

**LAND USE APPLICATION SUMMARY**

*Property Location:* 6023 Nicollet Avenue South  
*Project Name:* Nicollet Goodwill Signage  
*Prepared By:* [Janelle Widmeier](#), Senior City Planner, (612) 673-3156  
*Applicant:* Goodwill/Easter Seals  
*Project Contact:* Joe Houseman, Wellington Management Inc.  
*Request:* To allow a wall sign on a non-primary building wall.  
*Required Applications:*

<b>Variance</b>	To allow a sign to be located on a non-primary building wall.
<b>Variance</b>	To increase the maximum allowed sign area on a non-primary building wall from 0 square feet to 71.2 square feet.
<b>Variance</b>	To increase the maximum allowed height of a wall sign from 28 feet to 29 feet.

**SITE DATA**

<b>Existing Zoning</b>	C2 Neighborhood Corridor Commercial District AP Airport Overlay District
<b>Lot Area</b>	33,326 square feet
<b>Ward(s)</b>	11
<b>Neighborhood(s)</b>	Windom Community Council
<b>Designated Future Land Use</b>	Mixed Use
<b>Land Use Features</b>	Commercial Corridor (Nicollet Avenue) Neighborhood Commercial Node (60 <sup>th</sup> and Nicollet) Major Retail Center (60 <sup>th</sup> and Nicollet)
<b>Small Area Plan(s)</b>	<a href="#">Nicollet Avenue: The Revitalization of Minneapolis' Main Street (2000)</a>

<b>Date Application Deemed Complete</b>	August 4, 2015	<b>Date Extension Letter Sent</b>	Not applicable
<b>End of 60-Day Decision Period</b>	October 10, 2015	<b>End of 120-Day Decision Period</b>	Not applicable

**BACKGROUND**

**SITE DESCRIPTION AND PRESENT USE.** Goodwill is located in the existing 2-story building. There is a parking area on the north side of the building. Loading and a driveway leading to the donation drop-off area are located on the east side of the building. The donation drop-off area and exit to Nicollet are located on the south side of the building.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** There is a mix of uses in the immediate area. Nonresidential uses are directly adjacent to the north and south sides of the subject property. A stormwater retention pond, owned by the City of Minneapolis, is located directly east. Beyond the retention pond is Interstate 35W.

**PROJECT DESCRIPTION.** The applicant is proposing to locate a sign on the east façade of the building to increase visibility from the highway. They would remove the existing sign on the north side of the building facing the parking area and relocate it to the east elevation or add a sign of the same size and type as the existing sign on the east building elevation. The proposed sign would consist of channel letters, would be 71.2 square feet in area, and would be internally illuminated. The top of the sign would be 29 feet above the adjacent grade. The east elevation is not a primary building wall because it does not face a street, on-site parking lot, or directly face a highway. In this case, the property is separated from the highway by a stormwater retention pond. Therefore the east building elevation is considered a non-primary building wall. No signage is allowed to be located on a non-primary building wall. A variance is required to allow the location and to allow the proposed amount of sign area. The maximum allowed sign height is 28 feet. A variance is also required to increase maximum sign height.

**RELATED APPROVALS.**

Planning Case #	Application	Description	Action
<u>BZZ-5882</u>	Site plan review.	New 2-story, 20,922 sq. ft. secondhand goods store	The City Planning Commission approved the project on <u>January 7, 2013.</u>

**PUBLIC COMMENTS.** As of writing this report, no correspondence from the neighborhood group has been received. Any correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration.

