

LAND USE APPLICATION SUMMARY

Property Location: 314 6th Avenue North
Project Name: 314 6th Ave N Mixed Use
Prepared By: Shanna Sether, Senior City Planner, (612) 673-2307
Applicant: ESG Architects
Project Contact: Aaron Roseth
Request: To allow a new mixed use building with 143 dwellings and approximately 16,700 square feet of commercial space.

Required Applications:

Variance	To reduce the rear yard setback from 15 feet to approximately 5 feet 6 inches where residential windows are provided.
Variance	To eliminate the off-street loading requirement for a multiple-family dwelling.
Site Plan Review	For a new mixed use building with 143 dwellings and approximately 16,700 square feet of commercial space.

SITE DATA

Existing Zoning	B4S-1 Downtown Service District DP Downtown Parking Overlay District
Lot Area	33,836 square feet / .78 acres
Ward(s)	3, adjacent to 5
Neighborhood(s)	North Loop Neighborhood Association
Designated Future Land Use	Mixed Use
Land Use Features	Growth Center (Downtown) Commercial Corridor (Washington Avenue North 1.5 blocks to the northwest)
Small Area Plan(s)	<i>North Loop Small Area Plan (2010)</i>

Date Application Deemed Complete	June 15, 2015	Date Extension Letter Sent	Not Applicable
End of 60-Day Decision Period	August 14, 2015	End of 120-Day Decision Period	Not Applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property is a one-story industrial warehouse building constructed in 1944 and was added onto in 1945. The property is the south half of the block, bound by 6th Avenue North, 4th Street North and 7th Avenue North. A 20-foot wide public alley runs between 6th and 7th Avenue North.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The subject property shares the block with Atomic Data Centers and CJ Duffy Paper Company. Atomic Data Centers is a 3-story, brick building at the north corner of the block. The Duffy Paper Company is a five-story brick building. Both of the adjacent structures are contributing resources to the Warehouse Historic District. The property to the east is Bookman Stacks, an 8-story, multiple-family residential building. The property to the west is 710 Lofts, a 4-story residential condominium building. Across 4th Street North is Interstate 94 and the viaducts.

PROJECT DESCRIPTION. The applicant is proposing to demolish the existing ABC industrial warehouse building and construct a new six-story building, clad with brick on all four facades. The mixed use building will have 143 dwelling units, 7 of which are walk-up units, and 2-3 new commercial tenants totaling 16,776 square feet of space. The applicant has suggested one tenant to be a cross fit gym and another would be a restaurant with outdoor seating. The proposed development will include 156 parking spaces for the residential units in a two-level, underground parking garage. Retail customers who drive to the site will park or be valeted to nearby parking areas.

The site is zoned B4S-1 Downtown Service District and is in the DP Downtown Parking Overlay District. The proposed structure has residential windows located on floors 2-6, facing the rear property line. The zoning code requires a rear yard setback equivalent to) feet plus 2 feet for each story above the first floor, not to exceed 15 feet for residential uses containing windows facing the rear yard. The applicant is seeking a variance to reduce the rear yard setback from 15 feet to approximately 5 feet 6 inches. The proposed residential dwellings require one small loading space, 10 feet by 25 feet. The applicant has shown a loading dock specifically for residential move-ins off of the public alley. Because the loading space is not entirely on the property, a variance is required. Lastly, the new building requires site plan review.

PUBLIC COMMENTS. At the time of writing the staff report, staff has not received any public comments regarding the proposed development. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the rear yard setback from 15 feet to approximately 5 feet 6 inches where residential windows are provided based on the following findings:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Staff finds that practical difficulties exist in complying with the required 15-foot setback along the rear yard due to circumstances unique to the parcel. The rear yard of the subject parcel is adjacent

to a twenty-foot wide public alley, where most alleys in the City of Minneapolis are typically 12-14 feet in width. In addition, the properties on the other half of the block are Atomic Data Centers and CJ Duffy Paper Company. Atomic Data Centers is a 3-story, brick building at the north corner of the block. The Duffy Paper Company is a five-story brick building. Both of the adjacent structures are contributing resources to the Warehouse Historic District. Both buildings are setback approximately 11 feet from the alley and would be located over 36 feet from the proposed structure. Staff finds that these circumstances are unique to the parcel and have not been created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Staff finds that the applicant is proposing to use the property in a reasonable manner that is consistent with the spirit and intent of the zoning code and comprehensive plan. The setback of 15 feet is required due to residential windows facing the rear property line. The purpose is to provide sufficient light and air to the residents of the structure and allow for an appropriate separation between uses. As previously mentioned, the proposed structure will be located approximately 36 feet from the adjacent structures across the alley.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The applicant is seeking a variance to reduce the rear yard setback from 15 feet to approximately 5 feet 6 inches to allow for residential windows. The proposed separation to the existing buildings across the alley will be over 36 feet. The two adjacent buildings are non-residential uses and the reduced setback should not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The proposed project will be required to comply with all building code requirements and public work standards.

The Department of Community Planning and Economic Development has analyzed the application for a variance to eliminate the off-street loading requirement for a multiple-family dwelling based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Staff finds that practical difficulties exist due to circumstances unique to the property. The subject property is immediately adjacent to a 20-foot wide public alley. The alley has been historically used for loading for the three existing buildings on the block. The applicant is proposing to add a loading door at the rear of the building specifically for residential move-ins. As proposed, trucks would encroach approximately 4.5 feet into the public alley when loading and unloading. Staff finds that these circumstances have not been created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to provide sufficient loading for residential move-ins along the public alley, in lieu of providing a specific loading space within the building. As proposed, trucks would encroach approximately 4.5 feet into the public alley when loading and unloading. Staff finds that this

proposed use will allow a reasonable use of the property that is consistent with the spirit and intent of the ordinance.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Directing move-ins to the alley will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The alley has historically been used by the subject and adjacent properties for off-street loading. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the general public or of those utilizing the property or nearby properties as long as the proposed loading plan complies with public works standards.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Requires alternative compliance

- The placement of the building reinforces street wall, maximizes natural surveillance and visibility and facilitates pedestrian access and circulation. The building is located near the front and corner lot lines, the windows exceed the minimum percentage required at the ground floor and the applicant is proposing outdoor seating. The pedestrian access and circulation is suggested through landscaping and multiple walkway connections to the building.
- The first floor of the building is located 8 feet 2 inches from the front property line along 7th Avenue North, 8 feet 6 inches along 4th Street South and between 9 inches and 9 feet along 6th Avenue North. The applicant is requesting alternative compliance; they have indicated that additional defensible space is required for the walk-up dwelling units and to allow for outdoor dining space for the proposed restaurant/retail spaces. Staff is recommending that the city planning commission grant alternative compliance.
- The area between the building and the lot lines include landscaped yards and areas for outdoor dining.
- The proposed project has multiple entrances facing all three streets. The principal entrance to the residential portion is located along 7th Avenue North and the retail spaces will have entrances facing 4th Street North and 6th Avenue North. In addition, there will be individual walk-up unit entrances on both 7th Avenue North and 4th Street North.
- On-site accessory parking is located in two levels that are entirely below grade.
- The proposed building elevations show architectural detail and contain windows that create visual interest and increase security of adjacent outdoor spaces by providing views in and out of the proposed structure.
- The building appears to be divided into smaller identifiable sections; transitioning from the retail along 6th Avenue North and wrapping the corner to 4th Street North, to the walk-up units that again wrap the corner to 7th Avenue North to the lobby and entrance.
- The proposed building does not have blank, uninterrupted walls exceeding 25 feet in length. Staff is recommending that the applicant provide window details showing the articulation between the brick and windows to avoid a flat appearance of the building walls.
- The exterior materials are durable; the applicant is proposing white brick on all four facades.

- The rear and side walls are brick to match the front façade. In addition, the window material and pattern are similar, making the overall appearance of the building similar to and compatible with the front.
- There will be no plain face concrete block on the proposed building.
- The entrances for the retail are defined with recesses, color changes and outdoor seating. There are individual entrances for the walk-up units that are defined with patio spaces and landscaped yards. The entrance for the lobby is recessed and defined by windows. The windows are vertical in proportion and evenly distributed.
- There are active functions on all sides of the building – the underground parking area is accessed from 7th Avenue North and comprises 15% of the façade.
- The roof will be flat, which is consistent with the adjacent buildings and buildings in the surrounding area.

Table 1. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
Residential Uses - East				
2nd Floor and Above	10% minimum	118 sq. ft.	67%	790 sq. ft.
Residential Uses – West				
1st Floor	20% minimum	235 sq. ft.	37%	440 sq. ft.
2nd Floor and Above	10% minimum	118 sq. ft.	58%	684 sq. ft.
Residential Uses - South				
1st Floor	30% minimum	388 sq. ft.	46%	594 sq. ft.
2nd Floor and Above	10% minimum	167 sq. ft.	47%	790 sq. ft.
Nonresidential Uses – East				
1st Floor	30% minimum	353 sq. ft.	56%	662 sq. ft.
Nonresidential Uses - South				
1st Floor	30% minimum	120 sq. ft.	63%	253 sq. ft.

Access and Circulation – Meets requirements

- The proposed plan shows well-lit walkways at least 4 feet in width connecting each of the building entrances to the adjacent public sidewalk.
- There is no proposed transit shelters incorporated into the development.
- Vehicular access is from a single curb cut along 7th Avenue North. The alley will be used for loading and trash pick-up. The proposed access has been designed to minimize conflicts with pedestrians.
- The curb cut is proposed adjacent to the alley. The site has a slope that decreases four feet from 4th street towards the alley; therefore, the parking garage could not be accessed from the alley.
- There is no maximum impervious surface requirement in the B4S-1 zoning district. However, according to the materials submitted by the applicant 82 percent of the site will be impervious.

Landscaping and Screening – Meets requirements

- This site is exempt from the general landscaping and screening requirements of Chapter 530, Site Plan Review as the site is located in the B4S-1 zoning district and the building is larger than 50,000 square feet.

- The composition and location of the landscaped areas complement the scale of development and surroundings.
- There is no parking or loading areas adjacent to the public street or sidewalk.
- All of the parking is located in two levels below grade.
- All of the areas not occupied by buildings, patio and outdoor dining area are be covered by landscaping.
- The installation and maintenance of all landscape materials complies with section 530.210 of the zoning code.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	33,836 sq. ft.
Building footprint	--	28,196 sq. ft.
Remaining Lot Area	--	5,640 sq. ft.
Landscaping Required	0 sq. ft.	1,129 sq. ft.
Canopy Trees (1: 500 sq. ft.)	0 trees	0 canopy trees 5 ornamental trees
Shrubs (1: 100 sq. ft.)	0 shrubs	295 shrubs

Additional Standards – Meets requirements

- All of the parking is located below grade.
- The proposed structure will minimally block views of the North Loop Warehouse Historic District from Interstate 94.
- The shadow study provided by the applicant demonstrates limited shadowing of public spaces and adjacent properties.
- The building has been designed with recesses and projections along 4th Street North and projecting balconies on all sides of the building which should help minimize wind effects on the surrounding area.
- The applicant has demonstrated crime prevention through environmental design techniques to encourage surveillance of the site. The proposed walk-up units are elevated and setback. There is sufficient outdoor lighting of the common areas. Finally, the applicant is proposing space delineation and natural access control with a combination of walkways, landscaping and outdoor dining spaces.
- The site is neither historically designated nor located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed uses are *permitted* in the B4S-I District.

Off-street Parking and Loading – Requires variance(s)

- The proposed development will include 156 parking spaces for the residential units in a two-level, underground parking garage. Retail customers who drive to the site will park or be valeted to nearby parking areas. The proposed residential dwellings require one small loading space, 10 feet by 25 feet, for move-ins. The applicant has shown a loading dock specifically for residential move-ins off of the public alley. Because the loading space is not entirely on the property, a variance is required.

Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)

	Minimum Vehicle Parking	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Sports and health facility	0	--	0	45	0
Restaurant, sit down	0	--	0	90	0
Residential dwellings	3 visitor spaces	--	3 visitor spaces	229	156
Total	3 visitor spaces	--	3 visitor spaces	364	156, 3 are designated for visitors

Table 4. Bicycle Parking and Loading Requirements (Chapter 54I)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Sports and health facility	3	1	None	3 Short Term	None	None
Restaurant, sit down	3	1	None	3 Short Term	None	None
Residential dwellings	71	--	64	71 Long Term	One small	None
Total	52	2	64	80	1 small	0 spaces

Building Bulk and Height – Meets requirements

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	33,836 sq. ft. / .78 acres
Gross Floor Area (GFA)	--	135,243 sq. ft.
Minimum Floor Area Ratio (GFA/Lot Area)	2.0	4.0
Maximum Floor Area Ratio (GFA/Lot Area)	8.0 Dwellings 4.0 Non-residential	3.99
Maximum Building Height	None	6 stories / 173 ft. 8 in.

Lot Requirements – Meets requirements

Table 5. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	143 DUs
Density (DU/acre)	--	183 DU/acre
Minimum Lot Area	Not applicable	236 sq. ft. per DU
Maximum Impervious Surface Area	Not applicable	97%
Maximum Lot Coverage	Not applicable	84%
Minimum Lot Width	Not applicable	161 ft.

Yard Requirements – Requires variance(s)

- Residential windows are located on floors 2-6 along the rear property line. The zoning code requires a rear yard setback equivalent to 5 feet plus 2 feet for each story above the first floor, not to exceed fifteen 15 feet for residential uses containing windows facing the rear yard. The applicant is seeking a variance to reduce the rear yard setback to approximately 5 feet 6 inches.

Table 6. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front (6th Ave N)	--	--	--	XX ft.
Front (7th Ave N)	--	--	--	XX ft.
Corner Side (4th St N)	--	--	--	XX ft.
Rear	--	5 ft. plus 2 ft. for each story above the first for residential windows facing the rear yard, not to exceed 15 ft.	15 ft.	5 ft. 6 in.

Signs – Meets requirements

- Signs are subject to Chapter 543 of the Zoning Code. All new signs are required to meet the requirements in Chapter 543.
- The proposed signage details do not show the illumination type; signs may be illuminated in the B4S-1, as long as they are not back-lit.

Table 7. Signage Summary

	Number Allowed/ Lot	Proposed Number	Maximum Size Allocation	Maximum Area Per Sign	Proposed Area	Maximum Allowed Height	Proposed Height
Monument	1	1	--	32 sq. ft.	13 sq. ft.	8 ft.	8 ft.
Projecting	--	1	--	48 sq. ft.	15 sq. ft.	28 ft.	21 ft.
Attached (6th Ave N)	--	3	367.5 sq. ft.	120 sq. ft.	68 sq. ft.	28 ft.	22 ft.
Attached (7th Ave N)	--	1	367.5 sq. ft.	120 sq. ft.	72 sq. ft. total	28 ft.	12 -17 ft.
Total	--	6	--	--	168 sq. ft.	--	--

Refuse Screening – Meets requirements

- The trash room is located interior to the structure. There are overhead doors, accessed via the alley for pick-up.

Screening of Mechanical Equipment – Meets requirements with Conditions of Approval

- All mechanical equipment, including the electrical transformer at the northwest corner of the property is subject to the screening requirements of Chapter 535 and district requirements. Staff is recommending that the planning commission adopt a condition of approval requiring that the applicant provide details on the screening of all of the mechanical equipment.

Lighting – Meets requirements with Conditions of Approval

- Lighting must comply with Chapter 535 and Chapter 541 of the zoning code. Lighting information has not been provided for the site. A full lighting plan will need to be provided.

Specific Development Standards – Not applicable

DP Overlay District Standards – Meets requirements

- The DP Downtown Parking Overlay District regulates off-street parking in the downtown area. The parking is completely enclosed and entirely below grade and is in compliance with the DP Overlay standards.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as mixed use on the future land use map. This classification allows for mixed use development, including mixed use with residential. Mixed use may include either a mix of retail, office or residential uses within a building or within a district. The subject property is also located in the Downtown Growth Center. Growth Centers are busy, interesting and attractive places characterized by a concentration of business and employment activity and a wide range of complementary activities taking place throughout the day into the evening. These activities include residential, office, retail, entertainment and recreational uses. There is no requirement that every building be mixed use. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.

- I.15.1 Support development of Growth Centers through planning efforts to guide decisions and prioritize investments in these areas.
- I.15.3 Encourage the development of high- to very high-density housing within Growth Centers.

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

- 10.1.1 Concentrate the tallest buildings in the Downtown core.
- 10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.
- 10.1.3 Building placement should allow light and air into the site and surrounding properties.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

- 10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.
- 10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.
- 10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.
- 10.2.4 Integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street.
- 10.2.5 Locate access to and egress from parking ramps mid-block and at right angles to minimize disruptions to pedestrian flow at the street level.
- 10.2.6 Arrange buildings within a site in order to minimize the generation of wind currents at ground level.
- 10.2.7 Locate buildings so that shadowing on public spaces and adjacent properties is minimized.
- 10.2.8 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

- 10.5.2 Medium-scale, multi-family residential development is more appropriate along Commercial Corridors, Activity Centers, Transit Station Areas and Growth Centers outside of Downtown Minneapolis.
- 10.5.3 Large-scale, high-rise, multi-family residential development is more appropriate in the Downtown Minneapolis Growth Center.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.2 Promote the preservation and enhancement of view corridors that focus attention on natural or built features, such as the Downtown skyline, landmark buildings, significant open spaces or bodies of water.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is also within the study area of the *North Loop Small Area Plan*. The property is located in the Warehouse West area and the Plan states that new development should be geared toward the removal of surface parking lots and other under-developed sites and continues the eclectic mix of commercial, residential, and industrial uses. Further, the Plan identifies the property in Development Intensity District C, which calls for a mix of uses with commercial businesses on the ground floor in buildings greater than ten stories and geared toward a nearby transit station. Staff finds that the proximity to the Warehouse Historic District is a mitigating factor for supporting a building of six stories, instead of ten stories. Therefore, staff finds that the proposed development is in conformance with the North Loop Small Area Plan.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Building Placement.** The first floor of the building is located 8 feet 2 inches from the front property line along 7th Avenue North, 8 feet 6 inches along 4th Street South and between 9 inches and 9 feet along 6th Avenue North. The applicant is requesting alternative compliance; they have indicated that additional defensible space is required for the walk-up dwelling units and to allow for outdoor dining space for the proposed restaurant/retail spaces. Staff is recommending that the city planning commission grant alternative compliance.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application(s) by Aaron Roseth of ESG Architects, Inc., on behalf of Howard Kuretsky, for the property located at 314 6th Avenue North:

A. Variance of to reduce the rear yard setback.

Recommended motion: **Approve** the application for a variance to reduce the rear yard setback from 15 feet to approximately 5 feet 6 inches, where windows are provided for residential uses.

