

**HERITAGE PRESERVATION APPLICATION SUMMARY**

*Property Location:* 2815 and 2819 Johnson Street NE  
*Project Name:* Hollywood Theater  
*Prepared By:* Becca Farrar-Hughes, Senior City Planner, (612) 673-3594  
*Applicant:* Out of the Past Redevelopment, LLC, Attn: Andrew Volna  
*Project Contact:* Preservation Design Works, LLC, Attn: Casie Radford  
*Ward:* I  
*Neighborhood:* Audubon Neighborhood Association  
*Request:* To allow for exterior and interior modifications to the Hollywood Theater.  
*Required Applications:*

<b>Certificate of Appropriateness</b>	To allow for exterior and interior modifications to the Hollywood Theater. The building is an individual local landmark and the designation includes both the interior and exterior of the building. The building is also listed in the National Register of Historic Places. The proposal would allow for the rehabilitation of the building for a future office use.
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**HISTORIC PROPERTY INFORMATION**

<b>Current Name</b>	Hollywood Theater
<b>Historic Name</b>	Hollywood Theater
<b>Historic Address</b>	2815 Johnson Street NE
<b>Original Construction Date</b>	1935
<b>Original Architect</b>	Liebenberg and Kaplan
<b>Original Builder</b>	Unknown
<b>Original Engineer</b>	Unknown
<b>Historic Use</b>	Culture/Recreation – Motion Picture Theater
<b>Current Use</b>	Vacant
<b>Proposed Use</b>	Office space

<b>Date Application Deemed Complete</b>	May 8, 2015	<b>Date Extension Letter Sent</b>	N/A
<b>End of 60-Day Decision Period</b>	July 7, 2015	<b>End of 120-Day Decision Period</b>	N/A

**CLASSIFICATION**

<b>Local Historic District</b>	N/A
<b>Period of Significance</b>	1920-1939
<b>Criteria of Significance</b>	Architecture, Master Architects and Social History
<b>Date of Local Designation</b>	1990
<b>Date of National Register Listing</b>	2014
<b>Applicable Design Guidelines</b>	<i>Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater</i> <i>Neighborhood Movie Theater Thematic District Guidelines for Rehabilitation</i> <i>Secretary of Interior Standards for Treatment of Historic Properties</i>

**SUMMARY**

**BACKGROUND.** The Hollywood Theater, designed by architects Liebenberg and Kaplan, opened at 2815 Johnson Street NE in 1935, along an old streetcar line. The movie theater is a noteworthy example of the Streamline Moderne style. It was built during the peak of the Art Deco period, and with a budget (\$44,000) that allowed for generous use of decorative elements. The Hollywood Theater is an excellent example of the Deco style and the trend to small, yet elegant, neighborhood theaters. Architects Liebenberg and Kaplan, famous for their Minneapolis theater designs, used a coordinated color scheme and intricate detailing to design the Hollywood. All public interior spaces are designated for their zig-zag Deco style with streamline accents. The exterior, with the exception of the marquee, is designated. The Hollywood Theater, aside from its masterful depiction of Art Deco architecture, is significant as a remnant of a pattern of theater/entertainment growth that took place in the United States between 1920 and 1939.

The Hollywood operated as a movie theater from its opening in 1935 until it closed in 1987. The property has been vacant since 1987. The same year that the theater closed, a designation study was commenced to protect the structure from demolition. A consultant’s report issued in September 1989 on *The Development of the Neighborhood Movie Theaters in Minneapolis: 1910-1945*, recommended that the Hollywood Theater, including its interior, be designated as a local historic landmark.

In 1990, the Hollywood Theater was designated as a local landmark. The nomination cites the significance of the theater’s architecture, the master architects who designed it, and its social history. As previously noted, both the exterior and interior are designated, except for the marquee (which was replaced in 1948) and some of the non-public interior spaces.

In 1991, the Heritage Preservation Commission (HPC) adopted a document entitled *Neighborhood Movie Theater Thematic District - Guidelines for Rehabilitation*, which was adopted for the Hollywood Theater and four other theaters in 1991 (also the Loring, Granada, Avalon and Uptown), which are considered the defining parameters of the Neighborhood Movie Theater Thematic District. This framework provides guidance for the treatment of significant features of the Hollywood and is divided into exterior and interior features. The majority of the document is a copy of the *Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*.

In 1993, the City of Minneapolis purchased the building and pursued several unsuccessful attempts at redevelopment over the years. In November of 2008, the City of Minneapolis acquired the property adjacent to the theater, 2819 Johnson Street NE, and cleared the site to support redevelopment of the theater by potentially providing off-street parking, service access, or space for related development.

In 2009, the HPC adopted the *Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater*. The purpose of this document is to provide clarity on the treatment of the theater and its specific features that contribute to the historical significance of the structure. The document is to be used as a supplement to the aforementioned *Neighborhood Movie Theater Thematic District Guidelines for Rehabilitation*.

In June of 2009, the City of Minneapolis released a Request for Proposals (RFP) for the Hollywood Theater building and the adjacent lot at 2819 Johnson Street NE with the goal of redeveloping the property with a viable commercial use. The City did not receive a response that met the criteria of the RFP, and continued to market the property for sale.

In December of 2012, the City Council granted exclusive development rights to developer Andrew Volna for one year and authorized staff to negotiate terms of a Redevelopment Contract.

In May of 2014, the City approved the sale of the Hollywood Theater property to Out of the Past Redevelopment, LLC, an entity controlled by Andrew Volna, and authorized City officials to enter into a Redevelopment Contract. In June of 2014, the City executed a Redevelopment Contract for the transfer of the property. Once ownership is transferred (the property had not closed at the time of the writing of this report), the Redevelopment Contract obligates the developer to make certain improvements that will stabilize and preserve the building.

In February 5, 2014, the Hollywood Theater was listed in the National Register of Historic Places.

**APPLICANT'S PROPOSAL.** The applicant's proposed scope of work for the Certificate of Appropriateness application has been defined by the executed Redevelopment Agreement for the property. This scope of work is referred to in the Redevelopment Agreement as the "Minimum Improvements". The "Minimum Improvements" are as follows: "...rehabilitation of the primary exterior and façade, exterior marquee, sign and canopy as well as the following interior improvements: (i) rehabilitation of the outer lobby; (ii) reconstruction of the ticket booth; (iii) preservation of historic elements of the inner lobby and main auditorium; and (iv) stabilization of the basement and related improvements on the Property in accordance with the Construction Plans."

In addition, other work proposed as part of the Certificate of Appropriateness application include owner-requested add alternates as well as work financed in part with funds provided by the State of Minnesota through the Minnesota Historical Society from the Arts and Cultural Heritage Fund ("Legacy Grant"). Though the add alternates are included in the overall scope of work, they are specified as alternates in the construction drawings and specifications as they are dependent on pending funding. Both the "Minimum Improvements" and add alternates are combined below. More specifically, the proposed work associated with this Certificate of Appropriateness application is as follows:

### **Exterior**

- Repair of the masonry on the west or primary façade of the building. The masonry rehabilitation work includes: 100% repointing of all mortar joints, resetting and anchoring loose and misaligned granite veneer panels, 100% repointing of limestone parapet capstones, and resetting and re-

anchoring of loose or displaced parapet capstones. (See also enclosed drawings D200-D203, A4.00- A4.02, EC000, and EC001).

- Repair of the canopy, sign, and marquee. The marquee and canopy would be fully rehabilitated. Rust and staining occurring at the metal soffit panels and stepped metal fascia would be cleaned using the gentlest means possible per the *National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals*. All soffit panels would be repainted. The roof access panel would be removed and roofed over. A hinged access panel, matching the soffit panels, would be installed in place of a fixed soffit panel. Missing soffit panels, or those damaged beyond repair, would be replaced with new panels to match the existing material and finish. The fascia would be returned to the original polished finish throughout. The “HOLLYWOOD” lettering would be repaired and refinished where rust and damage has occurred. All lettering would be repainted on both sides and new LED lighting would be provided in the original light bulb locations. Lighting at the underside of the canopy and over the ticket booth would also be replaced with LED lighting. New LED lighting would match the appearance of historic lighting, in terms of bulb shape and attachment, as well as general appearance of light source during the daylight and when lit at night. All sockets, wiring and controls would be replaced and brought up to current code and a new electrical feed and circuits would be provided. The attraction board below the canopy would be rehabilitated. All pieces of stainless steel trim would be cleaned using the gentlest means possible. This includes the lettering grid. Where stainless steel trim pieces are missing or damaged beyond repair, they would be replaced in kind to match the existing. The existing plastic panels would be replaced with new translucent plexi-glass panels along with new acrylic lettering. All lighting within the attraction board would also be replaced with LED lighting. (See also enclosed drawings D103, D200, EC000, A1.10, A2.10, A3.01, A4.00, A4.01, A6.20, A6.21, H1.00, and H1.01).
- Repair and drainage of the canopy roofing. The existing canopy roofing system would be removed, including the roof deck. A new steel deck, rigid foam board insulation (tapered for drainage) and a TPO membrane roof would be installed in its place. The roofing replacement includes new flashing and trim pieces where required. A new roof drain would be added to the roof and would be routed inside the building above the ceiling level in the adjacent existing office, and connected to the storm sewer.
- Reconstruction of the ticket booth. The ticket booth would be reconstructed based on the original drawings. To prevent future movement and separation from the building, a new reinforced concrete footing would be poured adjacent to the existing foundation wall. The footing would be doweled into the existing concrete floor and would have a brick ledge for installation of the existing granite panels. There would be airspace behind the granite panels, 3 inches of rigid foam insulation, a continuous weather barrier, and a 4 inch structural concrete masonry unit back-up wall. At the interior, ¾ inch finish grade plywood would be installed. A granite countertop would be installed at the ticket booth to match the historic granite base. One-half inch tempered, insulated glass would be provided at the window panels and installed in an aluminum U-channel at the countertop. The vertical joints between glass panes would be aluminum channels to match what was there historically. The new wood head trim would match the original based on the historic drawings and what is remaining of the original. A new ceiling, constructed with 2X wood framing and finish grade plywood, filled with closed cell spray foam insulation, would be installed. Construction of the ceiling would terminate at the existing beam line. The existing electrical would be removed to prepare for the future installation of an upgraded electrical system. The exterior lighting above the ticket booth would be refurbished and replaced with LED bulbs as part of the marquee restoration. New LED lighting would match

the appearance of historic lighting, in terms of bulb shape and attachment, as well as general appearance of light source during the daylight and when lit at night. (See also enclosed drawings D1.01, D200, EC000, EC111, EC112, A2.10, A4.00, A6.10, A6.11, and H2.00).

- Rehabilitation and restoration of the remaining poster cases. Existing exterior poster cases would be restored. Restoration would include replacing hardware if needed, cleaning rust, loose paint and debris off the metal using the gentlest means possible per the *National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals and Repairing Damaged or Missing Ornamental Metal* specification section provided by the U.S. General Services Administration (<http://www.gsa.gov/portal/content/113794>). Once cleaned, all pieces would be repainted with an exterior grade alkyd-enamel, semi-gloss finish. Any missing components that are beyond repair would be replaced. Replacement components would be reconstructed to match the originals based on the original drawings and existing examples. Restored cases would be reinstalled. (See also enclosed drawings D200, EC000, A4.00, A4.01, and H4.00).
- Replacement of the projection room windows. The plywood infill would be removed. Steel casement replacement windows matching the original profile, sizes, and lite divisions, as closely as possible, based on drawings, details, specifications and photographs would be installed. The steel windows would have a baked enamel or powder-coat finish and would have clear insulated glazing and true divided lites. (See also enclosed drawings D200, D203, A4.00, A4.01, A8.00, A8.02, and H5.00).
- Replacement of the first floor office window. The plywood infill would be removed. A steel fixed replacement window matching the original profile, size, lite division, as closely as possible, based on drawings, details, specifications and photographs would be installed. The replacement window would have clear insulated glazing and true divided lites. (See also enclosed drawings D200, D203, A4.00, A4.01, A8.00, A8.02, and H5.00).
- Replacement of the primary entry doors to meet accessibility guidelines. The 1948 aluminum entrance doors and original wood frame would be removed. The primary entrance opening would be retained in its current size and location; however, the existing door and frame arrangement would be reconfigured in order to meet state building code requirements for accessibility and exiting. A new pair of aluminum storefront doors would be separated from a sidelite with a wood mullion matching the existing. The new door and sidelite would match the style of the 1948 doors and have a clear anodized aluminum finish to match their color. Glazing would be clear, fully-tempered, insulating glass with a low-e coating. Code-compliant accessible hardware, including an exterior pull and a panic bar at the interior would be provided. Work would include removing rust from the existing steel lintel, priming with rust inhibitive coating and repainting. (See also enclosed drawings D101, D200, EC000, EC110, A2.01, A4.00, and A8.00-A8.02).
- Refurbishment of the exit doors. The existing exit doors on the front of the building would be repaired, existing hardware would likely be removed, and the doors would be secured in place. Broken glass would be replaced with clear, fully tempered, insulated glass. The doors would be caulked to prevent air leakage. Work would also include removing rust from the existing steel lintel, priming with rust inhibitive coating and repainting. The doors would be augmented with an interior clear, anodized aluminum storm window system for energy efficiency. The storms would be removable for ease of maintenance and the aluminum profiles would be sized such that they do not project past the sightlines of the existing aluminum door components. Mullions would be aligned behind the meeting stiles of the doors. The new storms would fit within the

existing framed openings. (See also enclosed drawings D101, D200, EC000, EC110, A2.01, A4.00, and A8.00-A8.02).

- Rehabilitation of the porthole light fixtures above the exit doors. The porthole light fixtures above the main exit doors and recessed fixtures over the main entrance would be repaired where possible and replaced where components are missing or damaged beyond repair. Replacement parts of exposed components, including trim rings, recessed reflectors, and glass lenses would match the original in size, shape, color and assembly, unless doing so does not meet code. Also, the fixtures would be re-lamped to use LED bulbs. Repairs and replacement of metal pieces would follow the *National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals*. (See also enclosed drawings D200-203, EC000, EC001, and A4.00- A4.02).
- Rehabilitation of the chimney. The chimney was retrofitted with steel straps to prevent falling limestone veneer; significant masonry repair is required for structural stabilization. Work at the chimney would include the removal of the concentric steel straps, removal of limestone blocks, and repairing damage to backup brick. Repairing brick would also require the remainder of the green tile and wood furring strips to be removed. Tiles would be salvaged for reinstallation. Brick repair would include careful removal of deteriorated or spalling brick, replacement of damaged or missing brick, and repointing of mortar joints. Once the back-up brick is repaired, limestone blocks would be reset and anchored with concealed anchors, and the mortar joints at the limestone would be repointed per *Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings*. Salvaged green tiles would be restored. Tiles would be cleaned using the gentlest means possible (per the *National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals and Repairing Damaged Or Missing Ornamental Metal* specification section provided by the U.S. General Services Administration (<http://www.gsa.gov/portal/content/113794>) and reinstalled over new furring strips. After restoration of the tiles is complete, they would be reinstalled. If replacement tiles are needed, they would be fabricated to match the existing as closely as possible in shape, size, color, and finish. (See also enclosed drawings D200-D203, EC000, EC001, A2.30, A4.00-A4.02, and H1.00).
- Replace roof assembly at southwest low roof (area C). \*See A2.30 for the location of specified roof areas. The roofing at roof area C would be removed to the existing deck. The roof drain and associated piping would be removed, along with any terminations, caps, and flashing. The existing parapet walls would be prepped for the installation of a new TPO membrane roofing system. New insulation would be provided to re-slope the roof toward a new south scupper and the existing, non-original west scupper would be removed. The opening would be infilled with brick to match the original by toothing in and blending the replacement brick and mortar joints with the original brick and mortar. New flashing and terminations would be provided as required to construct a proper, waterproof roofing system. The parapet capstones are a life safety hazard and the lack of maintenance contributes to the accelerated deterioration of the soft masonry walls. The capstones would be removed and repairs would be performed on the parapet wall. Repairs to the parapet wall would include repointing per *NPS Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings*, spot masonry repairs to the interior face of the wall and other necessary repairs uncovered by removing the capstones, flashing and roofing system. New through-wall flashing would be provided and the existing capstones would be re-anchored to the parapet wall. (See also enclosed drawings, D103, D200, D201, D203, A2.30, A2.30, A4.00, and A4.01).
- Patch and repair roof at tie-in areas where existing drains are being replaced or modified. (See also enclosed drawings D103, D200, D201, D203, A2.30, A2.31, A4.00, and A4.01).

