

HERITAGE PRESERVATION APPLICATION SUMMARY

Property Location: 121-125 Washington Avenue North
Project Name: The Washington
Prepared By: John Smoley, Ph.D., (612) 673-2830
Applicant: Preservation Design Works
Project Contact: Meghan Elliott
Ward: 3
Neighborhood: Downtown West
Request: To rehabilitate the buildings
Required Applications:

Certificate of Appropriateness	To rehabilitate the buildings
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HISTORIC PROPERTY INFORMATION

Current Name	Sex World
Historic Name	Schultz and Kelly Buildings
Historic Address	121 Washington Avenue North 125 Washington Avenue North (A.K.A 129 Washington Avenue North and 241 2 nd Avenue North)
Original Construction Date	Circa 1887 (121 Washington Avenue North) 1877 (125 Washington Avenue North)
Original Architect	Unknown
Original Builder	Unknown
Original Engineer	Unknown
Historic Use	Billiard table manufacturing (121 Washington Avenue North) Wholesale grocery (125 Washington Avenue North)
Current Use	Adult use
Proposed Use	Retail, restaurant, office, and sexually oriented uses

Date Application Deemed Complete	November 9, 2015	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	January 8, 2016	End of 120-Day Decision Period	N/A

CLASSIFICATION

Local Historic District	Minneapolis Warehouse Historic District
Period of Significance	1865-1930
Criteria of Significance	<p><i>Criteria 1:</i> The property is associated with significant events or with periods that exemplify broad patterns of cultural, political, economic or social history.</p> <p><i>Criteria 4:</i> The property embodies the distinctive characteristics of an architectural or engineering type or style, or method of construction.</p> <p><i>Criteria 6:</i> The property exemplifies works of master builders, engineers, designers, artists, craftsmen or architects.</p>
Date of Local Designation	1978
Date of National Register Listing	1989
Applicable Design Guidelines	<p><i>The Secretary of the Interior's Standards for the Treatment of Historic Properties</i></p> <p><i>Minneapolis Warehouse Historic District Design Guidelines</i></p>

SUMMARY

BACKGROUND. The subject property consists of two buildings: a four story commercial Queen Anne style structure executed in red brick and white stone (121 Washington Avenue North) and a three story commercial Italianate building constructed with rusticated stone (125 Washington Avenue North) located at the southwest corner of Washington and 2nd Avenues North (Attachment I). Both are contributing resources in the Minneapolis Warehouse Historic District, lying in the 19th Century Warehouse portion of the district along two commercial streets.

The Minneapolis Warehouse Historic District is historically significant as an early example of commercial growth as the city's warehouse and wholesaling district. The district expanded during the late nineteenth and early twentieth centuries and helped transform Minneapolis into a major distribution and jobbing center for the northwest. The district is also significant for its concentration of commercial buildings representative of every major architectural style from the late nineteenth to early twentieth century. Finally, the district is significant for exemplifying the work of master craftsmen in its construction.

A recent parcel combination (application number BZX-641) has resulted in the creation of a common tax parcel holding both parcels.

The exterior portions of the subject property contribute to the district's significance due to the property's embodiment of Queen Anne and Italianate architecture and wholesaling characteristic of the district.

APPLICANT'S PROPOSAL. The applicant proposes to conduct the following work:

- A. Remove non-historic features never approved for installation by the Heritage Preservation Commission:
 - i. Remove 930 square feet of façade-mounted neon banding;
 - ii. Remove four backlit signs reading "Open 24 Hours" (three on the Washington and 2nd Avenue facades, and one facing the alley);

- iii. Remove two of three non-complementary illuminated dome awnings; and
 - iv. Remove the larger of two semicircular wall signs reading “Sex World.”
- B. Add signage, awnings, a canopy, and uplighting:
- i. Reface two vertical signs, from “Sex World” to “The Washington” in non-backlit letters (A302);
 - ii. Relocate one “Sex World” vertical wall sign from the historic 1890s façade to a façade heavily modified in the 1940s (A302);
 - iii. Relocate the existing arched “Sex World” sign and non-historic, non-complementary illuminated dome awnings to the third bay from the south of the 2nd Avenue North façade (A302);
 - iv. Establish a master sign plan (A302);
 - v. Install fabric awnings within first floor storefront openings (A302);
 - vi. Install one steel canopy topped with channel letters spelling the words “The Washington” (A302); and
 - vii. Add uplighting at each of the main pilasters along Washington Avenue North (A302).
- C. Conduct masonry repairs:
- i. Repoint areas with significant mortar joint deterioration on the east and west facades (see red hatched areas on drawing sheet A103); and
 - ii. At the Washington Avenue (north) façade of 125 Washington Avenue North, remove non-historic paint from brick and stone surfaces at the first level (A103).
- D. Preserve, repair and replace windows and storefronts (A103, A301, and Window Survey);
- E. Punch new window and door openings through historic brick at the third and fourth levels of the east elevation of 121 Washington Avenue North (windows), the fourth level of the west elevation of 121 Washington Avenue North (windows), the rear/south elevation of 125 Washington Avenue North (windows); and the side/east elevation of 125 Washington Avenue North (door).
- F. Install rooftops units (RTUs) at the rear of the 125 Washington Avenue North near the existing stair (see roof plan, 1/A002).
- G. Conduct roof repairs:
- i. Infill one existing stair opening at the roof level of 125 Washington Avenue North (note 101 on 2/A102) with new wood framing to match the existing roof framing; and
 - ii. Replace the existing roof membrane at the building with a comparable roof membrane (as noted on the roof construction plan, 1/A002);
 - iii. Restore and paint the decorative metal cornice visible from Washington Avenue (A301); and
 - iv. Replace the simple metal parapet cap (A301).

PUBLIC COMMENTS. Staff has received two comment letters from the North Loop Neighborhood Association and the Downtown Minneapolis Neighborhood Association. Both support the project but have requested that the applicant plant street trees, install street lighting, and maintain views into and out of storefront windows.

ANALYSIS

CERTIFICATE OF APPROPRIATENESS

The Department of Community Planning and Economic Development has analyzed the application to rehabilitate the subject property based on the following findings:

1. *The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

Regardless of what changes are made to the subject property, it will maintain its historical significance, but proposed changes may affect its integrity (i.e. the property's ability to communicate its historical significance).

2. *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The proposed alterations are compatible with and support the property's exterior designation. The exterior portions of the subject property contribute to the district's significance due to the property's embodiment of Queen Anne and Italianate architecture and wholesaling characteristic of the district. The vast majority of changes designed to accommodate the proposed, income-producing, long-term retail, restaurant, office, and related uses will occur on the interior of the building. On the exterior, the applicant is proposing to preserve, repair, and replace historic exterior features, in that order, only as needed while adding complementary signage and equipment necessary for the operation of new uses. Minor amounts of secondary brick will be removed and salvaged for future use to accommodate new windows and doors in areas very difficult to see from the public right-of-way.

3. *The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.*

The proposed work will not impair the integrity of the property, as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission and established by the National Park Service.

4. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

As conditioned, the proposal follows all guidelines specified in the *Minneapolis Warehouse Historic District Design Guidelines* and the *Minneapolis Heritage Preservation Commission's Design Guidelines for On-Premise Signs and Awnings*, as discussed below.

A. Remove non-historic features never approved for installation by the Heritage Preservation Commission

A series of court challenges to the City's ability to regulate signage on this building through the Zoning Code and Heritage Preservation Regulations resulted in extensive signage, awnings, and neon banding being installed in the 1990s without Heritage Preservation Commission review and approval. The applicant proposes to remove the vast majority of these elements, and move the remainder toward the rear of the property, where Sex World will relocate.

B. Add signage, awnings, a canopy, and uplighting

The applicant proposes to reface two vertical signs, from "Sex World" to "The Washington" in non-backlit letters (A302); relocate one "Sex World" vertical wall sign from the historic 1890s façade to a façade heavily modified in the 1940s (A302); and relocate the existing arched "Sex World" sign and non-historic, non-complementary illuminated dome awnings to the third bay from the south of the 2nd Avenue North façade (A302). The Zoning Administrator has determined that the proposed reface and relocation of these signs is permissible without sign permits or variances to the Zoning Code. In light of this, and the fact that the applicant is

voluntarily and dramatically reducing the amount of such signage, staff recommends the sign relocations and refaces be approved as proposed.

Anticipating future tenant signs, the applicant has proposed a master sign plan (A302). Each of the five tenants (excluding Sex World, whose signage was described above) will be permitted to choose from the signage options described in Scenarios A and B. Scenario A allows for a tenant to have one horizontal wall sign located at the historic sign band and one fabric awning sign located above their entry door at transom level. Scenario B allows for a tenant to have one horizontal wall sign located at the historic sign band and one projecting sign located at the first level masonry columns at transom level.

The *Minneapolis Heritage Preservation Commission's Design Guidelines for On-Premise Signs and Awnings* note that a Certificate of Appropriateness is only required for sign or awning proposals that do not conform to the design guidelines. Apart from Sex World signs described above, signs proposed by this master sign plan (A302) do not completely conform to these design guidelines, but only in terms of their location/height (greater than 14'). In determining whether to approve a Certificate of Appropriateness for a sign or awning proposal, the Guidelines permit the Commission to consider special situations including building condition, building orientation, historic precedence and exceptional design proposals. Historic precedence certainly lends itself to the request. Historical photos indicate that both buildings had extensive signage that far exceeded what the HPC's guidelines currently allow in terms of location/height, area, number of signs, and sign message.

Many master sign plan details, including proposed illumination, method of attachment, sign copy, and materials, are not indicated on sheet A302. For this reason, staff recommends that the master sign plan, with related signage, awnings, and a canopy, be conditioned to ensure that signage, awning, and canopy details not depicted on sheet A302 conform to the *Minneapolis Heritage Preservation Commission's Design Guidelines for On-Premise Signs and Awnings*, with the exception of illumination. Given the number of signs proposed for the building, the number of tenants proposed for the building (six, with two signs each), and the presence of street lights that alternate between high and low designs, staff recommends the project be conditioned to ensure each new tenant is allowed one illuminated sign; Sex World is permitted no additional illuminated signs; and the canopy sign not be illuminated.

New first-floor fabric awnings designed to fit within storefront openings and be affixed to non-historic storefront frames are proposed for installation, as is a new steel canopy. While the awnings meet the *Minneapolis Heritage Preservation Commission's Design Guidelines for On-Premise Signs and Awnings*, the sign proposed to sit atop the canopy (channel letters spelling the words "The Washington") does not. Staff recommends approval of both. The canopy will be fabricated from simple and industrial materials complementary to the character of the district. The canopy and its accompanying cables will be affixed to the building through mortar joints, to avoid damaging the masonry. The canopy and its sign will help demarcate the principal entrance due to their distinctive look. The size of the proposed canopy sign (15' wide x 2' high) is undoubtedly large, but historical photographs do note the presence of excessive signage on the buildings both early and late in the period of significance, and the sign will not block views of historic features.

The applicant proposes to add uplighting to each of the main pilasters along Washington Avenue North (A302). The plans note that no light fixture design has been chosen yet, but a neutral design that complements the building's character will be selected. Staff recommends the project be conditioned to ensure staff reviews and approves the design of the proposed uplighting prior to building permit issuance, and that any accompanying conduit be routed through mortar joints to minimize damage to historic masonry.

C. Conduct masonry repairs

The applicant proposes to repoint areas with significant mortar joint deterioration on the east and west facades (see red hatched areas on drawing sheet A103). The architectural plans indicate that the proposed mortar will match the composition, color, texture, strength, joint width, and joint profile of the existing historic masonry, and that repointing will be done in compliance with National Park Service Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings.

At the Washington Avenue (north) façade of 125 Washington Avenue North, the applicant proposes to remove non-historic paint from brick and stone surfaces at the first level. The paint will be removed using the gentlest means possible and following the National Park Service Preservation Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings. If scrub brushes and ever-increasing water pressures fail to remove the well-adhered paint, chemical removal methods will be tested in an inconspicuous 3'x3' area for effectiveness and to ensure that they are not damaging to the masonry. Possible chemicals could include alkaline paint removers, organic solvent paint removers, or other cleaning compounds. Acidic chemicals will not be used as these could damage the masonry. Any necessary paint removing chemicals will be applied per the manufacturer's recommendations (typically by brush, roller or spraying), followed by a thorough low-pressure water wash (100 psi or below). A neutralizing agent will be used after the application of an alkaline paint remover.

D. Preserve, repair and replace windows and storefronts

True divided light wood sash windows dating from the period of significance are present at 125 Washington Avenue North on the second level of the Washington Avenue North façade and at the second and third levels of the 2nd Avenue North façade. The windows at the Washington Avenue North façade and at the second level of the 2nd Avenue North façade will be retained and repaired. New interior storm windows will be provided. The windows at the third level of 2nd Avenue façade will be replaced do to extensive alterations that have already taken place (replaced frames) and deteriorated conditions (at sash) with closely matching true divided light wood windows (see sheet A103, sheet A301, window detail sheet W13, and the Window Survey).

Non-historic windows are present at 125 Washington Avenue North at the third level of the Washington Avenue North façade (glass block) and at the second and third levels of the 2nd Avenue North façade (steel sash). These windows will be removed and replaced with two-over-two single hung aluminum sash with a factory applied painted coating. Muntins will match the depth and profile of the historic windows at the second level of the Washington Avenue North façade of 125 Washington Avenue North.

The storefronts at both buildings have been previously replaced, though masonry and cast iron columns still exist. The storefronts will be replaced with storefront systems that complement the divisions and configurations of those present in photographs of the buildings taken during the period of significance. Entries to tenant spaces will be provided through new doors set within the proposed storefront framework. The proposed widths of the horizontal frames that bisect the upper and lower lights is six inches. Staff recommends the project be conditioned to reduce the width of these horizontal frame components to four inches, to better match the width of similar frames apparent in historical photographs.

Minneapolis Warehouse Historic District design guideline 2.23 requires clear transparent glass be used in window and storefront replacements, with low emission coatings also being permitted if they are not reflective or tinted. Since the plans do not specify this level of detail, staff recommends the project be conditioned to ensure this standard is met.

E. Punch new window and door openings through historic brick

At 121 Washington Avenue North, new punched window openings will be cut at the third and fourth levels of the east elevation and the fourth level of the west elevation. Plan notes indicate that any historic bricks removed will be stored onsite. This will permit their use in future repairs that may become necessary. The new openings are aligned with the structural bays of the building and set back two bays from both Washington Avenue to the north and the alley to the south to make them difficult to see from the public right-of-way while allowing reasonable modifications to improve the functionality and interior ambiance of a building currently housing sexually oriented uses.

At the rear of the building, two new window openings and one door opening will be cut to meet Building Code requirements in an area that uses secondary brick and is difficult to see from the public right-of-way. The new windows will be two-over-two single hung aluminum sash with a factory applied painted coating.

The applicant has indicated that no optional features available for any of the proposed replacement windows, to include special finishes, screens, and integral blinds, are being requested. Since this is not specifically indicated on the plans, staff recommends the project be conditioned to ensure these options are not installed.

The new door is proposed to be a commercial style 8' hollow metal frame and insulated steel door.

As conditioned, the proposed design of the door and windows will complement the character of the building while not creating a false sense of history.

F. Install new rooftop units

Future rooftops units (RTUs) are proposed at the rear of the 125 Washington Avenue North building near the existing stair. The RTUs will be of similar size to the existing units. The area of future RTUs is noted on the roof plan, 1/A002. Minneapolis Warehouse Historic District design guideline 2.63 states, "Rooftop decks and equipment including HVAC, wind or solar power equipment that projects above the roofline shall be set back from the primary building elevation(s) one structural bay. They shall not be visible from the street. More visible locations will be considered if evidence is provided of structural load needs." Since the applicant has not specified the height of the proposed units, staff recommends the project be conditioned to ensure proposed rooftop mechanical equipment be no closer to the nearest outer (not common) roof edge than the height of the equipment. Given the height of these buildings and the presence of parapets on the roofs, this condition meets the intent of the design guidelines while permitting reasonable equipment on relatively narrow buildings situated on a street corner.

G. Conduct roof repairs

An existing stair opening will be infilled at the roof level of 125 Washington Avenue North as indicated by note 101 on 2/A102. The roof opening will be infilled with new wood framing to match the existing roof framing. The existing roof membrane at the building will be replaced with a comparable roof membrane as noted on the roof construction plan, 1/A002. No opening will remain at the location of the existing stair opening. The applicant also proposes to restore and paint the decorative metal cornice visible from Washington Avenue North (A301) and replace the simple metal parapet cap (A301), which does not appear historic, and is thus suitable for replacement.

5. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

The proposed rehabilitation will be consistent with the rehabilitation guidelines of *The Secretary of the Interior's Standards for the Treatment of Historic Properties*:

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

While the buildings will not be returned to their original use as a wholesale grocery and billiard table manufacturer, they housed a variety of uses during the period of significance, and will be repurposed for retail, restaurant, and office uses. The interior of these buildings are not designated, and they have generous storefront openings, making them well-suited to accommodate these compatible uses.

2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

The applicant proposes to remove extensive sections of non-historic storefront infill and replace it with storefronts that complement the character of the building, while retaining historical columns that are still present. At 121 Washington Avenue North, new punched window openings will be cut at the third and fourth levels of the east elevation and the fourth level of the west elevation. The new openings are aligned with the structural bays of the building and set back two bays from both Washington Avenue to the north and the alley to the south. Similar openings will be cut to meet building code requirements at the rear of the property. Their proposed locations make them difficult to see from the public right-of-way while allowing reasonable modifications to improve the functionality and interior ambiance of a building currently housing sexually oriented uses.

3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

No conjectural features are being added. Doors, windows, and storefronts designed to replace missing historical features are simple in design, complementing the character of the building without creating a false sense of history. They permit the truly historic features to stand out, while the replacement features take a complimentary back seat.

4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**

The applicant proposes to remove extremely few features or materials from the period of significance. Notable exceptions include deteriorated window components (which will be replaced in-kind or with closely matching components, in the case of entire windows proposed for replacement) and historic bricks on the upper levels of 121 Washington Avenue North and at the rear of the buildings (designed to meet Building Code and improve interior ambiance out of view from the public right-of-way).

5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.**

Ornate metal columns and historic masonry columns shall be preserved, and complementary storefronts will be integrated into them.

- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**

A thorough window survey and plan set has distinguished historic from non-historic windows and identified historic windows to be repaired with matching components; deteriorated historic windows to be replaced with closely matching windows; and non-historic windows to be replaced with complementary windows.

- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**

At the Washington Avenue (north) façade of 125 Washington Avenue North, the applicant proposes to remove non-historic paint from brick and stone surfaces at the first level. The paint will be removed using the gentlest means possible and following the National Park Service Preservation Brief I: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings.

- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**

The Minneapolis Warehouse Historic District is not significant for archaeological reasons, and no subsurface work is proposed.

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**

No additions or new construction are proposed.

- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

No additions or new construction are proposed.

- 6. The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

The proposal seeks to preserve two contributing resources in a historic district and make sensitive modifications designed to accommodate viable, income-producing, long-term retail, restaurant, office, and related uses that will stimulate public interest in, and capital for, preservation of the subject property. As conditioned, the proposal will meet applicable policies and action items of the comprehensive plan, to include:

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

Heritage Preservation Action Item 8.1.1: Protect historic resources from modifications that are not sensitive to their historic significance.

The proposal will also meet applicable policies of the *Downtown East/North Loop Neighborhood Master Plan*. The subject property is located in the West Hennepin sector of the plan, which calls for the maintenance and enhancement of the district's historic character, as well as street-level retail. The proposed rehabilitation of these two contributing resources will maintain their historic character and facilitate the integration of street-level retail uses anticipated for the property.

The preservation portion of the implementation section of the *Downtown 2010* plan calls for developing a more detailed plan for the restoration of structures and infill development in the Warehouse District. As conditioned, the proposal meets the *Minneapolis Warehouse Historic District Design Guidelines*, which were updated in 2010, in accordance with this action item.

7. *Destruction of any property. Before approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection, the commission shall make findings that the destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.*

The proposal does not meet the Heritage Preservation Regulations definition of destruction.

Before approving a Certificate of Appropriateness, and based upon the evidence presented in each application submitted, the Commission shall make findings that alterations are proposed in a manner that demonstrates that the Applicant has made adequate consideration of the following documents and regulations:

8. *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

Application material evidence and the proposed alterations demonstrate that the applicant has made adequate consideration of the description and statement of significance in the original nomination upon which designation of this historic district was based.

9. *Where applicable, adequate consideration of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

The proposal does not require site plan review.

10. *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

As discussed in finding #5, the application is in compliance with the rehabilitation guidelines of *The Secretary of the Interior's Standards for the Treatment of Historic Properties*.

Before approving a Certificate of Appropriateness that involves alterations to a property within an historic district, the Commission shall make findings based upon, but not limited to, the following:

11. The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.

The project will not authorize changes to other properties within the district.

12. Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

Having been conditioned to meet the local and federal guidelines adopted by the Heritage Preservation Commission, the proposed work will not negatively alter the district's essential character.

13. The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

Having been conditioned to meet the local and federal guidelines adopted by the Heritage Preservation Commission, the proposed work will not be injurious to the significance and integrity of other resources in the historic district. The applicant's request might set a precedent for future cases, but will not formally authorize changes to other Landmarks, Historic Districts, or properties under interim protection without staff or HPC review for compliance with adopted design guidelines.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt staff findings for the application by Preservation Design Works for the property located at 121-125 Washington Avenue North:

A. Certificate of Appropriateness.

Recommended motion: **Approve** the certificate of appropriateness to allow for the rehabilitation of the subject property, subject to the following conditions:

1. Signage, awning, and canopy details not indicated on sheet A302 must conform to the *Minneapolis Heritage Preservation Commission's Design Guidelines for On-Premise Signs and Awnings*, with the exception of illumination, where:
 - a. each new tenant is allowed one illuminated sign;
 - b. Sex World is permitted no additional illuminated signs; and
 - c. the canopy sign may not be illuminated.
2. Staff shall review and approve the design of the proposed uplighting prior to building permit issuance. Any accompanying conduit must be routed through mortar joints to minimize damage to historic masonry.
3. The proposed widths of the horizontal frames bisecting the upper and lower storefront lights shall be reduced from six to four inches, to better match the width of these components apparent in historical photographs.
4. Clear transparent glass shall be used in window and storefront replacements, with low emission coatings also being permitted if they are not reflective or tinted.

5. No optional features, to include special finishes, screens, and integral blinds, shall be installed on replacement windows.
6. Proposed rooftop mechanical equipment shall be located no closer to the nearest outer (not common) roof edge than the height of the equipment.
7. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than December 1, 2017.
8. By ordinance, all approvals granted in this certificate of appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.

ATTACHMENTS

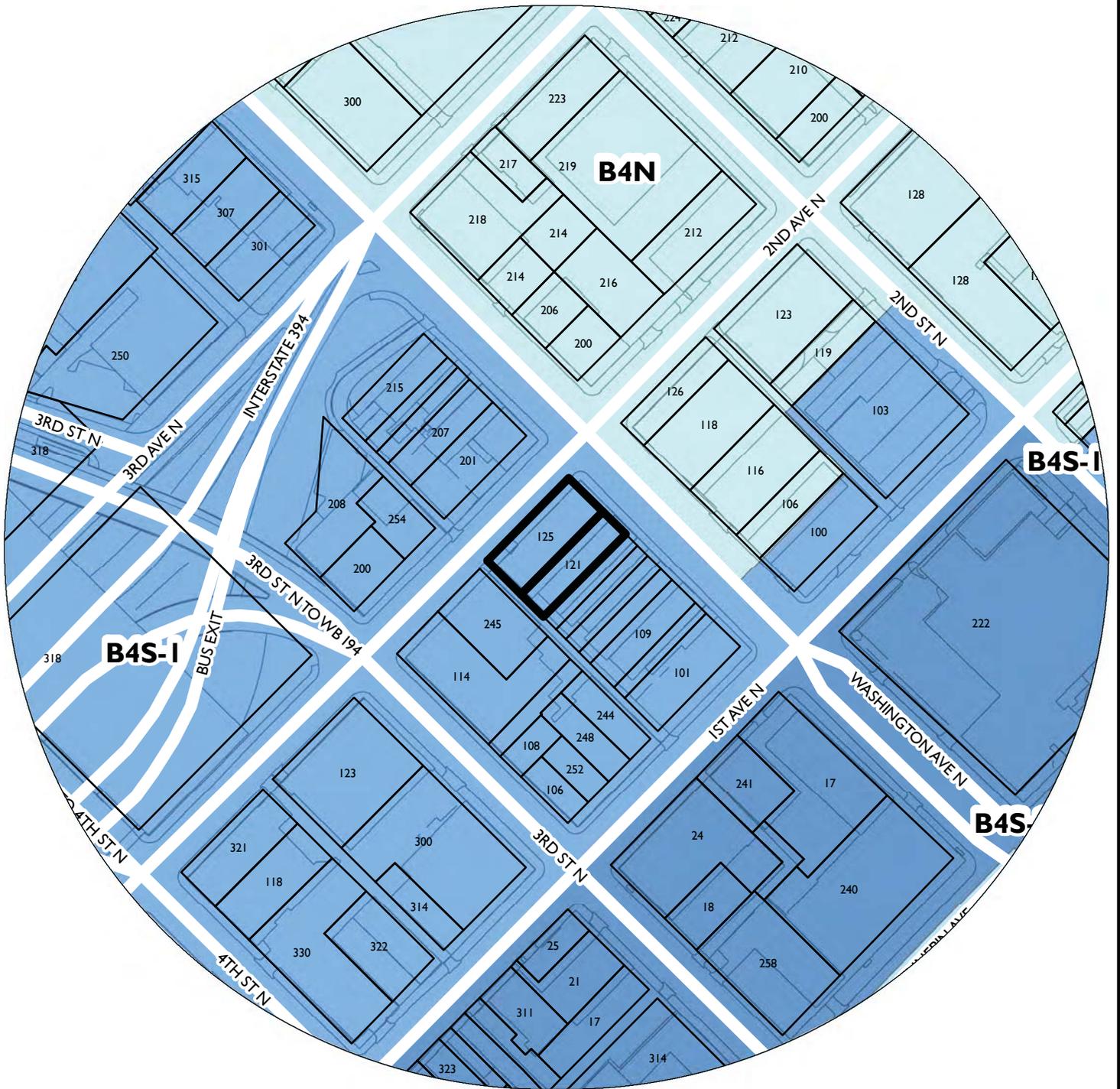
1. BZH Map
2. Written description, findings, and response submitted by applicant
3. Plans
4. Window survey
5. Photos
6. Correspondence

Preservation Design Works

3rd

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

121-125 Washington Avenue North

FILE NUMBER

BZH-28893

PRESERVATION DESIGN WORKS, LLC

MEMORANDUM

Date: October 21, 2015
To: John Smoley – Senior Planner
City of Minneapolis - Community Planning and Economic Development Services
250 S. Fourth Street - Room 300
Minneapolis, MN 55415
Regarding: 121 and 125 Washington Avenue North - Certificate of Appropriateness Application
Responses to Additional Information Requests
Written By: Meghan Elliott, elliott@pvnworks.com, (612) 843-4140

We received your request for additional information regarding the Certificate of Appropriateness Application for 121 and 125 Washington Avenue. Thank you for your thoughtful comments and suggestions. In addition to this memo with detailed responses, please find attached the following items:

1. Check for the \$25.00 newspaper noticing fee
2. Check for the \$20.09 postage noticing fee
3. Updated architectural drawing set, including full size and 8 ½ x 11” copies.

The updated architectural drawings and the text below address your comments. (For ease of reference, the numbering below matches the numbering of the list that you provided in your email of October 10, 2015):

3. Trash enclosure details. (The trash enclosure has been removed from the project.)
 - a. For reference, a site survey has been added to 2/A002.
 - b. The trash enclosure has been removed from the project.
4. Roof deck details
 - a. The roof deck has been removed from this phase of the project.
 - b. The roof deck has been removed from this phase of the project.
 - c. The roof deck has been removed from this phase of the project.
 - d. An existing stair opening will be infilled at the roof level of 125 Washington Avenue North as indicated by note 101 on 2/A102. The roof opening will be infilled with new wood framing to match the existing roof framing. The existing roof membrane at the building will be replaced with a comparable roof membrane as noted on the

roof construction plan, 1/A002. No opening will remain at the location of the existing stair opening.

5. Door opening details:

- a. The roof deck access door (formerly note 311, west elevation, sheet A301) has been eliminated from this phase of the project. The rear access alley door (note 311, east elevation, 4/A301) is required to meet municipal building code requirements for egress as follows:
 - i. The existing second egress from the new leasehold space at the rear of the first floor of 125 Washington Avenue North does not satisfy code requirements for separation distance between required exit doors.
 - ii. The existing second door exits directly into the drive line of the alley, creating a dangerous condition. The new door is located so as not to exit into the line of traffic.
- b. The roof deck access door (formerly note 311, west elevation, sheet A301) has been eliminated from this phase of the project.
- c. The rear access door at the alley (note 311, east elevation, 4/A301) will be a commercial style 8'-0" hollow metal frame & insulated steel door. Note D04 on A103 instructs that new openings be supported with steel lintels placed in existing masonry joints to minimize damage to existing brick units. The note further instructs "Historic bricks removed in the course of preparing new openings in existing walls are to be salvaged and stored on-site."

6. Masonry repair details:

- a. The following notes were added on sheet A002, and are referenced on sheet A301.
 1. EXTENT AND LOCATION OF MASONRY REHABILITATION TO BE DETERMINED BY CONTRACTOR AND APPROVED BY ARCHITECT.
 2. MASONRY REHABILITATION WORK INCLUDES: REPOINTING, MASONRY CLEANING, STONE REPLACEMENT, DUTCHMAN REPAIRS OF STONE UNITS, STONE PATCHING, CRACK REPAIR, BRICK REPLACEMENT, AND BRICK PATCHING.
 3. REMOVE ALL BIRD'S NESTS, INSECT NESTS, VEGETATION, AND ORGANIC MATTER FROM DETERIORATED MASONRY PRIOR TO COMMENCING REHABILITATION WORK.
 4. REPOINT CRACKED, LOOSE, OR DETERIORATED MORTAR JOINTS.
 5. REMOVAL OF EXISTING MORTAR SHALL BE DONE USING A COMBINATION OF HAND TOOLS AND POWER TOOLS. POWER TOOLS MAY ONLY BE USED AT THE CENTER OF THE HORIZONTAL MORTAR JOINTS; HAND TOOLS SHALL BE USED TO REMOVE THE REMAINDER OF THE MORTAR IN THE HORIZONTAL JOINTS AND THE ENTIRETY OF THE VERTICAL JOINTS.
 6. REPOINTING MORTAR USED IN THE PROJECT SHALL MATCH THE EXISTING ADJACENT MORTAR IN JOINT PROFILE, COLOR, TEXTURE, SAND, AND JOINT SIZE.

MORTAR SHOULD BE REMOVED TO A DEPTH OF 2 TO 2.5 TIMES THE JOINT WIDTH OR MINIMUM OF 3/4". NEW MORTAR SHALL BE AS SOFT OR SOFTER THAN THE HISTORIC MORTAR AND BE SOFTER (IN COMPRESSIVE STRENGTH) THAN THE MASONRY UNITS.

7. CLEAN CONSTRUCTION DUST AND DEBRIS FROM MASONRY REHABILITATION WORK FROM EXTERIOR WALLS AFTER ALL WORK IS COMPLETE.
 8. REPLACE AREA OF SUBSTANTIALLY DAMAGED OR MISSING STONE. MATCH ADJACENT STONE IN COLOR, TEXTURE, AND COMPOSITION.
 9. REPAIR STONE WITH DUTCHMAN REPAIR, WHERE LARGE REPAIRS ARE REQUIRED. SECURE WITH EPOXY AND STAINLESS STEEL PINS FOR SOUND ATTACHMENT.
 10. PATCH SMALL AREAS OF DAMAGED STONE WITH JAHN RESTORATION MORTARS (OR SIMILAR). PATCH TO MATCH THE EXISTING ADJACENT MATERIAL.
 11. CRACKS DETERMINED TO BE STATIONERY SHALL BE REPAIRED. CRACK SHOULD BE GROOVED OUT TO APPROXIMATELY ¼" WIDTH BY ½" DEPTH, AND THEN PATCHED WITH MATCHING REPAIR MORTAR (JAHN, EDISON COATINGS, OR SIMILAR).
 12. REMOVE ALL UNUSED ANCHORS, UNLESS NOTED OTHERWISE. PATCH BRICK OR MORTAR JOINTS (OR REPLACE BRICK WHERE SEVERELY DAMAGED OR UNPATCHABLE) AT ALL LOCATIONS OF ANCHOR REMOVAL. PATCH MATERIAL SHALL MATCH EXISTING ADJACENT. REPLACEMENT BRICK SHALL MATCH THE EXISTING.
 13. REPLACE AREA OF DAMAGED OR MISSING BRICK. MATCH ADJACENT BRICK IN COLOR, TEXTURE, AND COMPOSITION.
 14. ANY REQUIRED BRICK PATCHES SHALL MATCH THE EXISTING ADJACENT BRICK IN COLOR AND TEXTURE.
 15. REPLACEMENT BRICK SHALL MATCH THE EXISTING ADJACENT MASONRY IN COLOR, SIZE, TEXTURE, AND PROFILE.
- b. The proposed bollard has been eliminated from this phase of the project.

7. Storefront details:

- a. The proposed storefront is described on sheet A303, and illustrated on sheet A302. The storefront door and panel types are windows W1 and W2 (1 and 2/A303). Additional details are shown in details 21 through 25/A303. The storefront is designed to fit within the existing cast iron columns, header beam, and base of the building at 121 Washington Avenue North, and within the existing stone pilasters, header beam, and base of the building at 125 Washington Avenue North. The new storefront will also be installed in some of the bays along 2nd Avenue North. The proposed storefront replaces non-historic storefront materials at the 121 building, as well as inappropriate block infill along Washington Avenue North and Second Avenue North. The storefront design is based on historic photographs of the Washington Avenue façade (see figure 2, below).

- b. No existing limestone sills remain at the base of the current storefront. The proposed storefront includes a matching painted aluminum base as shown on 24/A303.
 - c. The top of the storefront is detailed in 24/A303, and consists of plywood and wood construction connected to the existing wood framing.
 - d. All cast iron columns will be retained as shown in 23 through 25/A303.
 - e. The new storefront will not be attached to the cast iron columns, but rather to the existing structure above and below the storefront as shown in details 24 and 25/A303.
8. Signage and awning details:
- a. Revisions to sheet A302 have been made to correct or clarify apparent contradictions:
 - i. Sign Scenario A: Scenario A has been revised to correctly note 5 horizontal wall signs on the sign band and 1 canopy sign at the principal entrance on the Washington facade, as depicted in the elevation 1/A302. The text regarding the awning signage and the Second Avenue North remains unchanged.
 - ii. Sign Scenario B: Signs have been removed from the awnings in the drawing. No awnings are proposed to have signage, as noted in the text.
 - b. Falcon Ridge Partners has worked closely and extensively with city staff to reduce non-conforming signage and to improve the historic integrity of the Washington Avenue North corridor. The signage improvement strategy includes:
 - i. Removal of non-conforming elements and substantial reduction of signage including: 930 square feet of neon, four non-conforming sign faces reading "Open 24 Hours" (three on the Washington and 2nd Avenue facades, and one facing the alley), two of three hemispherical entrance canopies, and the larger of two semicircular signs reading "Sex World." The extent of the existing signage is shown in 4/A302. The existing signage does not meet the *Minneapolis Heritage Preservation Commission's Design Guidelines for On-Premise Signs and Awnings*.
 - ii. As recommended in the *Minneapolis Heritage Preservation Commission's Design Guidelines for On-Premise Signs and Awnings*, the proposed horizontal wall signage is located within the traditional sign band on both the 121 and 125 Washington Avenue North buildings, and only at the first floor. In order to place the signs in the historic sign band, the height exceeds the recommended 14 feet from the guidelines.
 - iii. Historically, the building at 125 Washington Avenue North had vertical signage at each pilaster at the upper floors. (Four vertical signs existed along Washington Avenue North - IMPORTERS, WHOLESALER, GROCERS, and IMPORTERS – as shown in figure 1, below. Additional vertical signs may have existed along 2nd Avenue North.) The historic signage also exceeded the height of the current proposal and zoning code: the top of the vertical signs

was aligned with the top of the window openings. The proposed vertical signage – “The Washington” - is in keeping with historic precedents and the historic signage of the building during the period of significance of the warehouse district. See attached figure 1.

- iv. Similarly, both buildings historically had extensive horizontal wall signage. The historic wall signage not only included the traditional sign band, but also the cornice and spandrel beams, as well as blade signs. In contrast, the proposed signage is limited to the sign band and awnings or blade signs at the first floor. See figures 1 and 2.
 - v. In contrast to previous awnings, the proposed new fabric awnings are designed to fit within storefront openings at the first floor, and are a compatible color.
 - vi. The new steel canopy is designed to be compatible with the Warehouse District: it is fabricated from simple and industrial materials and is similar to others throughout the historic district. The canopy demarcates the principal entrance.
- c. Detail 25 on sheet A303 shows the proposed fabric awning system and attachment to the new storefront. To minimize damage to historic materials, the awnings are supported on the new storefront mullions.

9. Window details:

- a. Sheet A303, W13 has been revised to show a 4/4 division of lights.
- b. Existing windows are documented in the window survey, pages 60-76, and replicated in the window schedule in sheet A303.
- c. Replacement windows do not include any optional “features.”
- d. The storefront and replacement windows will be painted to match the existing historic windows, generally a dark brown.
- e. All renderings on sheet A303 have been revised to note the correct division of lights proposed for all windows.

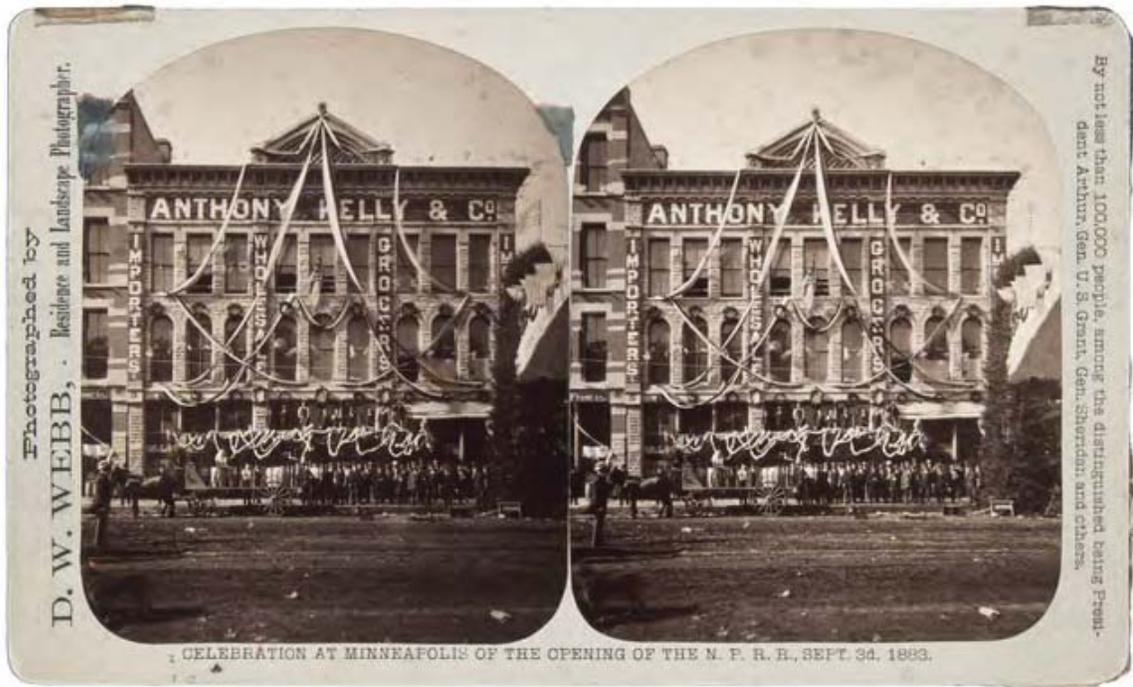


Figure 1: Image of signage at 125 Washington, 1883.



Figure 2: Image of signage at 125 Washington, 1925.

PRESERVATION DESIGN WORKS, LLC

MEMORANDUM

Date: September 28, 2015

To: John Smoley – Senior Planner
City of Minneapolis - Community Planning and Economic Development
Development Services
250 S. Fourth Street - Room 300
Minneapolis, MN 55415

Regarding: Application for Certificate of Appropriateness
The Washington
121 Washington Avenue North, 125-129 Washington Avenue North
Minneapolis, MN 55413

Written By: Laurel Fritz, Preservation Design Works (PVN), fritz@pvnworks.com

Reviewed By: Meghan Elliott, Preservation Design Works, elliot@pvnworks.com
(612)-843-4140

Falcon Ridge Partners is submitting this application for a Certificate of Appropriateness (COA) per Section 599.160 of the Minneapolis Code of Ordinances. The purpose of this letter is to provide a written statement of the required findings. In addition, the following items are also enclosed for your review and reference in considering the application:

- 1) Application Worksheet
- 2) Letters from the current property owners
- 3) Current photos of the property
- 4) Historic photos of the property
- 5) Scaled and dimensioned site plan, A002
- 6) Scaled and dimensioned floor plans, A101, A102, A201, A202, A203, A204, A205, A206
- 7) Scaled and dimensioned elevations, A103, A301
- 8) Colored renderings, A302
- 9) Signage Plan, A302
- 10) A Window Survey of Extant Historic Windows at 125-129 Washington

Statement of Proposed Use and Description of the Project

This application is for a Certificate of Appropriateness for rehabilitation of the warehouse buildings at 121 and 125-129 Washington Avenue North. The site is bordered by Washington Avenue North to the northeast, the property at 119 Washington Avenue North to the southeast, an alley to the southwest, and 2th Avenue North to the northwest. (Throughout the application, the Washington Avenue façade is referred to as the “north” façade, and all other facades are aligned with the corresponding cardinal directions.) The site is located within the Minneapolis Warehouse District, specifically within the Nineteenth Century Warehouse section of the District. Both 121 and 125-129 Washington are considered contributing properties to the district.

The rehabilitated buildings will include commercial office space at the upper levels and retail/restaurant space at the ground level. Sex World, the current occupant of the ground level of 125-129 Washington will remain in the building but its storefront and signage will be relocated to a smaller street frontage along 2nd Avenue. As part of this relocation, over one thousand square feet of non-conforming neon lighting and signage will be removed, and the corner will be re-branded by re-facing the existing vertical “Sex World/Open 24 Hour” signs with non-backlit signs reading “The Washington.”

This written application follows a pre-application meeting with John Smoley and Alexandr Young on July 9, 2015, a building walk-through on July 17, 2015, and an additional meeting on August 13, 2015.

The scope of work associated with the project is described below.

- The rehabilitated buildings will include commercial office space at the upper levels and retail/restaurant space at the ground level. Sex World, the current occupant of the ground level of 125-129 Washington will remain in the building but its storefront will be relocated to a smaller street frontage along 2nd Avenue.
- As depicted on Master Sign Plan A302, the following non-conforming items will be removed from the buildings:
 - 930 square feet of neon;
 - Four non-conforming signs reading “Open 24 Hours” (three on the Washington and 2nd Avenue facades, and one facing the alley);
 - Two of three hemispherical entrance canopies;
 - The larger of two semicircular signs reading “Sex World.”
- Two vertical signs reading “Sex World” will be re-faced to say “The Washington” in non-backlit letters. See also Master Sign Plan, A302.
- One vertical “Sex World” sign will be re-located at the same height from the historic 1890s façade to a non-historic 1940s façade to allow for masonry tuck-pointing at the northwest corner of the property while maintaining limited visibility from Washington Avenue for Sex World, once relocated. See also Master Sign Plan, A302.
- The existing arched “Sex World” sign and teal canopy will be relocated to the third bay from the south of the Second Avenue façade. See also Master Sign Plan, A302.

- Localized repointing is proposed in areas with significant mortar joint deterioration on the east and west facades (see red hatched areas on drawing sheet A103). The repointing mortar will match the composition, color, texture, strength, joint width, and joint profile of the existing historic masonry. Repointing will be done in compliance with National Park Service Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings.
- At the Washington Avenue (north) façade of 125-129 Washington, non-historic paint will be removed from brick and stone surfaces at the first level. The paint will be removed using the gentlest means possible and following the National Park Service Preservation Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings. Because the paint is well adhered, chemical removal methods will be tested in an inconspicuous 3'x3' area for effectiveness and to ensure that they are not damaging to the masonry. Possible chemicals could include alkaline paint removers, organic solvent paint removers, or other cleaning compounds. Acidic chemicals will not be used as these could be damaging to the masonry. The paint removing chemicals will be applied per the manufacturer's recommendations (typically by brush, roller or spraying), followed by a thorough low-pressure water wash (100 psi or below). A neutralizing agent will be used after the application of an alkaline paint remover.
- Divided light wood sash windows dating from the period of significance are present at 125-129 Washington on the second level of the Washington Avenue façade and at the second and third levels of the Second Avenue façade. The windows at the Washington Avenue façade and at the second level of the Second Avenue façade will be retained and repaired. New interior storm windows will be provided. The windows at the third level of Second Avenue façade will be replaced due to extensive alterations that have already taken place (replaced frames) and deteriorated conditions (at sash). See also: Drawings A103 and 301 and Window Survey.
- Non-historic windows are present at 125-129 Washington at the third level of the Washington Avenue façade (glass block) and at the second and third levels of the Second Avenue façade (steel sash). These windows will be removed and replaced with two-over-two single hung sash with a factory applied painted coating. Muntins will match the depth and profile of the historic windows at the second level of the Washington Avenue façade of 125-129 Washington.
- The storefronts at both buildings will be replaced with storefront systems that match the divisions and configurations of those present in photographs of the buildings from within the period of significance. Entries to tenant spaces will be provided through doors set within the storefront framework.
- At 121 Washington, new punched window openings will be cut at the third and fourth levels of the east elevation and the fourth level of the west elevation. The new openings are aligned with the structural bays of the building and set back two bays from both Washington Avenue to the north and the alley to the south. The new windows will be two-over-two single hung sash with a factory applied painted coating.
- Tenants will choose from the signage options described in Scenarios A and B on drawings A302. Scenario A allows for a tenant to have one horizontal wall sign located at the historic sign band and one fabric awning located above their entry door at transom level. Scenario B

allows for a tenant to have one horizontal wall sign located at the historic sign band and one projecting sign located at the first level masonry columns at transom level.

- Future new rooftops units (RTUs) are proposed at the rear of the 125-129 building near the existing stair. The RTUs will be of similar size to the existing units. The area of future RTUs is noted on the roof plan, 1/A002.
- A new entrance canopy is proposed at the 121 Washington Avenue North storefront. The canopy is located at the center of the storefront and will be constructed of painted steel channels and wide-flange beams. The canopy is supported by bracket attachments to three of the existing cast iron columns, with three tie rods to the masonry above. The tie rods are connected to the masonry at mortar joints.

Specific Application Requirements – Written Statement

Required Findings

- (1) *The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

This district is historically significant as an “area of early commercial growth fueled by access to markets and goods created by the expansion of the railroads during the development of the City of Minneapolis and as the city’s warehouse and wholesaling district.” The district is also architecturally significant for its “concentration of commercial buildings designed by the city’s leading architects.” The period of significance for this district is 1865-1930. The proposed rehabilitation is compatible with and continues to support the criteria of significance and period of significance for which the historic district was designated and the nature of the rehabilitation is in keeping with the character and context of the district. Specifically, the base-middle-top configuration of both buildings, their exterior materials, and fenestration patterns will continue to reflect the character-defining features of warehouse district buildings.

- (2) *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The City of Minneapolis Warehouse District is an exterior designation. The proposed rehabilitation supports this designation by maintaining the existing street wall, massing, scale, rhythm, fenestration, materials, and architectural details of both buildings. The majority of the extant windows from the period of significance are being rehabilitated.

- (3) *The alteration is compatible with and will ensure the integrity of the landmark or historic district for which the district was designated.*

The City of Minneapolis Warehouse District uses seven “key measures of design” to develop an understanding of the collective vocabulary of design within the district. In order to preserve the integrity of the district, the proposed rehabilitation will be undertaken with these measures in mind.

Street Wall: The existing buildings are built to the front of the property line. This condition will not be altered.

Massing: The existing buildings are generally rectangular in mass with flat roofs. This condition will not be altered.

Scale: The existing buildings are located within the Nineteenth Century Warehouse portion of the district. The Nineteenth Century Warehouse portion of the district is characterized by narrow buildings between two and five stories tall. The building at 121 Washington is four stories tall and 125-129 Washington is three stories tall. Lots in this area of the District were generally narrow and deep, as is the case with these properties. The proposed rehabilitation will not alter the scale of the buildings.

Rhythm: Both buildings exhibit the tripartite composition typical of buildings in the Minneapolis Warehouse District. The proposed rehabilitation maintains this composition while also underscoring it by removing non-historic paint at the first level of the Washington Avenue façade of 125-129 Washington and by re-installing windows at the 2nd Avenue storefront. The new window openings proposed at the fourth level of 121 Washington align with the building's existing structural bays.

Fenestration: Vertical bays of windows located at each façade give both buildings an overall vertical orientation. The proposed rehabilitation will not alter the overall fenestration pattern of the buildings.

Materials: Both buildings are masonry structures with limestone details. 125-129 has an ornamental metal cornice at the Washington Avenue (north) facade. Extant historic windows at 125-129 Washington Avenue are divided light wood sash and frame. The proposed rehabilitation will not alter the material palate of the buildings.

Architectural Details: Extant architectural details include the limestone details at both buildings, metal columns at the 121 Washington storefront, and the metal cornice at 125-129 Washington. The proposed rehabilitation will not alter any character defining architectural details of the buildings.

- (4) *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The proposed rehabilitation follows the Minneapolis Warehouse Historic District Design Guidelines, which were adopted by the Minneapolis Heritage Preservation Commission on March 2, 2010. Specifically, the project follows the Design Guidelines for Existing Buildings, and the guidelines for the Nineteenth Century Warehouse Area.

- (5) *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of*

alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.

The proposed rehabilitation is in keeping with The Secretary of the Interior's Standards for the Rehabilitation of Historic Properties. Standards that are most applicable are 1-7.

Standard 1:

"A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the buildings and its site and environment."

During the period of significance for the Minneapolis Warehouse District, 121 Washington was known as the Shultz Block and contained rental commercial and office space. The rehabilitation proposes to continue this use.

During the period of significance for the Minneapolis Warehouse District, 125 Washington was known as the Anthony A Kelly Wholesale Grocery. The rehabilitation proposes a new use of rental commercial and office space. This new use requires minimal change to the defining characteristics of the building, site, and environment.

Standard 2:

"The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."

The rehabilitation avoids removing historic materials to the greatest extent possible. Six windows at the third floor of the Second Avenue facade of 125-129 Washington will be replaced due to extensive alterations that have already taken place (replaced frames) and deteriorated condition (at sash). See drawings A103, A301, and Window Survey pages 60-72.

Standard 3:

"Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."

The rehabilitation does not propose to add conjectural features or architectural elements from other buildings.

Standard 4:

"Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved."

The period of significance for the Minneapolis Warehouse District is 1865-1930. During that time period, the rear addition to 125-129 Washington is a change that has acquired historic significance in its own right. The addition shall be retained and preserved.

Standard 5:

“Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.”

Distinctive features and finishes at both buildings will be preserved. These include masonry, limestone details, historic wood windows at 125 Washington, and the metal cornice at 125 Washington.

Standard 6:

“Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.”

Divided light wood sash windows dating from the period of significance are present at 125-129 Washington on the second level of the Washington Avenue façade and at the second and third levels of the Second Avenue façade. The windows at the Washington Avenue façade and at the second level of the Second Avenue façade will be retained and repaired. New interior storm windows will be provided. The windows at the third level of Second Avenue façade will be replaced due to extensive alterations that have already taken place (replaced frames) and deteriorated condition (at sash). See also: Drawings A103 and 301 and Window Survey.

Standard 7:

“Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.”

At the Washington Avenue (north) façade of 125-129 Washington, non-historic paint will be removed from brick and stone surfaces at the first level. The paint will be removed using the gentlest means possible and following the National Park Service Preservation Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings. Because the paint is well adhered, chemical removal methods will be tested in an inconspicuous 3'x3' area for effectiveness and to ensure that they are not damaging to the masonry. Possible chemicals could include alkaline paint removers, organic solvent paint removers, or other cleaning compounds. Acidic chemicals will not be used as these could be damaging to the masonry. The paint removing chemicals will be applied per the manufacturer's recommendations (typically by brush, roller or spraying), followed by a thorough low-pressure water wash (100 psi or below). A neutralizing agent will be used after the application of an alkaline paint remover.

- (6) *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

Minneapolis Preservation Ordinance - The proposed scope of work will follow all applicable regulations of Title 23, Chapter 599 of the Minneapolis Code of Ordinances "Heritage Preservation." The proposed scope of work is consistent with the Heritage Preservation Ordinance.

The proposed scope of work is also consistent with the goals of the Downtown East/North Loop Master Plan, which was adopted by the Minneapolis City Council in October 2003 and the North Loop Small Area Plan (and update to the Downtown East/North Loop Master Plan), which was adopted by the Minneapolis City Council on April 16, 2010. The objectives of these plans include:

- Promoting ground level retail. The rehabilitation proposes retail space at the ground level.
- Designing buildings to eliminate long stretches of blank, inactive buildings walls. The design proposes retail space at the ground level; retail space will activate the building walls at both Washington and Second Avenues. At both Washington and Second Avenues, the ground level storefront of 125-129 Washington will be reopened. This includes nine currently infilled window bays at Washington Avenue and eleven currently infilled window bays at Second Avenue.
- Historic character of the private and public realm is highly valued. The proposed rehabilitation will maintain the historic character of the properties while also providing improvements to the soundness of the building envelopes, which will help maintain the buildings for the future.

Consideration of Documents and Regulations

- (8) *The description and statement of significance in the original nomination upon which designation of the landmark was based.*

The proposed scope of work has been developed after consideration of the description and statement of significance in the "Minneapolis Warehouse District Designation Study," which was prepared for the HPC by City of Minneapolis Community Planning & Economic Development Planning Division, on October 28, 2009. This is the original nomination upon which designation of the landmark was based.

- (9) *Where applicable, Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

According to Table 530-1, "Buildings and Uses Subject to Site Plan Review" of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review, the proposed use the site **is not** subject to Site Plan Review.

(10) The typology of treatments delineated in the Secretary of Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic properties.

The proposed new construction was designed after consideration of the Secretary of the Interior's Standards for the Treatment of Historic Properties, as is discussed previously in Item # 5.

(11) The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.

The proposed rehabilitation is compatible with and will ensure the continued significance and integrity of the contributing properties in the historic district based on the period of significance for which the district was designated. The proposed rehabilitation will reactivate the buildings at both Washington and Second Avenue, and will not negatively affect any character defining features of the properties or the surrounding district.

(12) Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance. The proposed rehabilitation will reactivate the buildings at both Washington and Second Avenue. The proposed rehabilitation will not negatively alter the essential character of the historic district. The proposed rehabilitation will remove over 1,000 square feet of non-conforming neon and signage from the property, thus augmenting the essential character of the historic district.

(13) The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

The new construction will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as it follows both the Minneapolis Warehouse District Design Guidelines and the Secretary of the Interior's Standards for the Treatment of Historic Properties, and does not physically alter any surrounding resources.

The Washington

10.16.2015 - HPC ISSUE

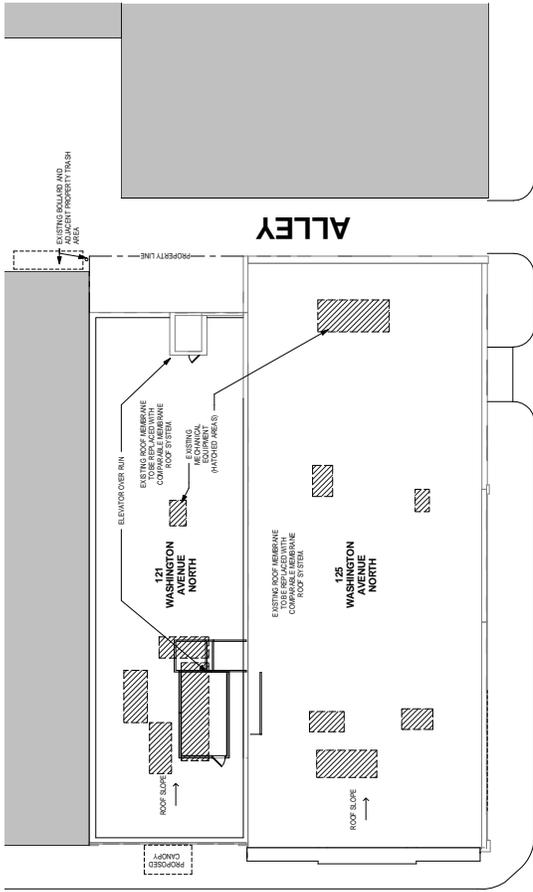


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The Washington

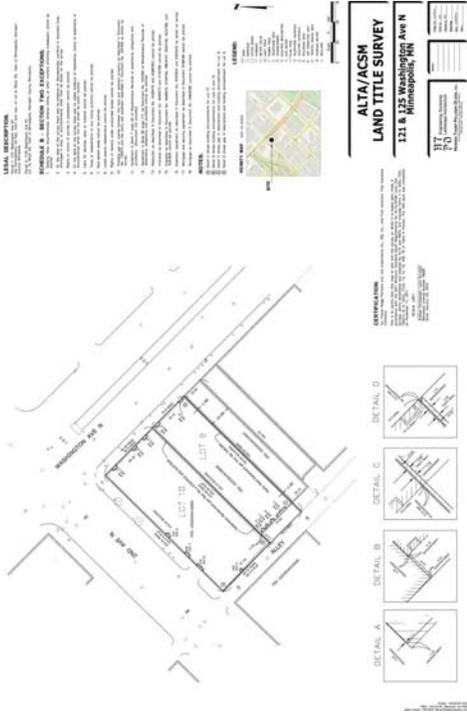
121, 123, 125
N. Washington Ave.
Mpls, MN 55401

No.	Description	Date
1	HPC Issue	10/16/15



2ND AVENUE NORTH

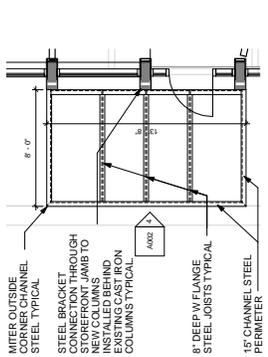
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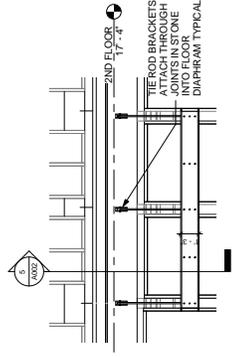
2. SITE SURVEY - FOR INFORMATION ONLY
SCALE: 1/4" = 1'-0"

MASONRY REPAIR NOTES

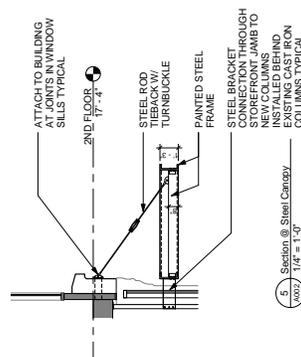
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3. REMOVE ALL BIRDS NESTS, INSECT NESTS, VEGETATION, AND ORGANIC MATTER FROM DETERIORATED MASONRY PRIOR TO COMMENCING REPAIRATION WORK.
4. REPOINT CRACKED, LOOSE, OR DETERIORATED MORTAR JOINTS.
5. REMOVAL OF EXISTING MORTAR SHALL BE DONE USING A CONCRETE SAW. ALL REPAIRS SHALL BE MADE USING POWER TOOLS. ONLY BE USED AT THE CENTER OF THE HORIZONTAL MORTAR JOINTS. HAND TOOLS SHALL BE USED TO REMOVE THE REMAINDER OF THE MORTAR IN THE VERTICAL JOINTS AND THE ENTIRETY OF THE VERTICAL JOINTS.
6. REPOINTING MORTAR USED IN THE PROJECT SHALL MATCH THE EXISTING ADJACENT MORTAR IN JOINT PROFILE, COLOR, TEXTURE, SAND, AND JOINT SIZE. MORTAR SHOULD BE REWIRED TO MEET ASTM C 270.3. MATCH THE ASSOCIATED COMPRESSIVE STRENGTH AND SOFTENING POINT WITH COMPRESSIVE STRENGTH) THAN THE MASONRY UNITS.
7. CLEAN CONSTRUCTION DUST AND DEBRIS FROM MASONRY REPAIRATION WORK FROM EXTERIOR WALLS AFTER ALL WORK IS COMPLETE.
8. REPLACE AREA OF SUBSTANTIALLY DAMAGED OR MISSING STONE MATCH ADJACENT STONE IN COLOR, TEXTURE, AND COMPOSITION.
9. REPAIR STONE WITH DUTCHMAN REPAIR, WHERE LARGE REPAIRS ARE REQUIRED. USE ANCHORS AND STAINLESS STEEL PINS FOR SOUND ATTACHMENT.
10. PATCH ALL AREAS OF DAMAGED STONE WITH MASON RESTORATION MORTAR OR SIMILAR. PATCH TO MATCH THE EXISTING ADJACENT MATERIAL.
11. CRACKS DETERMINED TO BE STATIONARY SHALL BE REPAIRED. CRACK SHOULD BE GROOVED OUT TO APPROXIMATELY 1/2" DEPTH, AND THEN PATCHED WITH MATCHING REPAIR MORTAR (AMN, EDISON COATINGS, OR SIMILAR).
12. REMOVE ALL UNUSED ANCHORS, UNLESS NOTED OTHERWISE. PATCH ALL AREAS OF UNPATCHABLE AT ALL LOCATIONS OF ANCHOR REMOVAL. PATCH MATERIAL SHALL MATCH THE EXISTING.
13. REPLACE AREA OF DAMAGED OR MISSING BRICK. MATCH ADJACENT BRICK IN COLOR, TEXTURE, AND COMPOSITION.
14. ANY REQUIRED BRICK PATCHES SHALL MATCH THE EXISTING ADJACENT BRICK IN COLOR AND TEXTURE.
15. REPLACEMENT BRICK SHALL MATCH THE EXISTING ADJACENT MASONRY IN COLOR, SIZE, TEXTURE, AND PROFILE.