**ANALYSIS**

**VARIANCE**

The Department of Community Planning and Economic Development has analyzed the application for **1) a variance allow a sign to be located on a non-primary building wall and 2) a variance to increase the maximum allowed sign area on a non-primary building wall from 0 square feet to 71.2 square feet** based on the following findings:

- 1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

**Both variances:** Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. Building signs are allowed on walls facing a highway. The east building wall

faces the highway, but is separated from it by the City-owned stormwater retention pond. The size of the sign would be less than allowed on the east elevation if it were a primary building wall (up to 146 square feet would be allowed at 1.5 square foot per linear foot of building wall). If not for the retention pond, the sign would be allowed to be located on the east building wall. The site is also located in a designated major retail center. Major retail centers are considered unique locations that can accommodate large-scale retail uses and are characterized by their immediate and easy connections to regional road networks. These circumstances have not been created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

**Both variances:** Regulations governing on-premise signs are established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property, and to protect the public health, safety and welfare. The C2 Neighborhood Corridor Commercial District is established to provide an environment of retail sales and commercial services that are larger in scale than allowed in the C1 District and to allow a broader range of automobile related uses. In addition to commercial uses, residential uses, institutional and public uses, parking facilities, limited production and processing and public services and utilities are allowed. The site is located in a designated major retail center. Major retail centers are considered unique locations that can accommodate large-scale retail uses and are characterized by their immediate and easy connections to regional road networks. The proposed sign would be 71.2 square feet in area and would be located on the east building façade. The size of the sign would be less than allowed on the east elevation if it were a primary building wall (up to 146 square feet at 1.5 square foot per linear foot of building wall). The sign would face a public stormwater retention pond, but would be visible from the highway. It would not directly face any residential uses. If not for the retention pond, the sign would be allowed to be located on the east building wall. The request is reasonable and in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

**Both variances:** Granting the variances would not negatively alter the character of the area and would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The proposed sign would be 71.2 square feet in area and would be located on the east building façade. The size of the sign would be less than allowed on the east elevation if it were a primary building wall (up to 146 square feet at 1.5 square foot per linear foot of building wall). The sign would face a public stormwater retention pond, but would be visible from the highway. It would not directly face any residential uses.

**Additional Standards for Sign Adjustments**

In addition, the Planning Commission shall consider, but not be limited to, the following factors when considering an adjustment to the number, type, height, area, or location of allowed signs on property located in an OR2 or OR3 District or a commercial, downtown, or industrial district:

1. *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

**Both variances:** The sign adjustment would not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located. The C2 Neighborhood Corridor Commercial District is established to provide

an environment of retail sales and commercial services that are larger in scale than allowed in the CI District and to allow a broader range of automobile related uses. In addition to commercial uses, residential uses, institutional and public uses, parking facilities, limited production and processing and public services and utilities are allowed. The proposed sign would be 71.2 square feet in area and would be located on the east building façade. The size of the sign would be less than allowed on the east elevation if it were a primary building wall (up to 146 square feet at 1.5 square foot per linear foot of building wall). The sign would face a public stormwater retention pond, but would be visible from the highway. It would not directly face any residential uses. Two other signs are located on the building that are of the same size and type as the proposed sign. One faces Nicollet Avenue and the other faces the parking lot. Both are located above the main entrance. No freestanding signs exist on the site. The proposed sign and the existing parking lot sign would be spaced far enough apart that they generally would not be visible in the same view plane.

2. *The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

**Both variances:** The primary exterior materials of the 2-story building are brick and stucco. The channel letter sign would be 71.2 square feet in area and internally illuminated. It would relate in size, shape, material, color, illumination and character of the building and the use.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum allowed height of a sign from 28 feet to 29 feet based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do not exist in complying with the ordinance. Wall signs are allowed to be located at 28 feet above the adjacent grade. The proposed sign would be placed at 29 feet. The existing building is 2-stories and 30 feet, 8 inches in height. Locating the sign on the east building wall would increase its visibility from the highway. However, there are not any unique circumstances related to this variance request.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Regulations governing on-premise signs are established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property, and to protect the public health, safety and welfare. The C2 Neighborhood Corridor Commercial District is established to provide an environment of retail sales and commercial services that are larger in scale than allowed in the CI District and to allow a broader range of automobile related uses. In addition to commercial uses, residential uses, institutional and public uses, parking facilities, limited production and processing and public services and utilities are allowed. The site is located in a designated major retail center. Major retail centers are considered unique locations that can accommodate large-scale retail uses and are characterized by their immediate and easy connections to regional road networks. Wall signs are allowed to be located at 28 feet above the adjacent grade. The proposed sign would be placed at a height of 29 feet. The existing building is 2-stories and 30 feet, 8 inches in height. Locating the sign on the east building wall would increase its visibility from the highway.