- Repair shed roof at north elevation. The existing shingles at the shed roof (north elevation) would be removed and the deflection in the roof deck would be repaired. Once repairs have been made to the deck and structure, new underlayment and shingles along with sheet metal roof-to-wall flashings would be installed. A new prefinished metal gutter and downspout would be installed at the eave. (See also enclosed drawings D103, D200- D203, EC001, A2.30, A2.31, A4.01, and A4.02).
- Repair of the masonry at the north, east and south façades (the secondary façades of the building). Work would include repointing of the joints, resetting and anchoring of the parapet capstones, and brick replacement where units are severely deteriorated. Repointed mortar joints would match the existing in color, texture, strength, joint width and joint profile. Graffiti and paint coatings at the masonry would be removed using the gentlest means possible. In addition to the graffiti removal, masonry cleaning, after rehabilitation work is complete, is proposed per *Preservation Brief 1: Cleaning and Water-Repellent Treatments for Historic Masonry Buildings* and *Preservation Brief 38: Removing Graffiti from Historic Masonry*. Beam ends on the east elevation would receive sheet metal caps. The top course of masonry wall below the shed roof would be rebuilt when the roof is replaced. New brick would match the adjacent and be toothed in. Spalled or broken masonry units would be patched with a compatible patching material or replaced in kind, if repair is not feasible. The brick piers would be investigated to determine the extent of work required at each. An area of brick veneer at the top of each pier would be removed and the integrity of the backup masonry and steel column would be assessed. If found to be sufficient, repairs at each pier would consist of repointing continuous cracks, installing sheet metal cap flashing at the top of each column and selective replacement of deteriorated brick at the base of the piers. Replacement brick would match the adjacent brick. If the pier is separated from the wall, the veneer would be re-anchored with restoration ties. (See also enclosed drawings D200-D203, A4.00- A4.02, EC000, and EC001).
- Remove and reset terra cotta copings at north, east, and south facades. Repair masonry substrate in damaged areas and install new parapet flashing with sheet metal receiver at existing roof termination. At steps in parapet, remove one piece of clay tile coping at each side of step. Install step flashing at vertical surface and through-wall flashing at top of brick, each side. Reinstall clay tile coping pieces. (See also enclosed drawings A2.30, and A2.31).
- Provide new security lighting. The modern exit lights above the north side doors would be removed and new security lighting would be provided above all secondary exit doors (north, south and east elevations). Installation of security light fixtures would avoid putting holes in brick masonry. Attachments would be made in the mortar joints. New fixtures that do not suggest a historic connection to the building would be selected. The gooseneck fixtures would be removed and holes in the masonry from their installation would be patched to match the existing masonry. Light fixture selected: Juno Lighting Polaris LED, DT – Trapezoid in Bronze Finish. (See also enclosed drawings D200-203, EC000, EC001, and A4.00- A4.02).
- Repair roofing where damaged. \*See A2.30 for the location of specified roof areas. Areas where roof flashing is missing and damaged are contributing to water intrusion and further deterioration of the masonry and steel structure. The roof drain and piping at area B would be replaced as required to connect to the rainwater leader. The parapet capstones are a life safety hazard and contribute to the accelerated deterioration of the soft masonry walls. The capstones would be removed and repairs would be performed on the parapet wall. Repairs to the parapet wall would be similar to those noted above. New through-wall flashing would be provided and the existing capstones would be re-anchored to the parapet wall. Work at roof area D includes

providing a new sheet metal reglet or transition flashing between the roof and chimney wall panels. New reglets would be cut in mortar joints. Minor surface erosion areas at roof area E would be repaired and the roof drain and piping would be replaced as required to connect to the rainwater leader. In addition, a new secondary overflow roof drain would be provided at area E, along with necessary flashing. The roofing at the gambrel roof would be repaired in kind in damaged areas only. Delaminated base flashings and deteriorated plywood backing would be removed and new backing and flashing installed in its place. Parapet capstones would be removed and salvaged for reinstallation. Spot repairs would be performed to the masonry substrate of the parapet wall. Repairs to the parapet wall are similar to those noted above. The exact scope would be determined once the capstones and flashing are removed. New through-wall flashing would be installed with an integrated sheet metal receiver to overlap the roof's base flashing. The existing capstones would be re-anchored to the parapet wall. Terra Cotta capstones would be reset with the transverse joints placed downslope to avoid future damage to the underlying wall. (See also enclosed drawings, D103, D200-D203, A2.30, A2.31, and A4.00-A4.02).

- Rehabilitation of secondary exit doors. All secondary exit doors and frames on the north, east and south facades would be removed and replaced with a single operable (accessible width) hollow metal flat (steel) door and smaller hollow metal steel fixed door with no dividing astragal. The new doors would fit within the existing opening. Both pairs of secondary exit doors in the Inner Lobby would be made accessible in width and be provided with appropriate code-compliant hardware. Both pairs of doors at the alley would be for emergency exiting only, fit with the required emergency exit hardware, per the City of Minneapolis as a condition for the encroachment permit. Replacement doors would match the existing door style as closely as possible. The frames would be replaced with hollow metal frames. All doors and frames would be primed and painted. (See also enclosed drawings D101, D200- D203, EC001, EC118, A2.10, A4.00-A4.02, and A8.00).
- Rehabilitate steel lintels at openings at the north, east and south facades. Rehabilitation includes: rust removal, priming with rust-inhibitive coating, and repainting. (See also enclosed drawing A4.00, A4.01, and A4.02).
- Remove the existing areaway below the sidewalk. Opening to be infilled with concrete block. Install reinforcing and tie-in to existing wall. Install foundation wall waterproofing. Place backfill and sidewalk subgrade as required by the City of Minneapolis. Provide new sidewalk. (See also enclosed drawings A1.10, and A2.00).
- Remove and replace metal soffit panels at north overhang. Provide coil-coated aluminum panels (white) in maximum width available, or to match existing width. Provide Firestone UC-00 Flush Panel System. (See also enclosed drawing A3.01).

## Interior

- Lobby – Reconstruction of the ticket booth. See above.
- Lobby – Refinishing of the terrazzo floor. The terrazzo floor and base would be retained and protected in place during demolition and construction. Work at the terrazzo floor would consist of cleaning with a liquid, neutral chemical cleaner complying with the National Terrazzo and Mosaic Association (NTMA) recommendations and a compound cleaner manufactured specifically for restorative type cleaning of terrazzo surfaces. The floor would also be sealed

with an interior floor sealer which is colorless, slip and stain resistant, which would not affect the color or physical properties of the existing terrazzo floor. Mock-ups of the cleaning and refinishing would be provided at a discreet area of the floor for review and approval by the SHPO prior to completing the work. (See also enclosed drawings EC110, EC111, and A2.10).

- Lobby - Documentation and removal of the existing candy counter, ceiling element and ticket counter. Because the ticket counter, candy counter, shelving and decorative ceiling feature at the candy counter are all in a general state of disrepair, with much of the original fabric no longer intact, each item would be documented with photographs and measured drawings and the items would be removed from the building. (See also enclosed drawings D001, D101, D150, EC111, A2.10, A3.01, A6.10, and A6.11).
- Office - Remaining wood chair rail and floor base would be removed. The safe, plywood mechanical chase, mechanical, and electrical equipment would be removed. The pendant light fixture would be removed and salvaged for the owner on site. (See also enclosed drawings D001, D101, D150, EC112, A2.10, A3.01, A4.01, A8.00, and A8.02).
- Outer Lobby (First Foyer) - Rehabilitation of the exit doors. (See above.) Removal of exit hardware and installation of interior storm windows.
- Outer Lobby (First Foyer) - Refinishing of the terrazzo floor. The terrazzo floor and base would be retained and protected in place during demolition and construction. Work at the terrazzo floor would consist of cleaning and sealing as noted above. (See also enclosed drawings EC110, EC111, and A2.10).
- Outer Lobby (First Foyer) - Rehabilitation of the fountain. The terrazzo fountain base would remain and would receive the same treatment as noted above. The existing fountain piping would be capped within the wall in an accessible location. The mirror would be recreated based on the historic drawings, using the same joints as indicated, but not reinstating the same flora and chain motif. (See also enclosed drawings D001, D101, D150, EC110, A2.10, A3.01, A7.00, and H3.00).
- Outer Lobby (First Foyer) – Rehabilitation of the sheet metal alcoves at the fountain and Lobby to Outer Lobby entrance. The metal door framing setbacks would be restored to their original condition. Metal pieces would be cleaned using the gentlest means possible and refinished monochromatically to match the historic photograph and per the *National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals*. New LED lighting would be provided in lieu of original incandescent lighting. LED lighting would match the appearance of historic lighting, in terms of bulb shape and attachment, as well as general appearance of light source during the daylight and when lit at night. (See also enclosed drawings D001, D101, D150, EC110, A2.10, A3.01, A7.00, and H3.00).
- Inner Lobby (Second Foyer) - Protection of the decorative metal guardrail in the inner lobby, terminating at the basement stair. All railings would be retained and protected in place during demolition and construction of this phase, until the overall rehabilitation work for the office use is ready to commence. Protection of the railings and guardrails would consist of being covered completely with foam insulation at the sides and top. Insulation would be installed in such a manner that it would not adhere to any of the elements. Crating, constructed of plywood and dimension lumber would be installed to hold the insulation and padding in place and protect it from being dislodged by contact. Care would be taken so as to not install mechanical fasteners

into or through the elements. (See also enclosed drawings EC101, EC113, EC116, A2.00, A2.10, and A2.20).

- Inner Lobby (Second Foyer) - Protection of remaining light fixtures, rope stanchions, drinking fountains, and poster cases in the inner lobby. Interior poster cases, wood base trim, rope stanchions, radiator shield cover and drinking fountains would be retained and protected in place. Protection of such features would include (where feasible) being covered completely with foam insulation at the sides, bottom, and top. Insulation would be installed in such a manner that it would not adhere to any of the elements. Crating, constructed of plywood and dimension lumber would be installed to hold the insulation and padding in place. Care would be taken so as to not install mechanical fasteners into or through the elements. (See also enclosed drawings D001, D101, D150, EC113, EC114, A2.10, and A3.01).
- Auditorium - Protection of the remaining plaster elements in the auditorium, including faux balconies and columns and proscenium. All remaining plaster, lath and framework would be protected during demolition and construction and retained in place for future rehabilitation. (See also enclosed drawings D151, EC101, EC110-EC117, EC120, and EC121).
- Auditorium - Protection of porthole light fixtures in the auditorium. Remaining historic porthole light fixtures in the Auditorium would be removed, stored and protected during demolition and construction. They would be stored within the building. Protection of the porthole light fixtures would involve fully covering the elements with foam insulation, assuring that insulation would not adhere to elements. Plywood and dimension lumber crating would be constructed to hold the insulation and padding in place and to protect the elements from being dislodged by contact. Care would be taken to not install mechanical fasteners into elements. All protective measures to remain in place throughout construction. All other historic light fixtures (Lobby, Outer Lobby, Inner Lobby, additional Auditorium fixtures) would remain in place and be protected from damage, awaiting future rehabilitation work. (See also enclosed drawings D001, D102, D150, D151, D204, D205, EC112, EC114, EC117, A2.10, A3.01, A3.02, and A7.00).
- Auditorium - Protection of decorative metal guardrails in the auditorium. All railings would be retained and protected in place during demolition and construction. Protection of the railings and guardrails would consist of being covered completely with foam insulation at the sides and top. Insulation would be installed in such a manner that it would not adhere to any of the elements. Crating, constructed of plywood and dimension lumber would be installed to hold the insulation and padding in place and protect it from being dislodged by contact. Care would be taken so as to not install mechanical fasteners into or through the elements. (See also enclosed drawings EC101, EC113, EC116, A2.00, A2.10, and A2.20).
- Auditorium – Power wash existing roof trusses and underside of roof structure to remove debris. (See also enclosed drawing A2.00).
- Auditorium -The remaining seats and end caps would be removed. End caps would be removed, salvaged and stored within the building for future rehabilitation. Seats would be removed. (See also enclosed drawings D001, D101, D151, D204, D205, EC116, EC117, A2.10, A2.20, A3.01, A3.02, and A7.00).
- Balconies and Proscenium -The wood enclosure at each balcony would be removed along with the existing mechanical equipment, piping, conduit and wiring. The wood tongue and groove floor would be removed as required to remove the existing mechanical and electrical assemblies. The floor would be retained and stored on site for future reinstallation. The

remaining plaster and metal elements of the proscenium pillars and flat panel would be retained and protected from damage. The remaining fragments of curtains and their mounting hardware would be removed and a 6 inch by 6 inch sample of each type of fabric given to the Owner for documentation purposes. (See enclosed drawings D001, D102, D205, D205, EC117, EC121, and A2.20).

- Stage -The original stage would remain in place and be protected from damage during demolition and construction. The non-historic plywood and dimensional lumber stage extension would be removed. The screen would be removed. The metal framed stairs would be removed. The speaker and other movie theater, HVAC, electrical equipment and wiring would be removed. (See also enclosed drawings D001, D101, D204, EC117, EC118, A2.10, and A3.01).
- Projection Room -The mechanical equipment, electrical conduit and wiring would be removed. The projection equipment would be removed and salvaged for the Owner. The existing openings in the east wall of the Projection Room would remain. No rehabilitation work would occur at the concrete floor, plaster wall and ceiling finishes during this phase. (See also enclosed drawings D001, D102, D151, D204, D205, EC120, A2.20, and A3.02).
- Basement – Stabilization, replacement of the current rain leaders and connection to the city-provided bulkhead. In the lower level, rain leader piping coming from the north half of the building would be routed through the Fuel Room, Women’s Restroom, Powder Room, and Lounge, where it would connect to the storm sewer line at the west wall. Rain water leader piping from the south half of the building would largely follow existing concealed routes to the basement lounge. All new rainwater leaders would be installed at room edges and held tight to the concrete ceiling. (See also enclosed drawings D001, D100, D150, EC100, EC101, A2.00, and A3.00).
- Basement - Work at the basement would include selective demolition of items such as the plumbing fixtures, toilet partitions, existing heating, ventilating, and air conditioning equipment, piping, conduit and wiring, radiators, existing rain water leaders, and the areaway. (See also enclosed drawings D001, D100, D150, EC100, EC101, A2.00, and A3.00).
- Basement – Clean and patch existing concrete tunnels and prep for future new finish. (See also enclosed drawing A2.00).
- Removal and replacement of rain leaders. Replacement rainwater leaders in the first floor Office would be routed tight to the concrete ceiling (above the plaster ceiling metal framework) and walls and down to the basement. The new rainwater leader from the canopy roof would also be routed through the Office. Existing rain water leaders would be removed as needed for the installation of new piping. New rain water leaders would be installed at all existing roof drain locations and at the canopy roof. They would generally follow existing routes down through the building and be located within wall cavities, in secondary spaces, and above finished ceilings at the main and upper levels. (See also enclosed drawings D001, D101, D102, D150, D151, EC100, A2.10, A2.20, A3.01, and A3.02).
- Throughout – Additional selective demolition to prepare for future overall building rehabilitation. Demolish existing mechanical systems and equipment and other items as discussed in other bullet points. Provide all necessary shoring and lighting. Salvage items as indicated in drawings. (See also enclosed drawings D001-D205).