3. STEEL CANOPY PLAN
SCALE: 1/4" = 1'-0"



4. Canopy Elevation North
SCALE: 1/4" = 1'-0"



5. Section of Steel Canopy
SCALE: 1/4" = 1'-0"

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NAME: _____
Date: 10/16/15
Minnesota License # 00000

Site and Roof Plan

Project Number:	15130015
Date:	10/16/2015
Drawn by:	
Checked by:	

A002

Sheet #

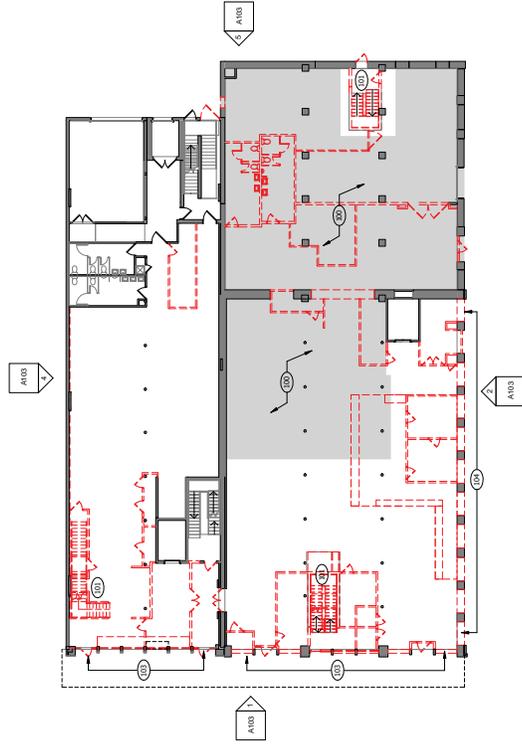


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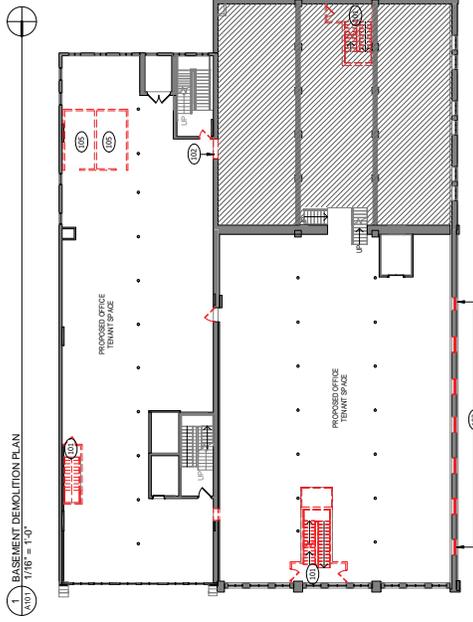
The
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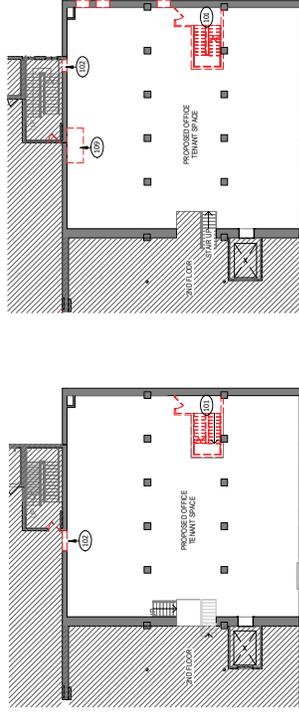
No.	Description	Date
1	IFC Issue	10/16/15



2 FIRST FLOOR DEMOLITION PLAN
 A101 1/16" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN
 A101 1/16" = 1'-0"



2 LOWER SECOND FLOOR DEMOLITION PLAN
 A101 1/16" = 1'-0"

2 UPPER SECOND FLOOR DEMOLITION PLAN
 A101 1/16" = 1'-0"

DEMOLITION PLAN KEYNOTES

- 100 PART OF TENANT IMPROVEMENT NOT BUILDING START TO BE REMOVED AND DISPOSED OF
- 101 PORTION OF WALL TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS
- 102 PORTION OF WALL TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS
- 103 PORTION OF WALL TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS
- 104 PORTION OF WALL TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS
- 105 PORTION OF WALL TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS
- 106 PORTION OF WALL TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS
- 107 PORTION OF WALL TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS
- 108 PORTION OF WALL TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS
- 109 PORTION OF WALL TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS

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PROJECT NUMBER
 DRAWING NO.
 DATE

PROJECT NUMBER
 DRAWING NO.
 DATE

A101
 SHEET # 1 OF 2

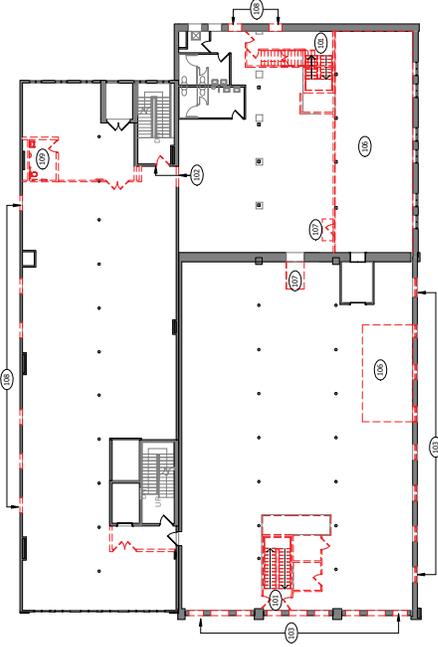


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 Telephone: 612.416.1413
 (410) 101.0200 FAX: 612.416.1413
 (410) 101.0200 FAX: 612.416.1413

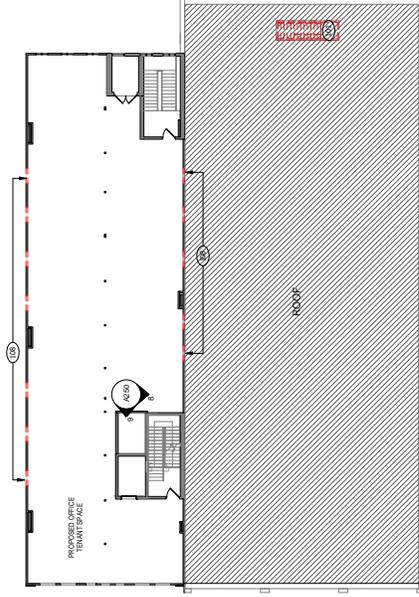
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No.	Description	Date
1	IFC Issue	10/16/15



1. THIRD FLOOR DEMOLITION PLAN
 A.102 / 1/16" = 1'-0"



2. FOURTH FLOOR DEMOLITION PLAN
 A.102 / 1/16" = 1'-0"

DEMOLITION PLAN KEYNOTES

- 100. DEMOLITION WORK IN HATCHED AREA TO BE DONE AS PART OF STRAIN IMPROVEMENT, NOT BUILDING DESTRUCTION.
- 101. STAIR TO BE REMOVED AND DISPOSED OF.
- 102. WORKING SURFACE TO BE MAINTAINED.
- 103. EXTERIOR WINDOW DISINFESTANT TO BE REMOVED AS SHOWN IN DEMOLITION ELEVATIONS.
- 104. ORIGINAL OPENINGS AS SHOWN IN DEMOLITION ELEVATIONS TO BE MAINTAINED.
- 105. REMOVE AND DISPOSE OF ROUGHED IN RESTROOM PLUMBING.
- 106. REMOVE AND DISPOSE OF RAISED FLOOR.
- 107. SAW CUT NEW MASONRY OPENING IN EXISTING MASONRY TO BE MAINTAINED AS SHOWN IN DEMOLITION ELEVATIONS. MORTAR Joints SEE DEMOLITION ELEVATIONS.

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 Minnesota License # xxxxx

PROJECT NUMBER: _____
 Date: 10/16/2015
 Drawn by: _____
 Checked by: _____

A102
 Scale: _____



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**Construction
Plan**

Project Number	Date	Drawn By	Checked By
	10/16/2015		

A201

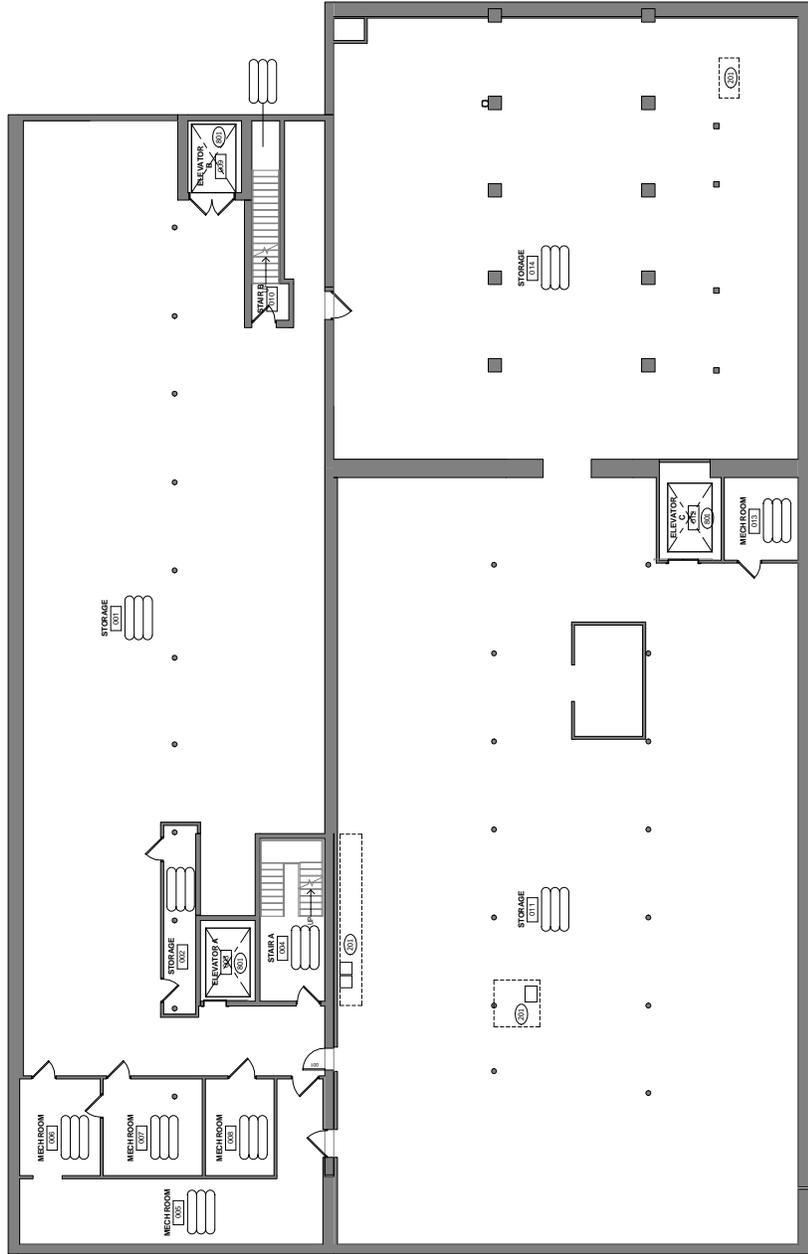
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CONSTRUCTION PLAN KEYNOTES

- 200 SEE FINISH PLAN FOR FINISH INFORMATION.
- 201 PART OF TENANT IMPROVEMENT NOT BUILDING.
- 202 PROPOSED HVAC LOCATION, COORDINATE WITH MEP DRAWINGS FOR EXACT LOCATION AND SPECIFICATIONS.
- 203 CANOPY RELOCATED FROM WASHINGTON AVENUE FACADE.
- 204 ALL FINISHES TO MATCH EXISTING.
- 205 ALL WORK TO MATCH EXISTING.
- 206 SEE SHEET A201 FOR UPPER AND LOWER 2ND FLOOR PLANS.

FINISH PLAN KEYNOTES

- 800 SEE ENLARGED PLAN FOR FINISH INFORMATION.
- 801 SEE FIRST FLOOR PLAN FOR NET ELEVATOR FINISHES.



1. BASEMENT CONSTRUCTION PLAN
1/8" = 1'-0"



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**Construction
Plan**

Project Number	Date
	10/16/2015

Checked By

A202

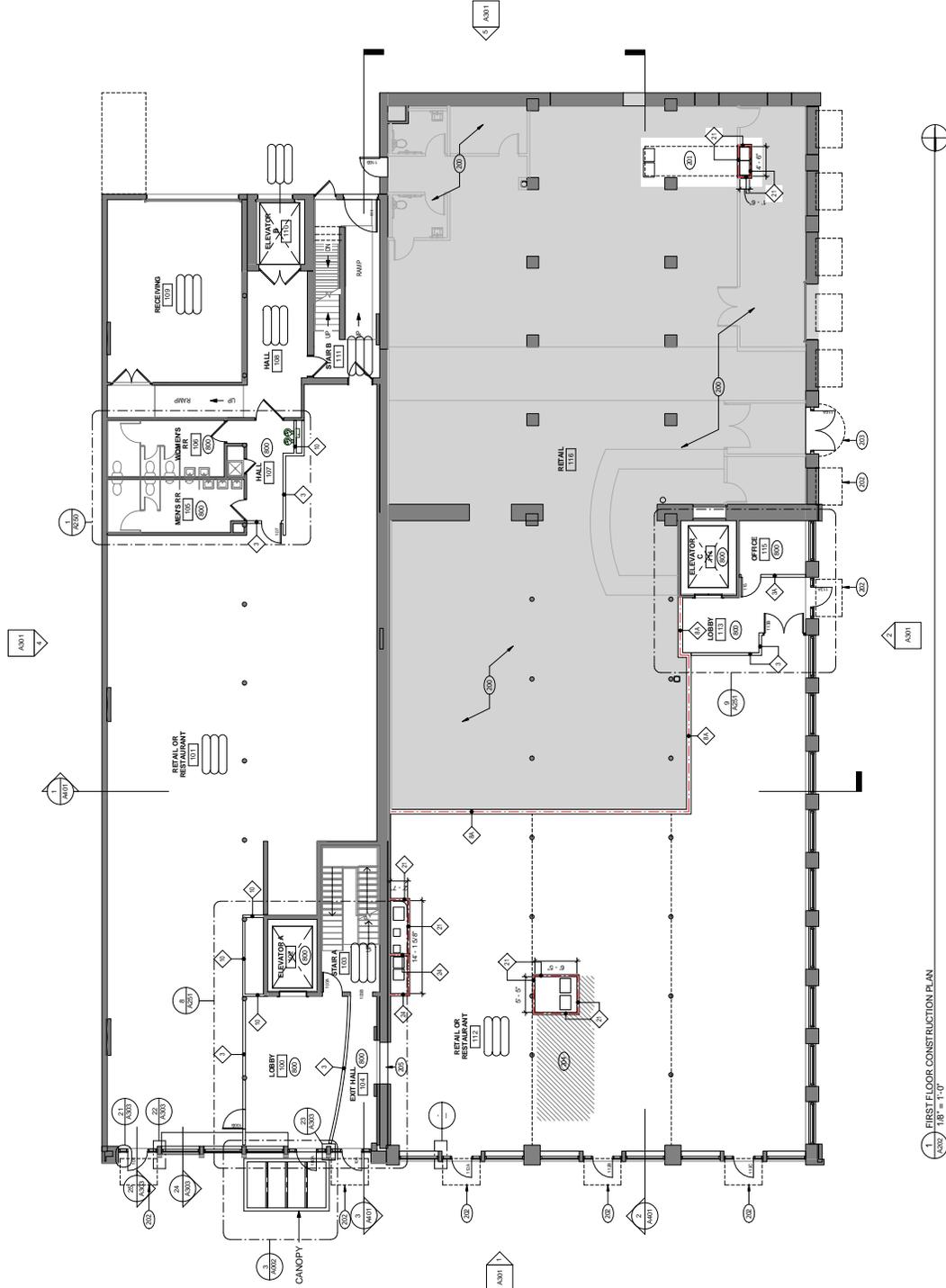
Scale: 1/8" = 1'-0"

CONSTRUCTION PLAN KEYNOTES

- 200 SEE ENLARGED PLAN FOR FINISH INFORMATION.
- 201 PART OF TENANT IMPROVEMENT NOT BUILDING.
- 202 PROPOSED FINISH LOCATION, COORDINATE WITH MEP DRAWINGS FOR EXACT LOCATION AND SPECIFICATIONS.
- 203 CANOPY RELOCATED FROM WASHINGTON AVENUE FACADE.
- 204 ALL FINISHES TO MATCH EXISTING.
- 205 ALL DOORS TO MATCH EXISTING.
- 206 SEE SHEET A201 FOR UPPER AND LOWER 2ND FLOOR PLANS.

FINISH PLAN KEYNOTES

- 600 SEE ENLARGED PLAN FOR FINISH INFORMATION.
- 601 SEE FIRST FLOOR PLAN FOR NET ELEVATOR FINISHES.



1 FIRST FLOOR CONSTRUCTION PLAN
1/8" = 1'-0"



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 Title: architect
 Minnesota License # xxxxxx
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**Construction
 Plan**

Project Number	Date	Drawn By	Checked By
	10/16/2015		

A204

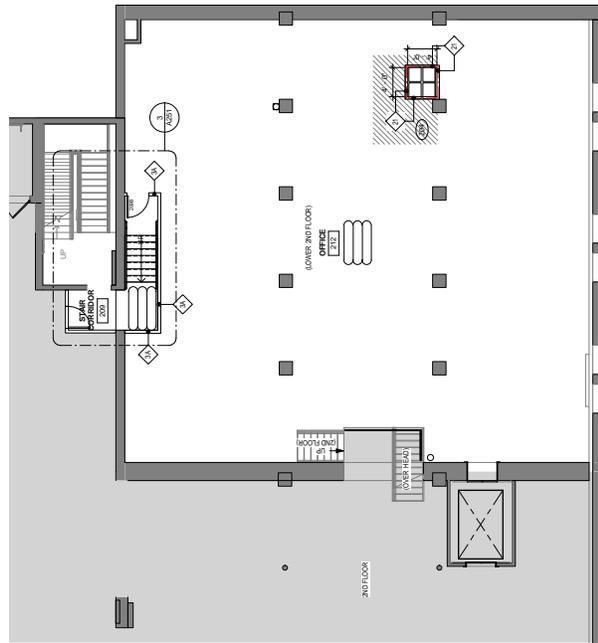
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FINISH PLAN KEYNOTES

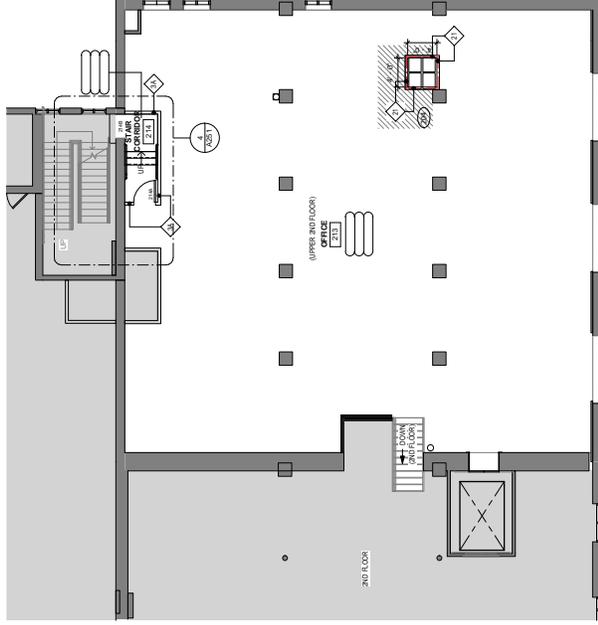
- 801 SEE FIRST FLOOR PLAN FOR NEW ELEVATOR FINISHES.

CONSTRUCTION PLAN KEYNOTES

- 200 PART OF TENANT IMPROVEMENT NOT BUILDING
- 201 PROPOSED HVAC LOCATION, COORDINATE WITH MEP DRAWINGS FOR EXACT LOCATION AND SPECIFICATIONS
- 202 CANOPY RELOCATED FROM WASHINGTON AVENUE FACADE.
- 203 MEAT DELIVERY FLOOR TO MATCH EXISTING CONDITIONS.
- 204 MEAT DELIVERY FLOOR TO MATCH EXISTING CONDITIONS.
- 205 SEE SHEET A204 FOR UPPER AND LOWER 2ND FLOOR PLANS.



1 LOWER SECOND FLOOR PLAN
 1/8" = 1'-0"



2 UPPER SECOND FLOOR PLAN
 1/8" = 1'-0"



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**Construction
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Project Number	Date
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A206

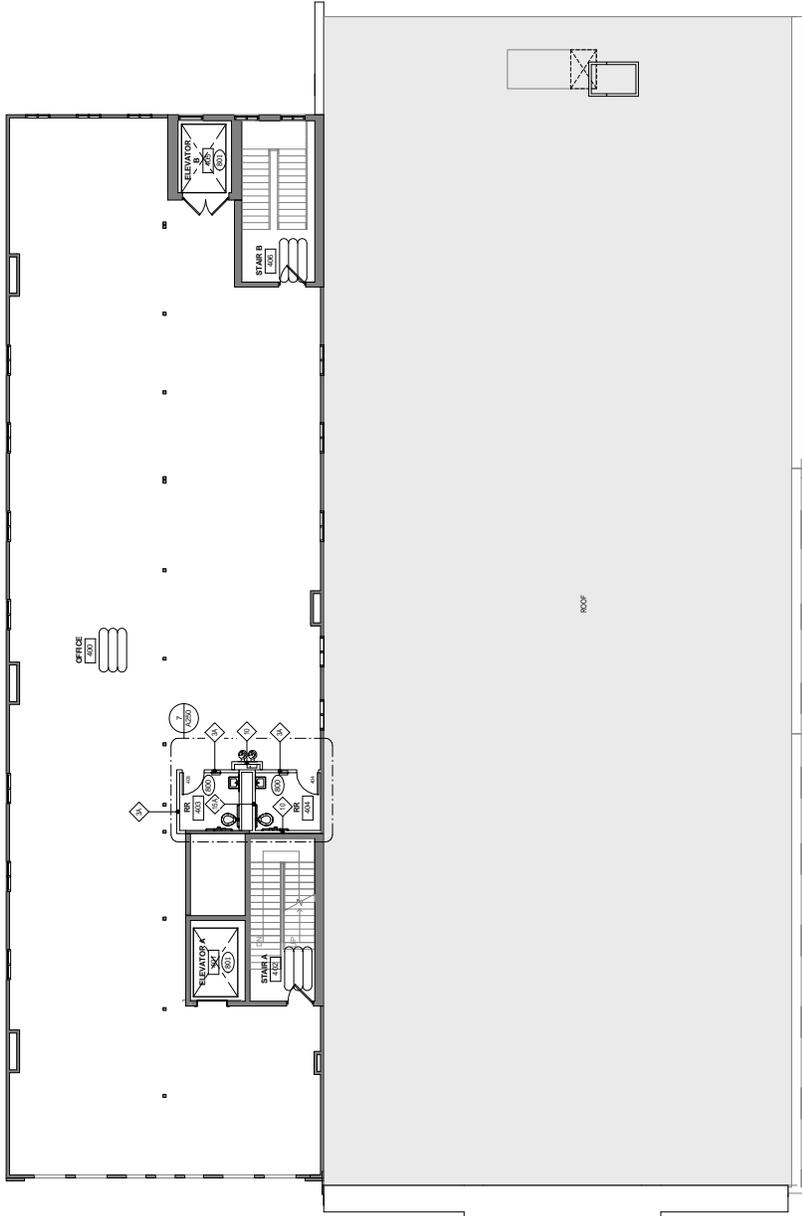
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CONSTRUCTION PLAN KEYNOTES

- 200 SEE FINISH PLAN FOR FINISH INFORMATION.
- 201 PART OF TENANT IMPROVEMENT NOT BUILDING.
- 202 PROPOSED HVAC LOCATION, COORDINATE WITH MEP DRAWINGS FOR EXACT LOCATION AND SPECIFICATIONS.
- 203 CANNOPY RELOCATED FROM WASHINGTON AVENUE FACADE.
- 204 ALL FINISHES TO MATCH EXISTING.
- 205 ALL WALLS TO MATCH EXISTING.
- 206 SEE SHEET A204 FOR UPPER AND LOWER 2ND FLOOR PLANS.

FINISH PLAN KEYNOTES

- 800 SEE ENLARGED PLAN FOR FINISH INFORMATION.
- 801 SEE FIRST FLOOR PLAN FOR NET ELEVATOR FINISHES.



1. FOURTH FLOOR CONSTRUCTION PLAN
 1/8" = 1'-0"



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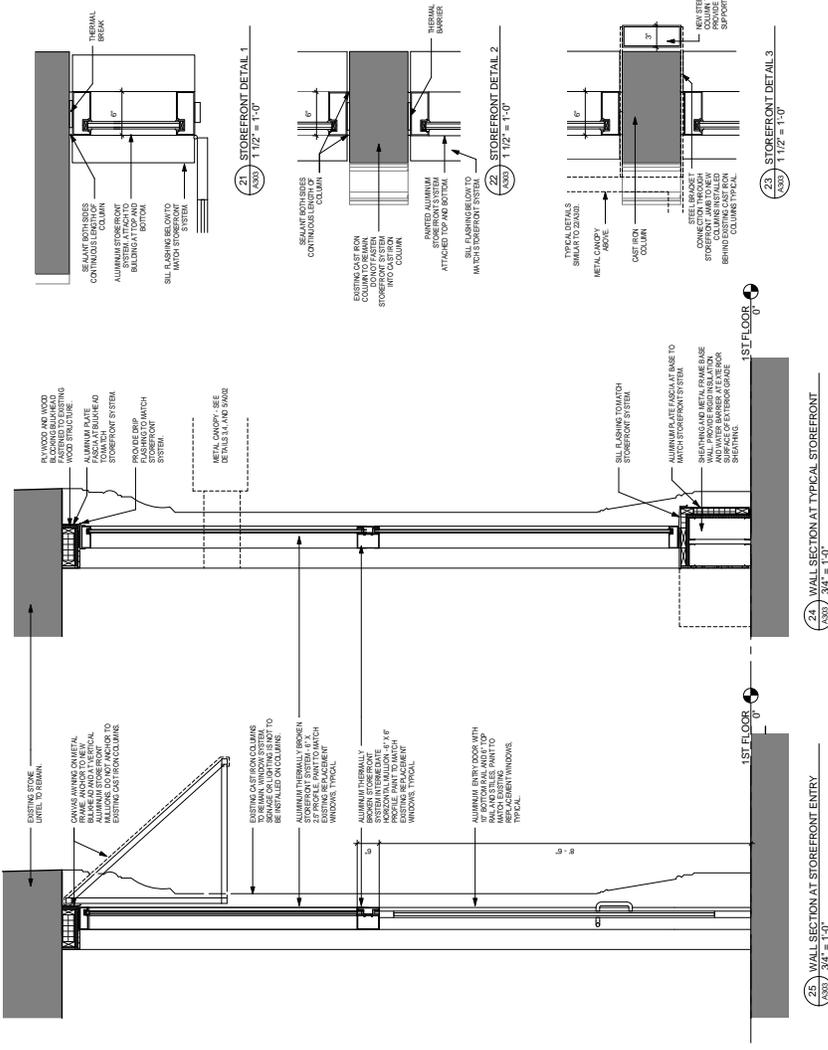
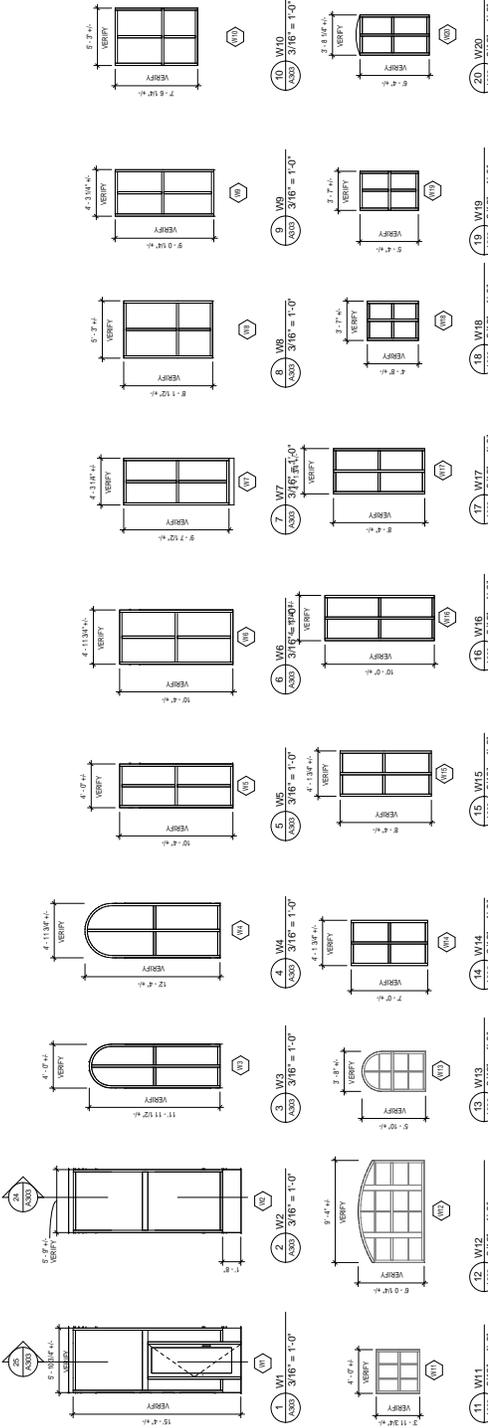
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Windows Wall Sections and Details

Project Number	Date
151930015	10/16/2015

Drawn by: A303
Scale: As Indicated



NOTE - ALL WINDOWS AND STOREFRONT SYSTEMS SHALL BE INSTALLED IN EXISTING REPAIRMENT WINDOWS.

25. WALL SECTION AT STOREFRONT ENTRY
3/4" = 1'-0"

24. WALL SECTION AT TYPICAL STOREFRONT
3/4" = 1'-0"

23. STOREFRONT DETAIL 3
3/16" = 1'-0"

21. STOREFRONT DETAIL 1
3/16" = 1'-0"

22. STOREFRONT DETAIL 2
1 1/2" = 1'-0"

1ST FLOOR 0'

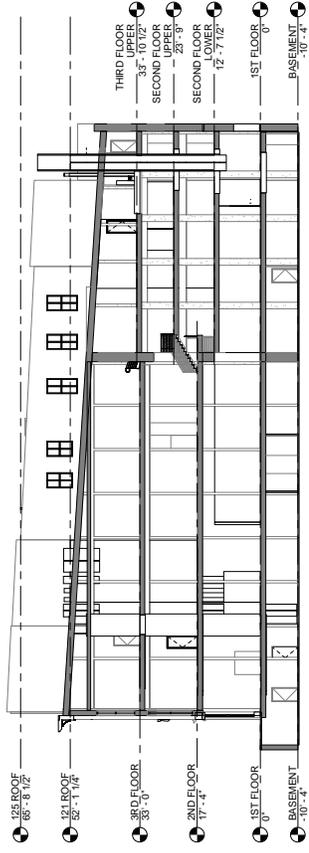


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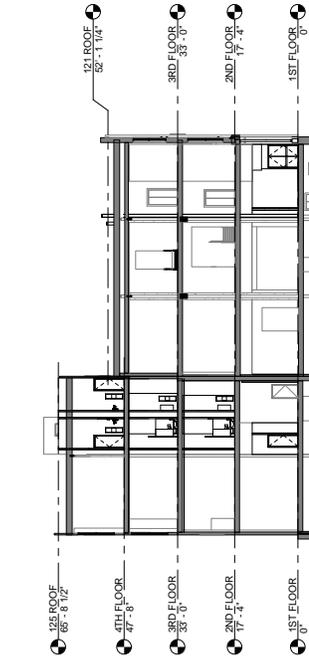
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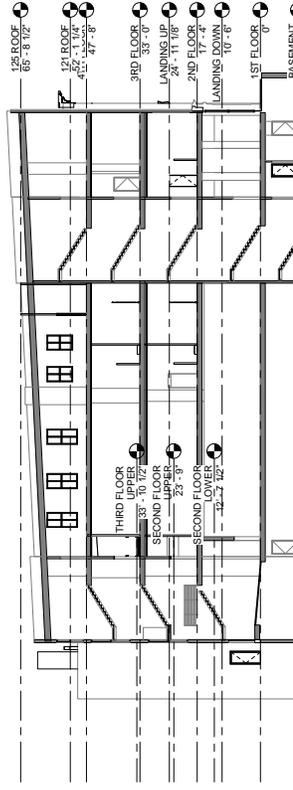
No.	Description	Date



2 Section 2
 (AW) 1/16" = 1'-0"



1 Section 1
 (AW) 1/16" = 1'-0"



3 Section 4
 (AW) 1/16" = 1'-0"



4 Section 5
 (AW) 1/16" = 1'-0"

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Building Sections

Project Number	Date	Drawn By	Checked By

A401

Scale: 1/16" = 1'-0"

FEATURES

- Structurally tested per ANSI/AAMA 101
- Life cycle tested per AAMA 910
- Forced Entry Resistance Level 10
- Bottom sash tilts for easy cleaning
- Integral structural thermal barrier
- Dual Finseal weathering at operating sash
- Pre-glazed at factory
- 1" glazing infills
- Equal or unequal leg frames
- Vertical or horizontal stacking
- Full range of anodized finishes
- Full range of architectural painted finishes
- Spandrel and composite glazing panels
- Extruded screen frames
- Aluminum screen wire
- Glass is structurally glazed
- True, applied, and between glass muntins
- Hermetically sealed integral blinds
- Custom configurations with standard details
- Standard/custom panning systems
- Interior snap trims

7035 SERIES

3 1/2" ARCHITECTURAL GRADE Fixed & Single Hung Window System (H-AW50, HC65)

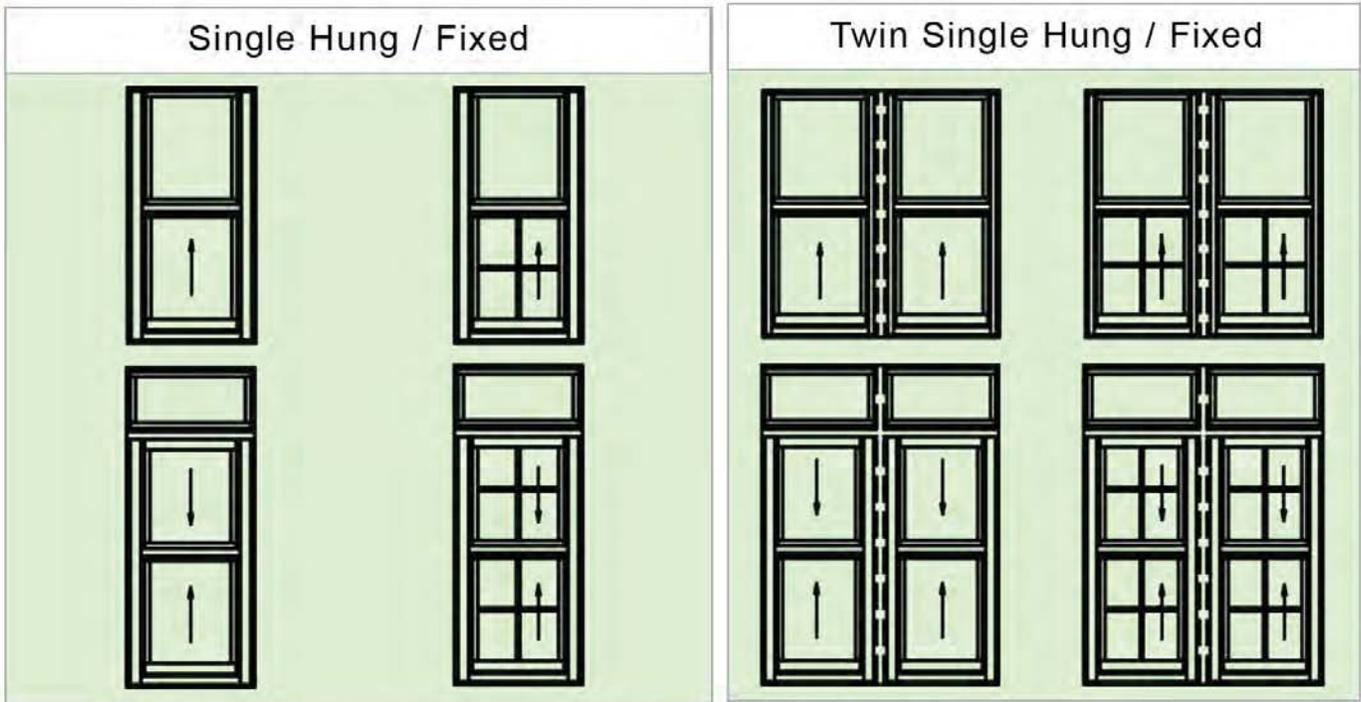
This heavy duty window system is designed for vertical sash operation. The 7035 series carries AAMA Architectural Window Class (AW) Certification. The frame depth is 3 1/2". Multiple snap trim sizes are available. Perimeter receptor systems, sill starters and a full range of pannings (standard and/or custom) are also available.. The bottom operating sash tilts inwards for ease of cleaning on a single hung. Head and jamb wall members are .062" thick and sills are .078" thick. Main frame and operating sash construction is mortise and tenon joinery with dual integral screw races. Square interior removable glass stops accommodate 1" glazing infills set in structural silicone. This product and its accessories employ an integral structural thermal barrier that maximizes thermal performance.

800 Hayes Drive
Manhattan, KS 66502
Phone: (800) 642.1488
Fax: (800) 576.2656



11000 East 51st Ave., Suite B
Denver, CO 80239
Phone: (888) 642.1488
Fax: (303) 375.0669

Please visit:
www.mankowindows.com
for more information



Please visit: www.mankowindows.com for DWG and PDF detail cuts

AAMA PERFORMANCE RESULTS

	AAMA / NWWDA 101 / I.S.2-97 RATING	Air Infiltration	Minimum Water Resistance	Uniform Structural Load	Life Cycle Testing (AW)	CRF
Single Hung	H-AW50 / HC65	.3 CFM	10 PSF	97.5 PSF	2500 cycles	53
Double Hung	N/A	N/A	N/A	N/A	N/A	N/A

▲ Minimum Gateway performance values listed. All testing met or exceeded listed values. Consult factory for actual test results obtained and certified test reports.

7035 SERIES HARDWARE OPTIONS

	Spiral Balance	Block & Tackle Balance	Ultra - Lift Balance	Occupant Operated Sweep Latch	Custodial Operated Sweep Latch	Lift Handle	Limit Stops
Single Hung	S	N/A	R	O	O	S	O
Double Hung	N/A	N/A	N/A	N/A	N/A	N/A	N/A

S = Standard Hardware O = Optional Hardware R = Recommended Hardware N/A = Not Available

▲ Balances must provide a positive lifting force through the full range of sash travel. Sash travel must be limited on oversized units. Cam action sweep latches; one per meeting rail, are of cast white bronze. Lift handles are an integral continuous lift handles on window sashes.

7035 SERIES GLAZING OPTIONS

	Glass or Panel	Applied Muntin	Internal Muntin	Integral Blinds	Panning	Receptors
Single Hung	1"	O	O	O	I	I
Double Hung	N/A	N/A	N/A	N/A	N/A	N/A

O = Optional Glazing Options I = Optional Installation Accessories N/A = Not Available

▲ Applied muntins are exterior muntin grids that match the window frame. Internal muntins are installed between the insulated glass panes. Integral blinds are in-between the insulated glass panes.

7035 Series
3 1/2" Heavy Commercial
Single Hung Window



MANKO WINDOW SYSTEMS, INC.
800 HAYES DRIVE
MANHATTAN, KANSAS 66502
PHONE: (800) 642-1488 (785) 776-9643
FAX: (800) 576-2656 (785) 776-9644

MANKO WINDOW SYSTEMS, INC.
11000 EAST 51ST AVE. SUITE B
DENVER, COLORADO 80239
PHONE: (888) 642-1488 (303) 375-0642
FAX: (888) 576-2656 (303) 375-0669



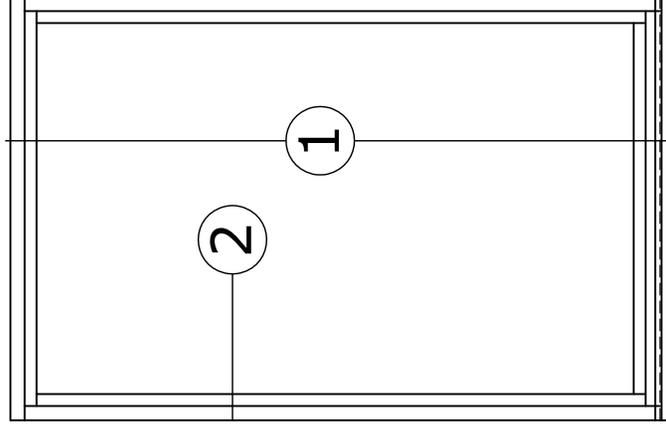
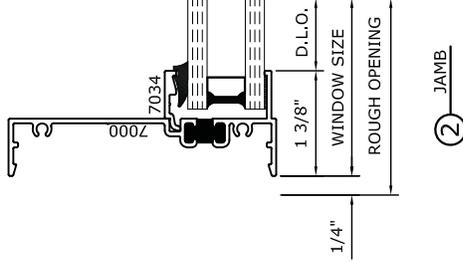
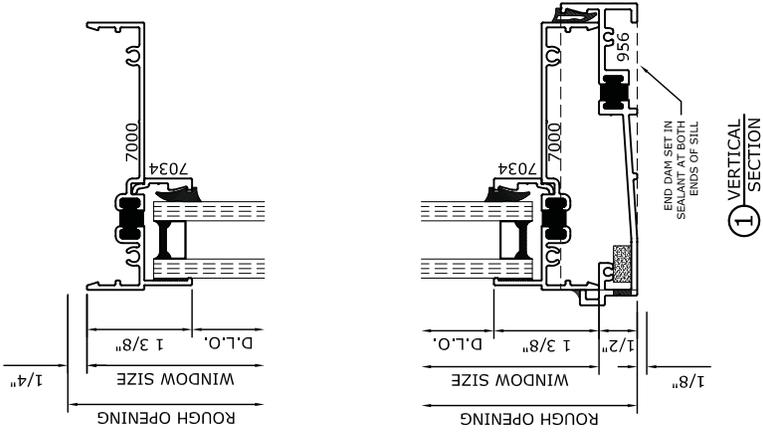
7035 Series
3 1/2" Heavy Commercial Single Hung Window

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•	TRANSOM ELEVATION	4
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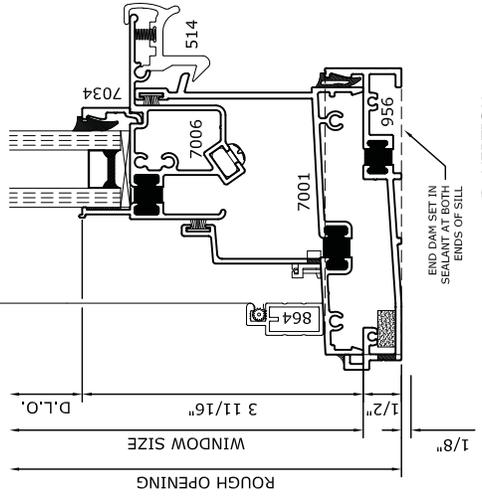
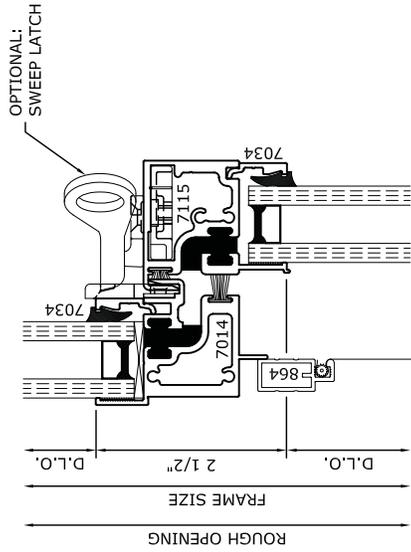
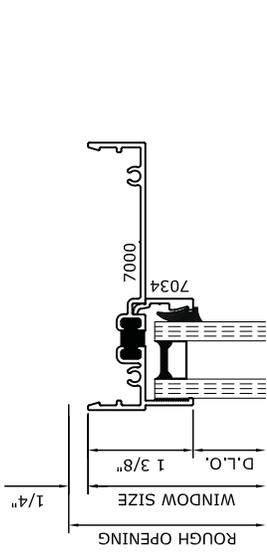


7035 FIXED

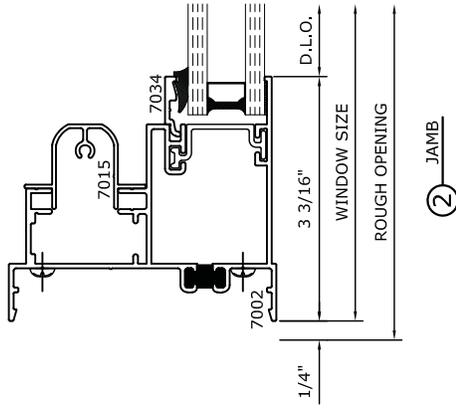




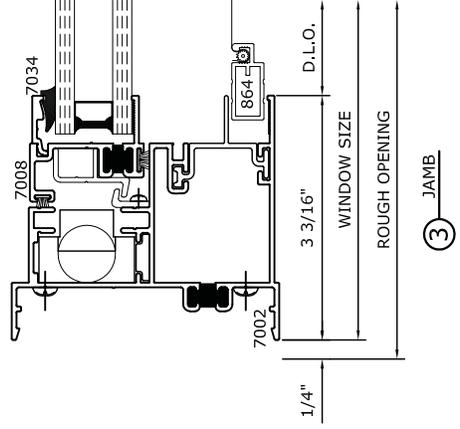
7035 SINGLE HUNG



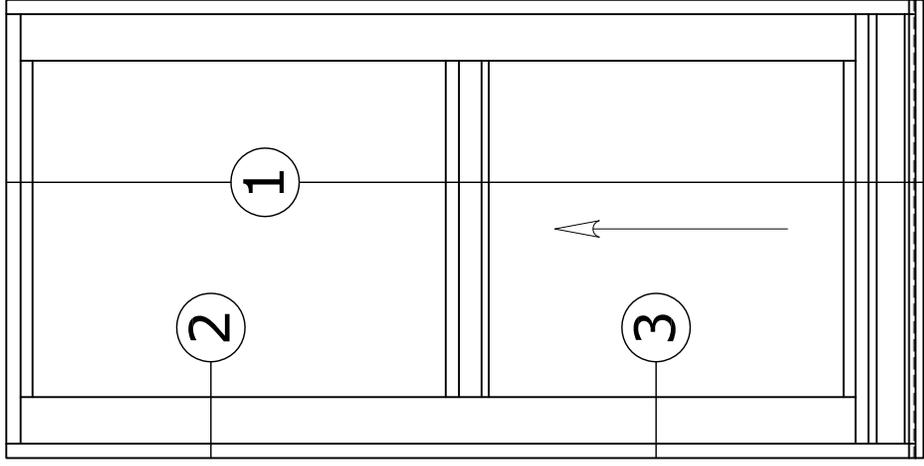
① VERTICAL SECTION



② JAMB

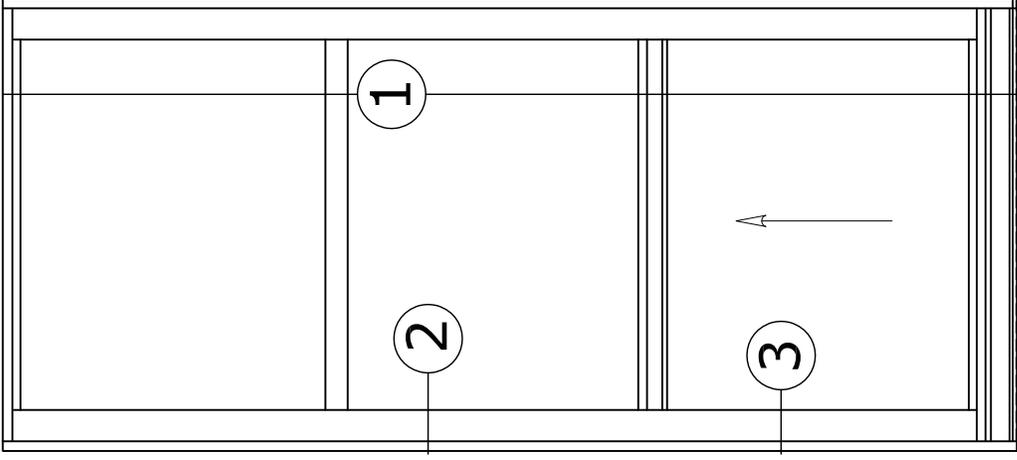
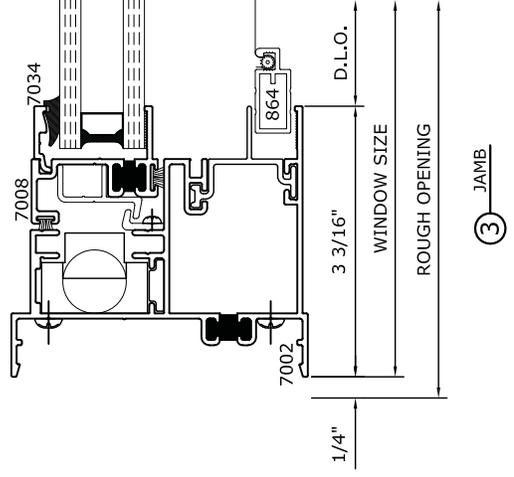
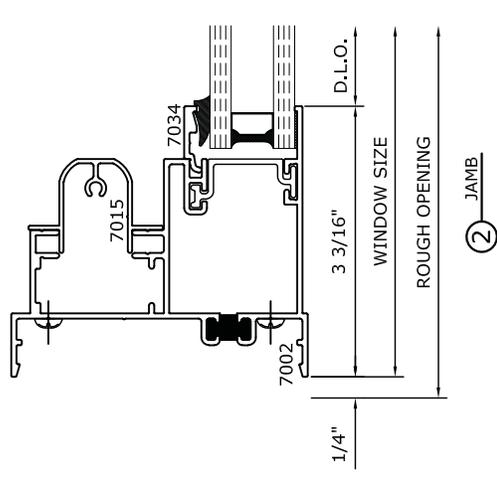
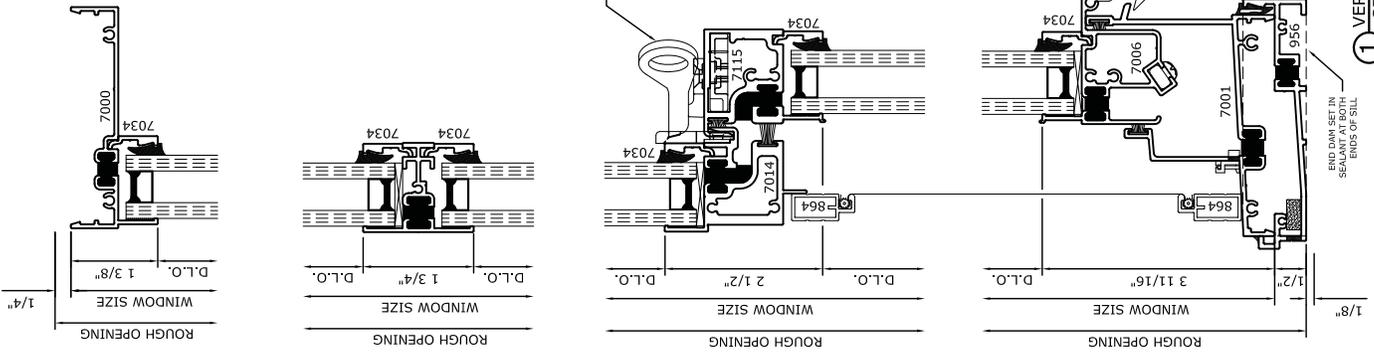


③ JAMB



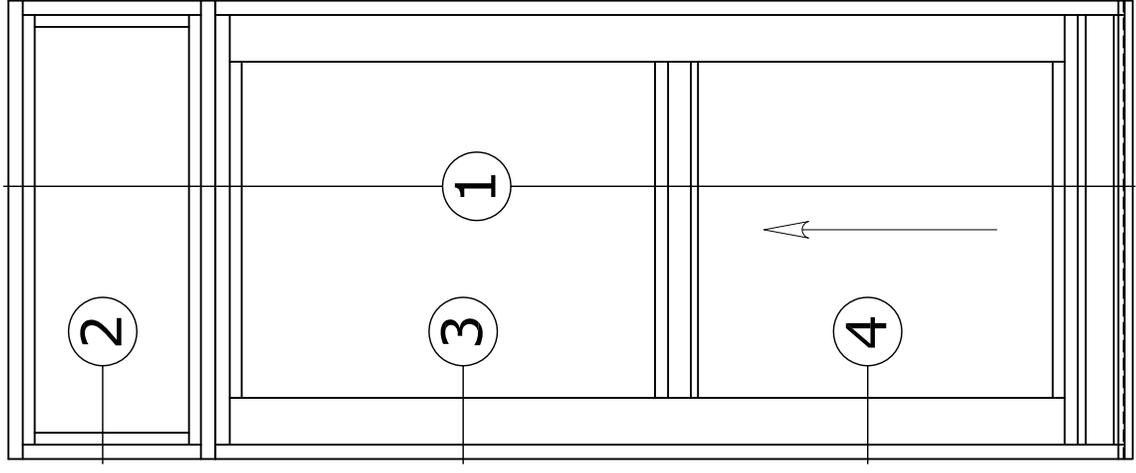
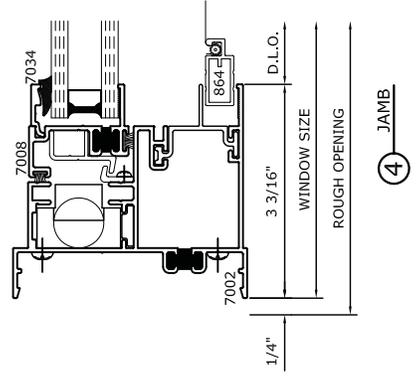
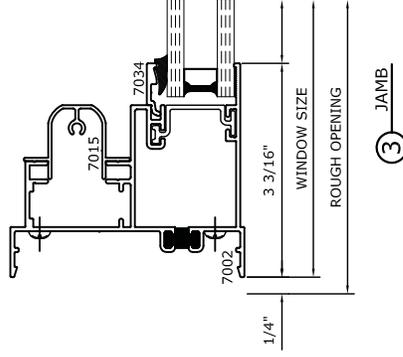
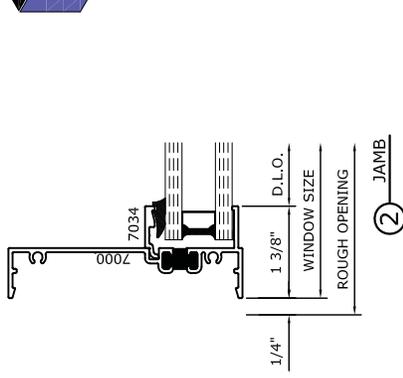
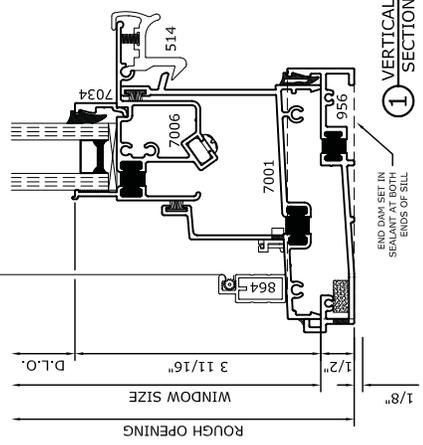
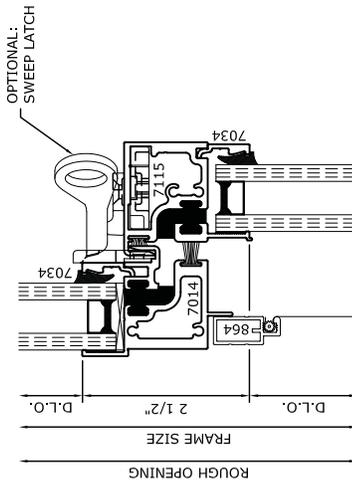
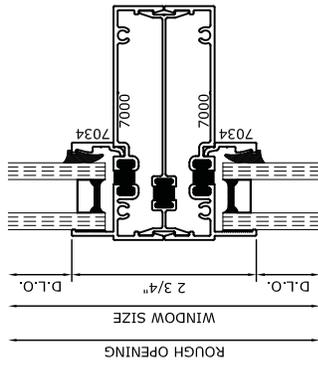
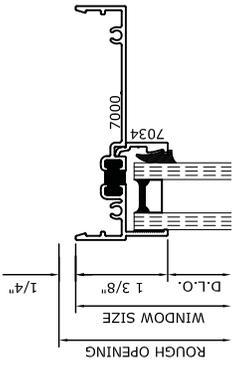


7035 SH W/ MUNTIN



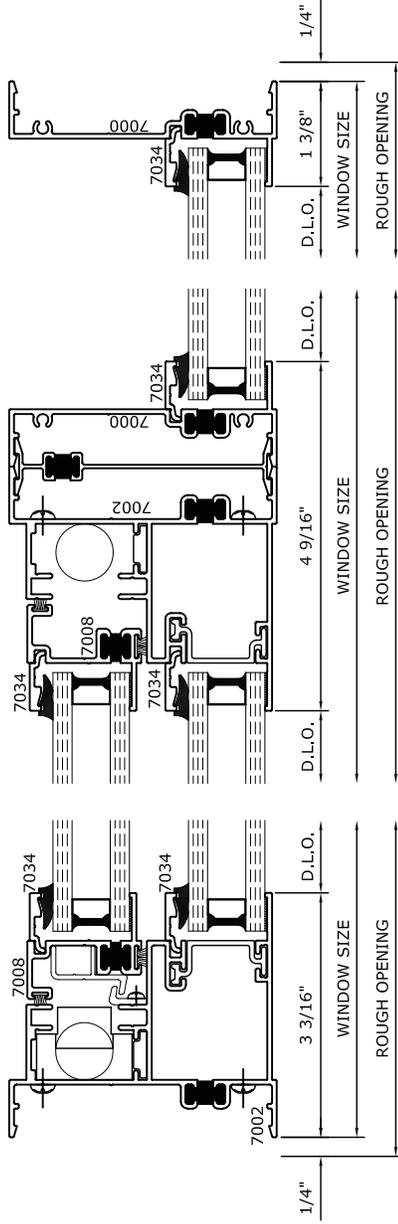


7035 SINGLE HUNG WITH TRANSOM



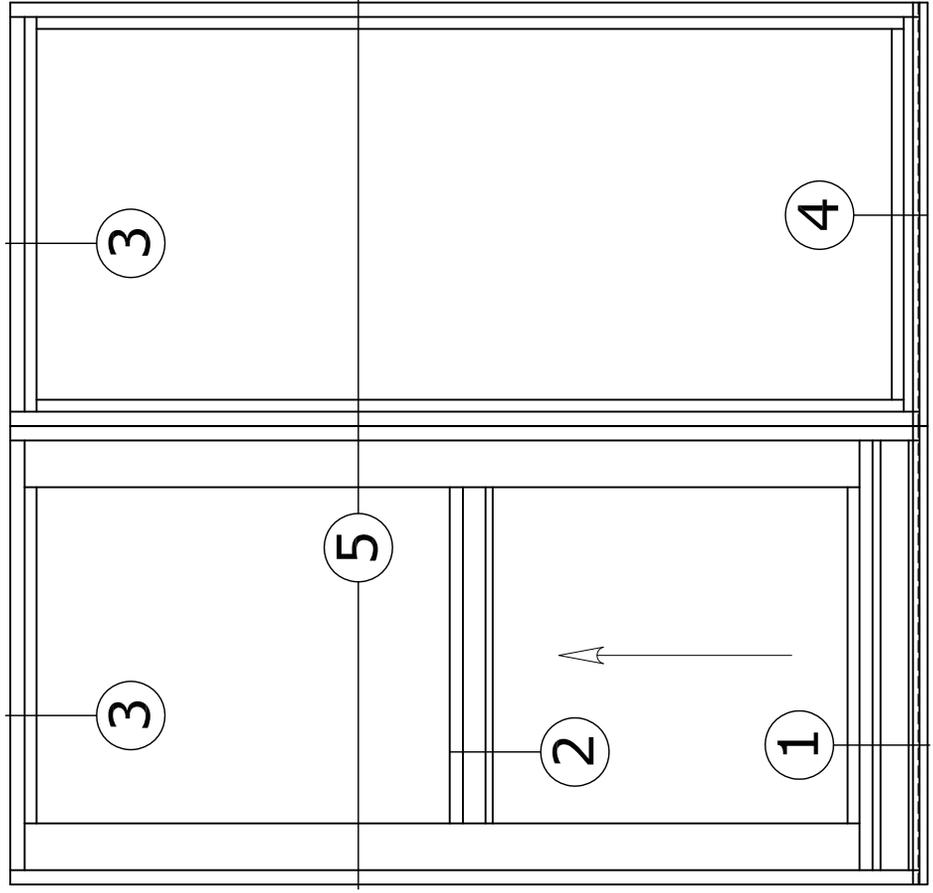
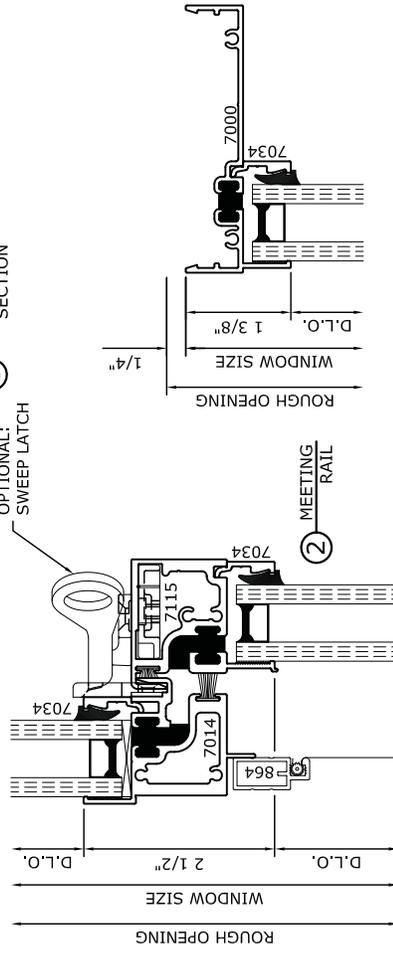


7035 SINGLE HUNG WITH SIDELITE

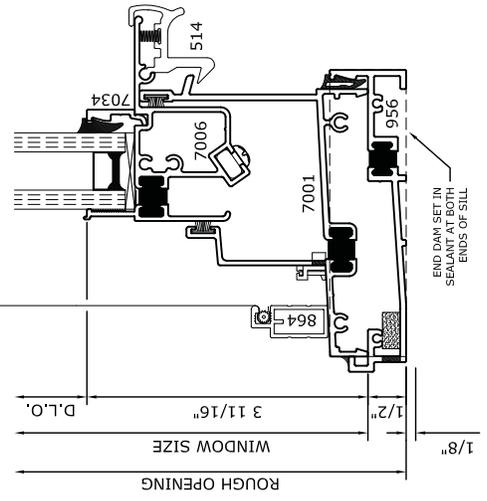


5 HORIZONTAL SECTION

OPTIONAL: SWEEP LATCH



3 HEAD



1 WINDOW SILL

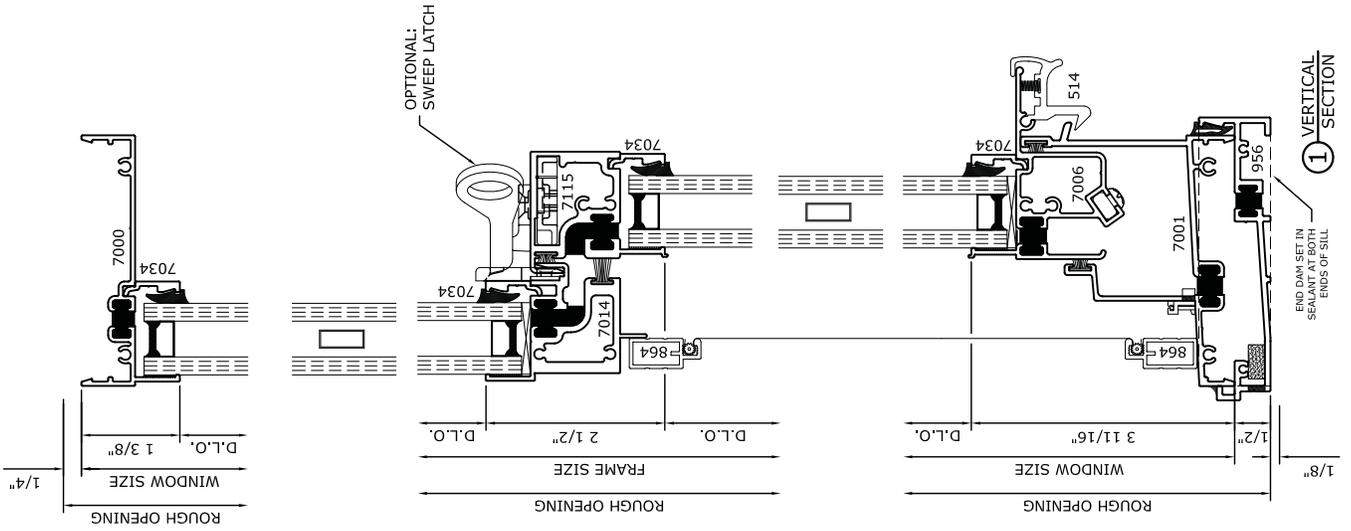
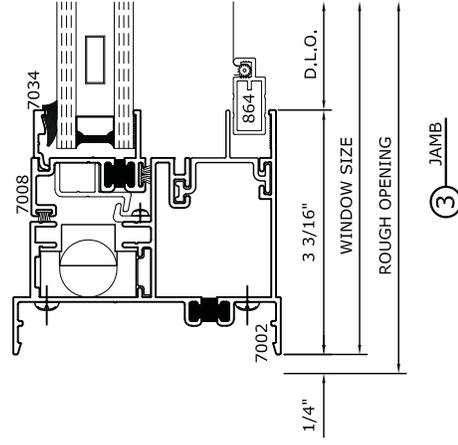
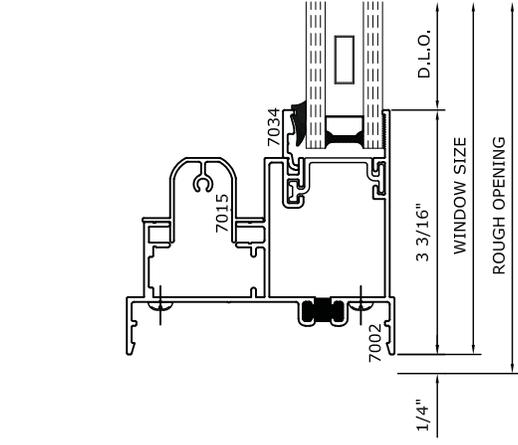
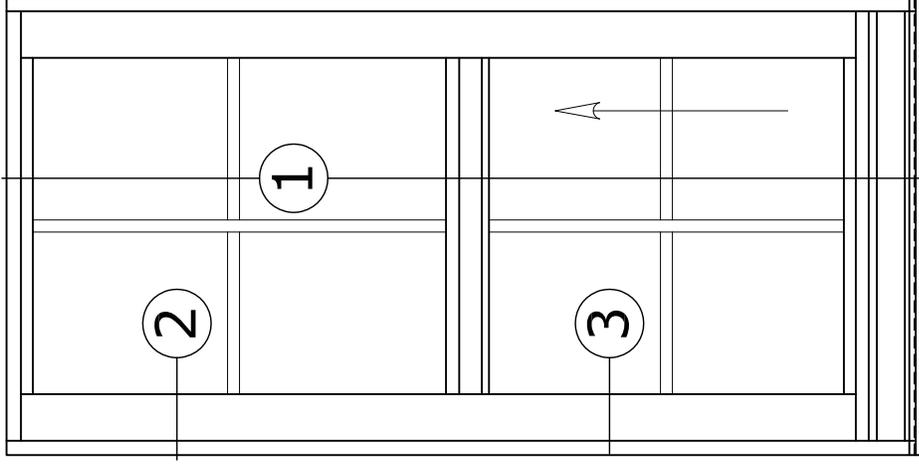
4 SIDELITE SILL