B. Variance of the loading requirement.

Recommended motion: **Approve** the application for a variance to eliminate the off-street loading requirement for a multiple-family dwelling.

C. Site Plan Review for a new mixed-use building.

Recommended motion: **Approve** the application for a site plan review to allow for a new six-story, mixed-use building, subject to the following conditions:

1. All mechanical equipment shall be arranged so as to minimize visual impact by using screening consistent with section 535.70 of the zoning code.
2. Lighting shall comply with section 535.590 of the zoning code.
3. Department of Community Planning and Economic Development staff review and approval of the final building elevations, floor, site, lighting and landscape plans.
4. Site improvements required by Chapter 530 or by the City Planning Commission shall be completed by July 6, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Site plan
4. Site survey
5. Plans
6. Building elevations
7. Renderings
8. Shadow study
9. Photos
10. Oblique aerials

June 15, 2015

David Frank, President North Loop Neighborhood Association
207 5th Ave N
Minneapolis, MN 55401

Re: 314 6th Ave N – Land Use Application and Plan Development Review

Dear Mr. Frank:

On behalf of The OPUS Group and Greco Development, we are writing you to let you know that we are submitting a Land Use Application and Plan Development Review for the 314 6th Ave N Site. The land is Zoned B4S-1. We will be working with staff to determine what variances, if any, will be required.

Project Narrative

The OPUS Group and Greco Development are working with ESG to redevelop the ABC Site – 314 6th Ave N – in the Minneapolis North Loop. The 33,600 square foot site currently accommodates a 31,454 square foot, one story, ABC Industrial Storage Building. This nondescript building with no vision glass on the primary facades will be demolished.

A new 6-story mixed-use apartment building will extend the vibrancy of the North Loop. The street experience and pedestrian presence around the site will be drastically improved with approximately 16,700 square feet of retail space, a handful of walk up units and the residential lobby. Potential retailers include a cross fit gym and one or more restaurant users. Through ground level walkout units, balconies, and large windows, a new sense of “eyes on the street” will promote safety and activity in the vicinity. The 0.77 acre site will accommodate approximately 142 dwelling units. Two levels of underground parking will provide approximately 156 stalls/1.1 stalls per unit. Retail customers will park or be valeted to nearby parking resources.

June 15, 2015

Councilmember Jacob Frey
350 S. 5th St, Room 307
Minneapolis, MN 55415

Re: 314 6th Ave N – Land Use Application and Plan Development Review

Dear Councilmember Frey:

On behalf of The OPUS Group and Greco Development, we are writing you to let you know that we are submitting a Land Use Application and Plan Development Review for the 314 6th Ave N Site. The land is Zoned B4S-1. We will be working with staff to determine what variances, if any, will be required.

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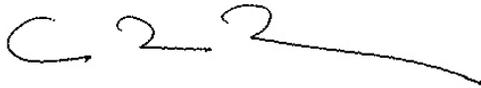
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A new 6-story mixed-use apartment building will extend the vibrancy of the North Loop. The street experience and pedestrian presence around the site will be drastically improved with approximately 16,700 square feet of retail space, a handful of walk up units and the residential lobby. Potential retailers include a cross fit gym and one or more restaurant users. Through ground level walkout units, balconies, and large windows, a new sense of “eyes on the street” will promote safety and activity in the vicinity. The 0.77 acre site will accommodate approximately 142 dwelling units. Two levels of underground parking will provide approximately 156 stalls/1.1 stalls per unit. Retail customers will park or be valeted to nearby parking resources.

The project distinguishes itself from other Minneapolis 6-story apartment buildings in at least three areas. 1) The design aesthetic relates to the warehouse district in scale and proportion, with beautiful large windows and a single material, yet has a modern pop, with its proposed white brick and black divided lite windows. 2) This development will meet a need in the North Loop by offering a greater percentage of studios and alcoves than is typical. 3) A potential large gym facility, such as cross fit will bring a unique vibrancy to the area.

Sincerely,

Elness Swenson Graham Architects, Inc

A handwritten signature in black ink, appearing to read 'A. Roseth', with a long horizontal flourish extending to the right.

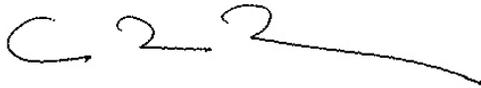
Aaron R. Roseth, Associate AIA
Principal

cc: Josh Brandsted, Matt Rauenhorst

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Sincerely,

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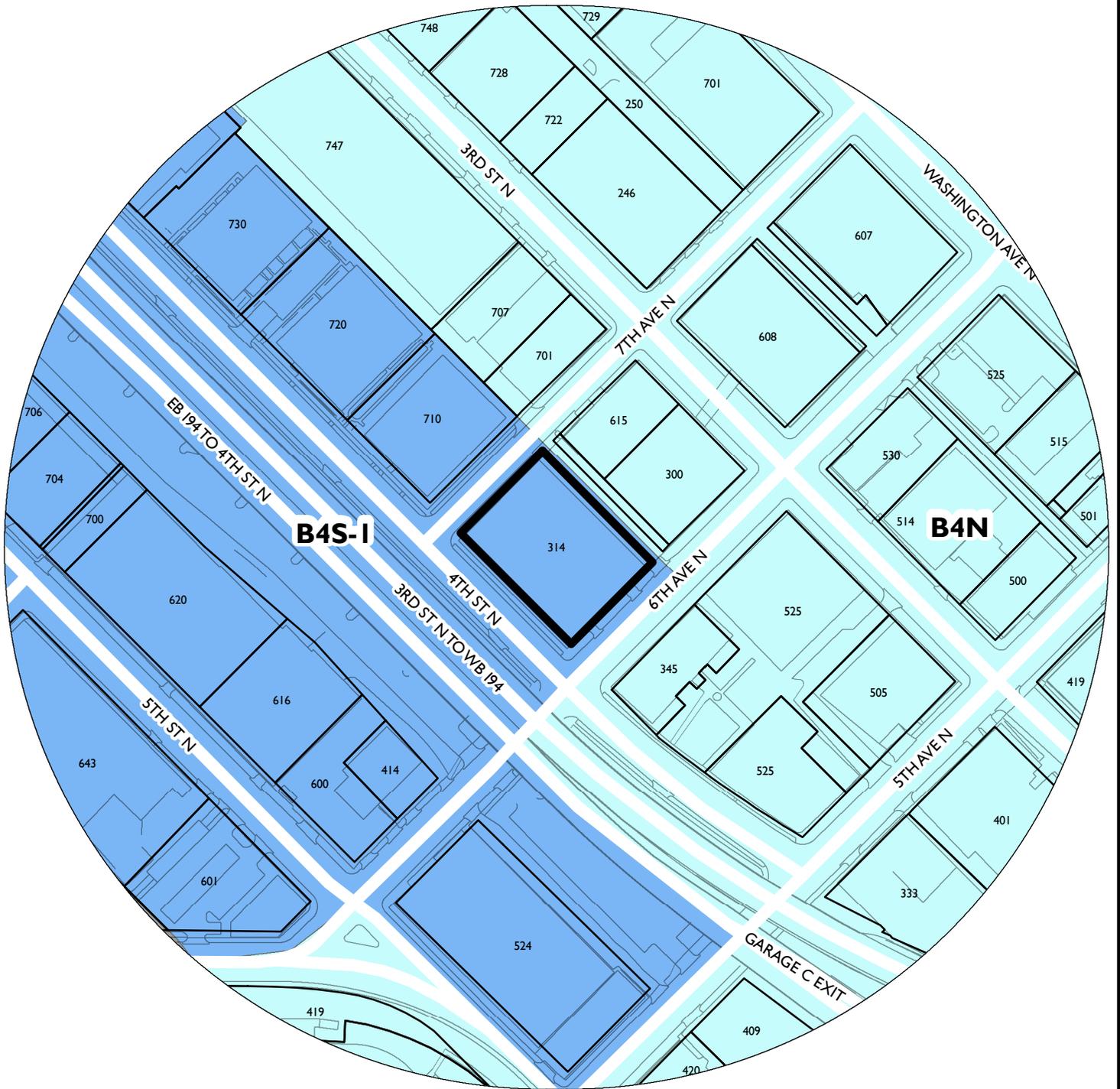
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Aaron R. Roseth, Associate AIA
Principal

cc: Josh Brandsted, Matt Rauenhorst

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

314 6th Avenue North

FILE NUMBER

BZZ-7235



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature _____
Type or Printed Name _____
Date _____

NOT FOR CONSTRUCTION

8 Story Bookman
Stacks Condominiums

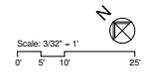
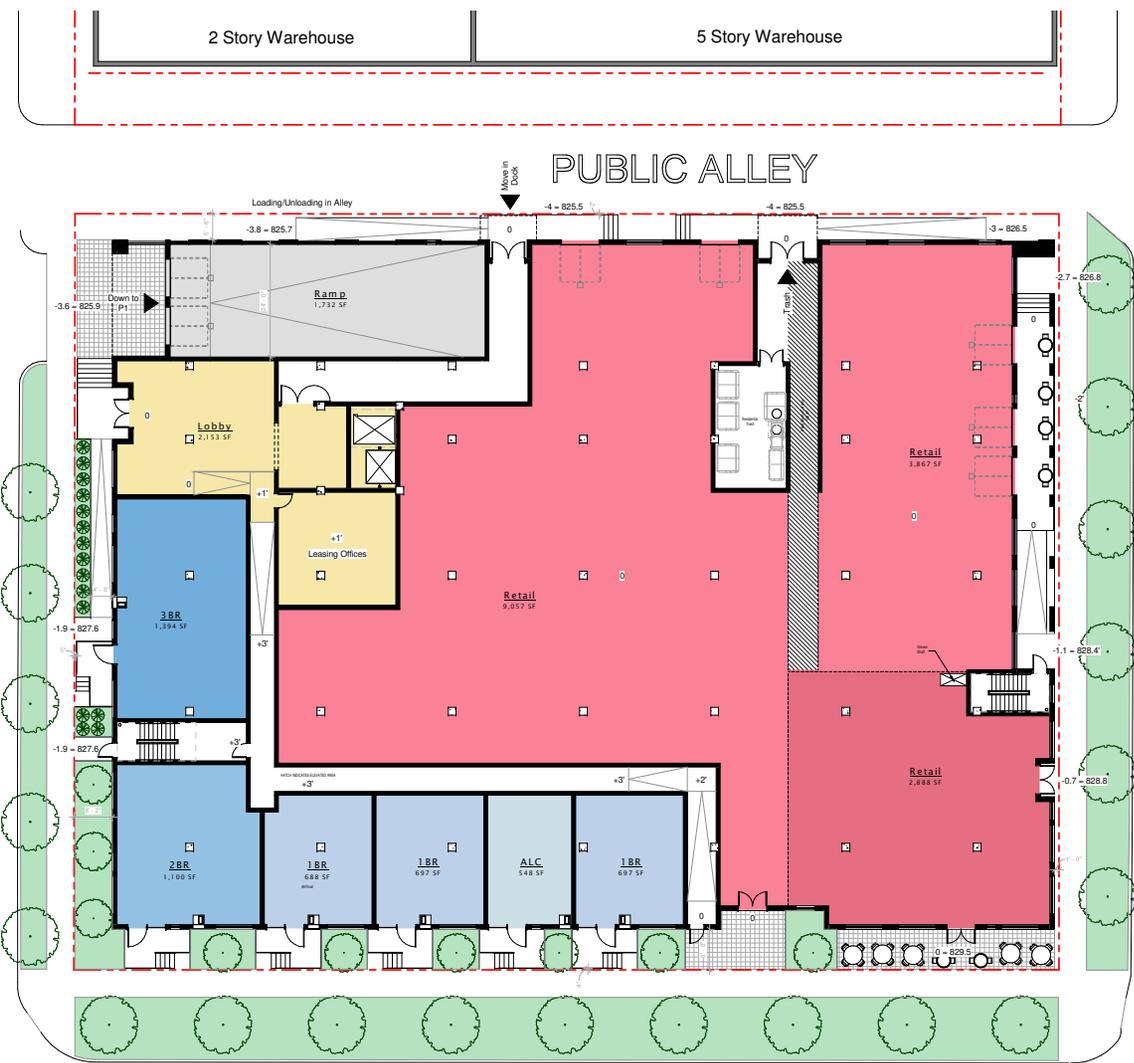
LAND USE APPLICATION
6/15/2015

ORIGINAL ISSUE:
REVISIONS:
No. Description Date

215519
PROJECT NUMBER
ESG ESC
DRAWN BY CHECKED BY
KEY PLAN

314 6th Ave N Mixed Use

LEVEL 1 PLAN
A1.1



4 Story Condo Bldg

7TH AVENUE NORTH

6TH AVENUE NORTH

4TH STREET NORTH

2 Story Warehouse

5 Story Warehouse

PUBLIC ALLEY

77TH AVENUE N.

6TH AVENUE N.

314 6TH AVE N
MIXED USE

314 6th Ave N, Minneapolis



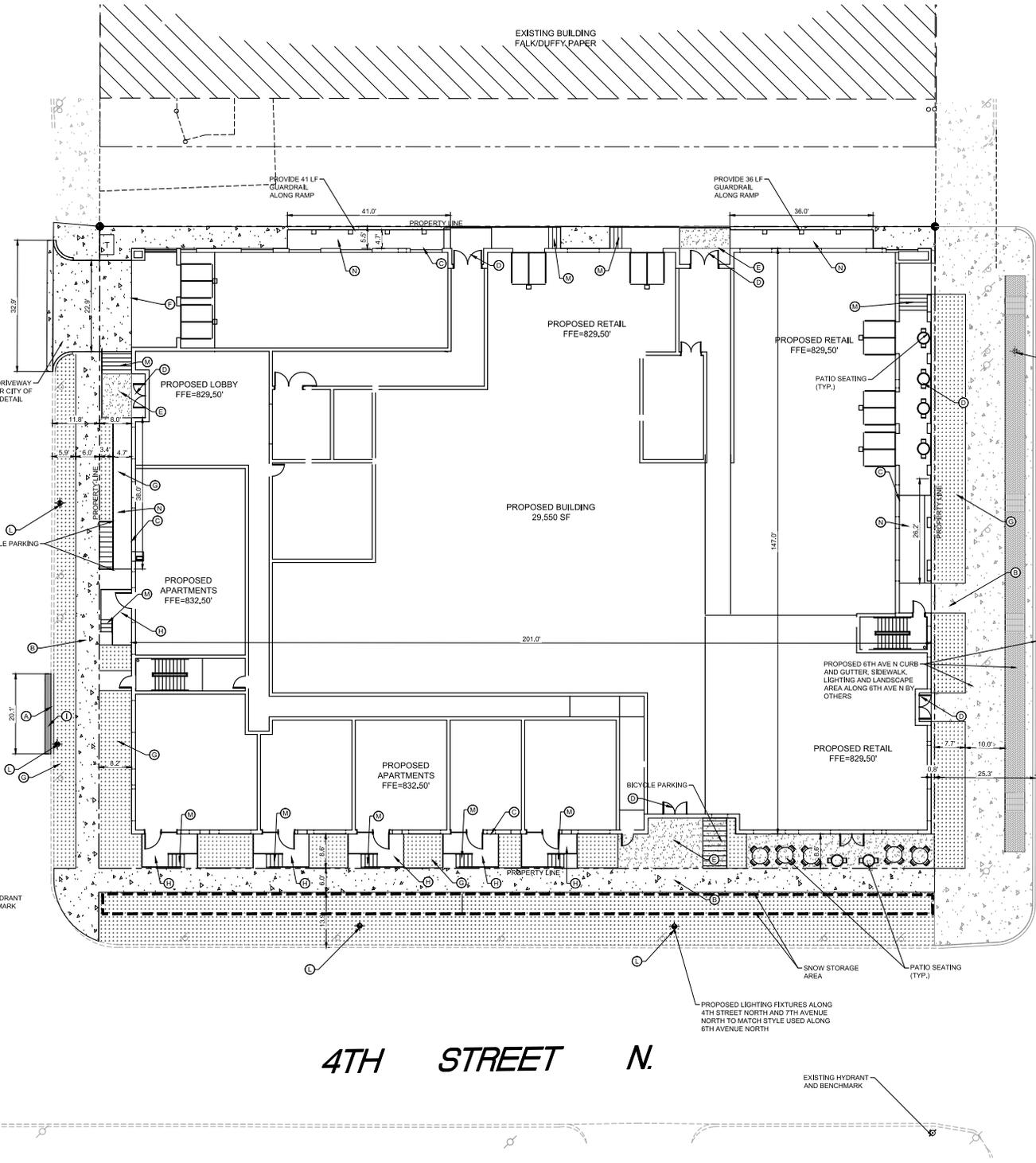
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Typed or Printed Name
06/15/2015
Date

Kimley-Horn

2550 UNIVERSITY AVE. WEST, SUITE 230N
ST. PAUL, MINNESOTA 55114
TEL. NO. (651) 645-4197



- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - PROPOSED CURB AND GUTTER
 - EXISTING CURB AND GUTTER
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED ARCHITECTURAL CONCRETE APRON
 - PROPOSED LANDSCAPE
 - PROPOSED LIGHT POLE
 - EXISTING SIGNPARKING METER
 - EXISTING OVERHEAD POWER POLE
 - PROPOSED CONCRETE BY OTHERS
 - EXISTING CONCRETE SIDEWALK

- KEYNOTE LEGEND**
- Ⓢ B&I CURB AND GUTTER
 - Ⓣ CONCRETE SIDEWALK
 - Ⓤ PROPOSED BUILDING
 - Ⓥ BUILDING ACCESS
 - Ⓦ CONCRETE APRON
 - Ⓧ BELOW GRADE PARKING ACCESS
 - Ⓨ LANDSCAPE AREA
 - Ⓩ RAISED PATIO
 - ⓐ PROPOSED ASPHALT PAVEMENT, MATCH EXISTING SECTION
 - ⓑ LIGHT POLE
 - ⓓ REBAR/STAIRS
 - ⓔ ELEVATED RAMP

SITE DATA SUMMARY

TOTAL SITE AREA	433,836 SF
PRE-DEVELOPMENT IMPERVIOUS AREA	433,836 SF (100%)
PRE-DEVELOPMENT PERVIOUS AREA	40,000 SF (9%)
POST-DEVELOPMENT IMPERVIOUS AREA	432,823 SF (99%)
POST-DEVELOPMENT PERVIOUS AREA	11,013 SF (3%)
POST-PERVIOUS IMPERVIOUS RATIO	0.031

- SITE PLAN NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY SUNDE LAND SURVEYING.
 - TOTAL LAND AREA IS 0.78 ACRES.
 - REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

ALL WORK SHOWN OFF OF THE PROPOSED SITE PROPERTY ALONG THE 6TH AVENUE NORTH RIGHT OF WAY TO BE DONE IN ACCORDANCE WITH 6TH AVENUE NORTH RECONSTRUCTION PLANS. ALL WORK SHOWN ON THESE PLANS IN THIS AREA TO BE DONE BY OTHERS.

