

LAND USE APPLICATION SUMMARY

Property Location: 5132 Aldrich Avenue South
Project Name: 5132 Aldrich Avenue South Additions
Prepared By: Janelle Widmeier, Senior City Planner, (612) 673-3156
Applicant: Tom and Ana Bartl
Project Contact: Ryan Hanson, Sustainable 9 Design & Build
Request: To allow a side one-story addition and a rear deck addition to a single-family dwelling.

Required Applications:

Variance	To reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 3 feet to allow a one-story addition.
Variance	To reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 3 feet to allow a deck addition.

SITE DATA

Existing Zoning	RI Single-family District AP Airport Overlay District
Lot Area	6,097 square feet
Ward(s)	13
Neighborhood(s)	Lynnhurst Neighborhood Association
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not applicable
Small Area Plan(s)	Not applicable

Date Application Deemed Complete	August 3, 2015	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	October 2, 2015	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The existing use is a single-family dwelling. It was permitted for construction in 1921.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties are predominantly single-family dwellings. The subject property is near Minnehaha Creek, but is not in the SH Shoreland Overlay District.

PROJECT DESCRIPTION. The applicant is proposing to expand the single-family dwelling located at the property of 5132 Aldrich Avenue South. They would expand the first floor kitchen by adding a 2 foot by 10 foot addition on the north side of the dwelling. The house would also be expanded at the back for a first floor mudroom/laundry/screen porch addition. Lastly, a 12.5 foot by 12.5 deck is proposed off the back of the dwelling at the first floor level. The minimum required interior side yard setback is 6 feet. The side addition and the deck addition would be set back 3 feet from the north interior side lot line. A variance is required to reduce the interior side yard requirement.

PUBLIC COMMENTS. As of the writing of this report, no comments have been received from the neighborhood group. Any correspondence received prior to the public meeting will be forwarded on to the Zoning Board of Adjustment for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for 1) a variance to reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 3 feet to allow a one-story addition and 2) a variance to reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 3 feet to allow a deck addition based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Both variances: Both the addition to the dwelling and the deck addition would be set back 3 feet from the interior side lot line. The minimum required interior side yard setback is 6 feet because the lot is 50 feet wide. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property that were not created by the applicant. In the zoning code, a single-family dwelling nonconforming as to side and rear yards only has all the rights of a conforming structure, provided the structure is located not closer than 3 feet from the side lot line, and provided further that the structure is not enlarged, altered or relocated in such a way as to increase its nonconformity. The extension of a single-family dwelling along the existing setback or the addition of a second story or half-story is not considered as increasing its nonconformity, provided the portion of the structure within the required side yard comprises at least 60 percent of the length of the entire structure, and provided further that the structure is not enlarged, altered or relocated within the required front yard and all other requirements of this zoning ordinance are met. Over the length of the entire structure, the north wall is set back 22 feet to 3 feet from the side lot line. The part of the dwelling nonconforming to the interior side yard requirement comprises over 60 percent of the entire length of the structure. However, the nonconforming

setback varies from 5.2 feet to 3 feet. The one-story addition would be a continuation of an existing wall that is set back 3 feet. The deck would be a continuation of the setback of the existing chimney. However, chimneys projecting not more than 2 feet into a required yard are a permitted obstruction. The building wall abutting the chimney is setback 5 feet. In general, an interior side yard is required to be a minimum of 5 feet for new construction on narrower lots. Therefore CPED staff is recommending that the deck is set back 5 feet instead of 3 feet.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Both variances: In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The adjacent property to the north is closest to the proposed additions. At the closest point, the adjacent dwelling is set back 6.6 feet from the shared lot line. The applicant is proposing a one-story, 2 foot by 10 foot addition with a 3 foot setback on the side of the dwelling that would be a continuation of an existing wall. The small one-story addition to the 2-story dwelling is not expected to have any impacts on the adjacent properties access to light, air and open space. The applicant is also proposing a rear 12.5 foot by 12.5 foot deck with a 3 foot setback from the side lot line. The deck would replace an existing smaller ground level patio that is connected to the side yard by a walkway. As proposed, the deck would be a continuation of the setback of the existing chimney. However, chimneys projecting not more than 2 feet into a required yard are a permitted obstruction. The building wall adjacent to the chimney is set back 5 feet. In general, an interior side yard is required to be a minimum of 5 feet for new construction on narrower lots. A side yard reduction of one foot to allow the deck would not have adverse effects on the adjacent property. Provided the deck is setback 5 feet instead of 3 feet, the requests are reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Both variances: With the adoption of the staff recommendation, the granting of the variances would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. The adjacent property to the north is closest to the proposed additions. At the closest point, the adjacent dwelling is set back 6.6 feet from the shared lot line. The applicant is proposing a one-story, 2 foot by 10 foot addition with a 3 foot setback on the side of the dwelling that would be a continuation of an existing wall. The small one-story addition to the 2-story dwelling is not expected to have any impacts on the adjacent properties access to light, air and open space. The applicant is also proposing a rear 12.5 foot by 12.5 foot deck with a 3 foot setback from the side lot line. The deck would replace an existing smaller ground level patio that is connected to the side yard by a walkway. As proposed, the deck would be a continuation of the setback of the existing chimney. However, chimneys projecting not more than 2 feet into a required yard are a permitted obstruction. The building wall adjacent to the chimney is set back 5 feet. In general, an interior side yard is required to be a minimum of 5 feet for new construction on narrower lots. A side yard reduction of one foot to allow the deck would not have adverse effects on the adjacent property. The additions would be compatible with the existing dwelling. The siding of the side addition would be stucco to match the dwelling. Composite decking would be used for the deck. Also, the granting of the variances would not be detrimental to the health, safety or welfare of the public or those utilizing the property provided the proposed additions are constructed to current building codes.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the applications by Tom and Ana Bartl for the property located at 5132 Aldrich Avenue South:

A. Variance to reduce the minimum interior side yard requirement (dwelling addition).

Recommended motion: **Approve** the variance to reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 3 feet to allow a one-story addition, subject to the following conditions:

1. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by August 27, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. The exterior materials used for the addition shall be consistent with the exterior materials of the principal structure on the property.

B. Variance to reduce the minimum interior side yard requirement (deck addition).

Recommended motion: **Approve** the variance to reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 5 feet to allow a one-story addition, subject to the following conditions:

1. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by August 27, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Site survey
4. Proposed site plan
5. Floor plans
6. Building elevations
7. Photos



Ryan Hanson <ryanhanson@sustainable9.com>

Notification - Variance Application - 5132 Aldrich Ave S

1 message

Ryan Hanson <ryanhanson@sustainable9.com>

Mon, Jul 27, 2015 at 12:25 PM

To: info@lynnhurst.org

Cc: ken.dahler@minneapolismn.gov, emily.ziring@minneapolismn.gov

Greetings,

Per the Minneapolis Variance process, this email serves as notification to the Lynnhurst Neighborhood Association and Ward 13th City Council Office that we intend to submit an application for a variance to add a small addition to the existing home located at 5132 Aldrich Ave S, Minneapolis.