Increasing the sign height one foot higher than the typical height allowance would not have a discernable impact on its visibility or on any nearby properties. Although the request is not unreasonable, the request to increase the height by one foot is not related to the unique circumstances identified above in the variance to allow the sign location on the east building wall.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variances would not negatively alter the character of the area and would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The proposed sign would be placed at a height of 29 feet. The existing building is 2-stories and 30 feet, 8 inches in height. Locating the sign on the east building wall would increase its visibility from the highway. Increasing the sign height one foot higher than the typical height allowance would not have a discernable impact on its visibility or on any nearby properties. Although the request is not unreasonable, the request to increase the height by one foot is not related to the unique circumstances identified above in the variance to allow the sign location on the east building wall.

### **Additional Standards for Sign Adjustments**

In addition, the Planning Commission shall consider, but not be limited to, the following factors when considering an adjustment to the number, type, height, area, or location of allowed signs on property located in an OR2 or OR3 District or a commercial, downtown, or industrial district:

1. *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

The sign adjustment would not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located. The C2 Neighborhood Corridor Commercial District is established to provide an environment of retail sales and commercial services that are larger in scale than allowed in the C1 District and to allow a broader range of automobile related uses. In addition to commercial uses, residential uses, institutional and public uses, parking facilities, limited production and processing and public services and utilities are allowed. Wall signs are allowed to be located at 28 feet above the adjacent grade. The proposed sign would be placed at 29 feet. The existing building is 2-stories and 30 feet, 8 inches in height. The sign would face a public stormwater retention pond, but would be visible from the highway. It would not directly face any residential uses. Two other signs are located on the building that are of the same size and type as the proposed sign. One faces Nicollet Avenue and the other faces the parking lot. Both are located above the main entrance. No freestanding signs exist on the site. The proposed sign and the existing parking lot sign would be spaced far enough apart that they generally would not be visible in the same view plane.

2. *The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

Wall signs are allowed to be located at 28 feet above the adjacent grade. The proposed sign would be placed at 29 feet. The existing building is 2-stories and 30 feet, 8 inches in height. The channel letter sign would be 71.2 square feet in area and internally illuminated. Because the sign height would not exceed the building height, it would not be incompatible with the size, shape, material, color, illumination and character of the building and the use.

## RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the applications by Goodwill/Easter Seals, on behalf of the Jungle Theater, for the properties located at 6023 Nicollet Avenue:

**A. Variance to allow a sign on a non-primary building wall.**

Recommended motion: **Approve** the variance to allow a sign on a non-primary building wall, subject to the following conditions:

1. Approval of the sign permit by the Department of Community Planning and Economic Development.

**B. Variance to increase the maximum allowed sign area.**

Recommended motion: **Approve** the variance to increase the maximum allowed sign area on a non-primary building wall from 0 square feet to 71.2 square feet, subject to the following conditions:

1. Approval of the sign permit by the Department of Community Planning and Economic Development.

**C. Variance to increase the maximum allowed height of a sign.**

Recommended motion: **Deny** the variance to increase the maximum allowed height of a sign from 28 feet to 29 feet.

## ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Site plan
4. Sign plans
5. Renderings
6. Photos



**WELLINGTON**  
MANAGEMENT

Commercial Real Estate

### **Sign Variance Application Statement:**

Wellington Management Incorporated on behalf of Goodwill/EasterSeals is applying for a building signage variance for the Goodwill retail store located at 6023 Nicollet Ave South.

The proposed signage adjustment will move the Goodwill sign located on the north façade of the building facing parking lot to the non-street side of buildings east façade. The goal of this change is to increase exposure of the store to those travelling along 35W. This static sign will be lighted by LED bulbs that should not interfere with the quiet enjoyment of abutting residential and business neighbors nor create excessive light pollution. This sign is not of excessively large or bright and should not distract drivers along 35W or be detrimental to the safety of the general public.

