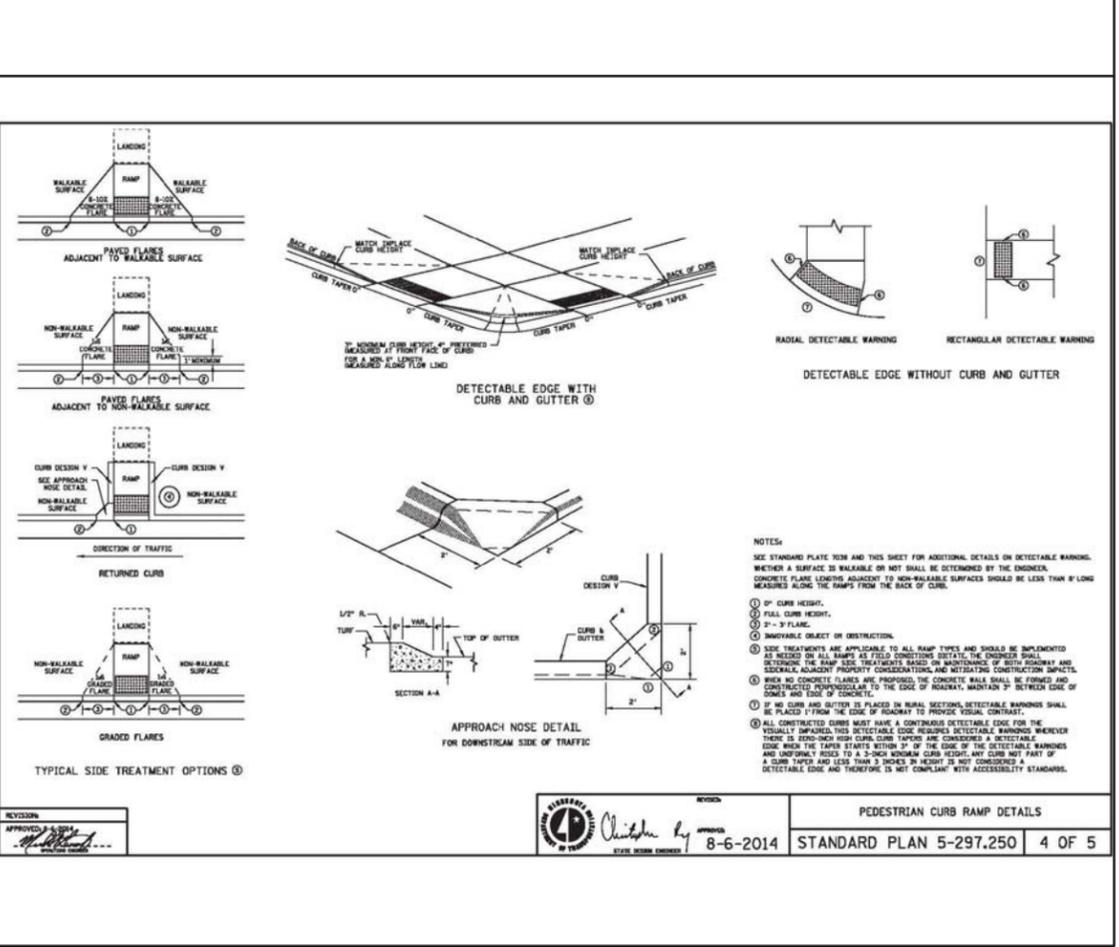
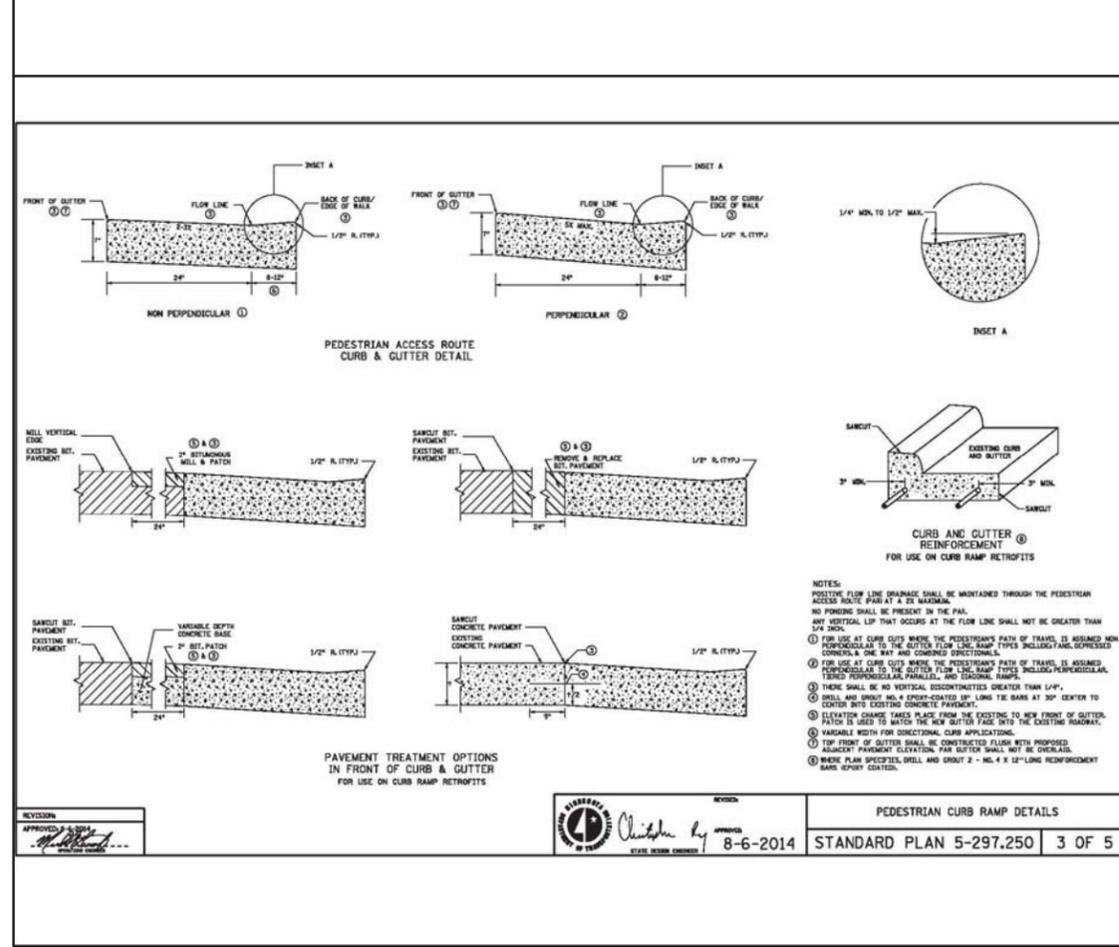
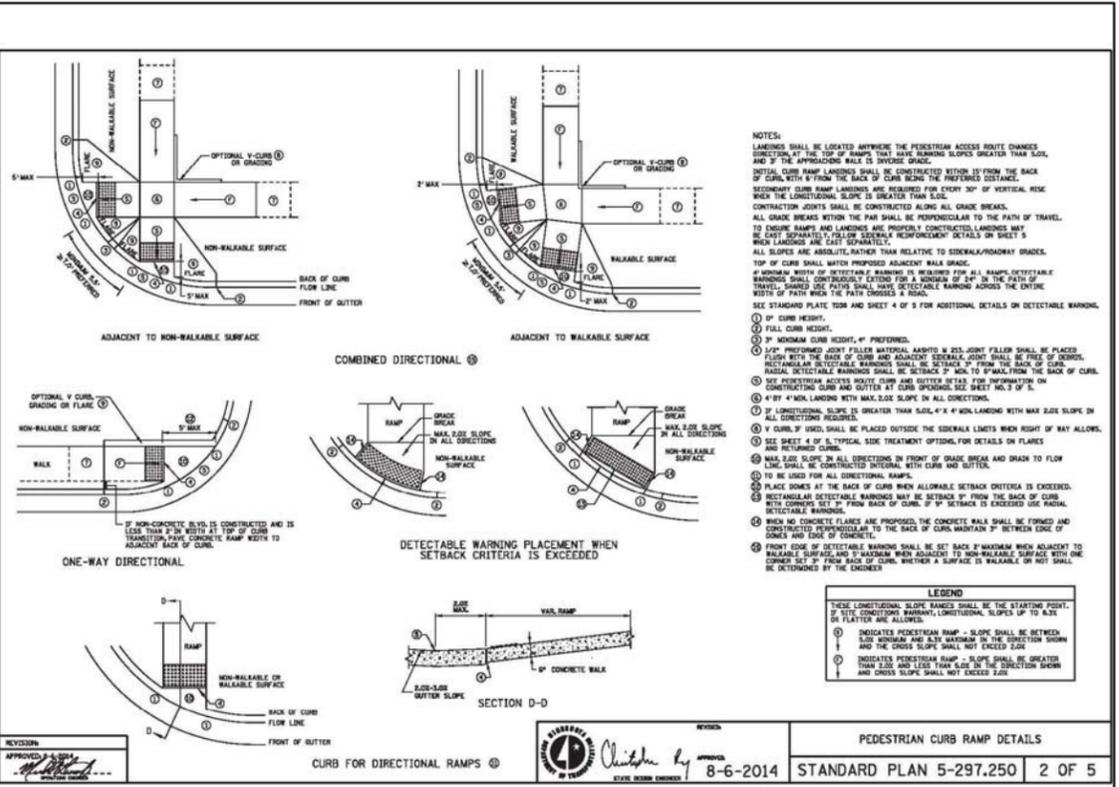
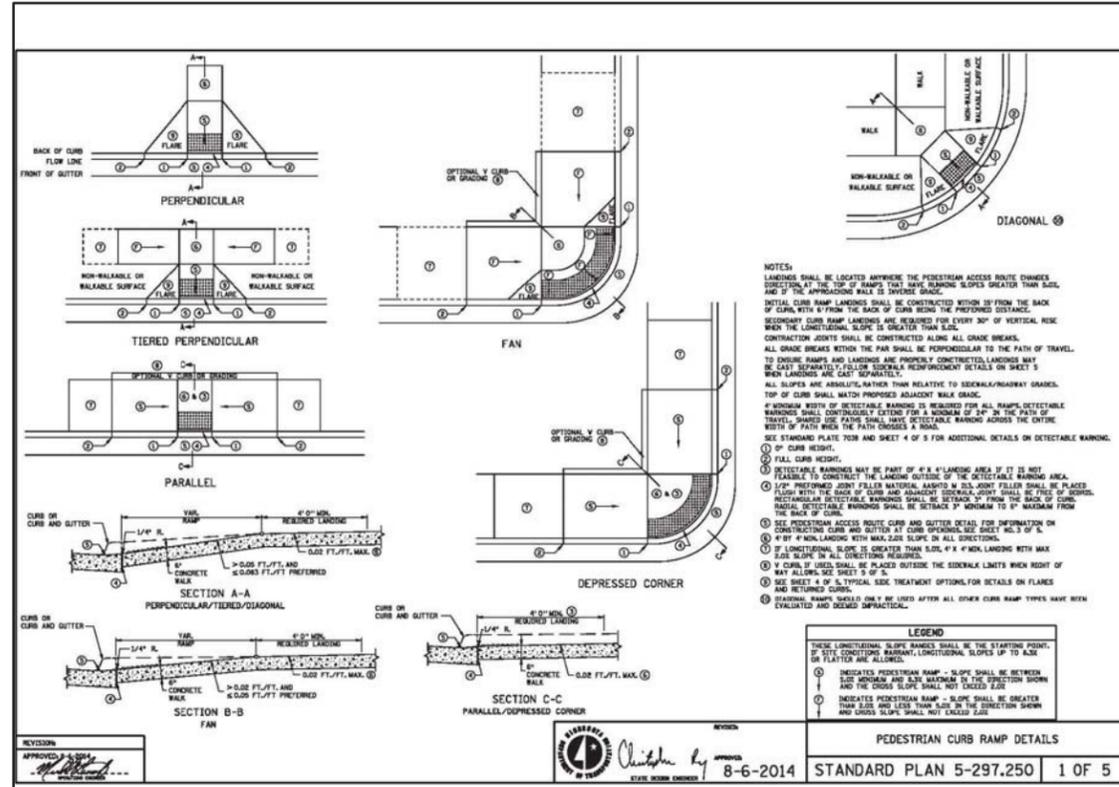
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DETAILS