The home was recently purchased by our clients, Tom and Ana Bartl, and they have enlisted Sustainable 9 Design + Build to build the addition and also represent them during the variance process. The variance is to allow a small 2 foot bump-out along the north existing wall of the structure into the 6 ft setback, as well as extending the proposed deck 12.5 feet past the rear of the home. The existing grandfathered structure already sits within the 6 ft setback, hence the need for the variance.

Sustainable 9 Design + Build intends also to incorporate the following green building techniques:

- Using highly-energy efficient spray foam insulation in the addition, along with environmentally friendly dense packed cellulose insulation
- Installing Energy-star rated appliances, windows, and doors
- Using NO or Low VOC paints and adhesives
- Recycling some materials from the old existing structure and salvaging other items

If you have any questions, feel free to contact me below.

Thanks!

Ryan Hanson - Partner

Sustainable 9 Design + Build

612-234-4194 office

612-636-3232 mobile

612-293-3830 fax

ryanhanson@sustainable9.com

www.sustainable9.com

Twitter: [@Sus9DesignBuild](https://twitter.com/Sus9DesignBuild)

Facebook: facebook.com/sustainable9

Houzz: houzz.com/pro/sustainable9

Our main office is located on the 3rd Floor of St. Anthony Main on the River in Minneapolis (Across from downtown):

125 Main Street Southeast

Suite 343

Minneapolis, MN 55414

Office Hours:

Monday - Friday: 9am-6pm

BARTL VARIANCE APPLICATION

5132 ALDRICH AVE S

MINNEAPOLIS, MN

Tom and Ana Bartl are proposing to construct a kitchen addition to the existing single-family home at 5132 Aldrich Ave S as well as a proposed deck to the rear of the home. In order to construct the addition, we understand the following variance is required and, accordingly, is being requested in this application:

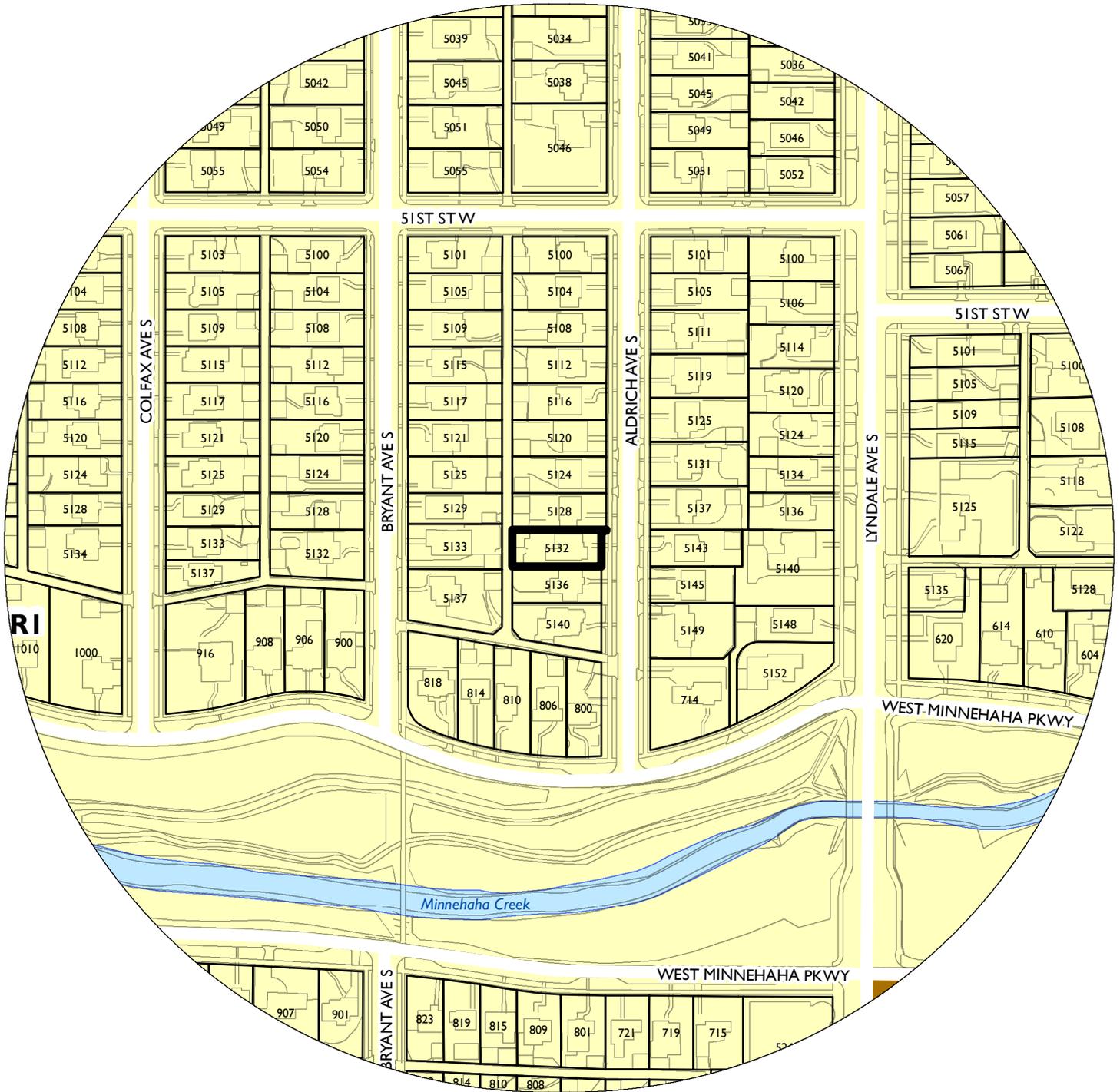
1. Side yard setback - To reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 3 feet to allow a building addition and a proposed rear deck.

Variance No. 1

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**
 - 1.1. The existing structure was built in 1922 before the current interior side yard setbacks existed. The entire north side of the existing structure is already in the required 6 foot setback. The current structure has been grandfathered in and to bring it up to the existing setbacks would be impractical.
- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**
 - 2.1. In keeping with the spirit and intent of the comprehensive plan, the applicant intends to keep the property a single-family home and improve on the existing structure with improvements commonly found in the city and the Lynnhurst neighborhood.
 - 2.2. The proposal would comply with all other district regulations and would not have any impacts on the adjacent properties access to light, air and open space.
- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**
 - 3.1. The proposed addition fits the character of the existing home and neighborhood, and it does not extend the structure farther into the existing setback than the structure already is.
 - 3.2. The neighboring structure to the north is already 6.6 feet off the north property line and not within the required 6 foot side yard setback.
 - 3.3. The addition is held back more than 3 feet from the property lines on all sides to comply with fire separation requirements.
 - 3.4. The new addition will be built in accordance with current building codes.