This sign placement is not permitted under current ordinance as this is not the buildings primary wall and is one foot above the maximum allowable height. This sign is an important piece of marketing for the store to attract new donations and customers to this community focused retail center.

This signage variance will not increase the overall signage allowance as it is not adding additional signage to the property but moving a current sign to another location that is more beneficial to highlighting the stores location to potential users.

No adjustment will be made to the current sign beyond moving its location and it shall not affect any character or function of the architectural features of the building.

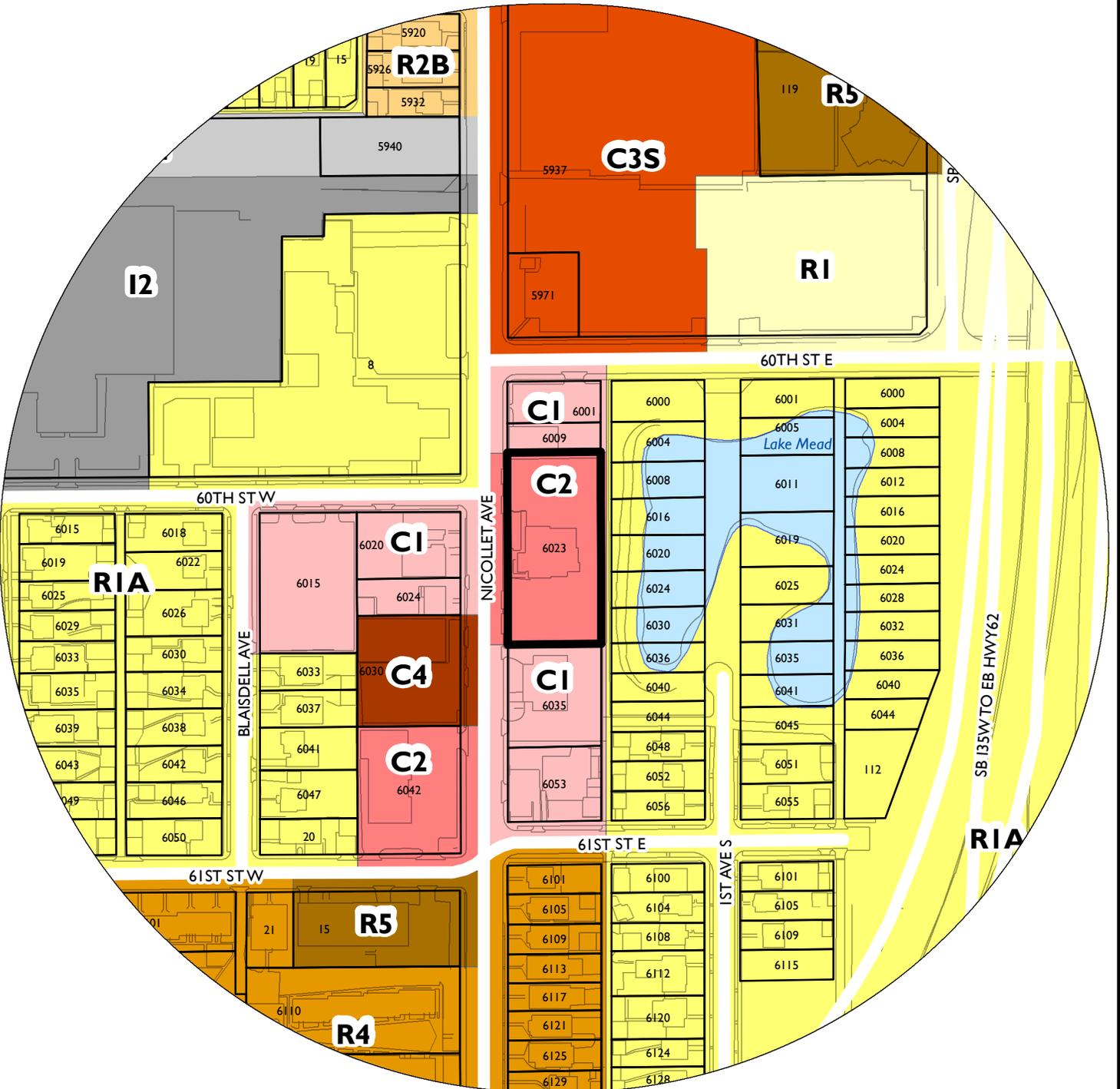
The conditional use shall in all other respects conform to applicable regulations of the district in which it is located