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**SWPPP NOTES:**

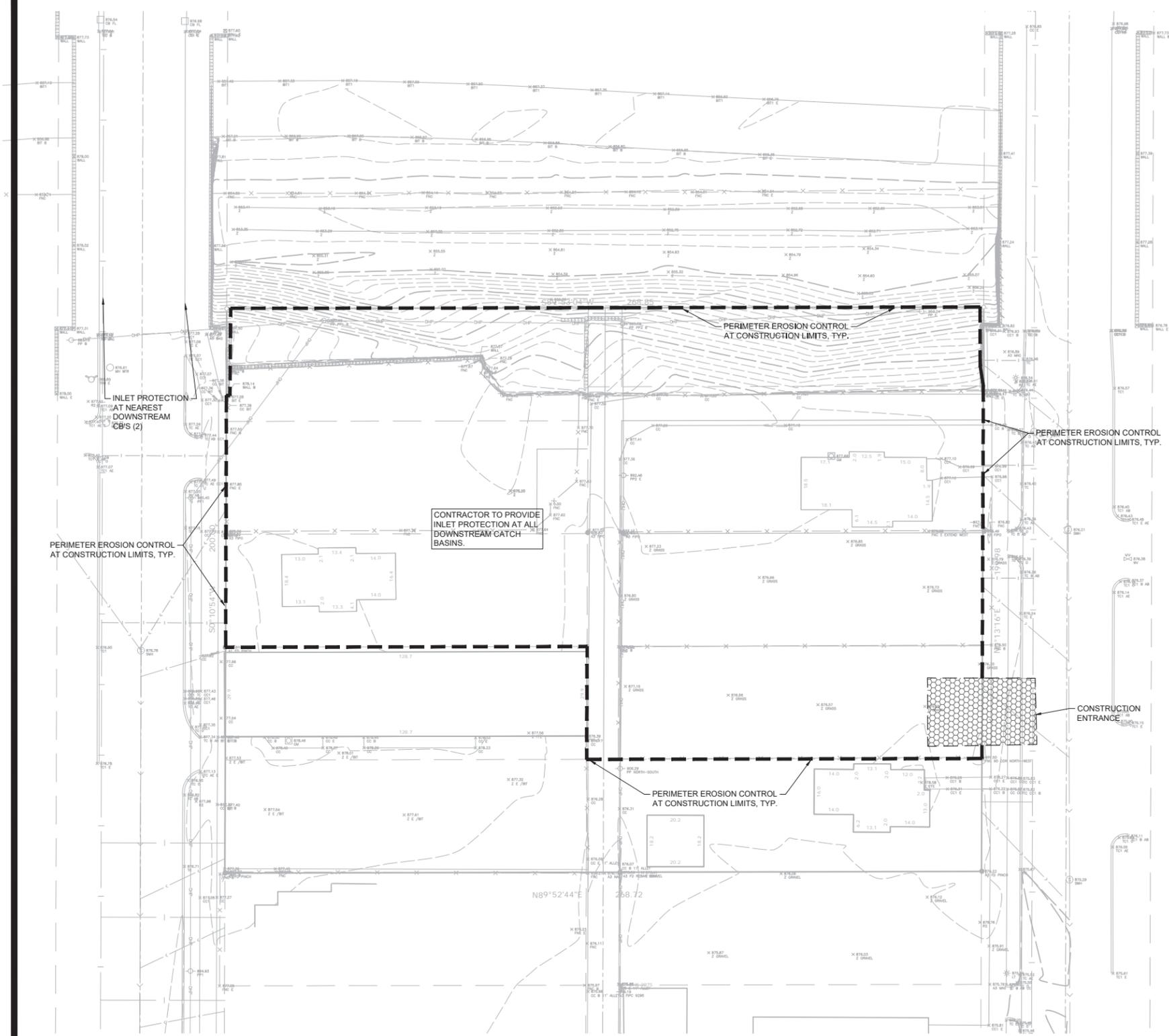
1. SEE SHEETS SW1.2 - 1.3 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
2. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
3. CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

**CITY OF MINNEAPOLIS EROSION CONTROL NOTES:**

1. RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

**LEGEND:**

- 932 --- EX. 1' CONTOUR ELEVATION INTERVAL
- 932 — 1' CONTOUR ELEVATION INTERVAL
- 932.0 • EXISTING SPOT GRADE ELEVATION
- 932.0 — PROPOSED SPOT GRADE ELEVATION
- DRAINAGE ARROW
- — — SILT FENCE / GRADING LIMIT
- — — INLET PROTECTION (WITH HIGH FLOW BYPASS/OVERFLOW DEVICE)
- ▨ STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED MANHOLE OR CATCH BASIN
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- — — PROPOSED SANITARY SEWER
- — — PROPOSED STORM SEWER
- — — EXISTING STORM SEWER
- — — EXISTING WATER MAIN
- — — EXISTING GAS MAIN
- — — EXISTING UNDERGROUND ELECTRIC
- — — EXISTING UNDERGROUND CABLE
- EXISTING MANHOLE
- EXISTING CATCH BASIN
- ◇ EXISTING HYDRANT
- EXISTING STOPBOX
- EXISTING GATE VALVE
- ⊠ EXISTING ELECTRIC BOX
- ⊠ EXISTING LIGHT
- ⊠ EXISTING GAS METER
- EXISTING GAS VALVE



**Harriet Ave Apartments**  
 2905 Harriet Ave. S.

PREPARED FOR:

**TE Miller**  
Development, LLC

**solhem**

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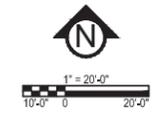
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SWPPP -  
EXISTING CONDITIONS

**SW1.0**

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## GENERAL SWPPP REQUIREMENTS AND NOTES:

THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2013 # MNR100011 PAGES 1-35) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

## PART III STORMWATER DISCHARGE DESIGN REQUIREMENTS

### SWPPP (PART III.A)

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS, AND INCLUDING ANY AND ALL SMALL UTILITY CONSTRUCTION. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

1. VERIFY THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED AND/OR OBTAIN THE NECESSARY PERMITS
2. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
3. INSTALLATION OF SILT FENCE AROUND SITE
4. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS
5. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL
6. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (PART III.B)
7. CLEAR AND GRUB REMAINDER OF SITE
8. DEMOLISH AND REMOVE ALL EXISTING PAVEMENTS AND STRUCTURES PER REMOVALS PLAN.
9. STRIP AND STOCKPILE TOPSOIL
10. ROUGH GRADE THE SITE
11. STABILIZE DENUDED AREAS AND STOCKPILES
12. CONTRACTOR SHALL INSPECT, MONITOR AND MAINTAIN TEMPORARY AND PERMANENT EROSION CONTROL BMPs AS SHOWN ON PLANS AND IN CONFORMANCE WITH NPDES PERMIT. CONTINUOUSLY DURING THE WORK, CONTRACTOR SHALL STABILIZE ALL EXPOSED SOILS NO LATER THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
13. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
14. INSTALL SILT FENCE / INLET PROTECTION AROUND CBS
15. INSTALL STREET SECTION
16. INSTALL CURB AND GUTTER
17. INSTALL BITUMINOUS ON STREETS
18. INSTALL SMALL UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.)
19. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH
20. REMOVE ACCUMULATED SEDIMENT FROM BASIN / POND
21. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.) (PART III.C)
22. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOO/LANDSCAPING, REMOVE BMPs AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

### RECORDS RETENTION (PART III.E):

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN PART III.C. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

1. THE FINAL SWPPP;
2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT;
3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE PART IV.E, INSPECTIONS AND MAINTENANCE);
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

## PART IV. CONSTRUCTION ACTIVITY REQUIREMENTS

### EROSION PREVENTION (PART IV.B):

THE CONTRACTOR IS RESPONSIBLE FOR PLANNING FOR AND IMPLEMENTING APPROPRIATE CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING, AND OTHER CONSTRUCTION PRACTICES THAT MINIMIZE EROSION, SO THAT THE INSPECTION AND MAINTENANCE REQUIREMENTS OF PART IV.E, ARE COMPLIED WITH. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS.

ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT NO LATER THAN THE END OF THE NEXT WORK DAY WHEN EARTH-DISTURBING ACTIVITIES WILL CEASE FOR AT LEAST 14 DAYS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G. CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT BUT MUST COMPLY WITH PART IV.C.5.

SOILS WITHIN 200 FEET OF A PUBLIC WATER (AS DESIGNATED BY THE MINNESOTA DNR) MUST BE STABILIZED WITHIN 24 HOURS DURING FISH SPAWNING TIMES.

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.

STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETED WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED.

TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BOLL ROLLS, SILT DIKES ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

### SEED NOTES (PART III.A.4.A):

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

GENERAL RECOMMENDATIONS:  
IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

### TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

- SEED
- TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.

- MULCH
- IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)

- SLOPES
- 3:1 (HORIZ:VERT.) OR FLATTER MUCH SHALL BE COVERED WITH MULCH
  - SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET.
  - SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

### SEDIMENT CONTROL (PART IV.C):

SEDIMENT CONTROL PRACTICES MUST MINIMIZE SEDIMENT FROM ENTERING SURFACE WATERS, INCLUDING CURB AND GUTTER SYSTEMS AND STORM SEWER INLETS.