LAND USE APPLICATION
JUNE 15, 2015

ORIGINAL ISSUE: 06/15/2015

REVISIONS

No.	Description	Date

160573010
PROJECT NUMBER

KEY PLAN

GRAPHIC SCALE IN FEET
0 10 20

314 6TH AVE N Mixed Use
SITE PLAN

C3.0

DESCRIPTION OF PROPERTY SURVEYED

(Per Commercial Partners Title, LLC as agent for Old Republic National Title Insurance Company Commitment for Title Insurance, Commitment No. 40110, commitment date April 14, 2015.)

Lots 1, 2, 3 and 4, Block 17, Bradford and Lewis's Addition to Minneapolis, Hennepin County, Minnesota, according to the recorded plat thereof.
Hennepin County, Minnesota Abstract Property

PLAT RECORDING INFORMATION

The plat of BRADFORD & LEWIS ADDITION TO MINNEAPOLIS was filed of record on June 11, 1857.

[] Bearings and/or dimensions listed within brackets are per plat or record documents.

TITLE COMMITMENT

Commercial Partners Title, LLC as agent for Old Republic National Title Insurance Company Commitment for Title Insurance, Commitment No. 40110, commitment date April 14, 2015, was relied upon as to matters of record.

Schedule B Exceptions:

1) Exceptions are indicated on survey with circled numbers where applicable.

12) Minerals and mineral rights reserved by the State of Minnesota in Conveyance of Forfeited Lands dated October 14, 1946, filed July 22, 1947, as Document No. 245922 in Book 1615, Page 496, [s.1s 1 & 2] (not platable)

GENERAL NOTES

- 1) Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax information web site. Ownership information is subject to revision upon receipt of a title search by a title insurance company.
- 2) Survey coordinate and bearing basis: Hennepin County Coordinate System

UTILITY NOTES

- 1) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, looking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- 2) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 3) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 151361549.
- 4) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FLOOD ZONE NOTE

- 1) The subject property appears to lie within Zone X (Areas determined to be outside the 0.2% annual chance floodplain) per the National Flood Insurance Program, Flood Insurance Rate Map Community Panel No. 270720357C, dated September 2, 2004. This information was obtained from the FEMA Map Service Center web site.

ZONING NOTES

- 1) Zoning information obtained from the City of Minneapolis web site on May 5, 2015.

The subject property is zoned R4S-1 - Downtown Service District.

We have shown the current zoning classification of the property based on our own research; however, we have not included item 6(a) in the survey certification because zoning information has not been provided to us by the insurer as called for in the 2011 ALTA requirements.

- 2) Parking: No designated parking stalls

AREA

Area = 33,836 square feet or 0.777 acres

LIST OF POSSIBLE ENCROACHMENTS

The following list of possible encroachments is only the opinion of this surveyor; should not be interpreted as a legal opinion and should not be interpreted as a complete listing.

- A) Possible encroachments are indicated on survey with boxed letters as listed below.
- A) Overhead electric line over easterly and northerly property lines

**BENCH MARKS (BM)
NGVD 29 DATUM**

- 1) Top of top nut of fire hydrant in the southeast quadrant of 4th Street N. and 6th Avenue N.
Elevation = 832.88 feet
- 2) Top of top nut of fire hydrant in the northeast quadrant of 4th Street N. and 7th Avenue N.
Elevation = 831.80 feet

SURVEYOR'S CERTIFICATION

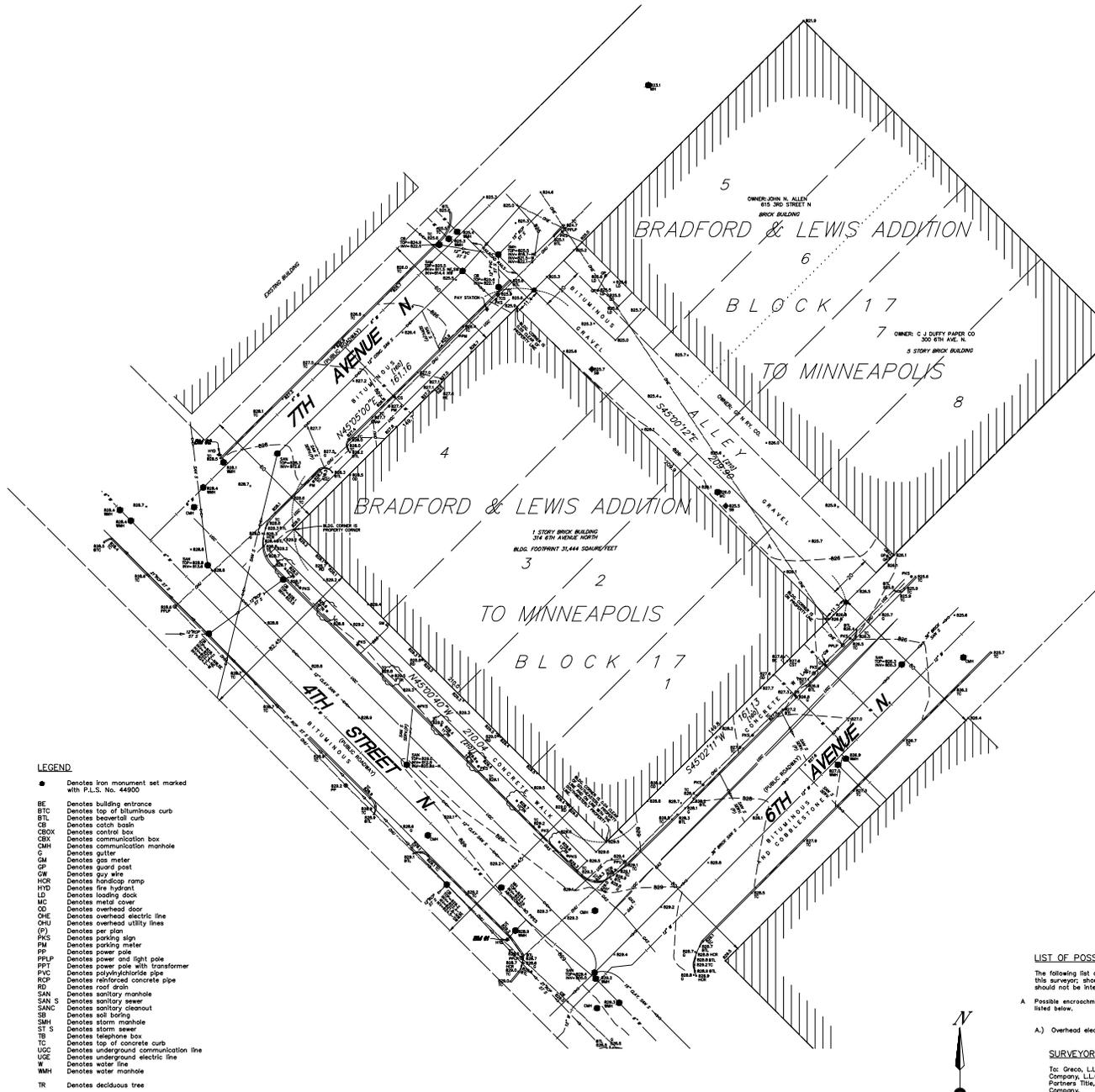
To: Greco, LLC, a Minnesota limited liability company, Opus Development Company, LLC, a Delaware limited liability company and Commercial Partners Title, LLC as agent for Old Republic National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11(b) and 13 of Table A hereof. The field work was completed on May 27, 2015.

Dated this 3rd day of June, 2015.

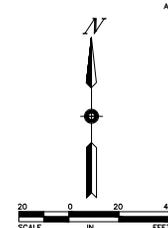
SUNDE LAND SURVEYING, LLC.

By: Areee J. Carlson, P.L.S. Minn. Lic. No. 44900



LEGEND

- Denotes iron monument set marked with P.L.S. No. 44900
- BE Denotes building entrance
- BTC Denotes top of bituminous curb
- BTL Denotes beaver tail curb
- CB Denotes catch basin
- CBOX Denotes control box
- CBX Denotes communication box
- CMH Denotes communication manhole
- G Denotes gutter
- GM Denotes gas meter
- GP Denotes guard post
- DW Denotes downspout
- HOR Denotes hood ramp
- LHD Denotes fire hydrant
- LD Denotes loading dock
- MC Denotes metal cover
- OD Denotes overhead door
- OHE Denotes overhead electric line
- OHI Denotes overhead utility lines
- (P) Denotes per plan
- PKS Denotes parking sign
- PM Denotes parking meter
- PP Denotes power pole
- PPLP Denotes power and light pole
- PPT Denotes power pole with transformer
- PVC Denotes polyvinylchloride pipe
- RCP Denotes reinforced concrete pipe
- RD Denotes roof drain
- SAN Denotes sanitary manhole
- SAN S Denotes sanitary sewer
- SAN C Denotes sanitary cleanout
- SI Denotes soil boring
- SMH Denotes storm manhole
- ST S Denotes storm sewer
- TB Denotes telephone box
- TC Denotes top of concrete curb
- UCC Denotes underground communication line
- UWC Denotes underground water line
- W Denotes water line
- WMH Denotes water manhole
- TR Denotes deciduous tree



design section graphic architects
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Minneapolis, Minnesota 55415
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F. 612.339.5382
www.esgarch.com

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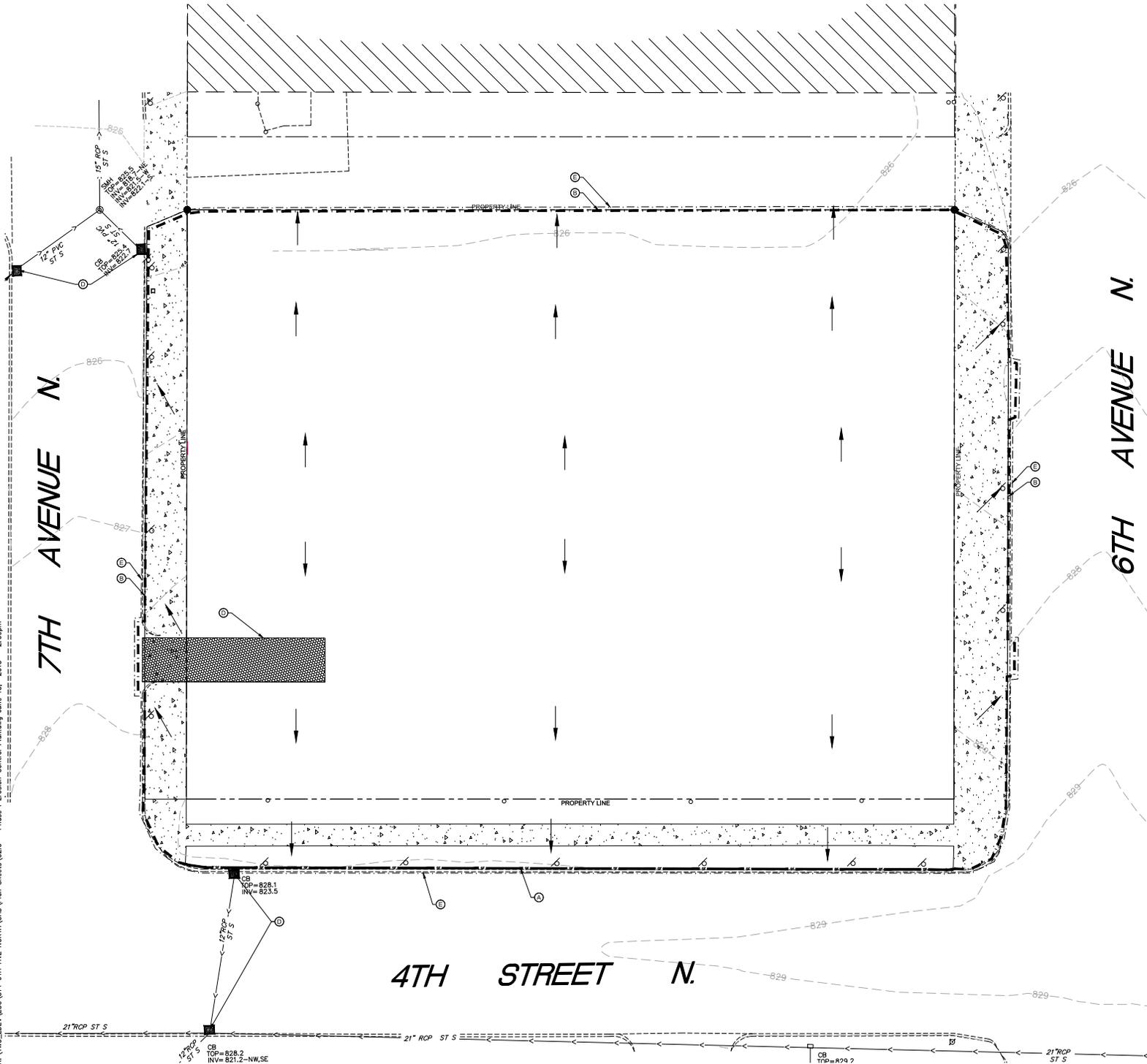
Typed or Printed Name
06/15/2015
Date of Survey



2550 UNIVERSITY AVE. WEST, SUITE 230N
ST. PAUL, MINNESOTA 55114
TEL. NO. (651) 645-4197

LAND USE APPLICATION JUNE 15, 2015		
ORIGINAL ISSUE:	06/15/2015	
REVISIONS:		
No.	Description	Date
160573010	PROJECT NUMBER	
KEY PLAN		
314 6TH AVE N Mixed Use SURVEY		
C0.0		

K:\TWC_DEV\ESG\314 6TH AVE NORTH\CAD\Plan Sheets\C2.0 - Phase I Erosion Control Plan.dwg June 15, 2015 - 2:09pm



LEGEND

---	PROPERTY LINE
- - - -	SETBACK LINE
=====	PROPOSED CURB AND GUTTER
-----	EXISTING CURB AND GUTTER
▨	ROCK ENTRANCE
→	DENOTES DRAINAGE DIRECTION
▭	INLET PROTECTION
---	SILT FENCE
- - - -	LIMITS OF CONSTRUCTION
-----	ROCK LOG
▭	EXISTING CONCRETE SIDEWALK
▭	EXISTING RAILROAD TRACKS

KEYNOTE LEGEND

⊙	SILT FENCE PER CITY OF MINNEAPOLIS STANDARDS
⊙	ROCK LOG PER CITY OF MINNEAPOLIS STANDARDS
⊙	ROCK ENTRANCE PER CITY OF MINNEAPOLIS STANDARDS
⊙	INLET PROTECTION AT EXISTING CATCH BASIN
⊙	LIMITS OF CONSTRUCTION

SITE DATA SUMMARY

LIMITS OF CONSTRUCTION	±0.99 ACRES
TOTAL SITE AREA	±0.78 ACRES
PRE-DEVELOPMENT IMPERVIOUS AREA	±0.78 ACRES
PRE-DEVELOPMENT PERVIOUS AREA	±0.00 ACRES
POST-DEVELOPMENT IMPERVIOUS AREA	±0.78 ACRES
POST-DEVELOPMENT PERVIOUS AREA	±0.00 ACRES

- EROSION CONTROL PLAN NOTES**
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
 - WITHIN ONE WEEKS (7 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOIL, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY AND WATERSHED DISTRICT PERMITS.
 - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
 - ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
 - REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
 - THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS.
 - IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
 - SWEEP ADJACENT STREET IN ACCORDANCE WITH CITY REQUIREMENTS.
- CONSTRUCTION SEQUENCE**
- INSTALL SILT FENCE, ROCK LOG, INLET PROTECTION AND ENTRANCE.
 - CLEAN AND GRUB SITE. REMOVE PAVEMENT, CURB AND GUTTER, AND SIDEWALK.
 - MASS EXCAVATION.
 - CONSTRUCT BUILDING FOOTINGS AND UNDERGROUND PARKING GARAGE.
 - INSTALL SITE UTILITIES.
 - INSTALL INLET PROTECTION ON ALL NEW INLETS.
 - CONSTRUCT BUILDING.
 - CONSTRUCT CURB & GUTTER AND PAVEMENT.
 - COMPLETE FINAL GRADING.
 - COMPLETE FINAL STABILIZATION.
 - WITH APPROVAL FROM CITY OF MINNEAPOLIS, REMOVE EROSION CONTROL.

- PHASE I AND II INSPECTION AND NOTIFICATION NOTES**
- INSPECTION
 - THE INDIVIDUAL IDENTIFIED AS BEING RESPONSIBLE FOR IMPLEMENTING THE EROSION CONTROL PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
 - ALL INSPECTIONS AND MAINTENANCE CONDUCTED DURING CONSTRUCTION MUST BE RECORDED IN WRITING AND THESE RECORDS MUST BE RETAINED SO AS TO BE MADE AVAILABLE WITHIN 24 HOURS OF THE CITY OF MINNEAPOLIS REQUEST.
 - NOTIFICATION
 - THE CITY OF MINNEAPOLIS SHALL BE NOTIFIED IN WRITING AT THE FOLLOWING POINTS
 - ON COMPLETING INSTALLATION OF PERIMETER EROSION AND SEDIMENTATION CONTROL.
 - ON COMPLETING LAND-DISTURBING ACTIVITIES AND PUTTING INTO PLACE MEASURES FOR FINAL SOIL STABILIZATION AND REVEGETATION.
 - WHENEVER ANY SITE DEWATERING IS PROPOSED TO TAKE PLACE.
 - WHEN ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS HAVE BEEN REMOVED FROM THE SITE.