The applicant previously discussed their proposal and preservation strategies for the building as an informational item at an HPC meeting in May of 2013. The project was well-received and discussion focused on new window openings in the north elevation of the building (which are no longer proposed), the rehabilitation of the ticket booth as well as the replacement doors that are proposed at the outer lobby.

**RELATED APPROVALS.** The subject property has had past Certificates of No Change, Certificates of Appropriateness and Temporary Use Permits in the past. The most recent Certificate of Appropriateness application was in 2009, and it allowed for the removal of auditorium seats and the installation of new projection booth windows as part of staging and stabilization improvements.

**PUBLIC COMMENTS.** Staff has not received any official correspondence from the Audubon Neighborhood Association or any neighborhood letters/emails prior to the printing of this report. Any correspondence received prior to the public hearing would be forwarded on to the Heritage Preservation Commission for consideration and entered in the public record.

## ANALYSIS

### CERTIFICATE OF APPROPRIATENESS

The Department of Community Planning and Economic Development has analyzed the application to allow interior and exterior modifications to the Hollywood Theater based on the following findings:

- 1. The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

The Hollywood Theater is a designated local landmark (1990), significant for its architecture, the master architects who designed it, and its social history. It is also considered significant as a remnant of a pattern of theater/entertainment growth that took place in the United States between 1920 and 1939 which corresponds with the period of significance for which the landmark was designated. Both the interior and exterior of the building are designated except for the marquee (which was replaced in 1948) and some of the non-public interior spaces. The theater is included in the Neighborhood Movie Theater Thematic District.

The Hollywood Theater is also listed in the National Register of Historic Places (2014) under Criterion A – entertainment/recreation as an example of the patterns and trends of movie theater ownership and development in the years between World War One and World War Two; and Criterion C for architecture as a substantially intact example of a neighborhood movie theater designed by Liebenberg and Kaplan. The period of significance for the National Register of Historic Places designation is from 1935 to 1954.

The proposed work would rehabilitate the exterior of the building and prevent further deterioration. The work would further rehabilitate, and where applicable stabilize historic and character defining features in the interior of the theater ensuring the longevity and viability of this historically significant structure. The proposed work is compatible with and supports the historic designations by preserving materials and features that contribute to its historic significance. All alterations and repairs would follow the *Neighborhood Movie Theater Thematic District - Guidelines for Rehabilitation*, the *Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater*, as well as the *Secretary of the Interior's Standards for Rehabilitation*, ensuring that the historical significance of the building at both the local and national levels is protected and maintained.

2. *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The Hollywood Theater is a designated local landmark as well as a property listed in the National Register of Historic Places. As previously noted, the property has both an interior and exterior designation. At the local level, this designation includes the Outer Lobby, the Inner Lobby, the stairway to the lower level, the main auditorium, and the balcony, including handrails as well as all aspects of the exterior (except the marquee). The proposed modifications which comply with the "Minimum Improvements" identified in the Redevelopment Contract rehabilitate character-defining features at the exterior, while stabilizing, protecting and rehabilitating character-defining features at the interior, that contribute to the overall historical integrity and significance of the building. All exterior and interior alterations and repairs to the Hollywood Theater would follow the aforementioned applicable guidelines. Proposed exterior work includes the rehabilitation of the primary façade, exterior marquee, sign, and canopy, as well as reconstruction of the ticket booth. Interior work includes the rehabilitation of the Outer Lobby, the preservation of historic elements of the Inner Lobby and main auditorium. The proposed alterations to the interior and exterior are intended to not only stabilize and rehabilitate the structure but also to improve the adaptive reuse/viability of the existing theater in a manner that is compatible with the designation of the property.

3. *The alteration is compatible with and would ensure continued integrity of the landmark or historic district for which the district was designated.*

The Hollywood Theater is a historic landmark in the City of Minneapolis as well as a property listed in the National Register of Historic Places. According to the local designation for the property, the Hollywood Theater retains the highest degree of exterior and interior integrity of any of the theaters in the thematic district. The proposal would stabilize, protect, and rehabilitate interior and exterior elements of the property that contribute to its overall integrity.

The City of Minneapolis' Heritage Preservation Regulations and the National Register of Historic Places identify integrity as the authenticity of historic properties and recognize seven aspects that define a property's integrity: location, design, setting, materials, workmanship, feeling and association. The proposed development is compatible with and will ensure continued integrity based on the evidence below:

**Location:** The applicant is not proposing to change the location of the structure, thus the proposal would not impair the landmark's integrity of location.

**Design:** All proposed alterations as described above are compatible and consistent with guidelines that would ensure continued integrity of the design of the building.

**Setting:** Setting is the physical environment of a property. The applicant is not proposing any modifications that would have an impact on the integrity of setting.

**Materials:** Where possible the applicant is proposing to rehabilitate, refurbish and restore original materials. Replacement materials and elements would match as closely as possible to original profile, size, lite division, etc., based on drawings, details, specifications and photographs. The alterations would not result in the loss of historic building materials that adversely impair the integrity of the structure's materials.

**Workmanship:** Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. The proposed alterations would not result in the removal or alteration of any distinct decorative or character defining elements on the building. The integrity of workmanship would remain intact.

**Feeling:** Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. The integrity of the landmark will not be negatively impacted by the proposed alterations; in fact, all proposed alterations will improve its integrity.

**Association:** Association is the direct link between an important historic event or person and a historic property. The proposed alterations would not impair the landmark's integrity of association.

4. *The alteration would not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The applicable design guidelines for the Hollywood Theater include the *Neighborhood Movie Theater Thematic District Guidelines for Rehabilitation*, the *Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater* and *The Secretary of the Interior's Standards for Rehabilitation*.

All alterations and repairs to the Hollywood Theater would follow these guidelines. The proposed work for the "Minimum Improvements" advances the goal of rehabilitation and stabilization; therefore, the proposed scope of work does not materially impair the significance or integrity of the building.

Regarding the *Neighborhood Movie Theater Thematic District Guidelines for Rehabilitation*, as previously noted this framework provides guidance for the treatment of significant features of the Hollywood Theater and is divided into exterior and interior features. The majority of the document is a copy of the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (compliance with the *Secretary of the Interior's Standards* are addressed in findings #5).

The document states that the Hollywood Theater retains the highest degree of exterior and interior integrity of the five theaters that are included in the district (Loring, Granada, Hollywood, Avalon and Uptown). The Hollywood Theater is the only Art Deco theater with its highly coordinated interior color scheme and original detailing; it is one of the few nearly intact Art Deco theaters in the state. The Hollywood Theater is considered one of the most original and daring schemes for the time and the Hollywood remains the most relatively intact of the theaters. The guidelines further discuss that the greatest collective significance of the theaters is that they are highly representative of both the range of styles and locations of the period 1920-1939 and relate closely to the pattern of theater development in other American cities during the inter-war era. As a group of theaters, these building share common attributes that are evident in their diverse architectural treatment. They are all approximately the same size in terms of seating capacity (ranging from 500 to 900 seats); most were once owned by large theater consortiums, and they are all located in or near streetcar lines. These theaters are a representative remnant of the pattern that was once found in nearly every medium-size American city; they are a microcosm of the economic forces and technological changes that influenced the motion picture industry.

The proposed scope of work is consistent with the additional guidelines for rehabilitation noted in the *Neighborhood Movie Theater Thematic District Guidelines for Rehabilitation* as outlined in the extensive scope of work noted in the background section of the staff report as follows:

- Exterior Restoration – Masonry repair, marquee, exterior lighting and signage, window replacement, entries and entrance doors, and roofing.
- Interior Restoration - Design intent, floor materials, color selection, interior lighting, wall treatments, seating, handrails and hardware.

The *Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater* was developed to provide clarity on the treatment of the theater and its specific features.

The document offers guidance in four categories: reconstruct, rehabilitate, maintain and removal allowed with mitigation. The document addresses exterior features and then addresses interior features by dividing the interior into three areas – the Outer lobby (includes entrance vestibule by the ticket booth and the main lobby), Inner Lobby (the space that connects the outer lobby to the auditorium and the basement) and the Auditorium (which includes the balcony, main floor and stage areas). The proposed scope of work is consistent with the guidelines as noted in this document as follows:

- Exterior – Rehabilitate exterior materials, reconstruct the ticket booth, rehabilitate the poster cases, rehabilitate the marquee, canopy & sign, and rehabilitate/reconstruct the green tile.
  - Interior – Outer Lobby – Rehabilitate the terrazzo floor, maintain the volume of space, maintain the alcove feature, rehabilitate the circular ceiling light in entrance vestibule, and rehabilitate crown molding in main lobby.
  - Interior – Inner Lobby – Maintain volume of space, rehabilitate railing, rehabilitate poster cases, rehabilitate linear light features, and reconstruct crown moldings.
  - Interior – Auditorium – Maintain volume of space, maintain porthole lights, maintain stage, maintain pillars, maintain rear-wall cornices, rehabilitate balcony railing, and seat removal allowed with mitigation.
5. *The alteration would not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

The proposal would not materially impair the significance and integrity of the building as evidenced by the consistency of alterations with the recommendations contained in *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. The following Secretary of the Interior's Standards for Rehabilitation are most applicable to the proposed project:

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The proposed scope of work allows for a potential adaptive reuse of the theater as an interim creative office use. The potential future reuse of the building as a theater is being maintained due to the reversible nature of all proposed work. The integrity of the structure and all character defining features of this designated local landmark are being maintained.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The proposal complies with this standard as it would stabilize, protect, and rehabilitate interior and exterior elements of the property that contribute to its overall integrity.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

The proposal complies with this standard as it would stabilize, protect, and rehabilitate interior and exterior elements of the property that contribute to its overall integrity.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color,*

*texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

As noted in the thorough scope of work above, the proposed rehabilitation of the structure complies with this provision as all possible features that can be rehabilitated will be and all new and replacement features would be designed and sourced to match the old in design, color and texture as applicable.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

The applicant proposes to use appropriate masonry repair treatment strategies that are consistent with the *Neighborhood Movie Theater Thematic District - Guidelines for Rehabilitation* and the *Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater* as noted above.

6. *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

The project would comply with the following policy and implementation steps of the *Minneapolis Plan for Sustainable Growth*:

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

- 8.1.1 Protect historic resources from modifications that are not sensitive to their historic significance.

Heritage Preservation Policy 8.10: Promote the benefits of preservation as an economic development tool and a method to achieve greater environmental sustainability and city vitality.

- 8.10.5 Prioritize the reuse of the city's historic buildings as a strategy for sustainable development.

The proposed modifications would not modify the building in ways that are insensitive to its historical character or integrity. The proposed project is consistent and compatible with *The Minneapolis Plan for Sustainable Growth*, the *Neighborhood Movie Theater Thematic District - Guidelines for Rehabilitation*, the *Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater*, as well as the *Secretary of the Interior's Standards for Rehabilitation* as noted above.

7. *Destruction of any property. Before approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection, the commission shall make findings that the destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.*

Not applicable.

Before approving a Certificate of Appropriateness, and based upon the evidence presented in each application submitted, the Commission shall make findings that alterations are proposed in a manner that demonstrates that the Applicant has made adequate consideration of the following documents and regulations:

8. *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

The applicant has demonstrated adequate consideration for the statement of significance in the original nomination upon which the landmark was based, per the attached, detailed statement of findings. The proposed scope of work was determined after consideration of the description and statement of significance in the original nomination upon which designation of the Hollywood Theater was based. The proposed scope of work includes rehabilitation and stabilization of elements of the Hollywood Theater that contribute to the building's significance. This rehabilitation and stabilization work will prevent further deterioration and loss of material integrity.

9. *Where applicable, adequate consideration of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

The scope of work in this application does not require site plan review under Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530. It is likely that modifications to the adjoining parcel would trigger at minimum a design and maintenance review by CPED Staff should a parking lot be established in the future.

10. *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

The proposed scope of work was determined after consideration of the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. Specifically, the overall preservation strategy is "rehabilitation" of the building.

## RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt staff findings for the application by Preservation Design Works, LLC, for the properties located at 2815 and 2819 Johnson Street NE:

### A. Certificate of Appropriateness.

Recommended motion: **Approve** the Certificate of Appropriateness to allow interior and exterior modifications to the Hollywood Theater building, subject to the following conditions:

1. All workmanship must be completed in conformance with the Secretary of Interior Standards, see: <http://www.nps.gov/history/hps/tps/standguide/>.
2. The applicant shall obtain all other necessary City approvals prior to the commencement of work.
3. Final plans shall comply with the *Neighborhood Movie Theater Thematic District - Guidelines for Rehabilitation and Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater* as noted within this report.
4. Mitigation measures shall be provided as outlined in the *Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater* for the following components when removed: (1) crown molding in the entrance vestibule (profile and

- pattern drawings shall be provided); (2) the stage (the configuration shall be maintained); (3) balcony light fixtures, and seats (include drawings of a typical seat, photographs of configuration, and the salvage and storage of the decorative metal end panels).
5. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than June 9, 2017.
  6. By ordinance, all approvals granted in this certificate of appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.

## ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Plans
4. Photos
5. Correspondence

## Statement of Proposed Use and Description of the Project

The Hollywood Theater is designated as a local landmark and is also listed in the National Register of Historic Places. As a local landmark, the project is subject to the review and approval of the Minneapolis Heritage Preservation Commission, and all other regulations of Title 23, Chapter 599, Heritage Preservation, of the City of Minneapolis Code of Ordinances. The overall project will pursue federal and state historic tax credits, and will be reviewed by the Minnesota State Historic Preservation Office (SHPO) for compliance with the Secretary of the Interior's Standards for Rehabilitation. In addition, the project is also financed in part with funds provided by the State of Minnesota through the Minnesota Historical Society from the Arts and Cultural Heritage Fund, which requires Minnesota Historical Society review for this project and all proposed work for the next 20 years per the Letter of Agreement. The overall preservation strategy is "rehabilitation" of the building for a future office reuse.

This written application follows a Pre-Application meeting with Rebecca Farrar and Brian Schaffer that took place on March 28, 2013, an informational presentation at the May 14, 2014 meeting of the Minneapolis Heritage Preservation Commission, and a second pre-application meeting with Rebecca Farrar on May 7, 2015. Ongoing coordination, communication, and meetings have also been held with Miles Mercer. The proposed use for the Hollywood Theater after redevelopment is creative office space.

The scope of work associated with this application has been defined by the Redevelopment Agreement for the property that was executed between the City of Minneapolis and the applicant. This scope of work is referred to in the Redevelopment Agreement as the "Minimum Improvements." Work during this phase also includes owner-requested add alternates as well as work financed in part with funds provided by the State of Minnesota through the Minnesota Historical Society from the Arts and Cultural Heritage Fund ("Legacy Grant"). Though the add alternates are included in the overall scope of work below, they are specified as alternates in the construction drawings and specifications. Alternates are pending funding.

The Redevelopment Agreement outlines the Minimum Improvements as follows:  
*"...rehabilitation of the primary exterior and façade, exterior marquee, sign and canopy as well as the following interior improvements: (i) rehabilitation of the outer lobby; (ii) reconstruction of the ticket booth; (iii) preservation of historic elements of the inner lobby and main auditorium; and (iv) stabilization of the basement and related improvements on the Property in accordance with the Construction Plans."*

More specifically, the work associated with this application includes the following items:

### **Exterior**

- **Repair of the masonry at the west façade (the primary façade of the building).** Masonry rehabilitation work at the west façade includes: 100% repointing of all mortar joints, resetting and anchoring loose and misaligned granite veneer panels, 100% repointing of limestone parapet capstones, and resetting and re-anchoring of loose or displaced parapet capstones. (See also enclosed drawings D200-D203, A4.00- A4.02, EC000, EC001).