- a. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS THAT ARE DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
- b. IF THE DOWN GRADIENT TREATMENT SYSTEM IS OVERLOADED, ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs MUST BE INSTALLED TO ELIMINATE THE OVERLOADING, AND THE SWPPP MUST BE AMENDED TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN PART III.A.4. A, THROUGH C.
- c. IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 3:1 OR STEEPER.

SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED IN ACCORDANCE WITH PART IV.G.

THE TIMING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. HOWEVER, SEDIMENT CONTROL PRACTICES MUST BE INSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE ACTIVITY IS NOT COMPLETE.

ALL STORM DRAIN INLETS MUST BE PROTECTED BY APPROPRIATE BMPs DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY BE REMOVED FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (STREET FLOODING/FREEZING) HAS BEEN IDENTIFIED AND THE PERMITTEE(S) HAVE RECEIVED WRITTEN CORRESPONDENCE FROM THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MNDOT ENGINEER) VERIFYING THE NEED FOR REMOVAL. THE WRITTEN CORRESPONDENCE MUST BE DOCUMENTED IN THE SWPPP OR AVAILABLE WITHIN 72 HOURS UPON REQUEST. WHEN WRITTEN CORRESPONDENCE CAN NOT BE OBTAINED IN A TIMELY MANNER, THE SPECIFIC INLET PROTECTION CAN BE REMOVED TO ALLEVIATE THE IMMEDIATE SAFETY CONCERN. HOWEVER, EFFORTS TO OBTAIN WRITTEN CORRESPONDENCE MUST BE DOCUMENTED IN THE SWPPP AND AVAILABLE WITHIN 72 HOURS UPON REQUEST. PERMISSION TO REMOVE INLET PROTECTION BASED ON A SPECIFIC SAFETY CONCERN MUST STILL BE OBTAINED FROM THE JURISDICTIONAL AUTHORITY WITHIN 30 DAYS OF REMOVAL.

TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.

VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE (OR ONTO STREETS WITHIN THE SITE) MUST BE MINIMIZED BY BMPs SUCH AS STONE PADS, CONCRETE OR STEEL WASH RACKS, OR EQUIVALENT SYSTEMS. STREET SWEEPING MUST BE USED IF SUCH BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE STREET (SEE PART IV.E.4.D.).

THE PERMITTEE MUST MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL. MINIMIZING SOIL COMPACTION IS NOT REQUIRED WHERE THE FUNCTION OF THE SPECIFIC AREA OF THE SITE DICTATES THAT IT BE COMPACTED. METHODS FOR MINIMIZING COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT, AND STAYING OFF OF AREAS TO BE LEFT UN-COMPACTED. METHODS TO PRESERVE TOPSOIL INCLUDE STRIPPING AND STOCKPILING TOPSOIL PRIOR TO GRADING OR EXCAVATION OPERATIONS.

THE PERMITTEE MUST INSTALL TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN PART III.B. OF THIS PERMIT.  
DEWATERING AND BASIN DRAINING (PART IV.D.):

DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) RELATED TO THE CONSTRUCTION ACTIVITY THAT MAY HAVE TURBID OR SEDIMENT LADEN DISCHARGE WATER MUST BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE WHENEVER POSSIBLE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPs SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER. DOWNSTREAM LANDOWNERS OR WETLANDS, THE CONTRACTOR MUST ENSURE THAT DISCHARGE POINTS ARE ADEQUATELY PROTECTED FROM EROSION AND SCOUR. THE DISCHARGE MUST BE DISPERSED OVER NATURAL ROCK RIPRAP, SAND BAGS, PLASTIC SHEATHING OR OTHER ACCEPTED ENERGY DISSIPATION MEASURES. ADEQUATE SEDIMENTATION CONTROL MEASURES ARE REQUIRED FOR DISCHARGE WATER THAT CONTAINS SUSPENDED SOLIDS.

FLTER BACKWASH WATERS MUST BE HAULED AWAY FOR DISPOSAL, RETURNED TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. DISCHARGE OF THE BACKWASH WATER TO SANITARY SEWER IS ALLOWED WITH PERMISSION OF THE SANITARY SEWER AUTHORITY.

### INSPECTIONS AND MAINTENANCE (PART IV.E):

THE CONTRACTOR IS RESPONSIBLE AT ALL TIMES FOR THE MAINTENANCE AND PROPER OPERATION OF EROSION AND SEDIMENT CONTROL FACILITIES. THE CONTRACTOR SHALL AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER AND WITHIN 7 DAYS AFTER THAT. CONTINUE INSPECTION ACTIVITIES UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER THE CONTRACTOR SHALL PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. INSPECTIONS MUST INCLUDE STABILIZED AREAS, EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND INFILTRATION AREAS.

BASED ON INSPECTION RESULTS THE CONTRACTOR MAY MODIFY THE SWPPP IN ORDER TO PREVENT POLLUTANTS FROM LEAVING THE SITE VIA STORM WATER RUNOFF. THIS MODIFICATION MUST BE MADE WITHIN 7 CALENDAR DAYS OF THE INSPECTION UNLESS OTHERWISE REQUIRED BY THE TERMS OF THE PERMIT, LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS.

INSPECTION REPORTS MUST BE RECORDED WITHIN 24 HOURS IN WRITING AND KEPT ON FILE BY THE CONTRACTOR AS AN INTEGRAL PART OF THE SWPPP ON SITE AND THEN FOR AT LEAST 3 YEARS FROM THE DATE OF COMPLETION OF THIS PROJECT.

ALL PERIMETER CONTROL DEVICES MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY, OR THEREAFTER AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND REESTABLISH THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED TOPSOIL. THIS REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN 7 DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS.

SEE (ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE) FOR SITE SPECIFIC INSPECTIONS AND MAINTENANCE REQUIREMENTS.

### POLLUTION PREVENTION MANAGEMENT (PART IV.F):

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE:

SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MINNESOTA POLLUTION CONTROL AGENCY (MPCA) DISPOSAL REQUIREMENTS.

HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.

EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTEWATER PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON SITE.

CONCRETE WASHOUT: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER THE GROUND IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. CONCRETE WASHOUT MAY ALSO OCCUR OFF SITE ACCORDING TO THE APPROPRIATE REGULATIONS.

FUELING OPERATION PLAN: ALL FUELING SHALL TAKE PLACE AT THE DESIGNATED FUELING LOCATION AND ACCORDING TO BEST PRACTICES FOR SITE FUELING OPERATIONS AS TO MINIMIZE THE POTENTIAL FOR SPILLS.

SPILL PREVENTION PLAN: ALL SPILLS SHALL BE IMMEDIATELY CLEANED UP AFTER DISCOVERY. THE SITE SUPERINTENDENT, WHO IS RESPONSIBLE FOR DAY-TO-DAY ONSITE CONSTRUCTION OPERATIONS WILL BE THE SPILL PREVENTION COORDINATOR AND WILL BE RESPONSIBLE FOR IMPLEMENTING CLEAN UP PROCEDURES, POSTING CLEAN UP RECOMMENDATIONS, AND ENSURING PROPER CLEAN UP TRAINING OF APPROPRIATE PERSONNEL.

SANITARY AND SEPTIC WASTE: SANITARY/SEPTIC FACILITIES SHALL BE PROVIDED AND MAINTAINED IN A NEAT AND SANITARY CONDITION, FOR THE USE OF THE CONTRACTOR'S EMPLOYEES. A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY STATE REGULATIONS WILL COLLECT SANITARY WASTE FROM PORTABLE UNITS.

### FINAL STABILIZATION (PART IV.G):

THE CONTRACTOR MUST ENSURE FINAL STABILIZATION OF THE SITE ACCORDING TO THE DEFINITIONS IN THE NPDES GENERAL PERMIT PART IV SECTION G. THE CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION (N.O.T.) WITHIN 7 DAYS AFTER FINAL STABILIZATION IS COMPLETE OR WITHIN 7 DAYS AFTER SELLING THE SITE OR PORTION OF THE SITE (THAT HAS NOT UNDERGONE FINAL STABILIZATION) TO ANOTHER PARTY. A COPY OF THIS NOTICE OF TERMINATION / PERMIT MODIFICATION FORM MUST GO TO THE NEW OWNER. THE ORIGINAL CURRENT OWNER MUST PROVIDE A SWPPP TO THE NEW OWNER THAT SPECIFICALLY ADDRESSES THE REMAINING CONSTRUCTION ACTIVITY. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE) AND SWPPP PLAN SHEETS FOR FINAL STABILIZATION MEASURES

## TRAINING (PART III.A.2)

DESIGN ENGINEER: MATTHEW R. PAVEK P.E.  
TRAINING COURSE: DESIGN OF SWPPP  
TRAINING ENTITY: UNIVERSITY OF MINNESOTA  
INSTRUCTOR: JOHN CHAPMAN  
DATES OF TRAINING COURSE: 5/15/2011 - 5/16/2011  
TOTAL TRAINING HOURS: 12  
RE-CERTIFICATION: 1/13/14-1/13/14 (8 HOURS), EXP. 5/31/2017

## AREAS AND QUANTITIES (PART III.A.4.B&C):

SITE AREA CALCULATIONS	EXISTING	PROPOSED
BUILDING COVERAGE	1,893 SF 5.0%	16,250 SF 42.9%
ALL PAVEMENTS	7,513 SF 19.6%	7,778 SF 20.0%
ALL NON-PAVEMENTS	28,464 SF 75.2%	13,842 SF 36.6%
TOTAL SITE AREA	37,870 SF 100.0%	37,870 SF 100.0%
IMPERVIOUS SURFACE		
EXISTING CONDITION	9,496 SF 24.9%	
PROPOSED CONDITION	24,028 SF 63.4%	
DIFFERENCE (EX. VS PROP.)	14,622 SF 38.6%	
IMPERVIOUS TOTAL	24,028 SF 63.4%	
EROSION CONTROL QUANTITIES		
DISTURBED AREA	40,238 SF	
SILT FENCE/BIO-ROLL	780 LF	
EROSION CONTROL BLANKET	9 SF	
INLET PROTECTION DEVICES	2 EA	

## OWNER INFORMATION

OWNER: CURT GUNSBURY  
SOLHEM COMPANIES  
3021 HOLMES AVE  
SUITE 101  
MINNEAPOLIS, MN 55408

## SWPPP CONTACT PERSON

CONTRACTOR:  
XXX  
XXX  
XXX  
XXX

SWPPP INSPECTOR TRAINING:  
ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

## PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

NO PERMANENT STORM WATER MANAGEMENT SYSTEM IS REQUIRED FOR THE SITE SINCE IT IS SMALLER THAN 1 ACRE.

## SWPPP ATTACHMENTS:

NOT APPLICABLE. SITE IS SMALLER THAN 1 ACRE.

## SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES:

THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

### PROJECT NARRATIVE:

THE PROPOSED PROJECT IS THE CONSTRUCTION OF A NEW APARTMENT BUILDING AND PARKING LOT. THE EXISTING SITE HAS A PARKING LOT, ALLEY AND TWO HOMES TO BE DEMOLISHED. SITE AND GRADING IMPROVEMENTS WILL OCCUR.

### PERMANENT STORM WATER MANAGEMENT SYSTEM (IF REQUIRED):

NOT APPLICABLE - SITE IS SMALLER THAN 1 ACRE

### SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED):

NOT REQUIRED - NO SPECIAL OR IMPAIRED WATERS NEAR SITE

### PERMANENT STABILIZATION NOTES SITE SPECIFIC:

PERMANENT SEED MIX

- FOR THIS PROJECT ALL AREAS THAT ARE NOT TO BE SODDED OR LANDSCAPED SHALL RECEIVE A NATIVE PERMANENT SEED MIX.
- AREAS IN BUFFERS AND ADJACENT TO OR IN WET AREAS MNDOT SEED MIX 35-261 (STORMWATER SOUTH AND WEST) AT 35 LBS PER ACRE.
- DRY AREAS MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE.
- MAINTENANCE SHALL BE IN ACCORDANCE TO THE MNDOT SEEDING MANUAL.

## CITY OF MINNEAPOLIS EROSION CONTROL NOTES:

*City of Minneapolis Standard Erosion Control Notes*

**City of Minneapolis Standard Erosion and Sediment Control Notes for Plans**  
*These notes may be used as performance standards or requirements for projects not meeting the threshold for a formal plan.*

1. Contractor must call a construction start 48 hours prior to any land disturbance (612-673-3867). Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
2. Install siltation control devices in accordance with the following: a. Install siltation control devices at the commencement of any land disturbance or construction activities.
3. Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. The 2 rock or greater diameter rock in a layer at least 6 inches thick, across the entire width of the entrance. Fit sand the rock entrance at least 40 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
4. Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be reduced by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
5. Install siltation protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a regular basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or fiber fabric wrapped gates are not allowed for siltation protection.
6. Locate and silt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, saps, or other means. Contain erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 36 hours.
7. Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated.
8. Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and standing water within 7-10 days. The seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Removal of temporary siltation, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this manual is 70% established cover over disturbed area.
9. Newly placed concrete and concrete foundation plans are prohibited within the public right of way. All concrete related protection, cleaning and mixing activities shall be done in the designated concrete mixing/staging location as shown in the erosion control plan. Under no circumstance may washwater water drain onto the public right of way or into any public or private storm drain conveyance.
10. Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide immediate notice and details for all proposed alternate type devices.
11. If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reduction measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent silt erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.

Revised by: The City of Minneapolis Public Works Safety Section Staff  
January 7, 2011

PREPARED FOR:



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PRINT NAME: Matthew R. Pavek

SIGNATURE:

DATE: 1-18-16 LICENSE # 44263

Revisions & Addendums

9/2/2015 - CHECK SET

1/18/2016 - COW #1 SUBMITTAL

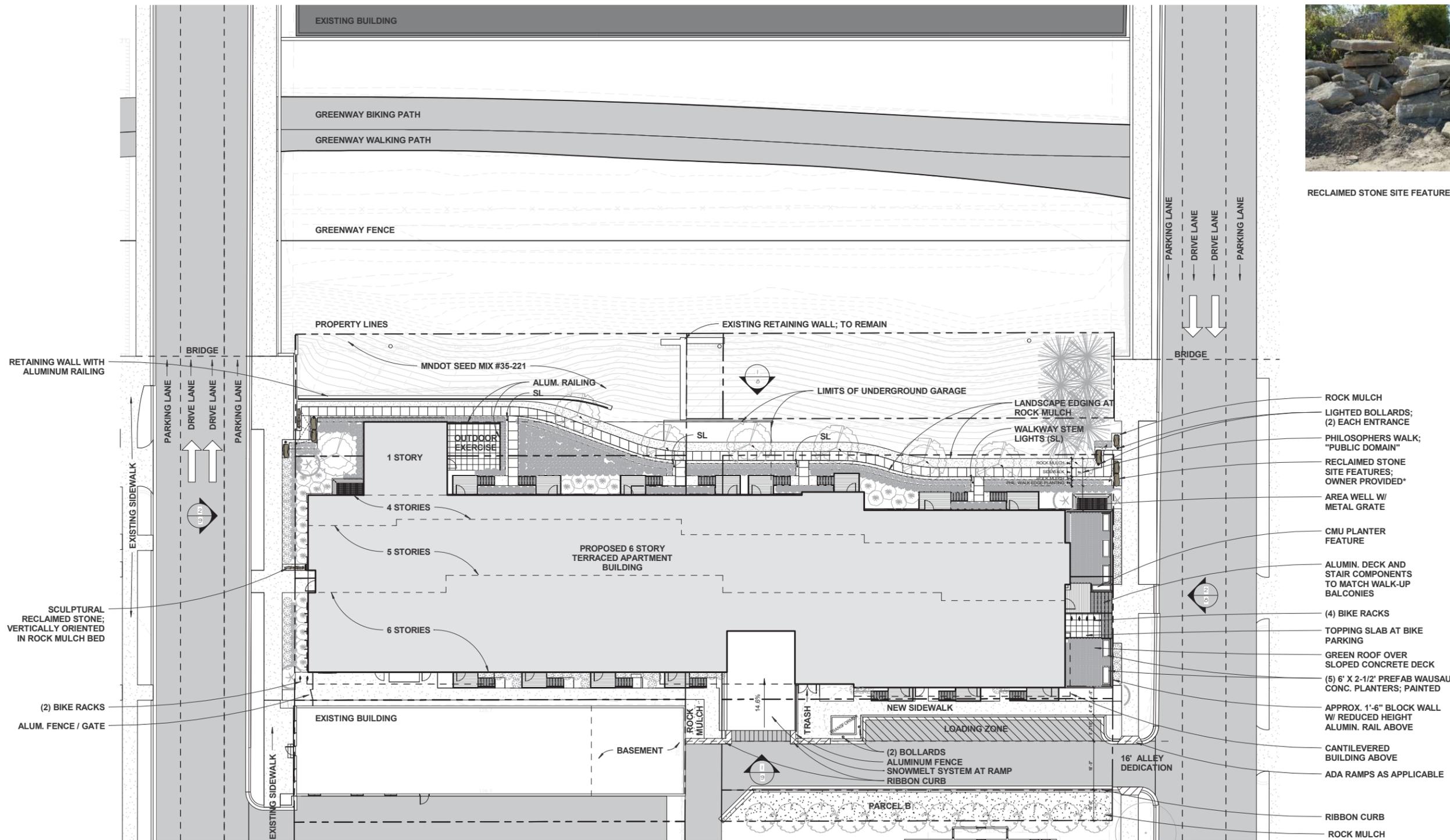
-PRELIMINARY-  
NOT FOR  
CONSTRUCTION

215074A

SWPPP - NARRATIVE

SW1.3





RECLAIMED STONE SITE FEATURES; OWNER PROVIDED\*

1 Site Plan - Plan A  
SCALE 1/16" = 1'-0"



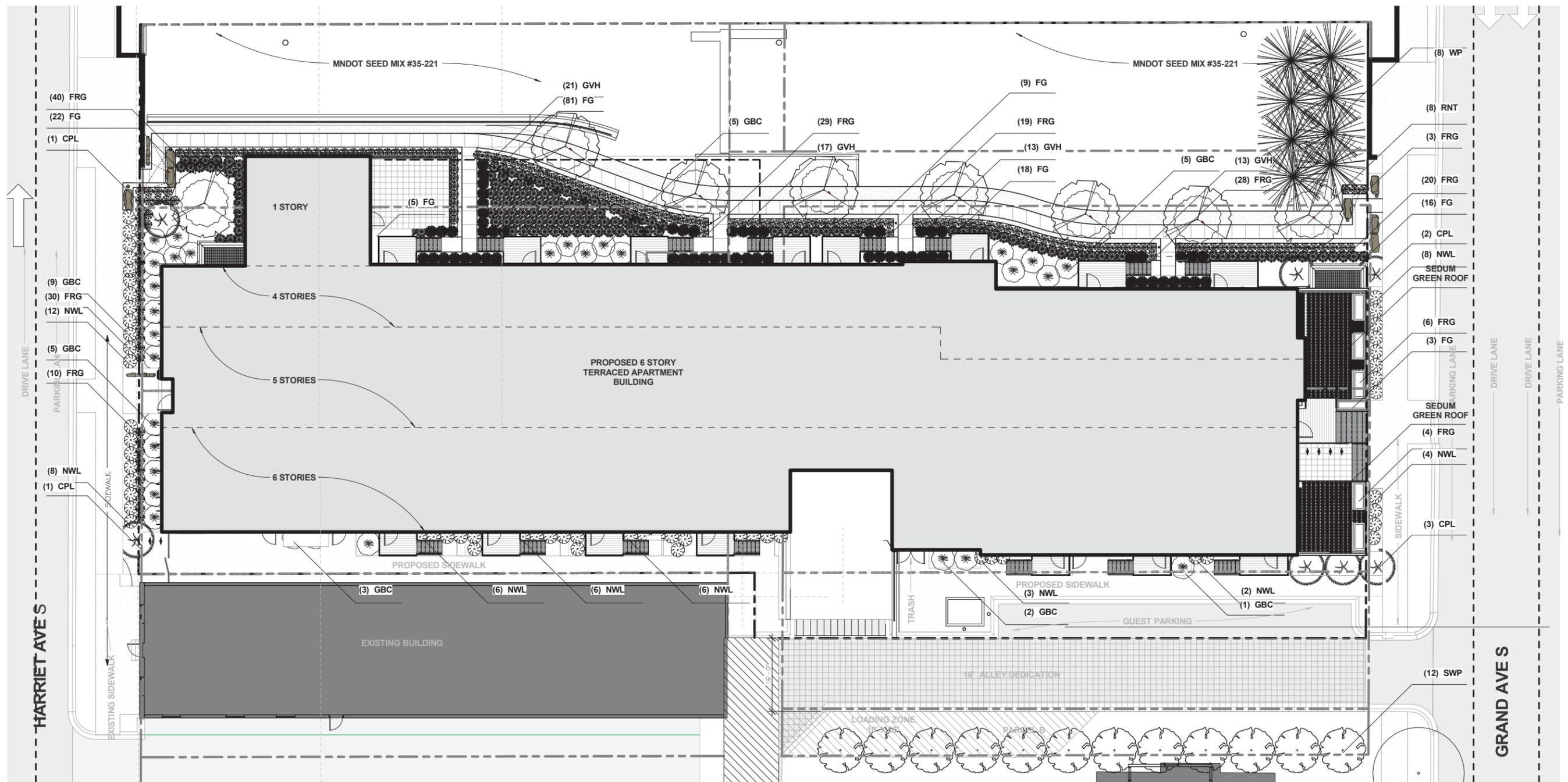
# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Site Plan