END DAM SET IN SEALANT AT BOTH ENDS OF SILL

END DAM SET IN SEALANT AT BOTH ENDS OF SILL

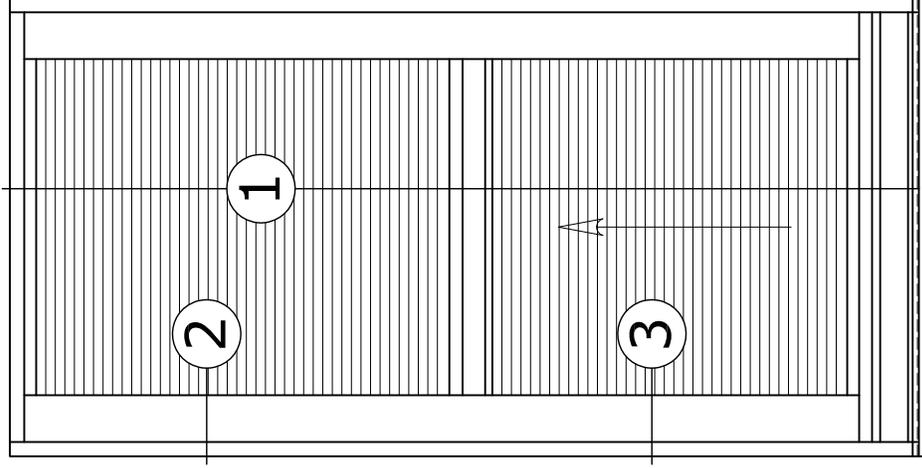
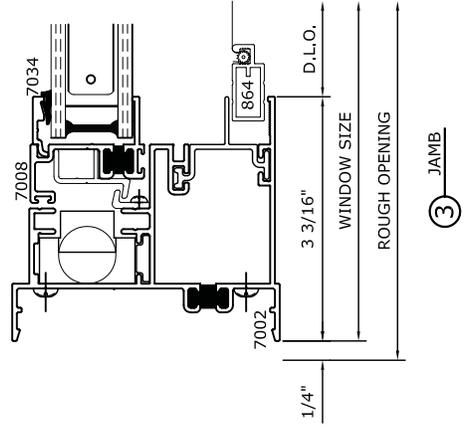
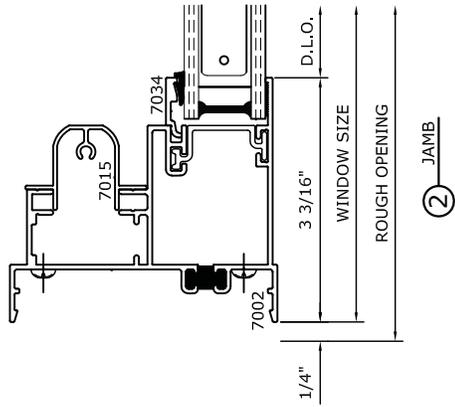
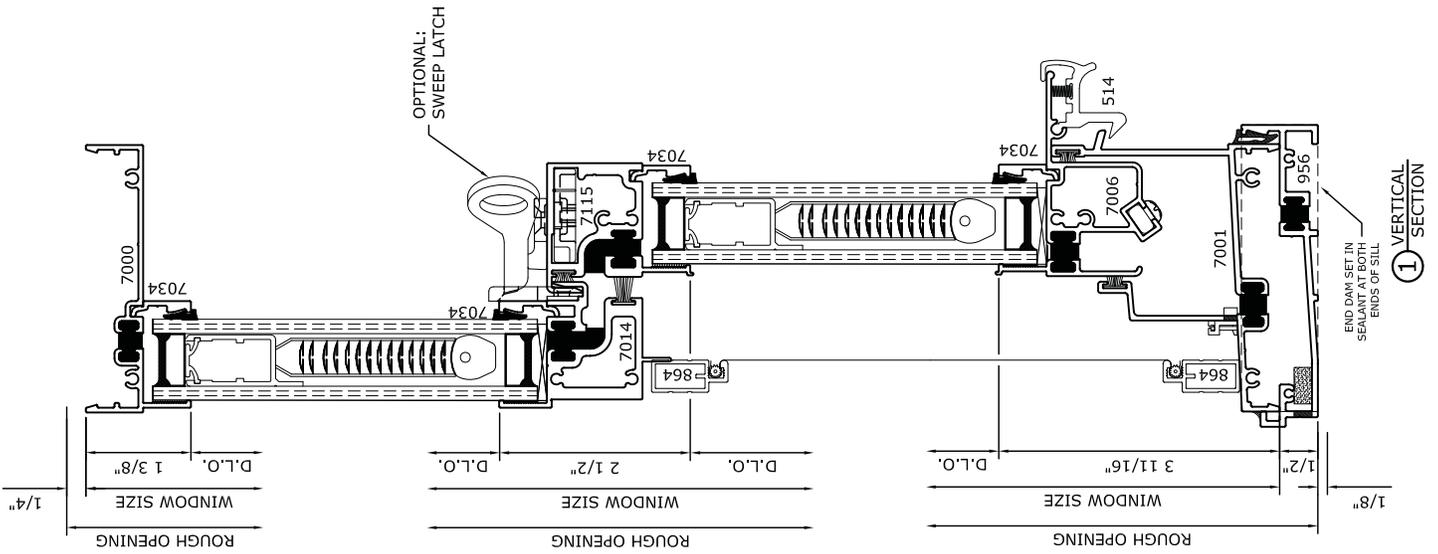


7035 SINGLE HUNG INTERNAL GRIDS



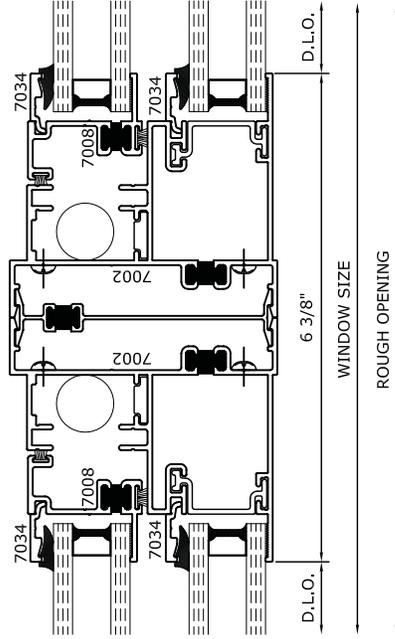
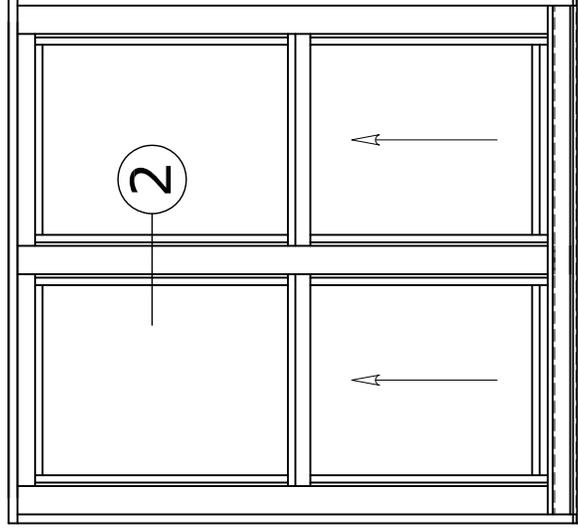


7035 SINGLE HUNG
GLAZED INSULATED GLASS BLIND





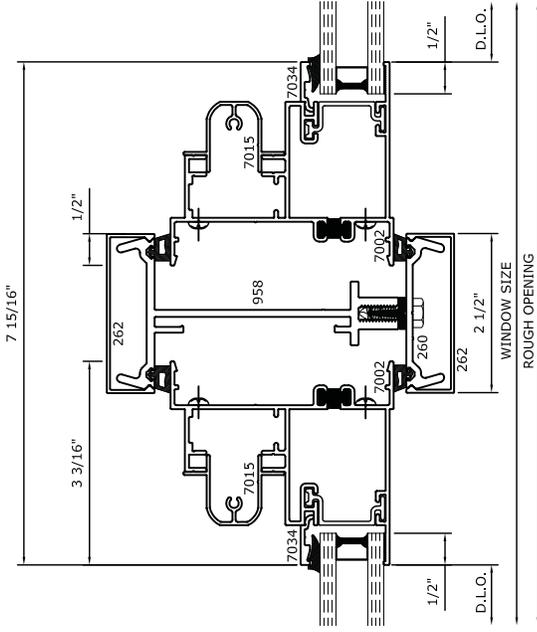
7035 SINGLE HUNG
SELF MULLING STACK



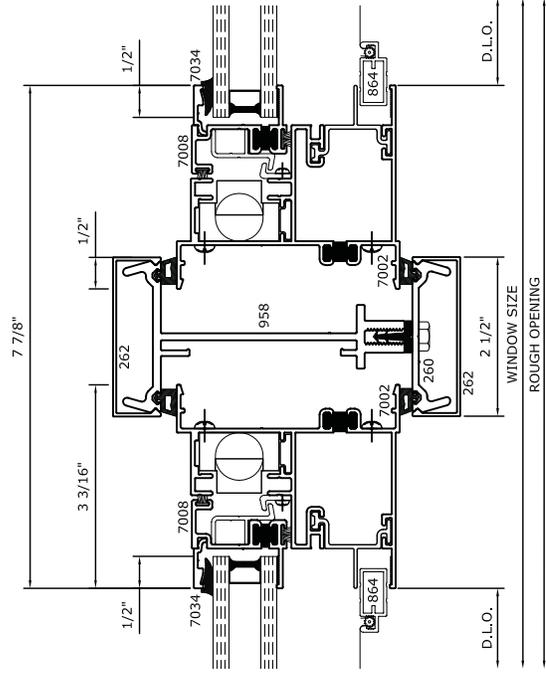
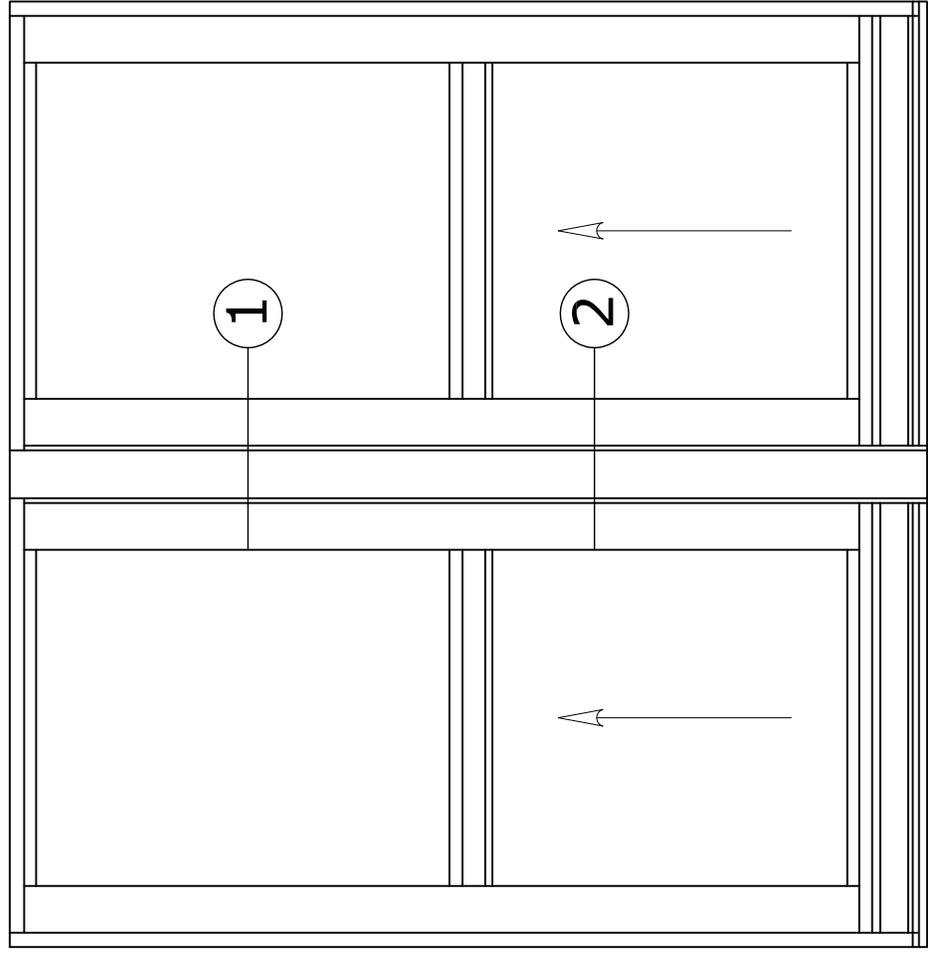
① VERTICAL SECTION



7035 SINGLE HUNG T-MULLION



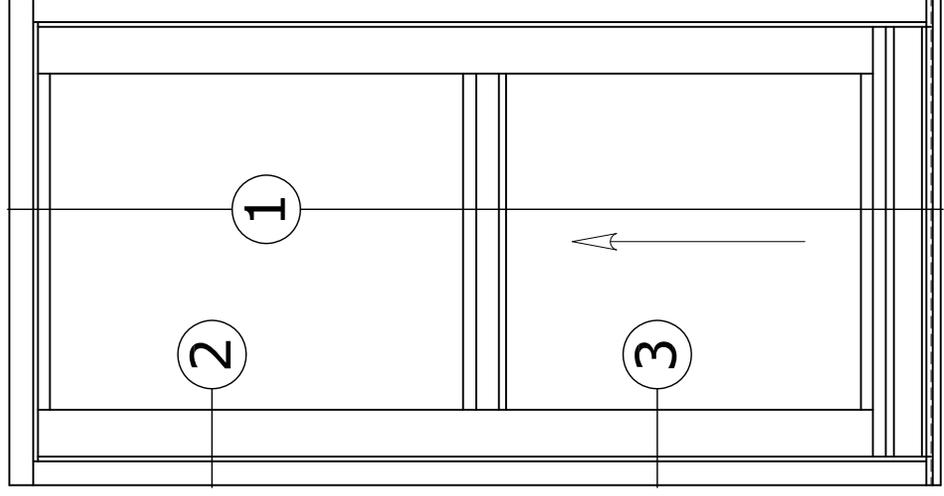
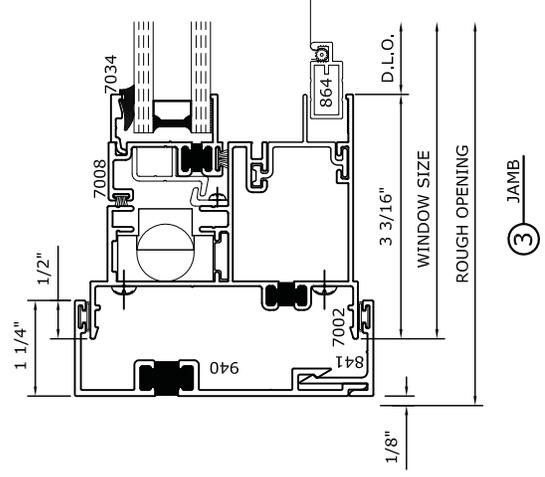
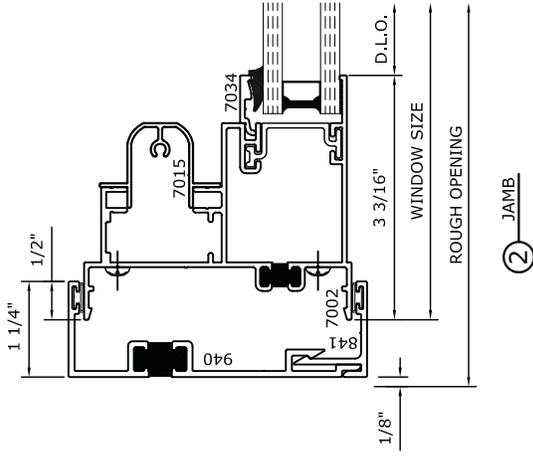
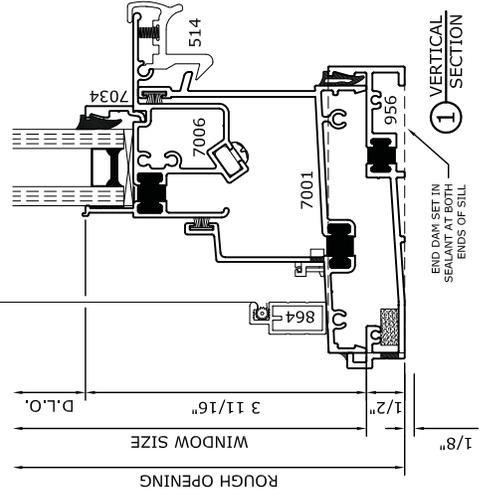
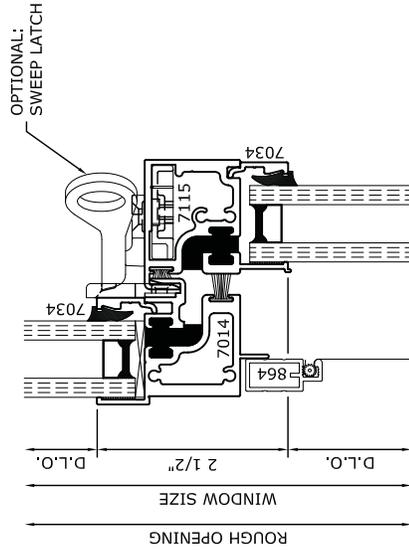
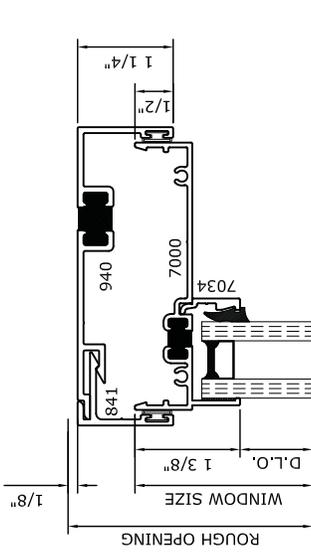
① T-MULLION



② T-MULLION

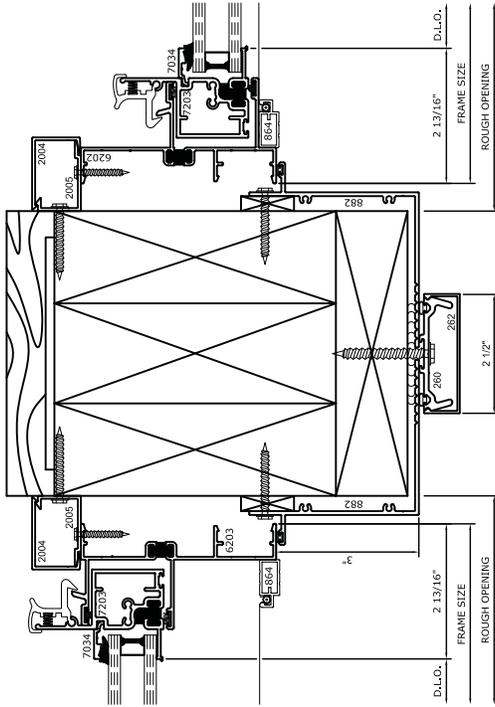


7035 SINGLE HUNG WITH RECEPTOR

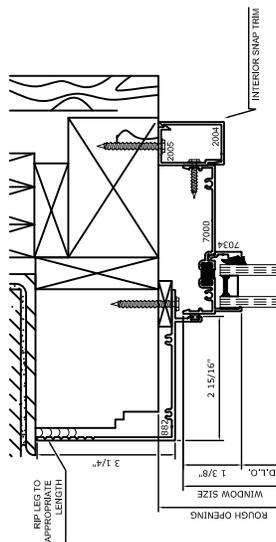




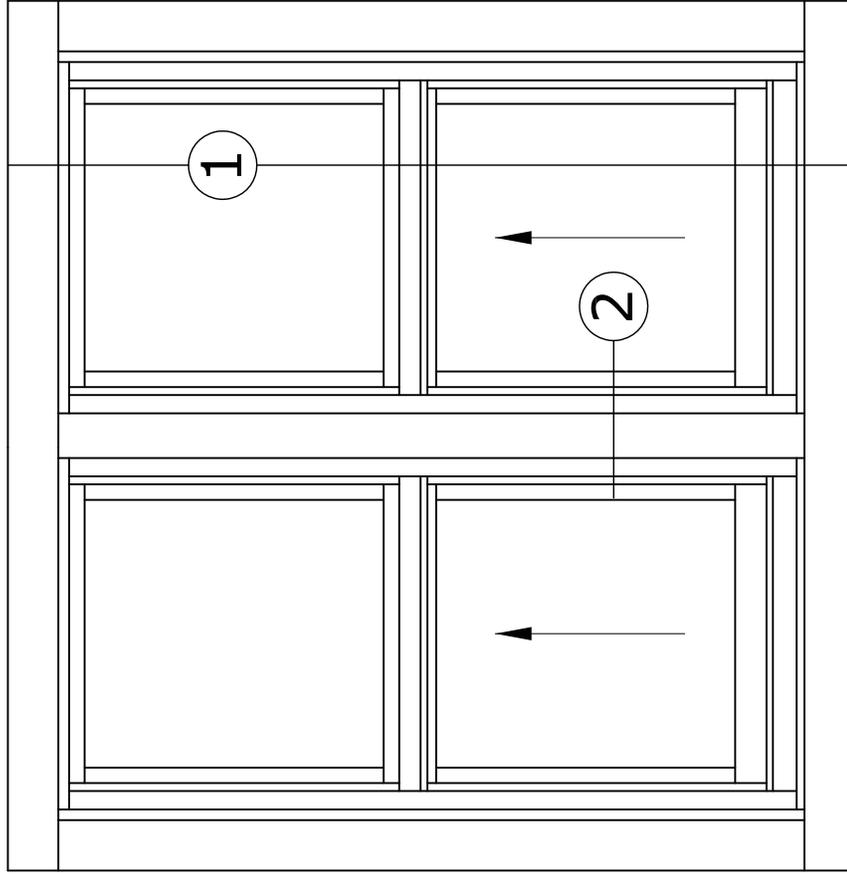
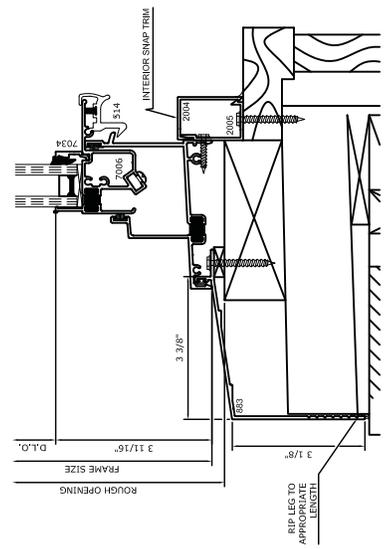
7035 SINGLE HUNG WITH PANNING



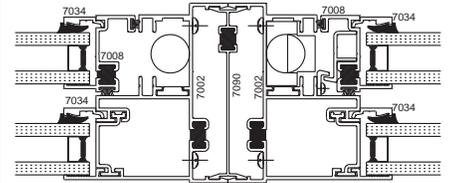
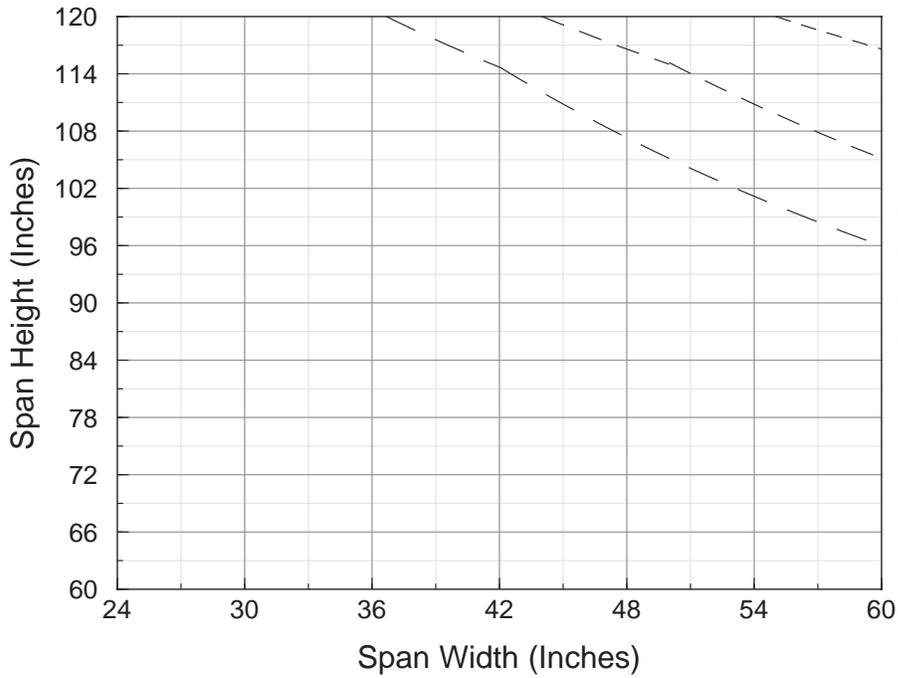
② HORIZONTAL SECTION



① VERTICAL SECTION

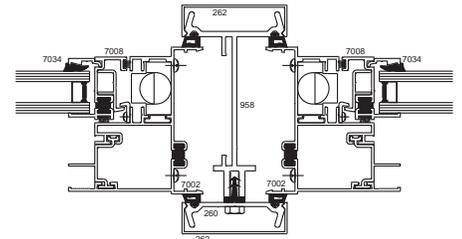
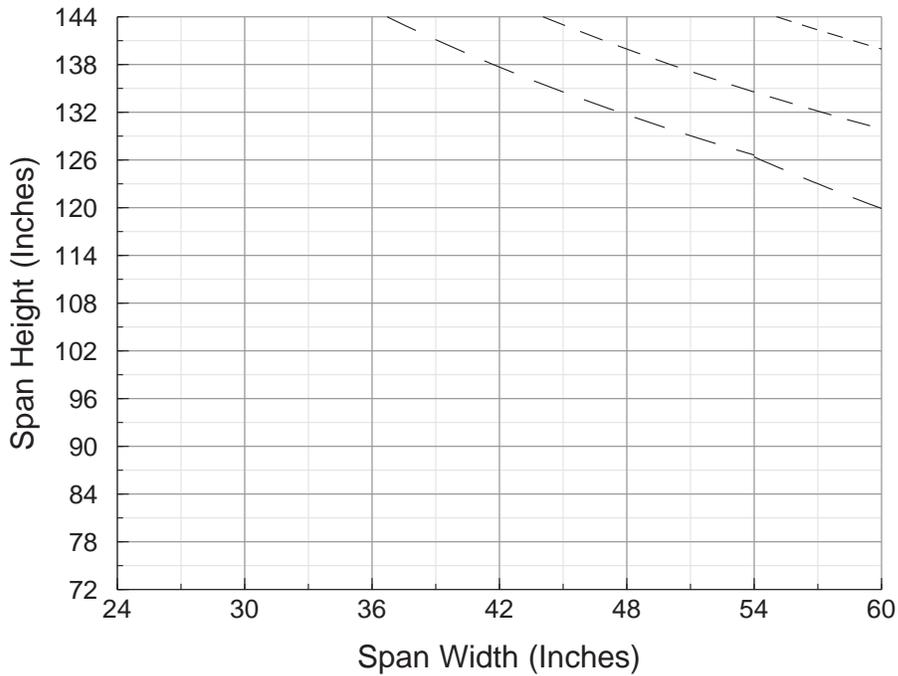


Windload Chart for #7002/7090/7002(T5 Temper)



- - - 20 PSF
- - - 25 PSF
- - - 30 PSF

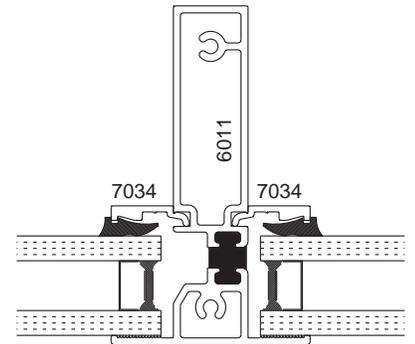
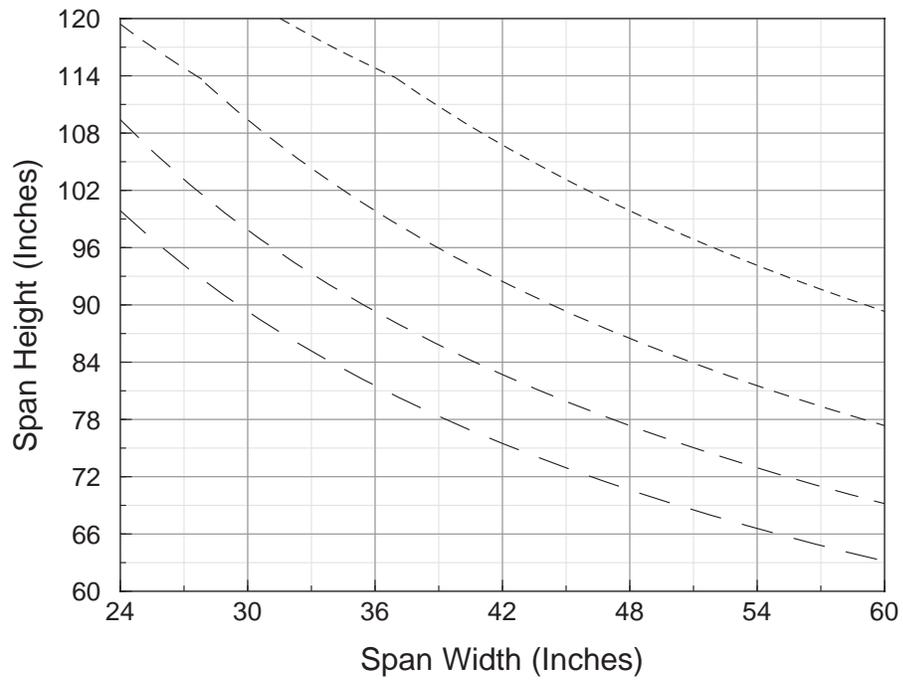
Windload Chart for #7002/958/7002 (T5 Temper)



- - - 20 PSF
- - - 25 PSF
- - - 30 PSF

Deflections for both charts are based on L/175 for span heights below 13'6"

Windload Chart for #6011 (T5 Temper)



- - - - 15 PSF
- - - - 20 PSF
- - - - 25 PSF
- - - - 30 PSF

Deflections based on L/175 for span heights below 13'6"

7035 Series
3 1/2" Heavy Commercial
Single Hung Window



MANKO WINDOW SYSTEMS, INC.
800 HAYES DRIVE
MANHATTAN, KANSAS 66502
PHONE: (800) 642-1488 (785) 776-9643
FAX: (800) 576-2656 (785) 776-9644

MANKO WINDOW SYSTEMS, INC.
11000 EAST 51ST AVE. SUITE B
DENVER, COLORADO 80239
PHONE: (888) 642-1488 (303) 375-0642
FAX: (888) 576-2656 (303) 375-0669



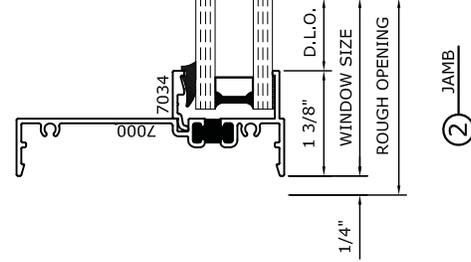
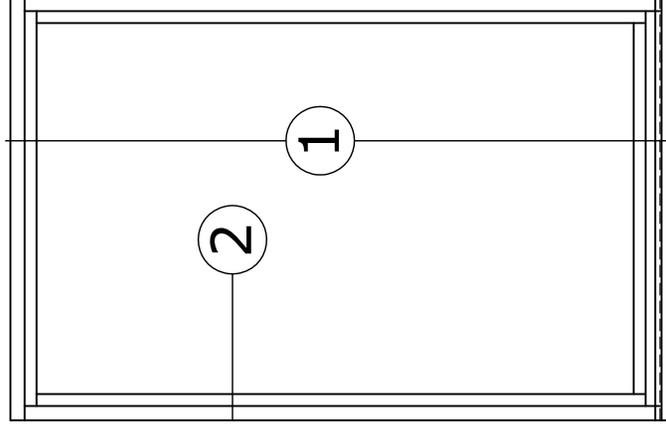
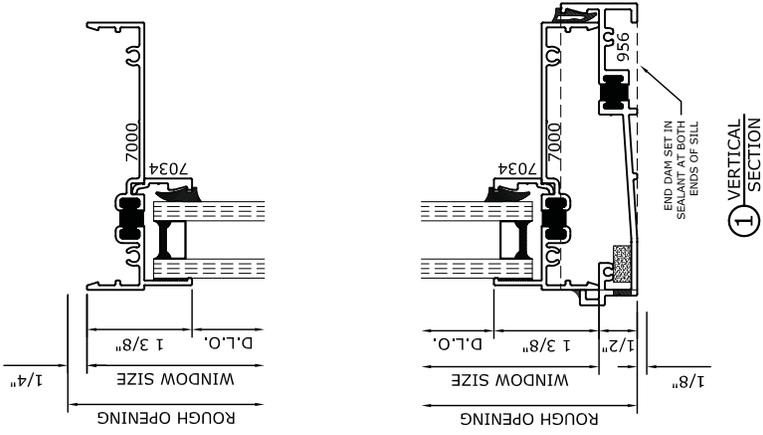
7035 Series
3 1/2" Heavy Commercial Single Hung Window

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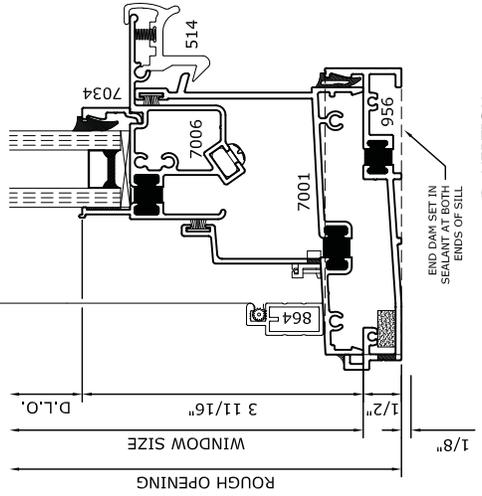
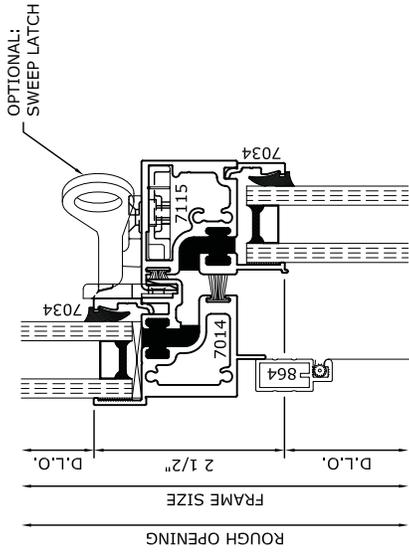
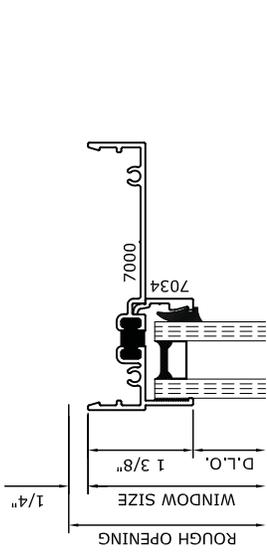


7035 FIXED



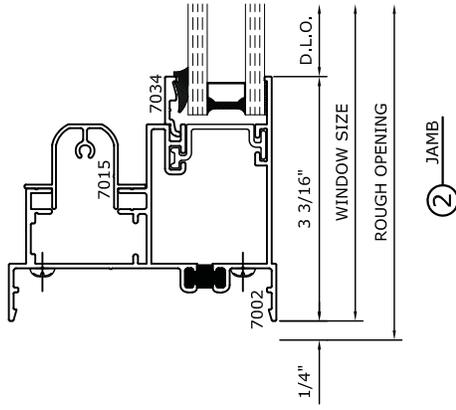


7035 SINGLE HUNG

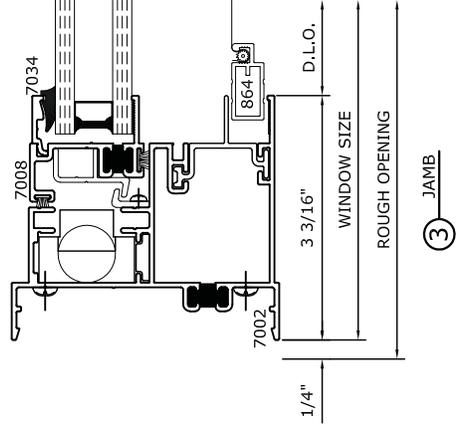


VERTICAL SECTION
①

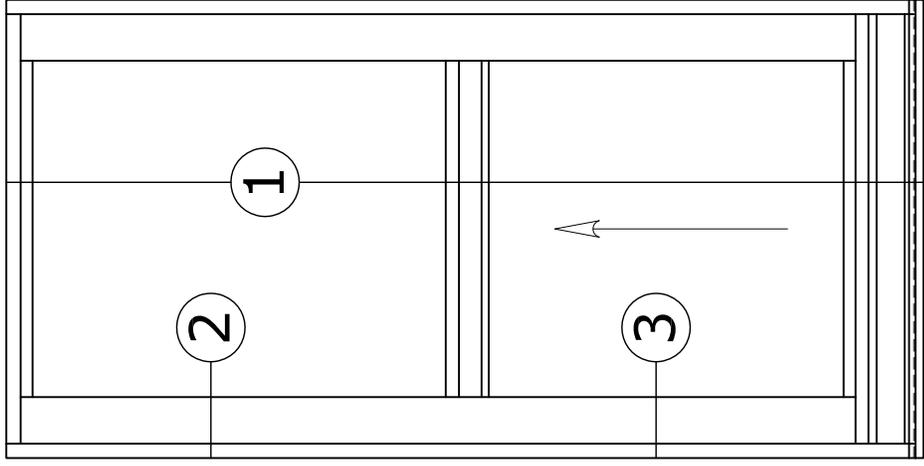
END DAM SET IN
TO BOTTOM
ENDS OF SILL



JAMB
②

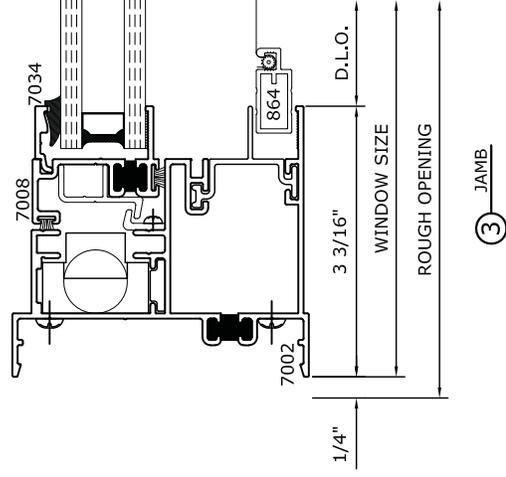
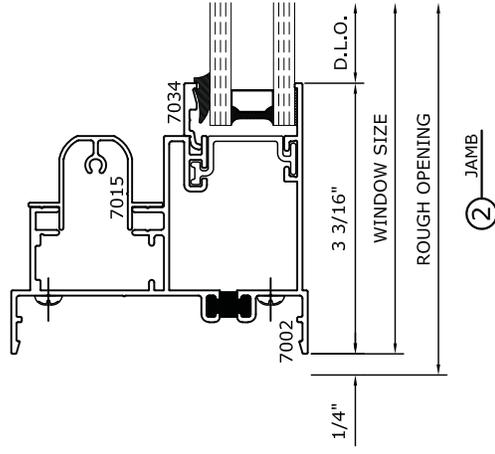
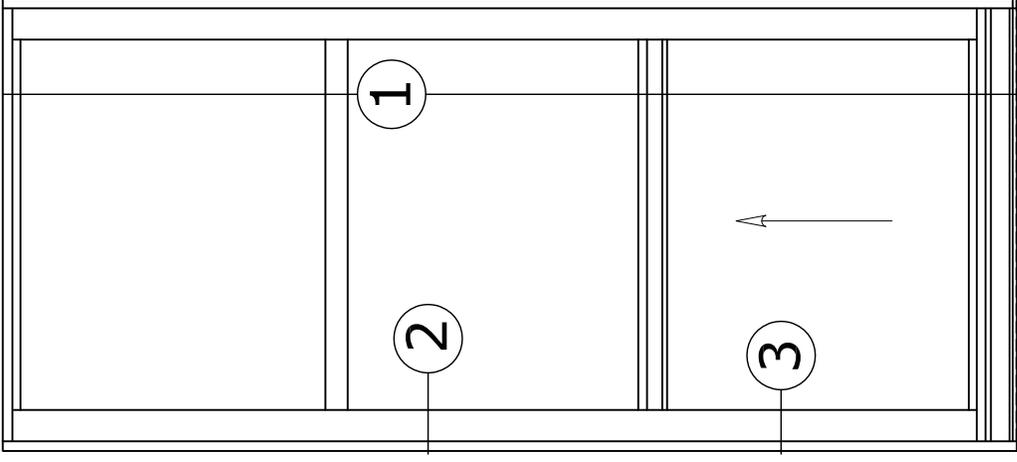
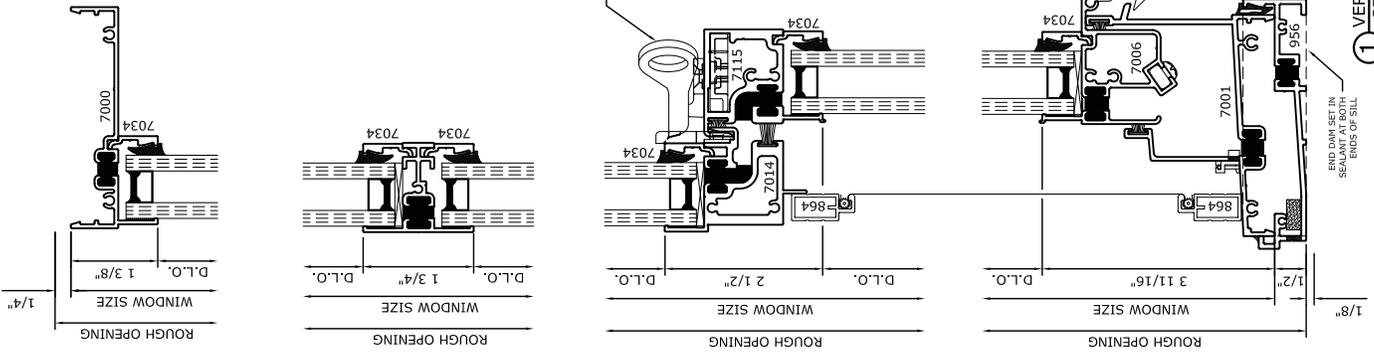


JAMB
③





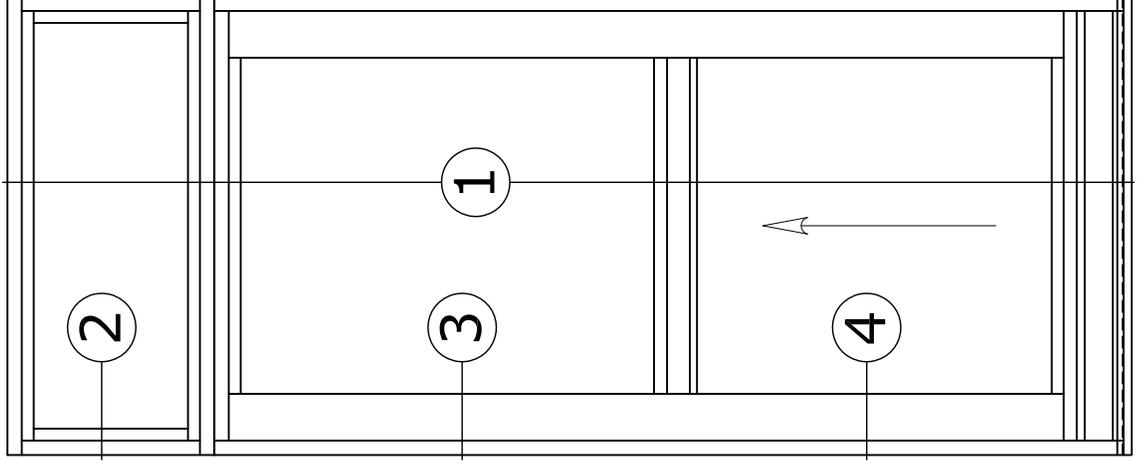
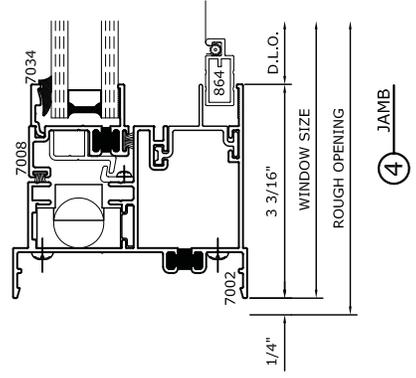
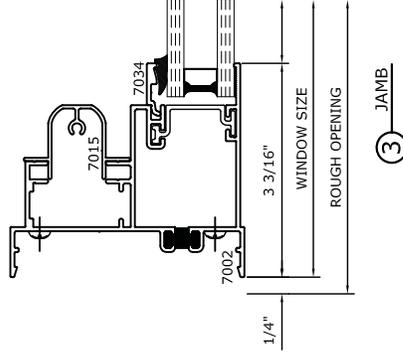
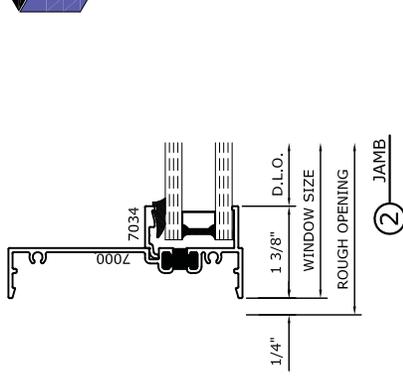
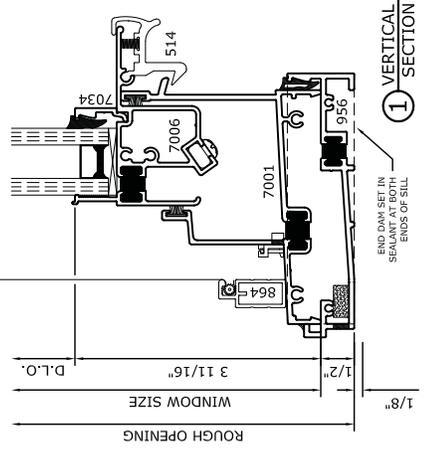
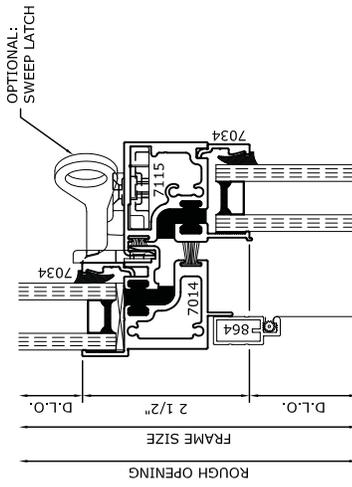
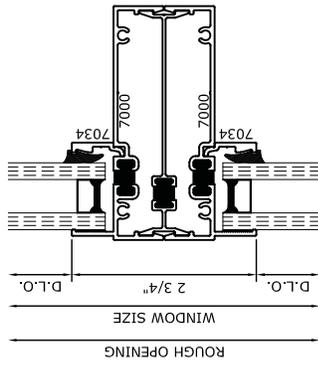
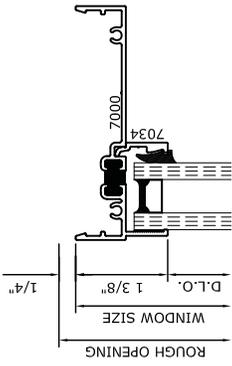
7035 SH W/ MUNTIN



1 VERTICAL SECTION

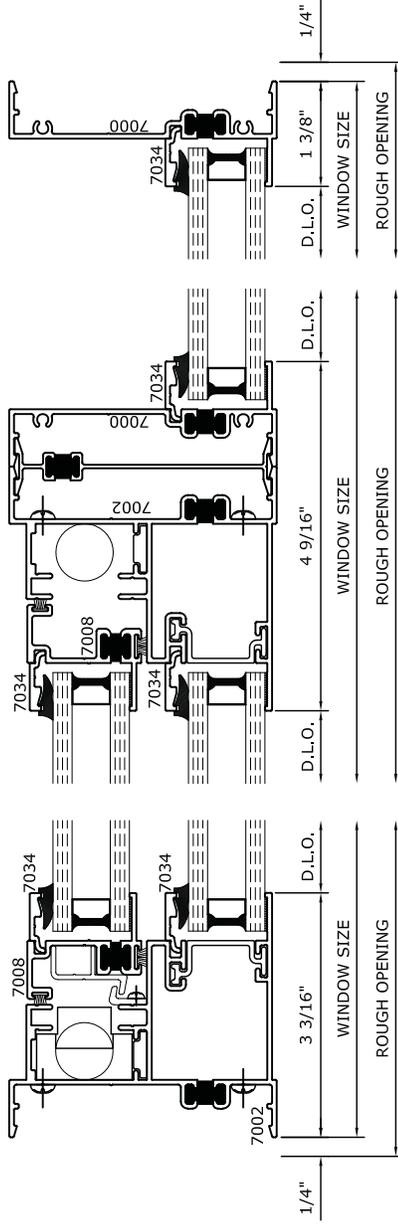


7035 SINGLE HUNG WITH TRANSOM



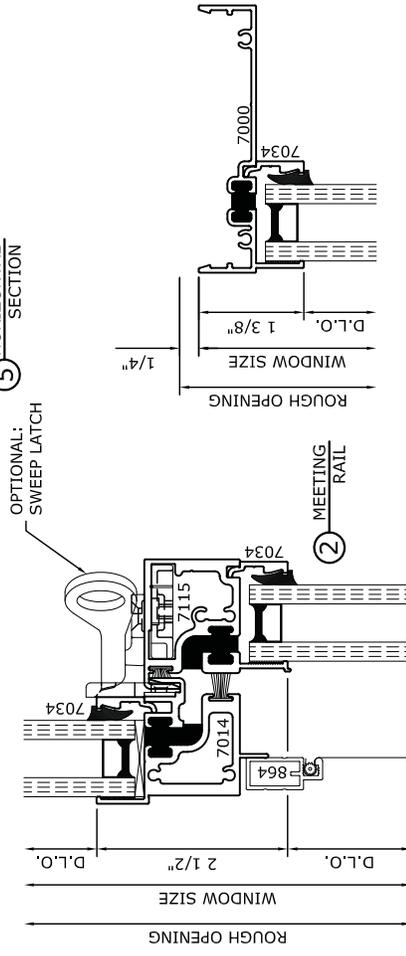


7035 SINGLE HUNG WITH SIDELITE

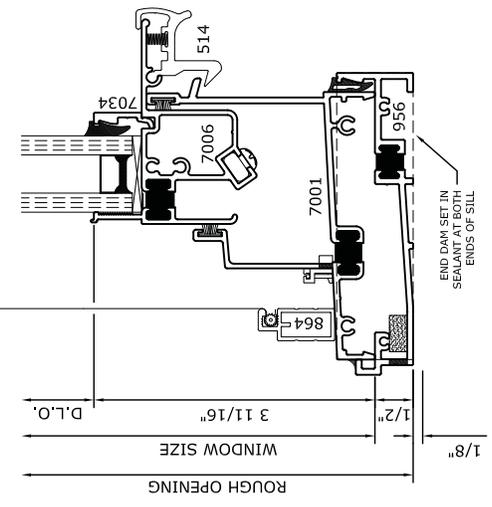


5 HORIZONTAL SECTION

OPTIONAL: SWEEP LATCH

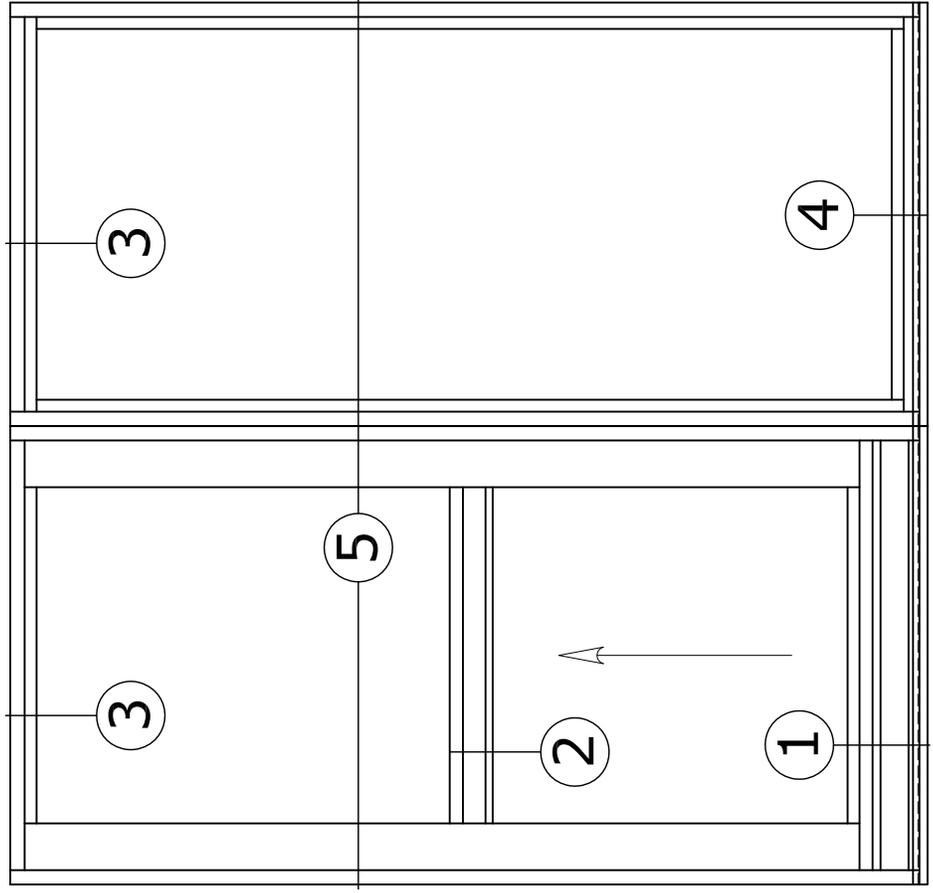


3 HEAD



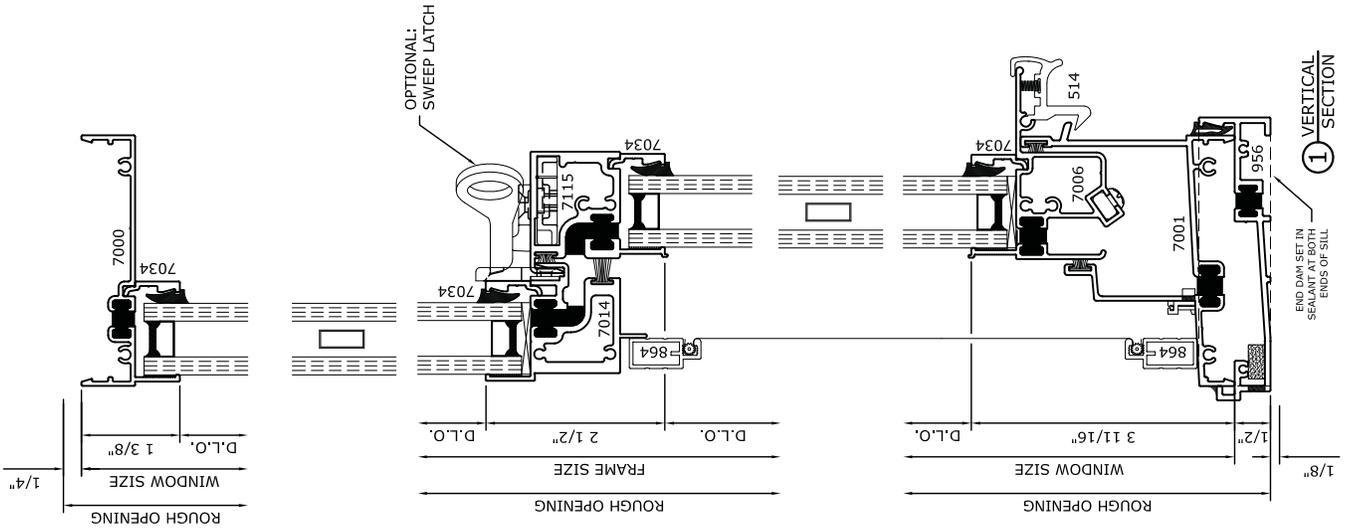
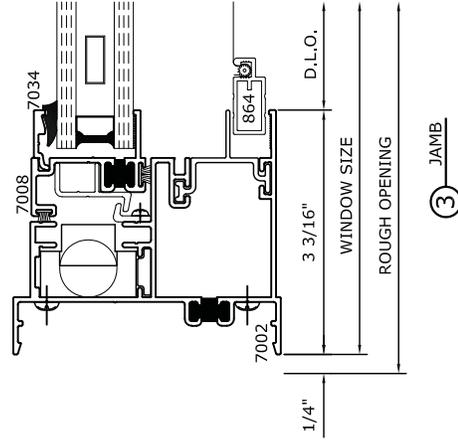
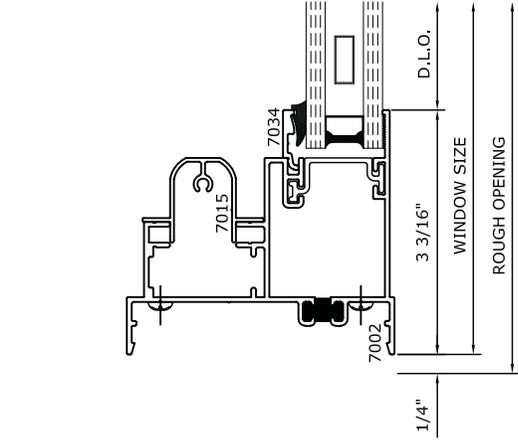
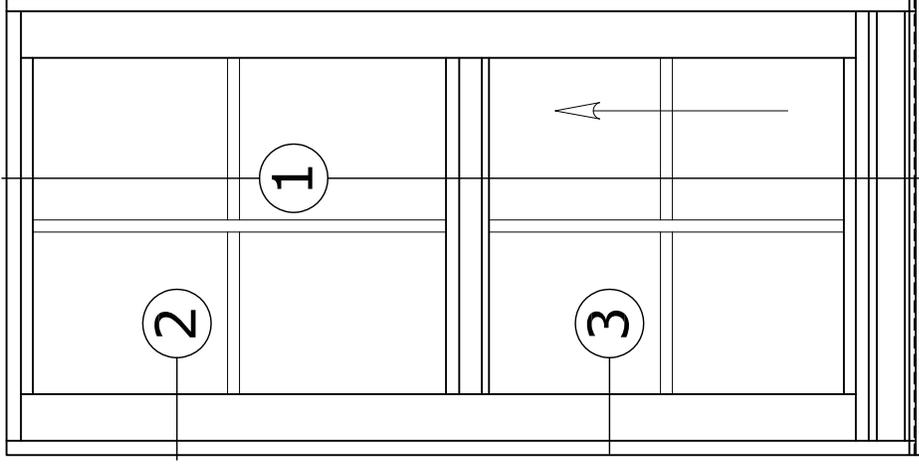
1 WINDOW SILL

4 SIDELITE SILL



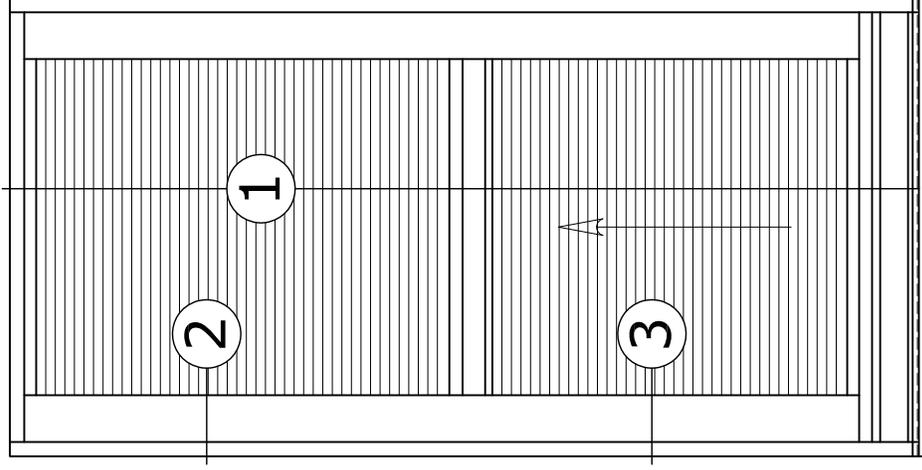
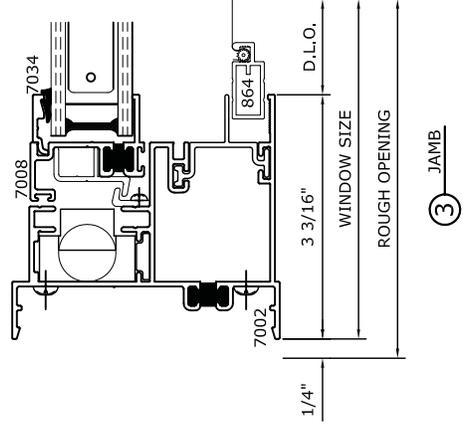
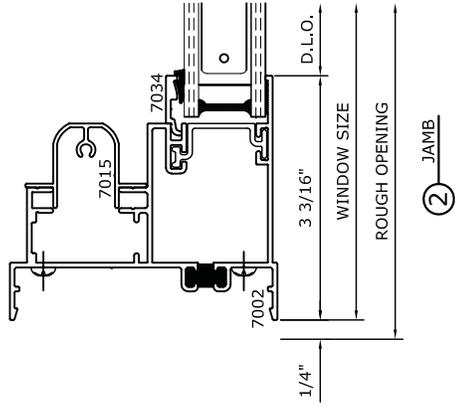
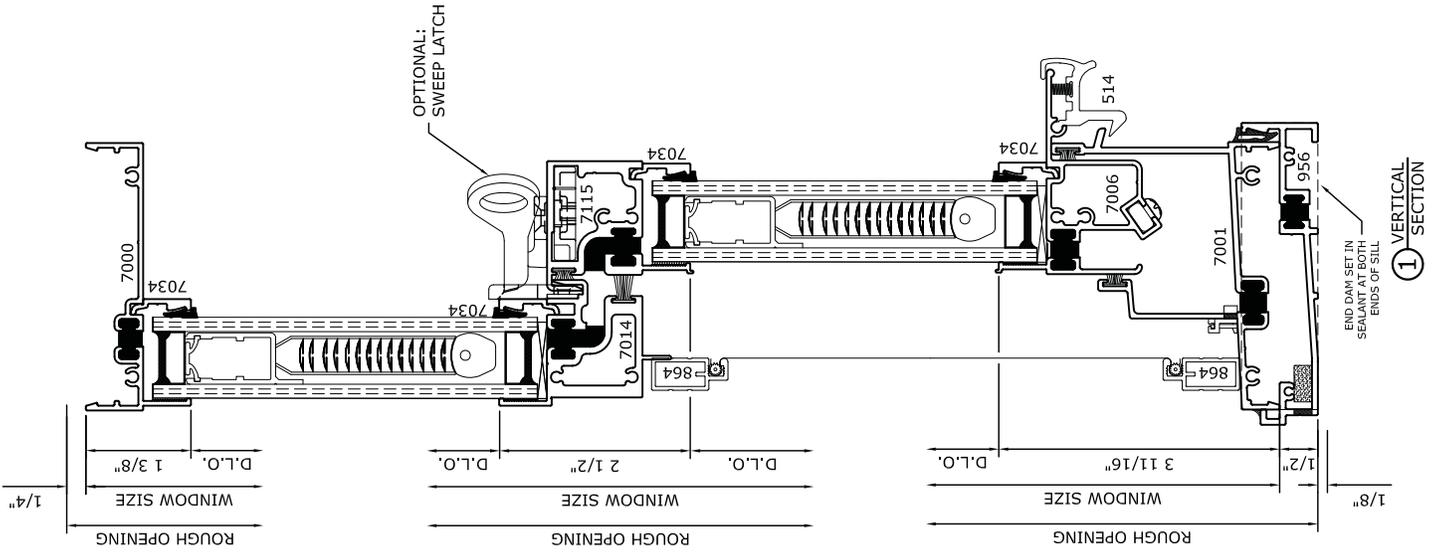