- **Repair of the canopy, sign, and marquee.** The marquee and canopy will be fully rehabilitated. Rust and staining occurring at the metal soffit panels and stepped metal fascia will be cleaned using the gentlest means possible per the *National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals*. All soffit panels will be repainted. The roof access panel will be removed and roofed over. A hinged access panel, matching the soffit panels, will be installed in place of a fixed soffit panel. Missing soffit panels, or those damaged beyond repair, will be replaced with new panels to match the existing material and finish. The fascia will be returned to the original polished finish throughout. The “HOLLYWOOD” lettering will be repaired and refinished where rust and damaged has occurred. All lettering will be repainted on both sides and new LED lighting will be provided in the original light bulb locations. Lighting at the underside of the canopy and over the ticket booth will also be replaced with LED lighting. New LED lighting will match the appearance of historic lighting, in terms of bulb shape and attachment, as well as general appearance of light source during the daylight and when lit at night. All sockets, wiring and controls will be replaced and brought up to current code and a new electrical feed and circuits will be provided. The attraction board below the canopy will be rehabilitated. All pieces of stainless steel trim will be cleaned using the gentlest means possible. This includes the lettering grid. Where stainless steel trim pieces are missing or damaged beyond repair, they will be replaced in kind to match the existing. The existing plastic panels will be replaced with new translucent plexi-glass panels along with new acrylic lettering. All lighting within the attraction board will also be replaced with LED lighting. (See also enclosed drawings D103, D200, EC000, A1.10, A2.10, A3.01, A4.00, A4.01, A6.20, A6.21, H1.00, H1.01).
- **Repair and drainage of the canopy roofing.** The existing canopy roofing system will be removed, including the roof deck. A new steel deck, rigid foam board insulation (tapered for drainage) and a TPO membrane roof will be installed in its place. The roofing replacement includes new flashing and trim pieces where required. A new roof drain will be added to the roof and will be routed inside the building above the ceiling level in the adjacent existing office, and connected to the storm sewer.
- **Reconstruction of the ticket booth.** The ticket booth will be reconstructed based on the original drawings. To prevent future movement and separation from the building, a new reinforced concrete footing will be poured adjacent to the existing foundation wall. The footing will be doweled into the existing concrete floor and will have a brick ledge for installation of the existing granite panels. There will be an airspace behind the granite panels, 3 inches of rigid foam insulation, a continuous weather barrier, and a 4 inch structural concrete masonry unit back-up wall. At the interior, ¾ inch finish grade plywood will be installed. A granite countertop will be installed at the ticket booth to match the historic granite base. One-half inch tempered, insulated glass will be provided at the window panels and installed in an aluminum U-channel at the countertop. The vertical joints between glass panes will be aluminum channels to match what was there historically. The new wood head

trim will match the original based on the historic drawings and what is remaining of the original. A new ceiling, constructed with 2X wood framing and finish grade plywood, filled with closed cell spray foam insulation, will be installed. Construction of the ceiling will terminate at the existing beam line. The existing electrical will be removed to prepare for the future installation of an upgraded electrical system. The exterior lighting above the ticket booth will be refurbished and replaced with LED bulbs as part of the marquee restoration. New LED lighting will match the appearance of historic lighting, in terms of bulb shape and attachment, as well as general appearance of light source during the daylight and when lit at night. (See also enclosed drawings D1.01, D200, EC000, EC111, EC112, A2.10, A4.00, A6.10, A6.11, H2.00).

- **Rehabilitation and restoration of the remaining poster cases.** Existing exterior poster cases will be restored. Restoration will include replacing hardware if needed, cleaning rust, loose paint and debris off the metal using the gentlest means possible per the *National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals and Repairing Damaged or Missing Ornamental Metal* specification section provided by the U.S. General Services Administration (<http://www.gsa.gov/portal/content/113794>). Once cleaned, all pieces will be repainted with an exterior grade alkyd-enamel, semi-gloss finish. Any missing components that are beyond repair will be replaced. Replacement components will be reconstructed to match the originals based on the original drawings and existing examples. Restored cases will be reinstalled. (See also enclosed drawings D200, EC000, A4.00, A4.01, H4.00).
- **Replacement of the projection room windows.** The plywood infill will be removed. Steel casement replacement windows matching the original profile, sizes, and lite divisions, as closely as possible, based on drawings, details, specifications and photographs will be installed. The steel windows will have a baked enamel or powder-coat finish and will have clear insulated glazing and true divided lites. (See also enclosed drawings D200, D203, A4.00, A4.01, A8.00, A8.02, H5.00).
- **Replacement of the first floor office window.** The plywood infill will be removed. A steel fixed replacement window matching the original profile, size, lite division, as closely as possible, based on drawings, details, specifications and photographs will be installed. The replacement window will have clear insulated glazing and true divided lites. (See also enclosed drawings D200, D203, A4.00, A4.01, A8.00, A8.02, H5.00).
- **Replacement of the primary entry doors to meet accessibility guidelines.** The 1948 aluminum entrance doors and original wood frame will be removed. The primary entrance opening will be retained in its current size and location; however, the existing door and frame arrangement will be reconfigured in order to meet state building code requirements for accessibility and exiting. A new pair of aluminum storefront doors will be separated from a sidelite with a wood mullion matching the existing. The new door and sidelite will match the style of the 1948 doors and have a clear anodized aluminum finish to match their color. Glazing will be clear, fully-

tempered, insulating glass with a low-e coating. Code-compliant accessible hardware, including an exterior pull and a panic bar at the interior will be provided. Work will include removing rust from the existing steel lintel, priming with rust inhibitive coating and repainting. (See also enclosed drawings D101, D200, EC000, EC110, A2.01, A4.00, A8.00-A8.02).

- **Refurbishment of the exit doors.** The existing exit doors on the front of the building will be repaired, existing hardware will likely be removed, and the doors will be secured in place. Broken glass will be replaced with clear, fully tempered, insulated glass. The doors will be caulked to prevent air leakage. Work will also include removing rust from the existing steel lintel, priming with rust inhibitive coating and repainting. The doors will be augmented with an interior clear, anodized aluminum storm window system for energy efficiency. The storms will be removable for ease of maintenance and the aluminum profiles will be sized such that they do not project past the sightlines of the existing aluminum door components. Mullions will be aligned behind the meeting stiles of the doors. The new storms will fit within the existing framed openings. (See also enclosed drawings D101, D200, EC000, EC110, A2.01, A4.00, A8.00-A8.02).
- **Rehabilitation of the porthole light fixtures above the exit doors.** The porthole light fixtures above the main exit doors and recessed fixtures over the main entrance will be repaired where possible and replaced where components are missing or damaged beyond repair. Replacement parts of exposed components, including trim rings, recessed reflectors, and glass lenses will match the original in size, shape, color and assembly, unless doing so does not meet code. Also, the fixtures will be re-lamped to use LED bulbs. Repairs and replacement of metal pieces will follow the National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals. (See also enclosed drawings D200-203, EC000, EC001, A4.00- A4.02).
- **Rehabilitation of the chimney.** The chimney was retrofitted with steel straps to prevent falling limestone veneer; significant masonry repair is required for structural stabilization. Work at the chimney will include the removal of the concentric steel straps, removal of limestone blocks, and repairing damage to back-up brick. Repairing brick will also require the remainder of the green tile and wood furring strips to be removed. Tiles will be salvaged for reinstallation. Brick repair will include careful removal of deteriorated or spalling brick, replacement of damaged or missing brick, and repointing of mortar joints. Once the back-up brick is repaired, limestone blocks will be reset and anchored with concealed anchors, and the mortar joints at the limestone will be repointed per *Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings*. Salvaged green tiles will be restored. Tiles will be cleaned using the gentlest means possible (per the *National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals* and *Repairing Damaged Or Missing Ornamental Metal* specification section provided by the U.S. General Services Administration (<http://www.gsa.gov/portal/content/113794>) and reinstalled over new furring

strips. After restoration of the tiles is complete, they will be reinstalled. If replacement tiles are needed, they will be fabricated to match the existing as closely as possible in shape, size, color, and finish. (See also enclosed drawings D200-D203, EC000, EC001, A2.30, A4.00-A4.02, H1.00).

- **Replace roof assembly at southwest low roof (area C).** \*See A2.30 for the location of specified roof areas. The roofing at roof area C will be removed to the existing deck. The roof drain and associated piping will be removed, along with any terminations, caps, and flashing. The existing parapet walls will be prepped for the installation of a new TPO membrane roofing system. New insulation will be provided to re-slope the roof toward a new south scupper and the existing, non-original west scupper will be removed. The opening will be infilled with brick to match the original by toothing in and blending the replacement brick and mortar joints with the original brick and mortar. New flashing and terminations will be provided as required to construct a proper, waterproof roofing system. The parapet capstones are a life safety hazard and the lack of maintenance contributes to the accelerated deterioration of the soft masonry walls. The capstones will be removed and repairs will be performed on the parapet wall. Repairs to the parapet wall will include repointing per NPS *Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings*, spot masonry repairs to the interior face of the wall and other necessary repairs uncovered by removing the capstones, flashing and roofing system. New through-wall flashing will be provided and the existing capstones will be re-anchored to the parapet wall. (See also enclosed drawings, D103, D200, D201, D203, A2.30, A2.30, A4.00, A4.01).
- **Patch and repair roof at tie-in areas where existing drains are being replaced or modified.** (See also enclosed drawings D103, D200, D201, D203, A2.30, A2.31, A4.00, A4.01).
- **Repair shed roof at north elevation.** The existing shingles at the shed roof (north elevation) will be removed and the deflection in the roof deck will be repaired. Once repairs have been made to the deck and structure, new underlayment and shingles along with sheet metal roof-to-wall flashings will be installed. A new prefinished metal gutter and downspout will be installed at the eave. (See also enclosed drawings D103, D200- D203, EC001, A2.30, A2.31, A4.01, A4.02).
- **Repair of the masonry at the north, east and south façades (the secondary façades of the building).** Work will including repointing of the joints, resetting and anchoring of the parapet capstones, brick replacement where units are severely deteriorated. Repointed mortar joints will match the existing in color, texture, strength, joint width and joint profile. Graffiti and paint coatings at the masonry will be removed using the gentlest means possible. In addition to the graffiti removal, masonry cleaning, after rehabilitation work is complete, is proposed per *Preservation Brief 1: Cleaning and Water-Repellent Treatments for Historic Masonry Buildings* and *Preservation Brief 38: Removing Graffiti from Historic Masonry*. Beam ends on the east elevation will receive sheet metal caps. The top course of masonry wall below the shed roof will be rebuilt when the roof is replaced. New brick will

match the adjacent and be toothed in. Spalled or broken masonry units will be patched with a compatible patching material or replaced in kind, if repair is not feasible. The brick piers will be investigated to determine the extent of work required at each. An area of brick veneer at the top of each pier will be removed and the integrity of the backup masonry and steel column will be assessed. If found to be sufficient, repairs at each pier will consist of repointing continuous cracks, installing sheet metal cap flashing at the top of each column and selective replacement of deteriorated brick at the base of the piers. Replacement brick will match the adjacent brick. If the pier is separated from the wall, the veneer will be re-anchored with restoration ties. The parge coat at one north elevation pier will be removed. (See also enclosed drawings D200-D203, A4.00- A4.02, EC000, EC001).

- **Remove and reset terra cotta copings at North, East, and South facades.** Repair masonry substrate in damaged areas and install new parapet flashing with sheet metal receiver at existing roof termination. At steps in parapet, remove one piece of clay tile coping at each side of step. Install step flashing at vertical surface and through-wall flashing at top of brick, each side. Reinstall clay tile coping pieces. (See also enclosed drawings A2.30, A2.31).
- **Provide new security lighting.** The modern exit lights above the north side doors will be removed, and new security lighting will be provided above all secondary exit doors (north, south and east elevations). Installation of security light fixtures will avoid putting holes in brick masonry. Attachments will be made in the mortar joints. New fixtures that do not suggest a historic connection to the building will be selected. The gooseneck fixtures will be removed and holes in the masonry from their installation will be patched to match the existing masonry. Light fixture selected: Juno Lighting Polaris LED, DT – Trapezoid in Bronze Finish. (See also enclosed drawings D200-203, EC000, EC001, A4.00- A4.02).
- **Repair roofing where damaged.** \*See A2.30 for the location of specified roof areas. Areas where roof flashing is missing and damaged are contributing to water intrusion and further deterioration of the masonry and steel structure. The roof drain and piping at area B will be replaced as required to connect to the rainwater leader. The parapet capstones are a life safety hazard and contribute to the accelerated deterioration of the soft masonry walls. The capstones will be removed and repairs will be performed on the parapet wall. Repairs to the parapet wall will be similar to those noted above. New through-wall flashing will be provided and the existing capstones will be re-anchored to the parapet wall. Work at roof area D includes providing a new sheet metal reglet or transition flashing between the roof and chimney wall panels. New reglets will be cut in mortar joints. Minor surface erosion areas at roof area E will be repaired and the roof drain and piping will be replaced as required to connect to the rainwater leader. In addition, a new secondary overflow roof drain will be provided at area E, along with necessary flashing. The roofing at the gambrel roof will be repaired in kind in damaged areas only. Delaminated base flashings and deteriorated plywood backing will be removed and new backing and flashing installed in its place. Parapet capstones will be

removed and salvaged for reinstallation. Spot repairs will be performed to the masonry substrate of the parapet wall. Repairs to the parapet wall are similar to those noted above. The exact scope will be determined once the capstones and flashing are removed. New through-wall flashing will be installed with an integrated sheet metal receiver to overlap the roof's base flashing. The existing capstones will be re-anchored to the parapet wall. Terra Cotta capstones will be reset with the transverse joints placed downslope to avoid future damage to the underlying wall. (See also enclosed drawings, D103, D200-D203, A2.30, A2.31, A4.00-A4.02).

- **Rehabilitation of secondary exit doors.** All secondary exit doors and frames on the North, East and South facades will be removed and replaced with a single operable (accessible width) hollow metal flat (steel) door and smaller hollow metal steel fixed door with no dividing astragal. The new doors will fit within the existing opening. Both pairs of secondary exit doors in the Second Foyer will be made accessible in width and be provided with appropriate code-compliant hardware. Both pairs of doors at the alley will be for emergency exiting only, fit with the required emergency exit hardware, per the City of Minneapolis as a condition for the encroachment permit. Replacement doors will match the existing door style as closely as possible. The frames will be replaced with hollow metal frames. All doors and frames will be primed and painted. (See also enclosed drawings D101, D200-D203, EC001, EC118, A2.10, A4.00-A4.02, A8.00).
- **Rehabilitate steel lintels at openings at the North, East and South facades.** Rehabilitation includes: rust removal, priming with rust-inhibitive coating, and repainting. (See also enclosed drawing A4.00, A4.01, A4.02).
- **Remove the existing areaway below the sidewalk.** Opening to be infilled with concrete block. Install reinforcing and tie-in to existing wall. Install foundation wall waterproofing. Place backfill and sidewalk subgrade as required by the City of Minneapolis. Provide new sidewalk. (See also enclosed drawings A1.10, A2.00).
- **Remove and replace metal soffit panels at north overhang.** Provide coil-coated aluminum panels (white) in maximum width available, or to match existing width. Provide Firestone UC-00 Flush Panel System. (See also enclosed drawing A3.01).

## **Interior**

- **Lobby – Reconstruction of the ticket booth.** See above.
- **Lobby – Refinishing of the terrazzo floor.** The terrazzo floor and base will be retained and protected in place during demolition and construction. Work at the terrazzo floor will consist of cleaning with a liquid, neutral chemical cleaner complying with the National Terrazzo and Mosaic Association (NTMA) recommendations and a compound cleaner manufactured specifically for restorative type cleaning of terrazzo surfaces. The floor will also be sealed with an interior floor sealer which is colorless, slip and stain resistant, which will not affect the color or physical properties of the existing terrazzo floor. Mock-ups of the cleaning and refinishing will be provided at a discreet area of the floor for review

and approval by the SHPO prior to completing the work. (See also enclosed drawings EC110, EC111, A2.10).