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
5132 Aldrich Ave S

FILE NUMBER
BZZ-7328

SITE ADDRESS: 5132 Adrich Ave. S
Minneapolis, MN

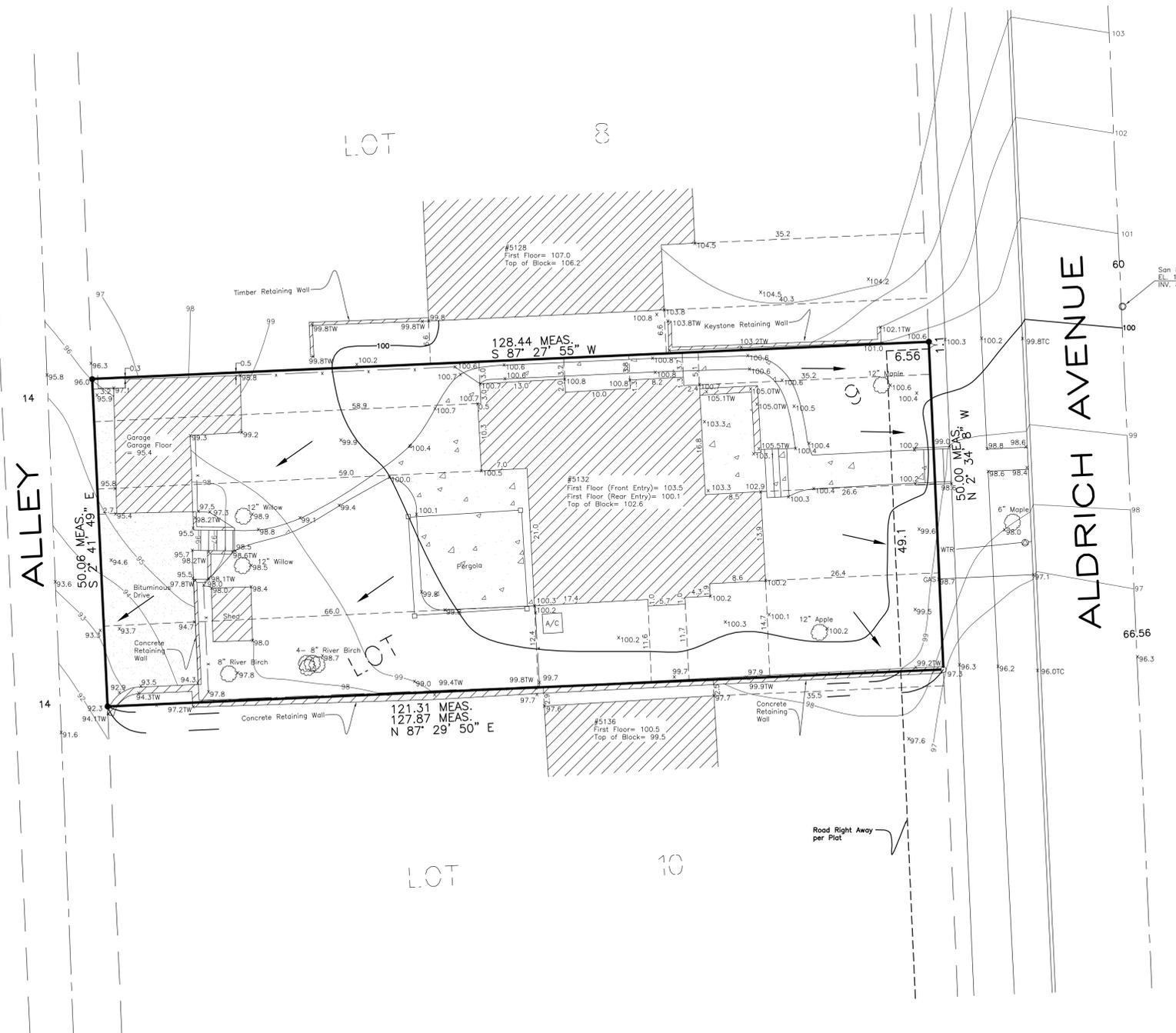
EXISTING CONDITION SURVEY FOR: Sustainable 9 Design



SCALE: 1 INCH = 10 FEET

Legend

- Fence
- SAN Sanitary Sewer
- WTR Water
- GAS Underground Gas
- Manhole
- Water Shutoff
- Deciduous Tree
- Coniferous Tree
- Concrete
- Concrete Curb
- Boulder Retaining Wall
- Retaining Wall
- Existing Elevation
- x900.0TC Top of Curb Elevation
- x900.0TW Top of Wall Elevation
- Existing Contour
- Drainage
- Denotes Iron Monument Found
- Denotes Set, 1/2" x 14" Iron Pipe w/ Plastic Cap Inscribed R.L.S. 15230.



PROPERTY DESCRIPTION:

Lot 9, Block 7, MINNEHAHA BOULEVARD
ADDITION TO MINNEAPOLIS, HENNEPIN CO.
MINNESOTA

NOTE: No Search Was Made For Any Easements

NOTE: The location of all utilities shown are from observed evidence in the field and from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

W. BROWN LAND SURVEYING, INC.

Woodrow A. Brown, R.L.S. MN REG 15230

Dated: 6-12-2015

EXISTING AREA CALCULATION:

Lot Area = 6418 SF

IMPERVIOUS SURFACE:

House = 1111 SF
Drive = 442 SF
Walks & Patio = 932 SF
Garage = 300 SF

Total = 2785 SF
= 43.4%

EXISTING CONDITION	119-15 144/22	6-12-2015	GUS
PROPOSED SITE PLAN			
HOUSE STAKE			
TOP OF WALL AS-BUILT			
FINAL AS-BUILT			
W. BROWN LAND SURVEYING, INC.			
8030 Cedar Avenue So., Suite 228. Bloomington, MN 55425 Bus: (952) 854-4055 Fax: (952) 854-4268			
Drawing:	119-15	Date: 6-12-2015	1 of 1
		Scale: 1 Inch = 10 Feet	

SITE ADDRESS: 5132 ALDRICH AVE. S
MINNEAPOLIS, MN 55419

PROPOSED ADDITION FOR: SUSTAINABLE 9 DESIGN + BUILD

EXISTING AREA CALCULATION:

Lot Area = 6,418 SF

IMPERVIOUS SURFACE:

House = 1,111 SF
Garage = 300 SF
Drive = 442 SF
Front Patio = 130 SF
Rear Patio = 490 SF
Walks = 312 SF

Total = 2,785 SF
= 43.4%

Proposed Addition = 125 SF
Proposed Screen Porch = 211 SF
Proposed Deck = 195 SF
Rear Patio Removed = -490 SF

Total = 2,826 SF
= 44.0%

SCALE: 1 INCH = 10 FEET

Legend

- x — x — Fence
- SAN — Sanitary Sewer
- WTR — Water
- GAS — Underground Gas
- Manhole
- Water Shutoff
- +—+— Concrete Retaining Wall
- //—// Timber Retaining Wall
- /—/— Keystone Retaining Wall
- x900.0 Existing Elevation
- x900.0TC Top of Curb Elevation
- x900.0TW Top of Wall Elevation
- 900— Existing Contour
- >— Drainage
- Denotes Iron Monument Found
- Denotes Set, 1/2" x 14" Iron Pipe w/ Plastic Cap Inscribed R.L.S. 15230.