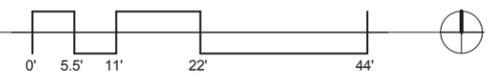
01/18/2016





**PLANTING PLAN**  
SCALE 3/32" = 1'-0"

		Planting Schedule				
Count	ID	Common Name	Botanical Name	Size	Comments	
<b>1. Deciduous Tree</b>						
8	RNT	Northern Tree Redbud	<i>Cercis canadensis</i>	3" Caliper Ball and Burlap		
12	SWP	Sweedish Poplar	<i>Populus tremula 'Erecta'</i>	2.0" Caliper Ball and Burlap		
<b>2. Evergreen Tree</b>						
8	WP	White Pine	<i>Pinus strobus</i>	6' Tall Ball and Burlap		
<b>3. Shrub</b>						
7	CPL	Common Purple Lilac	<i>Syringa vulgaris</i>	#5 Container		
30	GBC	Glossy Black Chokeberry	<i>Aronia melanocarpa elata</i>	#5 Container		
<b>4. Perennial</b>						
64	GVH	Golden Variegated Hakonechloa	<i>Hakonechloa macra 'Aureola'</i>	#1 Container		
189	FRG	Karl Foerster Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	#1 Container		
154	FG	Miscanthus Flame Grass	<i>Miscanthus sinensis 'Purpurascens'</i>	#1 Container		
59	NWL	Nepeta Walkers Low	<i>Nepeta x faasenii 'Walker's Low'</i>	#1 Container		
Grand total: 531						



# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Landscape Plan

01/18/2016







3 1ST FLOOR  
SCALE 1" = 10'-0"



2 2ND FLOOR  
SCALE 1" = 10'-0"

UNIT MIX BY FLOOR		
NAME	COUNT	Area
1ST FLOOR:		
UNIT A - STUDIO	2	908 SF
UNIT A - STUDIO	1	465 SF
UNIT E - ONE BED 1ST	2	924 SF
UNIT H - ONE BED 1ST	1	524 SF
UNIT I - ONE BED SLIM	1	521 SF
UNIT I - ONE BED SLIM	1	534 SF
UNIT K - ONE BED	2	1121 SF
UNIT K - ONE BED	1	571 SF
UNIT K - ONE BED	1	575 SF
UNIT M - ONE BED	1	582 SF
UNIT M - ONE BED	3	1749 SF
UNIT R - ONE BED DEN 1ST	1	766 SF
1ST FLOOR: 17		9238 SF
2ND FLOOR:		
UNIT A - STUDIO	4	1860 SF
UNIT B - STUDIO	1	461 SF
UNIT B - STUDIO	2	934 SF
UNIT I - ONE BED SLIM	1	533 SF
UNIT I - ONE BED SLIM	1	534 SF
UNIT J2 - ONE BED	1	558 SF
UNIT J - ONE BED	1	553 SF
UNIT K - ONE BED	4	2299 SF
UNIT L - ONE BED	2	1174 SF
UNIT N - ONE BED	1	912 SF
UNIT S - TWO BED	1	888 SF
UNIT U - TWO BED	1	941 SF
2ND FLOOR: 23		13393 SF
3RD FLOOR:		
UNIT A - STUDIO	4	1860 SF
UNIT B - STUDIO	1	461 SF
UNIT B - STUDIO	2	934 SF
UNIT I - ONE BED SLIM	1	533 SF
UNIT I - ONE BED SLIM	1	534 SF
UNIT J2 - ONE BED	1	558 SF
UNIT J - ONE BED	1	553 SF
UNIT K - ONE BED	4	2299 SF
UNIT L - ONE BED	2	1174 SF
UNIT N - ONE BED	1	912 SF
UNIT S - TWO BED	1	888 SF
UNIT U - TWO BED	1	941 SF
3RD FLOOR: 23		13393 SF
4TH FLOOR:		
UNIT A - STUDIO	4	1860 SF
UNIT B - STUDIO	1	461 SF
UNIT B - STUDIO	2	934 SF
UNIT I - ONE BED SLIM	1	533 SF
UNIT I - ONE BED SLIM	1	534 SF
UNIT J2 - ONE BED	1	558 SF
UNIT J - ONE BED	1	553 SF
UNIT K - ONE BED	4	2299 SF
UNIT L - ONE BED	2	1174 SF
UNIT N - ONE BED	1	912 SF
UNIT S - TWO BED	1	888 SF
UNIT U - TWO BED	1	941 SF
4TH FLOOR: 23		13393 SF
5TH FLOOR:		
UNIT B - STUDIO	1	461 SF
UNIT B - STUDIO	2	934 SF
UNIT C - ONE BED 5TH	1	473 SF
UNIT D - ONE BED 5TH	1	521 SF
UNIT F - ONE BED 5TH	3	1515 SF
UNIT G - ONE BED 5TH	1	580 SF
UNIT G - ONE BED 5TH	1	586 SF
UNIT J2 - ONE BED	1	558 SF
UNIT J - ONE BED	1	553 SF
UNIT L - ONE BED	2	1124 SF
UNIT N - ONE BED	2	1174 SF
UNIT P - ONE BED 5TH	1	622 SF
UNIT Q - ONE BED DEN	1	619 SF
UNIT U - TWO BED	1	941 SF
5TH FLOOR: 19		10664 SF
6TH FLOOR:		
UNIT O - ONE BED 6TH	1	602 SF
UNIT T - TWO BED 6TH	1	838 SF
UNIT V - TWO BED 6TH	1	1011 SF
UNIT W - TWO BED 6TH	1	1004 SF
UNIT X - THREE BED 6TH	1	1230 SF
6TH FLOOR: 5		4684 SF
Grand total: 110		64764 SF



# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

1st & 2nd Floors

01/18/2016





1 THIRD LEVEL  
SCALE 1" = 10'-0"



2 4TH FLOOR  
SCALE 1" = 10'-0"

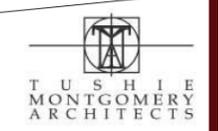


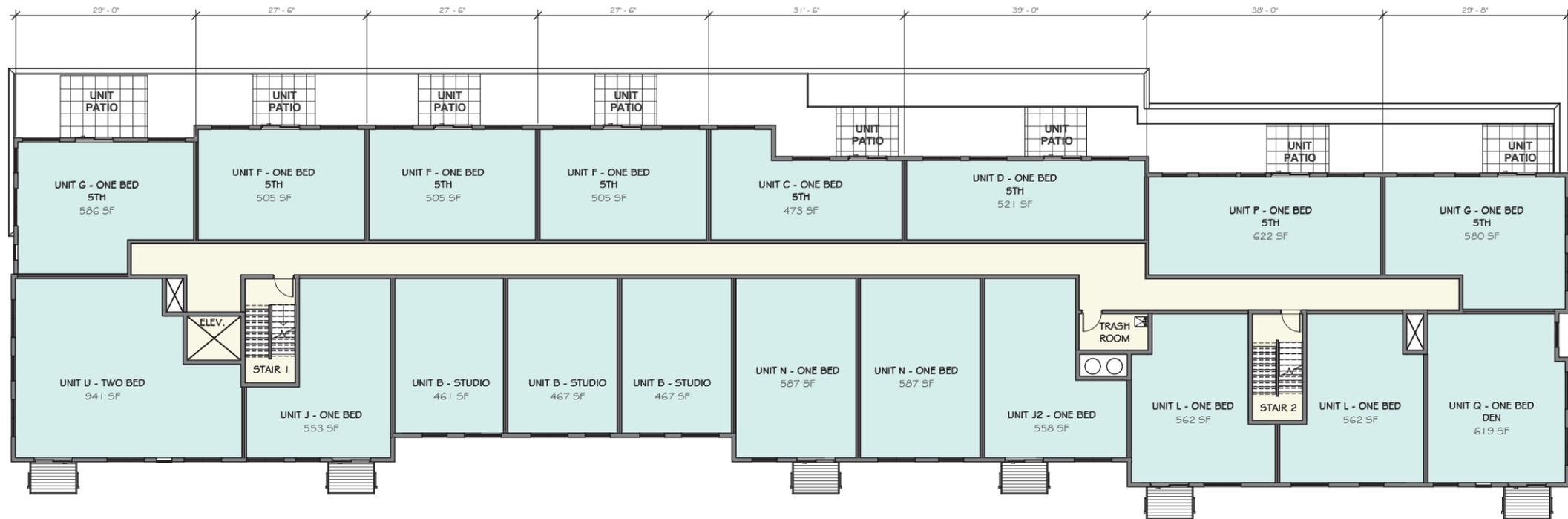
# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

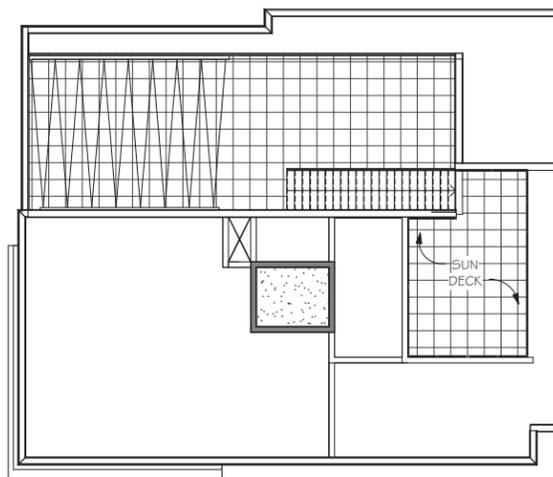
3rd & 4th Floors

01/18/2016

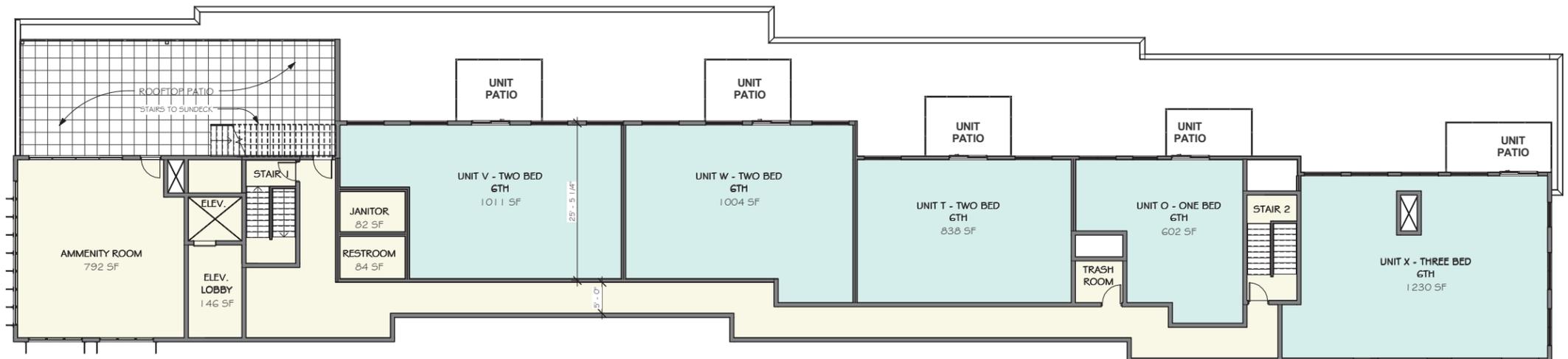




1 5TH FLOOR  
SCALE 1" = 10'-0"