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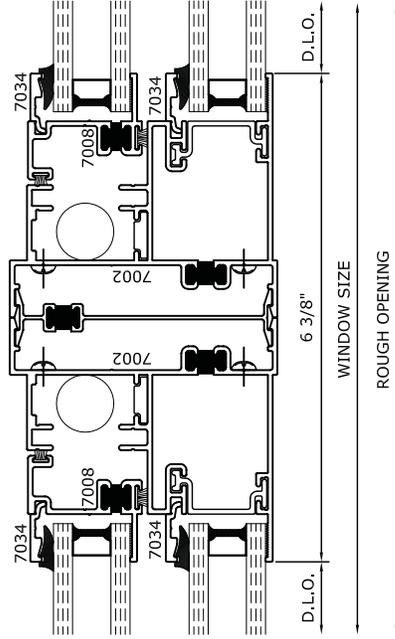
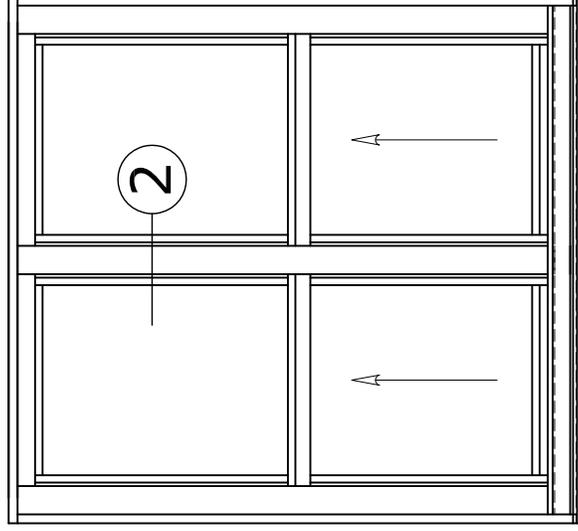


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GLAZED INSULATED GLASS BLIND





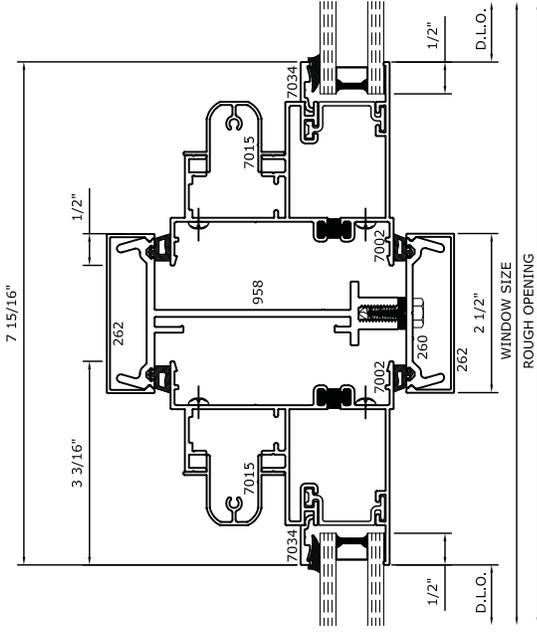
7035 SINGLE HUNG
SELF MULLING STACK



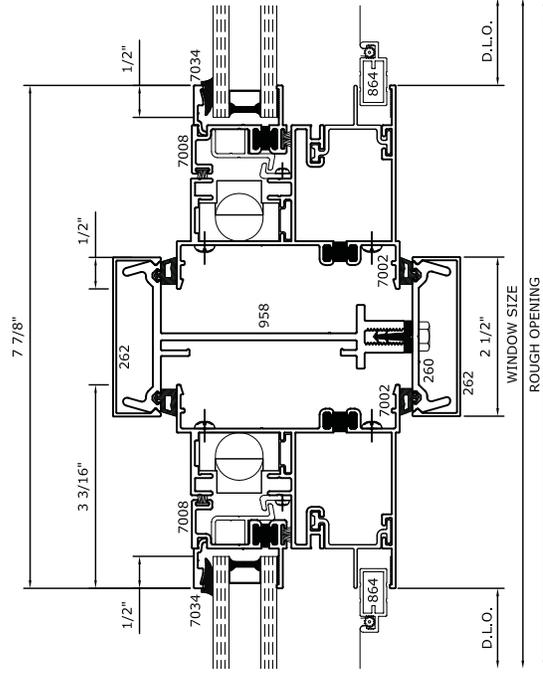
① VERTICAL SECTION



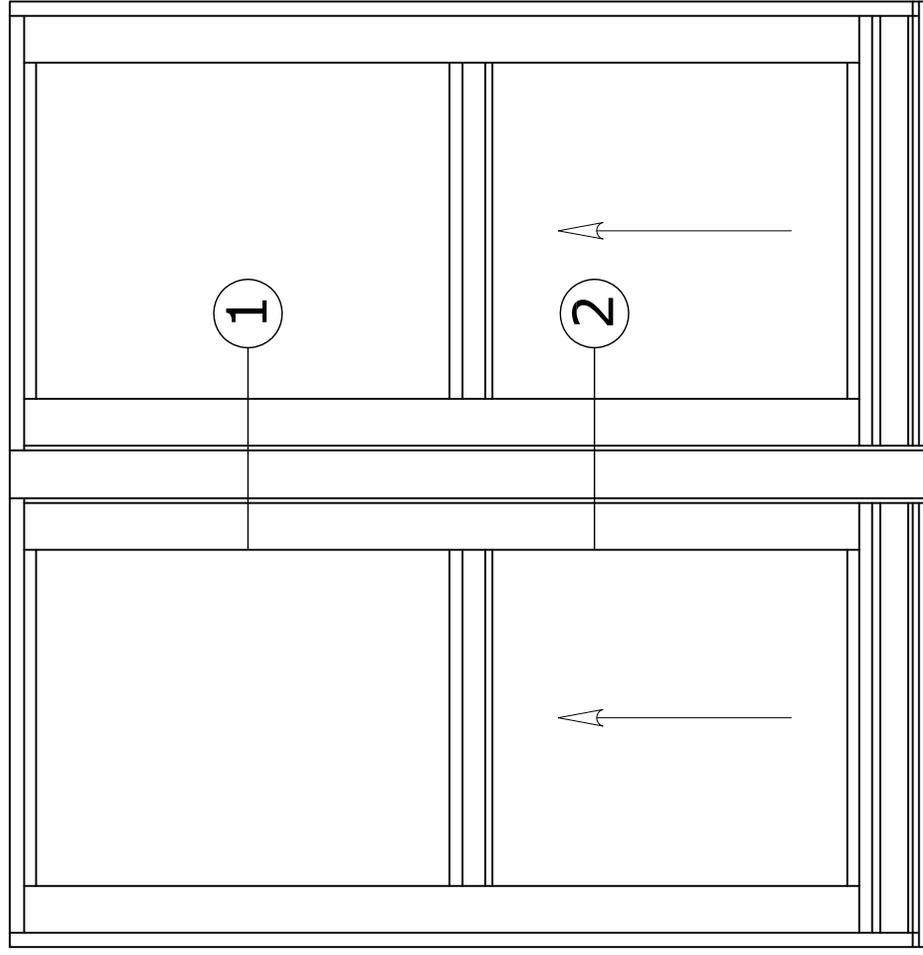
7035 SINGLE HUNG T-MULLION



① T-MULLION

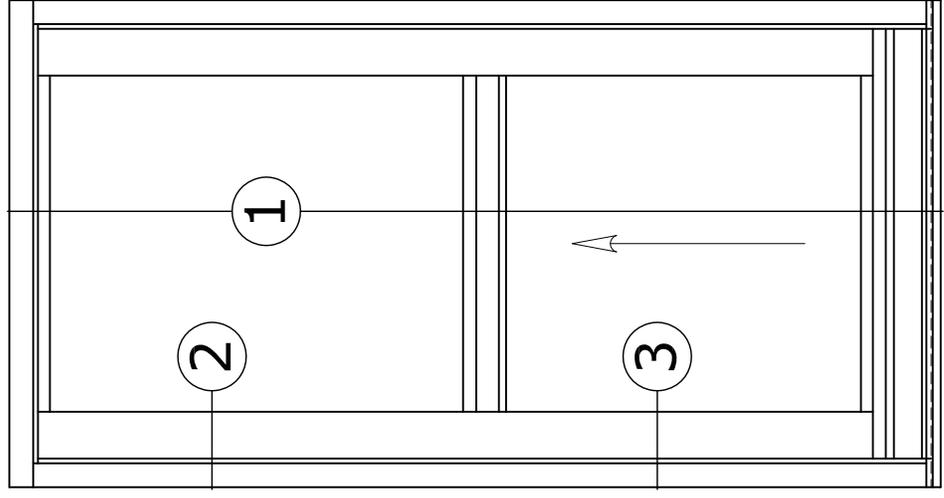
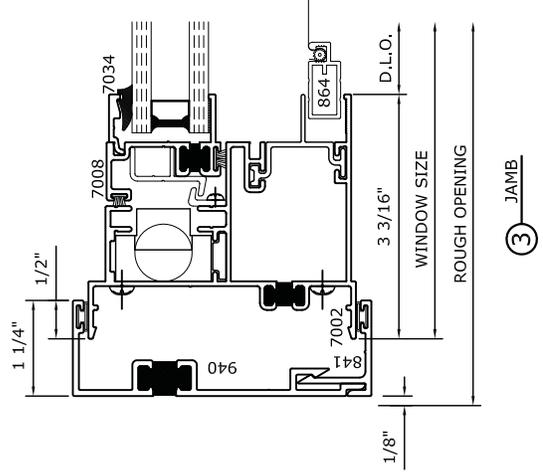
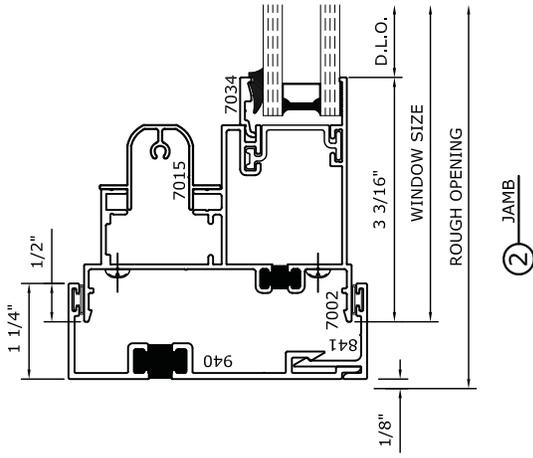
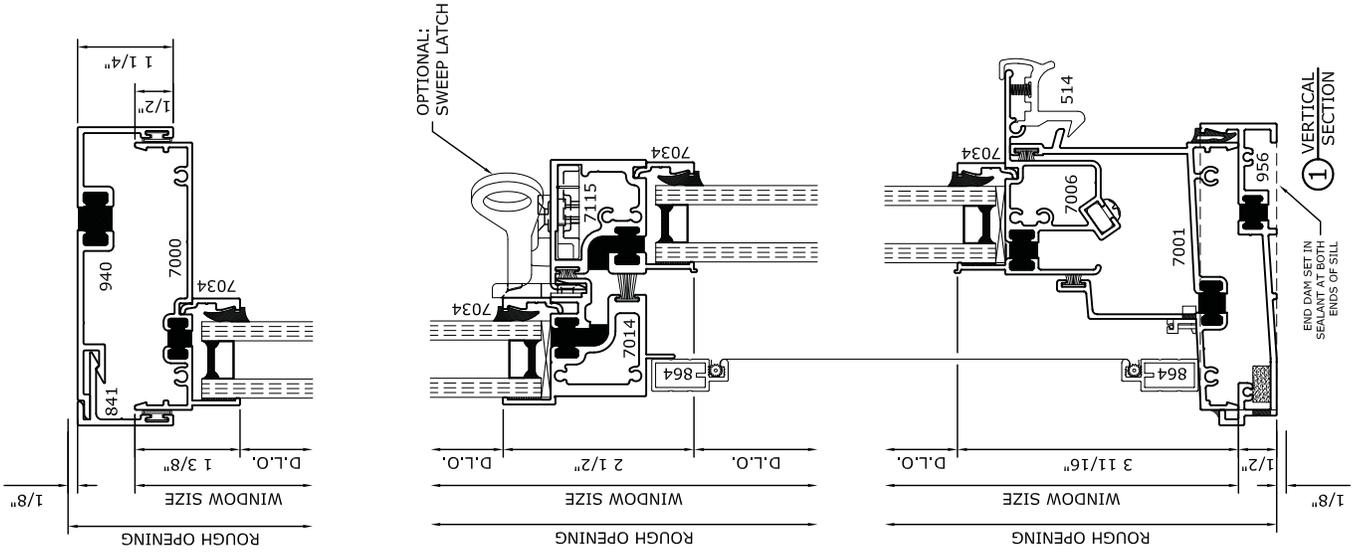


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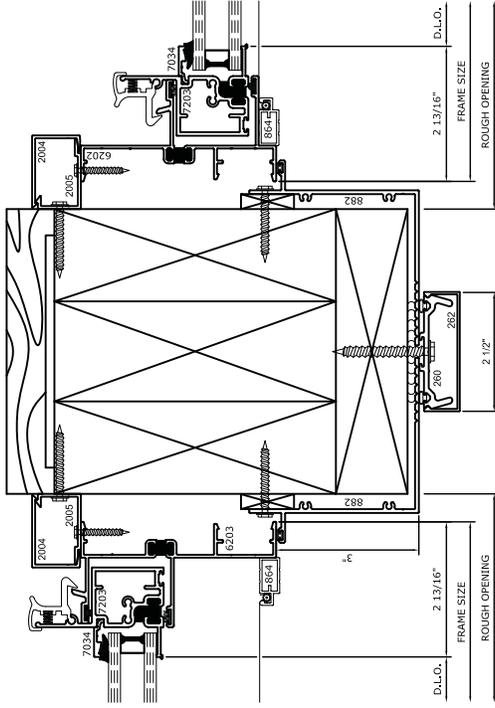


7035 SINGLE HUNG WITH RECEPTOR

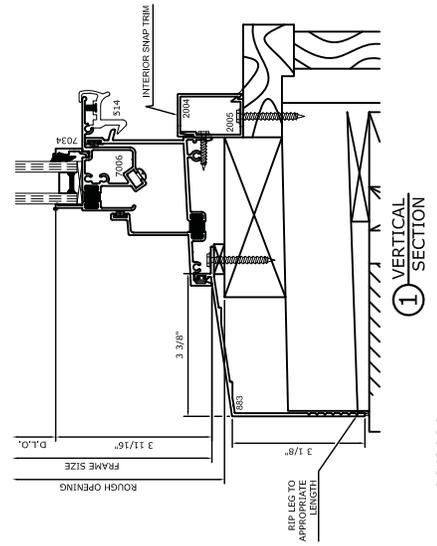
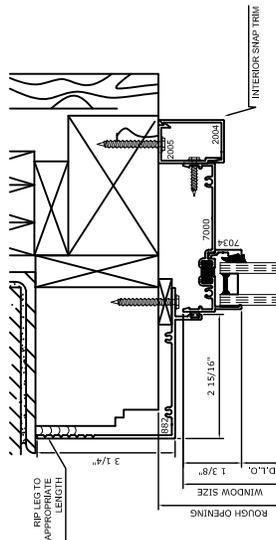




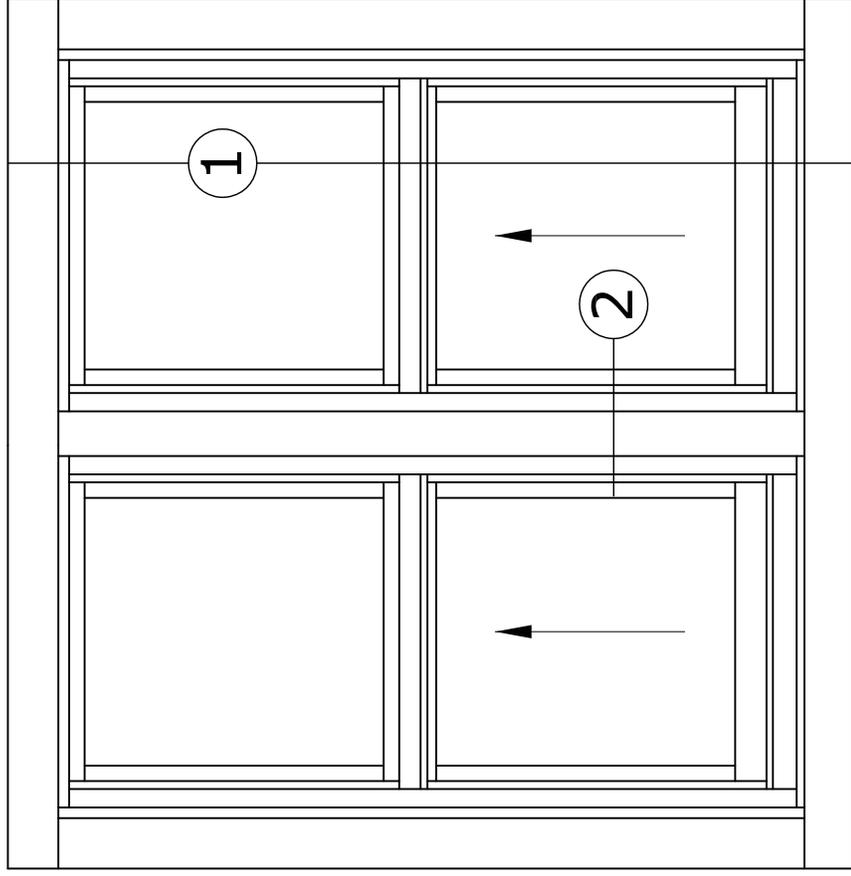
7035 SINGLE HUNG WITH PANNING



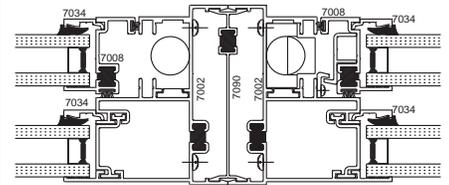
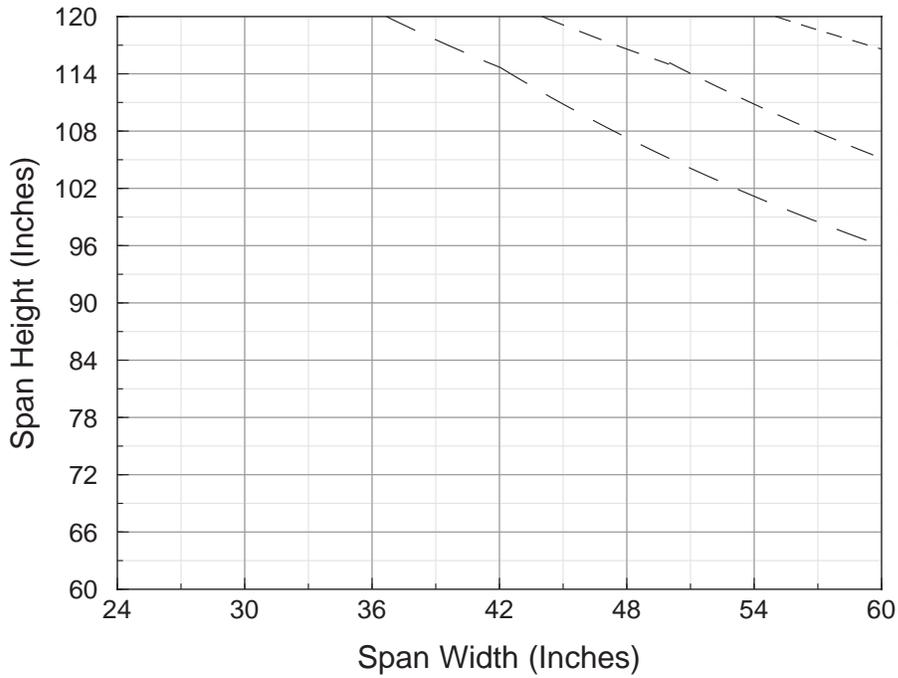
② HORIZONTAL SECTION



① VERTICAL SECTION

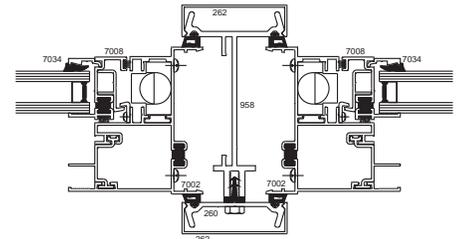
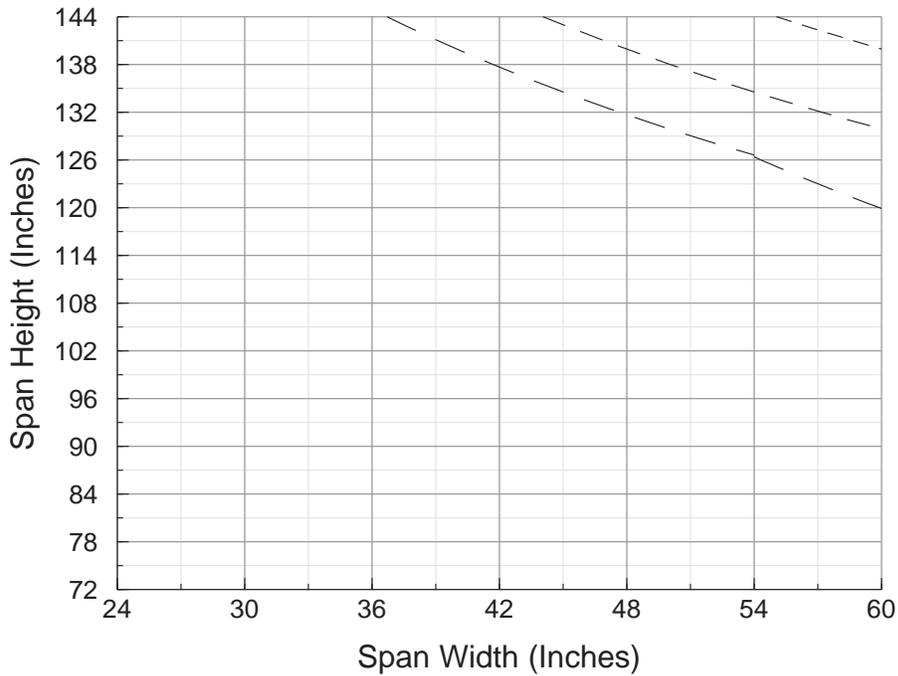


Windload Chart for #7002/7090/7002(T5 Temper)



- - - 20 PSF
- - - 25 PSF
- - - 30 PSF

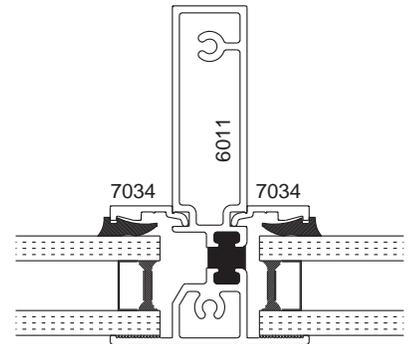
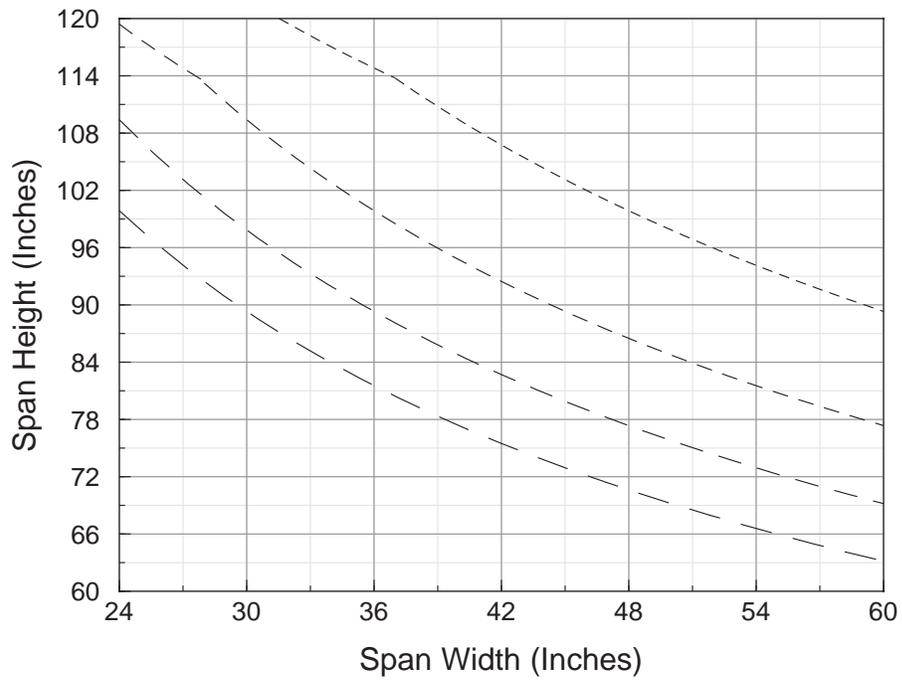
Windload Chart for #7002/958/7002 (T5 Temper)



- - - 20 PSF
- - - 25 PSF
- - - 30 PSF

Deflections for both charts are based on L/175 for span heights below 13'6"

Windload Chart for #6011 (T5 Temper)



- - - - 15 PSF
- - - - 20 PSF
- - - - 25 PSF
- - - - 30 PSF

Deflections based on L/175 for span heights below 13'6"



STOREFRONT FRAMING

ALUMINUM FLUSH GLAZED STOREFRONT

450 series 13/4" x 4 1/2" Non Thermal | 1450 series 2" x 4 1/2" Non Thermal
2450 series 2" x 4 1/2" Center Glazed Thermal | 2450 FS series 2" x 4 1/2" Front Glazed Thermal
2650 series 2" x 6 1/2" Offset Glazed Thermal | 5450i series 2 1/4" x 4 1/2" Center Glazed Isobar

Manko's flush glazed storefront systems can accommodate a wide variety of design applications including entrance door framing, entrance sidelites, horizontal punched opening, and mullions for ribbon windows. Need ventilation? No problem. Insert an 800 or 1100 series projected vent. Flush glazed storefronts are part of a lineal program designed for installers to fabricate their own openings to reduce lead times and meet construction schedules. These systems are dry glazed and internally weeped. If you are designing a low cost framing system that requires a fast installation schedule, then storefront framing will answer the call.

FEATURES

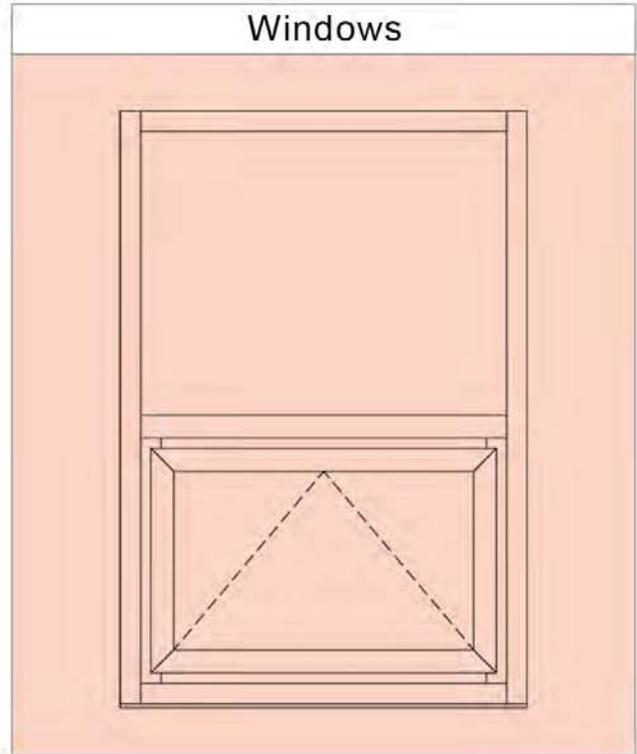
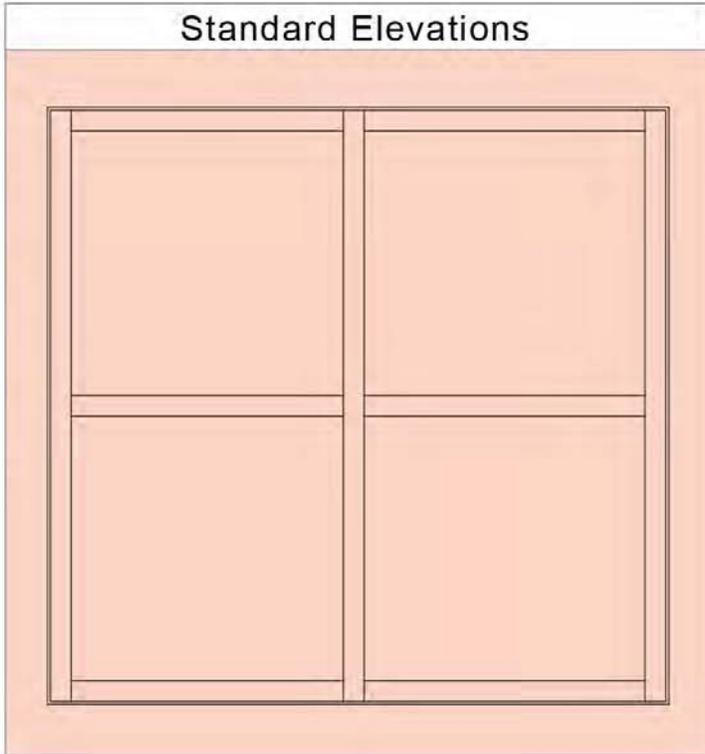
- Structurally tested per ANSI/AAMA 101
- 1 3/4" to 2 1/4" sightlines
- 4 1/2" and 6 1/2" frame depths
- Screw spline construction
- EPDM gaskets provide dry glazing
- 6063-T5 or 6063-T6 aluminum alloy
- .078" wall thickness
- Integral framing accommodates storefront doors installed in system
- Optional 90 corner mullions
- Window vent options provide ventilation
- 1/4" to 1 1/8" glazing infills
- Sill starter and head receptor options
- Vertical expansion joint mullions
- "Azo-braided" thermal barrier
- Full range of anodized finishes
- Full range of architectural painted finishes
- Spandrel and composite glazing panels
- Dual glazing integral blinds
- Inside or outside glazing
- Multi-plane glazing
- Pivoting mullions

800 Hayes Drive
Manhattan, KS 66502
Phone: (800) 642.1488
Fax: (800) 576.2656



11000 East 51st Ave., Suite B
Denver, CO 80239
Phone: (888) 642.1488
Fax: (303) 375.0669

Please visit:
www.mankowindows.com
for more information



Please visit: www.mankowindows.com for DWG and PDF detail cuts

AAMA PERFORMANCE RESULTS				
	Air Infiltration	Minimum Water Resistance	Uniform Structural Load	CRF
450 Series	N/T	N/T	N/T	N/T
1450 Series	.06 CFM	12 PSF*	60 PSF	N/T
2450 Series	.06 CFM	12 PSF*	60 PSF	61
2450FS Series	.06 CFM	12 PSF*	60 PSF	61
2650 Series	.06 CFM	12 PSF*	60 PSF	62
5450i Series	.06 CFM	12 PSF*	60 PSF	63
Window Vents				
800 Series	.1 CFM	12 PSF	120 PSF	57
1100 Series	.1 CFM	10 PSF	120 PSF	52

* = high performance subsill

N/T = Not Tested

Minimum Gateway performance values listed. All testing met or exceeded listed values. Consult factory for actual test results obtained and certified test reports.

GLAZING OPTIONS				
	1/4"	3/8"	1"	1 1/8"
450 Series	S	O		
1450 Series	O	O	S	O*
2450 Series	O	O	S	O*
2450FS Series	O	O	S	O*
2650 Series	O	O	S	O*
5450i Series	O	O	S	O*

S = Standard hardware

O = Optional hardware

* = Glazing options include hermetically sealed integral blinds, swing sash blinds and take out sash blinds

WINDOW HARDWARE									
	4 Bar Hinge	Butt Hinge	Friction Adjuster	Key Release Limit Arm	Single Arm Roto Operator	Cam Handle	Pole Ring Cam	Access Controlled Lock	Lift Lock
800 PO / PI Vent	S		O	O		S	O	O	
800 Casement		S	O	O	S	O		O	S
1100 PO Vent	S		O	O	S*	S	O	O	
1100 Casement		S	O	O	S*	O		O	S

* = size limitations apply

S = Standard hardware O = Optional hardware

Locking cam handles, access controlled locks, and keepers are of cast white bronze with US26D finish. Four-bar hinges are fabricated of stainless steel, meeting AAMA 904.1 requirements. Butt hinges are made of extruded aluminum 6063-T5 or 6063-T6 alloy with stainless steel pins.

2450 Series 2" x 4 1/2" Flush Glazed Storefront



**MANKO WINDOW SYSTEMS, INC.
800 HAYES DRIVE
MANHATTAN, KANSAS 66502
PHONE: (800) 642-1488 (785) 776-9643
FAX: (800) 576-2656 (785) 776-9644**

**MANKO WINDOW SYSTEMS, INC.
11000 EAST 51ST AVE. SUITE B
DENVER, COLORADO 80239
PHONE: (888) 642-1488 (303) 375-0642
FAX: (888) 576-2656 (303) 375-0669**



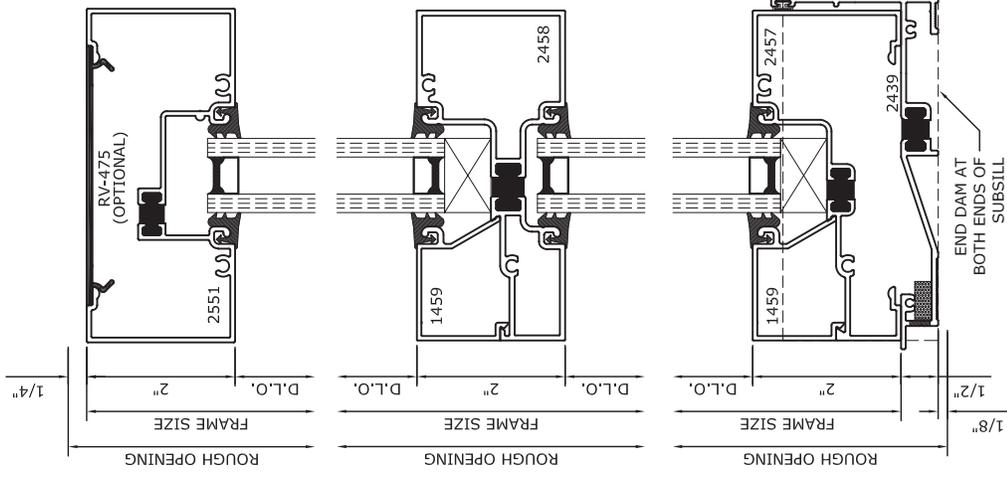
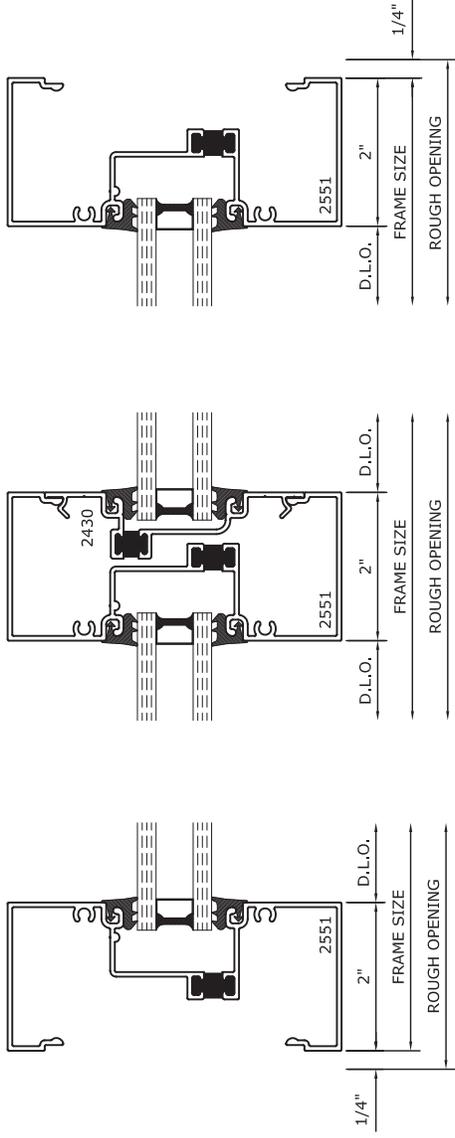
2450 Series
2" x 4 1/2" Flush Glazed Storefront

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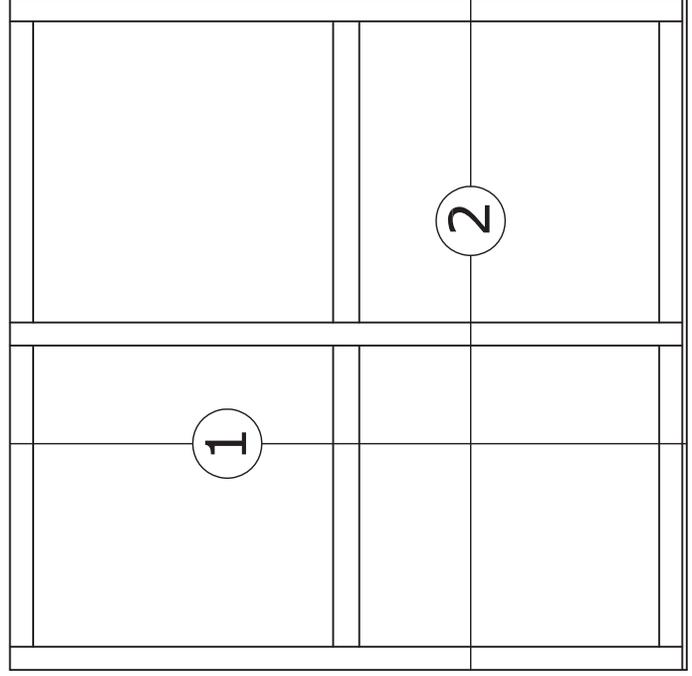
• OUTSIDE GLAZED ELEVATIONS	1
• OPTIONAL FRAMING	2-5
• 45 DEGREE CORNERS	6
• 90 DEGREE CORNERS	7
• ADJUSTABLE ANGLE MULLION	8
• HEAD RECEPTOR & SUBSILL	9
• HEAVY WALL VERTICAL	10
• 3-PIECE RADIUS MULLION	11
• APPLIED & INTERNAL GRIDS	12-13
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• 800 SERIES VENTS	16-17
• 1000 SERIES VENTS	18
• BLIND HINGE SASH	19
• BLIND TAKE-OUT SASH	20
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2450 STOREFRONT
 2" X 4 1/2" THERMALLY BROKEN



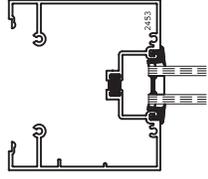
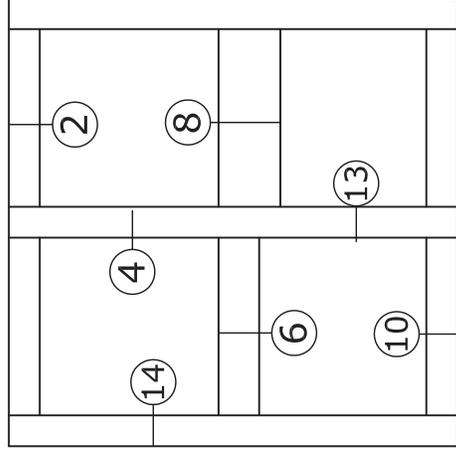
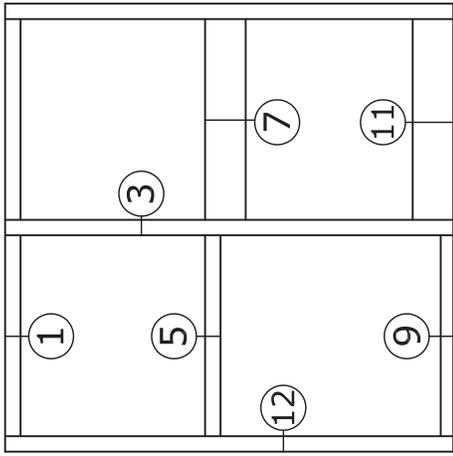
② HORIZONTAL SECTION



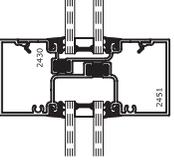
① VERTICAL SECTION



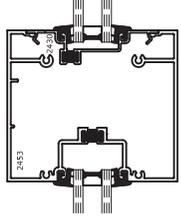
2450 STOREFRONT
OPTIONAL FRAMING



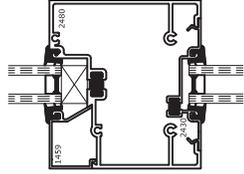
② 4" HEAD



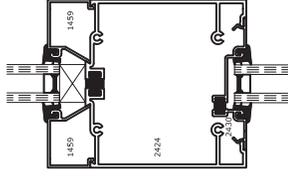
③ 2" VERTICAL



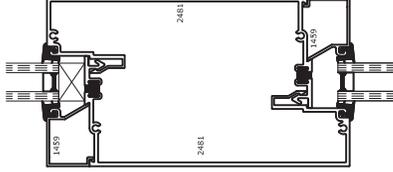
④ 4" VERTICAL



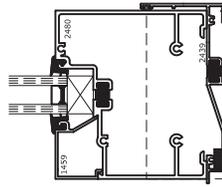
⑤ 2" HORIZONTAL



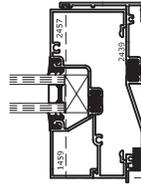
⑥ 4" HORIZONTAL



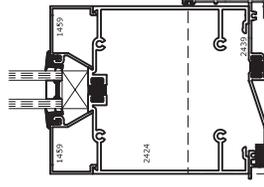
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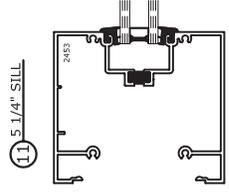
⑧ 8" HORIZONTAL



⑨ 2" SILL

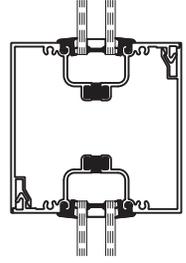


⑩ 4" SILL

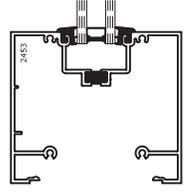


⑪ 5 1/4" SILL

⑫ 2" JAMB



⑬ 4 1/2" POST

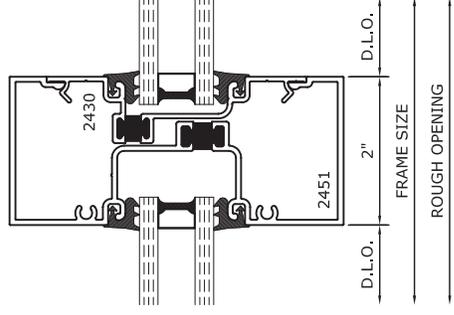
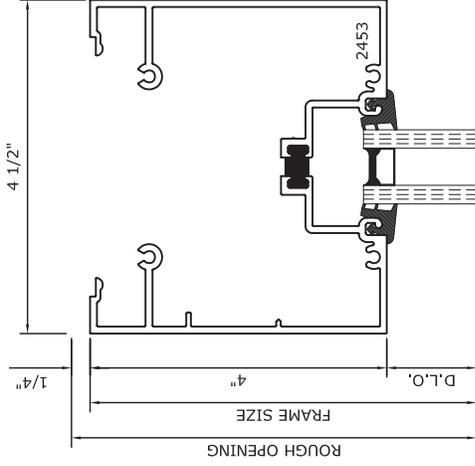
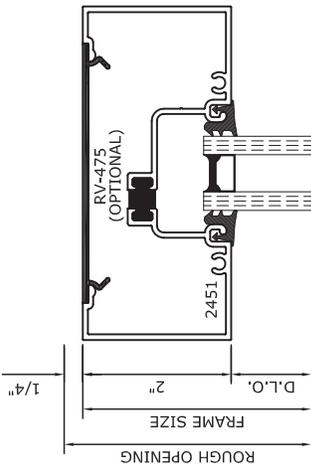


⑭ 4" JAMB

Note:
Refer to next page
for larger sections



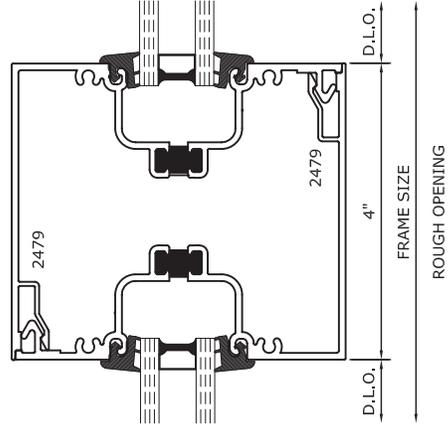
2450 STOREFRONT
OPTIONAL FRAMING



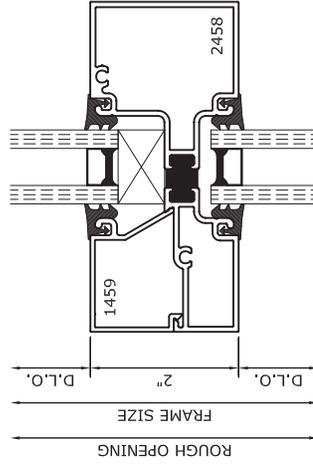
① 2" HEAD

② 4" HEAD

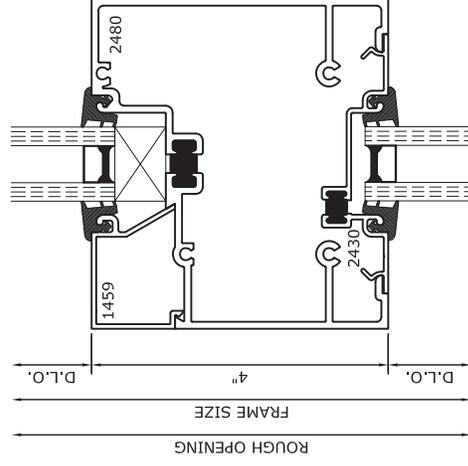
③ 2" VERTICAL



④ 4" VERTICAL



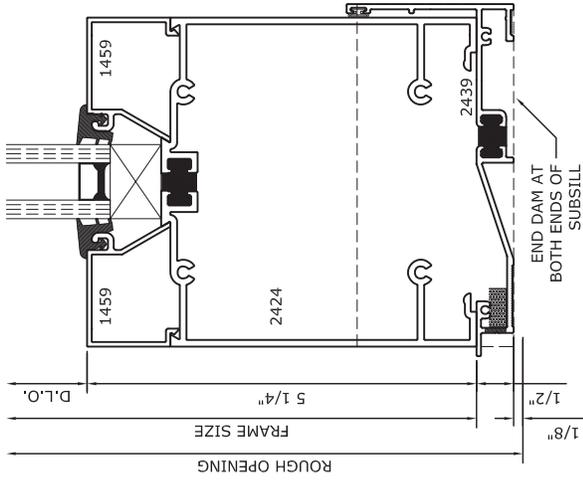
⑤ 2" HORIZONTAL



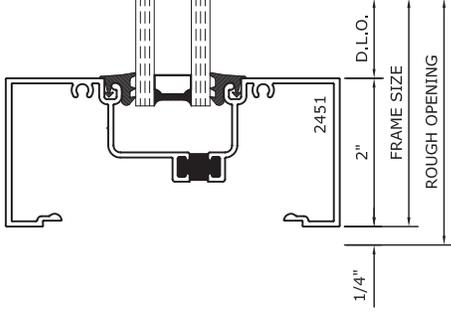
⑥ 4" HORIZONTAL



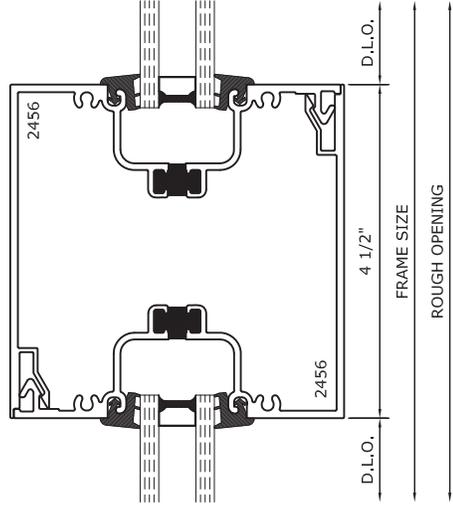
2450 STOREFRONT
OPTIONAL FRAMING



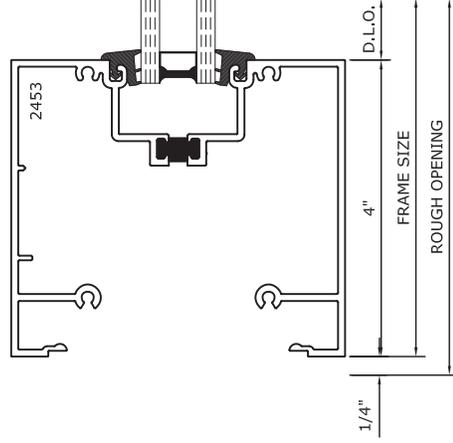
11 5 1/4" SILL



12 2" JAMB



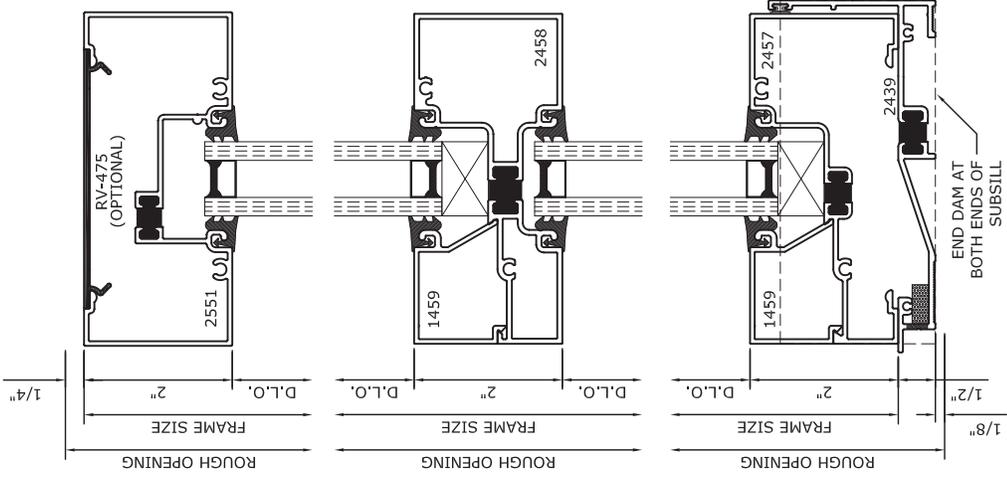
13 4 1/2" VERTICAL



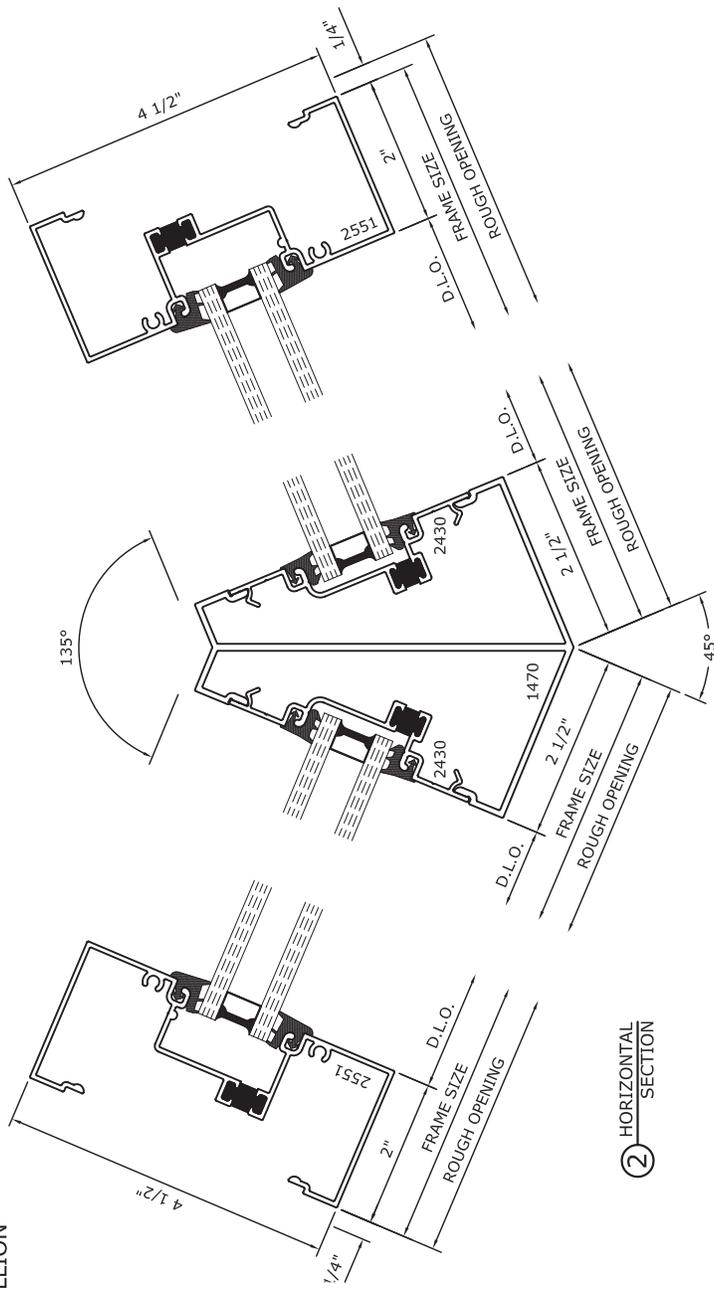
14 4" JAMB



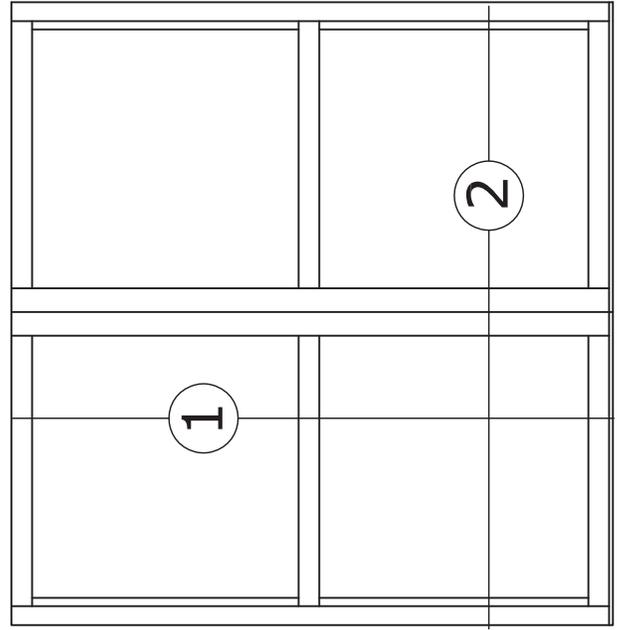
2450 STOREFRONT
45° MULLION



① VERTICAL SECTION

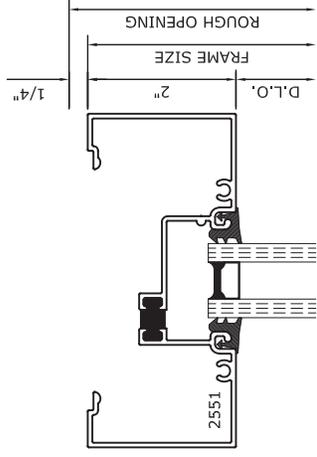
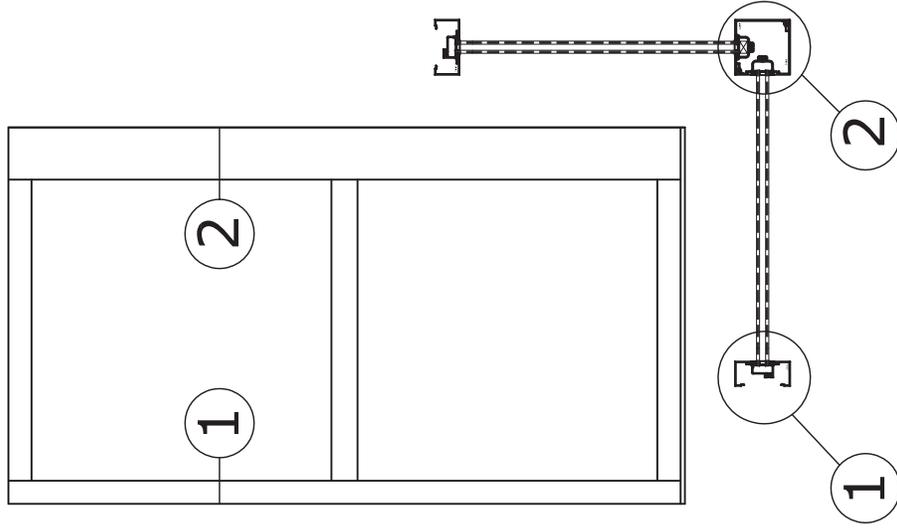


② HORIZONTAL SECTION

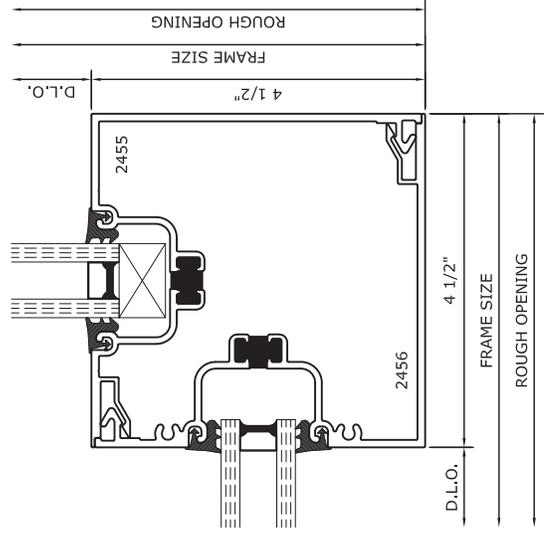




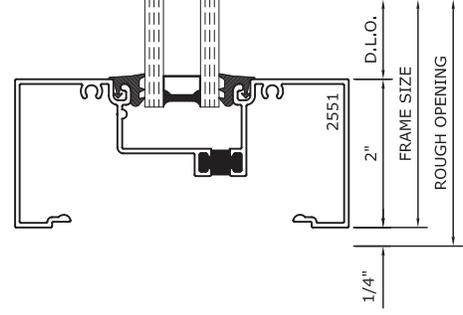
2450 STOREFRONT
4 1/2" CORNER POST



1 JAMB



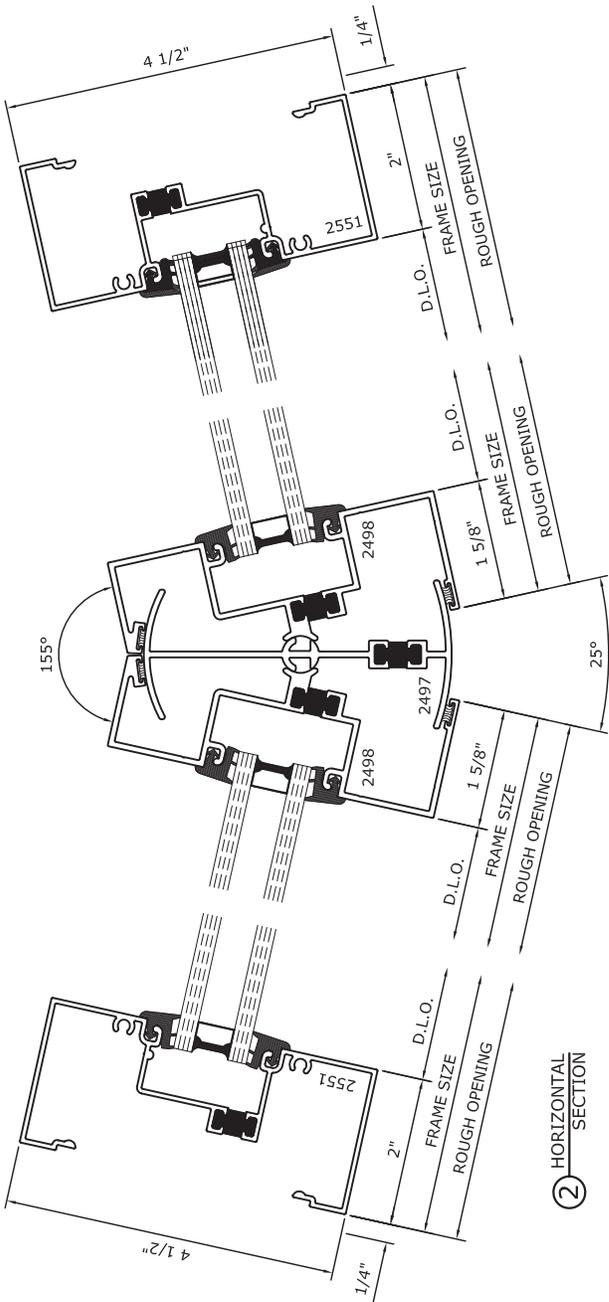
2 CORNER POST



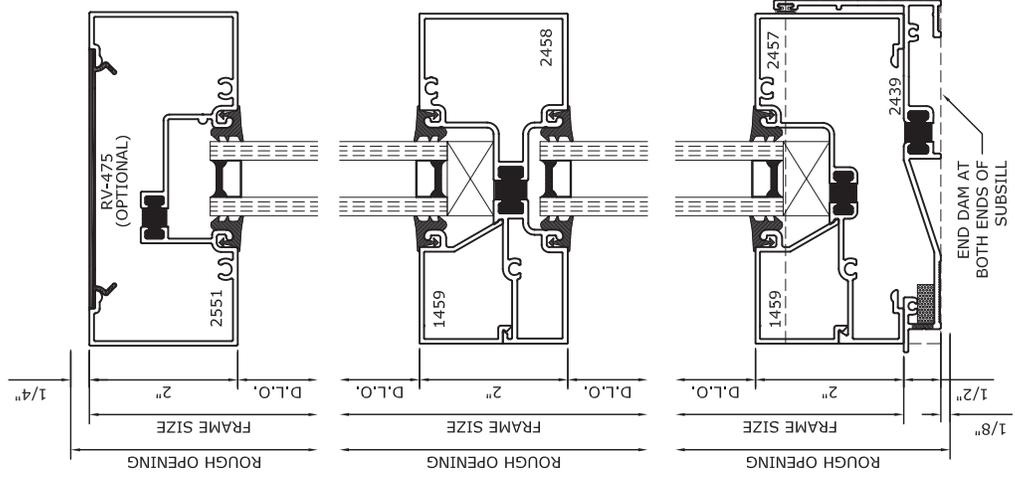
1 JAMB



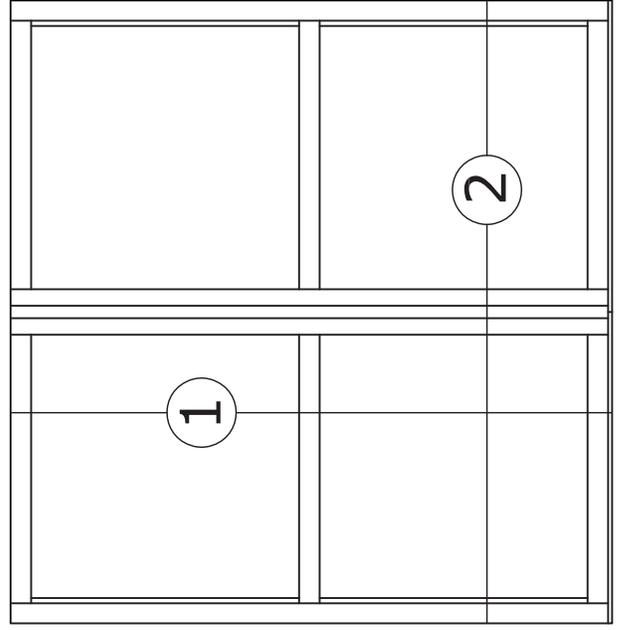
2450 STOREFRONT ADJUSTABLE ANGLE MULLION