ALL WORK SHOWN OFF OF THE PROPOSED SITE PROPERTY ALONG THE 6TH AVENUE NORTH RIGHT OF WAY TO BE DONE IN ACCORDANCE WITH 6TH AVENUE NORTH RECONSTRUCTION PLANS. ALL WORK SHOWN ON THESE PLANS IN THIS AREA TO BE DONE BY OTHERS

314 6TH AVE N
MIXED USE

314 6th Ave N, Minneapolis



chess swenson graham architects
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Typed or Printed Name _____
Date 06/15/15
City/State _____



2500 UNIVERSITY AVE. WEST, SUITE 230N
ST. PAUL, MINNESOTA 55114
TEL. NO. (651) 645-4197

LAND USE APPLICATION
JUNE 15, 2015

ORIGINAL ISSUE: 06/15/2015

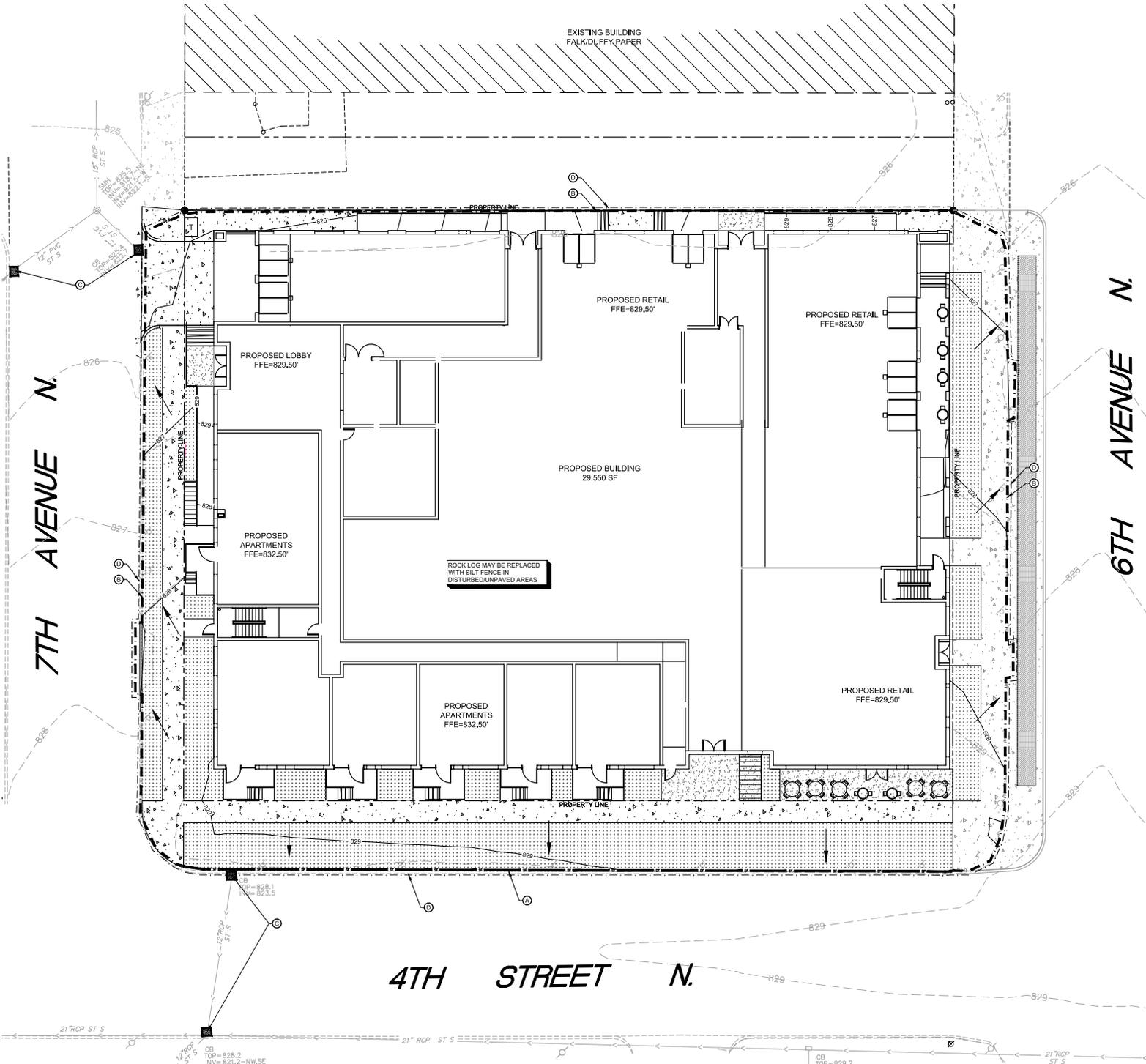
REVISIONS

No.	Description	Date

160573010
PROJECT NUMBER

KEY PLAN

314 6TH AVE N Mixed Use
PHASE I EROSION CONTROL PLAN
C2.0



LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- ROCK ENTRANCE
- DENOTES DRAINAGE DIRECTION
- INLET PROTECTION
- SILT FENCE
- LIMITS OF CONSTRUCTION
- ROCK LOG
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ARCHITECTURAL CONCRETE APR
- EXISTING CONCRETE SIDEWALK
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KEYNOTE LEGEND

- ⊙ SILT FENCE PER CITY OF MINNEAPOLIS STANDARDS
- ⊙ ROCK LOG PER CITY OF MINNEAPOLIS STANDARDS
- ⊙ INLET PROTECTION AT EXISTING CATCH BASIN
- ⊙ LIMITS OF CONSTRUCTION

SITE DATA SUMMARY

LIMITS OF CONSTRUCTION	±0.99 ACRES
TOTAL SITE AREA	±0.78 ACRES
PRE-DEVELOPMENT IMPERVIOUS AREA	±0.78 ACRES
PRE-DEVELOPMENT PERVIOUS AREA	±0.00 ACRES
POST-DEVELOPMENT IMPERVIOUS AREA	±0.78 ACRES
POST-DEVELOPMENT PERVIOUS AREA	±0.02 ACRES

- EROSION CONTROL PLAN NOTES**
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**314 6TH AVE N
MIXED USE**

314 6th Ave N, Minneapolis

chess sutton graham architects
580 washington avenue south
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Typed or Printed Name _____
Date 06/15/15
Contract No. _____

Kimley-Horn
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TEL. NO. (651) 645-4197

**LAND USE APPLICATION
JUNE 15, 2015**

ORIGINAL ISSUE: 06/15/2015

REVISIONS

No.	Description	Date

160573010
PROJECT NUMBER

KEY PLAN

314 6TH AVE N Mixed Use
PHASE II EROSION CONTROL PLAN

C2.1



es&s research architects
580 washington avenue south
minneapolis, minnesota 55415
p. 612.339.5508
f. 612.339.5382
www.es&search.com

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Typed or Printed Name _____
Date: 06/15/15
Creative# _____



2550 UNIVERSITY AVE. WEST, SUITE 230N
ST. PAUL, MINNESOTA 55114
TEL. NO. (651) 645-4197

EROSION AND SEDIMENT CONTROL NOTES

INSTALL PERIMETER EROSION CONTROLS AS INDICATED IN PLANS PRIOR TO START OF WORK. HAY BALES ARE NOT ALLOWED AS EROSION & SEDIMENT CONTROL DEVICES IN MINNEAPOLIS. ESTABLISH ROCK CONSTRUCTION ENTRANCES PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES. 1 1/2" - 3" WASHED AGGREGATE IS RECOMMENDED FOR ROCK ENTRANCES. A GEOTEXTILE FABRIC IS REQUIRED.

REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND IN SUCH A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

INSTALL INLET PROTECTION IN ALL DOWNSTREAM CATCH BASINS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREA. CATCH BASINS ARE REQUIRED AT ALL LOCATIONS NOT WITHIN THE DISTURBED AREA WHICH RECEIVE RUNOFF (MNDOT TYPE C INLET PROTECTION). NOTE HAY BALES AND SILT FENCE WRAPPED GRATES ARE NOT EFFECTIVE AND ARE NOT APPROVED FOR USE AS INLET PROTECTION DEVICES.

LOCATE ALL SOIL AND DRIFT PILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. ALL STOCK PILES THAT REMAIN IN PLACE FOR 7 DAYS OR MORE SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPING OR OTHER MEANS. TEMPORARY STOCK PILES LOCATED ON PAVED SURFACES MUST BE AT LEAST 2 FEET OR MORE AWAY FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF REMAINING MORE THAN 48 HOURS.

MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A WEEKLY BASIS AND REPLACE AS NECESSARY. DAMAGED OR NOTTED EROSION CONTROL DEVICES IMMEDIATELY.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PERFORMED WHENEVER THE DEVICE IS 30% FULL. FAILURE TO MAINTAIN EROSION CONTROL DEVICES MAY LEAD TO FURTHER ENFORCEMENT ACTION. WEEKLY INSPECTIONS REQUIRED AND AFTER EACH 1/2" OR MORE RAIN EVENT WITHIN 24 HRS.

READY MIXED CONCRETE AND BATCH PLANT WASHOUTS PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. DESIGNATE CONCRETE WASHOUT AND MIXING LOCATIONS IN THE EROSION CONTROL PLANS. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO THE PUBLIC STORM DRAIN.

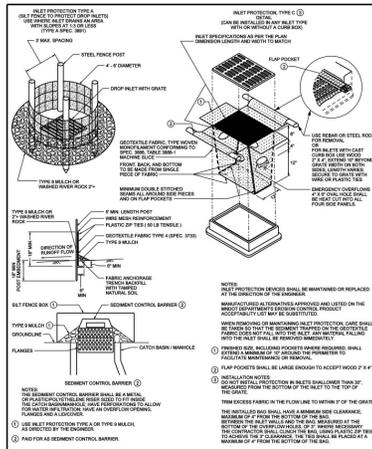
TEMPORARILY OR PERMANENTLY STABILIZE ALL DENIED AREAS WHICH HAVE BEEN FINISH GRADED WITHIN 7 DAYS BEFORE DEPARTURE. USE SEEDING AND MULCHING OR MATTING AND SOILING WITH TEMPORARY STABILIZERS IN GREEN SPACE AREAS. USE EARLY APPLICATION OF GRAVEL BASE FOR AREAS DESIGNATED FOR PAVED SURFACES.

REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL AND NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. MINIMUM VEGETATION COVER IS REQUIRED. ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL THE SITE HAS 70% ESTABLISHED VEGETATIVE COVER AND ALL PAVED AREAS HAVE BEEN STABILIZED WITH THE SELECTED PAVEMENT TYPE.

ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY OTHER PERMITTING AGENCIES. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO VERIFY THAT THE CITY AND ALL OTHER AGENCY REQUIREMENTS ARE MET.

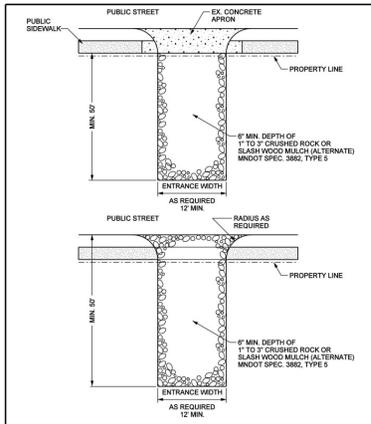
MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2673
NOT TO SCALE

	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	EROSION CONTROL NOTES	STANDARD PLATE NO. SEWR-8007
	DRAWN: DOG DATE: 5/8		
	APPROVED: HEB DATE: 5/8		



MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2691
NOT TO SCALE

	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	INLET PROTECTION TYPE A, B & C	STANDARD PLATE NO. SEWR-8003
	DRAWN: DOG DATE: 1/8		
	APPROVED: HEB DATE: 4/8		

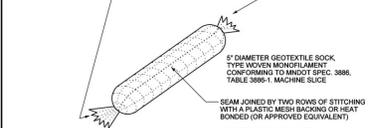


MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2673
NOT TO SCALE

MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2673
NOT TO SCALE

	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	SEDIMENT CONTROL - ROCK ENTRANCE	STANDARD PLATE NO. SEWR-8002
	DRAWN: DOG DATE: 3/97		
	APPROVED: HEB DATE: 4/97		

INDS SECURELY CLOSED TO PREVENT LOSS OF OPEN GRADED AGGREGATE FILL SECURED WITH 50 PSI ZIP-TIE



SEAM JOINED BY TWO ROWS OF STITCHING WITH A PLASTIC MESH BACKING OR HEAT BONDED (OR APPROVED EQUIVALENT)

FILL ROCK LOG WITH 45 LBS OF OPEN GRADED AGGREGATE CONSISTING OF SOUND, DURABLE PARTICLES OF CRUSHED QUARRY ROCK OR GRAVEL, CONFORMING TO THE FOLLOWING GRADATION

SIEVE SIZE	PERCENT PASSING
1 1/2 INCH	100
1.8 INCH	95-100
3/4 INCH	65-85
3/8 INCH	30-65
NO. 4	10-35
NO. 10	3-20
NO. 40	0-8
NO. 200	0-3

NOTE: CRUSHED CONCRETE OR BITUMINOUS SHALL NOT BE USED FOR OPEN GRADED AGGREGATE.

PAYMENT SHALL INCLUDE ALL MATERIALS, FILING OF LOG PLACEMENT, MAINTENANCE, & REMOVAL. 80% OF BID PRICE SHALL BE PAID UPON PROPER PLACEMENT WITH THE FINAL 20% PAID UPON REMOVAL.

INSTALL PERIMETER EROSION CONTROLS AS INDICATED IN PLANS PRIOR TO START OF WORK. HAY BALES ARE NOT ALLOWED AS EROSION & SEDIMENT CONTROL DEVICES IN MINNEAPOLIS. ESTABLISH ROCK CONSTRUCTION ENTRANCES PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES. 1 1/2" - 3" WASHED AGGREGATE IS RECOMMENDED FOR ROCK ENTRANCES. A GEOTEXTILE FABRIC IS REQUIRED.

REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND IN SUCH A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

INSTALL INLET PROTECTION IN ALL DOWNSTREAM CATCH BASINS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREA. CATCH BASINS ARE REQUIRED AT ALL LOCATIONS NOT WITHIN THE DISTURBED AREA WHICH RECEIVE RUNOFF (MNDOT TYPE C INLET PROTECTION). NOTE HAY BALES AND SILT FENCE WRAPPED GRATES ARE NOT EFFECTIVE AND ARE NOT APPROVED FOR USE AS INLET PROTECTION DEVICES.

LOCATE ALL SOIL AND DRIFT PILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. ALL STOCK PILES THAT REMAIN IN PLACE FOR 7 DAYS OR MORE SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPING OR OTHER MEANS. TEMPORARY STOCK PILES LOCATED ON PAVED SURFACES MUST BE AT LEAST 2 FEET OR MORE AWAY FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF REMAINING MORE THAN 48 HOURS.

MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A WEEKLY BASIS AND REPLACE AS NECESSARY. DAMAGED OR NOTTED EROSION CONTROL DEVICES IMMEDIATELY.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PERFORMED WHENEVER THE DEVICE IS 30% FULL. FAILURE TO MAINTAIN EROSION CONTROL DEVICES MAY LEAD TO FURTHER ENFORCEMENT ACTION. WEEKLY INSPECTIONS REQUIRED AND AFTER EACH 1/2" OR MORE RAIN EVENT WITHIN 24 HRS.

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TEMPORARILY OR PERMANENTLY STABILIZE ALL DENIED AREAS WHICH HAVE BEEN FINISH GRADED WITHIN 7 DAYS BEFORE DEPARTURE. USE SEEDING AND MULCHING OR MATTING AND SOILING WITH TEMPORARY STABILIZERS IN GREEN SPACE AREAS. USE EARLY APPLICATION OF GRAVEL BASE FOR AREAS DESIGNATED FOR PAVED SURFACES.

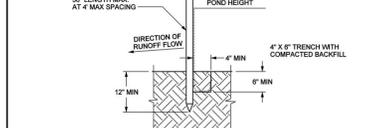
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MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2697
NOT TO SCALE

	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	SEDIMENT CONTROL - FILTER LOG	STANDARD PLATE NO. SEWR-8008
	DRAWN: DOG DATE: 4/87		
	APPROVED: HEB DATE: 4/87		

SILT FENCE INSTALLATION



INSTALLATION WITHOUT TRENCHING

USE 1/4-FLOW FILTER FABRIC, 200 GAL. PER MINUTE PER SQUARE FOOT

NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY, REQUIRED WITHIN 10 HOURS OF DISCOVERY.
3. MAXIMUM RECOMMENDED STORAGE HEIGHT.

3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND PERMANENTLY STABILIZED ALSO SEE SEWR-8008.

REFERENCES:
MINNESOTA URBAN SMALL SITES BMP MANUAL, MNDOT SPEC. REF. 2673, 3886, 3887 TYPE I MNDOT EROSION CONTROL HANDBOOK

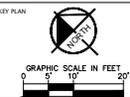
MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2697
NOT TO SCALE

	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	SEDIMENT CONTROL - SILT FENCE	STANDARD PLATE NO. SEWR-8001
	DRAWN: DOG DATE: 3/83		
	APPROVED: HEB DATE: 4/87		

LAND USE
APPLICATION
JUNE 15, 2015

ORIGINAL ISSUE:	06/15/2015
REVISIONS	
No.	Description Date

160573010
PROJECT NUMBER



314 6TH AVE N Mixed Use
EROSION CONTROL DETAILS

C2.2



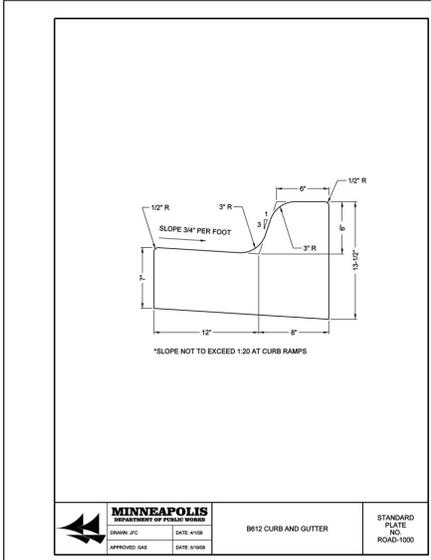
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I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed ENGINEER under the laws of the State of Minnesota.