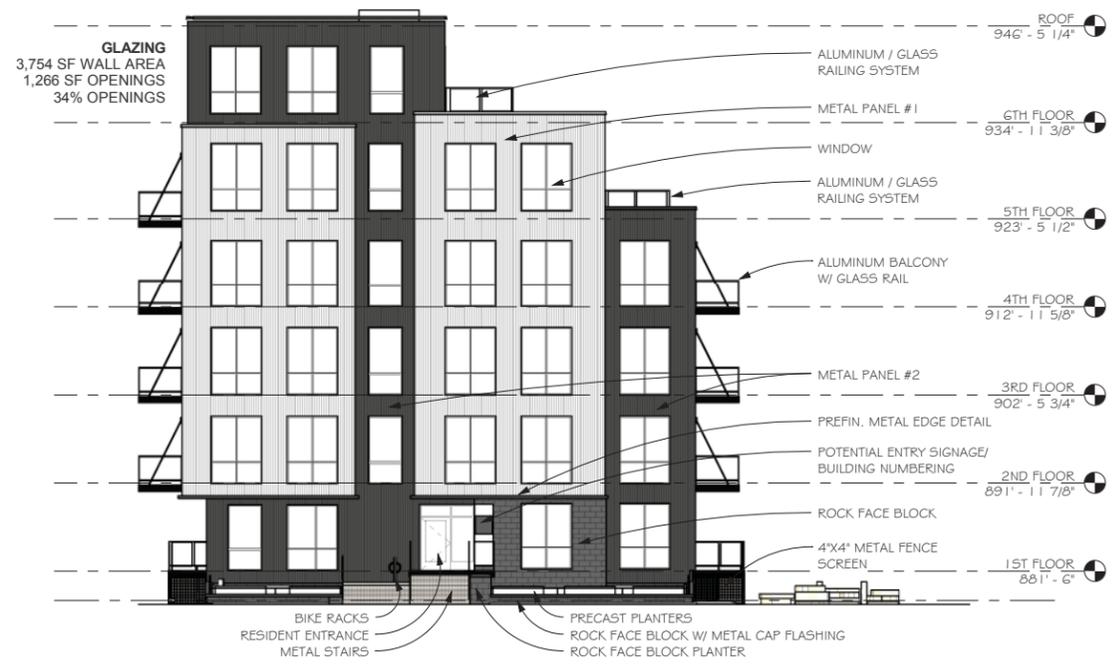
3 ROOF LEVEL  
SCALE 1" = 10'-0"



2 6TH FLOOR  
SCALE 1" = 10'-0"



**1 NORTH ELEVATION**  
SCALE 1" = 10'-0"



**2 EAST ELEVATION**  
SCALE 1" = 10'-0"

**COLOR NOTE:**  
COLORS ARE PRIMARILY TO ILLUSTRATE PLANE DIFFERENCES IN BUILDING FACADE AND SHOULD NOT BE CONSIDERED FINAL

**SIGNAGE NOTE:**  
SIGNAGE TO BE PROPOSED IN FUTURE SUBMITTAL.



# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

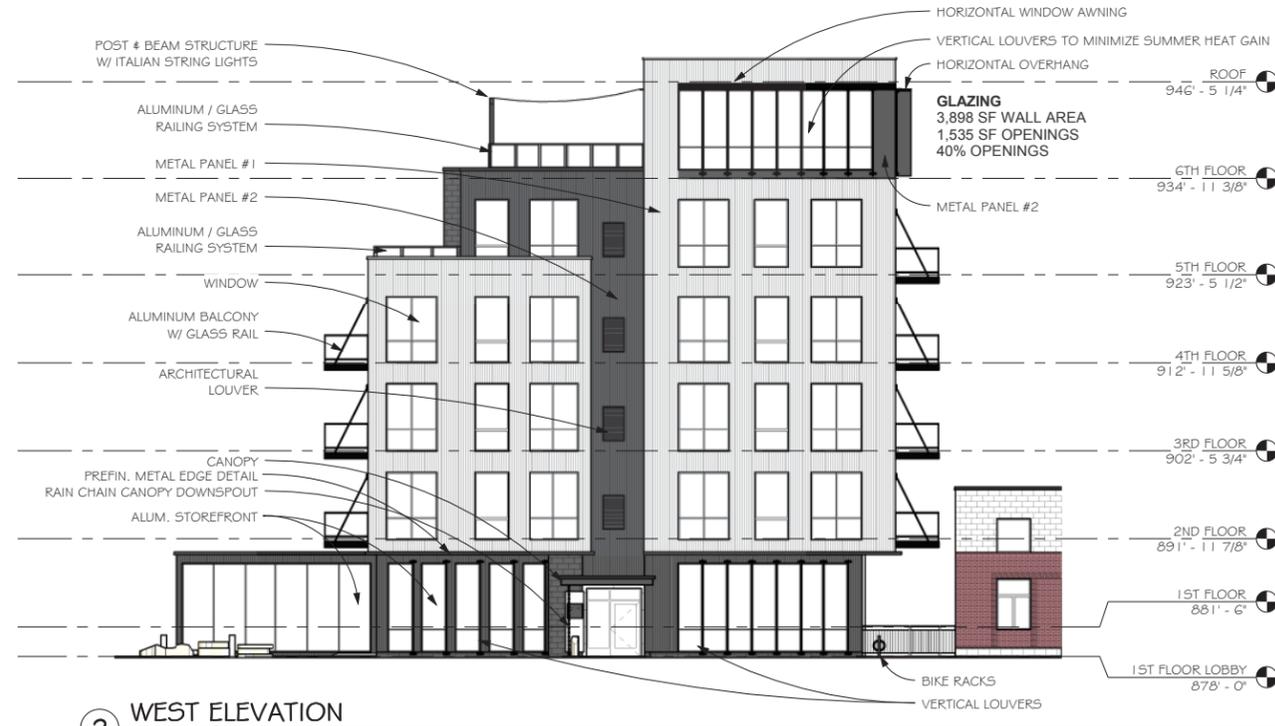
Elevations

01/18/2016





1 SOUTH ELEVATION  
SCALE 1" = 10'-0"



2 WEST ELEVATION  
SCALE 1" = 10'-0"

**COLOR NOTE:**  
COLORS ARE PRIMARILY TO ILLUSTRATE PLANE DIFFERENCES IN BUILDING FACADE AND SHOULD NOT BE CONSIDERED FINAL

**SIGNAGE NOTE:**  
SIGNAGE TO BE PROPOSED IN FUTURE SUBMITTAL.



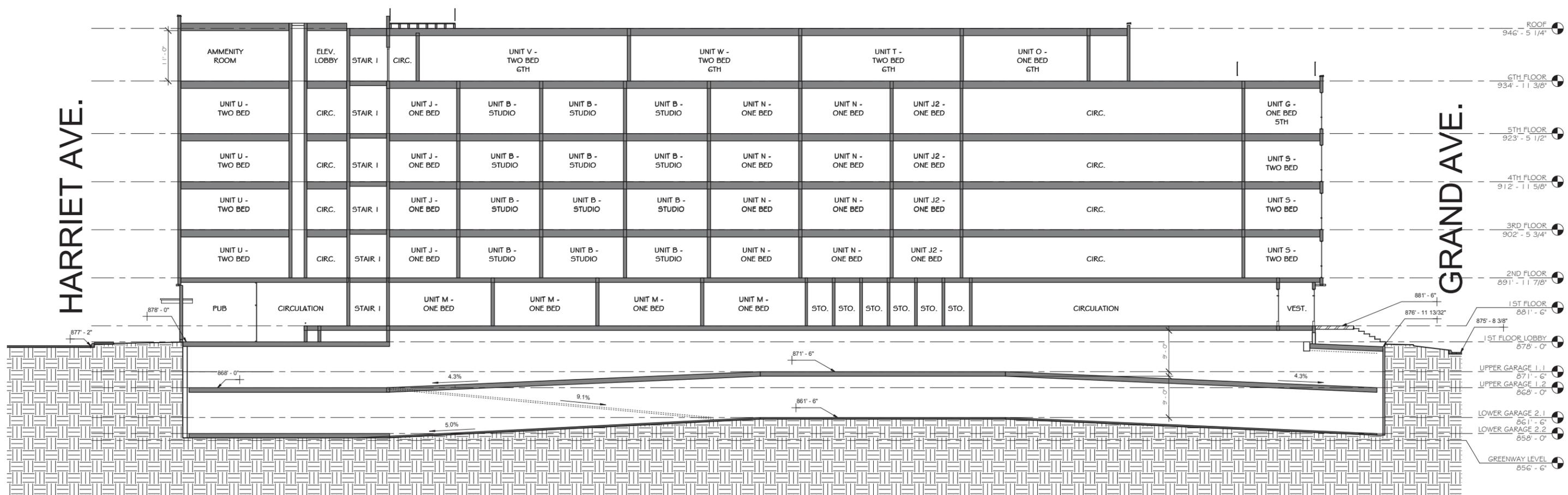
# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Elevations

01/18/2016





HARRIET AVE.

GRAND AVE.