- **Lobby - Documentation and removal of the existing candy counter, ceiling element and ticket counter.** Because the ticket counter, candy counter, shelving and decorative ceiling feature at the candy counter are all in a general state of disrepair, with much of the original fabric no longer intact, each item will be documented with photographs and measured drawings and the items will be removed from the building. (See also enclosed drawings D001, D101, D150, EC111, A2.10, A3.01, A6.10, A6.11).
- **Office - Remaining wood chair rail and floor base will be removed.** The safe, plywood mechanical chase, mechanical, and electrical equipment will be removed. The pendant light fixture will be removed and salvaged for the owner on site. (See also enclosed drawings D001, D101, D150, EC112, A2.10, A3.01, A4.01, A8.00, A8.02).
- **First Foyer - Rehabilitation of the exit doors. (See above.)** Removal of exit hardware and installation of interior storm windows.
- **First Foyer - Refinishing of the terrazzo floor.** The terrazzo floor and base will be retained and protected in place during demolition and construction. Work at the terrazzo floor will consist of cleaning and sealing as noted above. (See also enclosed drawings EC110, EC111, A2.10).
- **First Foyer - Rehabilitation of the fountain.** The terrazzo fountain base will remain and will receive the same treatment as noted above. The existing fountain piping will be capped within the wall in an accessible location. The mirror will be recreated based on the historic drawings, using the same joints as indicated, but not reinstating the same flora and chain motif. (See also enclosed drawings D001, D101, D150, EC110, A2.10, A3.01, A7.00, H3.00).
- **First Foyer - Rehabilitation of the sheet metal alcoves at the fountain and Lobby to First Foyer entrance.** The metal door framing setbacks will be restored to their original condition. Metal pieces will be cleaned using the gentlest means possible and refinished monochromatically to match the historic photograph and per the *National Park Service Guidelines for Rehabilitating Historic Buildings: Architectural Metals*. New LED lighting will be provided in lieu of original incandescent lighting. LED lighting will match the appearance of historic lighting, in terms of bulb shape and attachment, as well as general appearance of light source during the daylight and when lit at night. (See also enclosed drawings D001, D101, D150, EC110, A2.10, A3.01, A7.00, H3.00).
- **Second Foyer - Protection of the decorative metal guardrail in the inner lobby, terminating at the basement stair.** All railings will be retained and protected in place during demolition and construction of this phase, until the overall rehabilitation work for the office use is ready to commence. Protection of the railings and guardrails will consist of being covered completely with foam insulation at the sides and top. Insulation will be installed in such a manner that it will not adhere to any of the elements. Crating, constructed of plywood and dimension

lumber will be installed to hold the insulation and padding in place and protect from being dislodged by contact. Care will be taken so as to not install mechanical fasteners into or through the elements. (See also enclosed drawings EC101, EC113, EC116, A2.00, A2.10, A2.20).

- **Second Foyer - Protection of remaining light fixtures, rope stanchions, drinking fountains, and poster cases in the inner lobby.** Interior poster cases, wood base trim, rope stanchions, radiator shield cover and drinking fountains will be retained and protected in place. Protection of such features will include (where feasible) being covered completely with foam insulation at the sides, bottom, and top. Insulation will be installed in such a manner that it will not adhere to any of the elements. Crating, constructed of plywood and dimension lumber will be installed to hold the insulation and padding in place. Care will be taken so as to not install mechanical fasteners into or through the elements. (See also enclosed drawings D001, D101, D150, EC113, EC114, A2.10, A3.01).
- **Auditorium - Protection of the remaining plaster elements at the auditorium, including faux balconies and columns and proscenium.** All remaining plaster, lath and framework will be protected during demolition and construction and retained in place for future rehabilitation. (See also enclosed drawings D151, EC101, EC110-EC117, EC120, EC121).
- **Auditorium - Protection of porthole light fixtures at the auditorium.** Remaining historic porthole light fixtures in the Auditorium will be removed, stored and protected during demolition and construction. They will be stored within the building. Protection of the porthole light fixtures will involve fully covering the elements with foam insulation, assuring that insulation will not adhere to elements. Plywood and dimension lumber crating will be constructed to hold the insulation and padding in place and to protect the elements from being dislodged by contact. Care will be taken to not install mechanical fasteners into elements. All protective measures to remain in place throughout construction. All other historic light fixtures (Lobby, First Foyer, Second Foyer, additional Auditorium fixtures) will remain in place and be protected from damage, awaiting future rehabilitation work. (See also enclosed drawings D001, D102, D150, D151, D204, D205, EC112, EC114, EC117, A2.10, A3.01, A3.02, A7.00).
- **Auditorium - Protection of decorative metal guardrails at the auditorium.** All railings will be retained and protected in place during demolition and construction. Protection of the railings and guardrails will consist of being covered completely with foam insulation at the sides and top. Insulation will be installed in such a manner that it will not adhere to any of the elements. Crating, constructed of plywood and dimension lumber will be installed to hold the insulation and padding in place and protect from being dislodged by contact. Care will be taken so as to not install mechanical fasteners into or through the elements. (See also enclosed drawings EC101, EC113, EC116, A2.00, A2.10, A2.20).
- **Auditorium - Power wash existing roof trusses and underside of roof structure to remove debris.** (See also enclosed drawing A2.00).

- **Auditorium - The remaining seats and end caps will be removed.** End caps will be removed, salvaged and stored within the building for future rehabilitation. Seats will be removed. (See also enclosed drawings D001, D101, D151, D204, D205, EC116, EC117, A2.10, A2.20, A3.01, A3.02, A7.00).
- **Balconies and Proscenium - The wood enclosure at each balcony will be removed along with the existing mechanical equipment, piping, conduit and wiring.** The wood tongue and groove floor will be removed as required to remove the existing mechanical and electrical assemblies. The floor will be retained and stored on site for future reinstallation. The remaining plaster and metal elements of the proscenium pillars and flat panel will be retained and protected from damage. The remaining fragments of curtains and their mounting hardware will be removed and a 6 inch by 6 inch sample of each type of fabric given to the Owner for documentation purposes. (See enclosed drawings D001, D102, D205, D205, EC117, EC121, A2.20).
- **Stage - The original stage will remain in place and be protected from damage during demolition and construction.** The non-historic plywood and dimensional lumber stage extension will be removed. The screen will be removed. The metal framed stairs will be removed. The speaker and other movie theater, HVAC, electrical equipment and wiring will be removed. (See also enclosed drawings D001, D101, D204, EC117, EC118, A2.10, A3.01).
- **Projection Room - The mechanical equipment, electrical conduit and wiring will be removed.** The projection equipment will be removed and salvaged for the Owner. The existing openings in the east wall of the Projection Room will remain. No rehabilitation work will occur at the concrete floor, plaster wall and ceiling finishes during this phase. (See also enclosed drawings D001, D102, D151, D204, D205, EC120, A2.20, A3.02).
- **Basement – Stabilization, replacement of the current rain leaders and connection to the city-provided bulkhead.** In the lower level, rain leader piping coming from the north half of the building will be routed through the Fuel Room, Women’s Restroom, Powder Room, and Lounge, where it will connect to the storm sewer line at the west wall. Rain water leader piping from the south half of the building will largely follow existing concealed routes to the basement lounge. All new rainwater leaders will be installed at room edges and held tight to the concrete ceiling. (See also enclosed drawings D001, D100, D150, EC100, EC101, A2.00, A3.00).
- **Basement - Work at the basement will include selective demolition of items such as the plumbing fixtures, toilet partitions, existing heating, ventilating, and air conditioning equipment, piping, conduit and wiring, radiators, existing rain water leaders, and the areaway.** (See also enclosed drawings D001, D100, D150, EC100, EC101, A2.00, A3.00).
- **Basement – Clean and patch existing concrete tunnels and prep for future new finish.** (See also enclosed drawing A2.00).

- **Removal and replacement of rain leaders.** Replacement rainwater leaders in the first floor Office will be routed tight to the concrete ceiling (above the plaster ceiling metal framework) and walls and down to the basement. The new rainwater leader from the canopy roof will also be routed through the Office. Existing rain water leaders will be removed as needed for the installation of new piping. New rain water leaders will be installed at all existing roof drain locations and at the canopy roof. They will generally follow existing routes down through the building and be located within wall cavities, in secondary spaces, and above finished ceilings at the main and upper levels. (See also enclosed drawings D001, D101, D102, D150, D151, EC100, A2.10, A2.20, A3.01, A3.02).
- **Throughout – Additional selective demolition to prepare for future overall building rehabilitation.** Demolish existing mechanical systems and equipment and other items as discussed in other bullet points. Provide all necessary shoring and lighting. Salvage items as indicated in drawings. (See also enclosed drawings D001-D205).

## Written Statement of Required Findings

*(1) The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

### **Local Landmark Designation Significance**

Criteria of Significance: Art Deco architecture, remnant of a pattern of neighborhood theater growth

Period of Significance: 1920-1939

The Hollywood Theater is an individually designated landmark and is also included in the Neighborhood Movie Theater Thematic District. Both the interior and exterior are historically designated for Art Deco architecture and styling. With its highly coordinated interior color scheme and original detailing, the Hollywood Theater is one of the most intact Art Deco theaters remaining in Minnesota. Additionally, the Hollywood Theater is considered significant as a remnant of a pattern of theater/entertainment growth that took place in the United States between 1920 and 1939 - the property's corresponding period of significance.

### **National Register of Historic Places Designation Significance**

Criteria of Significance: Criteria A and C

Period of Significance: 1935-1954

The Hollywood Theater was listed in the National Register of Historic Places on February 5, 2014. The nomination received support from the Minneapolis Community Planning and Economic Development office. The theater was nominated under both Criterion A for entertainment/recreation as an example of the patterns and trends of movie theater ownership and development in the years between World War One and World War Two, and Criterion C for architecture as a substantially intact example of a neighborhood movie theater designed by the architectural firm Liebenberg and Kaplan. The period of significance for the National Register of Historic Places designation varies from the local designation; the period of significance for the NRHP designation is from 1935, when the building was constructed, to 1954, when the Johnson Street Streetcar line that once transported moviegoers to the theater, was demolished along with the entire Twin Cities Rapid Transit streetcar network.

### **Finding**

The proposed work will rehabilitate the exterior, making it weather-tight and preventing further deterioration of the building. It will also rehabilitate features that are currently boarded over or non-functional such as the marquee, ticket booth, and the entrance and exit doors. Character defining features at the interior will also be restored or stabilized. This work is compatible with and supports the historic designation(s) by preserving materials and features that contribute to its historic significance. All alterations and repairs will follow the Neighborhood Movie Theater Thematic District Guidelines (adopted by the Minneapolis HPC in 1991), the Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater (adopted by the Minneapolis HPC in 2009), as well as the Secretary of the Interior's Standards for Rehabilitation, ensuring that the historical significance of the building at both the local and national levels is protected and maintained.

*(2) The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

### **Interior and Exterior Designation**

The Hollywood Theater is a historic landmark in the City of Minneapolis as well as a property listed in the National Register of Historic Places. The property is designated at the exterior and interior for both. At the local level, this designation includes the First Foyer, the Second Foyer, the stairway to the lower level, the main auditorium, and the balcony, as well as all aspects of the exterior.

### **Finding**

The Minimum Improvements rehabilitates character-defining features at the exterior, while stabilizing, protecting and rehabilitating character-defining features at the interior, contributing to the overall integrity and significance of the building. All exterior and interior alterations and repairs to the Hollywood Theater will follow the Neighborhood Movie Theater Thematic District Guidelines (adopted by the Minneapolis HPC in 1991), the Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater (adopted by the HPC in 2009), as well as the Secretary of the Interior's Standards for Rehabilitation. Proposed exterior work includes the rehabilitation of the primary façade, exterior marquee, sign, and canopy. It also includes reconstruction of the ticket booth. Interior work includes the rehabilitation of the First Foyer, the preservation of historic elements of the Second Foyer and main auditorium

*(3) The alteration is compatible with and will ensure the integrity of the landmark or historic district for which the district was designated.*

### **Integrity**

The Hollywood Theater is a historic landmark in the City of Minneapolis as well as a property listed in the National Register of Historic Places. According to the local designation for the property, the Hollywood Theater retains the highest degree of exterior and interior integrity of any of the theaters in the thematic district.

### **Finding**

The Minimum Improvements will stabilize, protect, and rehabilitate interior and exterior elements of the property that contribute to its overall integrity. All alterations and repairs to the Hollywood Theater will follow the Neighborhood Movie Theater Thematic District Guidelines (adopted by the Minneapolis HPC in 1991), the Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater (adopted by the HPC in 2009), as well as the Secretary of the Interior's Standards for Rehabilitation. The design of the proposed exterior security lighting is contemporary and compatible in nature; it does not provide a false sense of history.

*(4) The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

#### **Applicable Design Guidelines**

The Hollywood Theater is a historic landmark in the City of Minneapolis, and as such is subject to the following design guidelines: Neighborhood Movie Theater Thematic District Guidelines (adopted by the Minneapolis HPC in 1991), and the Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater (adopted by the HPC in 2009), and the Secretary of the Interior's Standards for Rehabilitation.

#### **Finding**

All alterations and repairs to the Hollywood Theater will follow the Neighborhood Movie Theater Thematic District Guidelines (adopted by the Minneapolis HPC in 1991), the Framework for the Treatment of Character Defining Features for the Reactivation of the Hollywood Theater (adopted by the HPC in 2009), and the Secretary of the Interior's Standards for Rehabilitation. Proposed work for the Minimum Improvements maintains the goal of rehabilitation and stabilization; therefore, the proposed scope of work does not materially impair the significance or integrity of the building. In addition, the proposed new light fixtures are utilitarian in nature; they do not provide a false sense of history.

*(5) The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

#### **The Secretary of the Interior's Standards for the Treatment of Historic Properties**

The Hollywood Theater is a historic landmark in the City of Minneapolis, is listed in the National Register of Historic Places, and the overall rehabilitation project intends to make use of federal historic tax credits.

#### **Finding**

The replacement windows will match the original and the replacement entry doors will match the c. 1948 replacement doors. The marquee, canopy, signage, poster cases, lighting, drinking fountains, terrazzo floors, and other character-defining features will be rehabilitated or protected for future rehabilitation. All alterations, repairs and treatments are consistent with the recommendations contained in the Secretary of the Interior's Standards for the Treatment of Historic Properties.

*(6) The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

## **Preservation Ordinance**

The proposed scope of work will follow all applicable regulations of Title 23, Chapter 599 of the Minneapolis Code of Ordinances “Heritage Preservation.”

## **Comprehensive Plan and Relevant Small Area Plans**

The proposed scope of work is consistent with City of Minneapolis Comprehensive Plan and the Audubon Park Neighborhood Small Area Plan. The reuse of the Hollywood Theater furthers the goals of the Comprehensive Plan which include promoting the protection and reuse of culturally significant buildings. Per the plan’s policy 8.10, this project has the potential to become an example of the revitalization of an iconic neighborhood structure, thus exemplifying the importance of preservation as it relates to the city’s history, vitality and “achieving greater environmental sustainability.” Specific recommendations from the small area plan include the utilization of the Hollywood Theater being used as a multi-use entertainment venue. However, the neighborhood is amenable to an interim use until the building is able to be fully restored to a theater use. A use has not yet been determined, but it is being planned for a business occupancy.

## **Finding**

The proposed scope of work is consistent with the Heritage Preservation Ordinance, the Comprehensive Plan, and Audubon Park Neighborhood Small Area Plan. The proposed scope of work allows an interim creative office use space. The future reuse of the building as a theater is being maintained due to the reversible nature of all proposed new work.