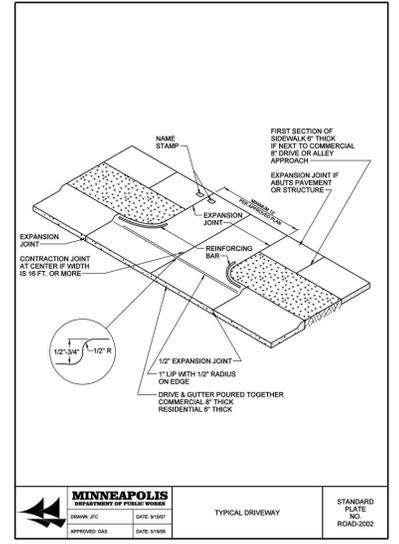
Typed or Printed Name: 06/15/2015
Date: 06/15/2015



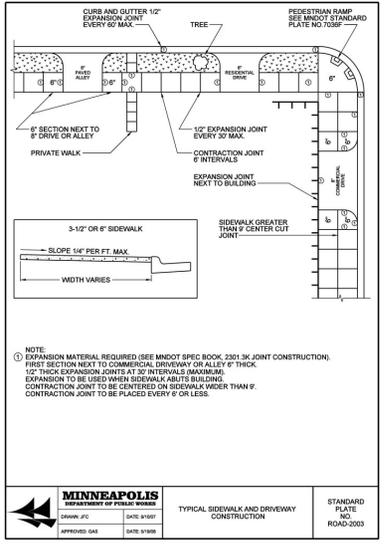
2550 UNIVERSITY AVE. WEST, SUITE 230N
ST. PAUL, MINNESOTA 55114
TEL. NO. (651) 645-4197



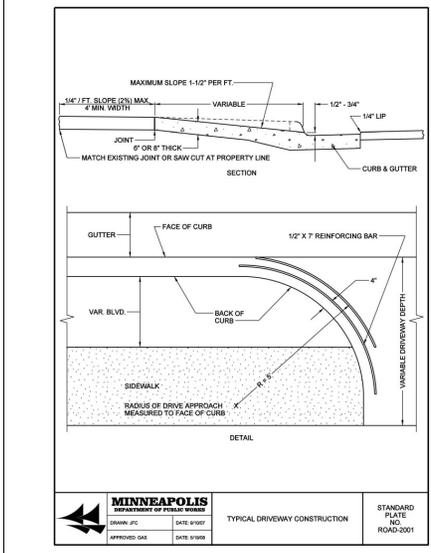
MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/08
APPROVED: GSK DATE: 9/08
8612 CURB AND GUTTER
STANDARD PLATE NO. ROAD-100



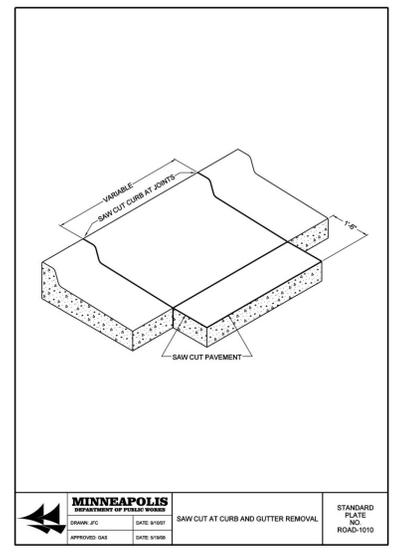
MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/08
APPROVED: GSK DATE: 9/08
TYPICAL DRIVEWAY
STANDARD PLATE NO. ROAD-2002



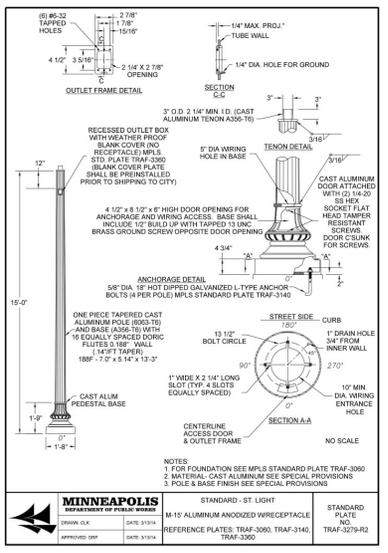
MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/08
APPROVED: GSK DATE: 9/08
TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION
STANDARD PLATE NO. ROAD-2003



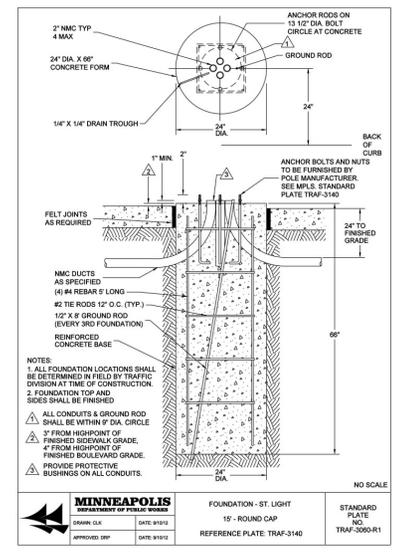
MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/07
APPROVED: GSK DATE: 9/08
TYPICAL DRIVEWAY CONSTRUCTION
STANDARD PLATE NO. ROAD-2001



MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/07
APPROVED: GSK DATE: 9/08
SAW CUT AT CURB AND GUTTER REMOVAL
STANDARD PLATE NO. ROAD-1010



MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS
DRAWN: CLK DATE: 3/14
APPROVED: GSK DATE: 3/14
STANDARD - ST LIGHT
M-15 ALUMINUM ANCHORED WIRECEPTACLE
REFERENCE PLATES: TRAF-3000, TRAF-3140, TRAF-3300
STANDARD PLATE NO. TRAF-2076-R2



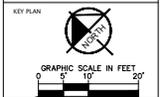
MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS
DRAWN: CLK DATE: 9/10
APPROVED: GSK DATE: 9/10
FOUNDATION - ST LIGHT
15\"/>

LAND USE APPLICATION
JUNE 15, 2015

ORIGINAL ISSUE: 06/15/2015

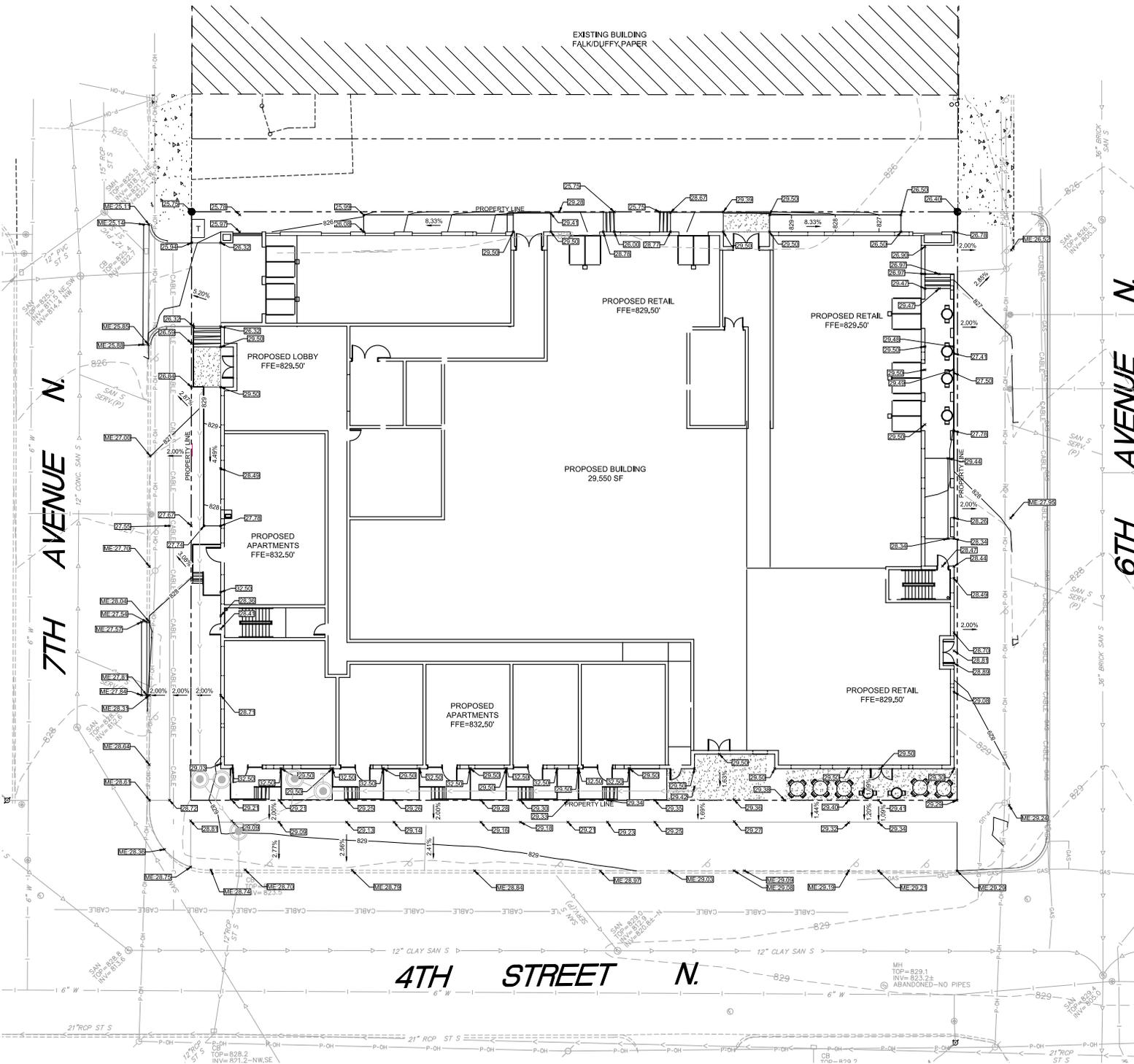
REVISIONS
No. Description Date

160573010
PROJECT NUMBER



314 6TH AVE N Mixed Use
SITE DETAILS

C3.1



LEGEND

- SETBACK LINE
- PROPOSED CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE/CATCH BASIN
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING OVERHEAD POWER
- EXISTING UNDERGROUND CABLE
- EXISTING UNDERGROUND POWER
- EXISTING STORM MANHOLE/CATCH BASIN
- EXISTING SANITARY MANHOLE
- EXISTING CURB AND GUTTER
- EXISTING WATER MANHOLE/CURB STOPHYDRANT
- EXISTING CABLE MANHOLE
- EXISTING SIGN/PARKING METER
- EXISTING OVERHEAD POWER POLE

SITE DATA SUMMARY

TOTAL SITE AREA	40.78 ACRES
PRE-DEVELOPMENT IMPERVIOUS AREA	40.78 ACRES
PRE-DEVELOPMENT PAVEMENT AREA	40.00 ACRES
POST-DEVELOPMENT IMPERVIOUS AREA	40.78 ACRES
POST-DEVELOPMENT PAVEMENT AREA	40.00 ACRES

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL Gopher State One Call @ 811 OR 824-64-8484 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATOR SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - GRADE'S SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROCK GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNWASTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE SCHEDULE.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES WITH PROPER POSITIVE DRAINAGE.
 - INSTALL A MINIMUM OF 4" DEPTH CLASS V AGGREGATE BASE UNDER CURB AND GUTTER.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH CITY APPROVED GROUND COVER.

ALL WORK SHOWN OFF OF THE PROPOSED SITE PROPERTY ALONG THE 6TH AVENUE NORTH RIGHT OF WAY TO BE DONE IN ACCORDANCE WITH 6TH AVENUE NORTH RECONSTRUCTION PLANS. ALL WORK SHOWN ON THESE PLANS IN THIS AREA TO BE DONE BY OTHERS

**314 6TH AVE N
MIXED USE**

314 6th Ave N, Minneapolis

chess sutton glavin architects
580 washington avenue south
minneapolis, minnesota 55415
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I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed ENGINEER under the laws of the State of Minnesota.

Typed or Printed Name: 06/15/15
Contractor: Date

2550 UNIVERSITY AVE. WEST, SUITE 230N
ST. PAUL, MINNESOTA 55114
TEL. NO. (651) 645-4197

**LAND USE APPLICATION
JUNE 15, 2015**

ORIGINAL ISSUE: 06/15/2015

REVISIONS:

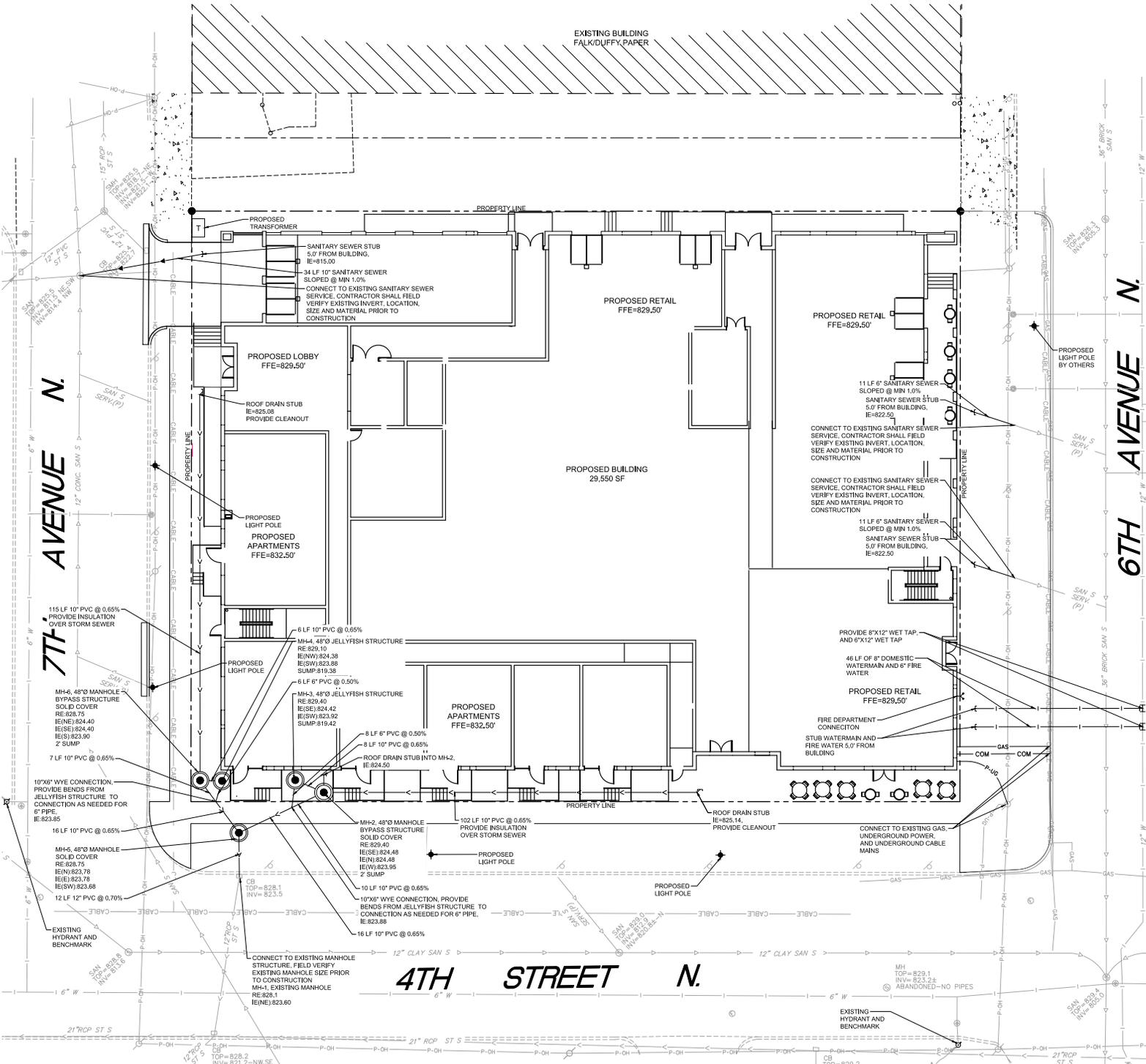
No.	Description	Date

160573010
PROJECT NUMBER

KEY PLAN

314 6TH AVE N Mixed Use
GRADING PLAN

C4.0



LEGEND

—	PROPERTY LINE
—	SETBACK LINE
—	PROPOSED CURB AND GUTTER
—	PROPOSED SANITARY SEWER
—	PROPOSED WATERMAIN
—	PROPOSED GAS
—	PROPOSED UNDERGROUND POWER
—	PROPOSED UNDERGROUND COMMUNICATION
—	PROPOSED STORM SEWER
—	PROPOSED STORM MANHOLE/CATCH BASIN
—	PROPOSED LIGHT POLE
—	EXISTING SANITARY SEWER
—	EXISTING STORM SEWER
—	EXISTING WATERMAIN
—	EXISTING OVERHEAD POWER
—	EXISTING UNDERGROUND CABLE
—	EXISTING GAS
—	EXISTING UNDERGROUND POWER
—	EXISTING STORM MANHOLE/CATCH BASIN
—	EXISTING SANITARY MANHOLE
—	EXISTING CURB AND GUTTER
—	EXISTING WATER MANHOLE/CURB STOPHYDR
—	EXISTING CABLE MANHOLE
—	EXISTING SENPARKING METER
—	EXISTING OVERHEAD POWER POLE

- UTILITY PLAN NOTES**
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 6" PVC SD308 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 8" PVC SD308 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 6" PVC SCHEDULE 40
 DUCTILE IRON PIPE PER AWWA C150
 - WATER LINES SHALL BE AS FOLLOWS:
 6" AND LARGER, PVC C-900 PER ASTM D 2241
 CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
 6" AND LARGER DUCTILE IRON PIPE PER AWWA C150
 SMALLER THAN 6" OTHER CEMENT PIPE TYPE "C" PER
 ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
 - ALL UTILITIES SHOULD BE KEPT TEN (10) FEET (PARALLEL) OR WHEN CROSSING, IF PRACTICAL, CLEARANCE, OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-0" COVER ON ALL WATER LINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES EXISTING AND PROPOSED, THE SANITARY LINE SHALL BE 6" OR MORE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - ALL LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
 - ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (CITY OF MINNEAPOLIS) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO EXCAVATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 - BACKFLOW DEVICES (DCCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH. PLANS.
 - ALL ON-SITE WATERMANS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.
- ALL WORK SHOWN OFF OF THE PROPOSED SITE PROPERTY ALONG THE 6TH AVENUE NORTH RIGHT OF WAY TO BE DONE IN ACCORDANCE WITH 6TH AVENUE NORTH RECONSTRUCTION PLANS. ALL WORK SHOWN ON THESE PLANS IN THIS AREA TO BE DONE BY OTHERS

**314 6TH AVE N
MIXED USE**

314 6th Ave N, Minneapolis

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I hereby verify that this document was prepared by a duly licensed engineer and that I am a duly licensed ENGINEER under the laws of the State of Minnesota.