1 Longitudinal Section  
SCALE 1" = 10'-0"



# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Building Section

01/18/2016





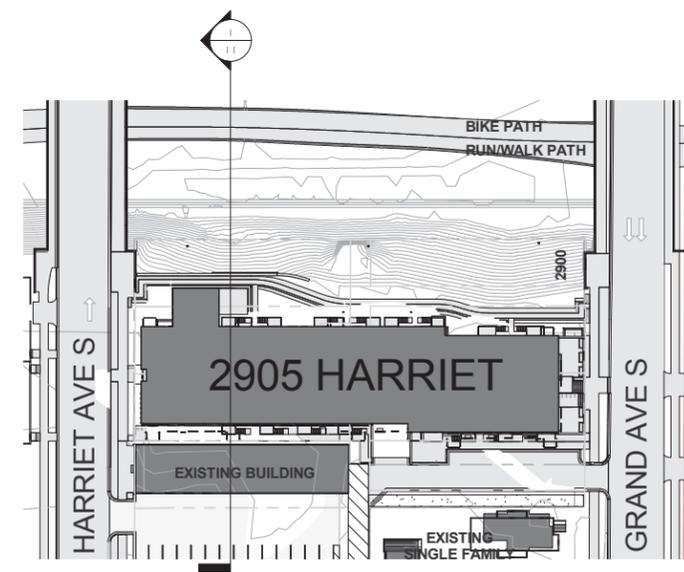
Location: Latitude: 44.97 Longitude: -93.25 Time Zone: -6 Date: Day: 28 Month: Oct Year: 2015 Local Time: 12:00:00 PM

Equation of Time (minutes):	Solar Declination (in°):	Apparent Sunrise (hh:mm):	Solar Noon (hh:mm:ss):	Apparent Sunset (hh:mm):	Az/El (in °) at Local Time:
16.24	-13.18	06:45	11:56:45	17:07	180.93 / 91.97

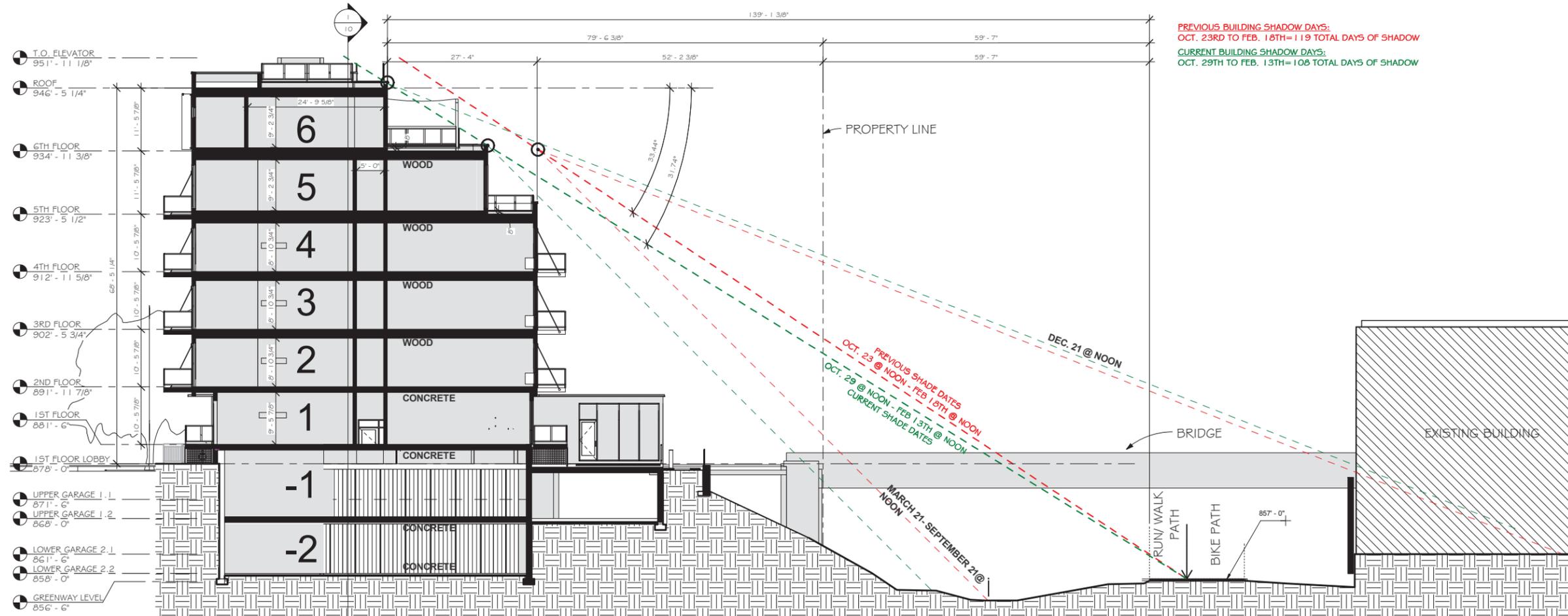


Location: Latitude: 44.97 Longitude: -93.25 Time Zone: -6 Date: Day: 14 Month: Feb Year: 2015 Local Time: 12:00:00 PM

Equation of Time (minutes):	Solar Declination (in°):	Apparent Sunrise (hh:mm):	Solar Noon (hh:mm:ss):	Apparent Sunset (hh:mm):	Az/El (in °) at Local Time:
-14.18	-12.94	07:16	12:27:11	17:39	172.2 / 91.75



2 SITE PLAN SHADOW STUDY  
SCALE 1" = 50'-0"



1 SUN STUDY SECTION A  
SCALE 1" = 10'-0"



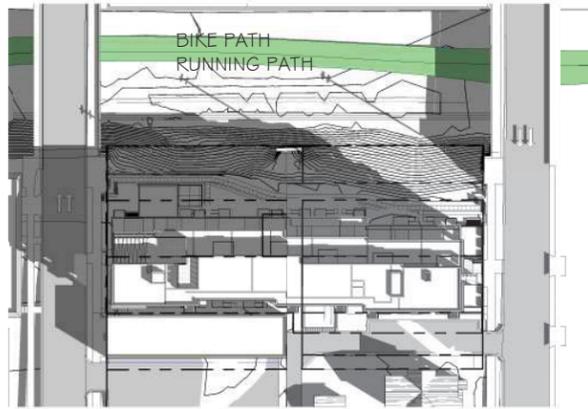
# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

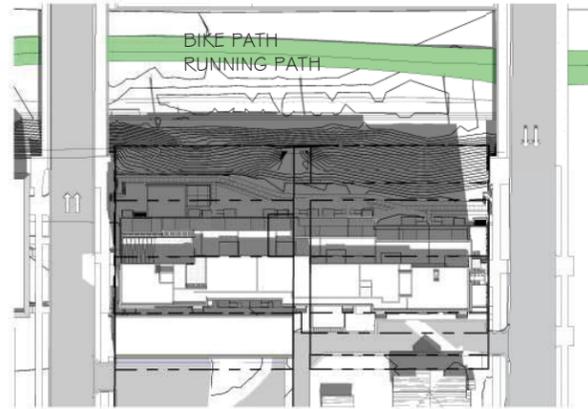
Site Section - Option A

01/18/2016

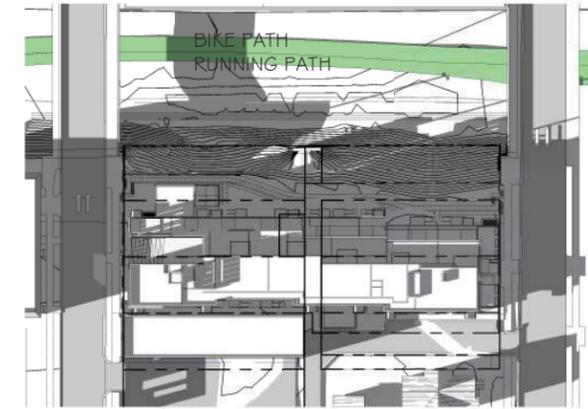




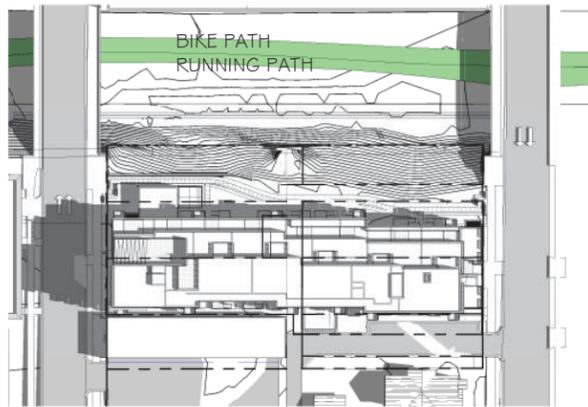
1 SHADOW STUDY - 9 AM SPRING EQUINOX  
SCALE 1" = 60'-0"



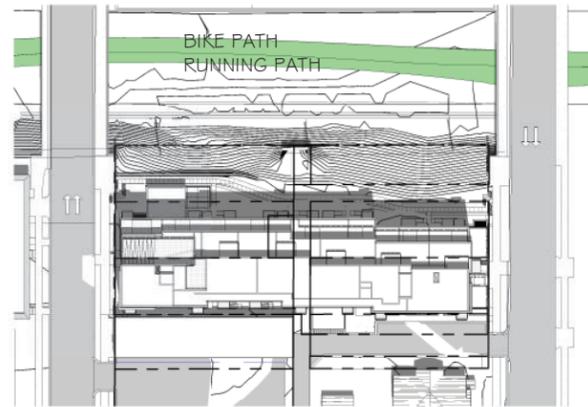
2 SHADOW STUDY - 12 PM SPRING EQUINOX  
SCALE 1" = 60'-0"



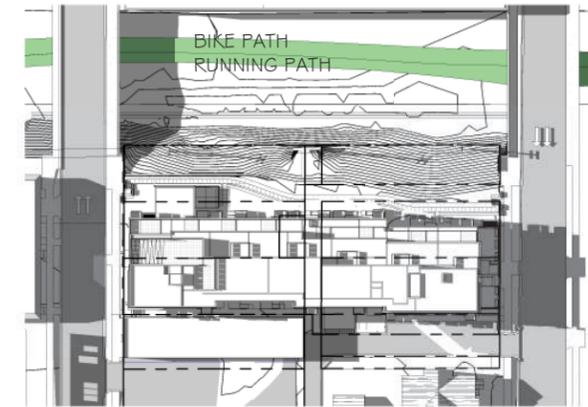
3 SHADOW STUDY - 5 PM SPRING EQUINOX  
SCALE 1" = 60'-0"



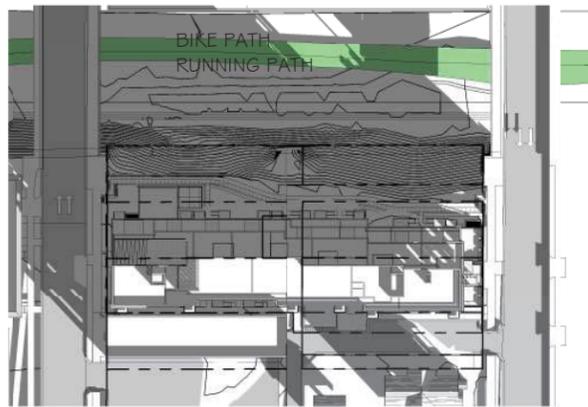
4 SHADOW STUDY - 9 AM SUMMER SOLSTICE  
SCALE 1" = 60'-0"



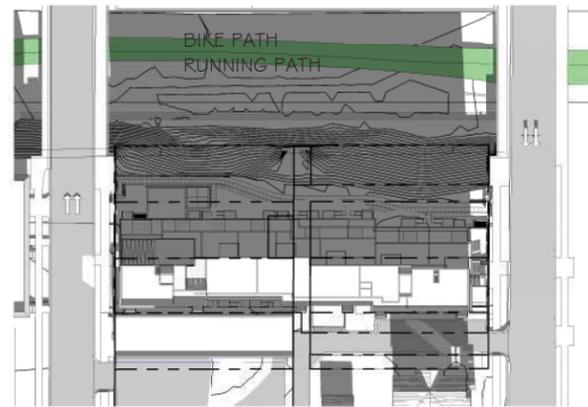
5 SHADOW STUDY - 12 PM SUMMER SOLSTICE  
SCALE 1" = 60'-0"