The applicant and Owner have been working with the neighborhood, city staff, and CM Reich to develop neighborhood support for the project. Two presentations (September 10, 2012 and June 3, 2013) have been made at the Audubon Park Neighborhood Association community meetings. Two open houses of the Hollywood Theater were held, June 1, 2013 and May 31, 2014. The Audubon Neighborhood Association has written a letter of support for the exclusive development rights, and have amended it for the Redevelopment Agreement.

Heritage Preservation Policy 8.10: Promote the benefits of preservation as an economic development tool and a method to achieve greater environmental sustainability and city vitality.

*8.10.5 Prioritize the reuse of the city’s historic buildings as a strategy for sustainable development.*

*8.10.6 Market the city’s high quality, architecturally interesting, readily available and affordable housing and commercial properties.*

## **Consideration of Documents and Regulations**

*(1) The description and statement of significance in the original nomination upon which designation of the landmark was based.*

The proposed scope of work was determined after consideration of the description and statement of significance in the original nomination upon which designation of the Hollywood

Theater was based. Refer to Item 1 above for a detailed description. The proposed scope of work includes rehabilitation and stabilization of elements of the Hollywood Theater that contribute to the building's significance. This rehabilitation and stabilization work will prevent further deterioration and loss of material integrity.

*(2) Where applicable, Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

According to Table 530-1, "Buildings and Uses Subject to Site Plan Review" of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review, the proposed use and rehabilitation of the site are not subject to Site Plan Review. A site plan review would be required if the project included a new principal building, addition, building with dwelling units, drive-thru facility, automobile service use, recycling, single-family dwellings or a transportation use. In addition, there is no site work proposed in this first phase of Minimum Improvements.

*(3) The typology of treatments delineated in the Secretary of Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic properties.*

The proposed scope of work was determined after consideration of the Secretary of the Interior's Standards for the Treatment of Historic Properties. Specifically, the overall preservation strategy is "rehabilitation" of the building.

## Summary of Progress toward Approval of State and Federal Reviews and Permits

### **State Historic Tax Credits**

Part A of the Minnesota Application (description of work, photos, drawings and specifications) has been reviewed and conditionally approved by the MN SHPO. See attached email dated, April 27, 2015, for conditions.

### **Federal Historic Tax Credits**

Historic Preservation Certification Application Part 2 –Description of Rehabilitation documents (description of work, photos, drawings and specifications) has been reviewed and forwarded to the National Park Service by the MN SHPO.

### **Minnesota Historical and Cultural Heritage Grants – Legacy Grant**

Review documents (drawings and specifications) have been uploaded to the Minnesota Historical Society's (MNHS) portal website. Documents have been reviewed and are conditionally approved, per the April 27, 2015 email from SHPO. PVN is awaiting the formal letter of conditions from MNHS.

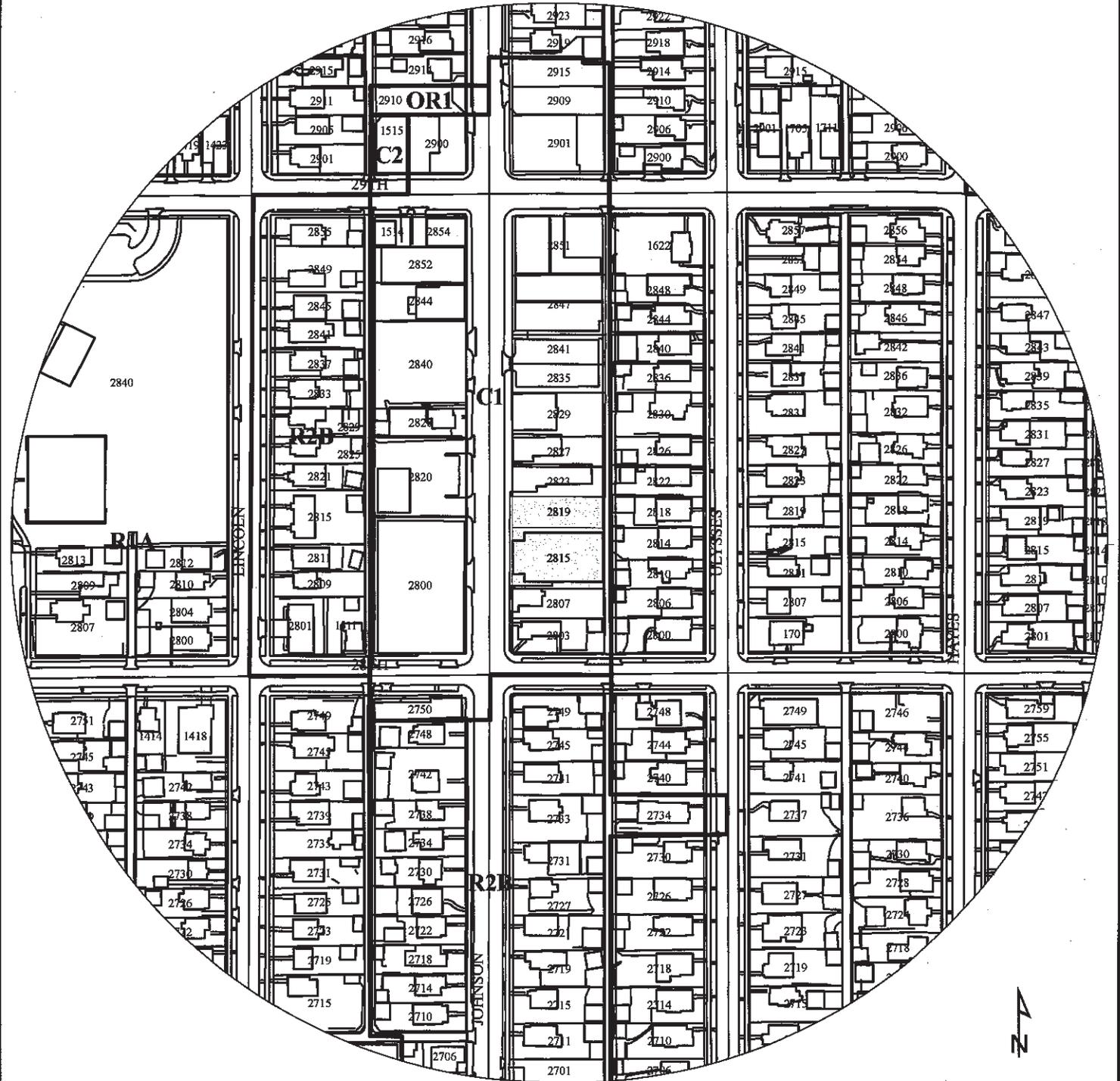
### **City of Minneapolis Preliminary Development Review and Encroachment Permit**

The plan submittal was reviewed by City Staff. The most recent letter, dated January 27, 2015, was labeled "Resubmission Required" based on the pending HPC submittal.

An application for an encroachment permit was filed and approved. Signatures from the Owner and requested insurance requirements will be obtained prior to submitting the building permit application and materials.

### **Metropolitan Council | Environmental Services SAC/WAC**

The application was submitted, April 30, 2015. A follow-up email was sent by the Met Council notifying us of the 10-15 day review period.



200 100 0 200 400

PROPERTY ADDRESS

2815 and 2819 Johnson Street NE

FILE NUMBER

BZH-28673

# HOLLYWOOD THEATER MINNEAPOLIS, MN

## MINIMUM IMPROVEMENTS AND ADD ALTERNATES

THIS PROJECT HAS BEEN FUNDED IN PART BY THE STATE OF MINNESOTA THROUGH THE MINNESOTA HISTORICAL SOCIETY FROM THE ARTS AND CULTURAL HERITAGE FUND.



### DESIGN BUILD NOTES:

- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND IMPLEMENTATION OF STORMWATER PLUMBING SYSTEM DESCRIBED HEREIN. PLUMBING SYSTEM TO SATISFY APPLICABLE CODES. MECHANICAL CONTRACTOR TO MEET WITH ARCHITECT AND COORDINATE PIPING RUNS, SIZES AND LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS. SUBMITTALS SHALL BE SUPPLIED FOR ALL INSTALLED ITEMS. COORDINATION DRAWINGS SHOWING PIPE ROUTING ARE REQUIRED TO BE SUBMITTED PRIOR TO START OF CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR DESIGN AND IMPLEMENTATION OF ELECTRICAL SYSTEM TO SERVE THE PROJECT DESCRIBED HEREIN. ELECTRICAL SYSTEM TO SATISFY APPLICABLE CODES. CONTRACTOR'S ELECTRICAL ENGINEER TO REVIEW POWER REQUIREMENTS AND EXISTING BUILDING SERVICE PRIOR TO SUBMITTING SHOP DRAWINGS.
- ELECTRICAL CONTRACTOR TO MEET AND COORDINATE EXPOSED CONDUIT LOCATIONS AND RUNS WITH ARCHITECT PRIOR TO SUBMITTING SHOP DRAWINGS. PROVIDE ARCHITECT WITH ALL DEVICE LOCATIONS FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO COORDINATE LAMPING AND OPERATION OF MARQUEE ELEMENTS WITH OWNER PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS AND PRODUCT DATA. COORDINATION DRAWINGS, SHOP DRAWINGS AND PRODUCT DATA TO BE SUBMITTED TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE 5% ATTIC STOCK OF ALL BULB TYPES USED.



PROJECT LOCATION:  
2815 Johnson St. NE



### DRAWING INDEX

#### GENERAL DRAWINGS

- G 0.00 COVER SHEET / DRAWING INDEX
- V 1.00 SITE SURVEY
- LS1.00 LIFE SAFETY INFORMATION

#### DEMOLITION DRAWINGS

- D 001 EXISTING CONDITIONS
- D 100 LOWER LEVEL DEMOLITION AND EXISTING CONDITIONS
- D 101 FIRST FLOOR DEMOLITION AND EXISTING CONDITIONS
- D 102 MEZZANINE LEVEL DEMOLITION AND EXISTING CONDITIONS
- D 103 DEMOLITION PLAN - ROOF LEVEL
- D 150 LOWER LEVEL AND FIRST FLOOR REFLECTED CEILING PLANS: DEMO AND EXISTING CONDITIONS
- D 151 MEZZANINE LEVEL REFLECTED CEILING PLAN: DEMOLITION AND EXISTING CONDITIONS
- D 200 WEST ELEVATION DEMOLITION AND EXISTING CONDITIONS
- D 201 SOUTH ELEVATION DEMOLITION AND EXISTING CONDITIONS
- D202 EAST ELEVATION DEMOLITION AND EXISTING CONDITIONS
- D203 NORTH ELEVATION DEMOLITION AND EXISTING CONDITIONS
- D204 WEST-EAST INTERIOR ELEVATION DEMOLITION AND EXISTING CONDITIONS
- D205 EAST-WEST INTERIOR ELEVATION DEMOLITION AND EXISTING CONDITIONS

#### EXISTING CONDITIONS & DEMOLITION REFERENCE PHOTOGRAPHS

- EC000 EXISTING CONDITIONS PHOTOS: EXTERIOR
- EC001 EXISTING CONDITIONS PHOTOS: EXTERIOR
- EC100 EXISTING CONDITIONS & DEMOLITION PHOTOS: LOWER LEVEL
- EC101 EXISTING CONDITIONS & DEMOLITION PHOTOS: LOWER LEVEL
- EC110 EXISTING CONDITIONS & DEMOLITION PHOTOS: FIRST FLOOR
- EC111 EXISTING CONDITIONS & DEMOLITION PHOTOS: FIRST FLOOR
- EC112 EXISTING CONDITIONS & DEMOLITION PHOTOS: FIRST FLOOR
- EC113 EXISTING CONDITIONS & DEMOLITION PHOTOS: FIRST FLOOR
- EC114 EXISTING CONDITIONS & DEMOLITION PHOTOS: FIRST FLOOR
- EC115 EXISTING CONDITIONS & DEMOLITION PHOTOS: FIRST FLOOR
- EC116 EXISTING CONDITIONS & DEMOLITION PHOTOS: FIRST FLOOR, MEZZ
- EC117 EXISTING CONDITIONS & DEMOLITION PHOTOS: FIRST FLOOR, AUDITORIUM
- EC118 EXISTING CONDITIONS & DEMOLITION PHOTOS: FIRST FLOOR
- EC120 EXISTING CONDITIONS & DEMOLITION PHOTOS: MEZZANINE
- EC121 EXISTING CONDITIONS & DEMOLITION PHOTOS: MEZZANINE

#### ARCHITECTURAL DRAWINGS

- A 1.01 GENERAL NOTES AND ABBREVIATIONS
- A1.10 SITE PLAN
- A 2.00 FLOOR PLAN - LOWER LEVEL
- A 2.10 FLOOR PLAN - MAIN LEVEL
- A 2.20 FLOOR PLAN - MEZZANINE LEVEL
- A 2.30 ROOF PLAN
- A 2.31 ROOF DETAILS
- A 3.00 REFLECTED CEILING PLAN - LOWER LEVEL
- A 3.01 REFLECTED CEILING PLAN - MAIN LEVEL
- A 3.02 REFLECTED CEILING PLAN - MEZZANINE LEVEL
- A 4.00 EXTERIOR ELEVATIONS
- A 4.01 EXTERIOR ELEVATIONS
- A 4.02 EXTERIOR ELEVATIONS
- A 6.10 TICKET BOOTH ENLARGED PLAN AND DETAILS
- A 6.11 TICKET BOOTH DETAILS
- A 6.20 MARQUEE ENLARGED PLANS AND DETAILS
- A 6.21 MARQUEE DETAILS
- A 7.00 INTERIOR ELEVATIONS
- A 8.00 DOOR SCHEDULE, TYPES, AND DETAILS
- A 8.01 DOOR AND WINDOW DETAILS
- A 8.02 DOOR AND WINDOW DETAILS

HISTORIC DRAWING SHEETS (FOR REFERENCE ONLY)  
HISTORIC DRAWINGS AND PHOTOGRAPHY PROVIDED COURTESY OF THE NORTHWEST ARCHITECTURAL ARCHIVES, NORTHWEST ARCHITECTURAL ARCHIVES, UNIVERSITY OF MINNESOTA LIBRARIES; MINNEAPOLIS, MINNESOTA

- H 1.00 MARQUEE DRAWING SHEET
- H 1.01 MARQUEE DRAWING SHEET
- H 2.00 TICKET BOOTH DRAWING SHEET
- H 3.00 FOYER DRAWING SHEET
- H 4.00 DISPLAY CASE DRAWING SHEET
- H 5.00 WINDOW AND DOOR DETAILS

SNOW  
KREILICH  
ARCHITECTS

2400 RAND TOWER  
527 MARQUETTE AVENUE  
MINNEAPOLIS, MN 55402  
612 359 9430  
WWW.SNOWKREILICH.COM

## HOLLYWOOD THEATER

2815 Johnson St. NE  
Minneapolis, MN 55418

MINIMUM IMPROVEMENTS AND ADD ALTERNATES

CLIENT  
Out of the Past Redevelopment, LLC.  
1325 Winter St. NE  
Suite 100  
Minneapolis, MN 55413  
612 746 1774

HISTORIC PRESERVATION  
Preservation Design Works  
575 9th St. SE, Ste 215  
Minneapolis, MN 55414  
612 843 4140