Typed or Printed Name: _____
 Date: 06/15/2015
 Creator: PLS

Kimley-Horn
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 ST. PAUL, MINNESOTA 55114
 TEL. NO. (651) 645-4197

**LAND USE APPLICATION
JUNE 15, 2015**

ORIGINAL ISSUE: 06/15/2015

REVISIONS

No.	Description	Date

160573010
PROJECT NUMBER

KEY PLAN

GRAPHIC SCALE IN FEET
 0 10 20

314 6TH AVE N Mixed Use
UTILITY PLAN

C5.0



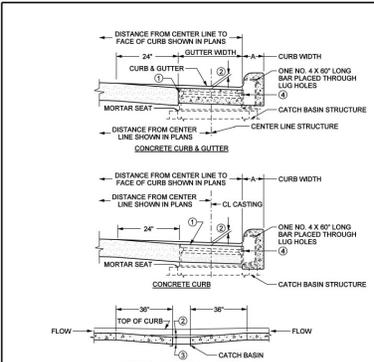
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Typed or Printed Name _____
No. 161515
Create Date _____



2550 UNIVERSITY AVE. WEST, SUITE 230N
ST. PAUL, MINNESOTA 55114
TEL. NO. (651) 645-4197



NOTES:
① CATCH BASIN CASTING.
② ON ALL APPLICATIONS USE 1-1/4" SLUMP. SLUMP SHALL BE MEASURED AT CENTER OF CASTING.
③ SAME THICKNESS AS ADJACENT FASSTMENT OR GUTTER.
④ CURB INLET CASTING SHALL BE FASTENED TEMPORARILY TO FRAME CASTING WITH 2 CAP SCREWS. DURING CURB CONSTRUCTION CAP SCREWS MUST BE REMOVED AFTER CURB HAS HARDENED.

COMPENSATE FOR TILT BY VARYING THE DEPTH OF MORTAR SEAT.
ALL REINFORCEMENT REQUIRED IS INCIDENTAL WITH NO DIRECT PAYMENT.
ALL REBARS ARE IN ENGLISH DESIGNATIONS.
ALL REBARS ARE GRADE 60.

MINDOT SPEC. REF. 2918
MINDOT 4001
NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	CATCH BASIN INSTALLATION	STANDARD PLATE NO. SEWR-1009
DRAWN: DDC DATE: 10/08 APPROVED: HRS DATE: 10/08		

SPECIFICATION NOTES:
ALL P.V.C. PIPE SHALL MEET OR EXCEED ASTM D 1784 AND ASTM D 2241. AASHTO M 278, CLASS PF 50, P.V.C. SDR-26 ASTM D 3034. TYPE RSM P.V.C. SEWER PIPE. SDR-26 ASTM 758. SMOOTH WALL. P.V.C. TYPE PS 46. ALL SANITARY CONNECTIONS LESS THAN 10" DIAMETER SHALL BE SOUDED AND CLEANED WITH PROPER PRIMER AS DEFINED IN THE RESPECTIVE ASTM SPECIFICATIONS FOR SOLVENT JOINTS AND ALL JOINTS SHALL BE SOLVENT CEMENTED. JOINTS MUST PROTECT ASTM APPROVED GASKETS.
ALL SANITARY CONNECTIONS 10" DIAMETER OR GREATER SHALL BE SURSIC OR GREATER WITH COMPRESSION FITTINGS MEETING ASTM STANDARDS.
ALL MAINLINE SANITARY SEWERS SHALL BE VITRIFIED CLAY PIPE (VCP) UNLESS APPROVED BY CITY ENGINEER TO SUBSTITUTE PVC. SANITARY MAINS CONSTRUCTED OF PVC MATERIALS SHALL BE SDR-26 OR GREATER.

STORM DRAIN ONLY:
SDR-35 MAY BE SPECIFIED FOR CITY CURBS ONLY. AT THE DISCRETION OF THE CITY PROJECT ENGINEER ALL STORM DRAIN MAIN LINES SHALL BE REINFORCED CONCRETE MATERIALS WHERE POSSIBLE. PVC STORM DRAINS SHALL BE PRE-APPROVED BY THE SEWER MAINTENANCE ENGINEER.

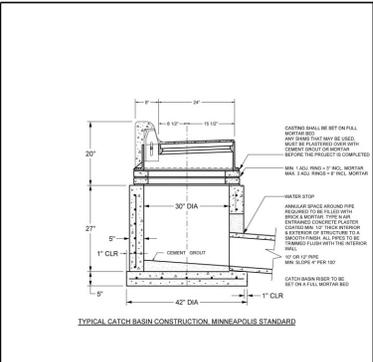
ALL DIMENSIONS BELOW ARE VARIABLE BY MANUFACTURER
ALL P.V.C. SHALL BE CONSTRUCTED FROM NEW MATERIALS.

NOMINAL PIPE DIA. (IN.)	MINIMUM WALL THICKNESS (IN.)	AVERAGE I.D.		WALL THICKNESS		WEIGHT		MAX W.P. (PSI)			
		40	80	SR26	40	80	SR26	40	80		
4"	4.400	3.989	3.789	4.124	0.231	0.337	0.173	2.008	2.762	200	180
5"	5.265	4.717	4.518	4.759	0.259	0.374	0.214	2.728	3.441	180	160
6"	6.225	5.571	5.379	5.584	0.280	0.432	0.255	3.533	5.414	180	180
8"	8.225	7.243	7.051	7.222	0.322	0.500	0.322	5.326	8.294	160	160
10"	10.160	9.078	8.892	8.874	0.365	0.563	0.413	7.522	11.968	140	120
12"	12.160	11.080	11.294	11.711	0.409	0.687	0.460	9.848	16.427	120	120
14"	14.160	13.072	12.410	12.860	0.447	0.750	0.538	11.810	19.790	120	120
16"	16.160	14.940	14.214	14.596	0.500	0.843	0.615	14.418	25.420	100	120
18"	18.160	16.808	16.014	16.523	0.562	0.937	0.680	16.113	31.256	100	120
20"	20.160	18.743	17.814	18.370	0.593	1.031	0.789	23.624	40.091	100	120
24"	24.000	22.544	21.416	22.043	0.687	1.218	0.923	32.873	56.862	44.744	120

DIMENSIONS ARE IN INCHES
WEIGHTS ARE IN POUNDS PER FT.
MINIMUM COVER ON PIPE IS LESS THAN 14" USE DUCTILE IRON PIPE CLASS 52 OR EQUIVALENT.
ALTERNATE PIPE MATERIAL FOR MAINLINE CONSTRUCTION.

MINDOT SPEC. REF. 3245
NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	PVC PIPE STANDARDS	STANDARD PLATE NO. SEWR-4015
DRAWN: DDC DATE: 10/08 APPROVED: HRS DATE: 10/08		

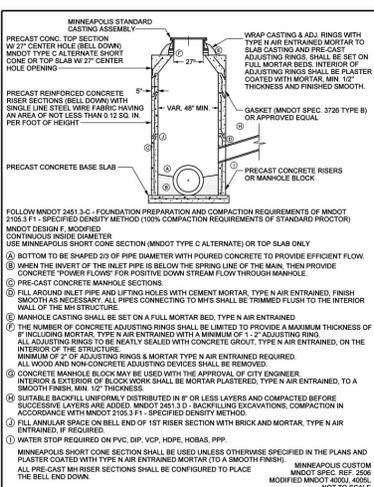


TYPICAL CATCH BASIN CONSTRUCTION - MINNEAPOLIS STANDARD

SEWER PLATE REFERENCES:
SEWR-1003
SEWR-1008-R1
SEWR-1009
SEWR-1010
SEWR-1011-R1
SEWR-1012
SEWR-2007
SEWR-2008
SEWR-3000
SEWR-3001

MINDOT SPEC. REF. 2554
DESIGN N MINDOT 4003B
NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	TYPICAL CATCH BASIN CONSTRUCTION	STANDARD PLATE NO. SEWR-1017
DRAWN: DDC DATE: 10/11 APPROVED: HRS DATE: 10/11		



MINNEAPOLIS STANDARD
CASTING ASSEMBLY
WRAP CASTING & ADJ. RINGS WITH TYPE N AIR ENTRAINED MORTAR TO SLAB CASTING AND PRE-CAST ADJUSTING RINGS. SHALL BE SET ON FULL MORTAR BEDS. INTERIOR OF ADJUSTING RINGS SHALL BE PLASTER COATED WITH MORTAR, MIN. 1/2" THICKNESS AND FINISHED SMOOTH.

PRECAST REINFORCED CONCRETE RISER SECTIONS SHALL BE CAST WITH SINGLE LINE STEEL WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.

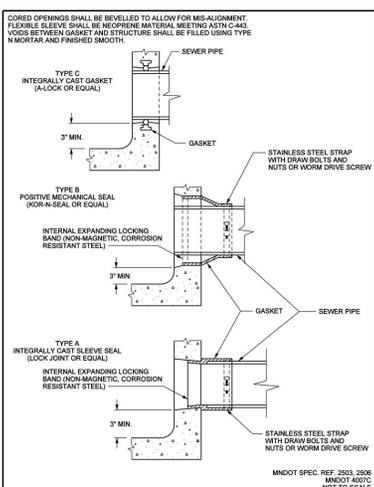
PRECAST CONCRETE BASE SLAB

GASKET (MINDOT SPEC. 3728 TYPE B) OR APPROVED EQUAL.

MINNEAPOLIS CUSTOM ALL PRE-CAST MANHOLE SECTIONS SHALL BE FINISHED TO A SMOOTH FINISH. MODIFIED MINDOT 4001L 4002L NOT TO SCALE.

MINDOT SPEC. REF. 2558
MINDOT 4002C
NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	TYPICAL MANHOLE CONSTRUCTION	STANDARD PLATE NO. SEWR-1000-R1
DRAWN: DDC DATE: 10/08 APPROVED: HRS DATE: 10/08		

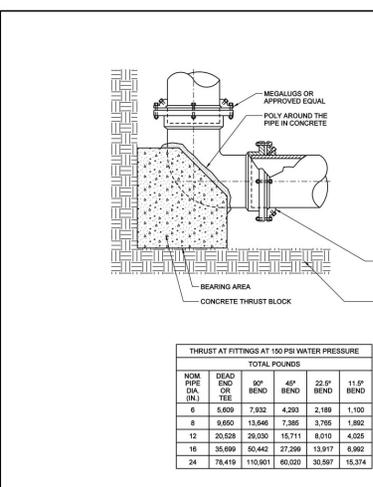


MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

WATERTIGHT PIPE CONNECTION

STANDARD
PLATE
NO.
SEWR-3001

DRAWN: DDC
DATE: 05/11
APPROVED: HRS
DATE: 10/08



MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

THRUST BLOCK INSTALLATION

STANDARD
PLATE
NO.
WATR-4000A-R1

DRAWN: TES
DATE: 10/12
APPROVED: HRS
DATE: 10/12

NO RESPONSIBILITY CAN BE ASSUMED FOR THE ACCURACY OF THE DATA IN THIS TABLE DUE TO THE WIDE VARIATION OF BEARING LOAD CAPABILITIES FOR EACH SOIL TYPE.

NOT TO SCALE

THRUST AT FITTINGS AT 150 PSI WATER PRESSURE

TOTAL POUNDS					
NOM PIPE DIA. (IN.)	DEAD END OR TEE	90° BEND	45° BEND	22.5° BEND	11.5° BEND
8	5,659	7,352	4,293	2,189	1,100
9	9,050	13,546	7,395	3,765	1,882
12	20,528	29,030	15,711	8,010	4,025
16	35,699	50,442	27,299	13,917	6,962
24	78,419	110,901	60,020	30,587	15,374

MPLS. WATER DEPT. REFERENCE TABLE

SOIL	BEARING LOAD (LBS./SQ. FT.)
MUCK	5
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	3,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9,000

- NOTES:**
- UPWARD VERTICAL BENDS - WEIGHT OR EARTH ABOVE CONCRETE AREA HAS TO EQUAL THE THRUST ON THE BEND USING THE CHART PROVIDED.
 - DOWNWARD VERTICAL BENDS - SAME BEARINGS AS UPWARD VERTICAL BENDS.
 - HORIZONTAL BENDS, TEES, AND DEAD ENDS - THE CONCRETE BEARING AREAS OF THRUST BLOCKS SHALL BE CALCULATED USING THE CHARTS PROVIDED.
 - ON 12" AND 16" WATER MAINS THE SOIL SHALL BE INSTALLED THROUGH THE BOLT HOLES IN FLANGES AND RETAINER RINGS.
 - CAST THRUST BLOCK SIZE AND CONFIGURATION WILL BE DETERMINED BY FIELD CONDITIONS AND REQUIRE APPROVAL BY WATER WORKS ENGINEER.
 - USE MINDOT CONCRETE MIX 34-34-34.
 - USE E88A MEGALOUS OR APPROVED EQUAL.

LAND USE APPLICATION
JUNE 15, 2015

ORIGINAL ISSUE: 06/15/2015

REVISIONS

No.	Description	Date

160573010
PROJECT NUMBER



314 6TH AVE N Mixed Use
CIVIL DETAILS

C6.0



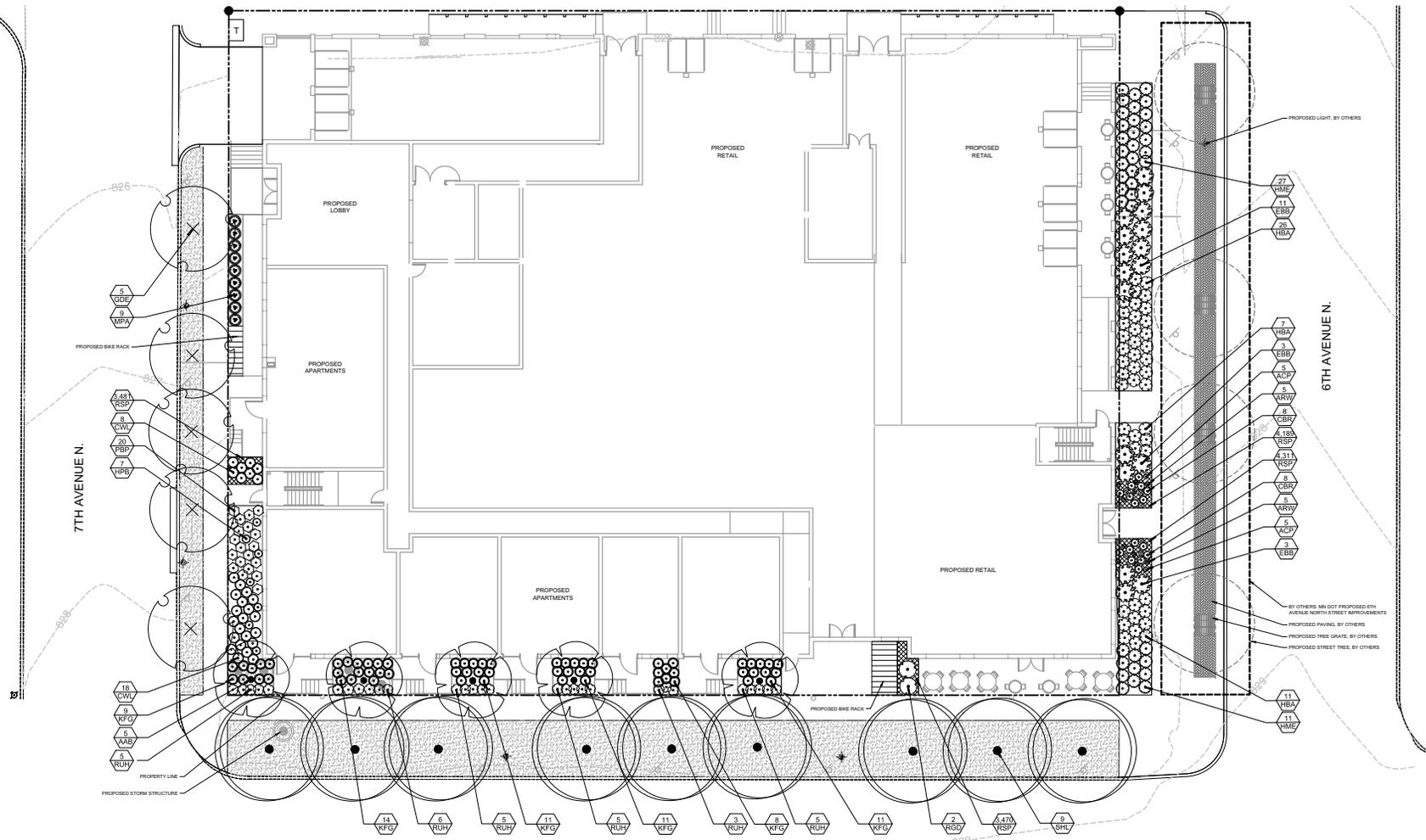
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Typed or Printed Name: 06/15/2015
Date: 06/15/2015
Project: 314 6th Ave N



2550 UNIVERSITY AVE. WEST, SUITE 230N
ST. PAUL, MINNESOTA 55114
TEL. NO. (651) 645-4197



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	AAB	5	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	'AUTUMN BRILLIANCE' SERVICEBERRY	8 & B	2" CAL		MPA	9	MISCANTHUS SINENSIS 'PURPURASCENS'	FLAME GRASS	#2 CONT.	
	SHL	9	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	8 & B	2" CAL		CWL	29	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	#1 CONT.	
	GDE	5	GYMNOCLADUS DIOICIA 'ESPRESSO'	KENTUCKY COFFEETREE	15 GAL	2" CAL		PBP	20	POTENTILLA FRUITICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	#3 CONT.	
SHRUBS								RUH	29	ROSA X 'UHLATER'	PAVEMENT FOX ROSE	#3 CONT.	
	ACP	10	AQUILEGIA X CLEMENTINE DARK PURPLE	CLEMENTINE DARK PURPLE COLUMBINE	#1 CONT.								
	ARW	10	AQUILEGIA X ORAGAMI RED AND WHITE	ORAGAMI RED AND WHITE COLUMBINE	#1 CONT.								
	HPB	7	BERBERIS THUNBERGII 'HELMOND PILLAR'	HELMOND PILLAR BARBERRY	#5 CONT.								
	CBR	16	CALAMAGROSTIS BRACHYTRICHA	REED GRASS	#2 CONT.								
	KFG	64	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#2 CONT.								
	RGD	2	CORNUS ALBA 'SIBIRICA RED GNOME'	RED GNOME DOGWOOD	#5 CONT.								
	EBB	17	EUONYMUS ALATUS 'FIRE BALL'	FIRE BALL BURNING BUSH	#3 CONT.								
	HBA	44	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE SMOOTH HYDRANGEA	#5 CONT.								
	HME	38	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER' TM	BAILMER HYDRANGEA	#5 CONT.								