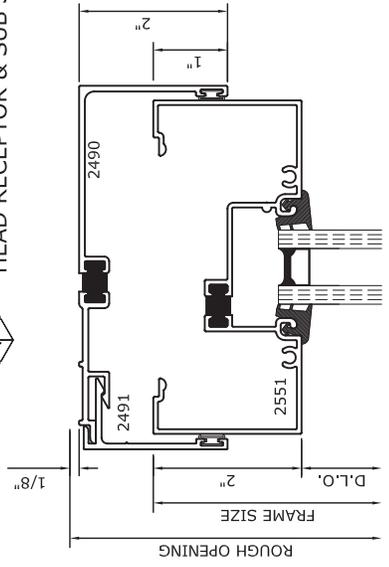
2 HORIZONTAL SECTION



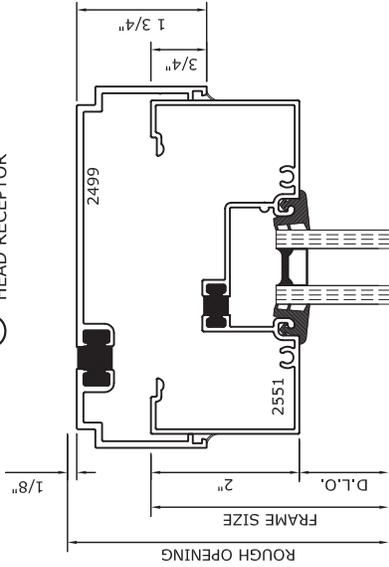
1 VERTICAL SECTION



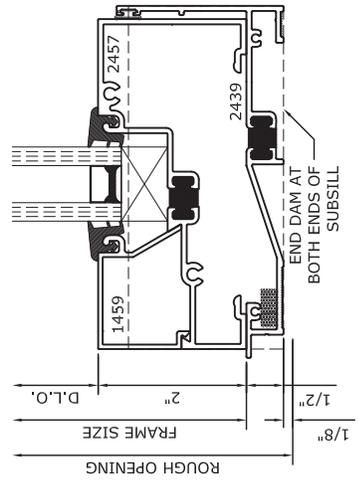
2450 STOREFRONT
HEAD RECEPTOR & SUB SILL



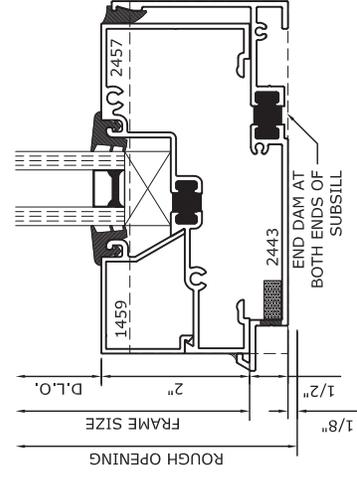
① TWO-PIECE HEAD RECEPTOR



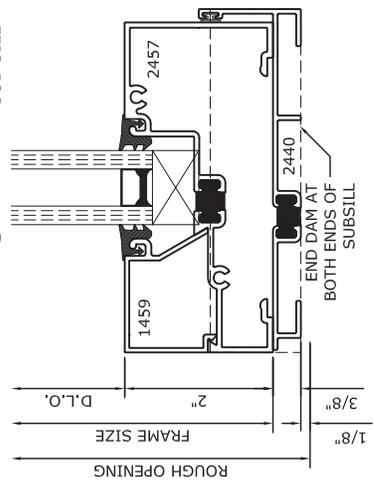
② ONE-PIECE HEAD RECEPTOR



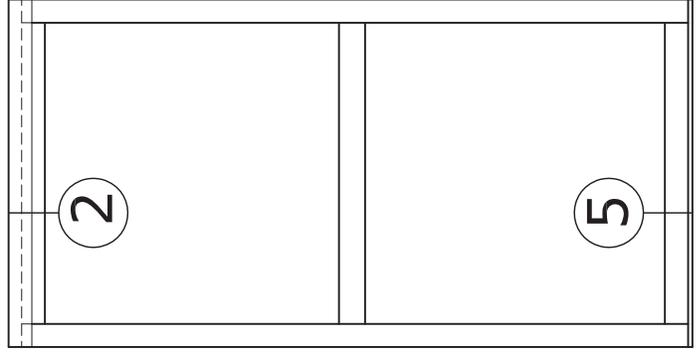
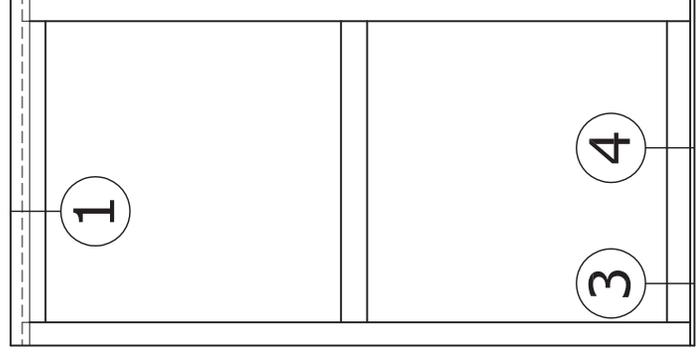
③ STANDARD SUB SILL



④ HIGH PERFORMANCE SUB SILL

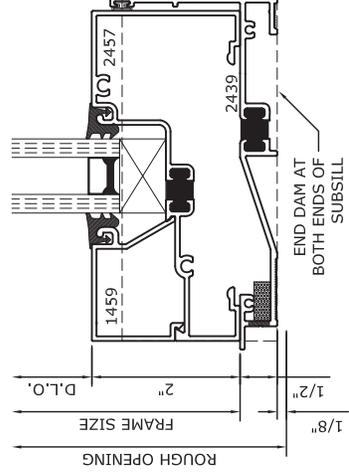
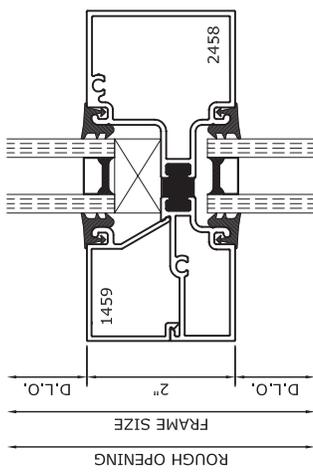
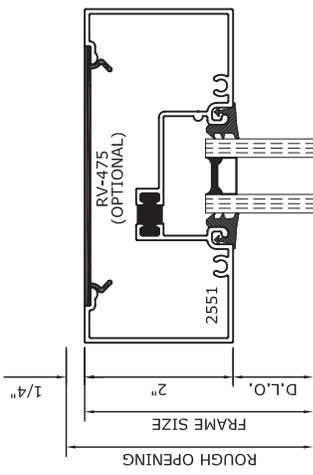
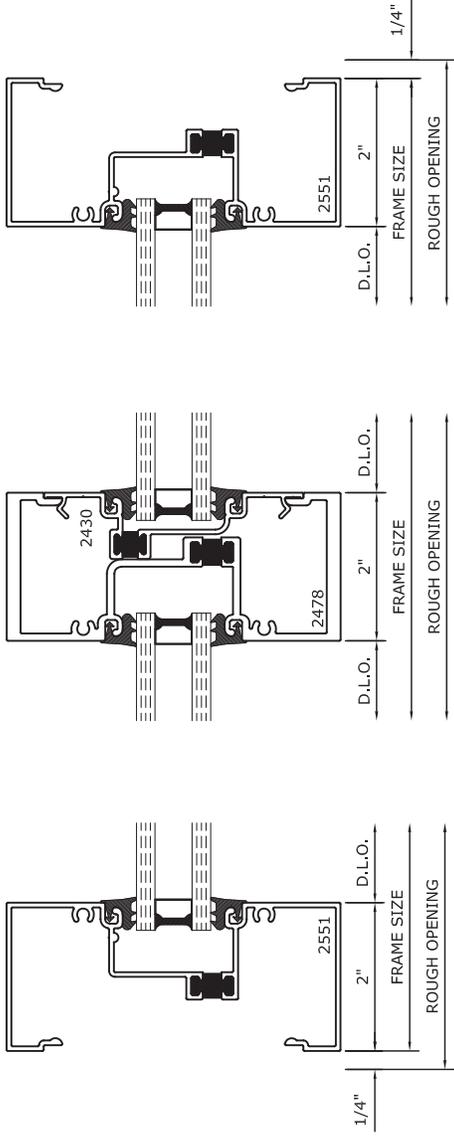


⑤ OPTIONAL SUB SILL

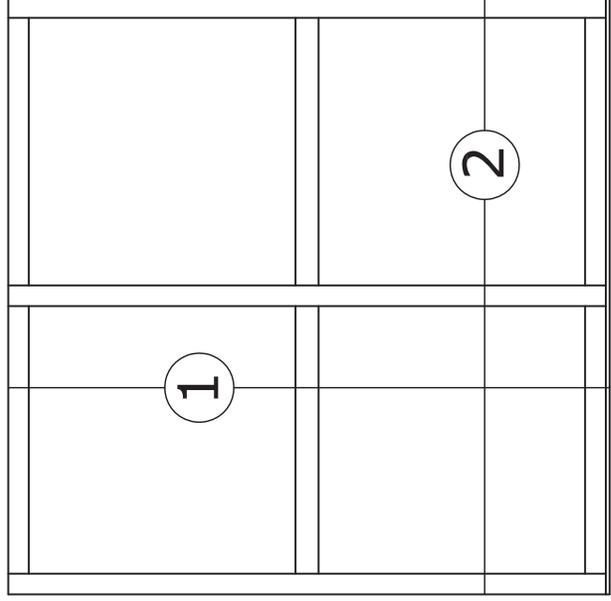




2450 STORE FRONT
HEAVY WALL VERTICAL



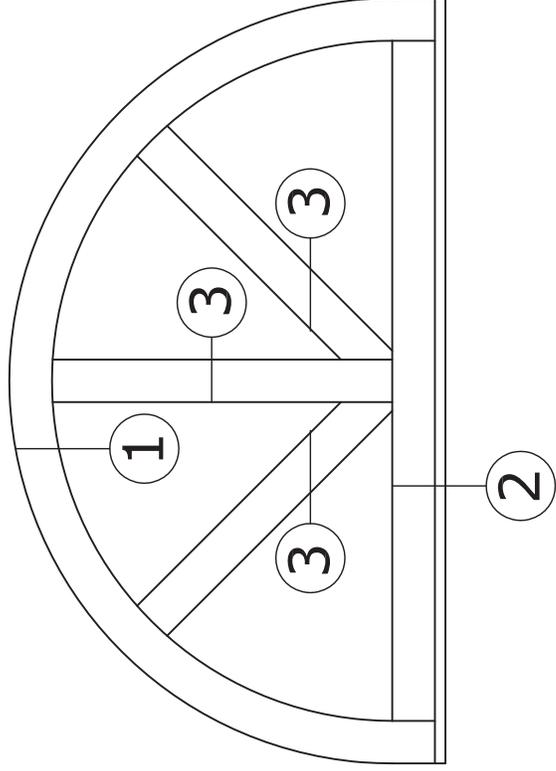
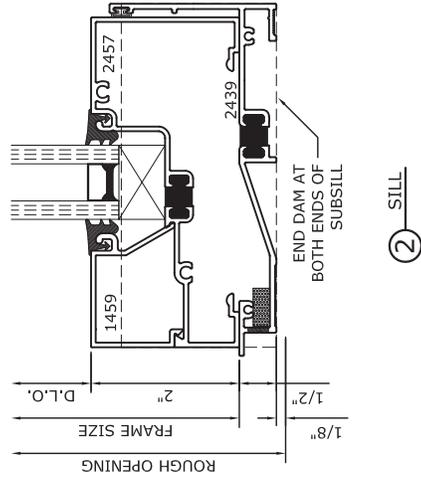
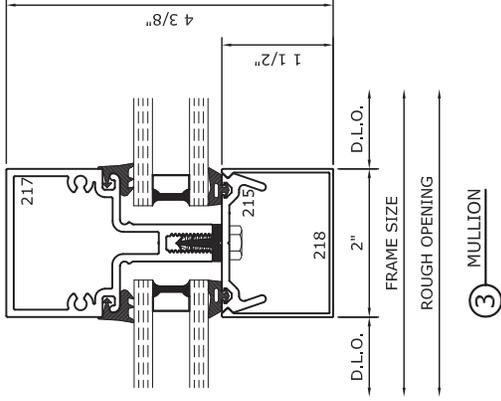
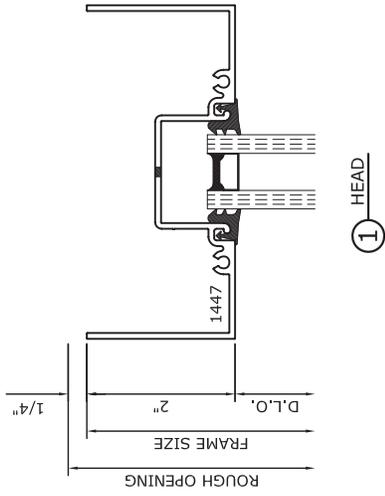
2 HORIZONTAL SECTION



1 VERTICAL SECTION

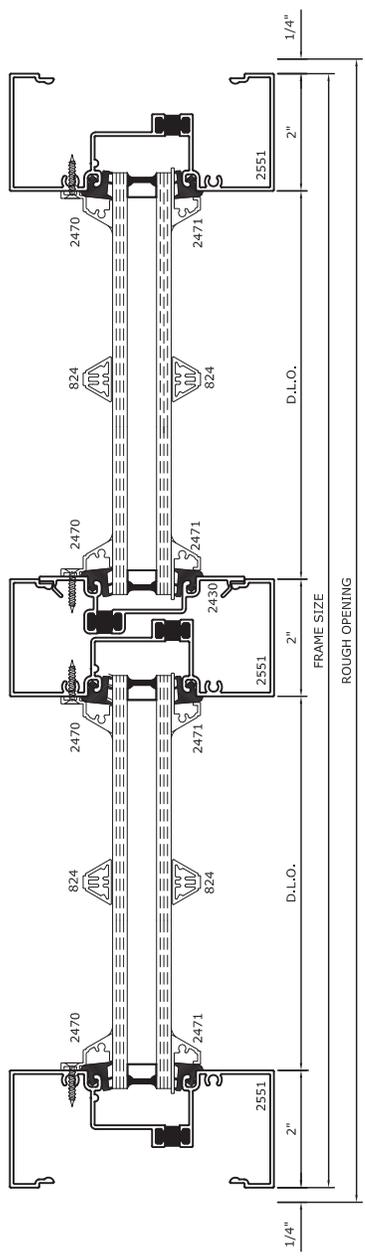
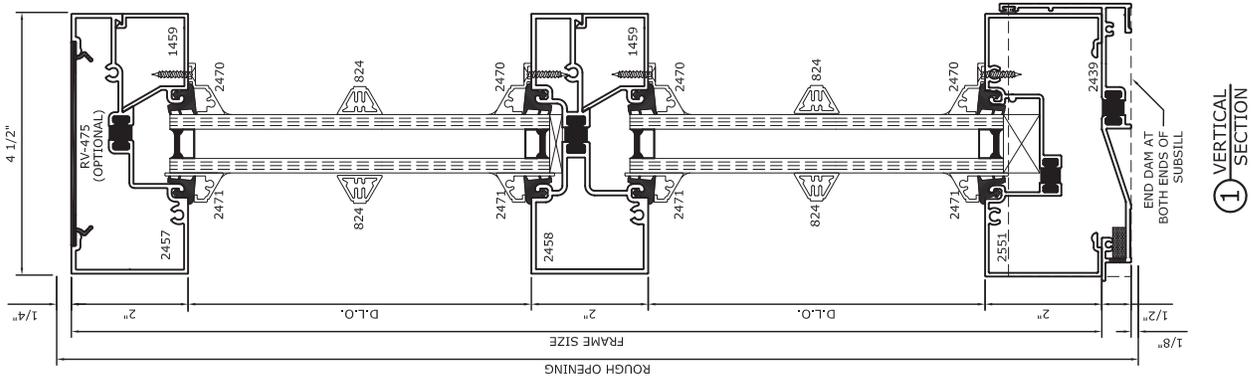


2450 STORE FRONT
RADIUS 3-PIECE MULLION

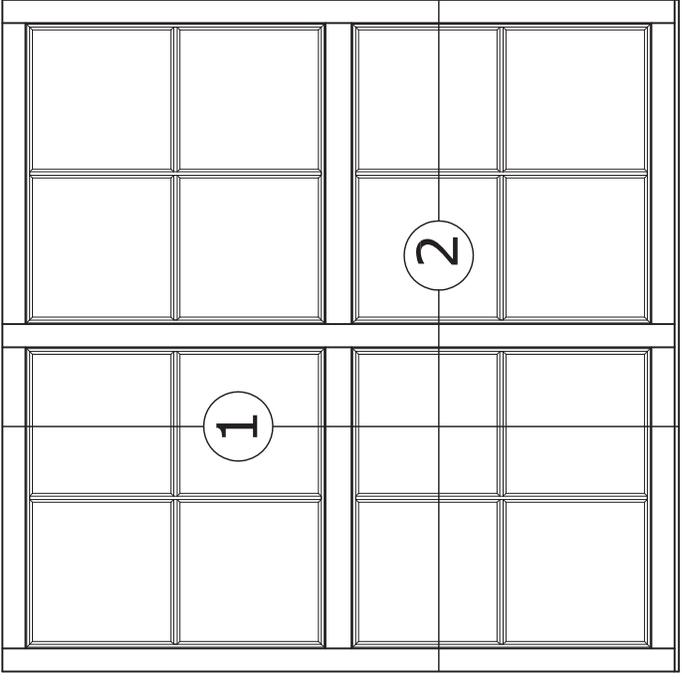




2450 STOREFRONT APPLIED GRIDS (INSIDE GLAZED ONLY)



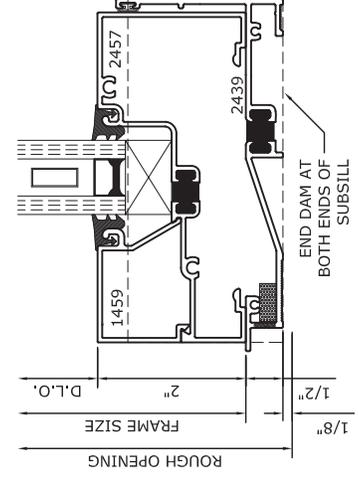
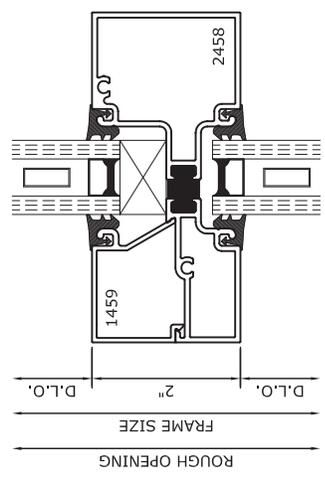
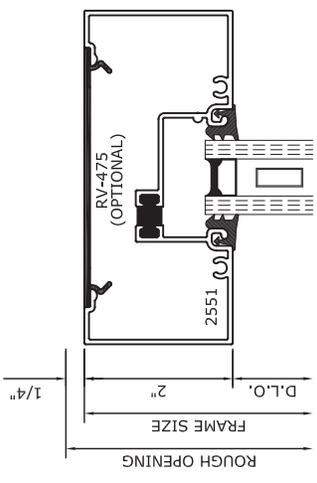
2 HORIZONTAL SECTION



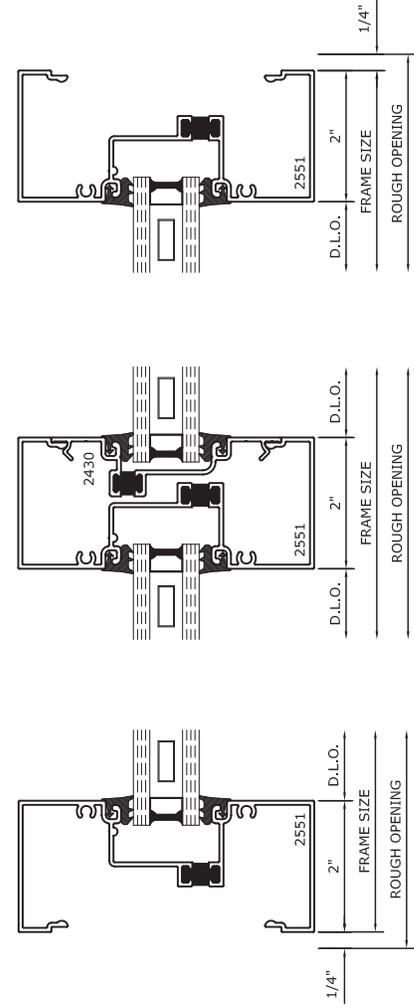
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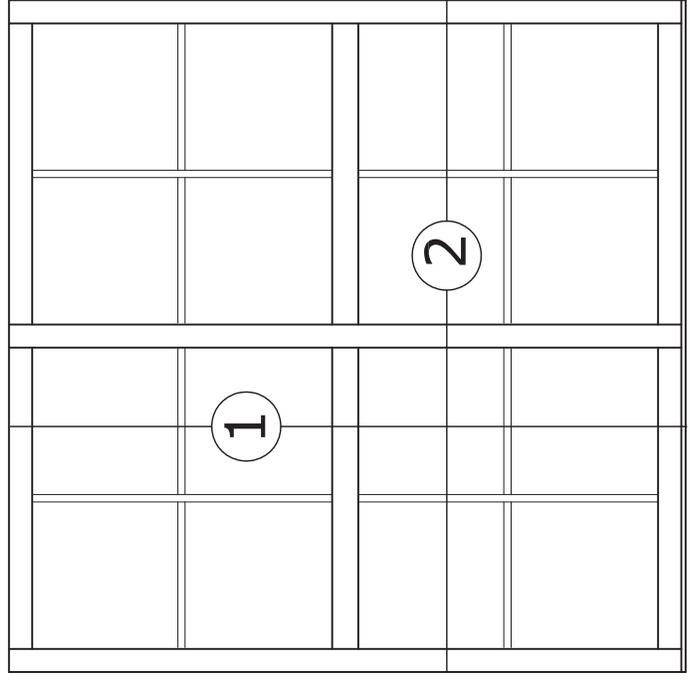
2450 STOREFRONT INTERNAL GRIDS



1 VERTICAL SECTION

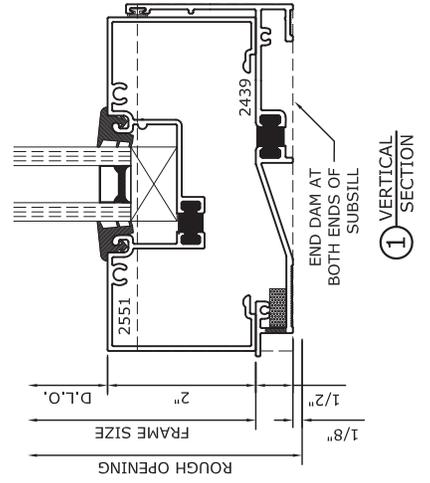
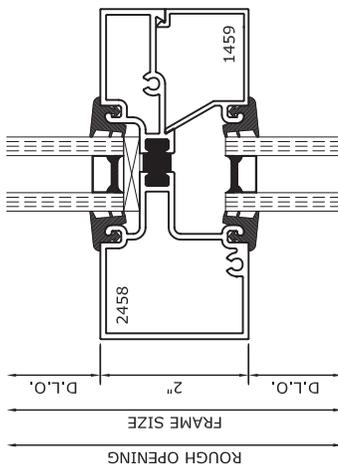
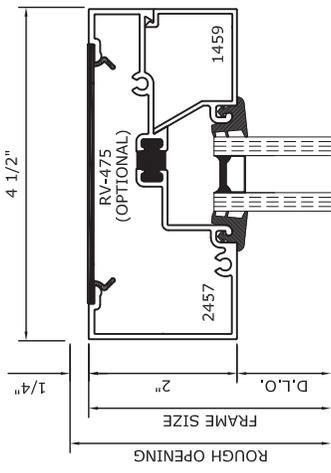
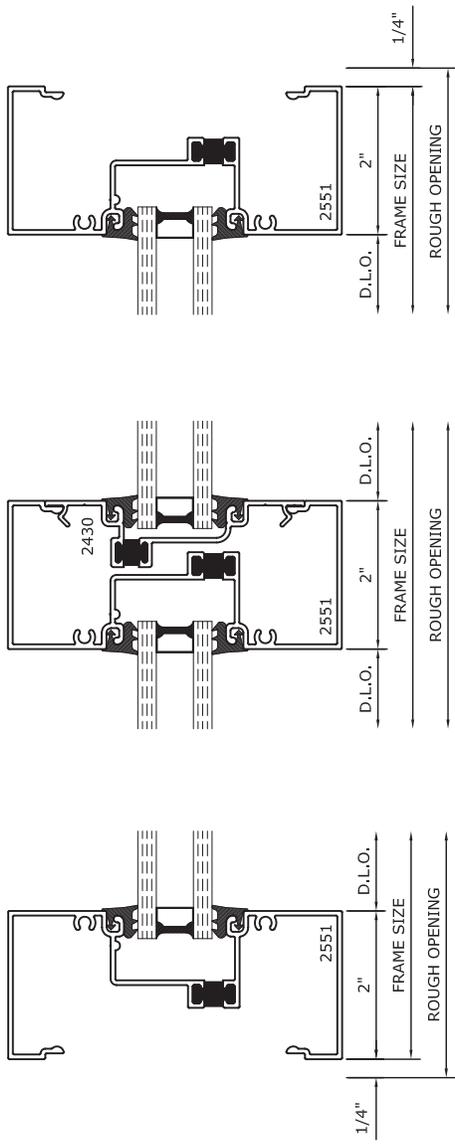


2 HORIZONTAL SECTION

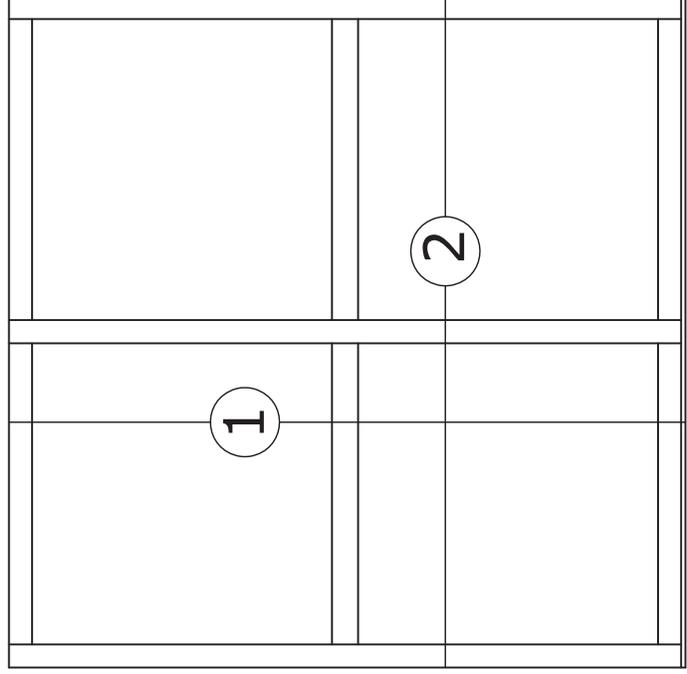




2450 STOREFRONT
INSIDE GLAZE



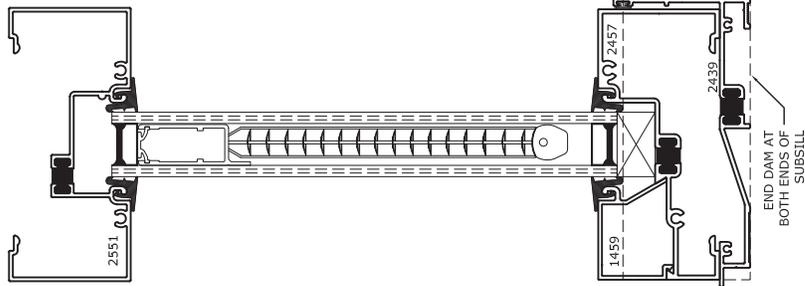
2 HORIZONTAL SECTION



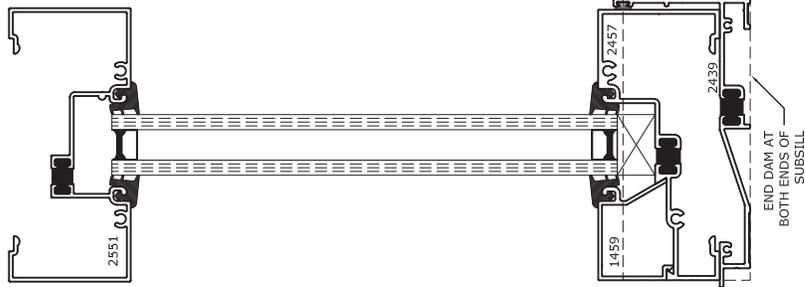
1 VERTICAL SECTION



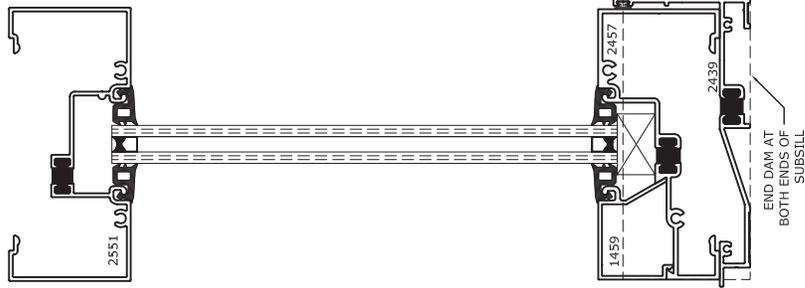
2450 STOREFRONT OPTIONAL GLAZING



① 1 1/8" GLAZING
R-101 RUBBER



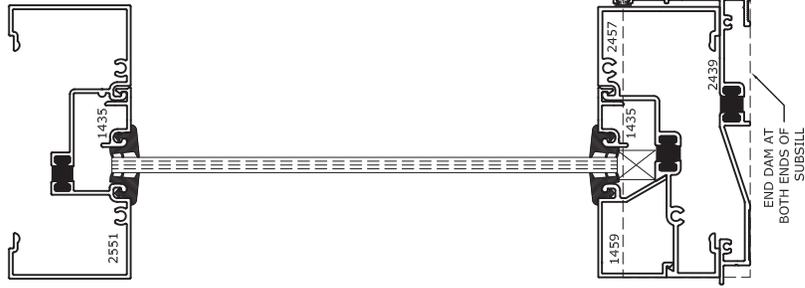
② 1" GLAZING
R-100 RUBBER



③ 5/8" GLAZING
R-103 RUBBER



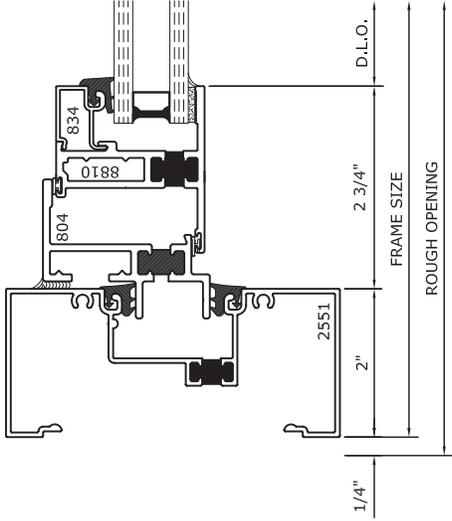
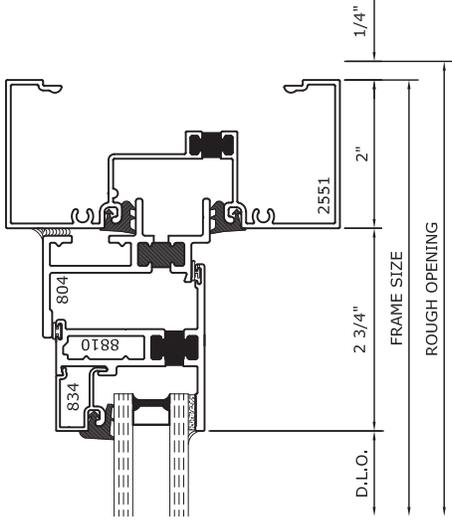
④ 1/2" GLAZING
R-102 RUBBER



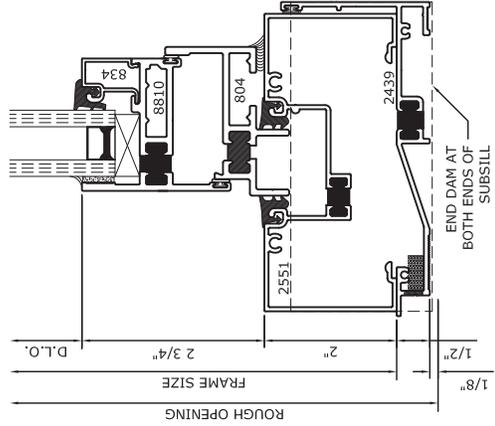
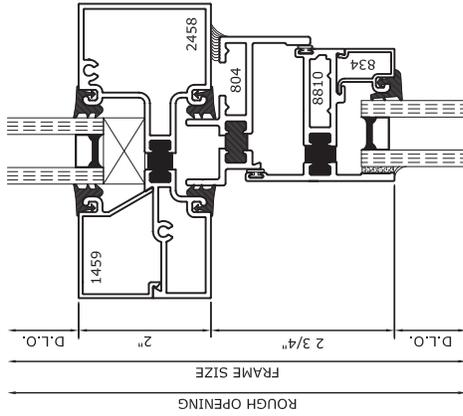
⑤ 1/4" GLAZING
R-100 RUBBER
W/ 1435 ADAPTER



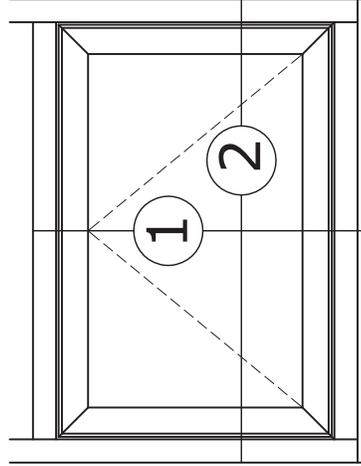
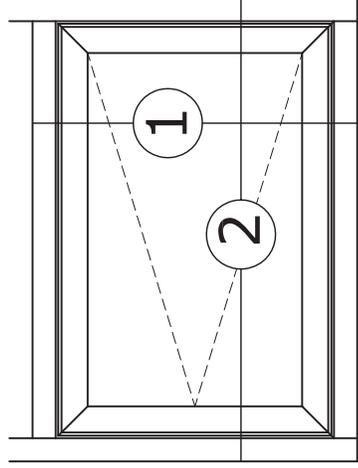
2450 STOREFRONT
800 PROJECT OUT/CASEMENT



② HORIZONTAL SECTION

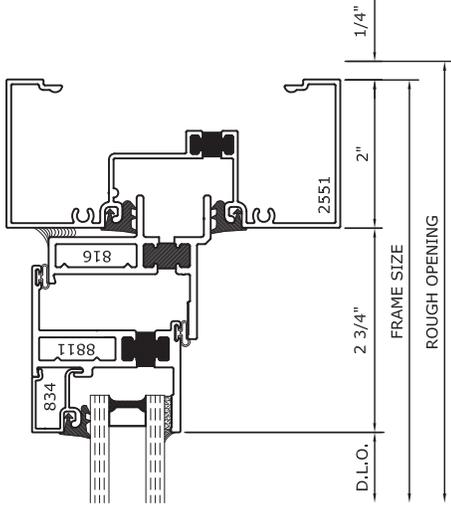
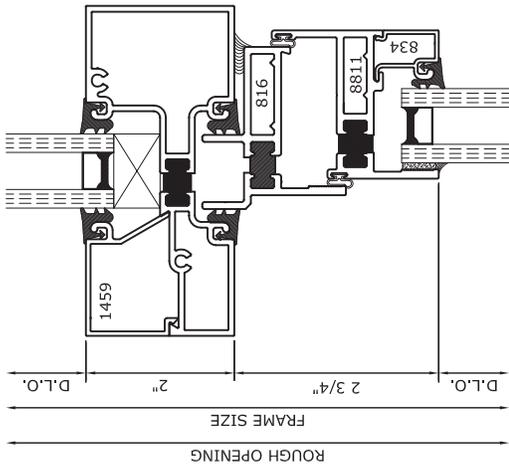


① VERTICAL SECTION

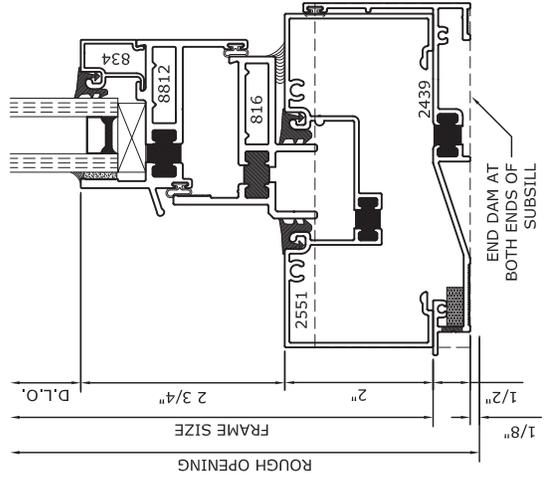




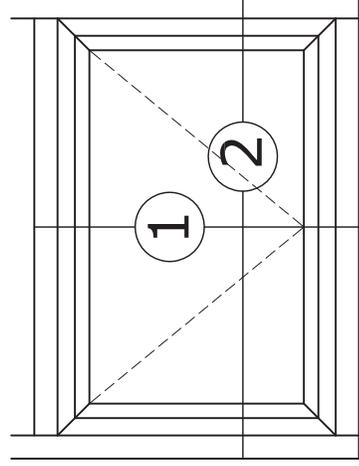
2450 STOREFRONT
800 PROJECT IN



② HORIZONTAL SECTION

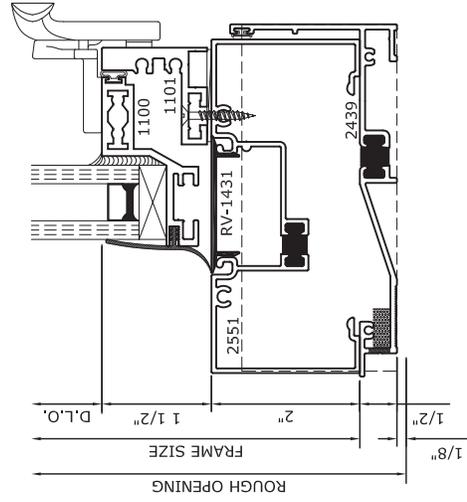
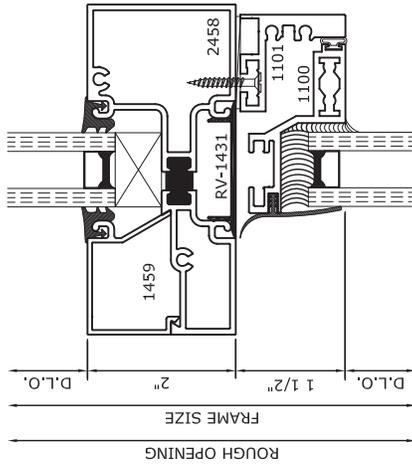


① VERTICAL SECTION

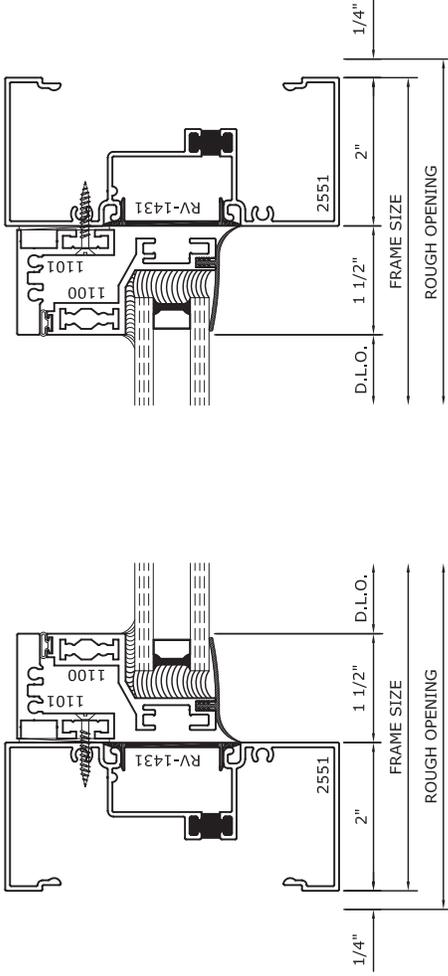




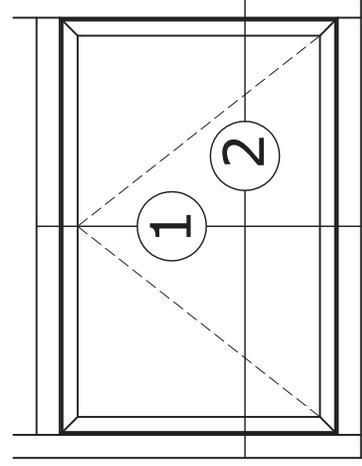
2450 STOREFRONT
1100 DETAIL



1 VERTICAL SECTION

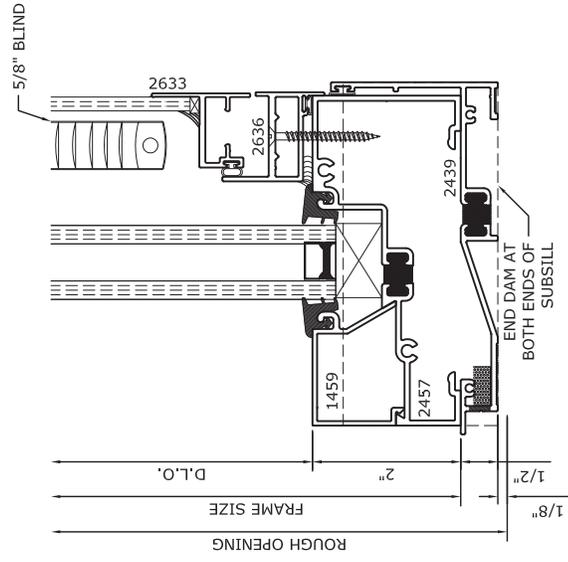
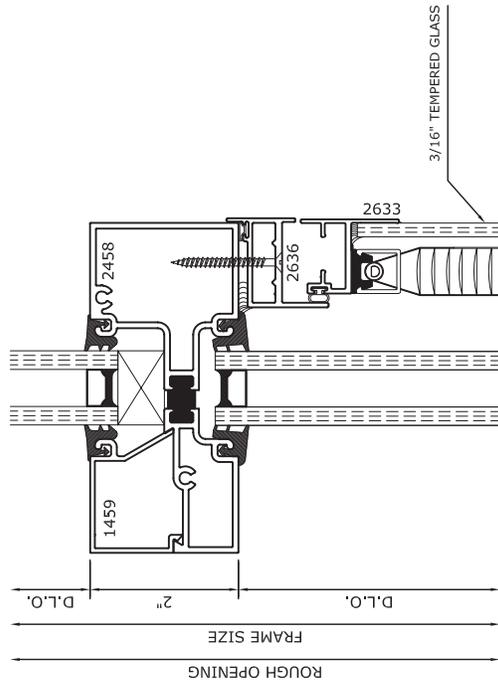


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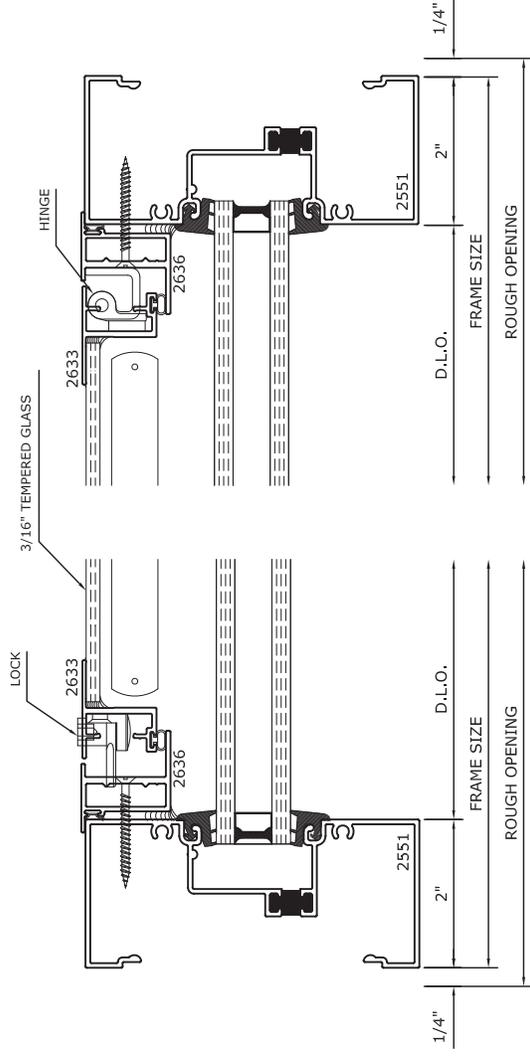




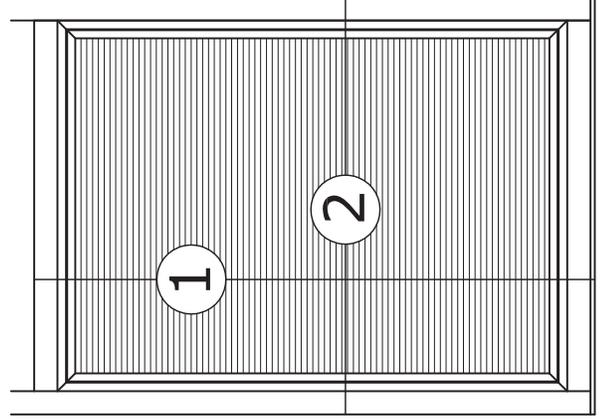
2450 STOREFRONT
HINGE SASH DETAIL



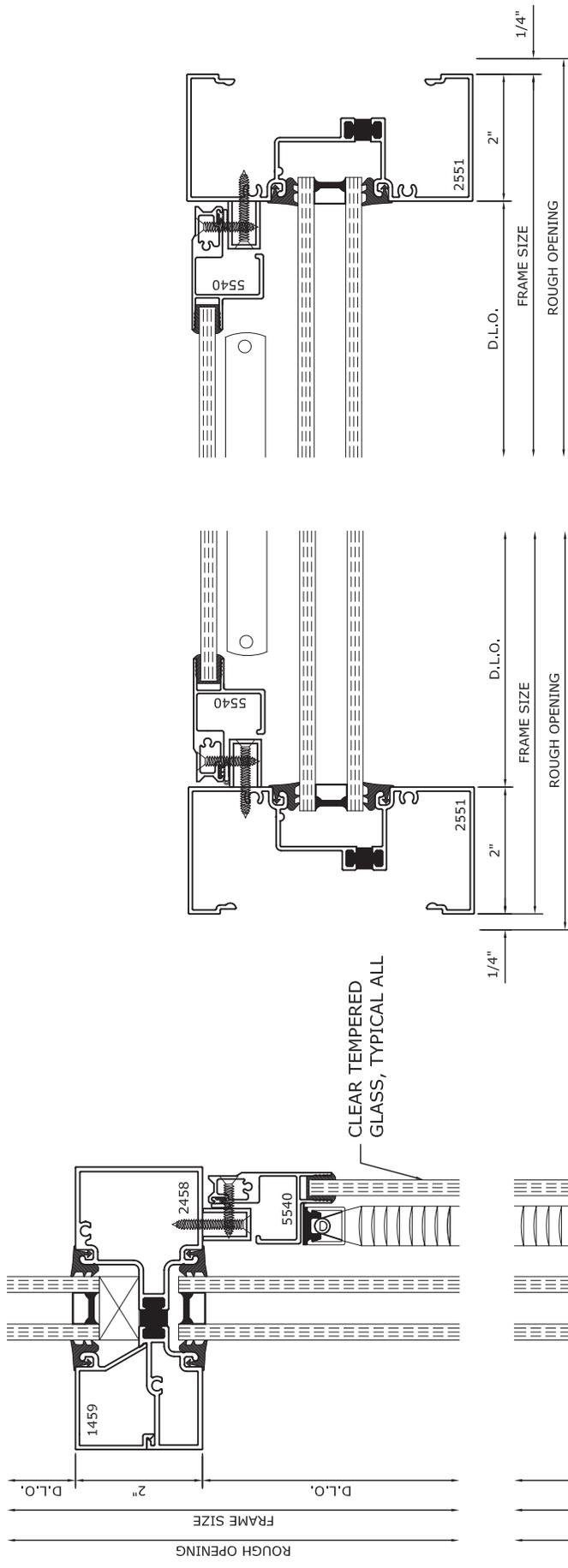
① VERTICAL SECTION



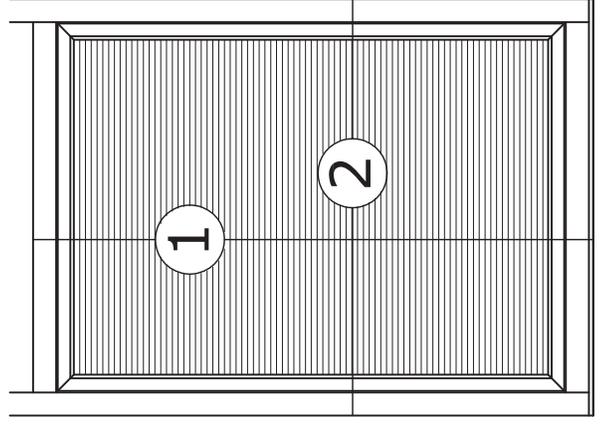
② HORIZONTAL SECTION



2450 STOREFRONT
TAKE-OUT SASH DETAIL

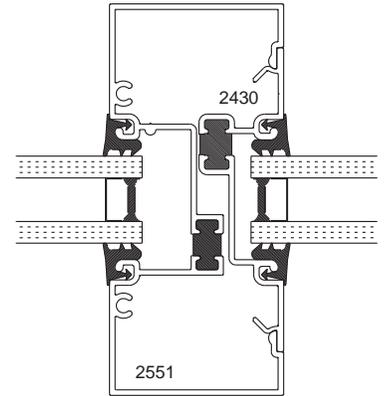
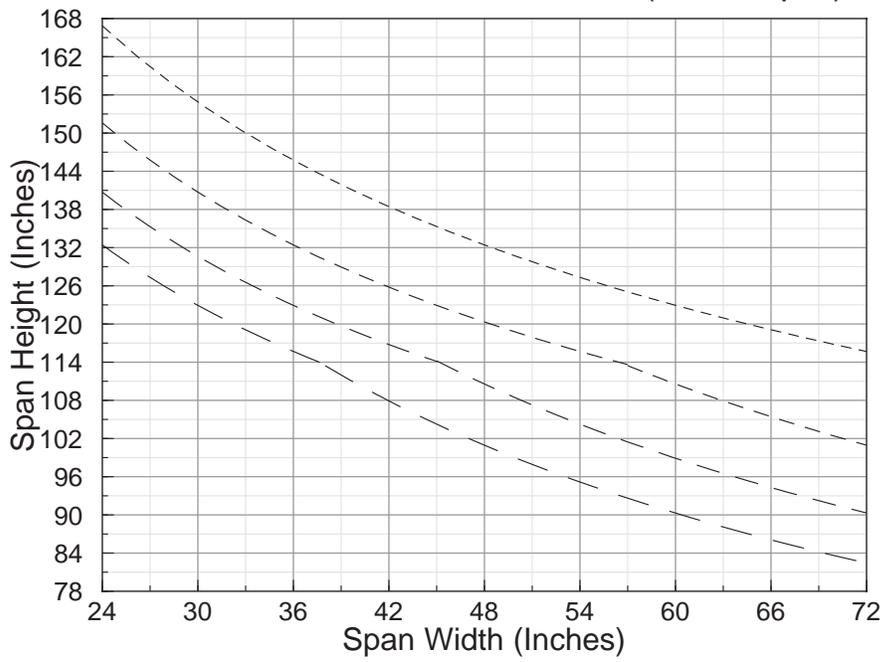


② HORIZONTAL SECTION



① VERTICAL SECTION

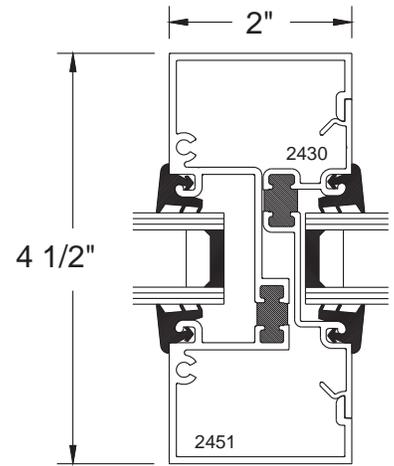
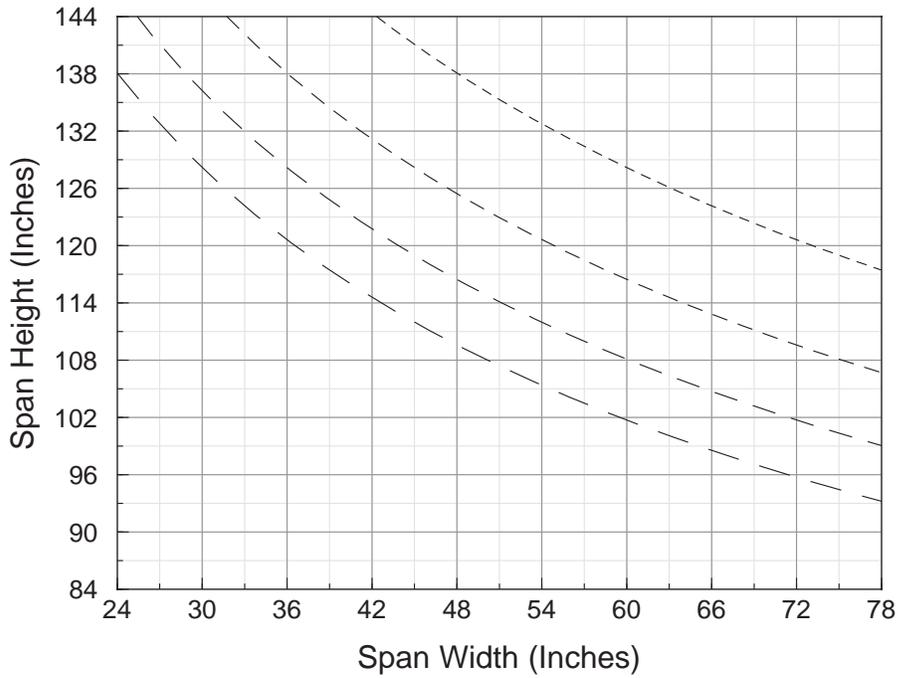
Windload Chart for #2551/2430 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

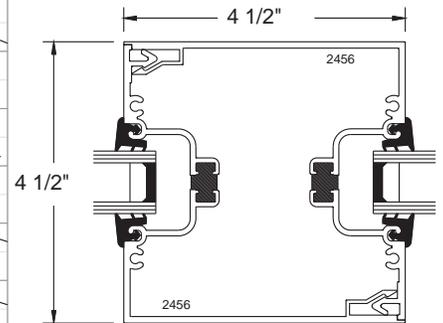
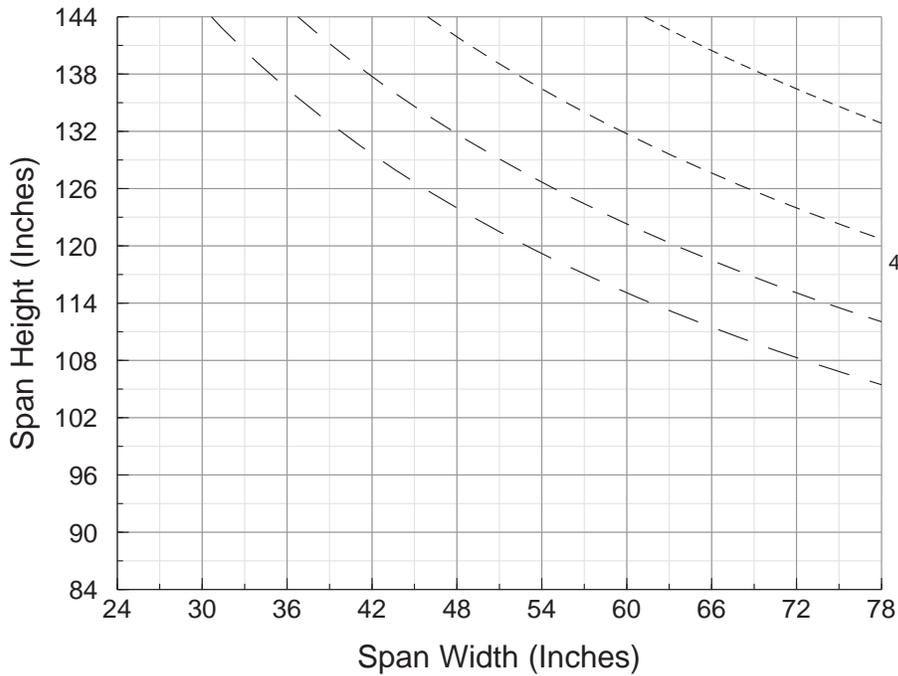
Deflections are based on L/175 for span heights below 13'6"

Windload Chart for 2451/2430 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

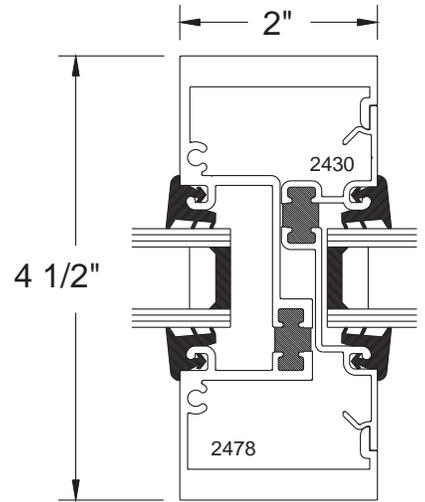
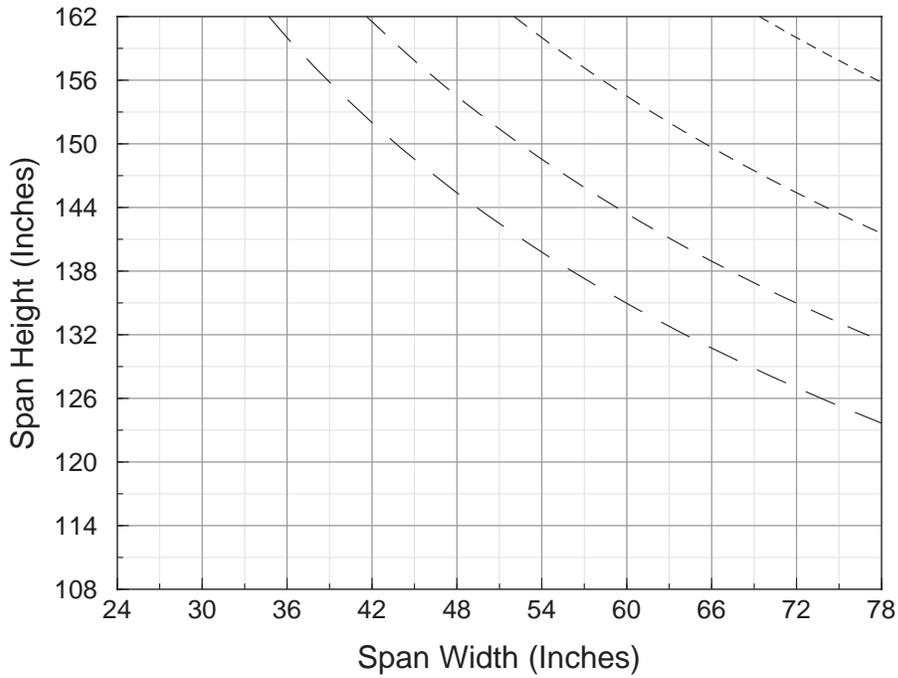
Windload Chart for 2456/2456 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

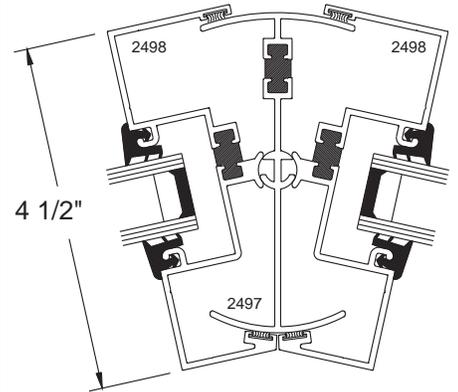
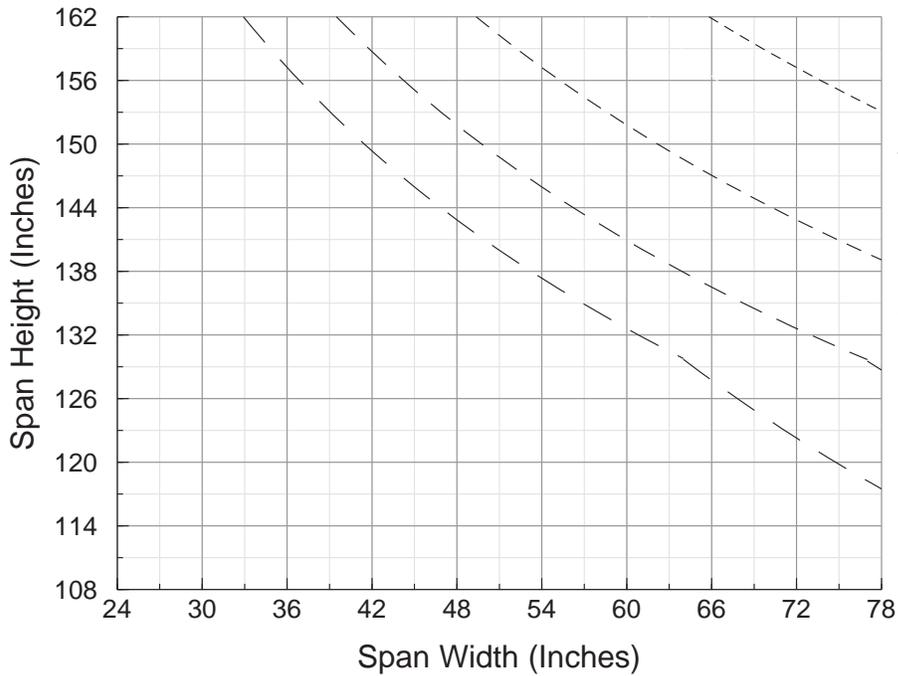
Deflections for both charts are based on L/175 for span heights below 13'6"

Windload Chart for 2478/2430 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

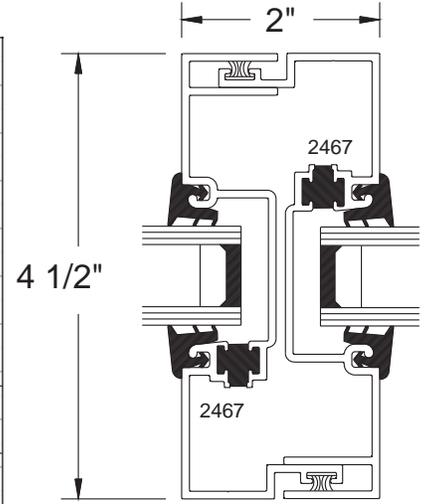
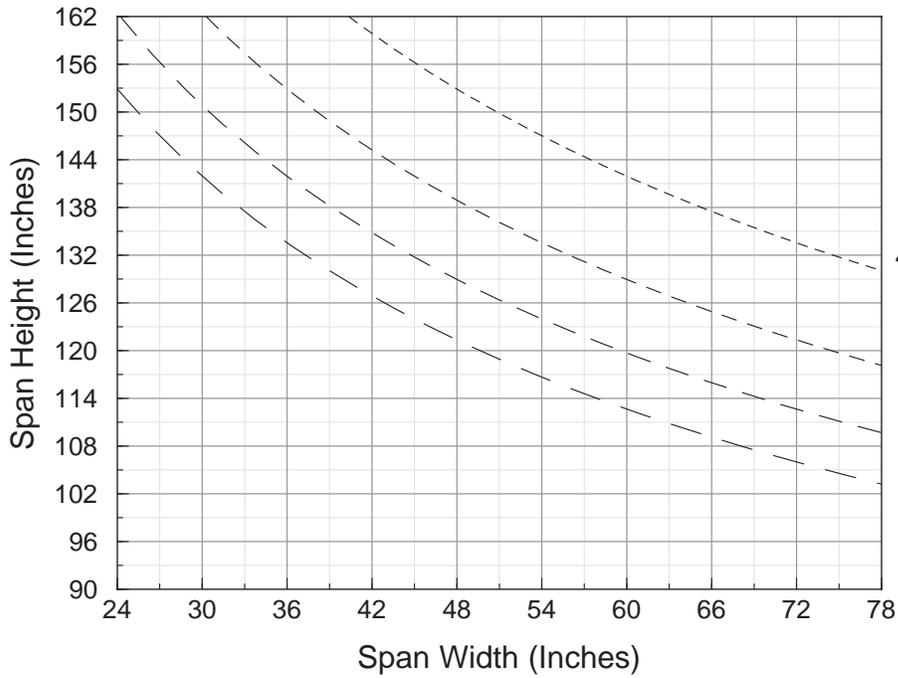
Windload Chart for 2498/2497/2498 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