NOT FOR  
CONSTRUCTION

Preservation Review 18 Mar 2015

2014.19 tkm  
Project Number Drawn By

COVER SHEET /  
DRAWING INDEX

**G 0.00**

# ALTA/ACSM LAND TITLE SURVEY FOR: PRESERVATION DESIGN WORKS, LLC

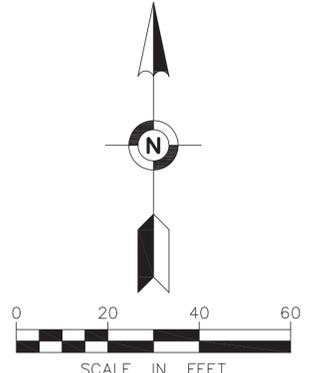
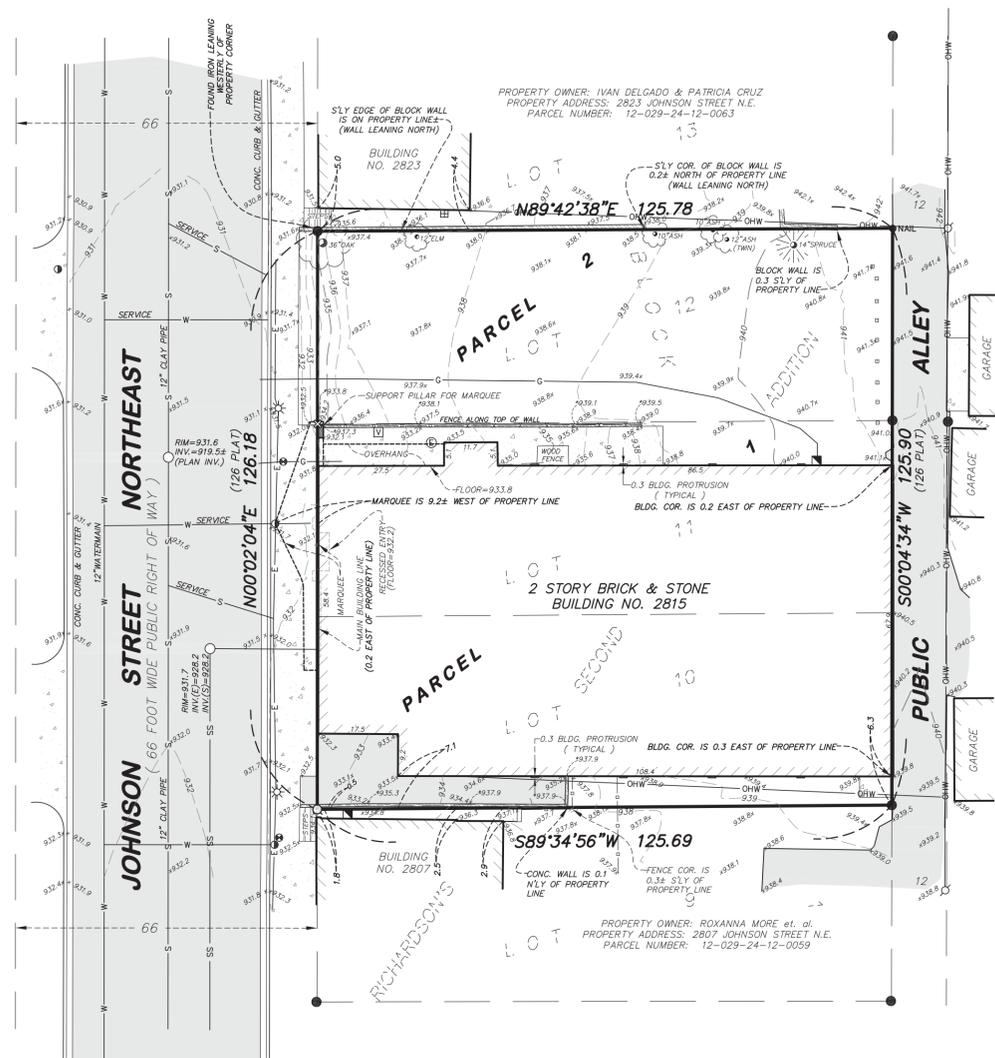
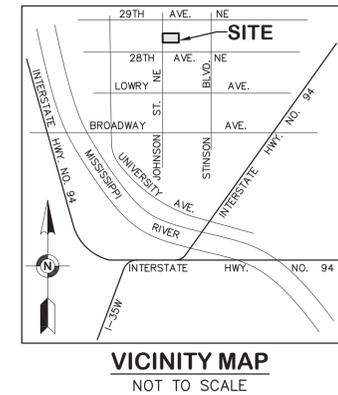
## LEGAL DESCRIPTION:

Parcel 1:  
Lots 10 and 11, Block 2, Richardsons Second Addition, according to the recorded plat thereof, Hennepin County, Minnesota.

Parcel 2:  
Lot 12, Block 2, Richardsons Second Addition, according to the recorded plat thereof, Hennepin County, Minnesota.  
(Abstract Property)

## NOTES:

- The orientation of this bearing system is based on the Hennepin County Coordinate Grid (NAD 83-96 Adj.).
- The total area of the property described hereon is 15,847 square feet or 0.364 acres.
- The legal description and easement information used in the preparation of this survey were based on the Commitment for Title Insurance issued by Guaranty Commercial Title, Inc., as agent for Old Republic National Title Insurance Company, File No. 60445, having an effective date of June 19, 2014 at 7:00 A.M.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 142100478. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The property described hereon does not lie within any flood hazard areas per Federal Insurance Rate Map No. 27053 C 0240 E, which is a unprinted panel for Community No. 27053.
- No zoning report or letter was received from the insurer pursuant to Optional Table A, Items 6(a) and 6(b), as set forth in the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys.
- As of the date of this certification the property described hereon does not contain any visibly striped parking spaces.
- Adjacent property owners, addresses, and parcel numbers were obtained from the Hennepin County Property Information Web Site.
- BENCHMARK: Top nut of the hydrant located in the southwest quadrant of Johnson Street Northeast and 28th Avenue Northeast. Elevation = 936.24 feet (NAVD 88) per the MNDOT VRS Network.



- FOUND IRON MONUMENT
- ⊗ FOUND CHISELED CROSS
- FOUND NAIL
- SET IRON MONUMENT MARKED WITH LICENSE NUMBER 44123

- ### LEGEND
- MANHOLE
  - STOP BOX
  - ⊕ ELECTRIC MANHOLE
  - ⊖ ELECTRIC METER
  - ⊙ LIGHT
  - ⊙ UTILITY POLE
  - ⊙ GAS METER
  - ⊙ GAS VALVE
  - ⊙ WOOD GUARD POST
  - ⊙ SIGN
  - ⊙ VENT
  - CHAIN LINK FENCE
  - WOOD FENCE
  - WIRE FENCE
  - ▨ WALL
  - OHW
  - OVERHEAD WIRE
  - SANITARY SEWER
  - STORM SEWER
  - WATERMAIN
  - UNDERGROUND ELECTRIC
  - UNDERGROUND GAS
  - SPOT ELEVATION
  - EXISTING CONTOUR LINE
  - TREE
  - BITUMINOUS SURFACE
  - CONCRETE SURFACE

## SURVEY ITEMS PER SCHEDULE B:

ITEM 5: All minerals and mineral rights were reserved by Loretta Borgan, in an instrument filed as Document No. 8137410. (As to Parcel 2)

## CERTIFICATION:

To Out of the Past Redevelopment, LLC, a Minnesota limited liability company; City of Minneapolis; Guaranty Commercial Title, Inc.; and Old Republic National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 11(b) and 13 of Table A thereof. The field work was completed on July 30, 2014.

Date of Plat or Map: July 30, 2014.

*Brent R Peters*  
Brent R Peters  
Minnesota License No. 44123

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
2812	47	L.S.	NO.	DATE
			DESCRIPTION	
DRAWN BY: kgf				
CHECKED BY: BRP				
DRAWING NAME: 35979.dwg				
JOB NO. 35979				
FILE NO. 2477				

**ALTA/ACSM LAND  
TITLE SURVEY**

**SURVEY FOR:  
PRESERVATION DESIGN WORKS, LLC**

**PROPERTY ADDRESS:  
2815 & 2819 Johnson Street Northeast  
Minneapolis, Minnesota 55418**



1229 Tyler Street NE, Suite 100  
Minneapolis, Minnesota 55413  
PHONE: (612) 466-3300  
FAX: (612) 466-3383  
WWW.EFNSURVEY.COM  
COPYRIGHT © 2014 BY EGAN, FIELD & NOWAK, INC.

BUILDING WILL NOT BE OCCUPIED BASED ON THE WORK DEPICTED IN THESE DOCUMENTS (EXISTING OCCUPANCY DEPICTED)

CODE ANALYSIS

HOLLYWOOD THEATER, MINNEAPOLIS MN

MINIMUM IMPROVEMENTS FOR HISTORIC PRESERVATION.

APPLICABLE CODES:

- 2006 INTERNATIONAL BUILDING CODE
- 2007 MN STATE BUILDING CODE
- 2000 GUIDELINES FOR THE REHABILITATION OF EXISTING BUILDINGS
- 2003 MN STATE BUILDING CONSERVATION CODE

PROPOSED OCCUPANCY (IBC 301):

FORMER OCCUPANCY: A-1 (MOTION PICTURE THEATER)  
NEW OCCUPANCY: NOT OCCUPIED UNDER MINIMUM IMPROVEMENTS FOR HISTORIC PRESERVATION

EXISTING BUILDING HEIGHTS AND AREAS

HEIGHT:	2 STORIES = 34'-11 1/2"
AREA	
BASEMENT =	3383 GSF
MAIN FLOOR =	7957 GSF
MEZZANINE =	2040 GSF
11,340 (MEZZANINE NOT INCLUDED IN TOTAL PER IBC 505)	

CONSTRUCTION TYPE (IBC 602.5): TYPE VA

FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS (IBC TABLE 601):

- STRUCTURAL FRAME: 1 HR
- BEARING WALLS - EXTERIOR: 1 HR
- BEARING WALLS - INTERIOR: 1 HR
- NON-BEARING WALLS AND PARTITIONS - EXTERIOR: 0 HR
- NON-BEARING WALLS AND PARTITIONS - INTERIOR: 0 HR
- FLOOR CONSTRUCTION: 1 HR
- ROOF CONSTRUCTION: 1 HR

ALLOWABLE HEIGHT AND BUILDING AREA (IBC TABLE 503):

- ALLOWABLE HEIGHT: 2 STORY (ABOVE GRADE PLANE)
- ALLOWABLE AREA: 11,500 SQ FT PER FLOOR
- ACTUAL AREA = 3383 SQ FT BASEMENT
- 8458 SQ FT MAIN FLOOR

MEZZANINES (IBC 505)

- NOT PART OF BUILDING AREA PER 505.1
- LIMITED TO 1/3 THE AREA OF THE SPACE IT IS WITHIN.
- AUDITORIUM AREA = 6220 SQ FT
- MEZZANINE AREA = 1381 SQ FT

FIRE-RESISTANCE RATING REQUIREMENTS OF FOR EXTERIOR WALLS (IBC 602)

- WEST: 0 HR - EXTERIOR WALL > 10' FROM CENTERLINE OF STREET
- NORTH: 1 HR - EXTERIOR WALL < 10' FROM PROPERTY LINE
- EAST: 1 HR - EXTERIOR WALL < 10' FROM CENTERLINE OF ALLEY
- SOUTH: 1 HR - EXTERIOR WALL < 10' FROM PROPERTY LINE

ALLOWABLE OPENINGS (IBC 704.8)

- UNPROTECTED: NOT PERMITTED < 5
- 10% FROM 5' TO 10'
- 15% FROM 10' TO 15'
- 25% FROM 15' TO 20'
- 45% FROM 20' TO 25'
- PROTECTED: NOT PERMITTED < 3
- 15% FROM 3' TO 5'
- 25% FROM 5' TO 10'
- 45% FROM 10' TO 15'
- 75% FROM 15' TO 20'
- NO LIMIT BEYOND 20'

FIRE DOOR RATINGS (IBC 715.4)

1 HR RATED EXTERIOR WALLS: 45 MIN

INTERIOR WALL AND FINISH REQUIREMENTS (IBC 803.5)

- NON-SPRINKLERED
- EXIT ENCLOSURES AND EXIT PASSAGEWAYS: CLASS A (SEE EXCEPTION a FOR 1000 SQ FT OF CLASS C WAINSCOTTING IN GRADE-LEVEL LOBBY). CLASS A = FLAME SPREAD < 25, SMOKE-DEVELOPED < 450.
- CORRIDORS: CLASS B (PER EXCEPTION d). CLASS B = FLAME SPREAD 25-75, SMOKE-DEVELOPED < 450.
- ROOMS AND ENCLOSED SPACES: CLASS B

OCCUPANT LOADS (IBC 1004.1.1)

LOWER LEVEL			33
ASSEMBLY	368 SQ FT	15 NET	25 OCCUPANTS
MECHANICAL	2282 SQ FT	300 GROSS	8 OCCUPANTS
MAIN LEVEL			702
BUSINESS OCCUPANCY	105 SQ FT	100 GROSS	2 OCCUPANTS
STORAGE	70 SQ FT	300 GROSS	1 OCCUPANT
ASSEMBLY	5392 SQ FT	5 NET/FIXED	699 OCCUPANTS
MEZZANINE LEVEL			306
ASSEMBLY	2040 SQ FT	FIXED	304 OCCUPANTS
BUSINESS	180 SQ FT	100 GROSS	2 OCCUPANTS

EXIT WIDTH PER OCCUPANT (IBC 1005.1)

- NON-SPRINKLERED
- STAIRWAYS: 0.3 INCHES PER OCCUPANT
- OTHER EGRESS COMPONENTS: 0.2 INCHES PER OCCUPANT

SIZE OF DOORS (IBC 1008.1.1)

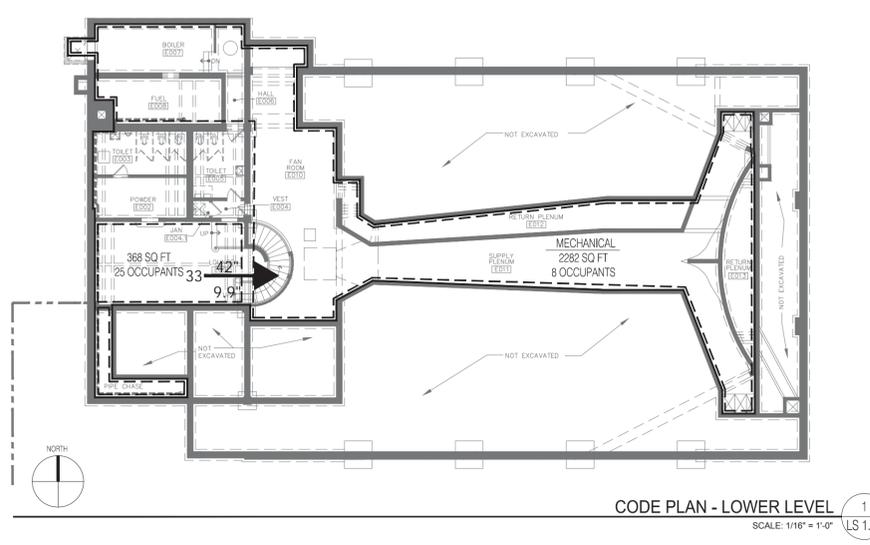
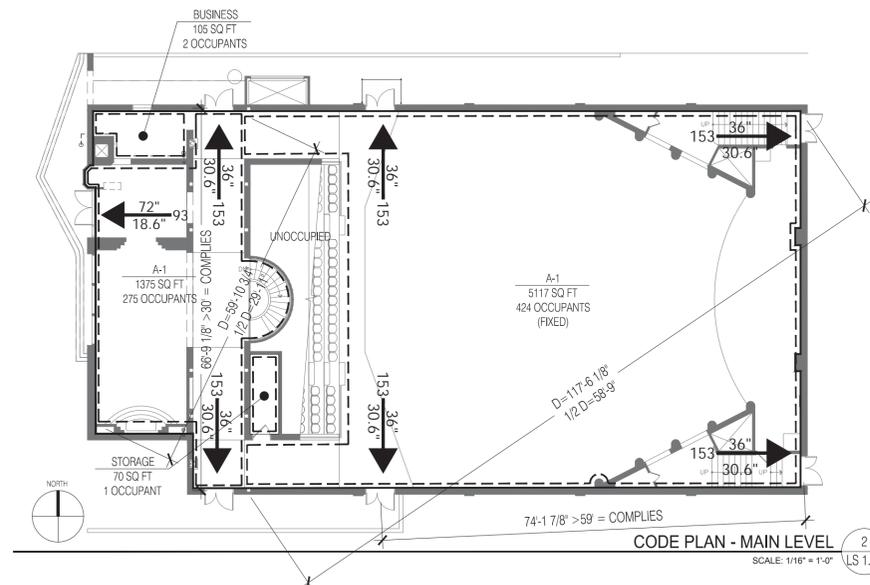
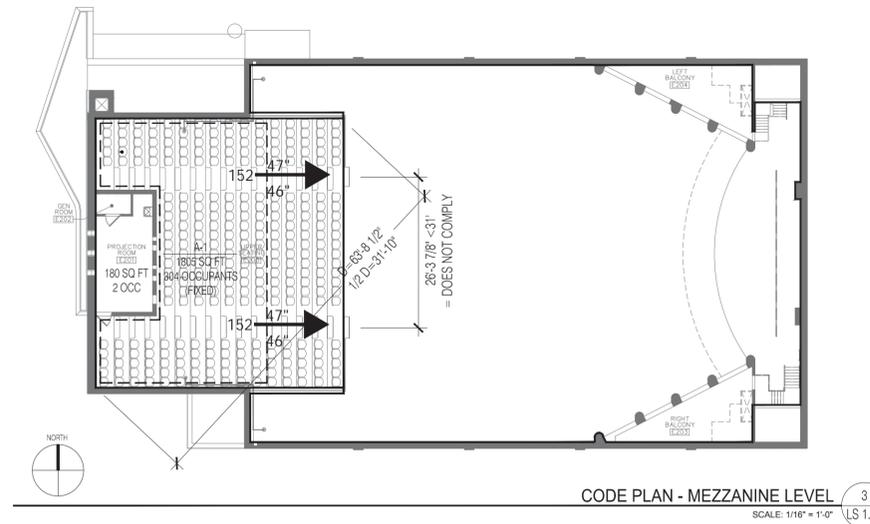
MINIMUM WIDTH IS 32" BETWEEN STOP AND DOOR WHEN OPEN 90°