LANDSCAPE NOTES

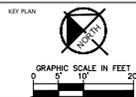
- ALL TURF AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY, SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN 'AMERICAN STANDARD FOR NURSERY STOCK' REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- INSTALL LAWN SOD, PER SPECIFICATIONS, CONSISTING PRIMARILY OF POA PRATENSIS (PERKY BLUEGRASS), IN AREAS SHOWN ON PLAN.
- ALL PLANTING AREAS SHALL HAVE IRRIGATION.
- COORDINATE ALL PLANTINGS WITH IRRIGATION CONTRACTOR. PROTECT ALL IRRIGATION SYSTEM COMPONENTS DURING PLANTING.
- CONTACT THE MINNEAPOLIS PARK AND RECREATION BOARD REGARDING ANY QUESTIONS RELATED TO ADDING, REMOVING OR THE PROCESS FOR PROTECTION OF TREES DURING CONSTRUCTION IN THE CITY RIGHT OF WAY.

LAND USE APPLICATION
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314 6TH AVE N Mixed Use
SITE PLAN

L1.0

NOTE TO CONTRACTOR: # GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DOES NOT MATCH QUANTITIES IN PLANT LIST. GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS WILL GOVERN.



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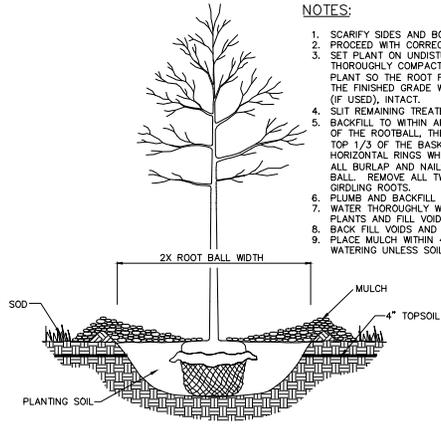
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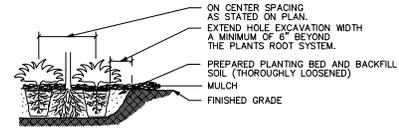
Kimley-Horn
250 UNIVERSITY AVE. WEST, SUITE 2300
ST. PAUL, MINNESOTA 55104
TEL. NO. (651) 645-4197

NOTES:

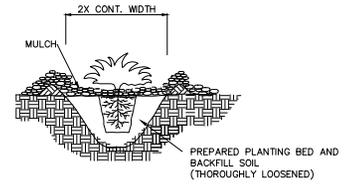
1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.



1 TREE PLANTING DETAIL
L1.0



2 PLANTING DETAIL FOR MASS PLANTING BEDS
L1.0



NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

3 SHRUB PLANTING DETAIL
L1.0

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314 6TH AVE N Mixed Use
SITE PLAN

L1.1

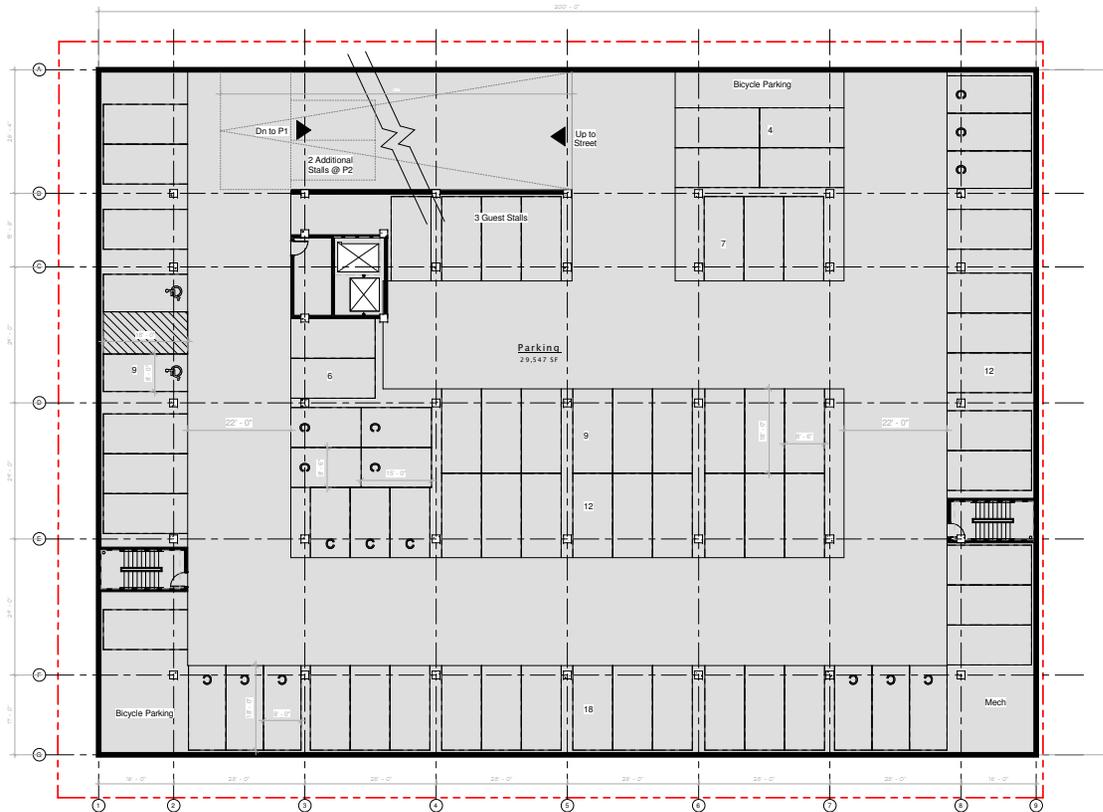


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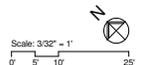
215519
PROJECT NUMBER
ESG ESC
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KEY PLAN

314 6th Ave N Mixed Use

PARKING LEVEL P1 PLAN (P2
SIM)

A1.0





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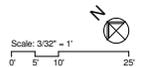
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KEY PLAN

314 6th Ave N Mixed Use

LEVEL 3-5 PLAN

A1.3





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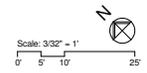
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KEY PLAN

314 6th Ave N Mixed Use

LEVEL 6 PLAN

A1.4



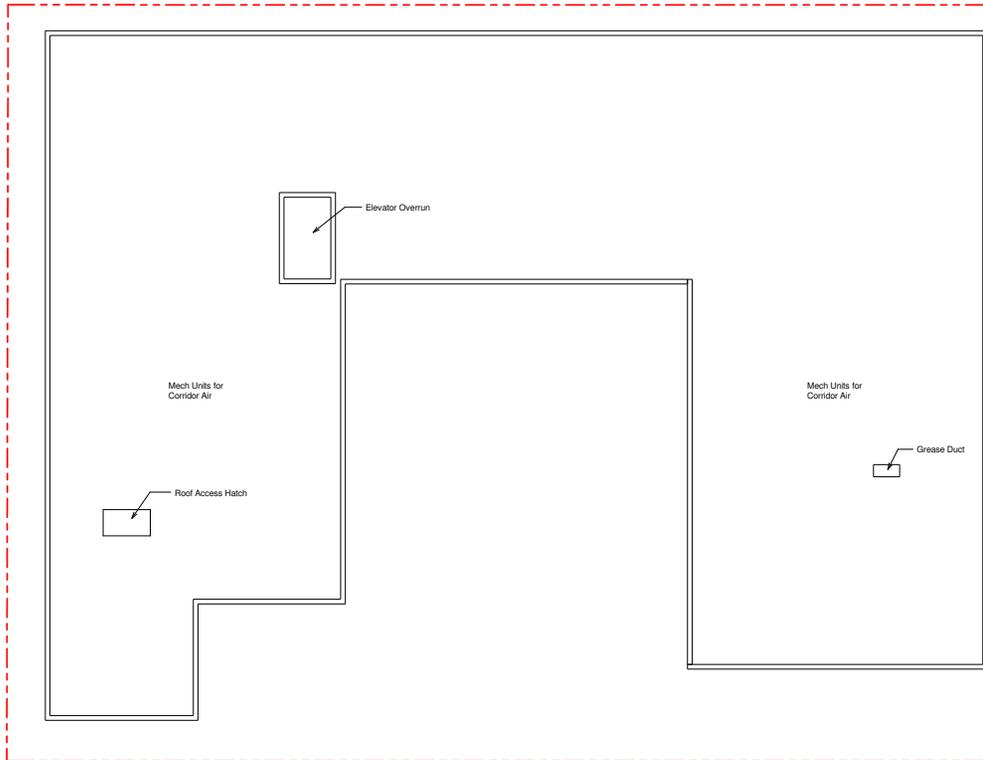


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minneapolis minnesota 55415
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f. 6 1 2 . 3 3 9 . 5 3 8 2
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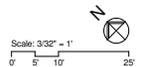
No.	Description	Date

215519
PROJECT NUMBER
ESG PROJECT NUMBER
ESG PROJECT NUMBER

KEY PLAN

314 6th Ave N Mixed Use

ROOF LEVEL PLAN
A1.5





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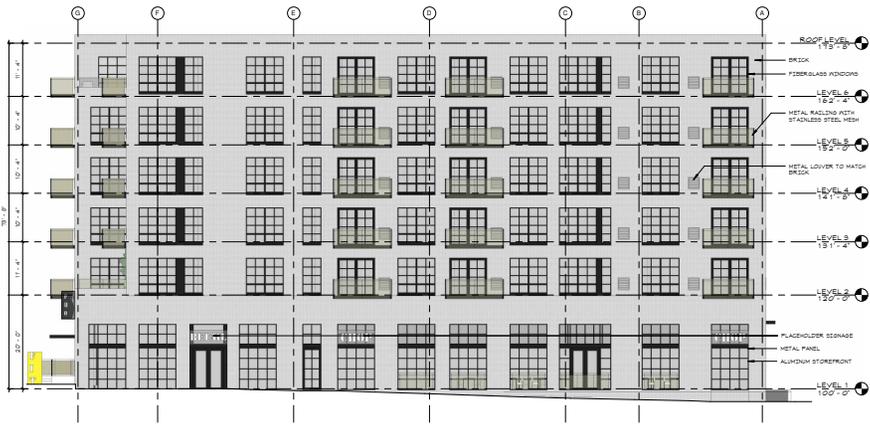
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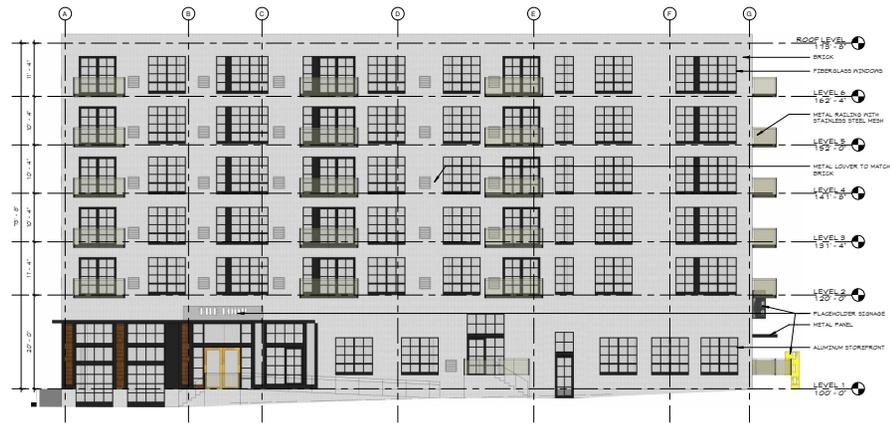
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PROJECT NUMBER
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KEY PLAN