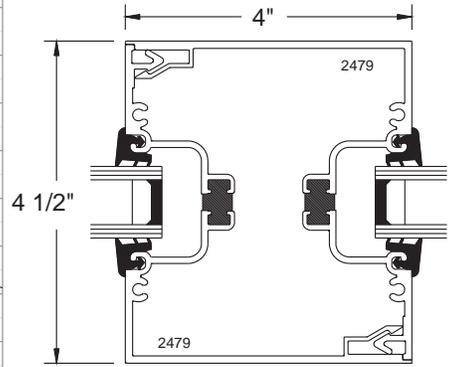
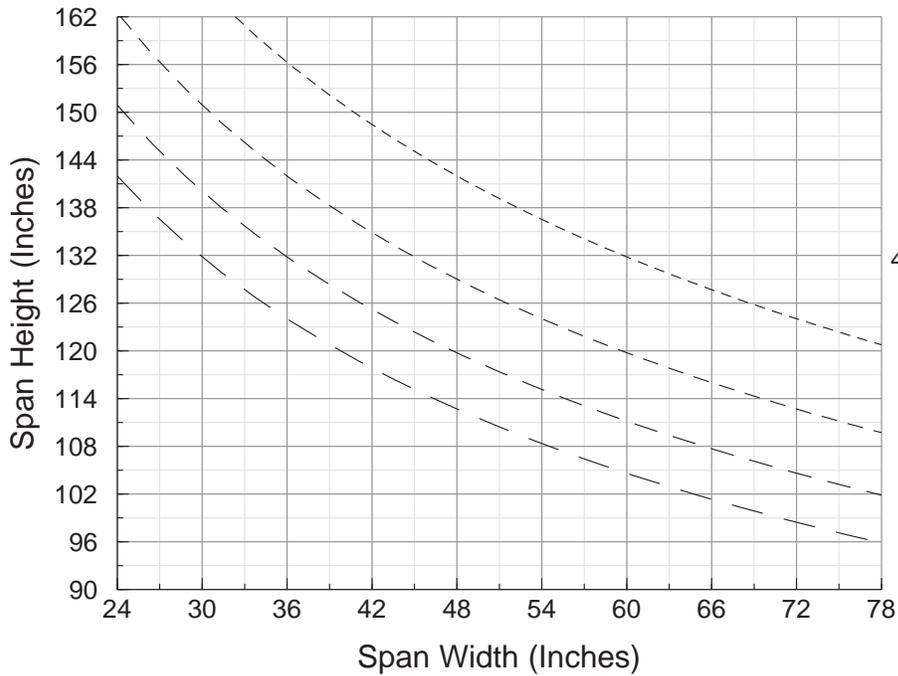
Deflections for both charts are based on L/175 for span heights below 13'6"

Windload Chart for 2467/2467 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

Windload Chart for 2479/2479 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

Deflections for both charts are based on L/175 for span heights below 13'6"

**2450 Series
2" x 4 1/2" Flush Glazed
Storefront**



**MANKO WINDOW SYSTEMS, INC.
800 HAYES DRIVE
MANHATTAN, KANSAS 66502
PHONE: (800) 642-1488 (785) 776-9643
FAX: (800) 576-2656 (785) 776-9644**

**MANKO WINDOW SYSTEMS, INC.
11000 EAST 51ST AVE. SUITE B
DENVER, COLORADO 80239
PHONE: (888) 642-1488 (303) 375-0642
FAX: (888) 576-2656 (303) 375-0669**



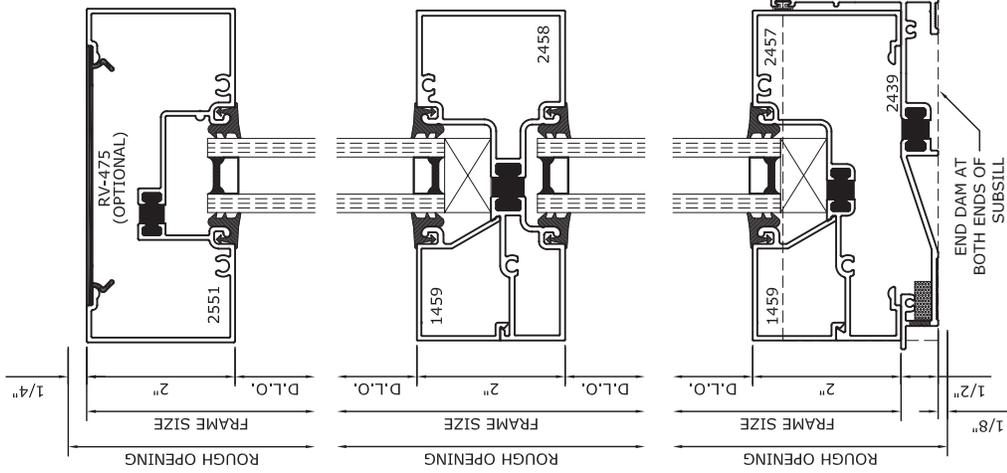
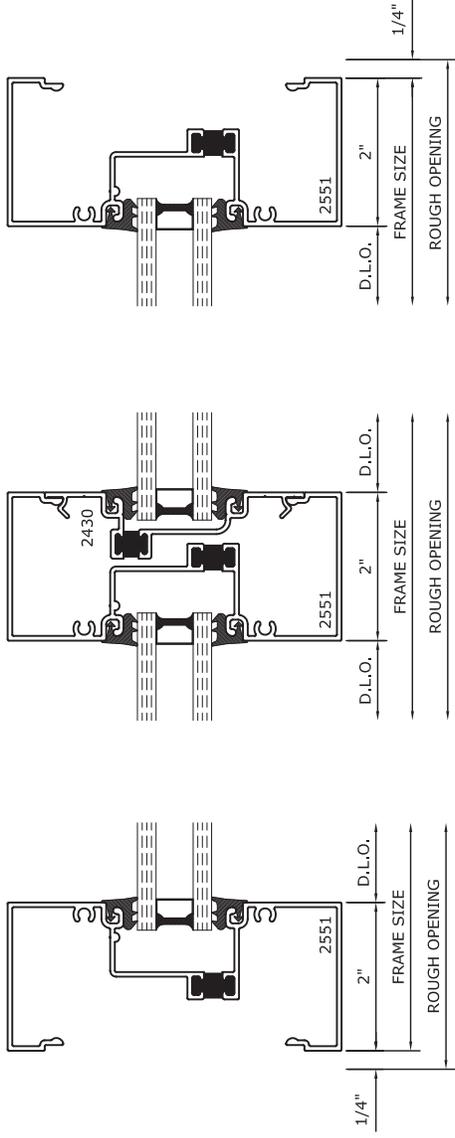
2450 Series
2" x 4 1/2" Flush Glazed Storefront

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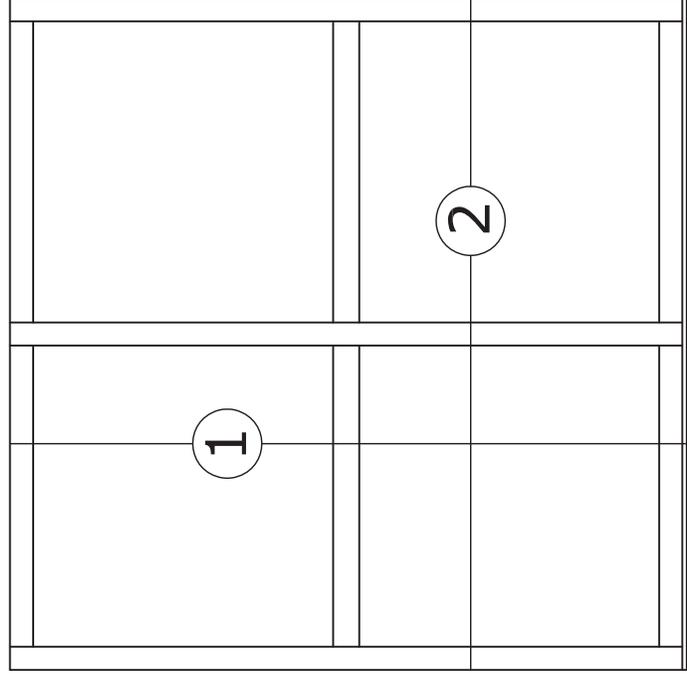
• OUTSIDE GLAZED ELEVATIONS	1
• OPTIONAL FRAMING	2-5
• 45 DEGREE CORNERS	6
• 90 DEGREE CORNERS	7
• ADJUSTABLE ANGLE MULLION	8
• HEAD RECEPTOR & SUBSILL	9
• HEAVY WALL VERTICAL	10
• 3-PIECE RADIUS MULLION	11
• APPLIED & INTERNAL GRIDS	12-13
• INSIDE GLAZE ELEVATIONS	14
• OPTIONAL GLAZING	15
• 800 SERIES VENTS	16-17
• 1000 SERIES VENTS	18
• BLIND HINGE SASH	19
• BLIND TAKE-OUT SASH	20
• WINDLOAD CHARTS	21-24



2450 STOREFRONT
 2" X 4 1/2" THERMALLY BROKEN



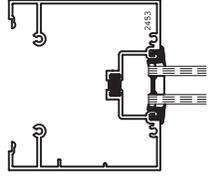
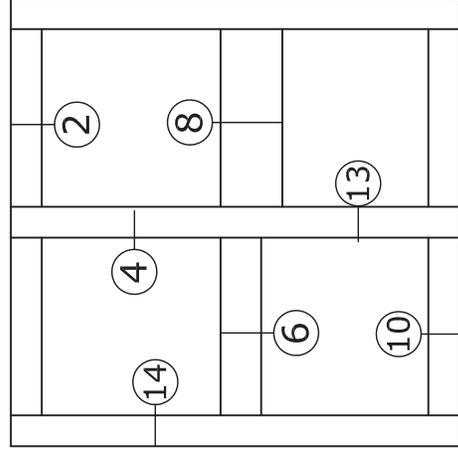
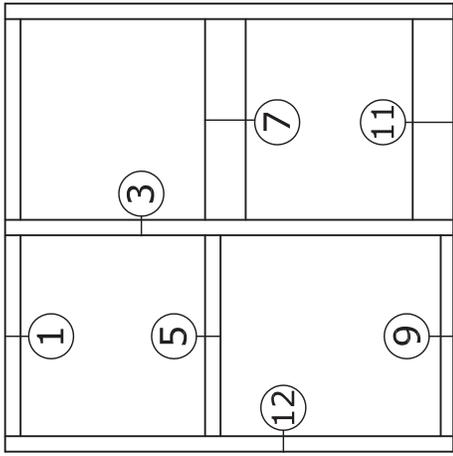
② HORIZONTAL SECTION



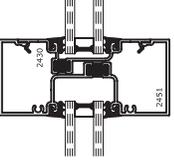
① VERTICAL SECTION



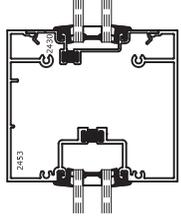
2450 STOREFRONT
OPTIONAL FRAMING



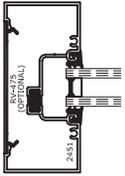
② 4" HEAD



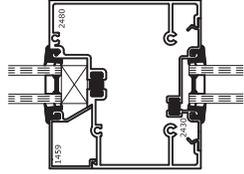
③ 2" VERTICAL



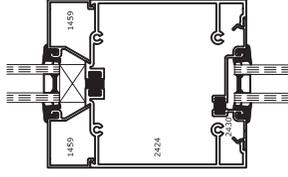
④ 4" VERTICAL



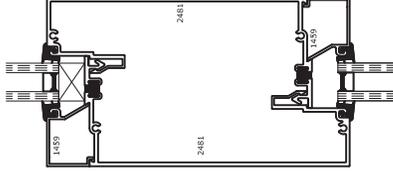
① 2" HEAD



⑤ 2" HORIZONTAL

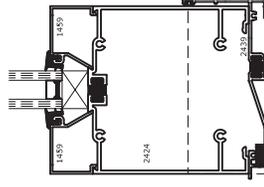


③ 2" VERTICAL

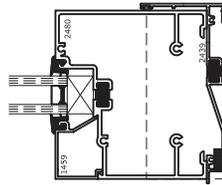


④ 4" VERTICAL

⑦ 5 1/4" HORIZONTAL

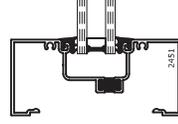


⑥ 4" HORIZONTAL

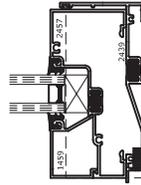


⑦ 5 1/4" HORIZONTAL

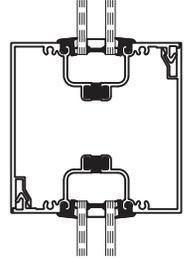
⑧ 8" HORIZONTAL



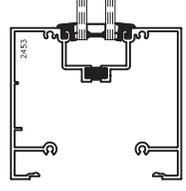
⑨ 2" SILL



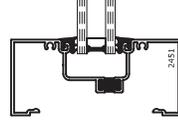
⑩ 4" SILL



⑪ 5 1/4" SILL

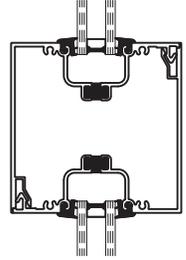


⑫ 2" JAMB

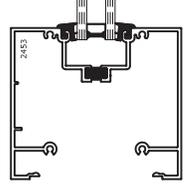


⑧ 8" HORIZONTAL

⑬ 4 1/2" POST



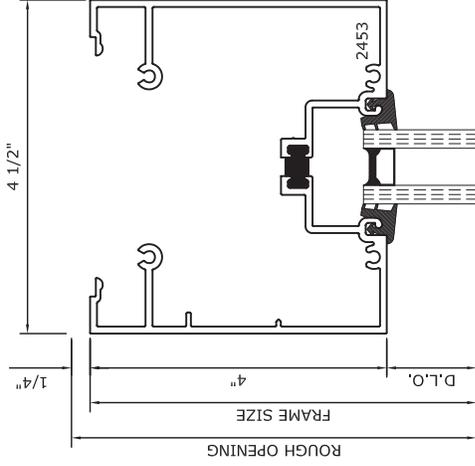
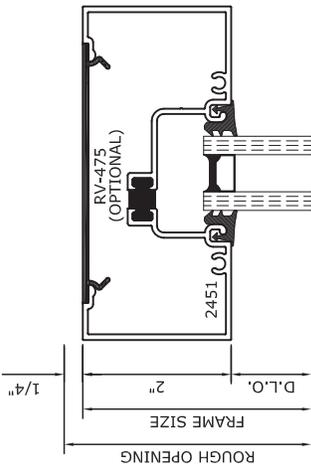
⑭ 4" JAMB



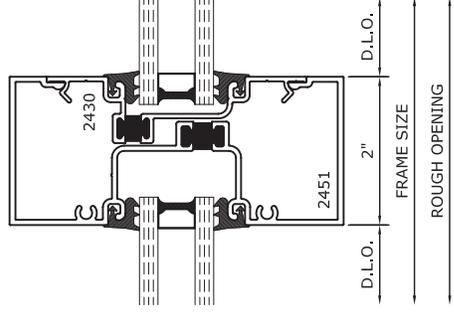
Note:
Refer to next page
for larger sections



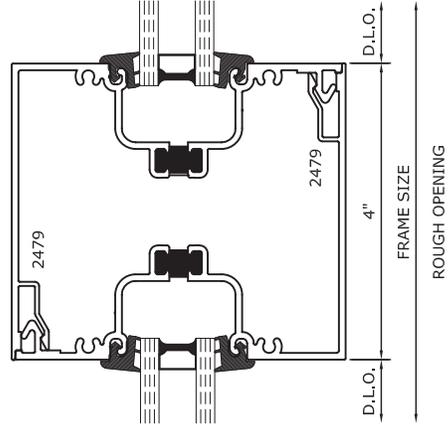
2450 STOREFRONT
OPTIONAL FRAMING



4 1/2"

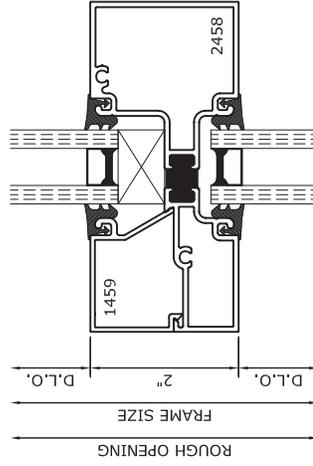


① 2" HEAD



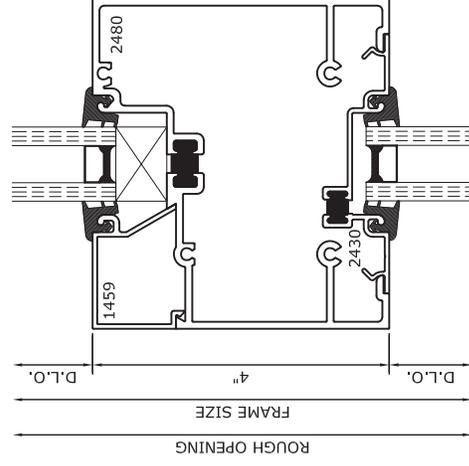
④ 4" VERTICAL

② 4" HEAD



⑤ 2" HORIZONTAL

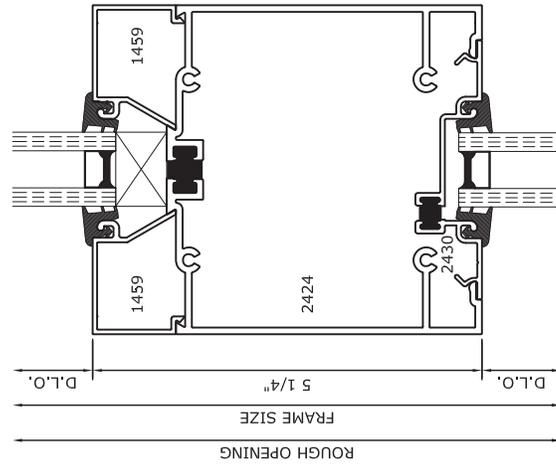
③ 2" VERTICAL



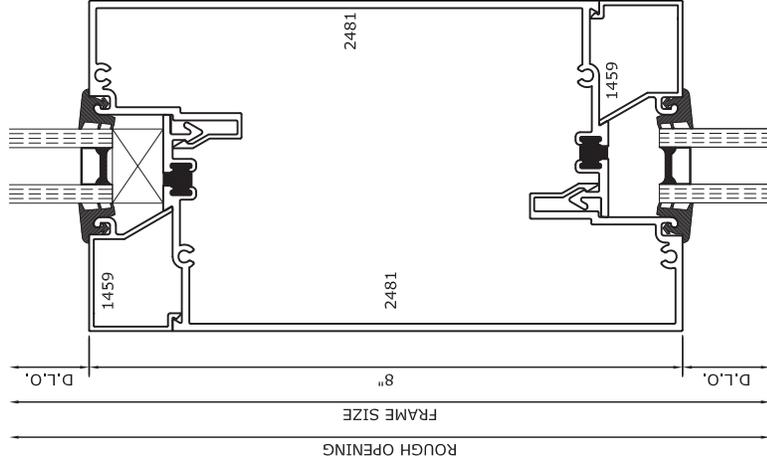
⑥ 4" HORIZONTAL



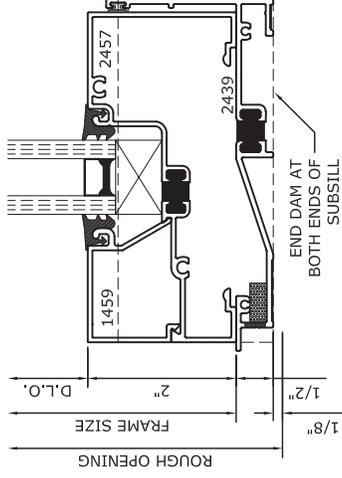
2450 STOREFRONT
OPTIONAL FRAMING



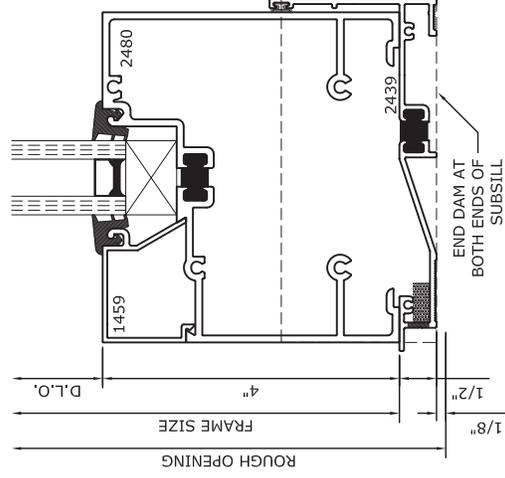
⑦ 5 1/4" HORIZONTAL



⑧ 8" HORIZONTAL



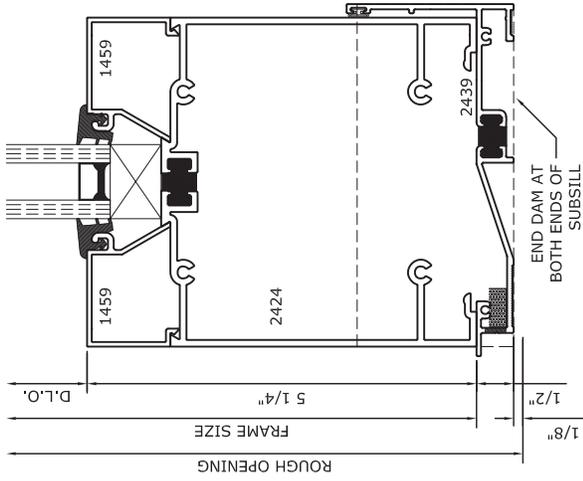
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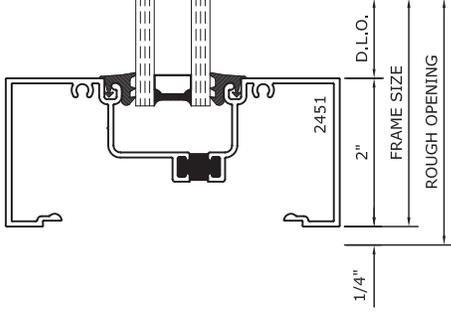
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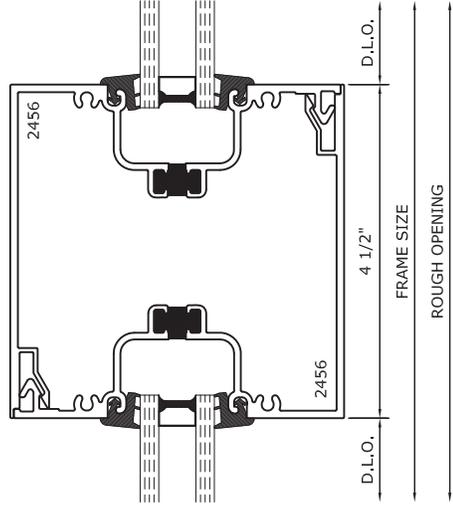
2450 STOREFRONT
OPTIONAL FRAMING



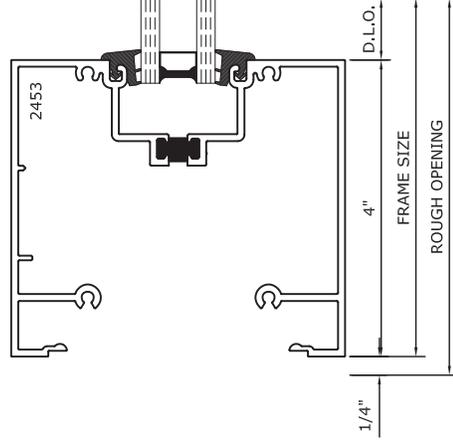
11 5 1/4" SILL



12 2" JAMB



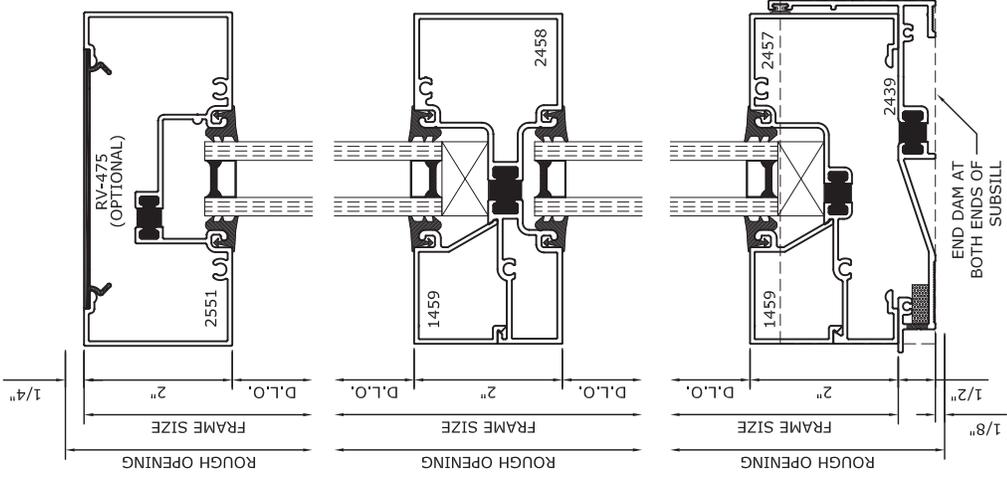
13 4 1/2" VERTICAL



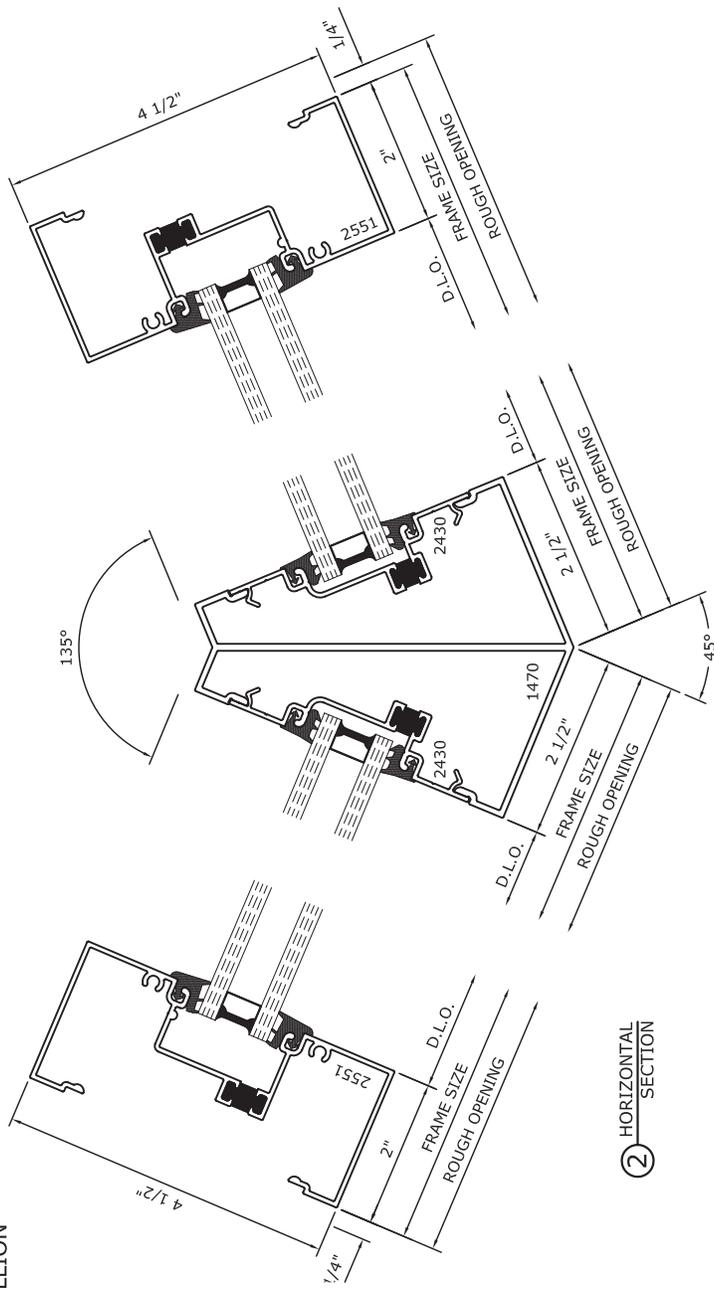
14 4" JAMB



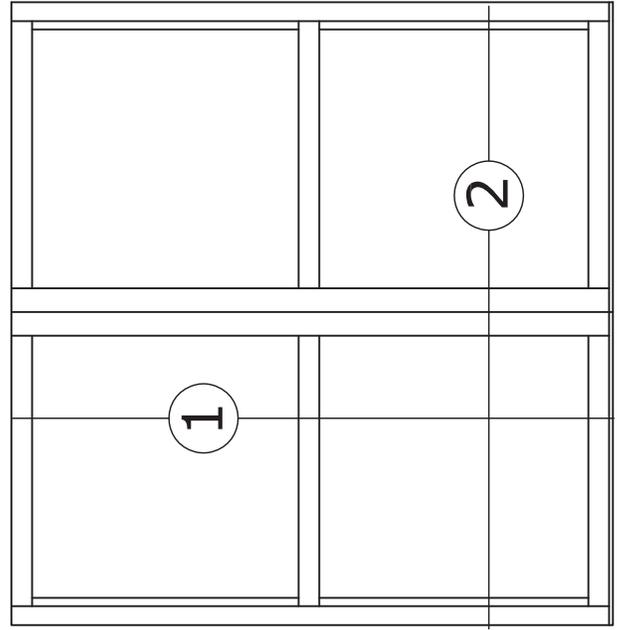
2450 STOREFRONT
45° MULLION



① VERTICAL SECTION

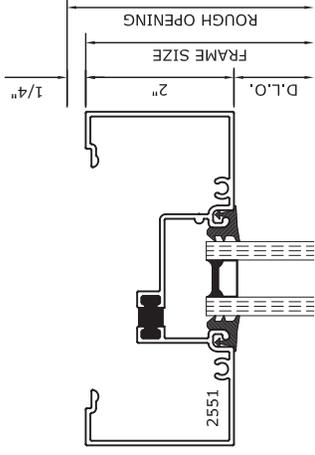
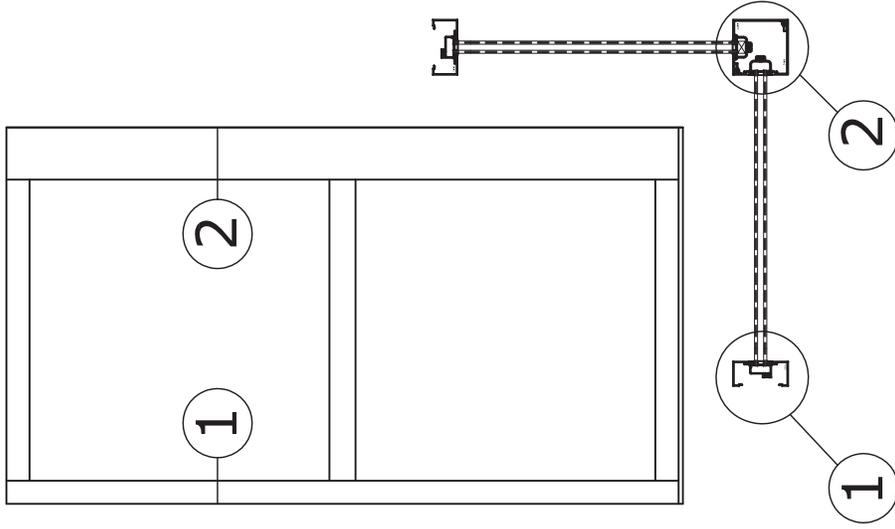


② HORIZONTAL SECTION

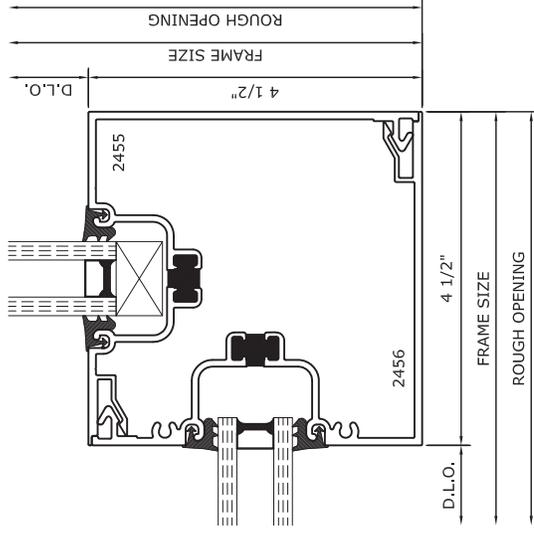




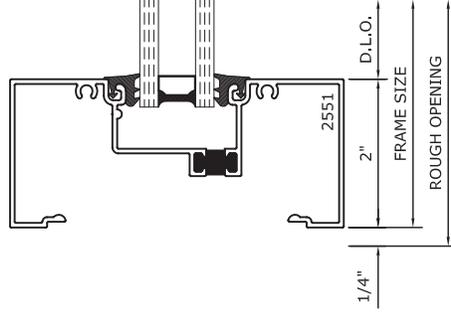
2450 STOREFRONT
4 1/2" CORNER POST



1 JAMB



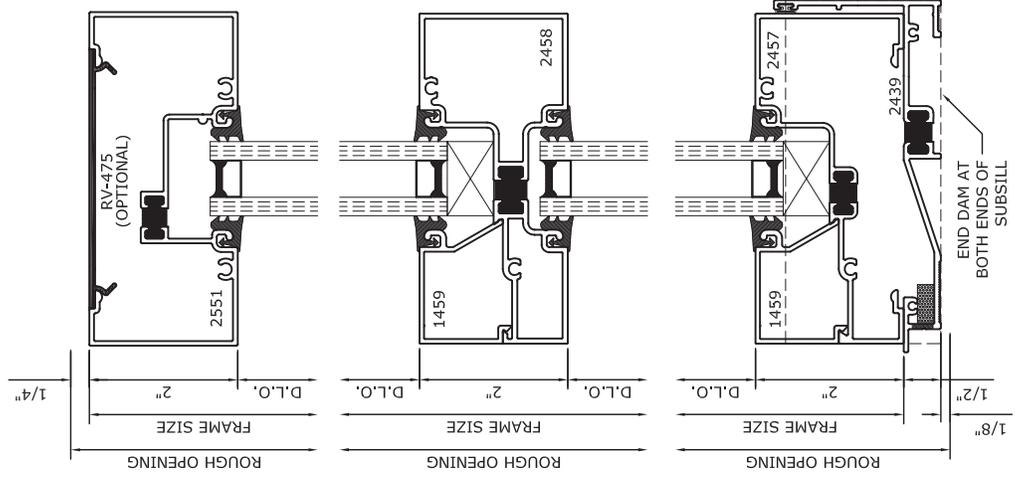
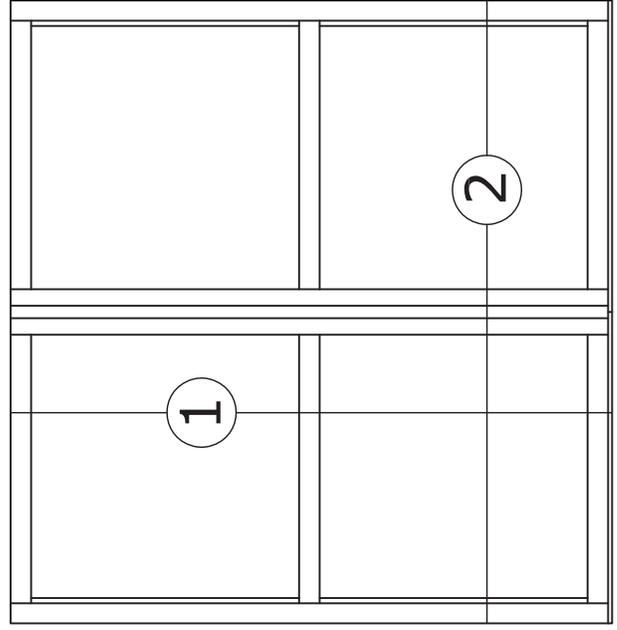
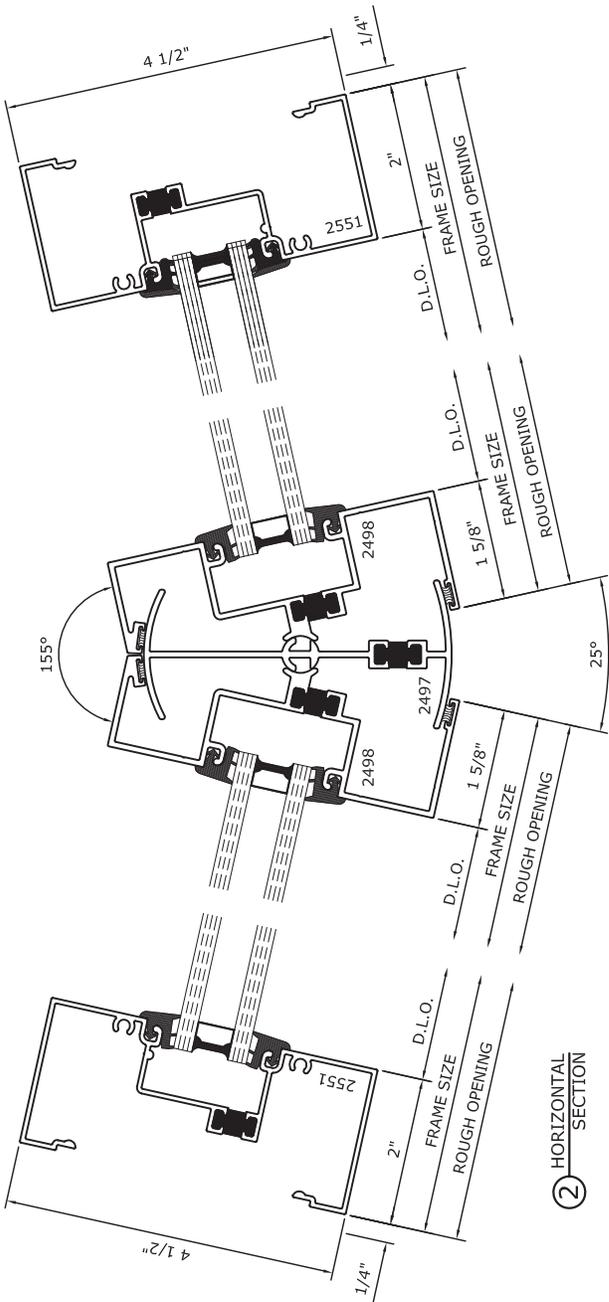
2 CORNER POST



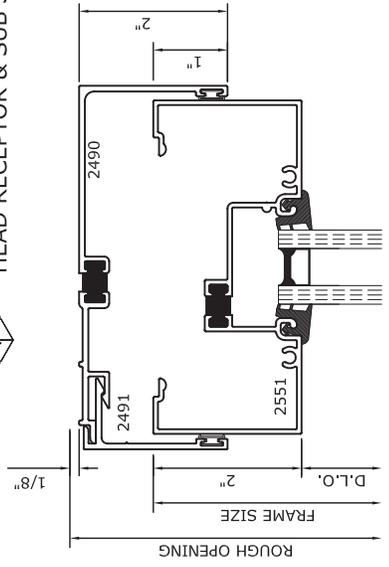
1 JAMB



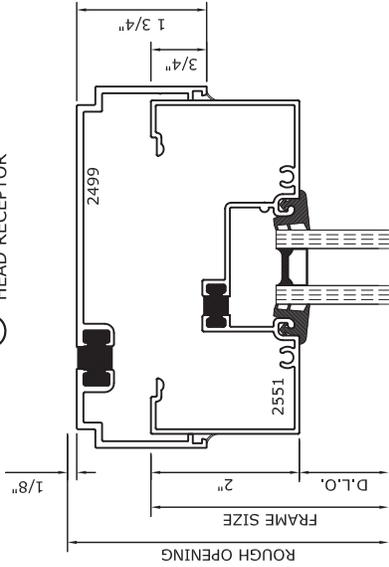
2450 STOREFRONT
ADJUSTABLE ANGLE MULLION



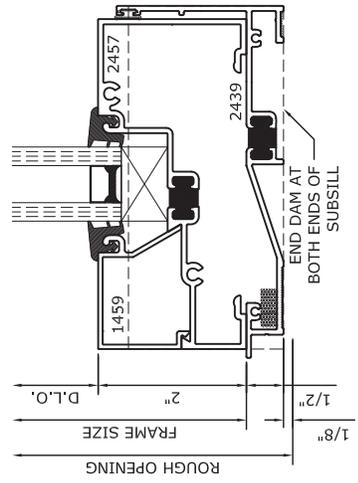
2450 STOREFRONT
HEAD RECEPTOR & SUB SILL



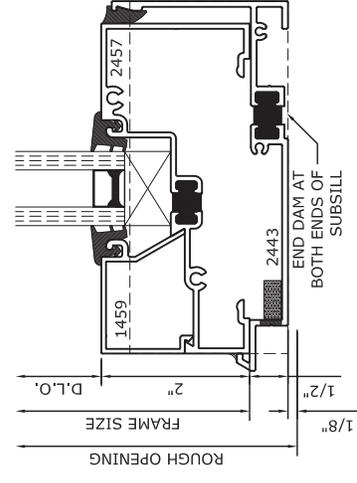
① TWO-PIECE HEAD RECEPTOR



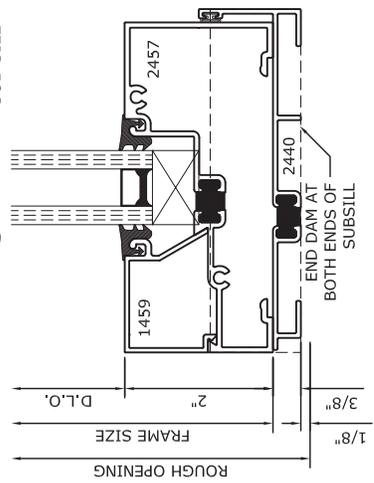
② ONE-PIECE HEAD RECEPTOR



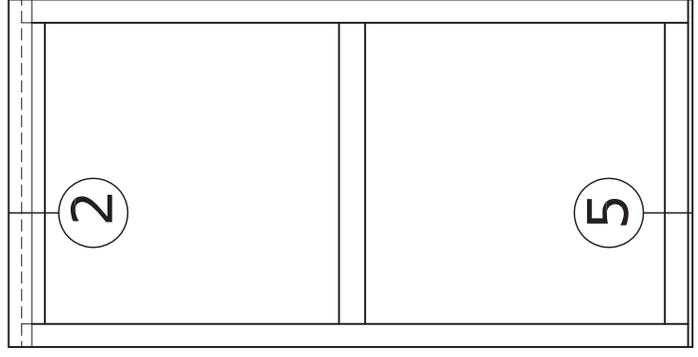
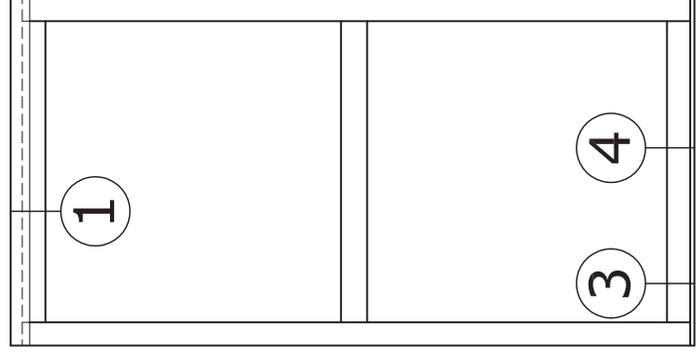
③ STANDARD SUB SILL



④ HIGH PERFORMANCE SUB SILL

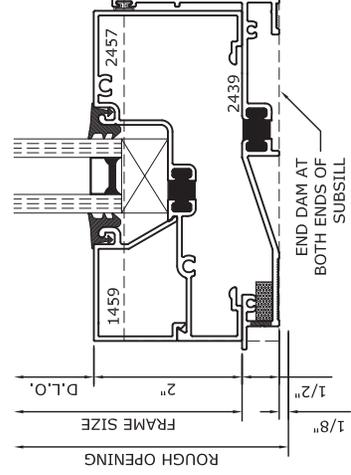
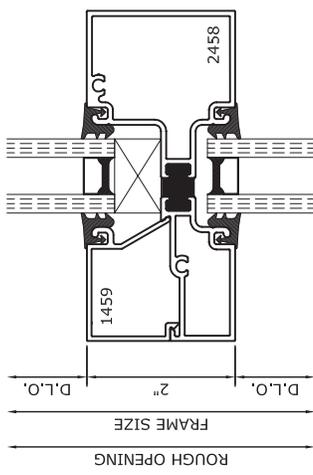
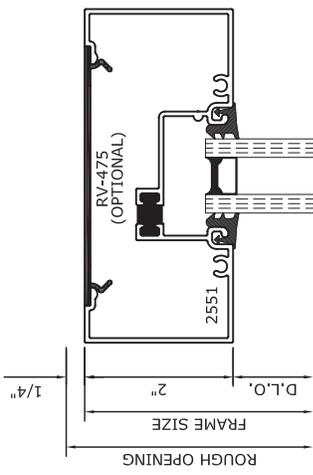
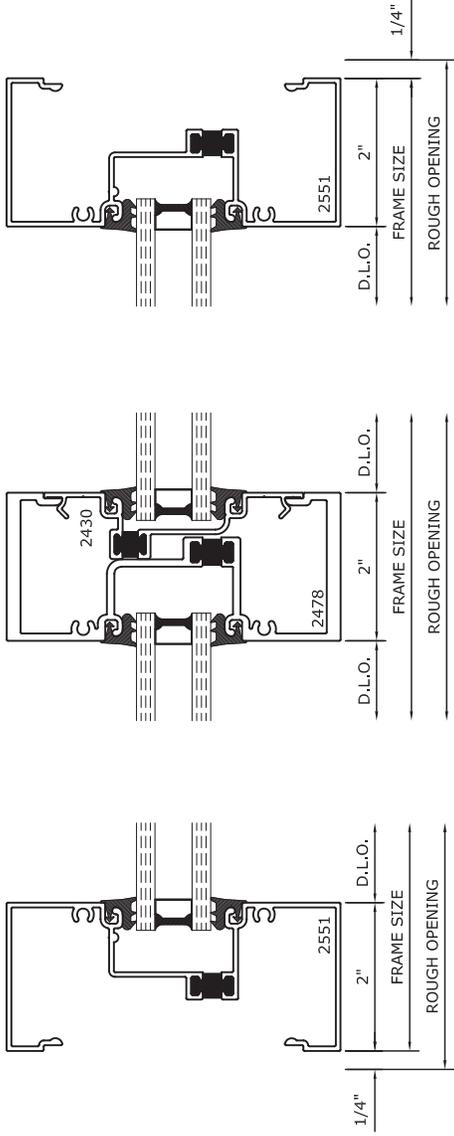


⑤ OPTIONAL SUB SILL



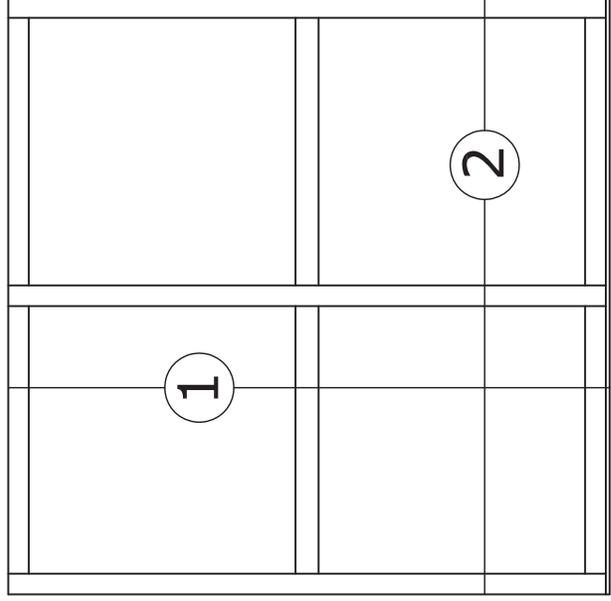


2450 STORE FRONT
HEAVY WALL VERTICAL



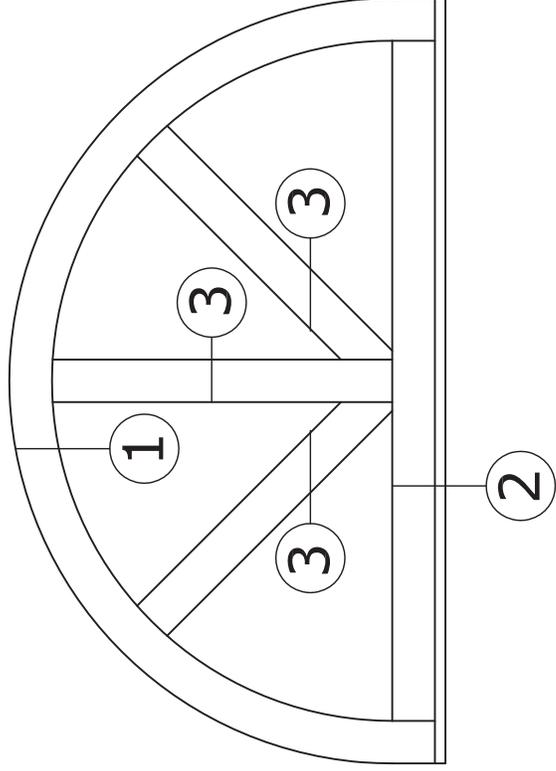
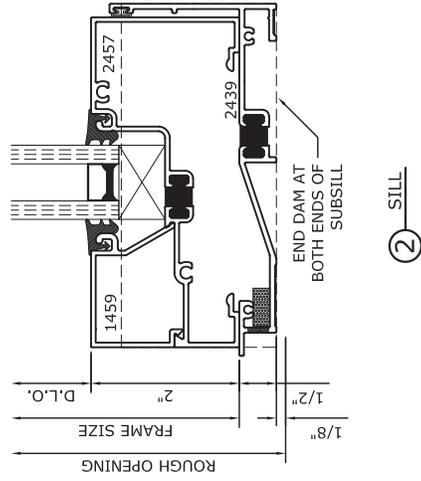
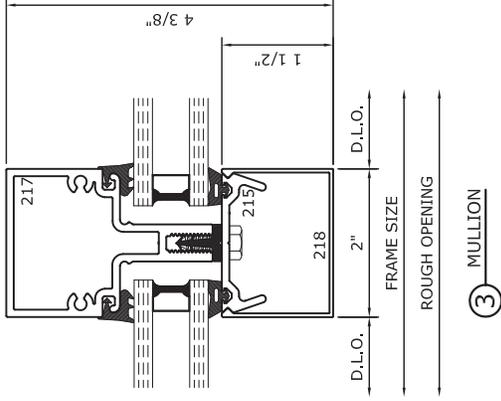
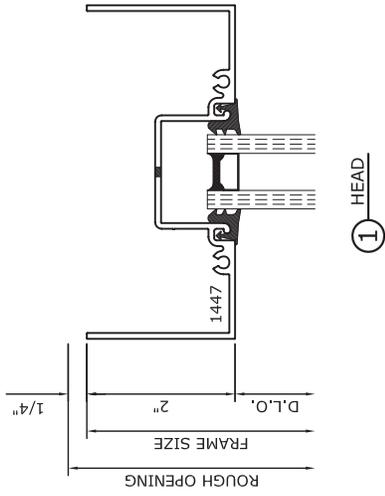
1 VERTICAL SECTION

2 HORIZONTAL SECTION



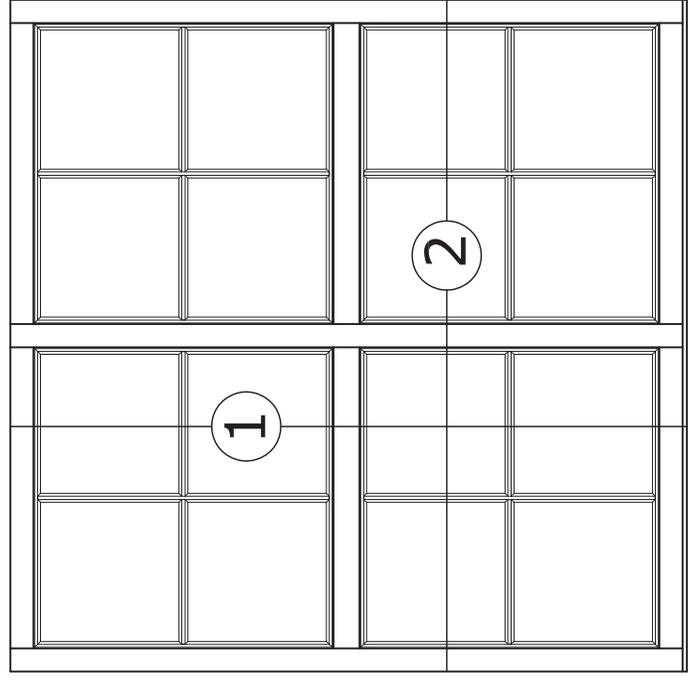
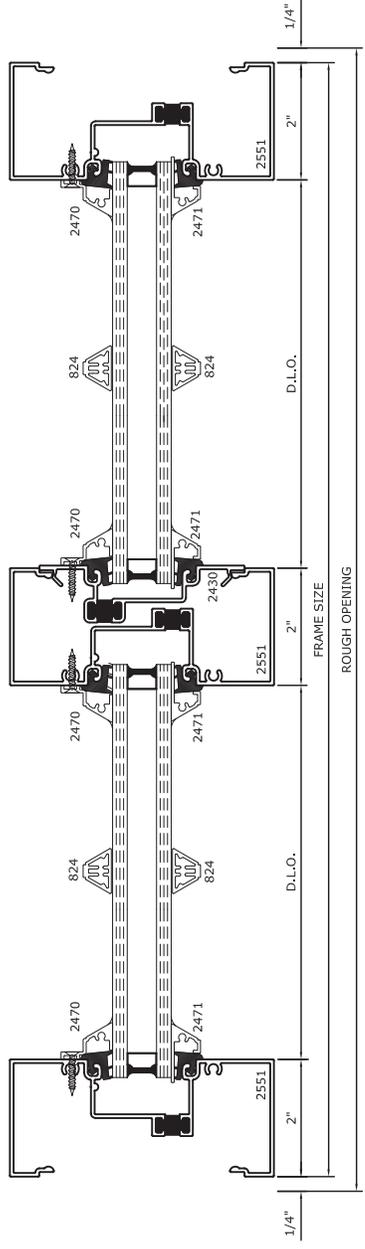
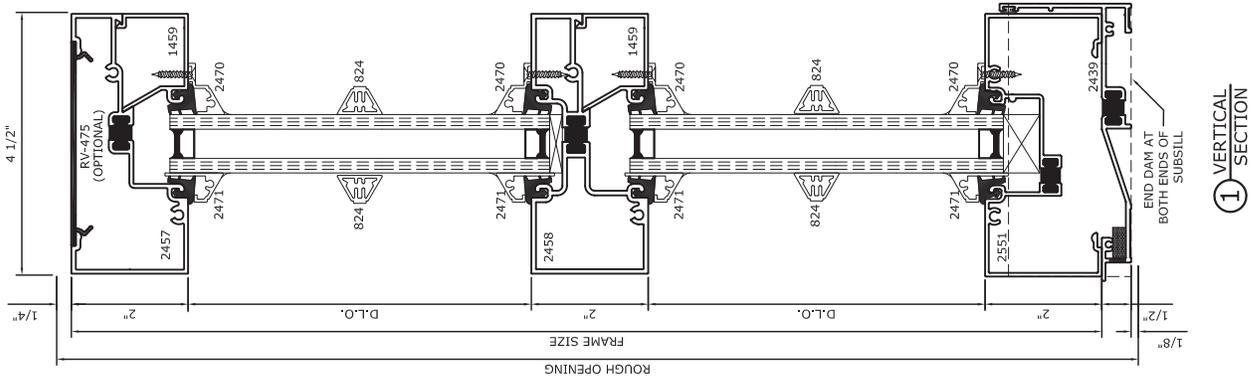


2450 STORE FRONT
RADIUS 3-PIECE MULLION



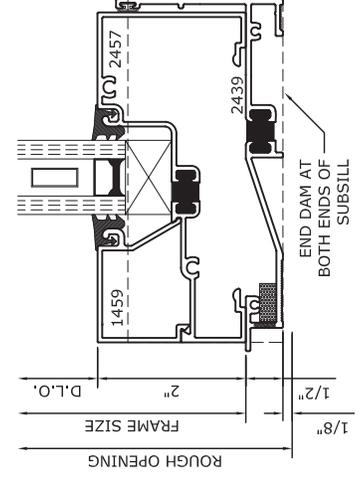
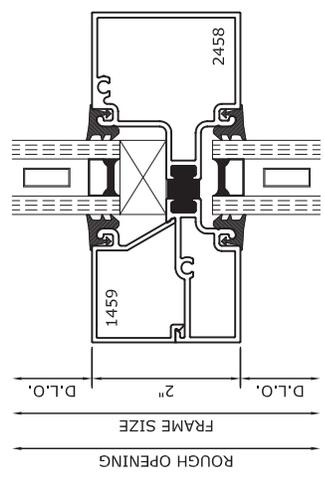
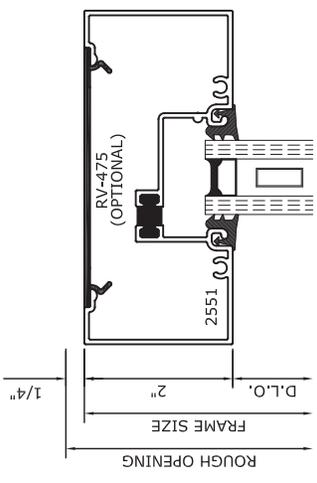


2450 STOREFRONT APPLIED GRIDS (INSIDE GLAZED ONLY)

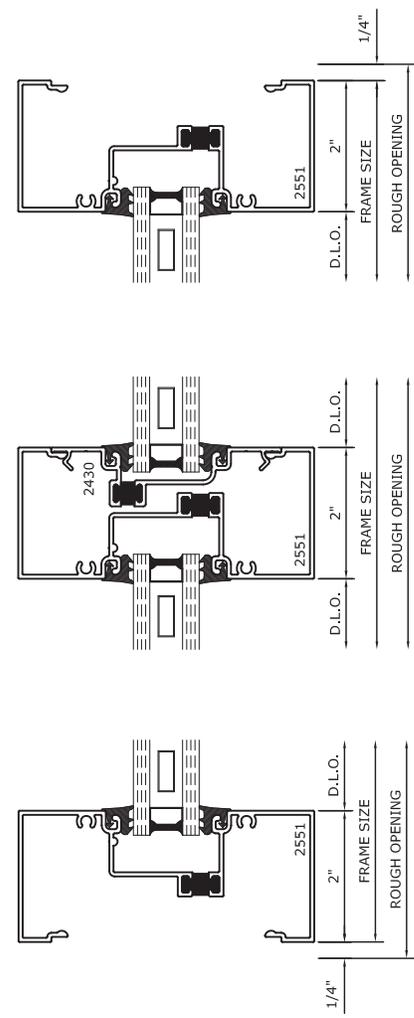




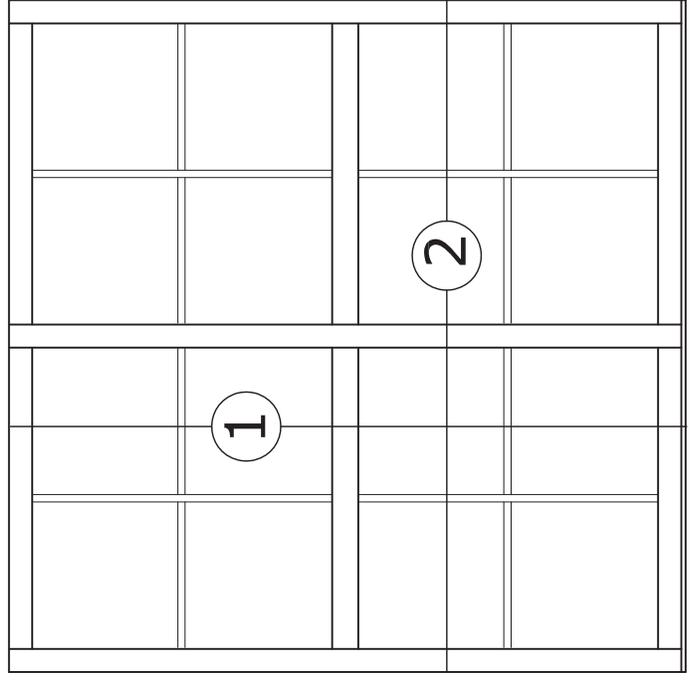
2450 STOREFRONT INTERNAL GRIDS



1 VERTICAL SECTION

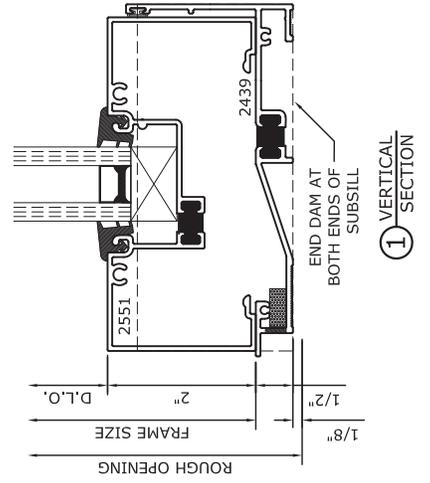
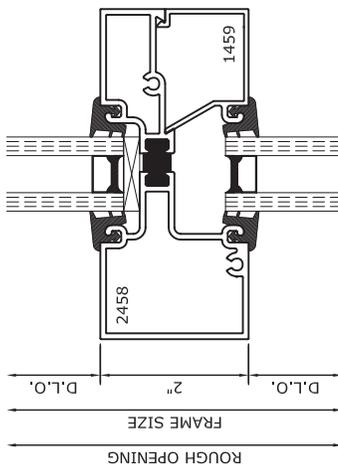
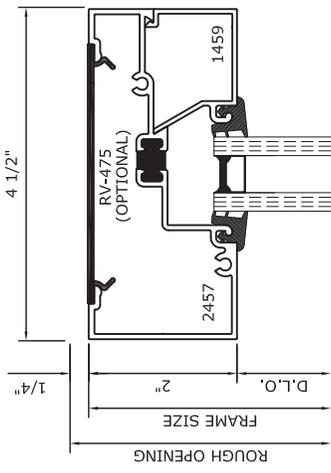
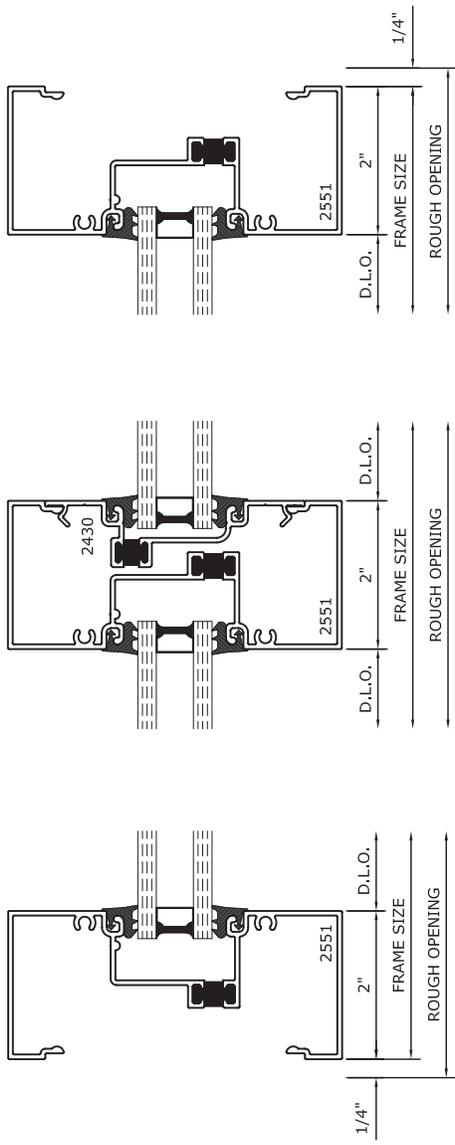