**Goodwill**

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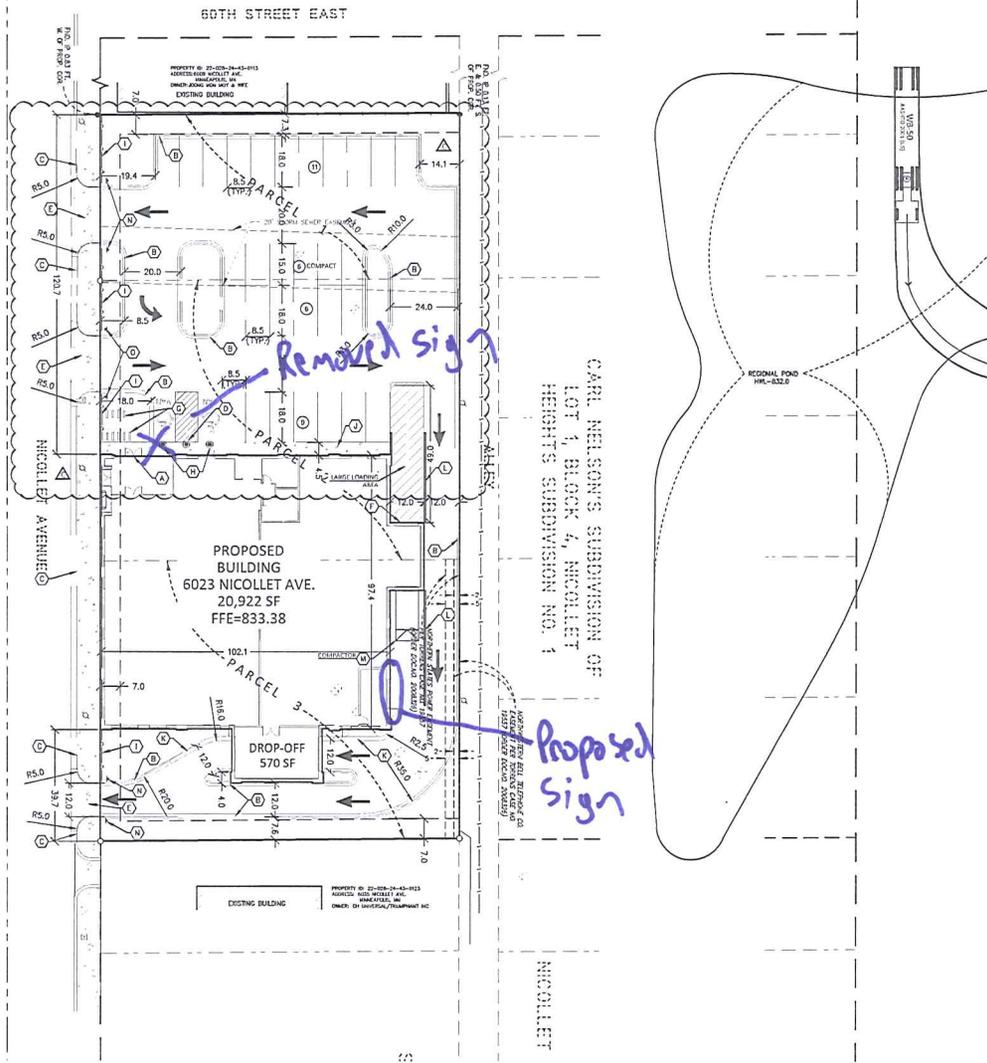
NAME OF APPLICANT