PROPERTY DESCRIPTION:

Lot 9, Block 7, MINNEHAHA BOULEVARD ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota.

NOTES:

- All existing building dimensions are measured to the finished siding and not the foundation.
- No Search Was Made For Any Easements
- The location of all utilities shown are from observed evidence in the field and from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

W. BROWN LAND SURVEYING, INC.

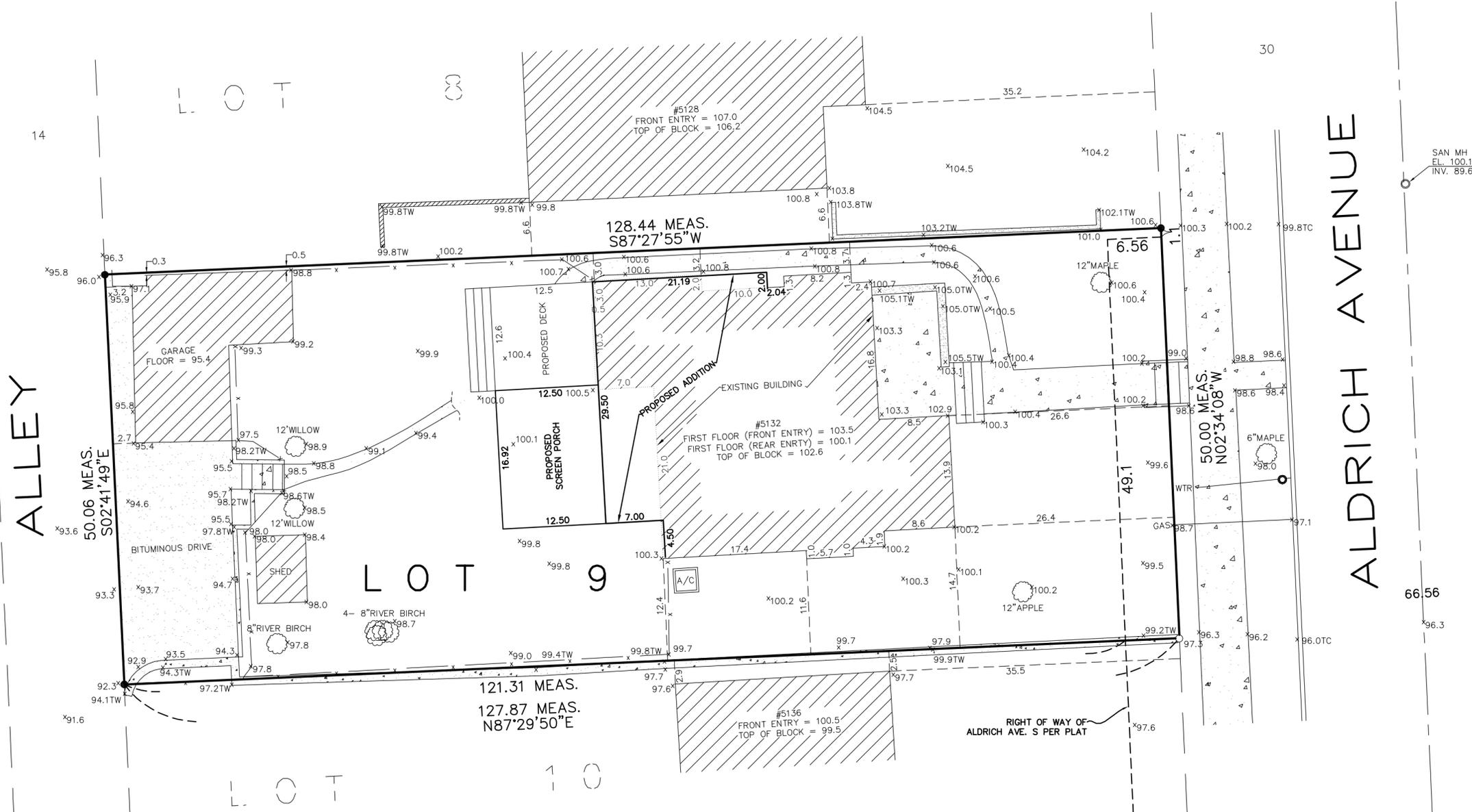
Woodrow A. Brown
Woodrow A. Brown, R.L.S. MN REG 15230

Dated: 07-15-2015

EXISTING CONDITION	119-15 144/22	06-12-2015	GUS
PROPOSED ADDITION	119-15A	07-15-2015	CME

W. BROWN LAND SURVEYING, INC.
8030 Cedar Avenue So., Suite 228.
Bloomington, MN 55425
Bus: (952) 854-4055
Fax: (952) 854-4268

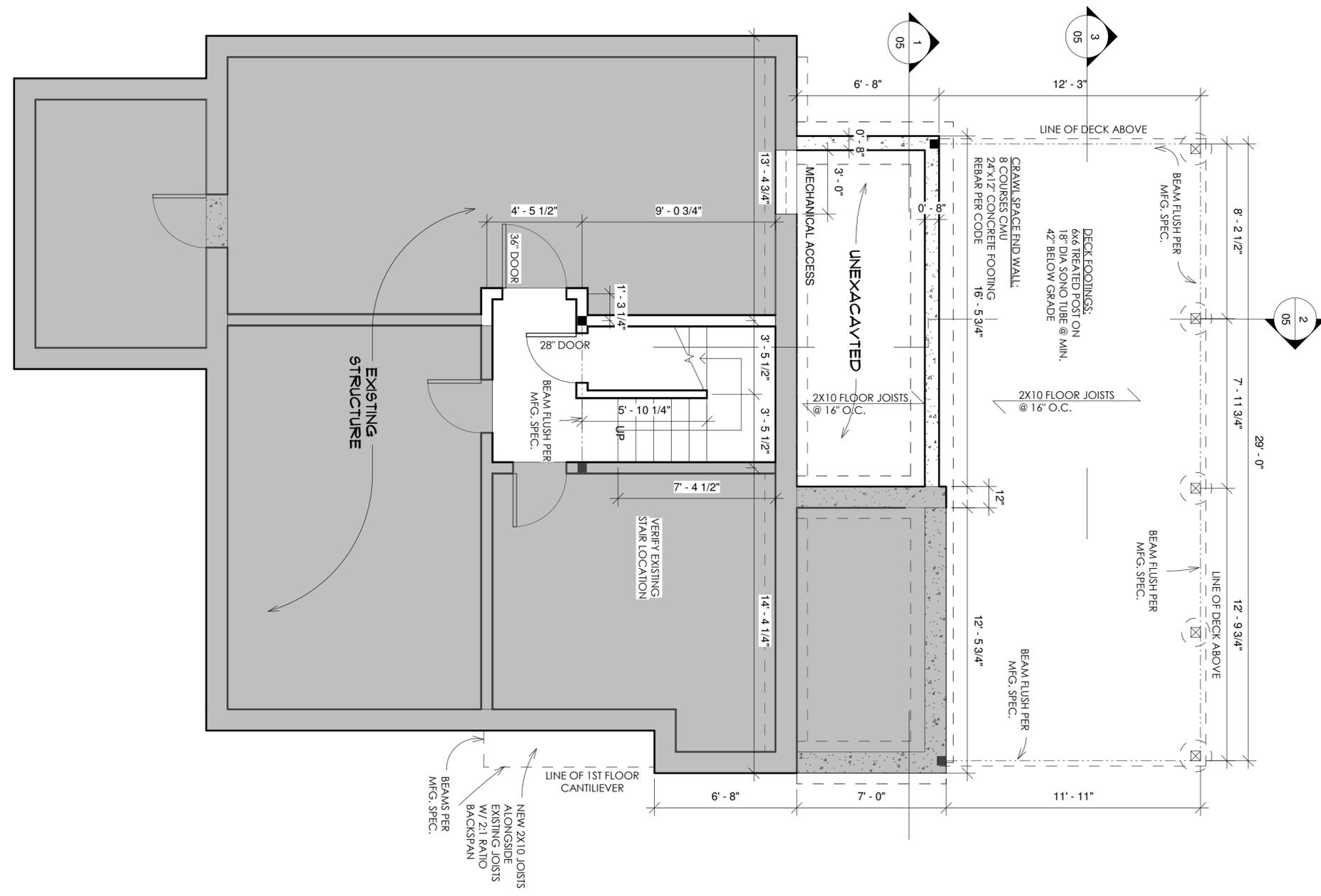
Drawing:	Date: 07-15-2015	1 of 1
119-15A	Scale: 1 Inch = 10 Feet	