314 6th Ave N Mixed Use

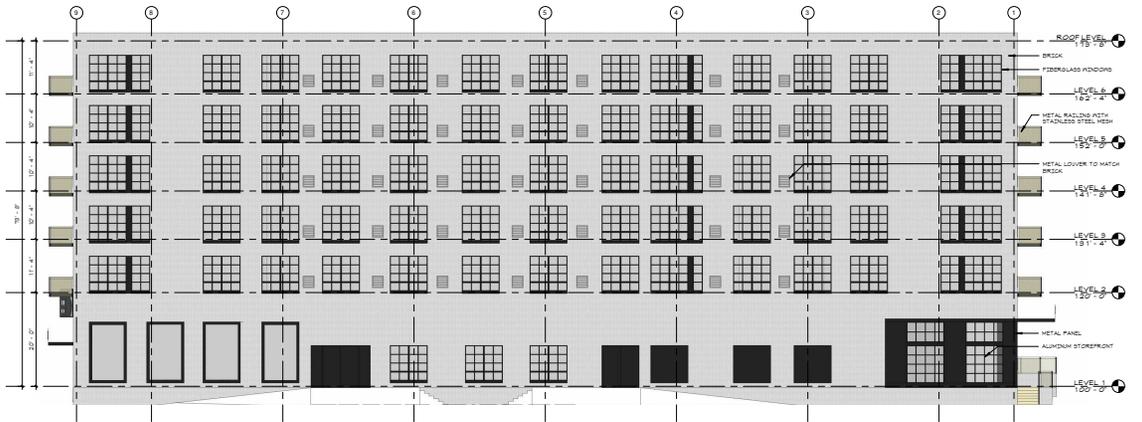
EXTERIOR ELEVATIONS
A3.1



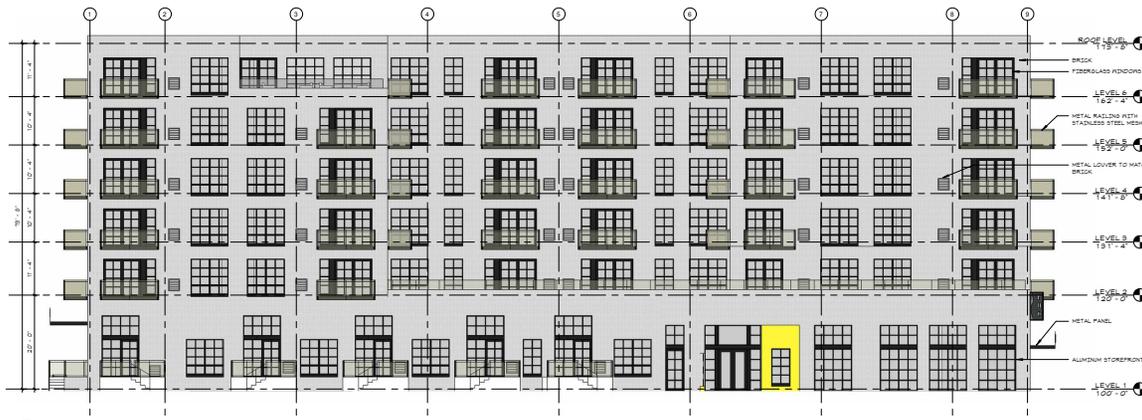
4 EAST ELEVATION
A3.1 3/27/15



3 WEST ELEVATION
A3.1 3/27/15



2 NORTH ELEVATION
A3.1 3/27/15



1 SOUTH ELEVATION
A3.1 3/27/15

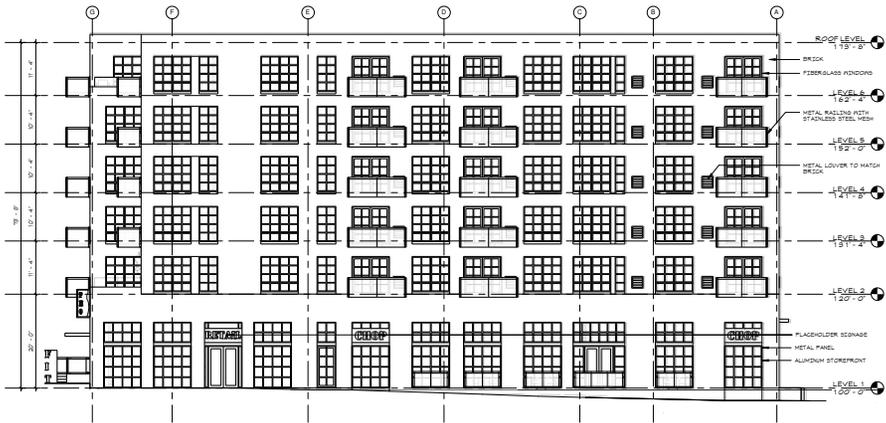


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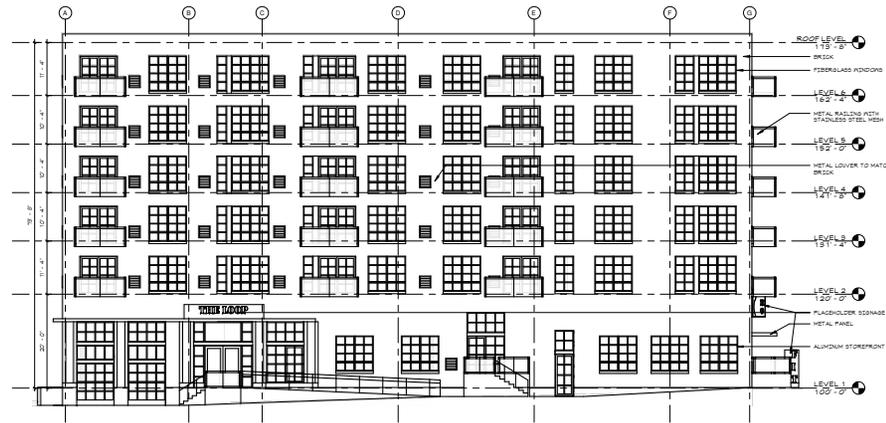
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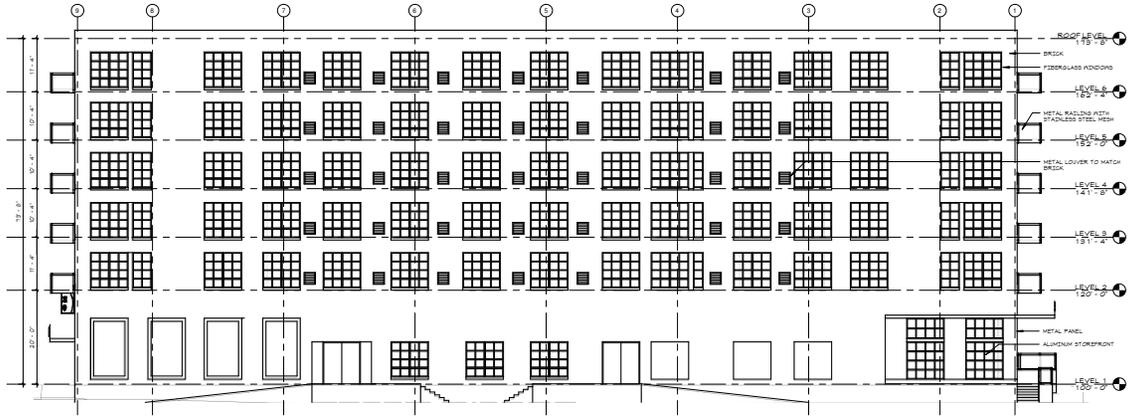
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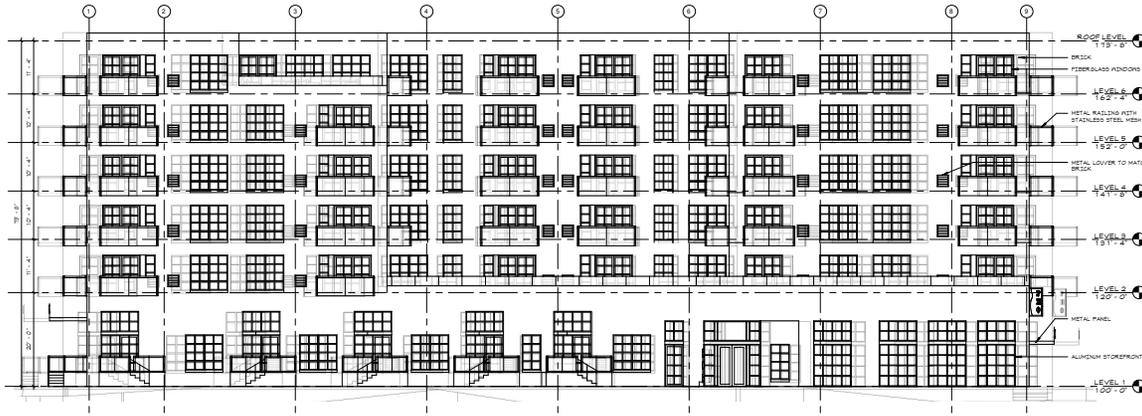
4 EAST ELEVATION
3/32" = 1'-0"



3 WEST ELEVATION
3/32" = 1'-0"



2 NORTH ELEVATION
3/32" = 1'-0"



1 SOUTH ELEVATION
3/32" = 1'-0"

LAND USE
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6/15/2015

ORIGINAL ISSUE: 06/09/15

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KEY PLAN

314 6th Ave N Mixed Use

EXTERIOR ELEVATIONS

A3.1X

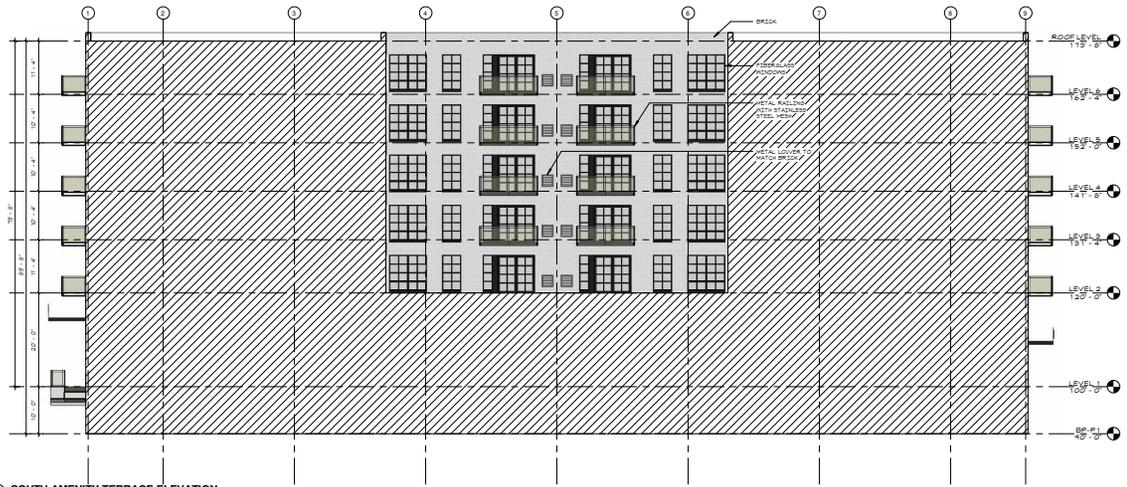


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500 washington avenue south
minneapolis minnesota 55415
p. 6 1 2 . 3 3 9 . 5 5 8
f. 6 1 2 . 3 3 9 . 5 8 2
w.w. e s g a r c h . c o m

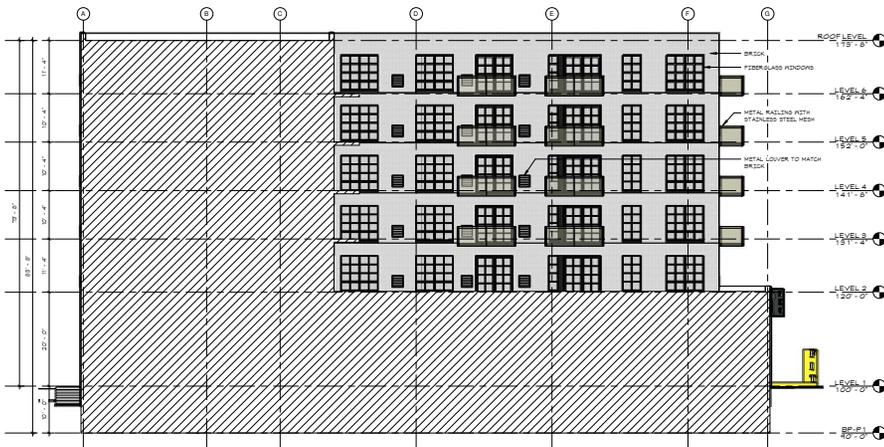
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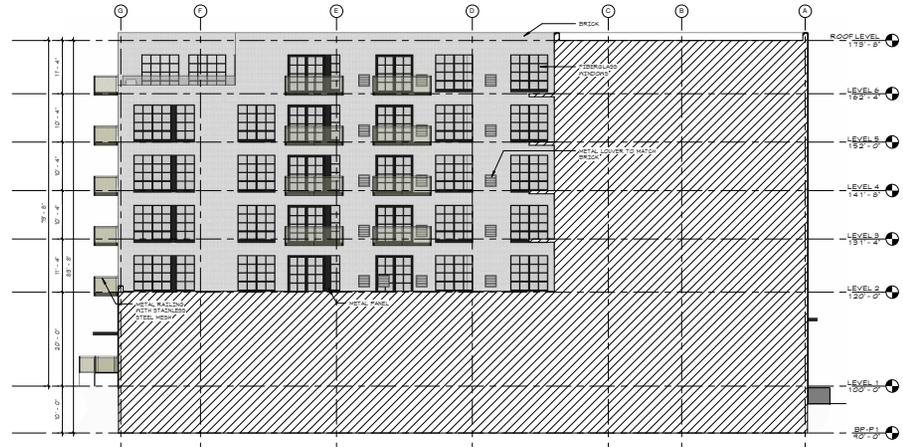
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CONSTRUCTION**



3 SOUTH AMENITY TERRACE ELEVATION
A3.2 3/20" = 1'-0"



2 EAST AMENITY TERRACE ELEVATION
A3.1 3/20" = 1'-0"



1 WEST AMENITY TERRACE ELEVATION
A3.2 3/20" = 1'-0"

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314 6th Ave N Mixed Use

EXTERIOR ELEVATIONS

A3.2

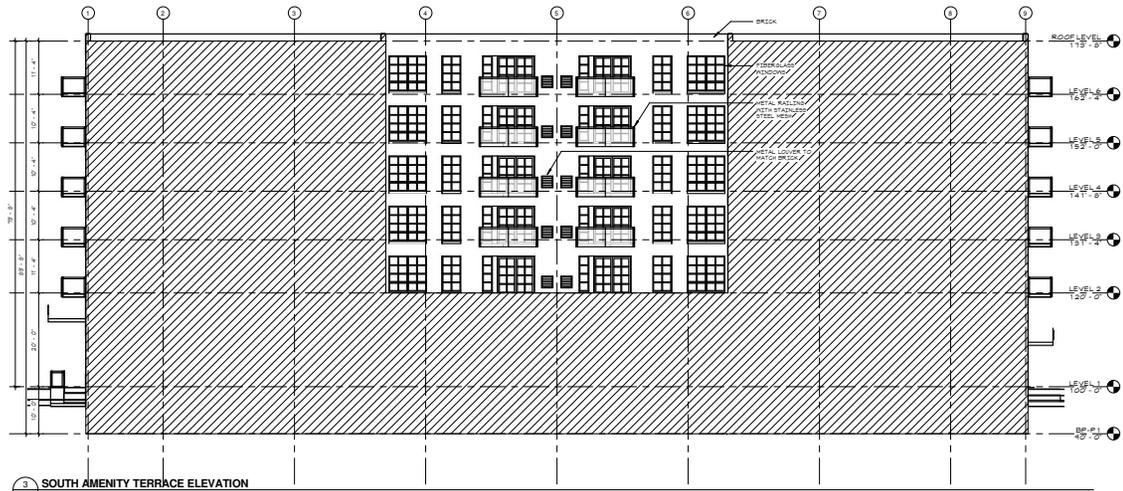


erickson swenson gram architects
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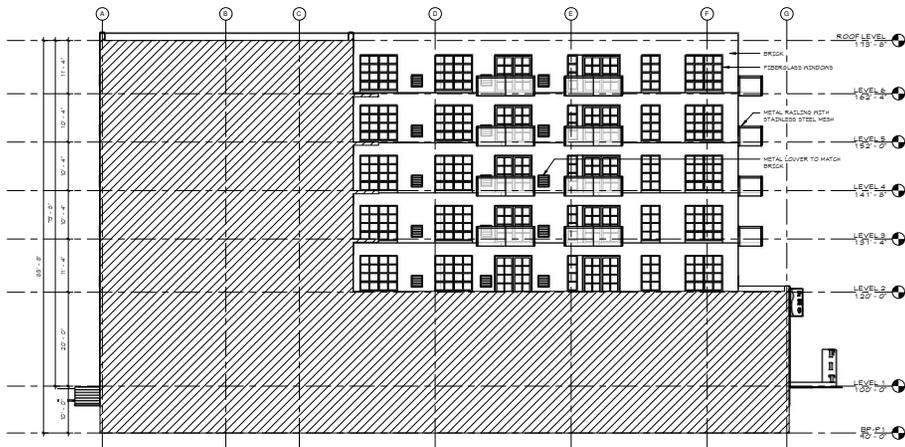
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DESIGNER _____
TYPE OR PRINTED NAME _____
DESIGNER'S DATE _____

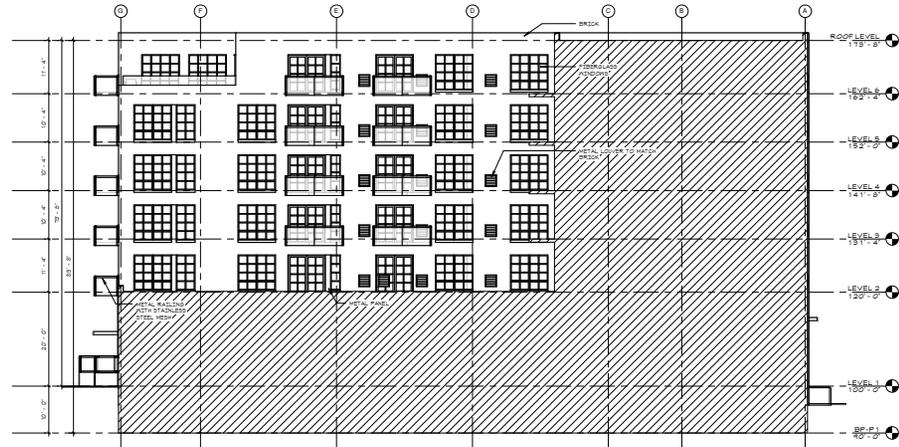
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3 SOUTH AMENITY TERRACE ELEVATION
3/32" = 1'-0"



1 EAST AMENITY TERRACE ELEVATION
3/32" = 1'-0"



2 WEST AMENITY TERRACE ELEVATION
3/32" = 1'-0"

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314 6th Ave N Mixed Use

EXTERIOR ELEVATIONS

A3.2X



SOUTHEAST CORNER



SOUTHEAST AERIAL



SOUTHWEST CORNER



SOUTHWEST AERIAL



NORTHEAST AERIAL



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BUILDING PERSPECTIVES

A0.2a



NORTHWEST CORNER



SOUTHEAST CORNER (FITNESS ENTRY)



SOUTH FACADE



NORTHEAST CORNER



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DATE KEY CHECKED BY

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BUILDING PERSPECTIVES

A0.2b



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Signature _____
Type or Printed Name _____
Date _____



DECEMBER MORNING 9AM



MARCH / SEPTEMBER MORNING 9AM



JUNE MORNING 9AM



DECEMBER NOON



MARCH / SEPTEMBER NOON



JUNE NOON



DECEMBER EVENING 3PM



MARCH / SEPTEMBER EVENING 3PM



JUNE EVENING 3PM

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ESG

DATE PREPARED

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SHADOW STUDY

A0.3

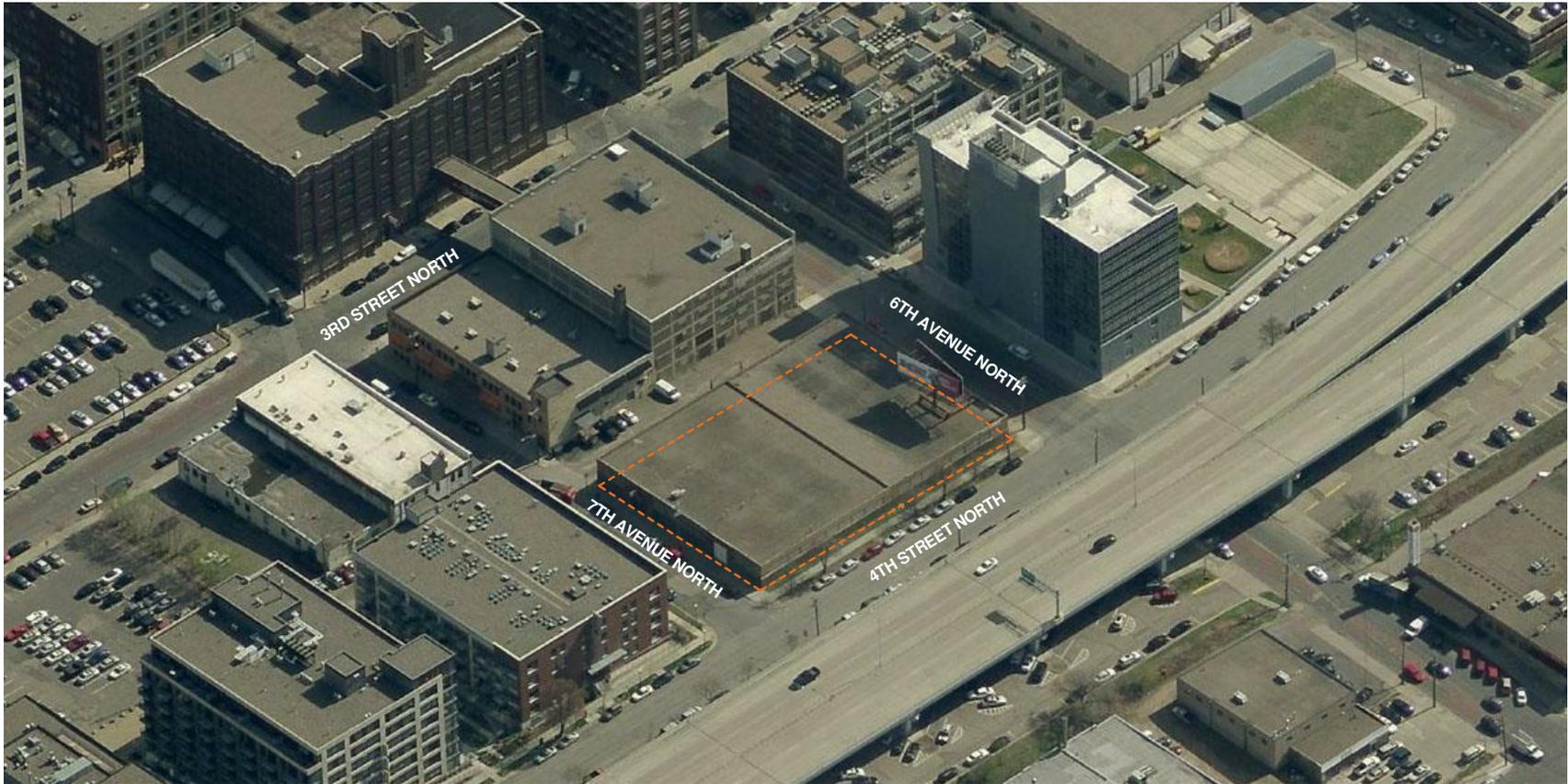


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EXISTING CONTEXT SITE
IMAGES

A0.1