2 HORIZONTAL SECTION

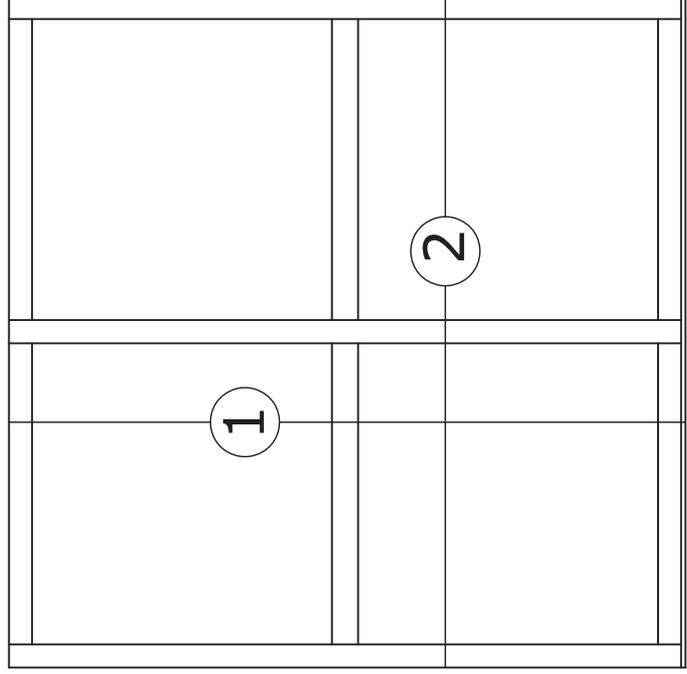




2450 STOREFRONT
INSIDE GLAZE



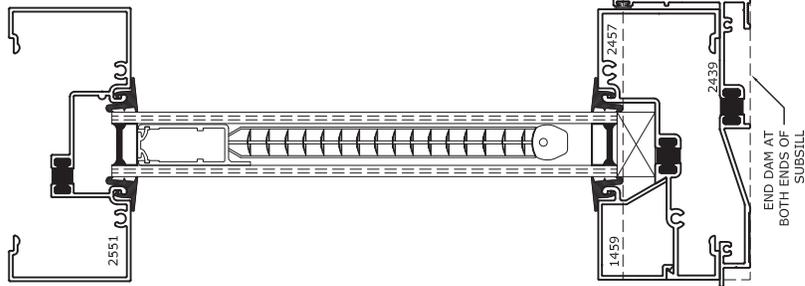
2 HORIZONTAL SECTION



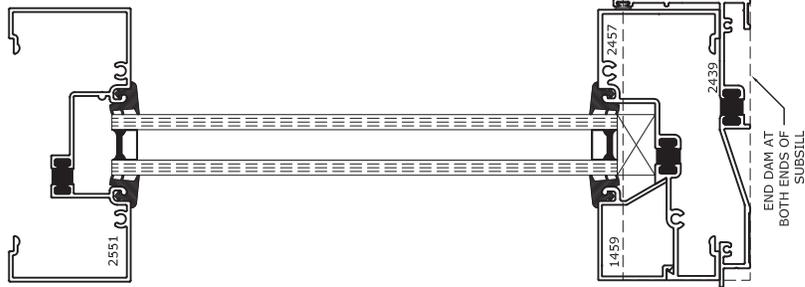
1 VERTICAL SECTION



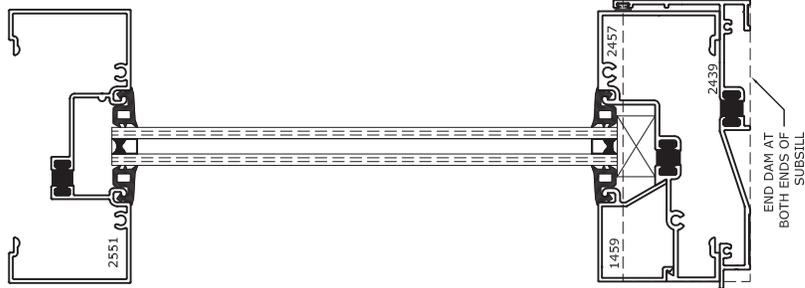
2450 STOREFRONT OPTIONAL GLAZING



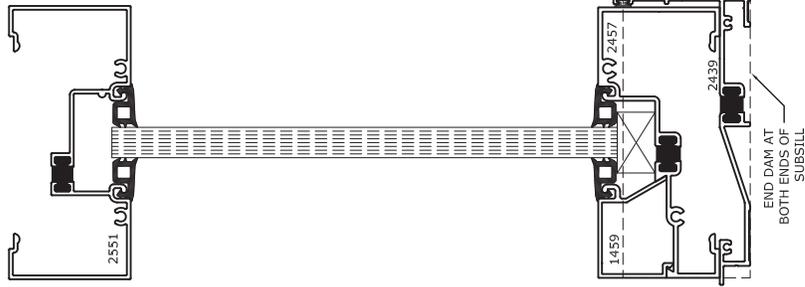
① 1 1/8" GLAZING
R-101 RUBBER



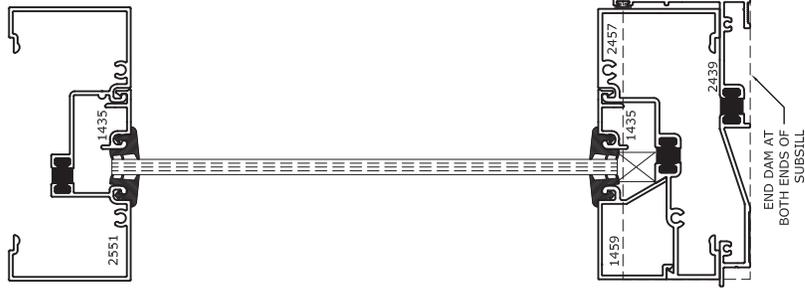
② 1" GLAZING
R-100 RUBBER



③ 5/8" GLAZING
R-103 RUBBER



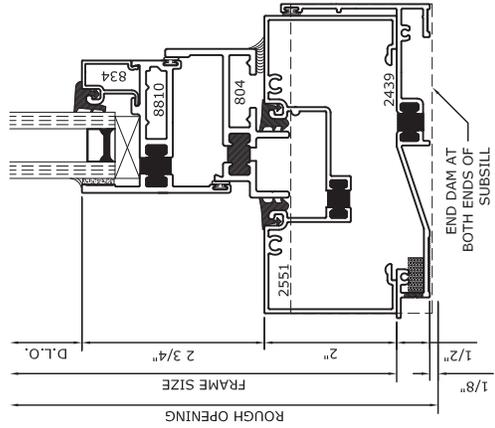
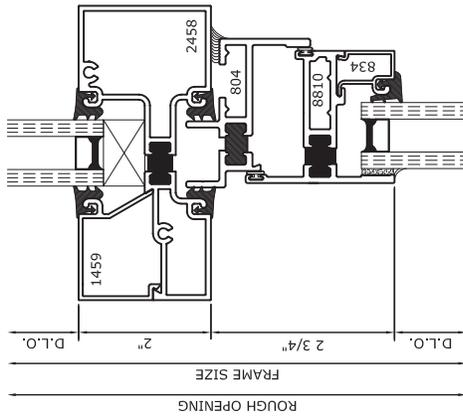
④ 1/2" GLAZING
R-102 RUBBER



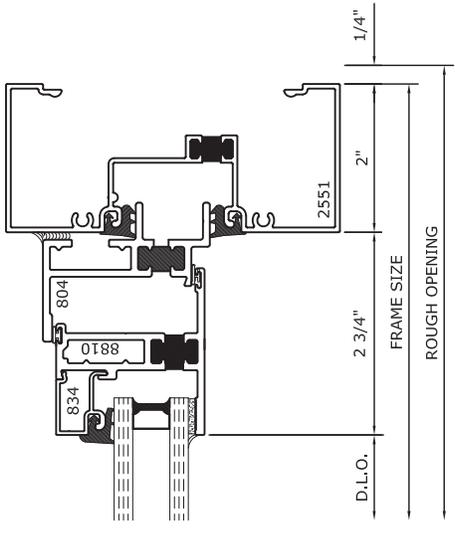
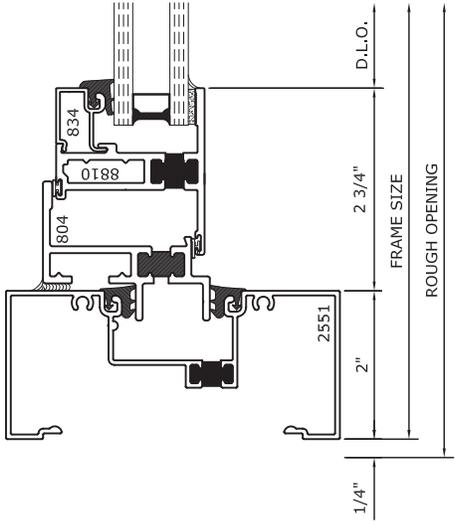
⑤ 1/4" GLAZING
R-100 RUBBER
W/ 1435 ADAPTER



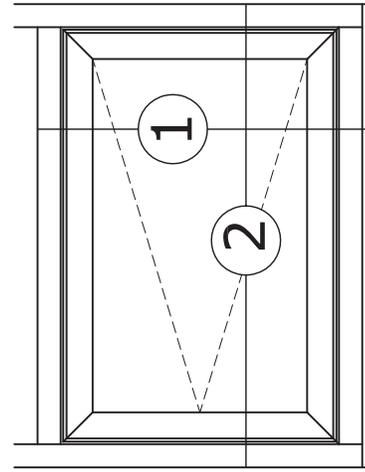
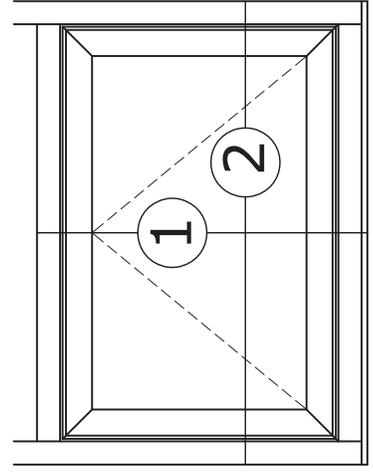
2450 STOREFRONT
800 PROJECT OUT/CASEMENT



1 VERTICAL SECTION

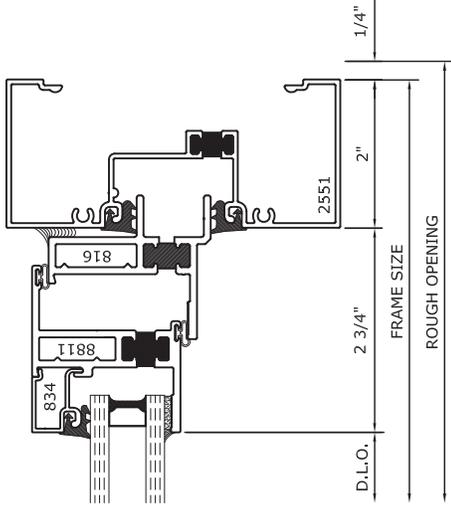
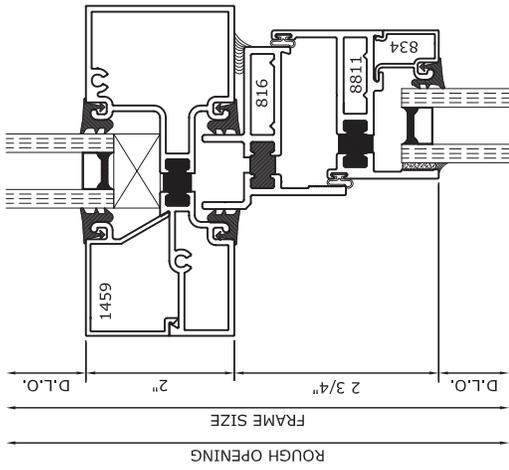


2 HORIZONTAL SECTION

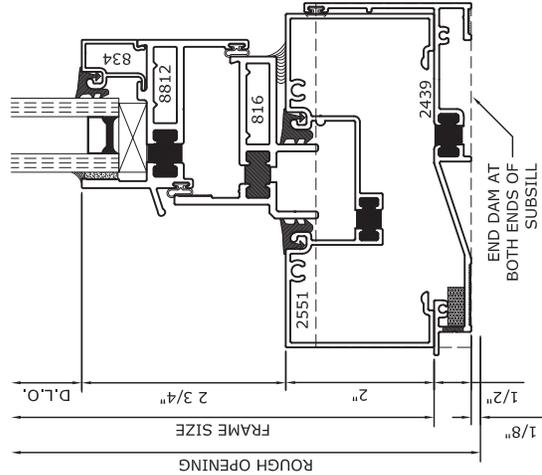
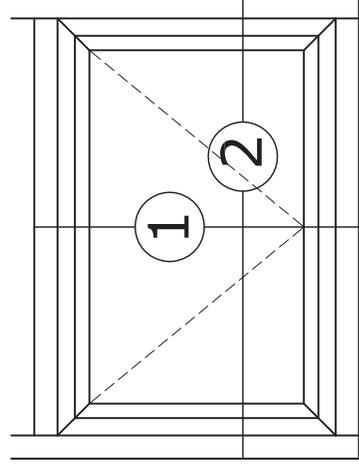




2450 STOREFRONT
800 PROJECT IN



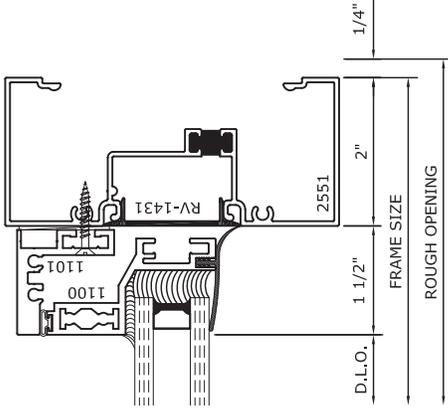
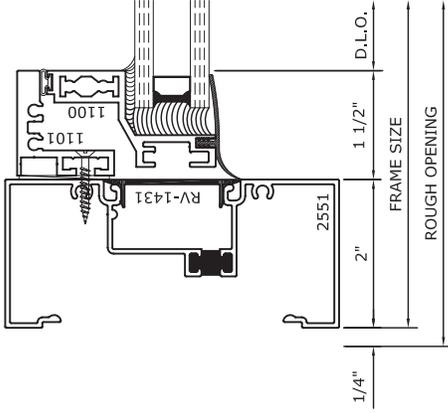
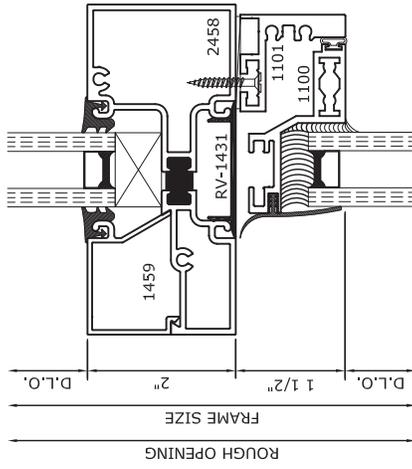
② HORIZONTAL SECTION



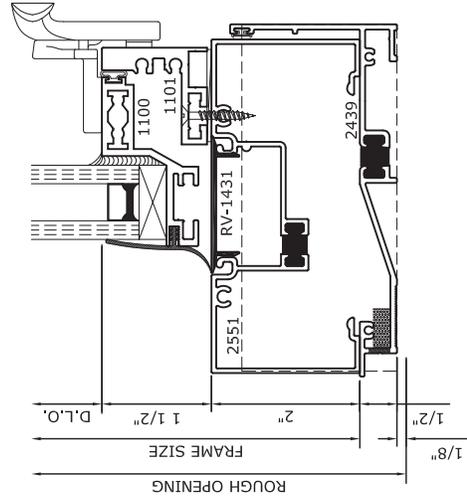
① VERTICAL SECTION



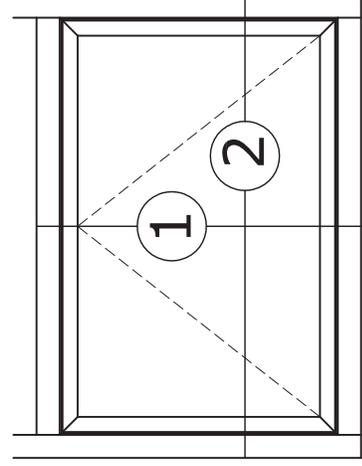
2450 STOREFRONT
1100 DETAIL



② HORIZONTAL SECTION

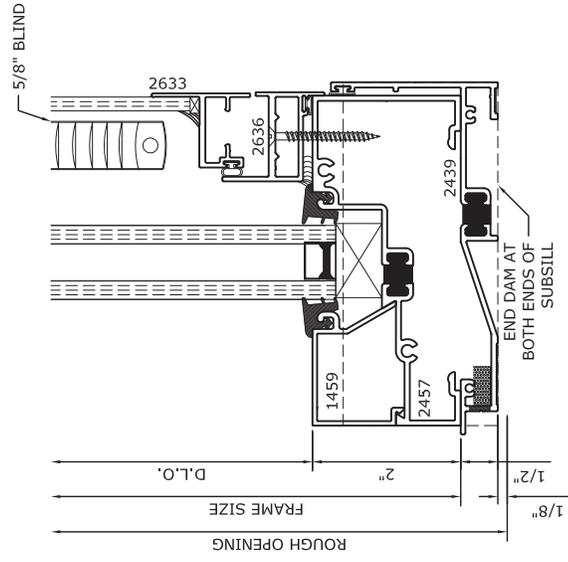
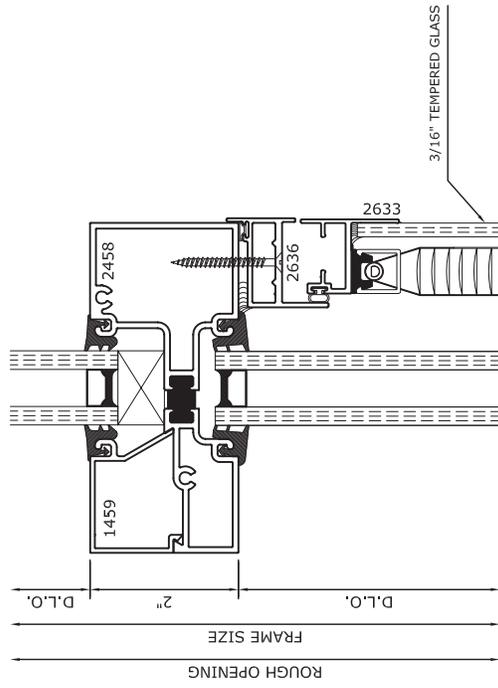


① VERTICAL SECTION

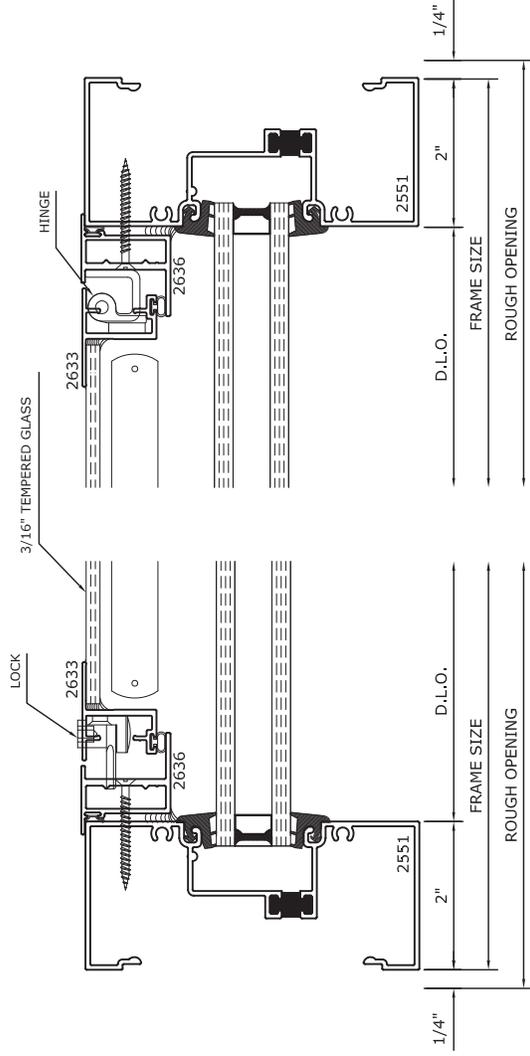




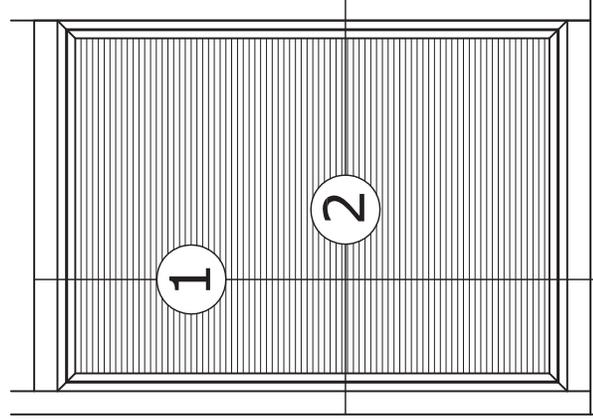
2450 STOREFRONT
HINGE SASH DETAIL



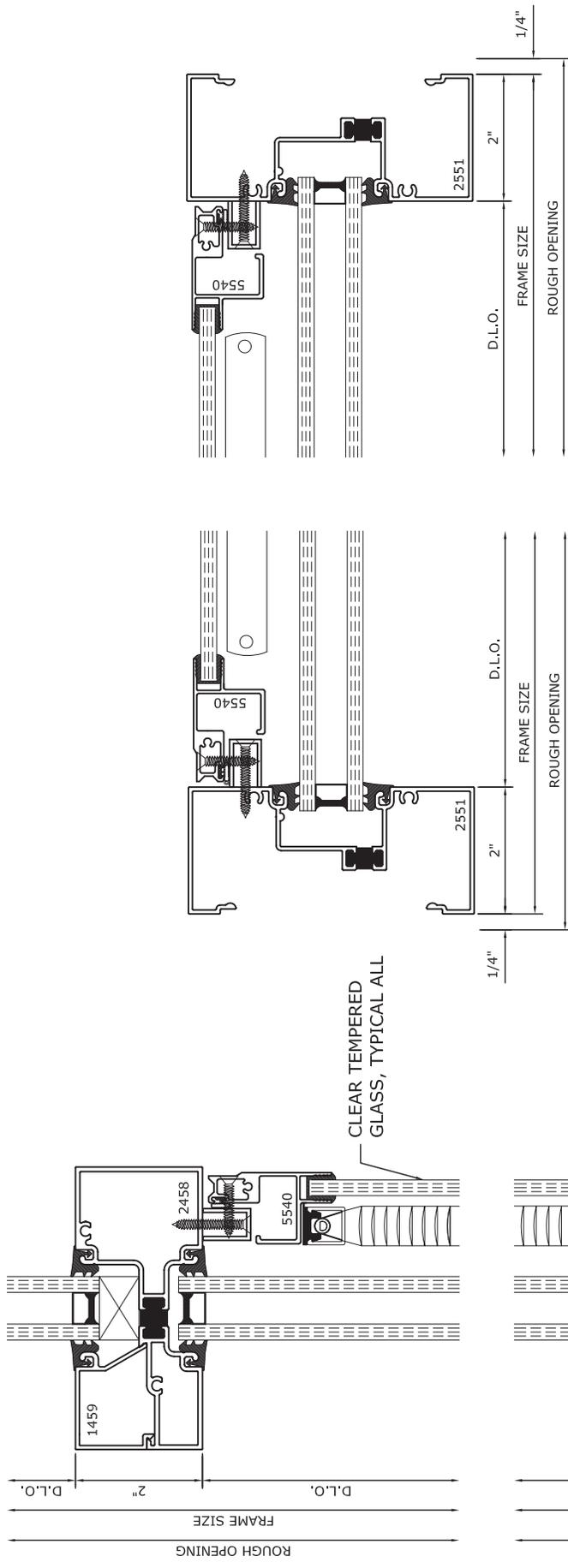
① VERTICAL SECTION



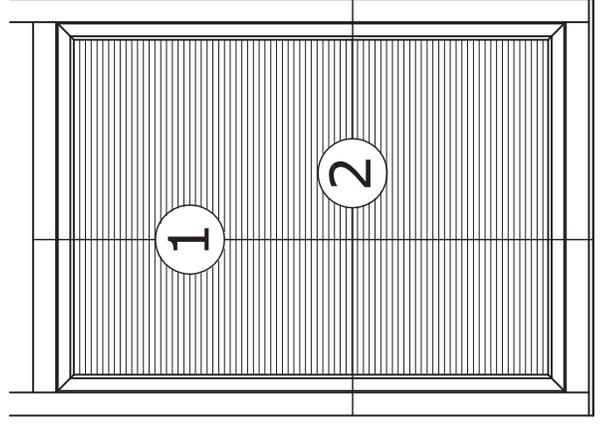
② HORIZONTAL SECTION



2450 STOREFRONT
TAKE-OUT SASH DETAIL

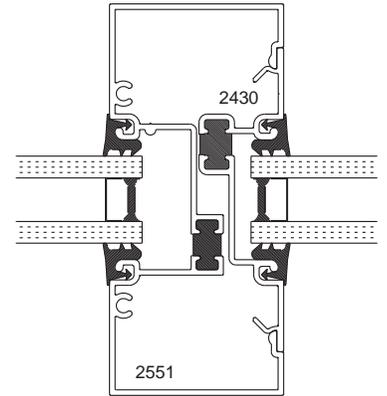
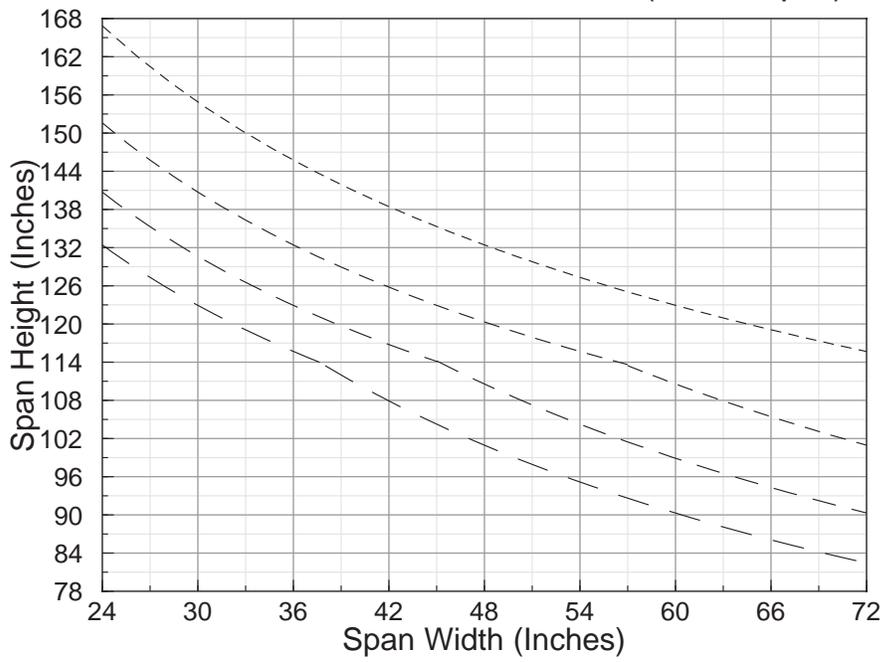


② HORIZONTAL SECTION



① VERTICAL SECTION

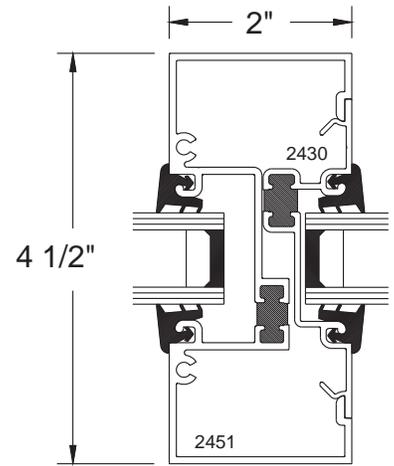
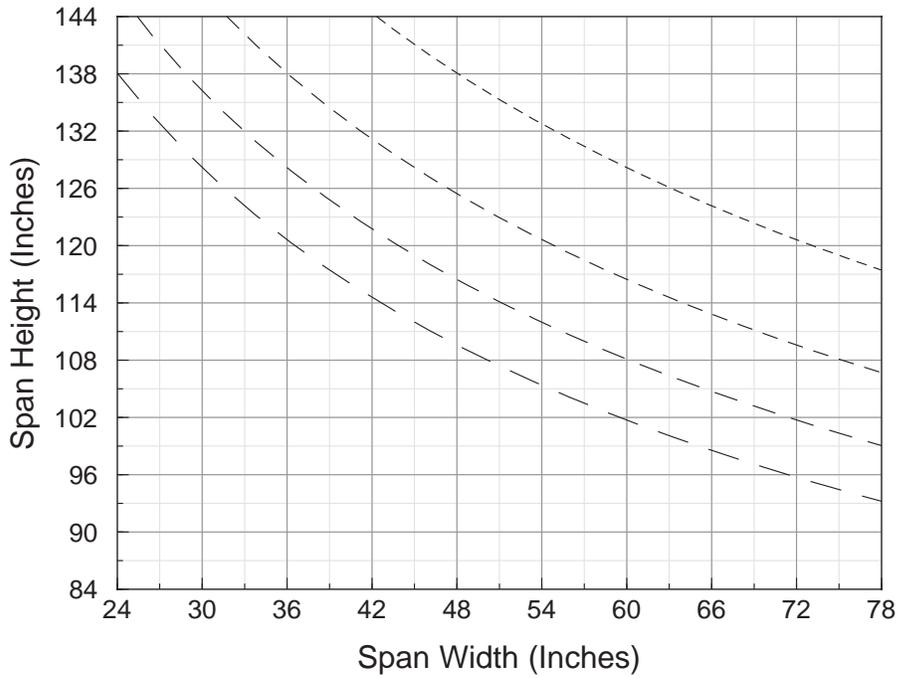
Windload Chart for #2551/2430 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

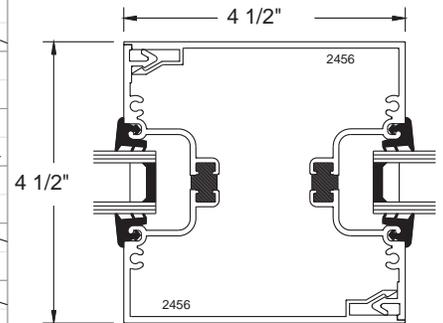
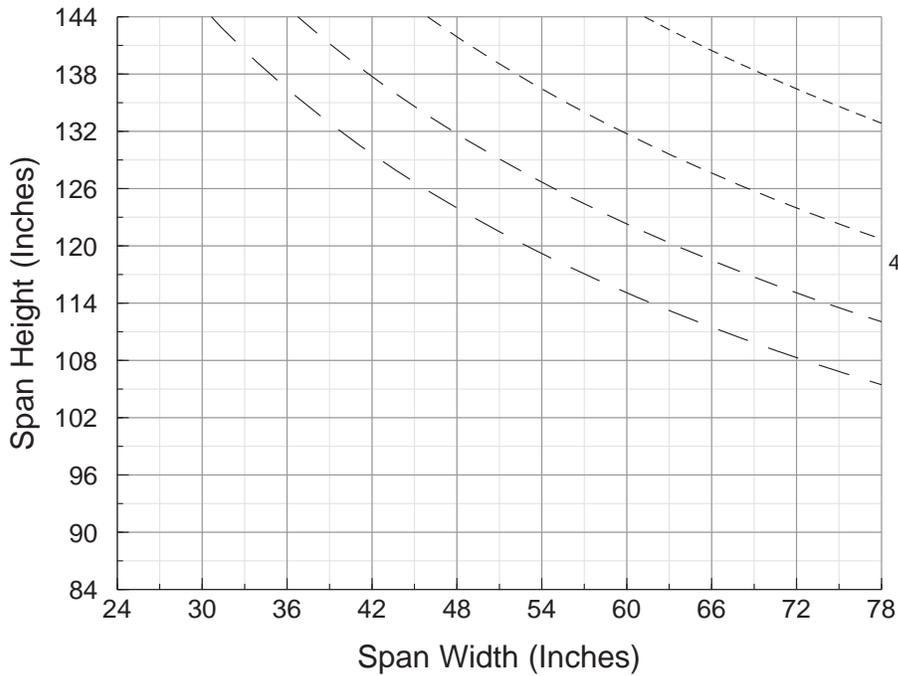
Deflections are based on L/175 for span heights below 13'6"

Windload Chart for 2451/2430 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

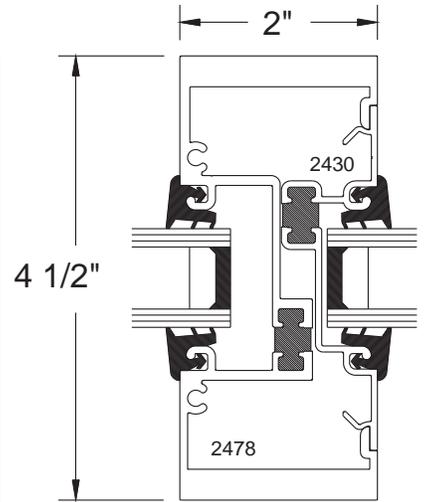
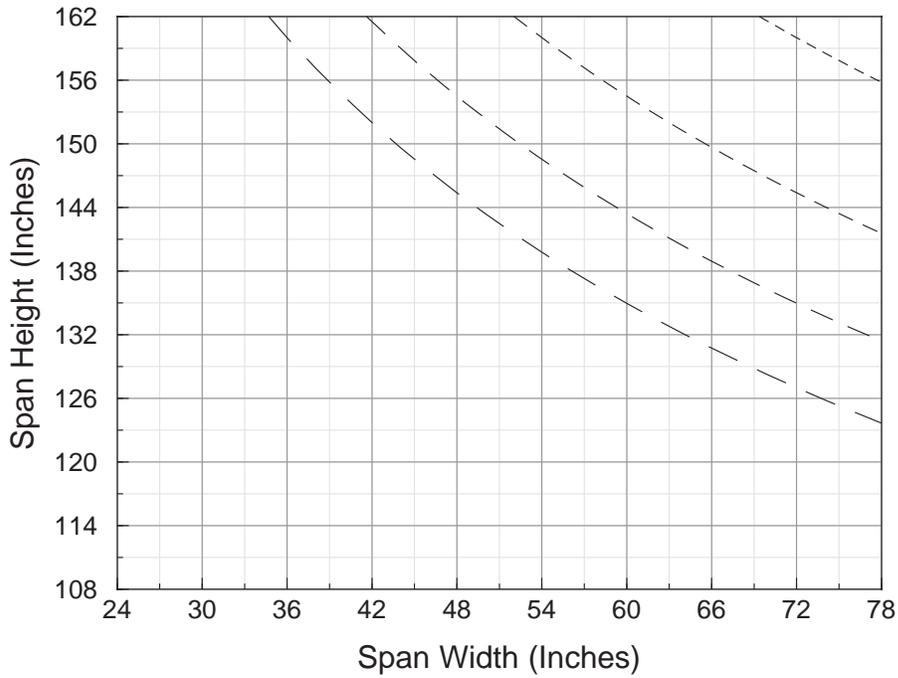
Windload Chart for 2456/2456 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

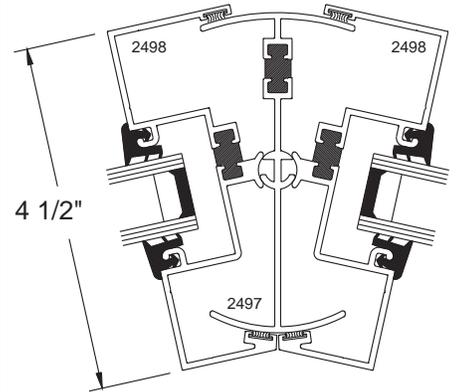
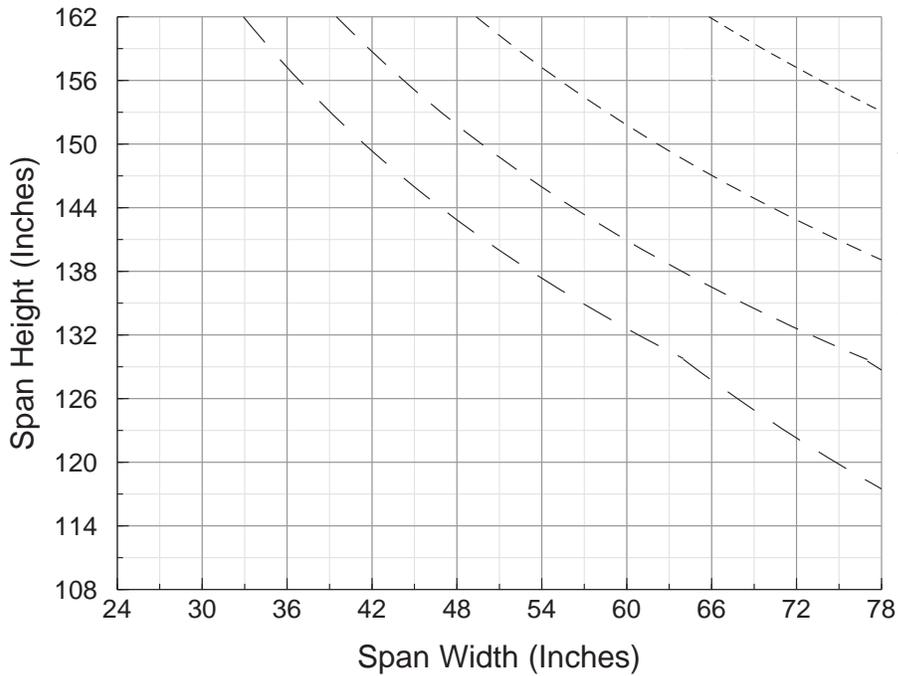
Deflections for both charts are based on L/175 for span heights below 13'6"

Windload Chart for 2478/2430 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

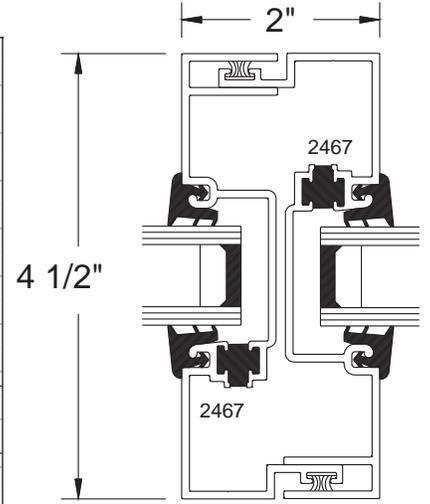
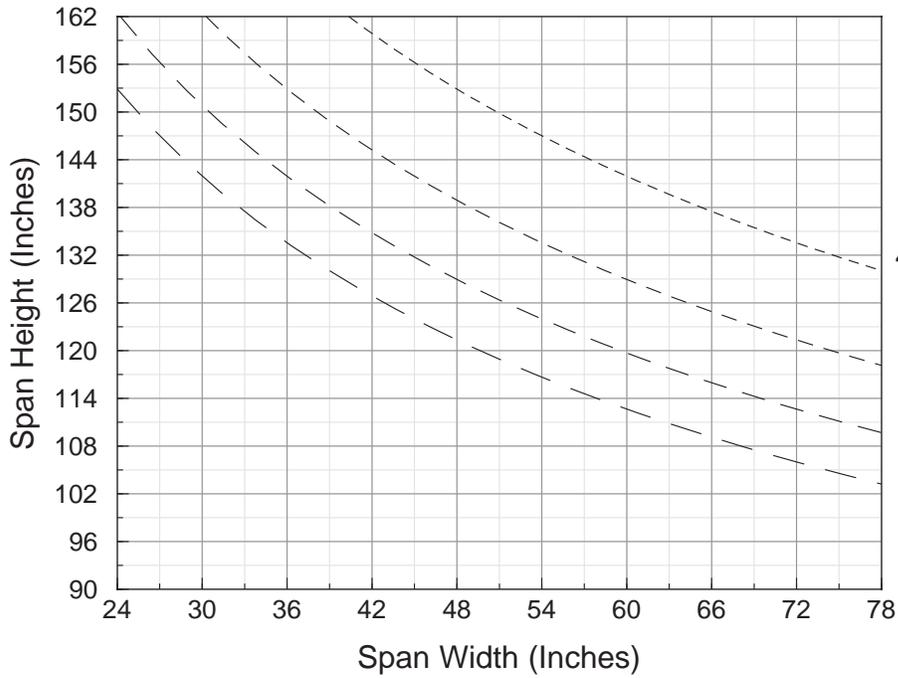
Windload Chart for 2498/2497/2498 (T6 Temper)



- 15 PSF
- 20 PSF
- 25 PSF
- 30 PSF

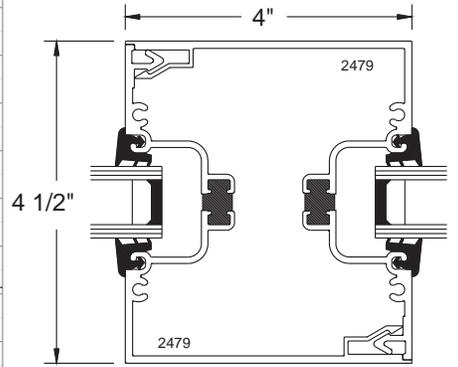
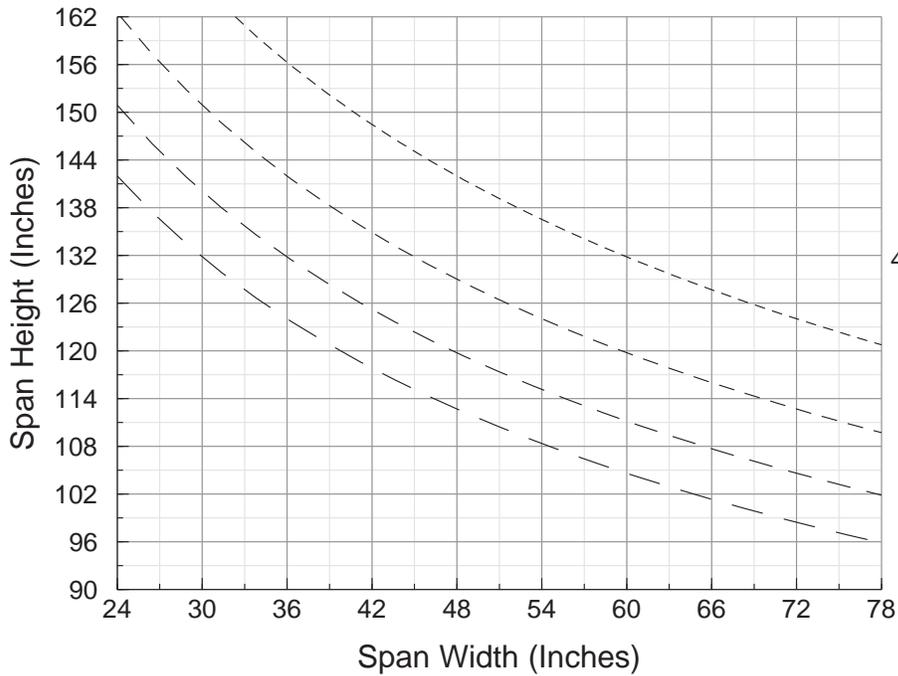
Deflections for both charts are based on L/175 for span heights below 13'6"

Windload Chart for 2467/2467 (T6 Temper)



- - - - 15 PSF
- - - - 20 PSF
- - - - 25 PSF
- - - - 30 PSF

Windload Chart for 2479/2479 (T6 Temper)



- - - - 15 PSF
- - - - 20 PSF
- - - - 25 PSF
- - - - 30 PSF

Deflections for both charts are based on L/175 for span heights below 13'6"

HISTORIC WINDOW SURVEY

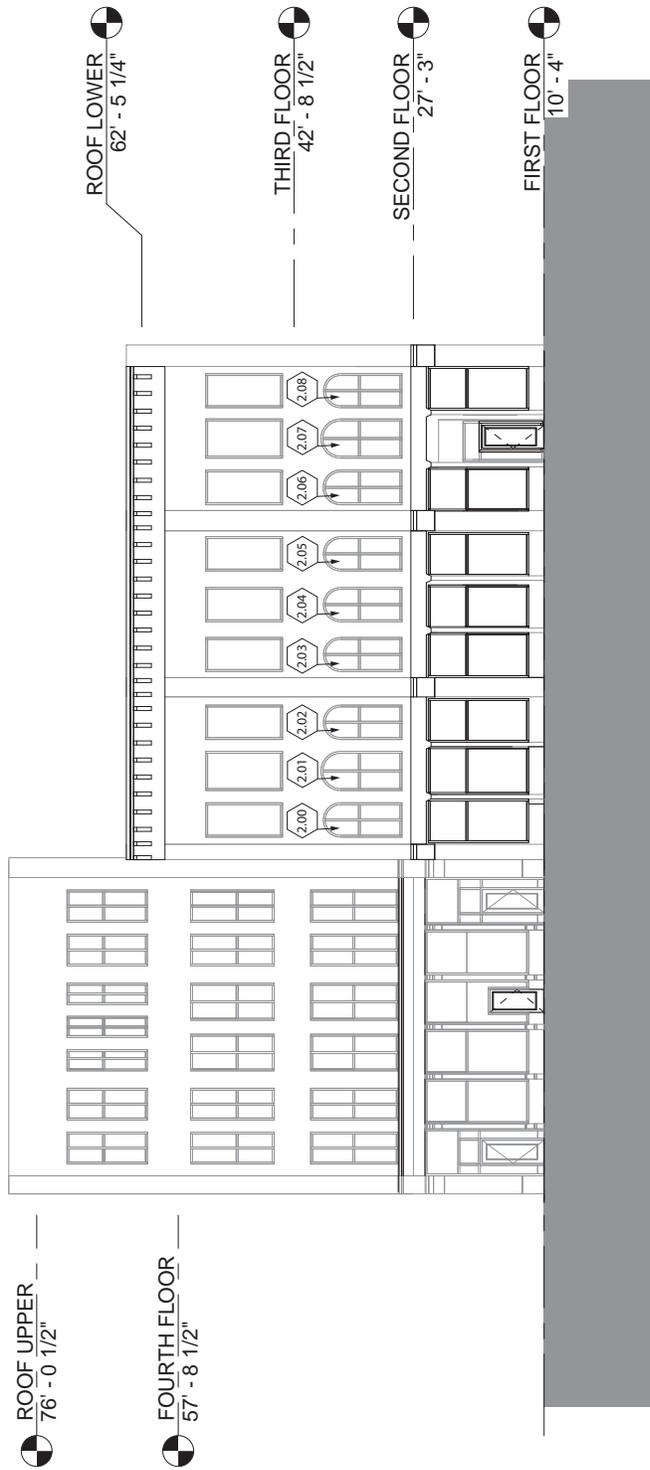
THE WASHINGTON

125-129 Washington Avenue North, Minneapolis, Minnesota



PRESERVATION DESIGN WORKS, LLC

575 9th Street SE, Ste. 215, Minneapolis, Minnesota



ROOF UPPER
76' - 0 1/2"

FOURTH FLOOR
57' - 8 1/2"

ROOF LOWER
62' - 5 1/4"

THIRD FLOOR
42' - 8 1/2"

SECOND FLOOR
27' - 3"

FIRST FLOOR
10' - 4"

1 Elevation North
1/16" = 1'-0"

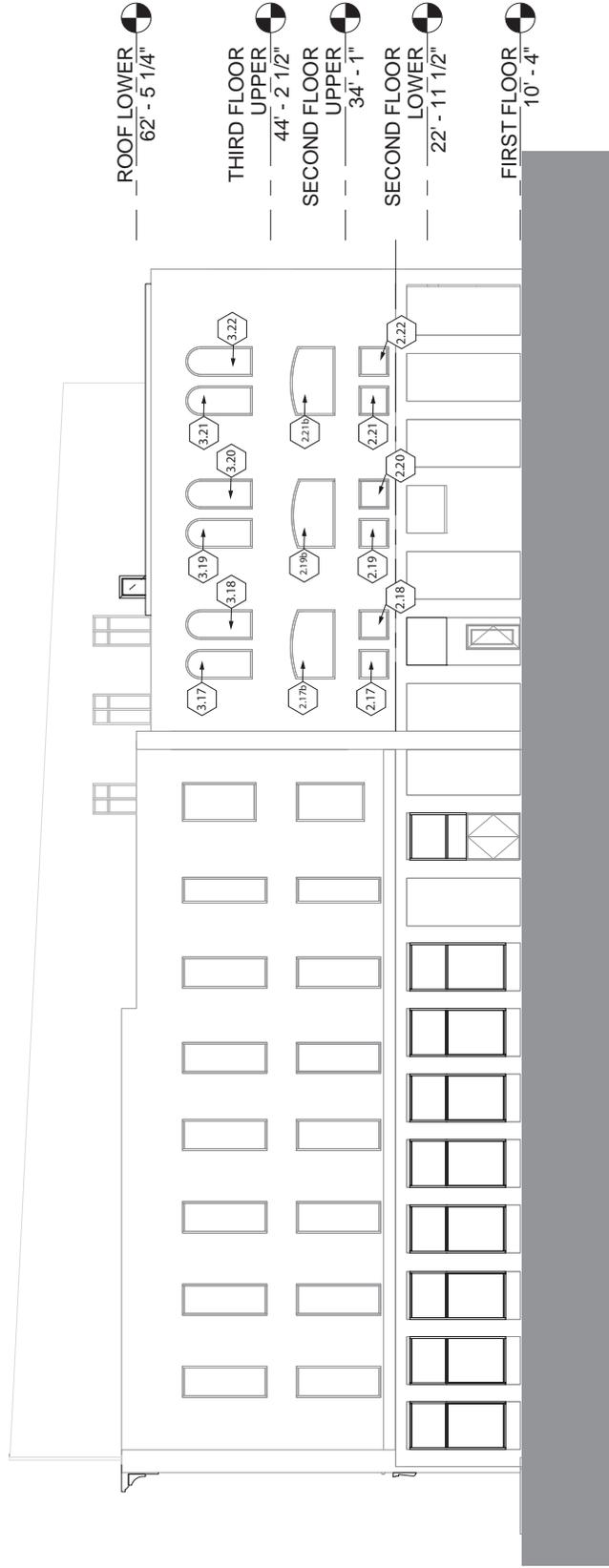
PVN
PRESERVATION
DESIGN WORKS, LLC
575 9TH ST. SE. SUITE 215
MINNEAPOLIS, MN 55414

Client Name and Address:
**FALCON RIDGE
PARTNERS, LLC**
2029 QUEEN AVE. S.
MINNEAPOLIS, MN 55405

Project Name and Address:
THE WASHINGTON
125-129 N. WASHINGTON AVE.
MINNEAPOLIS, MN 55401

Drawing Title:
WINDOW SURVEY: ELEVATIONS
JULY 31, 2015

Sheet Number:
A1



4 Elevation West
 A301 1/16" = 1'-0"

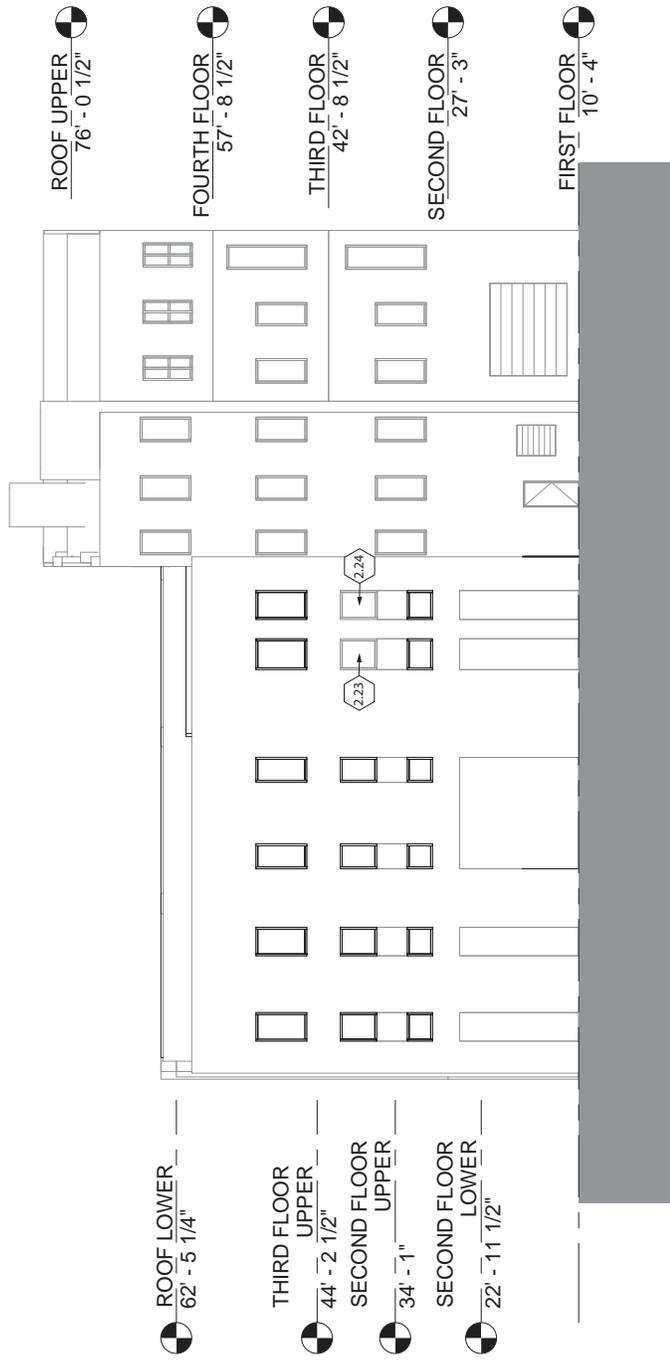
PVN
 PRESERVATION
 DESIGN WORKS, LLC
 575 9TH ST. SE. SUITE 215
 MINNEAPOLIS, MN 55414

Client Name and Address:
**FALCON RIDGE
 PARTNERS, LLC**
 2029 QUEEN AVE. S.
 MINNEAPOLIS, MN 55405

Project Name and Address:
THE WASHINGTON
 125-129 N. WASHINGTON AVE.
 MINNEAPOLIS, MN 55401

Drawing Title:
WINDOW SURVEY: ELEVATIONS
 JULY 31, 2015

Sheet Number:
A2



3 Elevation South
A301 1/16" = 1'-0"

PVN
PRESERVATION
DESIGN WORKS, LLC
575 9TH ST. SE, SUITE 215
MINNEAPOLIS, MN 55414

Client Name and Address:
**FALCON RIDGE
PARTNERS, LLC**
2029 QUEEN AVE. S.
MINNEAPOLIS, MN 55405

Project Name and Address:
THE WASHINGTON
125-129 N. WASHINGTON AVE.
MINNEAPOLIS, MN 55401

Drawing Title:
WINDOW SURVEY: ELEVATIONS
JULY 31, 2015

Sheet Number:
A3

PRESERVATION DESIGN WORKS, LLC

INTRODUCTION: THE WASHINGTON WINDOW SURVEY

Preservation Design Works, a consultant for Falcon Ridge Partners, LLC, surveyed the windows of The Washington Building at 125-129 Washington Avenue North, on July 30, 2015 to document and assess their current condition. Each window was surveyed from the interior of the building. Documenting and assessing the majority of the windows required climbing a ladder to assess the conditions near the top of the window. Assessing the exterior was done visually from the interior. Three (3) windows on the south elevation, third floor were not visible from the interior and therefore not assessed. In addition, windows 3.13-3.15 are partially inaccessible and a full assessment was not completed for each of these windows. Detailed recommendations for the windows are included in Appendix B.

The Washington Building was constructed in 1877 as the Anthony Kelly & Co. grocery store. It is a contributing building to the locally and nationally designed Minneapolis Warehouse Historic District. The period of significance for the district is 1865-1930. Significant changes to the building occurring during the period of significance include a three-story addition at the rear of the building in 1892. Significant changes to the building occurring outside the period of significance include dismantling and rebuilding the west façade from the second story up in 1943; replacing north elevation, third floor windows with glass block in 1957; replacing the storefront on Washington Avenue North in 1965; and various other repairs and alterations. A more detailed timeline of the building's physical history is included in Appendix A.

During the field assessment, window survey compilation, and subsequent research of building permits filed with the City of Minneapolis between 1889 and 1979, it was found that the steel windows located at the 2nd Avenue North façade of the building were installed outside of the period of significance. The steel windows are identified as 2.09 – 2.16 and 3.09 – 3.16. Though steel windows were produced and installed as early as the 1890s, an historic photograph¹ (shown above), dated c. 1925, shows the west façade at 2nd Avenue North in a different configuration than it is at present. In the photograph, the windows along the 2nd Avenue North elevation match the north elevation in height and style, including an arch top window on each end of the building between two pilasters. Also evident in this photo is a decorative cornice wrapping around the northwest corner and southwest edge, transitioning to a more narrow cornice at the center. American Lumber and Wrecking Company pulled two permits on December 2, 1943.² The first, was a \$750 demolition

¹ Wolpert-Davis Wholesale Grocers, Second Avenue North and Washington, Minneapolis. C. 1925. Photograph. Minnesota Historical Society, St. Paul, MN. ID Number: MH5.9 MP3.1W r5.

² Permit numbers E-18591 and A-25393. Permit A-25393 is attached in Appendix D. The city no longer retains the original Permit E-18591, though it is referenced in the permit index card for the building which is also attached in Appendix D.

permit described as “Hold 3 story brick stone & fact.” The second was a substantial \$8,000 construction permit described as “Alterations and repairs to be stores.” These permits are the only reasonable permits for the building to associate with a scope of work as large as replacing a façade.

On the 2nd Avenue North façade, there are currently eight (8) steel windows installed at the second level and eight (8) steel windows installed at the third level. The location of these windows location is different than the original five (5) wood windows that are depicted on this façade in the 1925 photograph. The second pilaster has been removed at both sides of the building. The cornice has been removed and now there is a step in the parapet which is capped with terra cotta and wraps around to the north elevation. There is no longer a reveal between the pilasters at the northwest corner and the wall in its current state is set back further from the decorative stone storefront cornice band than shown in the 1925 photo. Also, the north pilaster lacks the detailed bands apparent in the historic photographs. The chimneys that appear at the roof level in the 1925 photograph are no longer in place. At the interior of the building, there is no evidence of original sills or lintels to indicate the original five (5) opening locations, which means matching brick was not toothed in at the original openings. The only physical evidence of the original window locations exists in the form of remaining built-up wood headers in the third level floor framing. Photographic evidence of the rebuilt 2nd Avenue North façade is included in Appendix C and relevant building permit is included in Appendix D.

Based on evidence found in the field, historic photographs and the building permits, it is clear that the west façade, along 2nd Avenue North was dismantled from the storefront cornice to the roof and rebuilt and with the sixteen (16) steel windows in 1943, which is outside the period of significance for the Minneapolis Warehouse District.

APPENDIX A: THE WASHINGTON 125-129 BUILDING – TIMELINE

Timeline	Physical Building History
1877: Original construction	125-129 Washington Avenue North was constructed. It was constructed as a wholesale grocery store and referred to as “The Anthony Kelly & Company.”
1883: N.P.R.R. opening celebration	An opening celebration of the Northern Pacific Railroad (NPRR) took place in Minneapolis on September 3 rd . An historic photograph shows the Anthony Kelly & Co. grocery store decorated on the Washington Avenue North elevation.
1892: Rear addition	A three-story addition was constructed at the rear of the building over the existing 1 story warehouse, by H. Downs & Son. The design was similar to the original building with brick and rusticated stone pilasters and measured 64 feet by 67 feet by 32 feet high. The cost of this work was \$6,500.
1904: Freight elevator and shed addition	A freight elevator was added by the contractor H. Graves. The cost of this work was \$650. An 8 feet by 20 feet addition was added in December of this year and was constructed by W.B. & W.G. Jordan. The cost to do this work was \$300.
1910: Repairs after fire	A fire occurred in the building and L.L. Chadwick performed repairs afterwards. The contractor listed for this work was L.L. Chadwick and the repairs cost \$225.
1919: Freight elevator	A freight elevator was added by the contractor Gust Lagerquist for a project cost of \$2,200.
1920: Signage	Signage was added to the building in March and December of 1920 by H.L. Savage.
1924: Signage	Three wood and cloth signs were added in June by H.L. Savage.
1925: Historic photograph	A historic photograph showing the 2 nd Avenue elevation shows five windows each on the second and third floors, brick pilasters, and a decorative cornice. The current steel windows are not installed in the original window openings shown in this photograph.
1930: Signage	A wood sign was added by Prather Advertising Company.

Timeline Physical Building History

- | | |
|---|--|
| 1930:
Period of Significance | End of the period of significance for the Minneapolis Downtown Warehouse District as defined by both the local Minneapolis designation and the National Register of Historic Places designation. (1865-1930) |
| 1931-1942:
Signage | Additional signage was added to the building by various contractors. |
| 1943:
Demolition; alterations, and repairs | Two permits were pulled by American Lumber and Wrecking Company. The first, for \$750, was a demolition permit “to hold 3 sty. Br. St. & fact.” The second permit was for \$8000 in alterations and repairs to the Second Avenue façade “to be stores.” |
| 1946:
Alterations to elevator | Alterations were made to the existing freight elevator. The cost of this project was \$2,200. |
| 1949:
Paint spray booth | A paint spray booth was added by Wm. Schupp & Co. in March. |
| 1953:
Repairs after fire and other interior repairs and alterations | Minor repairs were made after a fire in the building in January. Additional repairs and alterations at the interior were made in March by D. J. Kranz for \$800. |
| 1957:
North window replacement | The third floor windows on the north elevation were replaced with glass block in October by D J Kranz for \$1,000. |
| 1961:
Electrical service | A new 400 amp electrical service was provided in May by Suburban Electrical Company. The cost of the new service was \$350. |
| 1964:
Signage | A new flat, metal and plastic sign was provided in June by Kaufman Outdoor Advertising for \$300. |
| 1965:
Storefront replacement | The Washington Avenue storefront was replaced in September for a total project cost of \$4,500. |
| 1969:
Interior alterations | Priestige Construction Company performed miscellaneous interior alterations for a total project cost of \$500 in September. Alterations included removing non-bearing partitions, stairs and catwalk. The permit notes that this work is “preparatory to obtaining remodeling permit.” |
| 1978:
Interior alterations | Two water closets and two lavatories were added in September for \$1,250. Interior alterations were performed at the first floor, May through July. The estimated project cost was \$2,500. |
| 1993:
Roof access | A permit was pulled by previous owner BSL, Inc. to construct a stair and enclosure for roof access. |

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APPENDIX B: THE WASHINGTON – WINDOW RECOMMENDATIONS



This memo summarizes Preservation Design Works' window treatment recommendations for 125 & 129 Washington Avenue North for the purpose of submitting a Certificate of Appropriateness (CofA) application to the City of Minneapolis Heritage Preservation Commission (HPC). The evaluation and recommendations of the windows are based on an on-site condition assessment (July 30, 2015) and *Preservation Briefs #9: The Repair of Historic Wooden Windows*.

The window survey included an evaluation of the amount and degree of deteriorated wood (including visible surrounding trim), condition of finishes, missing components, condition of the existing glass and glazing compound (putty), presence and condition of hardware, operability, and condition of masonry surrounds, including sills and lintels.

The recommendations generally concern rehabilitating the existing historic windows, which are from the period of significance of 1865-1930. However, some replacement recommendations are included for windows that have been previously modified or replaced. Additionally, options are included for windows that do not appear historic.

Window Recommendations

Group:	Includes opening #s:	Description:	Treatment Recommendation:
A	2.00 – 2.08	Historic wood, double-hung arch-top windows with vertical center muntin at both sashes, stone sill and brick lintel Second floor windows at the north elevation	Scrape and prep sound pieces of the frames, sash and trim to remove loose and flaking paint. Epoxy consolidate deteriorated wood components. If components are damaged or deteriorated beyond repair (or missing), replace with wood components to match the original. Utilize Dutchman repairs where possible to minimize the visual disturbance in the material and retain as much historic fabric as possible. Replace cracked or broken glass with clear glass panes. Remove and replace all glazing compound and back putty at the interior side of the glass panes. Replace missing screws and fasteners. Remove extraneous unnecessary components (such as steel angles, non-historic hardware, infill panels, etc.). Retain remaining sash cord hardware. If operability is desired, repair sash cord pockets and hardware and provide new sash cords. Prime with high quality oil-based primer compatible with selected finish coat. Repaint all components with two coats of high quality, exterior-grade 100% acrylic latex paint. Caulk the masonry surrounds with a high quality elastomeric sealant. Do not use silicone sealant against masonry. Provide weatherstripping and sash locks to reduce air infiltration. *Note: Where replacement panes are noted in lower sash, the building code official may require tempered glass panes.
C	2.17 – 2.22	Historic, wood, double-hung, 3 over 3, true divided lite, windows Lower second floor windows at the west elevation	
D	2.17b, 2.19b, 2.21b	Historic wood, arch-top, set of three double-hung, true divided lite windows. Side double-hungs are two over two with one horizontal muntin in each sash. Center window is four over four with central vertical and horizontal muntins. The windows are separated by a built-up 2X mullion. Upper second floor windows at the west elevation.	http://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm
E	2.23 – 2.24	Wood, double-hung, true divided lite windows. One has an arch-top and is historic, the other is flat-top and does not appear to be original to the building. Upper second floor windows at the south elevation.	