NOTE:
 WINDOWS ARE CALLED OUT BY WINDOW FRAME SIZE IN INCHES. WINDOW MANUFACTURER TO SPECIFY CLOSEST MATCHING SIZES & VERIFY EGRESS COMPLIANCE AND PROVIDE WINDOW SCHEDULE WITH ROUGH OPENINGS. WINDOW & DOOR HEADERS TO BE 2x10 UNLESS NOTED (PER MFG. SPECS.)

ATTENTION:
 BEAM SIZES & ALL STRUCTURAL CONSIDERATIONS SPECIFIED ON THIS SET OF PLANS MUST BE REVIEWED BY THE FLOOR SYSTEM DESIGNER OR BY A STRUCTURAL ENGINEER AND CONFIRMED TO BE STRUCTURALLY SOUND. BASED ON THAT REVIEW IF THERE ARE ANY CHANGES OR ADDED BEAM SIZES, LOCATION, ETC. THESE CHANGES MUST BE BROUGHT TO THE GENERAL CONTRACTORS ATTENTION:

IMPORTANT NOTE:
 VERIFY ALL HEIGHTS AND SIZES OF EXISTING WINDOWS, DOORS, AND ROOF. VERIFY FLOOR AND WALL HEIGHTS IN THE EFFECTED AREA PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION
 ALL DIMENSION LINES TO BE TO CENTERLINE OF STUDS TO FACE OF STUDS
 ALL OVERALL DIMENSION LINES TO BE FACE OF STUD TO FACE OF STUD
 VERIFY ALL HEIGHTS AND SIZES OF EXISTING CONSTRUCTION MATERIALS: WALL STUDS, FLOOR JOISTS, SUB FLOOR, AND ROOF TRUSSES PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION



DAVID CHARLEZ DESIGNS
 17645 JUNIPER PATH #215
 LAKEVILLE, MN 55044
 TEL: 952.428.8200
 EM: Dave@DavidCharlezDesigns.com

BUILDER
Sustainable Nine
 Design & Build
 125 Main Street SE
 Suite 343
 Minneapolis, MN 55414



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 GM

DESCRIPTION
 Lower Level

PROJECT #
 Bart11

PROJECT
 5132 Aldrich Ave S
 Mpls, MN 55419

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 5.22.2015

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Notes: Dimensions, details and conformation to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items including, but not limited to: construction technique, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/mildew or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind or other natural stresses such as flooding, snowfall or substandard bearing soil. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window size are approximate rough openings. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be flashed and enclosed to meet local code. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscaping/site plan or in the rendering for illustrative purpose only. Consult builder for standard or included features. © David Charlez Designs 2015. Do not replicate with out permission (952)428-8200. David Charlez Design retains rights to all plans and detail shown.

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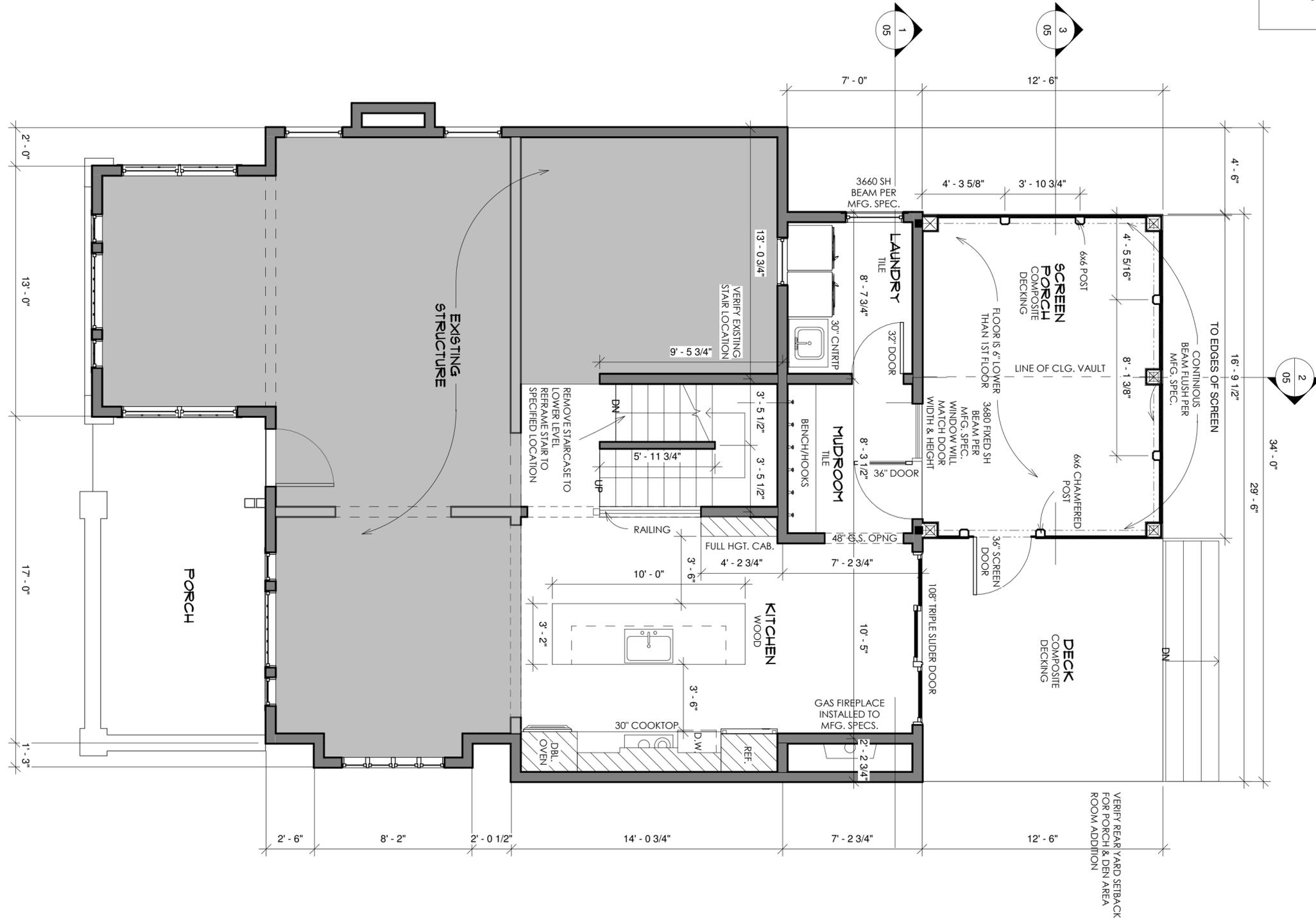
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Design & Build
125 Main Street SE
Suite 343
Minneapolis, MN 55414