WARD



PROPERTY ADDRESS  
**6023 Nicollet Ave**

FILE NUMBER  
**BZZ-7301**



**LEGEND**

PROPOSED	EXISTING	
PROPERTY LIMIT	PROPERTY LIMIT	
CURB & GUTTER	CURB & GUTTER	
EASEMENT	EASEMENT	
BUILDING	BUILDING	
RETAINING WALL	RETAINING WALL	
WETLAND LIMITS	WETLAND LIMITS	
TREELINE	TREELINE	
SAWCUT LINE	SAWCUT LINE	
SIGN	SIGN	
PIPE BOLLARD	PIPE BOLLARD	
NUMBER OF PARKING STALLS PER ROW	NUMBER OF PARKING STALLS PER ROW	
KEY NOTE	KEY NOTE	

**DEVELOPMENT SUMMARY**

AREA	EXISTING	PROPOSED
GROSS SITE AREA	32,807 SF	0.75 AC
EXISTING IMPERVIOUS AREA	31,378 SF	95.64%
PROPOSED BUILDING FOOTPRINT		10,878 SF
PROPOSED IMPERVIOUS AREA		28,451 SF
		86.72%

SETBACKS-PARKING	7 FEET
FRONT YARD	0 FEET
REAR YARD	5 FEET
SIDE YARD	5 FEET

**PARKING SUMMARY**

PARKING SPACES REQUIRED (17/100 GFA OVER 4,000)	34 STALLS
SPACES REQUIRED LESS 10% BICYCLE SPACE REDUCTION	31 STALLS
PARKING SPACES PROVIDED	31 STALLS
BICYCLE PARKING REQUIRED (25% OF 34 PARKING STALLS)	9 SPACES
BICYCLE PARKING PROVIDED	9 SPACES

**MINIMUM LOT SIZE**

NONE

**ZONING**

EXISTING ZONING: C2, AIRPORT OVERLAY DISTRICT  
PROPOSED ZONING: C2

**BUILDING REQUIREMENTS**

MAXIMUM FLOOR AREA RATIO	1.7
MAXIMUM FLOOR AREA	30,000 SF
MAXIMUM BUILDING HEIGHT	4 STORES OR 56 FEET

**LANDSCAPING REQUIREMENTS**

LANDSCAPE AREA REQUIRED	4,389 SF
LANDSCAPE AREA PROVIDED	4,047 SF

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
  - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO BACK OF CURB UNLESS OTHERWISE NOTED. BACK OF CURB IS SHOWN GRAPHICALLY ONLY.
  - ALL CURB RADI ARE 5' UNLESS OTHERWISE NOTED.
  - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - SEE ARCHITECTURAL PLANS FOR Pylon SIGN DETAILS.
  - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
  - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
  - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS ISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT.
  - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
  - DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO THE HIGH WATER LEVEL OF ALL PONDS.

- KEY NOTES**
- BUILDING, STODPS, STAIRS (SEE ARCHITECTURAL PLANS).
  - B-612 CONCRETE CURB AND GUTTER.
  - B-624 CONCRETE CURB AND GUTTER CONCRETE DRIVEWAY APRON. (SEE MINNEAPOLIS STANDARD DETAIL PLATE ROAD-1003, SHEET C9.02).
  - HANDICAP SIGN W/ CONCRETE PIPE BOLLARD.
  - CONCRETE DRIVEWAY APRON. (SEE MINNEAPOLIS STANDARD DETAIL PLATE ROAD-2001/2002/2003, SHEET C9.02)
  - TRUCK DOCK (SEE ARCHITECTURAL PLANS).
  - BIKE RACK (SEE ARCHITECTURAL PLANS).
  - CONCRETE PIPE BOLLARD.
  - 3'-0" TALL ORNAMENTAL FENCE (SEE ARCHITECTURAL PLANS).
  - CONCRETE SIDEWALK.
  - RIBBON CURB
  - 6'-0" METAL SCREEN WALL
  - TRASH COMPACTOR
  - "TEXT ONLY" SIGN
  - "ENTER ONLY" SIGN