F	3.17 – 3.22	<p>Modified historic wood, arch-top, double-hung, four over four window, set in new frame and casing trim and fixed shut.</p> <p>Third floor windows at the west elevation.</p>	<p>The top and bottom window sash are original, the frame and casing trim are not original. Because this group of windows at the third floor was significantly modified, the six windows are candidates for replacement. Replacement windows should match the original windows. The existing sash should be salvaged and reused if possible. If the sash can be reused, perform the following scope of work:</p> <p>Scrape and prep sound pieces of the sash and remaining exterior trim to remove loose and flaking paint. Carefully remove existing caulking/sealant. Epoxy consolidate deteriorated wood components where needed. If components are damaged or deteriorated beyond repair (or missing), replace with wood components to match the original. Utilize Dutchman repairs where possible to minimize the visual disturbance in the material and retain as much historic fabric as possible. Splice the upper sash together. Replace cracked or broken glass with clear glass panes. Remove and replace all glazing compound and back putty at the interior side of the glass panes. Replace missing screws and fasteners. Remove extraneous unnecessary components (such as steel angles, non-historic hardware, infill panels, etc.). If operability is desired, provide new hardware. Prime with []. Repaint all components with two coats of []. Caulk the masonry surrounds with a high quality elastomeric sealant. Do not use silicone sealant against masonry. Provide weatherstripping and sash locks to reduce air infiltration.</p> <p>http://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm</p>
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APPENDIX C: THE WASHINGTON – ADDITIONAL PHOTOGRAPHS



Figure 1: Wolpert-Davis Wholesale Grocers, Second Avenue North and Washington, Minneapolis. C. 1925. Photograph. Minnesota Historical Society, St. Paul, MN. ID Number: MH5.9 MP3.1W r5.



Figure 2: Current photograph of 125 & 129 Washington Avenue North. Note that the face of the brick is stepped back from the stone storefront cornice band and a tapered concrete beam was added above the stone cornice to support the new brick wall. No evidence of brick being toothed in exists. The original stone pilaster has been replaced with brick. Source: Preservation Design Works. Summer 2015.



Figure 3: Current photograph of 125 & 129 Washington Avenue North, looking south at the north façade. Note that the stone pilaster at the corner has been replaced with brick and the decorative cornice is missing above the pilaster.
Source: Preservation Design Works (PVD). Summer 2015.



Figure 4: Current photograph of 125 & 129 Washington Avenue North. Note, the tapered beam installed above the stone storefront cornice band that supports the brick above. There is no evidence of toothed in brick, original lintels or sills at openings. The stone pilaster at the corner has been replaced with brick and the decorative cornice has been replaced with a terra cotta cap. Source: Preservation Design Works. Summer 2015.



Figure 5: Current photograph of 125 & 129 Washington Avenue North. Note the brick pilaster in lieu of stone as is evident in the c. 1925 photograph and there is no reveal at the corner.
 Source: Preservation Design Works.



Figure 6: Current photograph of 125 & 129 Washington Avenue North. Note the original framing, including the built-up window header, the cracking at the top of the window, and lack of evidence of original opening sills or lintels. There are five (5) built-up window headers along the west elevation, consistent with the location of the original openings in the c. 1925 photo. Also, note at the right-hand side of the picture, the painted versus unpainted brick, where window trim would have been installed over the brick. Source: Preservation Design Works. Summer 2015.

**PRESERVATION
DESIGN WORKS, LLC**

APPENDIX D: BUILDING PERMITS

Card #2

Over

INSPECTOR OF BUILDINGS

LOCATION 125-29 Washington Ave. N.

LOT 10 BLOCK None ADD. Coopers Subdiv. of Town of Mpls.
2912 0789 0098 1973

PERMIT NO.	CONSTRUCTION	DATE	CONTRACTOR	COST	O. K.
F-246120	Elec. ✓	3-4-31	J. O. Sallblad	50.	
H-11796	Iron elec. sign	3-16-31	Prather Sign Co.	85.	
F-351745	Motors	2-13-42	F. M. Tripp	55.	
H-19927	Flatwise wall sgn.	8-13-42	White Way Sgn. serv.	15.	
H-19928	Extended wall sgn.	8-14-42	do	25.	
E-18591	Hold 3 sty. br. st. & fact.	12-2-43	American Lbr. & Wreck.	750.	
A-25393	Alts. & rprs. to stores	12-2-43	do	8,000.	
F-359755	Outlets for motors	5-17-44	C. S. Williams	150.	5-19-44
F-360304	Alts.	7-13-44	do	500.	
F-360571	Wiring & fixts.	8-2-44	do	50.	
F-362493	Motor for stoker	11-16-44	Irving M. Rose	40.	
O-4863	Stoker	10-19-44	E. J. Morrow Co.	850.	
F-363367	Motors	1-2-45	G. S. Williams	400.	
C-3228	Alts. to Frght. Elev	4-10-46	R. & O. Elevator Co.	2,200.	
F-376427	Motor - elev.	4-10-46	do	125.	
D-367060	Elec. htr.	10-30-46	No. Side P&H Co.	150.	

ORIGINAL Saul Aronson PERMIT TO BUILD INSIDE OF FIRE LIMITS No. A 25393
 Owner
 Office of the INSPECTOR OF BUILDINGS
 Minneapolis, Minn. 12/2, 1943

Architect Sam Lutz & Co. Inc.
 Builders
 PROPOSED LOCATION OF BUILDING
 Part of Lot 1055
 Block 1055
 Street 119 Wash. Ave. No 1055
 To be completed Triple
 Estimated Cost 51144.8500

DESCRIPTION OF BUILDING
 To be used as to be completed
 No. of Stories 3
 Height 11/44
 Foundation 8500

W. E. O'Connell Contractor
John J. O'Connell Superintendent
John J. O'Connell Inspector of Buildings

AGREEMENT AND SWORN STATEMENT
 In consideration of the issue and delivery to me by the Inspector of Buildings of the City of Minneapolis of the above permit, I hereby agree to do the proposed work in accordance with the description above set forth and according to the provisions of the ordinances of the City of Minneapolis, and, being duly sworn, I hereby state and say that the facts stated in the above permit are true as therein stated.

Subscribed and sworn to before me at Minneapolis, Minnesota, this 12-2 day of 1943
 My commission expires 1-2-44
Notary Public, Hennepin County, Minn.

* INSPECTION COMPLETED
 1/27/1944

Window Number: 2.00	Reference Drawings: A1
<p>Description: Historic wood, painted, double-hung semi-circular arch-top window with vertical center muntin at both sashes. The window opening is arched at the exterior with a stone arch with a voussoir and stone sill. The opening is square at the interior; the frame has a flat top with an arch to accommodate the upper sash. The stool and jambs are stone; the interior header is a combination of a shallow brick arch and running bond brick. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, round trim at the sides and top at the exterior and no finish trim at the interior. The window operated on sash cords and pulleys originally, but contains no other evidence of hardware.</p>	
<p>Conditions: The upper sash is slightly dropped. There are steel angles installed at the exterior to support the upper sash. The lower sash is covered in a fiberglass sheet material. There is a board installed at the interior side of the lower sash to secure the fiberglass sheet. There is no glass behind the fiberglass at the lower sash. The stool is stone and is generally in fair to poor condition, with spalled and loose or deteriorated mortar joints. There is a wood stop installed at the bottom frame. The bottom rail of the lower sash is deteriorated (the wood is soft) and there is a small chunk of wood that has detached. The top rail of the lower sash is deteriorated at both exterior corners. Typically there is wood loss in these areas. The left side interior stop is missing completely and the right side is missing approximately 75%. One brick in the arched header is chipped at the corner; mortar joints are typically cracked. There are two pulls at the bottom rail of the lower sash. The sash cord pulleys remain, but the cords are missing. The glazing compound was not visible at all parts of the window, but was in poor condition where observed at the upper sash. The paint finish is peeling and flaking in a few areas and missing completely in other areas.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame		X			
Sash			X		
Exterior Trim			X		
Exterior Stop			X		
Exterior Wood Sill			X (Assumed)		
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool				X	
Interior Header			X		
Hardware				X	
Muntins		X			
Finish			X		

Photographic Documentation: 2.00



Window Number: 2.01	Reference Drawings: A1
<p>Description: Historic wood, painted, double-hung semi-circular arch-top window with vertical center muntin at both sashes. The window opening is arched at the exterior with a stone arch with a voussiour and stone sill. The opening is square at the interior; the frame has a flat top with an arch to accommodate the upper sash. The stool and jambs are stone; the interior header is a combination of a shallow brick arch and running bond brick. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, round trim at the sides and top at the exterior and no finish trim at the interior. The window operated on sash cords and pulleys originally, but contains no other evidence of hardware. This window is one of three larger windows on the north elevation.</p>	
<p>Conditions: There are steel angles installed at the exterior, supporting the upper sash, as well as the interior to secure the lower sash. The stool is stone and is generally in fair to poor condition, with spalled or loose stone and loose, missing or deteriorated mortar joints. The left-hand corner of the bottom rail of the lower sash is deteriorated and weathered. The top rail of the lower sash is deteriorated at both exterior corners and a large chunk of wood is missing at the left-hand exterior side. The right-hand side of the bottom rail of the upper sash has a hole and the wood along the entire length of the sash is soft and weathered. The left side exterior stop is missing completely. The interior stop is partially missing near the bottom of the window at both sides. The exterior trim is typically weathered and deteriorated at the right side (generally toward the bottom). The wood is checked and the grain is raised. Mortar joints are deteriorated and missing in some areas at the arch and flat brick at the header. One brick is chipped. There are two pulls at the bottom rail of the lower sash. The sash cord pulleys remain, but the cords are missing. The glazing compound is missing or deteriorated at both the upper and lower sash. The paint finish is peeling and flaking in a few areas and missing completely in other areas.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop			X		
Exterior Wood Sill			X		
Interior Trim					NA
Interior Stop			X		
Interior Stool				X	
Interior Header			X		
Hardware				X	
Muntins		X			
Finish			X		

Photographic Documentation: 2.01



Window Number: 2.02	Reference Drawings: A1
<p>Description: Historic wood, painted, double-hung semi-circular arch-top window with vertical center muntin at both sashes. The window opening is arched at the exterior with a stone arch with a voussiour and stone sill. The opening is square at the interior; the frame has a flat top with an arch to accommodate the upper sash. The stool and jambs are stone; the interior header is a combination of a shallow brick arch and running bond brick. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, round trim at the sides and top at the exterior and no finish trim at the interior. The window operated on sash cords and pulleys originally, but contains no other evidence of hardware.</p>	
<p>Conditions: The upper sash is slightly dropped. There are steel angles installed at the exterior, supporting the upper sash, as well as the interior to secure the lower sash. The stool is stone and is generally in fair to poor condition, with spalled or loose stone and loose, missing or deteriorated mortar joints. There is a piece of the right-hand corner of the bottom rail of the lower sash that is loose and raised. The top rail of the lower sash is deteriorated at both exterior corners. There is typically wood loss in these areas. The center of the bottom rail of the upper sash is deteriorated; it is soft and weathered. The left side interior stop is missing completely. The exterior square stop is broken and partially missing at the right-hand side of the window. A replacement (double-ogee style) stop has been temporarily installed. The exterior trim is typically weathered and deteriorated at the right side (generally toward the bottom). The wood is checked and the grain is raised. Mortar joints are deteriorated and missing in some areas at the arch at the header. There are two pulls at the bottom rail of the lower sash. The sash cord pulleys remain, but the cords are missing. The glazing compound is missing or deteriorated at both the upper and lower sash. The paint finish is peeling and flaking in a few areas and missing completely in other areas. There are three broken panes.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop			X		
Exterior Wood Sill			X		
Interior Trim					NA
Interior Stop				X	
Interior Stool			X		
Interior Header			X		
Hardware				X	
Muntins		X			
Finish					

Photographic Documentation: 2.02



Window Number: 2.03	Reference Drawings: A1
<p>Description: Historic wood, painted, double-hung semi-circular arch-top window with vertical center muntin at both sashes. The window opening is arched at the exterior with a stone arch with a voussiour and stone sill. The opening is square at the interior; the frame has a flat top with an arch to accommodate the upper sash. The stool and jambs are stone; the interior header is a combination of a shallow brick arch and running bond brick. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, round trim at the sides and top at the exterior and no finish trim at the interior. The window operated on sash cords and pulleys originally, but contains no other evidence of hardware.</p>	
<p>Conditions: There are steel angles installed at the exterior, supporting the upper sash, as well as the interior to secure the lower sash. The stool is stone and is covered with concrete. There is a wire coming through the right-hand corner of the bottom rail of the lower sash. The top rail of the lower sash is deteriorated at both exterior corners. There is typically wood loss in these areas. The bottom rail of the upper sash is deteriorated; it is checked along the entire length and the grain is raised. The interior stop is partially missing at the right side of the window towards the bottom. The exterior trim is typically weathered and deteriorated at the right side (generally toward the bottom). The wood is checked and the grain is raised. The exterior wood sill is heavily deteriorated with numerous checks and raised grain. The sash cord pulleys remain, but the cords are missing. The glazing compound is typically missing or deteriorated at both the upper and lower sash. The paint finish is peeling and flaking in a few areas and missing completely in other areas. There is one broken pane.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop			X		
Exterior Wood Sill				X	
Interior Trim					NA
Interior Stop				X	
Interior Stool				X	
Interior Header			X		
Hardware				X	
Muntins		X			
Finish			X		

Photographic Documentation: 2.03



Window Number: 2.04	Reference Drawings: A1
<p>Description: Historic wood, painted, double-hung semi-circular arch-top window with vertical center muntin at both sashes. The window opening is arched at the exterior with a stone arch with a voussieur and stone sill. The opening is square at the interior; the frame has a flat top with an arch to accommodate the upper sash. The stool and jambs are stone; the interior header is a combination of a shallow brick arch and running bond brick. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, round trim at the sides and top at the exterior and no finish trim at the interior. The window operated on sash cords and pulleys originally, but contains no other evidence of hardware. A clay tile wall was installed at some point, partially obstructing the right side of the window. All components were able to be evaluated. This window is one of three larger windows on the north elevation.</p>	
<p>Conditions: There are steel angles installed at the exterior, supporting the upper sash. The stool is stone and is generally in better condition than the others with less spalled and deteriorated mortar joints. There is a wood 2x4 installed tight against the bottom rail of the lower sash. The top rail of the lower sash is deteriorated at both exterior corners. There is typically wood loss in these areas. A portion of the left side interior stop is missing. A replacement stop has been temporarily installed toward the top of the window at the left side. The exterior square stop is partially missing at the right side of the window. The exterior trim is typically weathered and deteriorated at the right side (generally toward the bottom). The wood is checked and the grain is raised. The exterior wood sill is heavily deteriorated with numerous checks and raised grain. There is a small crack in the flat brick of the header. The sash cord pulleys remain, but the cords are missing. The glazing compound is missing or deteriorated at both the upper and lower sash. The glass is loose in the sash. The paint finish is peeling and flaking in a few areas and missing completely in other areas. The flat face of the frame at the right side is separated from the wood members behind it. There is a small gap between the sash and frame at the right side.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop			X		
Exterior Wood Sill			X		
Interior Trim					NA
Interior Stop				X	
Interior Stool			X		
Interior Header		X			
Hardware					NA
Muntins		X			
Finish			X		

Photographic Documentation: 2.04



Window Number: 2.05	Reference Drawings: A1
<p>Description: Historic wood, painted, double-hung semi-circular arch-top window with vertical center muntin at both sashes. The window opening is arched at the exterior with a stone arch with a voussiour and stone sill. The opening is square at the interior; the frame has a flat top with an arch to accommodate the upper sash. The stool and jambs are stone; the interior header is a combination of a shallow brick arch and running bond brick. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, round trim at the sides and top at the exterior and no finish trim at the interior. The window operated on sash cords and pulleys originally, but contains no other evidence of hardware.</p>	
<p>Conditions: There are steel angles installed at the interior to support and secure both the upper and lower sash. The lower sash is covered in a fiberglass sheet material. There is a board installed at the interior side of the lower sash to secure the fiberglass sheet. One pane of glass is missing completely behind the fiberglass at the lower sash. The stool is stone and is generally in fair to poor condition, with spalled and missing stone and loose or deteriorated mortar joints. A portion of wood at the right frame is missing – it appears to be chiseled or chipped off. The top rail of the lower sash is deteriorated at both exterior corners. Typically there is wood loss in these areas. The bottom rail of the upper sash is heavily checked and deteriorated. Soft wood was not observed at this site visit. Daylight was observed between the sash and frame at the right side. The interior stop is missing completely at both sides. A partial replacement interior stop was installed at the right side of the window. The exterior trim is typically weathered and deteriorated at the right side (generally toward the bottom). The wood is checked and the grain is raised. The exterior wood sill is deteriorated with numerous checks and raised grain. There is a crack in the flat portion of the brick header. There are two pulls at the bottom rail of the lower sash. The sash cord pulleys remain, but the cords are missing. The glazing compound was not visible at all parts of the window, but was in poor condition where observed at the upper sash. The paint finish is peeling and flaking in a few areas and missing completely in other areas. A total of two panes are broken or missing.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop			X		
Exterior Wood Sill				X	
Interior Trim					NA
Interior Stop				X	
Interior Stool				X	
Interior Header			X		
Hardware				X	
Muntins		X			
Finish			X		

Photographic Documentation: 2.05



Window Number: 2.06	Reference Drawings: A1
<p>Description: Historic wood, painted, double-hung semi-circular arch-top window with vertical center muntin at both sashes. The window opening is arched at the exterior with a stone arch with a voussour and stone sill. The opening is square at the interior; the frame has a flat top with an arch to accommodate the upper sash. The stool and jambs are stone; the interior header is a combination of a shallow brick arch and running bond brick. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, round trim at the sides and top at the exterior and no finish trim at the interior. The window operated on sash cords and pulleys originally, but contains no other evidence of hardware.</p>	
<p>Conditions: The upper sash is slightly dropped. There are steel angles installed at the exterior to support the upper sash and at the interior to secure the lower sash. The stool is stone and is generally in fair to poor condition, with spalled and missing stones and loose or deteriorated mortar joints. A portion of the wood frame near the top right corner appears to be carved or chipped away. The top rail of the lower sash is deteriorated at both exterior corners. Typically there is wood loss in these areas. The bottom rail of the upper sash is checking and soft, weathered wood was observed at the left side. The profile at the bottom rail of the lower sash appears to be deteriorated and weathered. A portion of the center muntin is missing towards the bottom rail of the lower sash. Also, a portion of the wood frame at the bottom of the window has been chipped off. The bottom rail of the lower sash is deteriorated; soft wood was observed in a few locations. The interior stop is missing completely at both sides. The exterior square stop is missing from the spring line of the arch down to the sill at both sides. The exterior trim is typically weathered and deteriorated at the left side (generally toward the bottom). The wood is checked and the grain is raised. The exterior wood sill is deteriorated with numerous checks and raised grain. The sash cord pulleys remain, but the cords are missing. The glazing compound is cracking and falling off and is in poor condition. There is a crack in the flat portion of the brick header above. The paint finish is peeling and flaking in a few areas and missing completely in other areas.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop			X		
Exterior Wood Sill				X	
Interior Trim					NA
Interior Stop				X	
Interior Stool				X	
Interior Header			X		
Hardware				X	
Muntins			X		
Finish			X		

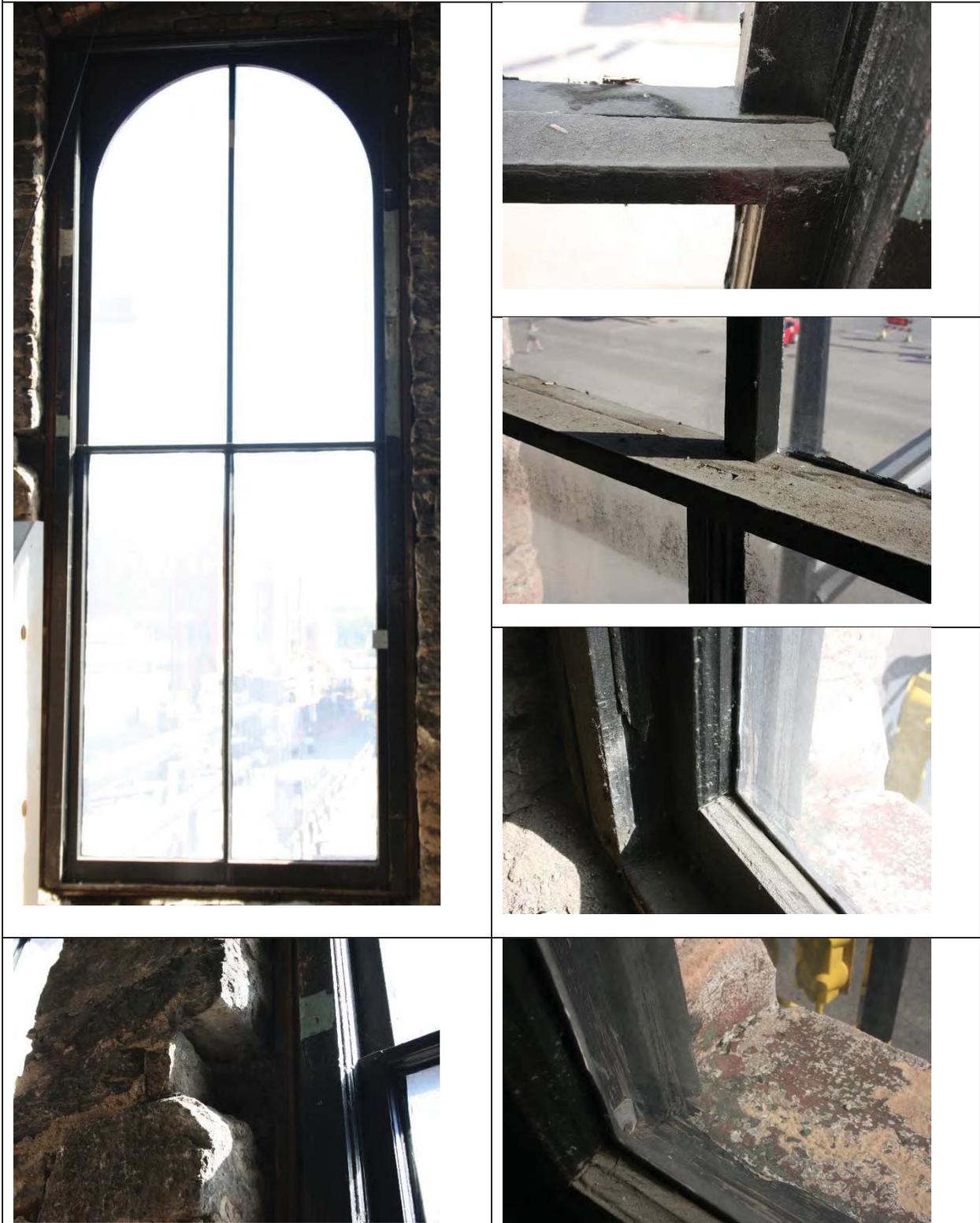
Photographic Documentation: 2.06



Window Number: 2.07	Reference Drawings: A1
<p>Description: Historic wood, painted, double-hung semi-circular arch-top window with vertical center muntin at both sashes. The window opening is arched at the exterior with a stone arch with a voussieur and stone sill. The opening is square at the interior; the frame has a flat top with an arch to accommodate the upper sash. The stool and jambs are stone; the interior header is a combination of a shallow brick arch and running bond brick. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, round trim at the sides and top at the exterior and no finish trim at the interior. The window operated on sash cords and pulleys originally, but contains no other evidence of hardware. This window is one of three larger windows on the north elevation.</p>	
<p>Conditions: The upper sash has been replaced. The wood members are flat with no profile. There are steel angles installed at the exterior to support the upper sash and at the interior to secure the lower sash. Steel angles have been placed at the exterior toward the bottom of the lower sash. The stool is stone and is generally in fair to poor condition, with spalled and missing stones and loose or deteriorated mortar joints. There is stone missing at the left interior jamb. The top rail of the lower sash is deteriorated at both exterior corners. Typically there is wood loss in these areas. The interior stop is missing completely at the right side and partially at the left side. The exterior square stop is missing at the right side. The exterior trim is typically weathered and deteriorated at the left side (generally toward the bottom). The wood is checked and the grain is raised. The exterior wood sill is deteriorated with numerous checks and raised grain. The lower frame at the interior has pulled apart and appears to be chipped or deteriorated. The sash cord pulleys remain, but the cords are missing. The glazing compound is cracked and falling off and is in poor condition. The mortar joints in the flat brick header above are missing or deteriorated. The paint finish is peeling and flaking in a few areas and missing completely in other areas.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop			X		
Exterior Sill				X	
Interior Trim					NA
Interior Stop			X		
Interior Stool				X	
Interior Header			X		
Hardware				X	
Muntins		X			
Finish			X		

Photographic Documentation: 2.07



Window Number: 2.08	Reference Drawings: A1
<p>Description: Historic wood, painted, double-hung semi-circular arch-top window with vertical center muntin at both sashes. The window opening is arched at the exterior with a stone arch with a voussiour and stone sill. The opening is square at the interior; the frame has a flat top with an arch to accommodate the upper sash. The stool and jambs are stone; the interior header is a combination of a shallow brick arch and running bond brick. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, round trim at the sides and top at the exterior and no finish trim at the interior. The window operated on sash cords and pulleys originally, but contains no other evidence of hardware.</p>	
<p>Conditions: The upper sash has dropped slightly. There are steel angles installed at the interior and exterior to support the upper sash. The stool is stone and is generally in fair to poor condition, with spalling and missing stones and loose or deteriorated mortar joints. The top rail of the lower sash is deteriorating at both exterior corners. Typically there is wood loss in these areas. The interior stop is partially missing at both sides. The exterior trim is typically weathered and deteriorated at both sides (generally toward the bottom). The round trim at the left side is missing a portion toward the sill. The wood at the exterior trim is checked and the grain is raised. The exterior wood sill is deteriorated with numerous checks and raised grain. The sash cord pulleys remain, but the cords are missing. The glazing compound is cracked and falling off and is in poor condition. The right-hand corner of the brick header has been previously repaired with a combination of poured concrete and brick laid in a running bond pattern. The concrete has infilled a portion of the flat brick area below the arch. The paint finish is peeling and flaking in a few areas and missing completely in other areas.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X (Partial)
Exterior Sill				X	
Interior Trim					NA
Interior Stop			X		
Interior Stool				X	
Interior Header				X	
Hardware				X	
Muntins		X			
Finish			X		

Photographic Documentation: 2.08



Window Number: 2.17	Reference Drawings: A2
<p>Description: Historic wood, painted, double-hung, 3 over 3, true divided lite window with a flat header at the exterior constructed of radiating bricks. The window opening and frame have a shallow arch at the interior. A steel wide flange beam has been placed above each pair of flat topped windows. Evidence of the original radiating brick arch remains behind the wide flange beam. The interior window surround is painted brick, the interior stool is stone with a sloped concrete parge coat. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware. There is a small metal clip toward the top of the window which is assumed to be for previously installed blinds. The exterior surround is brick with a stone sill.</p>	
<p>Conditions: The painted steel lintel is in good condition, as it was added later. The condition of the brick arch lintel behind was not observed. The interior stool is cracked. The exterior stone sill has spalled. The upper sash is not square within the frame; there is a gap at the right-hand corner of the upper sash. Nails support the upper sash within the frame. The top rail of the lower sash is deteriorated at the center. The bottom rail of the lower sash is checked and deteriorated. The interior stop is missing at the right and top sides. The round wood trim at the exterior of the window is heavily checked, as is the wood sill. A large chunk of the wood sill at the exterior is missing at the left-hand side. The sash cord system is present. There are four broken panes. The glazing compound is typically in poor condition; it is cracked, loose, or missing. The paint finish is generally in fair condition; it has peeled and flaked.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame		X			
Sash			X		
Exterior Trim				X	
Exterior Stop			X		
Exterior Wood Sill			X (Assumed)		
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool				X	
Interior Header			X		
Hardware				X	
Muntins		X			
Finish			X		

Photographic Documentation: 2.17



Window Number: 2.17b	Reference Drawings: A2
<p>Description: Historic wood, painted, arch-top, set of three double-hung, true divided lite windows. Side double-hung windows consist of a two over two sash configuration with one horizontal muntin in each sash. The upper sash of the side windows has an arch top which leads to the arch at the center window. The larger center window is four over four with central vertical and horizontal muntins. The windows are separated by a built-up 2X mullion that lacks interior finish trim. The interior surround is brick, the interior stool is stone with a concrete parge coat and the header consists of a series of stacked radiating header bricks in an arch form. The exterior surround is brick, the sill is stone and the header is similar to the interior. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware.</p>	
<p>Conditions: Approximately 50% of the exterior brick at the arch header has spalled. The brick header at the interior is in good condition. There are mortar joints missing at the exterior stone sill. The exterior wood sill is in poor condition with typical deterioration, heavily checked and raised grain. The top sash of the center window is loose and slightly dropped; there are nails holding the upper sash in place. Wood at the junction of the vertical muntin and lower rail of the top sash has deteriorated. The bottom rail of the lower sash is deteriorated. The lower rail may have been replaced at some point as glazing compound is used as the interior stop for the glass panes. The glazing compound is now cracked. The interior and exterior stops are missing at the right side of the center window. A portion of the left interior stop is missing near the bottom. There is a small chunk of the exterior square stop missing at the upper sash of the left window. The interior stop is missing at the left side and broken at the bottom of the right side. Half of a muntin is missing at the lower sash. The upper sash is secured with nails. The bottom rail of the top sash is lightly checked. The bottom rail of the top sash exhibits typical deterioration at both exterior corners. There is wood loss evident in this location. The exterior trim and frame of the left and right windows are checked, most severely at the right-hand side. The bottom rail of the upper sash of the right-hand window is deteriorated and checked at the exterior. The top rail of the lower sash is also typically deteriorated at both exterior corners. The interior stop is missing at the right side, and the exterior stop is missing at both sides of the right-hand window. The paint finish is typically peeling and flaking. The glazing compound is generally in poor condition, showing deterioration in the form of cracks, being loose, or missing. The sash cord system is in place, but inoperable.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X (partial)
Exterior Wood Sill			X		
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool			X		
Interior Header			X (Assumed)		
Hardware				X	

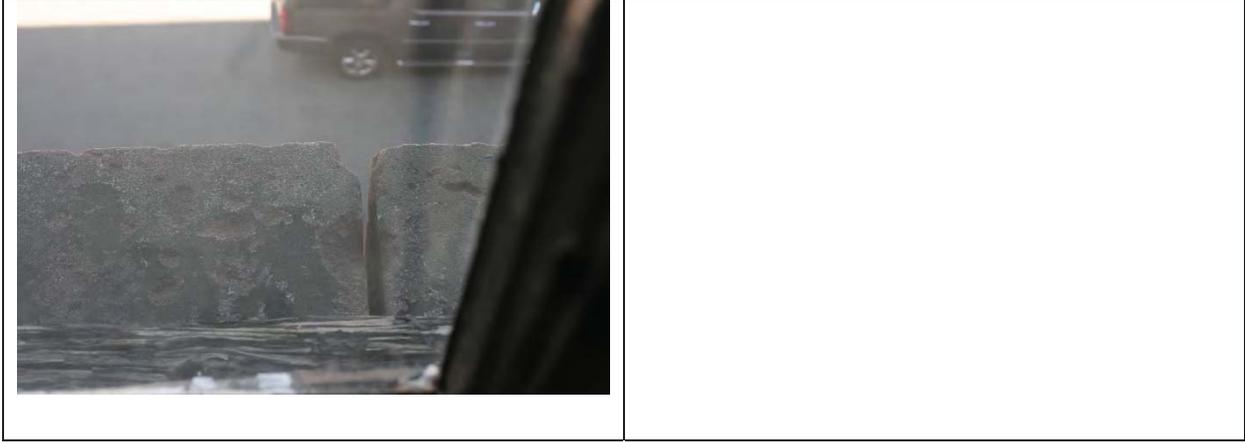
Muntins					X (partial)
Finish			X		

Photographic Documentation: 2.17b



The Washington Window Survey
125 & 129 N Washington Avenue, Minneapolis, MN 55401





Window Number: 2.18	Reference Drawings: A2
<p>Description: Historic wood, painted, double-hung, 3 over 3, true divided lite window with a flat header at the exterior constructed of radiating bricks. The window opening and frame have a shallow arch at the interior. A steel wide flange beam has been placed above each pair of flat topped windows. Evidence of the original radiating brick arch remains behind the wide flange beam. The interior window surround is painted brick, the interior stool is stone with a sloped concrete parge coat. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware. There is a small metal clip toward the top of the window which is assumed to be for previously installed blinds. The exterior surround is brick with a stone sill.</p>	
<p>Conditions: The painted steel lintel is in good condition, as it was added later. The condition of the brick arch lintel behind was not observed. The interior stool is cracked. The exterior stone sill is spalled. The upper sash is not square within the frame; there is a gap at the left-hand corner of the upper sash. Nails support the upper sash within the frame. The top rail of the lower sash is deteriorated, with a chunk of wood missing near the center. The bottom rail of the lower sash is deteriorated at both corners. The bottom rail of the upper sash is checked. The interior stop is missing at the right side. The exterior stop is partially missing at the right side (approximately 75% missing). The round wood trim at the exterior of the window is heavily checked, as is the wood sill. A large chunk of the wood sill at the exterior is missing at the left-hand side. The sash cord system is present. There are two broken panes and a plexi-glass cover over them (lower sash). The glazing compound is typically in poor condition; it is cracked, loose, and missing in several locations. The paint finish is generally in fair condition; it is peeling and flaking.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X (partial)
Exterior Wood Sill			X (Assumed)		
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool				X	
Interior Header		X			
Hardware			X		
Muntins			X		
Finish			X		

Photographic Documentation: 2.18



Window Number: 2.19	Reference Drawings: A2
<p>Description: Historic wood, painted, double-hung, 3 over 3, true divided lite window with a flat header at the exterior constructed of radiating bricks. The window opening and frame have a shallow arch at the interior. A steel wide flange beam has been placed above each pair of flat topped windows. Evidence of the original radiating brick arch remains behind the wide flange beam. The interior window surround is painted brick, the interior stool is stone with a sloped concrete parge coat. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware. There is a small metal clip toward the top of the window which is assumed to be for previously installed blinds. The exterior surround is brick with a stone sill.</p>	
<p>Conditions: The painted steel lintel is in good condition, as it was added later. The condition of the brick arch lintel behind was not observed. The interior stool is in good condition. The exterior stone sill is spalled. The top rail of the lower sash is deteriorated, with a chunk of wood missing near the center and at the left side. The bottom rail of the upper sash is lightly checked. The interior and exterior stops are missing at the right side. The frame and round wood trim at the exterior of the window is moderately checked, as is the wood sill. The sash cord system is present, but broken. Glazing compound has been installed at the interior of the upper sash. The majority of the glazing compound at the exterior is missing. The paint finish is generally in fair condition; it is peeling and flaking.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X (partial)
Exterior Wood Sill			X		
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool		X			
Interior Header		X (Assumed)			
Hardware				X	
Muntins			X		
Finish			X		

Photographic Documentation: 2.19



Window Number: 2.19b	Reference Drawings: A2
<p>Description: Historic wood, painted, arch-top, set of three double-hung, true divided lite windows. Side double-hung windows consist of a two over two sash configuration with one horizontal muntin in each sash. The upper sash of the side windows has an arch top which leads to the arch at the center window. The larger center window is four over four with central vertical and horizontal muntins. The windows are separated by a built-up 2X mullion that lacks interior finish trim. The interior surround is brick, the interior stool is stone with a concrete parge coat and the header consists of a series of stacked radiating header bricks in an arch form. The exterior surround is brick, the sill is stone and the header is similar to the interior. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware.</p>	
<p>Conditions: Brick at the exterior arch header is spalled. The brick header at the interior is in good condition. There are mortar joints missing at the exterior stone sill. There appears to be movement in the stone sill as the wood window components are pulled out of plane. The exterior wood sill is in poor condition with typical deterioration, heavily checked and raised grain. Wood at the junction of the vertical muntin and lower rail of the top sash is deteriorated. The top rail of the lower sash is deteriorated at the exterior corners, similar to the majority of the wood windows. The bottom rail of the lower sash is deteriorated and checked; the wood is soft at the lower right-hand corner. The interior stop is missing entirely at the right side of the center window and partially near the bottom at the left side. The exterior square stop is partially missing at the right side of the upper sash of the center window. The lower right-hand pane is loose in its opening.</p> <p>The bottom rail of the upper sash at the left window exhibits is lightly checked and dropped slightly, supported only by nails and screws. The top rail of the lower sash exhibits typical deterioration at the left exterior corners. There is wood loss evident in this location. The muntin at the lower sash is checked. The bottom rail of the lower sash is lightly checked. The exterior wood sill is in poor condition with typical deterioration, heavily checked and raised grain. The exterior trim and frame of the left and right windows are checked, most severely at the right-hand side. Both the interior and exterior stops are missing at both sides of the window at the left.</p> <p>The upper sash is dropped slightly at the right window. The top rail of the lower sash is deteriorated at the right-hand exterior corner. There is a small chunk missing at the lower rail of the top sash. The interior stop is missing at the right side, and the exterior stop is missing at the right side and broken at the top of the right-hand window. The muntin at the lower sash is heavily checked and deteriorated. The sash is pulled from the frame slightly. The exterior wood sill is in poor condition with typical deterioration, heavily checked and raised grain.</p> <p>The paint finish is typically peeling and flaking. The glazing compound is generally in poor condition, showing deterioration in the form of cracks, being loose, or missing. The metal sash cord system is in place, but inoperable, except for it is missing at the right window.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame		X			
Sash			X		
Exterior Trim			X		
Exterior Stop					X (partial)
Exterior Wood Sill			X		

Interior Trim					NA
Interior Stop					X (partial)
Interior Stool				X	
Interior Header			X		
Hardware					X (partial)
Muntins			X		
Finish			X		

Photographic Documentation: 2.19b





Window Number: 2.20	Reference Drawings: A2
<p>Description: Historic wood, painted, double-hung, 3 over 3, true divided lite window with a flat header at the exterior constructed of radiating bricks. The window opening and frame have a shallow arch at the interior. A steel wide flange beam has been placed above each pair of flat topped windows. Evidence of the original radiating brick arch remains behind the wide flange beam. The interior window surround is painted brick, the interior stool is stone with a sloped concrete parge coat. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware. There is a small metal clip toward the top of the window which is assumed to be for previously installed blinds. The exterior surround is brick with a stone sill.</p>	
<p>Conditions: The painted steel lintel is in good condition, as it was added later. The condition of the brick arch lintel behind was not observed. The interior stool has bowed up. The exterior stone sill is spalled. Steel angles have been added at the exterior to support the upper sash. The top rail of the lower sash is deteriorated, with a chunk of wood missing near the center. An eye hook has been installed at the top rail of the lower sash. The bottom rail of the upper sash is checked and the grain is raised. The bottom rail of the lower sash is stained and lightly checked. The interior stop is missing at the right and left sides. The exterior stop is also missing at the left-hand side. There is an unfinished stop installed partially at the interior. The frame and round wood trim at the exterior of the window is checked and deteriorated. The wood sill is heavily checked and deteriorated. The sash cord system is present. Glazing compound is typically in poor condition, with cracked, loose, or missing areas. The paint finish is generally in fair condition; it is peeling and flaking. There is one broken pane.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X (partial)
Exterior Wood Sill				X	
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool			X		
Interior Header			X (Assumed)		
Hardware				X	
Muntins			X		
Finish			X		

Photographic Documentation: 2.20



Window Number: 2.21	Reference Drawings: A2
<p>Description: Historic wood, painted, double-hung, 3 over 3, true divided lite window with a flat header at the exterior constructed of radiating bricks. The window opening and frame have a shallow arch at the interior. A steel wide flange beam has been placed above each pair of flat topped windows. Evidence of the original radiating brick arch remains behind the wide flange beam. The interior window surround is painted brick, the interior stool is stone with a sloped concrete parge coat. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware. There is a small metal clip toward the top of the window which is assumed to be for previously installed blinds. The exterior surround is brick with a stone sill.</p>	
<p>Conditions: The painted steel lintel is in good condition, as it was added later. The condition of the brick arch lintel behind was not observed. There appears to be foil flashing installed at the header. The exterior stone sill is spalled. The top rail of the lower sash is lightly checked and deteriorated, with a chunk of wood missing near the center. The bottom rail of the lower sash is stained and lightly checked. The interior stop is missing at the right and left sides. The exterior stop is also missing at the right-hand side. An additional piece of wood has been added to the exterior to hold the frame in place. The frame and round wood trim at the exterior of the window are moderately checked and deteriorated, as is the wood sill. The sash cord system is present. Glazing compound is typically in poor condition, with cracked, loose, or missing areas. The paint finish is generally in fair condition; it is peeling and flaking. There are four broken panes.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X (partial)
Exterior Wood Sill			X		
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool			X		
Interior Header			X (Assumed)		
Hardware			X		
Muntins			X		
Finish			X		

Photographic Documentation: 2.21



Window Number: 2.21b	Reference Drawings: A2
<p>Description: Historic wood, painted, arch-top, set of three double-hung, true divided lite windows. Side double-hung windows consist of a two over two sash configuration with one horizontal muntin in each sash. The upper sash of the side windows has an arch top which leads to the arch at the center window. The larger center window is four over four with central vertical and horizontal muntins. The windows are separated by a built-up 2X mullion that lacks interior finish trim. The interior surround is brick, the interior stool is stone with a concrete parge coat and the header consists of a series of stacked radiating header bricks in an arch form. The exterior surround is brick, the sill is stone and the header is similar to the interior. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware.</p> <p>Conditions: Brick at the exterior arch header is spalled and there are two loose bricks that pose a life safety hazard at the left side of the opening. The brick header at the interior is cracked through mortar joints in three locations. There are mortar joints missing at the exterior stone sill. The exterior trim is lightly checked, including the wood sill. The upper sash is dropped slightly. Wood at the junction of the vertical muntin and lower rail of the top sash of the center window is deteriorated. The right-hand side of the horizontal muntin of the upper sash is deteriorated; the wood is soft to the touch. There is a chunk of wood missing at the top plane of the top rail of the lower sash. The bottom rail of the upper sash is checked and deteriorated. The bottom rail of the lower sash is deteriorated and checked; the wood is soft at the intersection of the vertical muntin and bottom rail and also at the right-hand side. There is also a chunk of wood missing from the lower frame of the center window. The lower sash is not square in the opening. The interior and exterior stops are missing entirely at the left side of the center window. The two lower panes in the lower sash are plexi-glass. There is a gap between the wood and glass at the upper panes of the upper sash. Replacement caulking was done inappropriately and poorly.</p> <p>There is a large crack in the stone sill at the exterior, near the left side of the opening. The bottom rail of the upper sash at the left window is lightly checked with loss of wood section and is dropped slightly. The bottom rail of the lower sash is lightly checked and soft. The exterior wood sill is in poor condition with typical deterioration, heavily checked and raised grain. The exterior trim and frame of the left and right windows are checked. Both the interior and exterior stops are missing entirely at the right side of the left window. There is one broken pane at the left window.</p> <p>The upper sash is dropped slightly at the right window and is secured by nails. The top rail of the lower sash is deteriorated at both exterior corners, similarly to the majority of the wood windows. The interior stop is missing at both sides of the right window, and the exterior stop is missing at the left side. The exterior wood sill is in fair condition with typical deterioration, heavy checked and raised grain. There are two broken panes at the right-hand window.</p> <p>The paint finish is typically peeling and flaking. The glazing compound is generally in poor condition, showing deterioration in the form of cracked, being loose, or missing. The metal sash cord system is partially missing and inoperable at all three windows.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		

Exterior Stop					X (partial)
Exterior Wood Sill			X		
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool				X	
Interior Header			X		
Hardware					X (partial)
Muntins			X		
Finish			X		

Photographic Documentation: 2.21b





Window Number: 2.22	Reference Drawings: A2
<p>Description: Historic wood, painted, double-hung, 3 over 3, true divided lite window with a flat header at the exterior constructed of radiating bricks. The window opening and frame have a shallow arch at the interior. A steel wide flange beam has been placed above each pair of flat topped windows. Evidence of the original radiating brick arch remains behind the wide flange beam. The interior window surround is painted brick, the interior stool is stone with a sloped concrete parge coat. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware. There is a small metal clip toward the top of the window which is assumed to be for previously installed blinds. The exterior surround is brick with a stone sill.</p>	
<p>Conditions: The painted steel lintel is in good condition, as it was added later. The condition of the brick arch lintel behind was not observed. The exterior stone sill is spalled. Several bricks at the exterior window surround are deteriorated, typically near the bottom of the opening. The upper sash is slightly dropped. The top rail of the lower sash is lightly checked and deteriorated, with a chunk of wood missing near the center. The bottom rail of the lower sash is lightly checked. The interior stop is missing entirely at the left side, and partially at the right side. The exterior stop is also missing at the left-hand side. There are additional pieces of wood to hold the lower sash in place. The frame and round wood trim at the exterior of the window are moderately checked and deteriorated, as is the wood sill. The sash cord system is present. Glazing compound is typically in poor condition, with cracked, loose, or missing areas. The paint finish is generally in fair condition; it is peeling and flaking. There are two broken panes.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X (partial)
Exterior Wood Sill			X		
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool			X		
Interior Header			X (Assumed)		
Hardware			X		
Muntins			X		
Finish			X		

Photographic Documentation: 2.22



Window Number: 2.23	Reference Drawings: A3
<p>Description: Non-historic, wood, painted, double-hung, true divided lite window. This is a two over two window with a center vertical mullion. The top of the window is flat with a rowlock course of brick at the interior header. No other lintel was observed. All components of the window are simple, flat pieces of wood lacking a decorative profile, typical to the original wood windows in the building. No hardware or evidence of hardware was observed other than the pulleys for the sash cord system. The interior surround is brick and the interior stool is brick with a sloped parge coat. The exterior surround is also brick with a brick rowlock sill and header course for the header. The exterior wood frame acts as an additional sill, similar to the original wood windows.</p>	
<p>Conditions: The stool is generally in good condition; there is one crack. There are two square wood stops at the interior and exterior of the lower sash. The exterior wood sill is in good to fair condition; it is lightly checked and lacks a finish. Wood at the exterior is checked. The exterior brick sill is in poor condition. There are four bricks that have significantly spalled. There is a crack in a mortar joint in the rowlock lintel. The sash cord hardware remains, but is no longer operable. There is no other hardware on the window. The exterior square stop is missing at the left side and top. The glazing compound is generally in poor condition, as it is falling off. The paint finish is peeling and flaking. There is one broken pane.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash		X			
Exterior Trim			X		
Exterior Stop					X (partial)
Exterior Wood Sill		X			
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool		X			
Interior Header			X		
Hardware			X		
Muntins		X			
Finish			X		

Photographic Documentation: 2.23



Window Number: 2.24	Reference Drawings: A3
<p>Description: Historic wood, painted, double-hung, two over two, true divided lite window with a radiating arched header at the exterior. The exterior surround is brick with a brick rowlock sill. The wood frame is flat at the top of the sash and rounded to fit into the brick arch header at both the interior and exterior. The interior window surround is painted brick, the interior stool is brick, and the header is also a radiating brick arch. There is a double-ogee profiled stop at the interior sides and top, square stop at the exterior sides and top, and round trim at the sides and top at the exterior. The window operated on a metal tape sash cord system (which is no longer operable), and contains no other evidence of hardware.</p>	
<p>Conditions: There are steel angles installed at the interior to support the upper sash. In addition an angle is installed at the lower sash corner at the left-hand side. Daylight was also observed in this location. The brick stool is generally in fair condition, with two chipped bricks. There are two square wood stops at the interior of the lower sash and one temporary wood stop at the exterior supporting the upper sash. The profiled interior wood stop is missing at both sides. The top rail of the lower sash is deteriorated at the left-hand side corner. There is typical wood loss in this location. In addition, the entire top rail is deteriorated; the wood is soft, it is checked, and the grain is raised. The bottom rail of the upper sash is deteriorated and has dropped slightly from the glass. The exterior wood sill is in poor condition; it is heavily checked and deteriorated. There are mortar droppings on the exterior brick sill. The sash cord hardware remains, but is no longer operable. There is no other hardware on the window. The glazing compound is generally in poor condition, as it is falling off. The paint finish is peeling and flaking. There is one broken pane.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop			X		
Exterior Wood Sill				X	
Interior Trim					NA
Interior Stop					X (partial)
Interior Stool			X		
Interior Header			X		
Hardware			X		
Muntins			X		
Finish			X		

Photographic Documentation: 2.24



Window Number: 3.17	Reference Drawings: A2
<p>Description: Modified historic wood, painted, double-hung, four over four window with an arch top. The sashes are original, but have been set in new frame and casing trim and fixed shut. The top of the upper sash is flat to fit the square opening at the interior. All sides of the opening have been cased with flat, painted wood trim. The dropped ceiling is slightly below the level of the top of the window opening. The exterior surround is brick with a stone sill and radiating brick arch header with a projecting brick hood.</p>	
<p>Conditions: There are steel angles installed at the exterior to support the upper sash. The stool is covered with flat, painted, wood trim. The stone sill is in good condition. There is a wood stop installed at the exterior of the bottom frame. The bottom rail of the lower sash is deteriorated (the wood is soft). The horizontal muntins, at both the upper and lower sash, are checked and deteriorated. The horizontal muntin at the upper sash is missing a chunk of wood at the right-hand side. The upper sash is cracked and broken at both sides at the spring line of the arch, at the horizontal muntin intersection and slightly above the muntin. There are no historic interior or exterior stops visible. The upper and lower sash are caulked together and the window is fixed shut. No sash cord hardware remains, as the frame has been replaced with flat casing trim. The exterior trim and sill are checked, most significantly at the right-hand side. The glazing compound is typically in poor condition; it is cracked, loose or missing. The paint finish at the interior is in good to fair condition with small areas flaking or missing. The exterior paint finish is in fair condition due to typical weathering.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X
Exterior Wood Sill			X		
Interior Trim		X			
Interior Stop					X
Interior Stool				X	
Interior Header			X (Assumed)		
Hardware					X
Muntins			X		
Finish			X		

Photographic Documentation: 3.17



Window Number: 3.18	Reference Drawings: A2
<p>Description: Modified historic wood, painted, double-hung, four over four window with an arch top. The sashes are original, but have been set in new frame and casing trim and fixed shut. The top of the upper sash is flat to fit the square opening at the interior. All sides of the opening have been cased with flat, painted wood trim. The interior stool and header are not visible. The dropped ceiling is slightly below the level of the top of the window opening. The exterior surround is brick with a stone sill and radiating brick arch header with a projecting brick hood.</p>	
<p>Conditions: There are steel angles installed at the exterior to support the upper sash. The stool is covered with flat, painted, wood trim. The stone sill is in good condition. There is a wood stop installed at the exterior of the bottom frame. The bottom rail of the lower sash is deteriorated (the wood is soft). The horizontal muntins, at both the upper and lower sash, are checked and deteriorated. The horizontal muntin at the upper sash also has a large crack. The upper sash is cracked and broken at both sides at the spring line of the arch, at the horizontal muntin intersection and slightly above the muntin. There are no historic interior or exterior stops visible. The upper and lower sash are caulked together and the window is fixed shut. No sash cord hardware remains, as the frame has been replaced with flat casing trim. The exterior trim and sill are checked, most significantly at the right-hand side. The glazing compound is typically in poor condition; it is cracked, loose or missing. The paint finish at the interior is in good to fair condition with small areas flaking or missing. The exterior paint finish is in fair condition due to typical weathering.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X
Exterior Wood Sill			X		
Interior Trim		X			
Interior Stop					X
Interior Stool				X	
Interior Header			X (Assumed)		
Hardware					X
Muntins			X		
Finish			X		

Photographic Documentation: 3.18



Window Number: 3.19	Reference Drawings: A2
<p>Description: Modified historic wood, painted, double-hung, four over four window with an arch top. The sashes are original, but have been set in new frame and casing trim and fixed shut. The top of the upper sash is flat to fit the square opening at the interior. All sides of the opening have been cased with flat, painted wood trim. The dropped ceiling is slightly below the level of the top of the window opening. The interior stool and header are not visible. The exterior surround is brick with a stone sill and radiating brick arch header with a projecting brick hood.</p>	
<p>Conditions: There are steel angles installed at the exterior to support the upper sash. The stool is covered with flat, painted, wood trim. The stone sill is in good condition. There are two wood stops installed at the exterior to secure the lower sash. The bottom rail of the lower sash is deteriorated (the wood is soft) and the grain is raised. The horizontal muntin at the lower sash is checked and deteriorated; the grain is raised. The top rail of the lower sash is deteriorated; there is wood loss and daylight can be seen through the caulk. The upper sash is cracked and broken at both sides at the spring line of the arch, at the horizontal muntin intersection and slightly above the muntin. There are no historic interior or exterior stops visible. The upper and lower sash are caulked together and the window is fixed shut. No sash cord hardware remains, as the frame has been replaced with flat casing trim. The exterior trim and sill are checked, most significantly at the right-hand side. The glazing compound is typically in poor condition; it is cracked, loose or missing. The paint finish at the interior is in good to fair condition with small areas flaking or missing. The exterior paint finish is in fair condition due to typical weathering. There is one broken pane.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X
Exterior Wood Sill			X		
Interior Trim		X			
Interior Stop					X
Interior Stool				X	
Interior Header			X (Assumed)		
Hardware					X
Muntins			X		
Finish			X		

Photographic Documentation: 3.19



Window Number: 3.20	Reference Drawings: A2
<p>Description: Modified historic wood, painted, double-hung, four over four window with an arch top. The sashes are original, but have been set in new frame and casing trim and fixed shut. The top of the upper sash is flat to fit the square opening at the interior. All sides of the opening have been cased with flat, painted wood trim. The dropped ceiling is slightly below the level of the top of the window opening. The interior stool and header are not visible. The exterior surround is brick with a stone sill and radiating brick arch header with a projecting brick hood.</p>	
<p>Conditions: There are steel angles installed at the exterior to support the upper sash. The stool is covered with flat, painted, wood trim. The stone sill is in good condition. There is a wood stop installed at the exterior to secure the lower sash in place. The bottom rail of the lower sash is lightly checked and deteriorated (the wood is soft), especially at the intersection of the rail and vertical muntin. A piece of wood has been added to the top rail of the lower sash. The horizontal muntins at the upper sash is checked and deteriorated. The upper sash is cracked and broken at both sides at the spring line of the arch, at the horizontal muntin intersection and slightly above the muntin. There are no historic interior or exterior stops visible. The upper and lower sash are caulked together and the window is fixed shut. No sash cord hardware remains, as the frame has been replaced with flat casing trim. The exterior trim and sill are checked, most significantly at the right-hand side. The glazing compound is typically in poor condition; it is cracked, loose or missing. The paint finish at the interior is in good to fair condition with small areas flaking or missing. The exterior paint finish is in fair condition due to typical weathering.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X
Exterior Wood Sill			X		
Interior Trim		X			
Interior Stop					X
Interior Stool				X	
Interior Header			X (Assumed)		
Hardware					X
Muntins			X		
Finish			X		

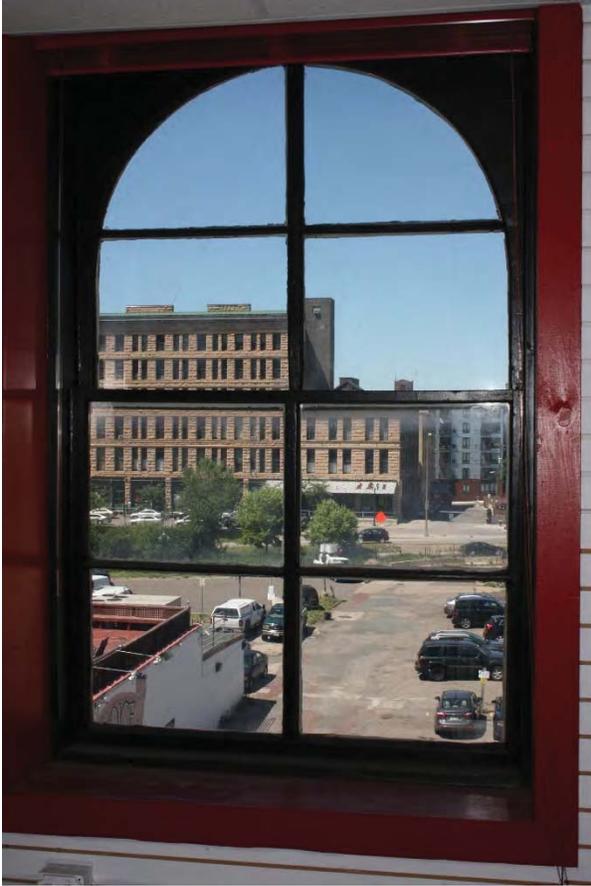
Photographic Documentation: 3.20



Window Number: 3.21	Reference Drawings: A2
<p>Description: Modified historic wood, painted, double-hung, four over four window with an arch top. The sashes are original, but have been set in new frame and casing trim and fixed shut. The top of the upper sash is flat to fit the square opening at the interior. All sides of the opening have been cased with flat, painted wood trim. The dropped ceiling is slightly below the level of the top of the window opening. The interior stool and header are not visible. The exterior surround is brick with a stone sill and radiating brick arch header with a projecting brick hood.</p>	
<p>Conditions: There are steel angles installed at the interior and exterior to support the upper sash. The stool is covered with flat, painted, wood trim. The stone sill is in good condition. There is a wood stop installed at the exterior of the bottom rail to secure the lower sash in place. The bottom rail of the lower sash is lightly checked and deteriorated. The horizontal muntins, at both the upper and lower sash are checked and deteriorated. The upper sash is cracked and broken at both sides at the spring line of the arch, at the horizontal muntin intersection and slightly above the muntin. There are no historic interior or exterior stops visible. The upper and lower sash are caulked together and the window is fixed shut. No sash cord hardware remains, as the frame has been replaced with flat casing trim. The exterior trim and sill are heavily checked, most significantly at the right-hand side. The glazing compound is typically in poor condition; it is cracked, loose or missing. The paint finish at the interior is in good to fair condition with small areas flaking or missing. The exterior paint finish is in fair condition due to typical weathering. There is one broken pane.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X
Exterior Wood Sill			X		
Interior Trim		X			
Interior Stop					X
Interior Stool				X	
Interior Header			X (Assumed)		
Hardware					X
Muntins			X		
Finish			X		

Photographic Documentation: 3.21



Window Number: 3.22	Reference Drawings: A2
<p>Description: Modified historic wood, painted, double-hung, four over four window with an arch top. The sashes are original, but have been set in new frame and casing trim and fixed shut. The top of the upper sash is flat to fit the square opening at the interior. All sides of the opening have been cased with flat, painted wood trim. The dropped ceiling is slightly below the level of the top of the window opening. The interior stool and header are not visible. The exterior surround is brick with a stone sill and radiating brick arch header with a projecting brick hood.</p>	
<p>Conditions: There are steel angles installed at the exterior to support the upper sash. The stool is covered with flat, painted, wood trim. The stone sill is in good condition. There is a block of wood installed at the exterior of the lower sash to secure in place. The bottom rail of the lower sash is lightly checked and deteriorated (the wood is soft). The horizontal muntin at the lower sash is checked and deteriorated. The upper sash is cracked and broken at both sides at the spring line of the arch, at the horizontal muntin intersection and slightly above the muntin. There are no historic interior or exterior stops visible. The upper and lower sash are caulked together and the window is fixed shut. No sash cord hardware remains, as the frame has been replaced with flat casing trim. The exterior trim and sill are heavily checked and cracked, most significantly at the right-hand side. The glazing compound is typically in poor condition; it is cracked, loose or missing. The paint finish at the interior is in good to fair condition with small areas flaking or missing. The exterior paint finish is in fair condition due to typical weathering. There is one broken pane.</p>	

Assessment: Fair (rehabilitate)					
	Excellent	Good	Fair	Poor	Missing
Glazing Compound				X	
Frame			X		
Sash			X		
Exterior Trim			X		
Exterior Stop					X
Exterior Wood Sill			X		
Interior Trim		X			
Interior Stop					X
Interior Stool				X	
Interior Header			X (Assumed)		
Hardware					X
Muntins			X		
Finish			X		

Photographic Documentation: 3.22







121 Washington and 125-129 Washington, Washington Avenue (north) facade



125-129 Washington, Second Avenue (west) façade



125-129 Washington, Second Avenue (west) façade



125-129 Washington, Alley (south) façade



Washington and 125-129 Washington, 1925 with prominent use of the sign band



125-129 Washington, 1883 with significant vertical signage



**NORTH
LOOP**
NEIGHBORHOOD

Amanda Hawn
Falcon Ridge Partners

October 29, 2015
RE: Letter of Support
“The Washington” at 121 and 125 Washington Avenue

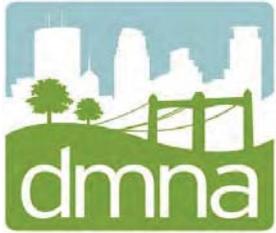
Dear Amanda,

We thank your architectural team from RoehrSchmitt Architecture for presenting the proposed redevelopment of the existing Sex World building at 121 and 125 Washington Avenue (“The Washington”). The property consists of three combined buildings and includes adding retail and restaurant uses on the 1st floor, offices above, tuckpointing and refinishing the existing brickwork, adding windows to the eastern façade on the upper floors, and changes to the site’s signage. The existing Sex World retail store will remain, but will be 6,000 square feet and entry only from 2nd Avenue. The proposed redevelopment will be going before the Heritage Preservation Committee soon and the new ownership is proposing to begin permitting immediately.

The North Loop Neighborhood Association (“NLNA”) supports the project contingent upon a meeting with the Downtown Minneapolis Neighborhood Association and incorporating the following:

1. Street trees in accordance with City zoning. NLNA understands that the HPC guidelines do not recommend site greening, however the NLNA strongly supports and encourages plantings and trees along both street frontages.
2. Street lighting in accordance with City public works requirements. NLNA understands that lighting may only be internal retail store lighting and pilaster up-lighting and that HPC guidelines may not recommend additional lighting. The NLNA highly recommends that safety and pedestrian needs outweigh any lighting restrictions to the building and street corner.
3. The NLNA is concerned that with the added storefront glazing on the 1st floor, may be covered or obscured by retail desires for sales area. NLNA recommends that any storefront windows added remain visually transparent, and allow for internal lighting to be viewable.

Sincerely,
North Loop Neighborhood Association
Dave Decker
Co-Chair P&Z Committee



**DOWNTOWN
MINNEAPOLIS
NEIGHBORHOOD
ASSOCIATION**

**40 S. 7th Street, STE 212 PMB 172
Minneapolis, Minnesota 55402
Phone: (612) 659-1279
Online: www.thedmna.org**

November 16th, 2015

RE: Letter of Support for the Proposed Renovation of 101 & 125-129 Washington Avenue North

Dear Amanda Hawn:

The Downtown Minneapolis Neighborhood Association Board would like to thank you and members of your project team for presenting the proposed renovation of 101 & 125-129 Washington Avenue N to the DMNA Land Use Committee.

At the recommendation of the DMNA Land Use Committee, the DMNA Board voted to support the project, with some reservations, as presented on 11/4/2015. The project responsibly intensifies the use of the site, enhances safety on the block by increasing glass exposure to activate the street level, and makes historically appropriate aesthetic improvements. The Board further supports the full signage plan as presented to the committee given the visual interest it lends to the site. If significant changes are made to the design or proposed use of the project, the Board requests notification and the opportunity to amend its support. The Board further requests the option to revisit the project and its support if construction does not commence in 2016.

The DMNA shares the following concerns expressed by the North Loop Neighborhood Association in their letter issued on October 29th, 2015:

- The development should include greening in accordance with Minneapolis zoning. The DMNA understands that the Historic Preservation Commission discourages street-level greening as it is incongruous with the historic period of significance of the district in which the site is located. However, historic considerations should be balanced against environmental sustainability and pedestrian comfort. Across projects, the DMNA strongly advocates for street level greening (i.e. trees and foliage) to mitigate the negative environmental impacts of Downtown's hardscape as well as improve the aesthetic quality of the street.
- The development should include street lighting in accordance with the requirements of Minneapolis Public Works. The HPC may recommend exterior lighting below this standard. However, concern for public safety should outweigh historic considerations.
- The new storefront glass on the first floor should remain unobstructed by tenants to enhance pedestrian safety.

The DMNA Board looks forward to supporting your team in the successful execution of this important renovation.

Sincerely,

Nick Cichowicz
DMNA Board Chair