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GM

DESCRIPTION
Main Level

PROJECT #
Bart11

PROJECT
5132 Aldrich Ave S
Mpls, MN 55419

ISSUE
5.22.2015

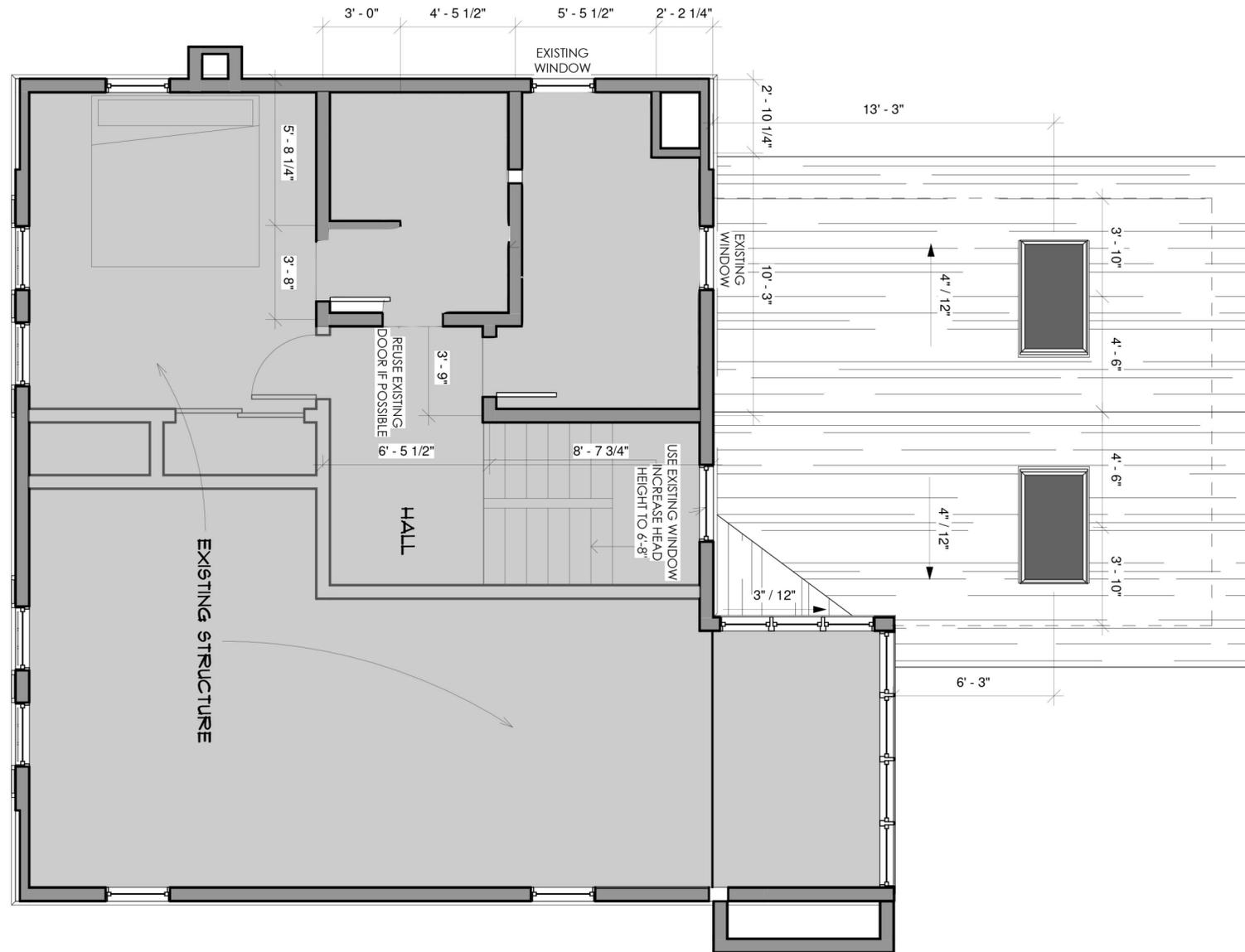
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BUILDER
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 125 Main Street SE
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 Minneapolis, MN 55414



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DESCRIPTION
 Upper Level

PROJECT #
 Bart1

PROJECT
 5132 Aldrich Ave S
 Mpls, MN 55419

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① Rear Elevation
1/4" = 1'-0"

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WINDOWS ARE CALLED OUT BY WINDOW FRAME SIZE IN INCHES. WINDOW MANUFACTURER TO SPECIFY CLOSEST MATCHING SIZES & VERIFY EGRESS COMPLIANCE AND PROVIDE WINDOW SCHEDULE WITH ROUGH OPENINGS. WINDOW & DOOR HEADERS TO BE 2)2x10 UNLESS NOTED (PER MFG. SPECS.)