6 SHADOW STUDY - 5 PM SUMMER SOLSTICE  
SCALE 1" = 60'-0"



7 SHADOW STUDY - 9 AM WINTER SOLSTICE  
SCALE 1" = 60'-0"



8 SHADOW STUDY - 12 PM WINTER SOLSTICE  
SCALE 1" = 60'-0"



9 SHADOW STUDY - 5 PM WINTER SOLSTICE  
SCALE 1" = 60'-0"



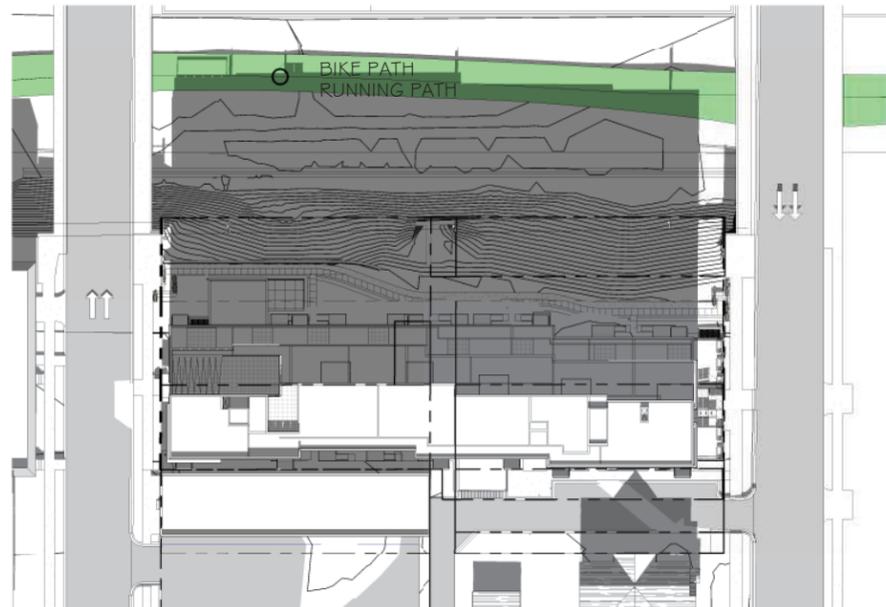
# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

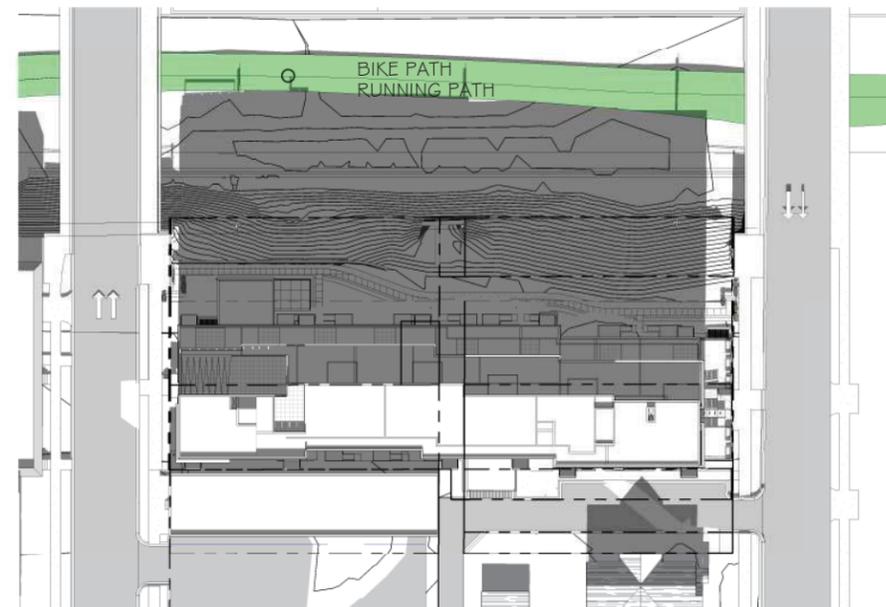
⊕ Shadow Study - Solstice / Equinox



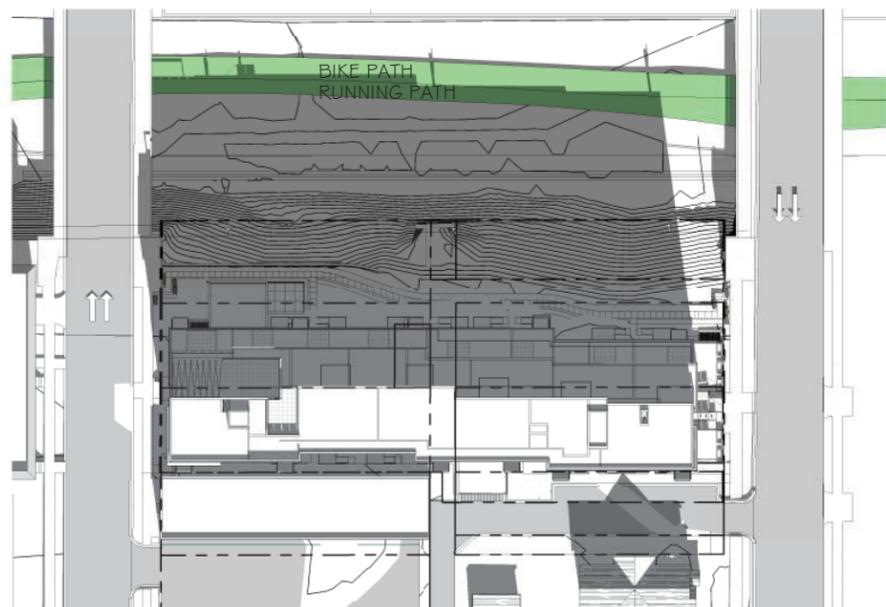
01/18/2016



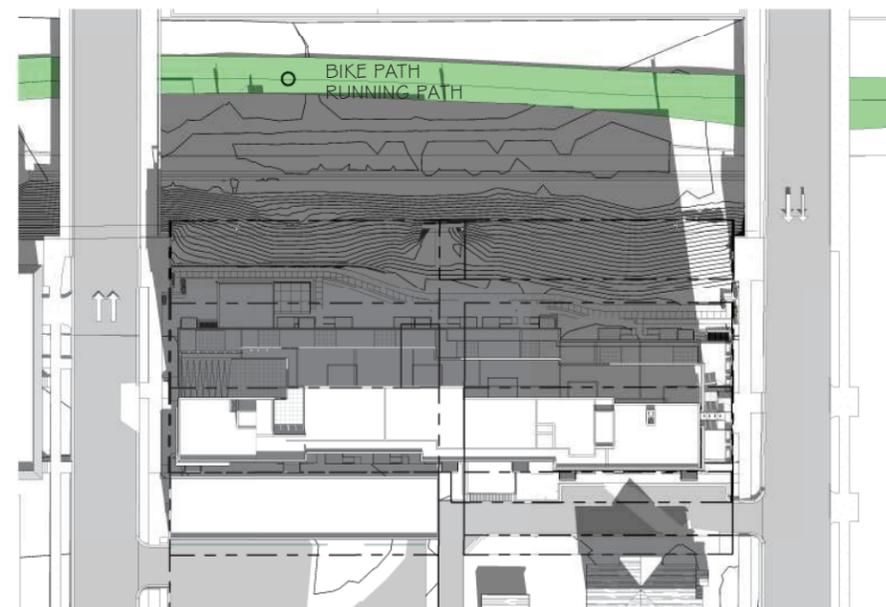
① OCTOBER 28TH @ NOON (BIKE SHADOW PERIOD BEGINS)  
SCALE 1" = 40'-0"



② OCTOBER 22ND @ NOON (PREVIOUS DESIGN BIKE SHADOW BEGAN)  
SCALE 1" = 40'-0"



③ FEBRUARY 14TH @ NOON (BIKE SHADOW PERIOD ENDS)  
SCALE 1" = 40'-0"



④ CURRENT PLAN FEBRUARY 19TH @ NOON (PREVIOUS DESIGN BIKE SHADOW ENDED)  
SCALE 1" = 40'-0"



# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

⊕ Shadow Study - Greenway

01/18/2016





AERIAL LOOKING SOUTHWEST



# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Aerial Context A

01/18/2016



Quick Shop





① HARRIET AVE. VIEW - A  
SCALE



② HARRIET AVE. VIEW - B  
SCALE



③ GRAND AVE. VIEW - A  
SCALE



④ GRAND AVE. VIEW - B  
SCALE

COLOR NOTE:  
COLORS ARE PRIMARILY TO ILLUSTRATE  
PLANE DIFFERENCES IN BUILDING FACADE  
AND SHOULD NOT BE CONSIDERED FINAL



# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Harriet/Grand Perspectives

01/18/2016





① GRAND AVE BRIDGE PERSPECTIVE  
SCALE

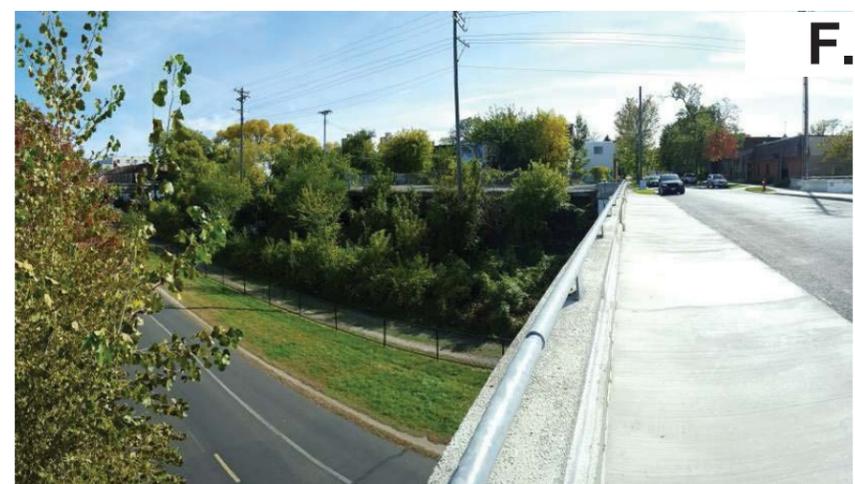


② GREENWAY PATH PERSPECTIVE  
SCALE



PROPOSED  
GREENWAY HILL  
SEEDING





# Harriet Ave Apartments

2905 HARRIET AVE S, MINNEAPOLIS, MINNESOTA

Existing Site Context

01/18/2016