**WELLINGTON MANAGEMENT**

**Project**  
**GOODWILL**

**Location**  
**MINNEAPOLIS**

6023 NICOLLET AVE.

**Certification**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the state of Minnesota.

*Michael C. Brant*  
Michael C. Brant  
Registration No. 0361 Date: 03/20/2013

**Summary**

Designed by: JFA  
Approved by: JFA Book / Page: --  
Phase: PRELIMINARY Initial Issue: MMIN000000

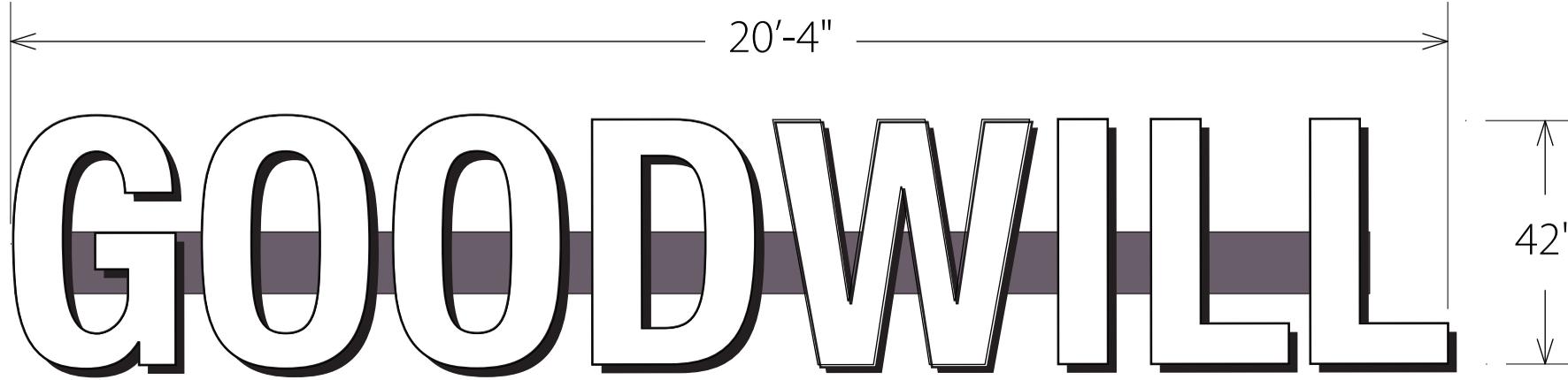
**Revision History**

No.	Date	By	Submittal / Revision
A.	03/01/13	JFA	CITY FOR COMMENTS
B.	03/05/13	JFA	CITY FOR COMMENTS
C.	03/05/13	JFA	CITY COMMENTS

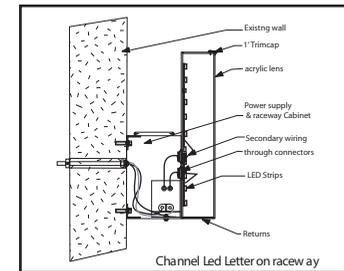
**Sheet Title**  
**SITE PLAN**

**Sheet No. Revision**  
**C3.01 C**

**Project No.** FEN19467



EAST EXTERIOR ELEVATION



**SPECIFICATIONS**

- 42" LED channel letter
- White faces
- Blue LEDs
- Black edgetrim & returns
- Mounted on raceways /painted to match building
- Font style: Helvetica Neue Condensed bold



\* This drawing is the property of Sandmann Signs, Inc. It is submitted to your company for the sole purpose of your consideration of whether to purchase a sign(s) manufactured according to these plans from Sandmann Signs, Inc. Distribution or exhibition of this plan to anyone other than employees of your company or use of this plan for construction of a similar sign to the one(s) created herein, is forbidden. In the event that such exhibition occurs, Sandmann Signs, Inc. will expect to be reimbursed for the time and materials used in creating this drawing.