ATTENTION:
BEAM SIZES & ALL STRUCTURAL CONSIDERATIONS SPECIFIED ON THIS SET OF PLANS MUST BE REVIEWED BY THE FLOOR SYSTEM DESIGNER OR BY A STRUCTURAL ENGINEER AND CONFIRMED TO BE STRUCTURALLY SOUND, BASED ON THAT REVIEW IF THERE ARE ANY CHANGES OR ADDED BEAM SIZES, LOCATION, ETC. THESE CHANGES MUST BE BROUGHT TO THE GENERAL CONTRACTORS ATTENTION:

NOTE:
MATCH EXISTING SIDING MATERIAL
MATCH EXISTING WINDOW TRIM
MATCH EXISTING EXTERIOR DECORATIVE TRIM
SITE VERIFY ALL EXTERIOR TRIM & MATERIALS

IMPORTANT NOTE:
VERIFY ALL HEIGHTS AND SIZES OF EXISTING WINDOWS, DOORS, AND ROOF. VERIFY FLOOR AND WALL HEIGHTS IN THE EFFECTED AREA PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION
ALL DIMENSION LINES TO BE TO CENTERLINE OF STUDS TO FACE OF STUDS
ALL OVERALL DIMENSION LINES TO BE FACE OF STUD TO FACE OF STUD
VERIFY ALL HEIGHTS AND SIZES OF EXISTING CONSTRUCTION MATERIALS: WALL STUDS, FLOOR JOISTS, SUB FLOOR, AND ROOF TRUSSES PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION



② Left Elevation
1/8" = 1'-0"



③ Right Elevation
1/8" = 1'-0"



DAVID CHARLEZ DESIGNS
17645 JUNIPER PATH #215
LAKEVILLE, MN 55044
TEL: 952.428.8200
EM: Dave@DavidCharlezDesigns.com

BUILDER
Sustainable Nine
Design & Build
125 Main Street SE
Suite 343
Minneapolis, MN 55414



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GM

DESCRIPTION
Elevations

PROJECT #
Bart11

PROJECT
5132 Aldrich Ave S
Mpls, MN 55419

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Notes: Dimensions, details and conformation to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items including, but not limited to: construction technique, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/mildew or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind or other natural stresses such as flooding, snowfall or substandard bearing soil. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window size are approximate rough openings. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be flashed and enclosed to meet local code. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscaping/site plan or in the rendering for illustrative purpose only. Consult builder for standard or included features. © David Charlez Designs 2015. Do not replicate without permission (952)428-8200. David Charlez Design retains rights to all plans and detail shown.

ROOF, CEILING & EAVE CONSTRUCTION:

ARCHITECTURAL GRADE ASPHALT SHINGLES
 #1 FELT & ICE & WATER SHIELD (6'-0")
 1/2" OSB SHEATHING w/STEEL CLIPS
 TRUSSES @ 24" O.C. (PER MFG. SPEC.)
 BAFFLES w/1" AIR SPACE
 2X4 LOOKOUTS
 2X6 SUB FASCIA w/ ALUMINUM FASCIA - 5/4 x 3 OVER 5/4 x 8
 ALUMINUM VENTED SOFFITS
 COMPOSITE FRIEZE BOARDS
 R-50 BLOWN INSULATION
 POLY VAPOR BARRIER
 5/8" GYP. BRD. CEILING

WALL CONSTRUCTION:

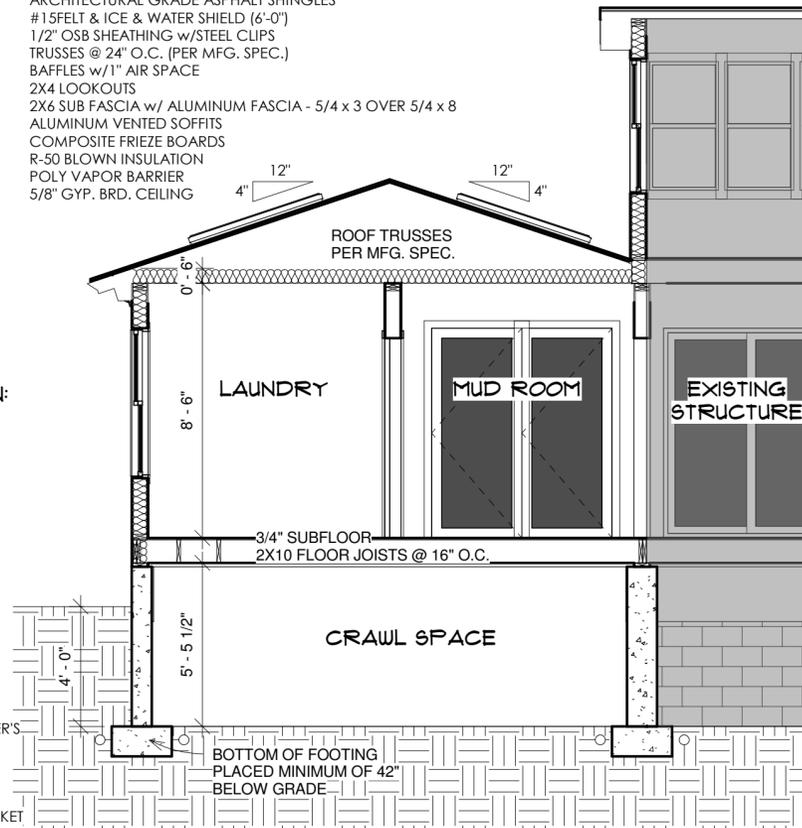
SIDING PER ELEVATION
 HOUSE WRAP (WRAP WINDOWS PER MFG. SPEC.)
 1/2" OSB SHEATHING
 2X6 STUDS @ 16" O.C.
 DBL. TOP PLATE
 R-21 WALL INSULATION
 4 MIL POLY VAPOR BARRIER
 1/2" GYP. BRD.
 2X6 SOLE PLATE
 ALL DETAILS TO CONFORM W/ ENERGY CODE

MAIN LEVEL CONSTRUCTION:

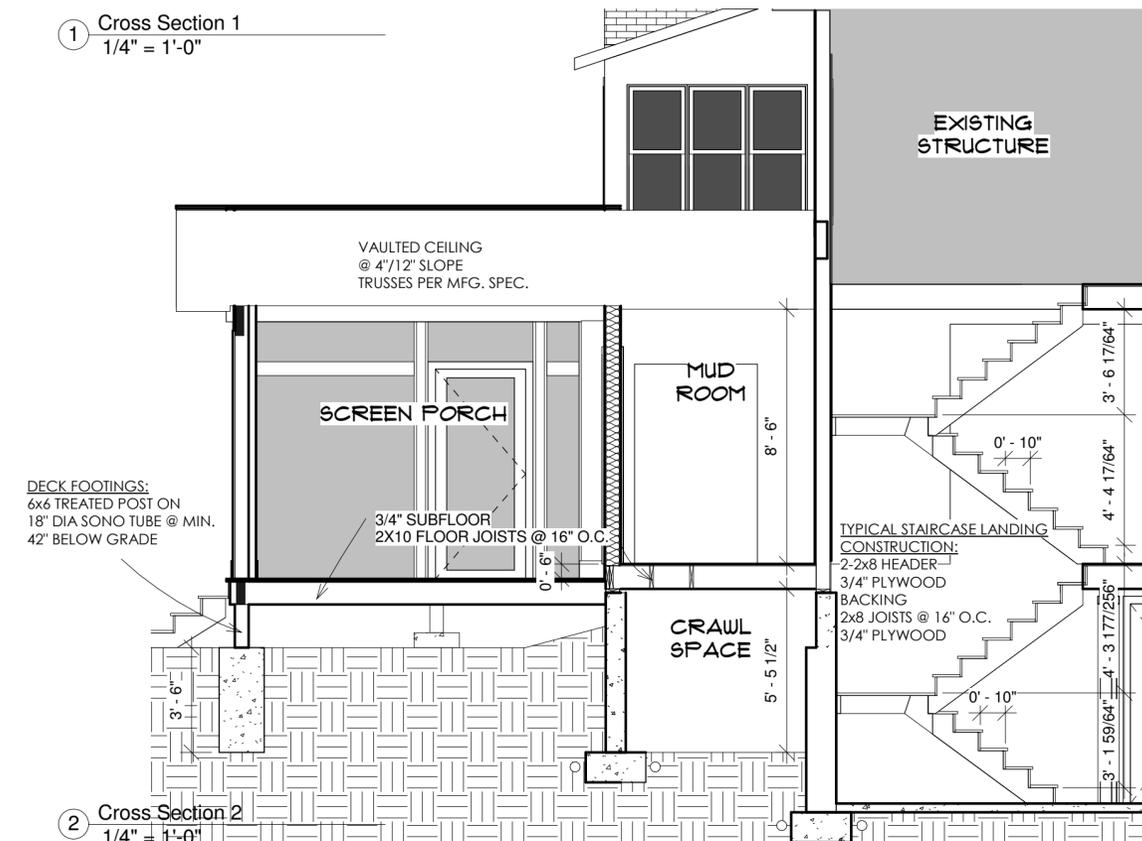
ADVANTEC 3/4" T&G PLYWOOD
 SUBFLOOR GLUED & SCREWED
 2X10 FLOOR JOISTS @ 16" O.C.
 (FLOOR SYSTEM DESIGNER TO VERIFY SIZE & SPACING BASED ON SPANS)
 FLASHING UNDER SILLS & STOOPS
 TREATED 2X6 SILL PLATE w/ SEALER
 1/2" ANCHOR BOLTS @ 6' O.C. & 1' FROM CORNERS
 5/8" GYP. BRD. ON CEILING
 SPRAY INSULATE RIMS (R-21)

FOUNDATION WALL CONSTRUCTION:

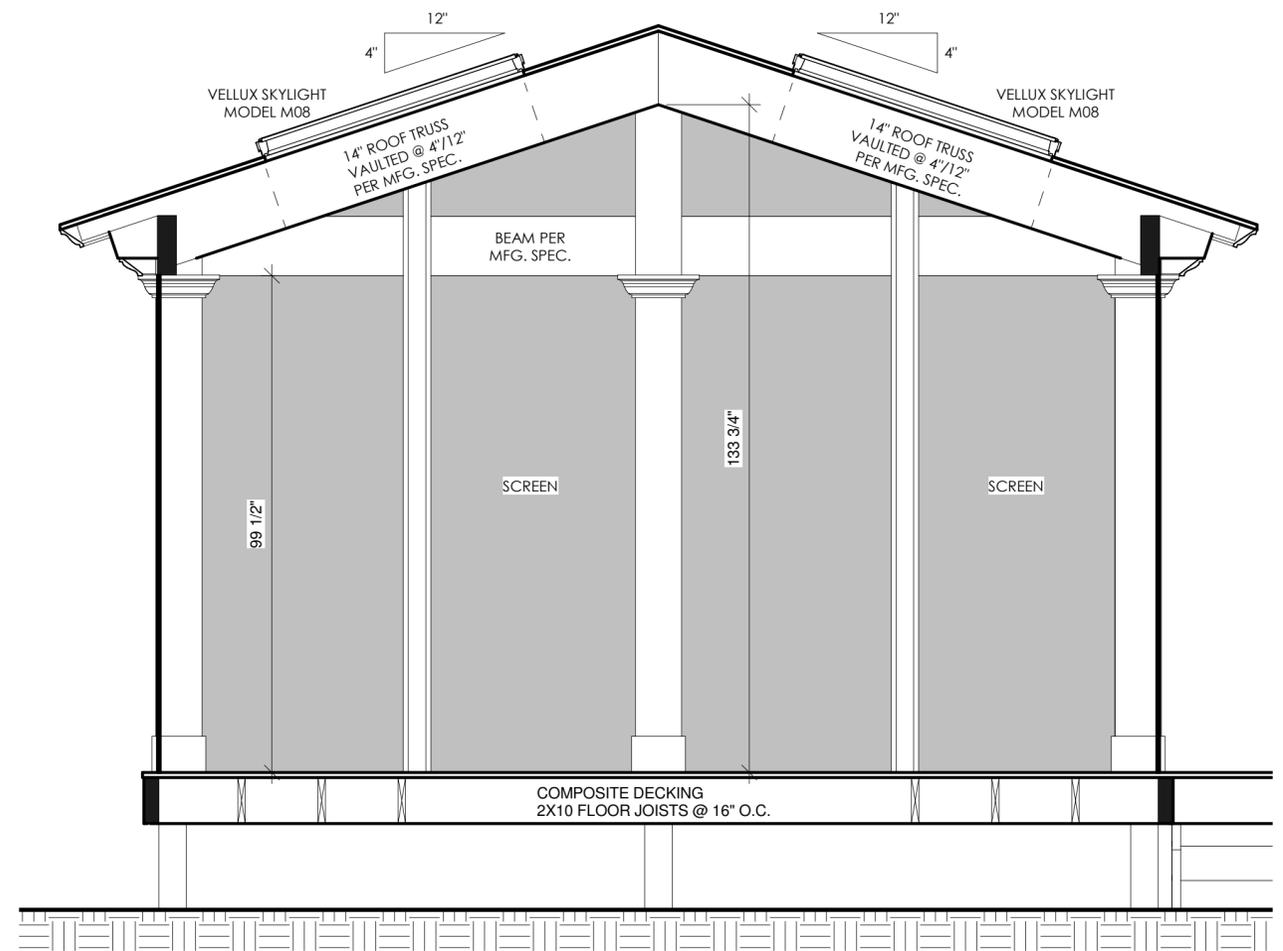
(R-15) APPLIED TO EXTERIOR, PROVIDE FLASHING TO COVER EXPOSED INSULATION
 CMU WALL W/ BRICK LEDGE PER PLAN
 REINFORCE WALLS PER CODE AND ENGINEER'S SPECIFICATIONS
 24" X 12" CONTINUOUS CONC. FOOTING
 UNLESS OTHERWISE NOTED
 INTERIOR & EXTERIOR 4" DIA.
 PERFORATED DRAIN TILE PIPED TO SUMP BASKET



① Cross Section 1
 1/4" = 1'-0"



② Cross Section 2
 1/4" = 1'-0"



③ Porch Section
 1/2" = 1'-0"



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SUSTAINABLE NINE
 DESIGN + BUILD

DRAWN BY
 GM

DESCRIPTION
 Cross Sections

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PROPERTY