REQUIRED ASSEMBLY RATING	MINIMUM OPENING PROTECTION ASSEMBLY
1 ONE-HOUR RATED	1 HOUR
2 TWO-HOUR RATED	1 1/2 HOUR
3 THREE-HOUR RATED	3 HOUR

◆ FIRE EXTINGUISHER (MAX. TRAVEL 75 FT) S FIRE DEPARTMENT CONNECTION (SMALLER CONNECTION)

- 1--- IBC 706 - 1 HR-RATED FIRE BARRIER
- 2--- IBC 706 - 2 HR-RATED FIRE BARRIER
- 3--- IBC 706 - 3 HR-RATED FIRE BARRIER



# SNOW KREILICH ARCHITECTS

2400 RAND TOWER  
527 MARQUETTE AVENUE  
MINNEAPOLIS, MN 55402  
612 359 9430  
WWW.SNOWKREILICH.COM

## HOLLYWOOD THEATER

2815 Johnson St. NE  
Minneapolis, MN 55418

MINIMUM IMPROVEMENTS AND ADD ALTERNATES

CLIENT  
Out of the Past Redevelopment, LLC.  
1325 Winter St. NE  
Suite 100  
Minneapolis, MN 55413  
612 746 1774

HISTORIC PRESERVATION  
Preservation Design Works  
575 9th St. SE, Ste 215  
Minneapolis, MN 55414  
612 843 4140

### NOT FOR CONSTRUCTION

Preservation Review 18 Mar 2015

2014.19 tkm  
Project Number Drawn By

LIFE SAFETY INFORMATION

# LS 1.00

## GENERAL DEMOLITION NOTES

1. CONTRACTOR IS EXPECTED TO VISIT THE WORK SITE OR AREA AND BECOME FAMILIAR WITH EXISTING CONDITIONS. CONTRACTOR TO VERIFY ALL CONDITIONS IN FIELD.
2. REMOVE ITEMS IN THEIR ENTIRETY AS INDICATED. CLEAN EXPOSED SURFACES. REMOVE ALL MASTIC, GLUE, PAINT, OR OTHER BUILT-UP MATERIALS FROM THE ENTIRE SURFACE. PROVIDE A SMOOTH SUBSTRATE SURFACE FOR THE APPLICATION OF NEW FINISHES. NOTIFY THE OWNER AND ARCHITECT, IN WRITING, OF ANY ASSEMBLIES OR AREAS CONTAINING HAZARDOUS MATERIALS THAT ARE PRESENT IN AREAS IN WHICH DEMOLITION WORK IS INDICATED. PREVIOUSLY COMPLETED HAZARDOUS MATERIALS REPORTS ARE AVAILABLE FOR REVIEW.
3. ITEMS BEING SALVAGED FOR THE OWNER OR REUSE ARE DOCUMENTED IN THE CONSTRUCTION DRAWINGS. IF THERE IS A DISCREPANCY OR QUESTION REGARDING SALVAGING PARTICULAR ITEMS, NOTIFY THE ARCHITECT FOR DECISION.
4. ITEMS DESIGNATED TO BE SALVAGED SHALL BE MOVED TO A SPECIFIED LOCATION WITHIN THE BUILDING DETERMINED BY THE OWNER. SALVAGED ITEMS TO BE SEPARATED FROM ANY ADJACENT CONSTRUCTION AND CLEANED. SALVAGED ITEMS ARE TO BE PROTECTED FROM BREAKAGE OR DAMAGE, AND STORED IN A CONDITION READY FOR REINSTALLATION. IF STABILIZATION IS NOT POSSIBLE, NOTIFY THE OWNER AND PREPARE TO THE GREATEST EXTENT POSSIBLE. LABEL SALVAGED ITEMS WITH LOCATION FROM WHICH THEY ARE REMOVED.
5. PROTECT IN PLACE ALL MATERIALS, ASSEMBLIES, AND UTILITIES INDICATED TO REMAIN. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. REPAIR ANY DAMAGE THAT MAY OCCUR DURING DEMOLITION OR CONSTRUCTION.
6. BRING TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING, ANY FINDINGS WHICH WERE NOT VISUALLY DETECTABLE PRIOR TO DEMOLITION.
7. RE-ROUTE ALL UTILITIES REQUIRED TO BE MAINTAINED PRIOR TO DEMOLITION OF EXISTING ROUTING, MOUNTING OR SUPPORT.
8. ALL RE-USED FIRE EXTINGUISHING EQUIPMENT MUST BE TESTED AND RE-CERTIFIED PRIOR TO INSTALLATION IN NEW WORK.
9. ELECTRICAL CONTRACTOR SHALL RECONNECT ANY LIGHTING, POWER, TELEPHONE, ETC. SYSTEMS IN AREAS TO REMAIN IF AFFECTED BY DEMOLITION.
10. EXISTING RAINWATER LEADERS TO BE REMOVED. REPLACE/RE-ROUTE AS SHOWN IN A2.00 SERIES DRAWINGS.
11. NOT ALL KEYNOTES ARE USED ON EACH SHEET.
12. LIMITED WORK AT THE LOWER LEVEL. INCIDENTAL WORK MAY BE REQUIRED.
13. FOR PROTECTION AND REHABILITATION NOTES, REFER TO ARCHITECTURAL DRAWINGS.

## LEGEND

- |   |   |
|---|---|
|  | EXISTING PARTITION TO REMAIN  |
|  | EXISTING PARTITION TO BE DEMOLISHED   |
|  | EXISTING COMPONENT TO REMAIN (SHOWN ON D-SERIES SHEETS)                                   |
|  | EXISTING COMPONENT TO BE DEMOLISHED (SHOWN ON D-SERIES SHEETS)                            |
|  | EXISTING DOOR & FRAME TO REMAIN, REFER TO D-SERIES SHEETS FOR ADD'L INFO                  |
|  | EXISTING DOOR TO BE DEMOLISHED. REFER TO D-SERIES SHEETS FOR ADD'L INFO                   |
|  | REFERENCE TO EXISTING CONDITIONS PHOTOGRAPH. ARROW INDICATES DIRECTION OF PHOTOGRAPH VIEW |

### DEMOLITION KEYNOTES

 D12

### ROOM INDICATORS

LOBBY      EXISTING ROOM NAME  
 E100      EXISTING ROOM NUMBER

## DEMOLITION KEYNOTES

### INTERIOR DEMOLITION KEYNOTES:

-  D1 > DOCUMENT THEN CAREFULLY DISASSEMBLE EXISTING TICKET BOOTH WALLS AS REQUIRED FOR INSTALLATION OF RECONSTRUCTED TICKETBOOTH PER CONSTRUCTION DOCUMENTS.
-  D2 > REMOVE EXISTING THEATER SEATING & RELATED COMPONENTS, SURVEY & INVENTORY, STORE SEATING FOR FUTURE REUSE AS DIRECTED BY OWNER. ALL END CAPS TO BE STORED ON SITE PER CITY OF MINNEAPOLIS. (BY OWNER)
-  D3 > REMOVE RAIN WATER LEADERS FROM CONNECTION POINT TO ROOF DRAIN. NEW LEADERS ARE TO CONNECT TO EXISTING ROOF DRAIN. DO NOT DAMAGE EXISTING DRAIN ASSEMBLY OR CONNECTION POINTS.
-  D4 > REMOVE, SALVAGE, CRATE AND STORE ON SITE FOR FUTURE REHABILITATION AND REINSTALLATION.
-  D5 > REMOVE EXIST DOORS, FRAME AND PLYWOOD COVERING.
-  D6 > REMOVE EXISTING PLUMBING FIXTURES & RELATED PIPING. (BY OWNER)
-  D7 > REMOVE EXISTING LIGHT FIXTURE. (BY OWNER)
-  D8 > REMOVE EXISTING HVAC, PIPING, CONDUIT AND/OR WIRING INCLUDING SUPPORT OR RETENSION FASTENERS & HANGERS, RADIATORS AND EQUIPMENT. (BY OWNER)
-  D9 > REMOVE EXISTING TOILET PARTITIONS AND RELATED COMPONENTS. (BY OWNER)
-  D10 > REMOVE EXISTING NON-HISTORIC WOOD FRAMED STAGE EXTENSION AND STAIR. (BY OWNER)
-  D11 > REMOVE EXISTING WOOD T&G FLOORING AS REQUIRED TO REMOVE EXISTING MECHANICAL AND ELECTRICAL ASSEMBLIES AND COMPONENTS AND AS NEEDED TO REINFORCE, REPLACE AND RESTRUCTURE FLOOR FRAMING. RETAIN AND STORE FOR REINSTALLATION AND REFINISHING DURING PHASE 2. (BY OWNER)
-  D12 > REMOVE EXISTING STEEL GRATE TREADS AND RAILINGS. (BY OWNER)
-  D13 > DOCUMENT EXISTING REMAINING CASEWORK/ CABINET AND CEILING ELEMENT PRIOR TO DEMOLITION. REMOVE EXISTING CASEWORK, SHELVING AND CEILING ELEMENT. (BY OWNER)
-  D14 > DOCUMENT EXISTING FRAMING AND RELATED HANGING COMPONENTS AND REMOVE. (BY OWNER)
-  D15 > ALTERNATE #1: REMOVE EXISTING CURTAIN AND SUSPENSIONS SYSTEM. PROVIDE 6" X 6" SAMPLE OF FABRIC TO OWNER.
-  D16 > REMOVE EXISTING CEILING AND ASSOCIATED FRAMEWORK. (BY OWNER)
-  D17 > ALTERNATE #1: REMOVE EXISTING MOVIE SCREEN AND SUPPORT FRAMING.
-  D18 > REMOVE SPEAKERS AND ASSOCIATED MOVIE SCREEN EQUIPMENT. (BY OWNER)
-  D19 > REMOVE EXISTING WOOD ENCLOSURE AS REQUIRED FOR DISASSEMBLY, REMOVAL AND DEMOLITION OF EXISTING MECHANICAL DUCTS AND RELATED COMPONENTS. DOCUMENT AND RETAIN MATERIAL FOR REUSE AND/OR REASSEMBLY. (BY OWNER)
-  D20 > REMOVE EXISTING SAFE. (BY OWNER)
-  D21 > REMOVE, SALVAGE AND INVENTORY EXISTING PROJECTION BOOTH RELATED EQUIPMENT, FURNITURE, ELECTRICAL AND MECHANICAL COMPONENTS, MOVE TO OWNER'S OFF-SITE STORAGE FACILITY OR RESTORATION SPECIALIST AS REQUIRED. (BY OWNER)
-  D22 > ALTERNATE #6: REMOVE EXISTING DOOR, FRAME AND HARDWARE. PREP FOR REPLACEMENT DOOR, FRAME AND SIDELITE PER CONSTRUCTION DOCUMENTS.
-  D23 > REMOVE EXISTING LADDER, PIPING, CONDUIT AND RELATED EQUIPMENT FROM AREA WAY. (BY OWNER)

-  D24 > ALTERNATE #9: REMOVE EXISTING STEEL FRAME AND LOOSE MASONRY AT OPENING, PREP FOR INFILL, PROVIDE TEMPORARY SHORING. REFER TO CONSTRUCTION DOCUMENTS FOR INFILL.
-  D25 > ALTERNATE #9: REMOVE EXISTING AREAWAY. WORK INCLUDES REMOVAL OF: CITY SIDEWALK, CONCRETE BLOCK WALLS, METAL FRAMING, CONCRETE FLOOR. COORDINATE WITH MUNICIPALITY. SHORE AS NECESSARY.
-  D26 > APPROXIMATE LOCATION OF EXPOSED, CRACKED SANITARY SEWER PIPING. REMOVE PORTION OF CONCRETE FLOOR REQUIRED TO EXPOSE PIPE FOR REPAIR.

### EXTERIOR DEMOLITION KEYNOTES:

-  D27 > REMOVE EXISTING METAL CHIMNEY STRAPS. WORK TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND MASONRY WORK.
-  D28 > REMOVE EXISTING REMAINING ENAMELED METAL TILES AND SALVAGE FOR REUSE. REMOVE EXISTING FURRING STRIPS. REFER TO SERIES A4.00 SHEETS FOR ADDITIONAL INFORMATION.
-  D29 > REMOVE AREA OF DISPLACED STONE VENEER AND SALVAGE FOR REUSE. REFER TO SERIES A4.00 SHEETS FOR ADDITIONAL INFORMATION.
-  D30 > REMOVE EXISTING DOORS AND FRAMES. REFER TO CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.
-  D31 > REMOVE EXISTING NON-HISTORIC SHEET METAL SCUPPER AS PART OF THE REQUIRED ROOF AND DRAINAGE WORK.
-  D32 > REMOVE EXISTING METAL BRACKET, SALVAGE FOR OWNER. WORK TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND MASONRY WORK. (BY OWNER)
-  D33 > ALTERNATE #4: REMOVE EXISTING NON-HISTORIC GUTTERS AND DOWNSPOUTS TO PERFORM MASONRY REHABILITATION WORK AS INDICATED ON CONSTRUCTION DOCUMENTS.
-  D34 > REMOVE TEMPORARY PLYWOOD COVERING AT EXTERIOR OPENINGS.
-  D35 > ALTERNATE #6: REMOVE TEMPORARY CHAIN LINK ENCLOSURE TO PERFORM MASONRY WORK AND ONCE BUILDING IS SECURED.
-  D36 > ALTERNATE #1: REMOVE EXIST LIGHT FIXTURE.

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Drawing Set Title  
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 IMPROVEMENTS AND  
 ADD ALTERNATES**

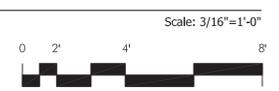
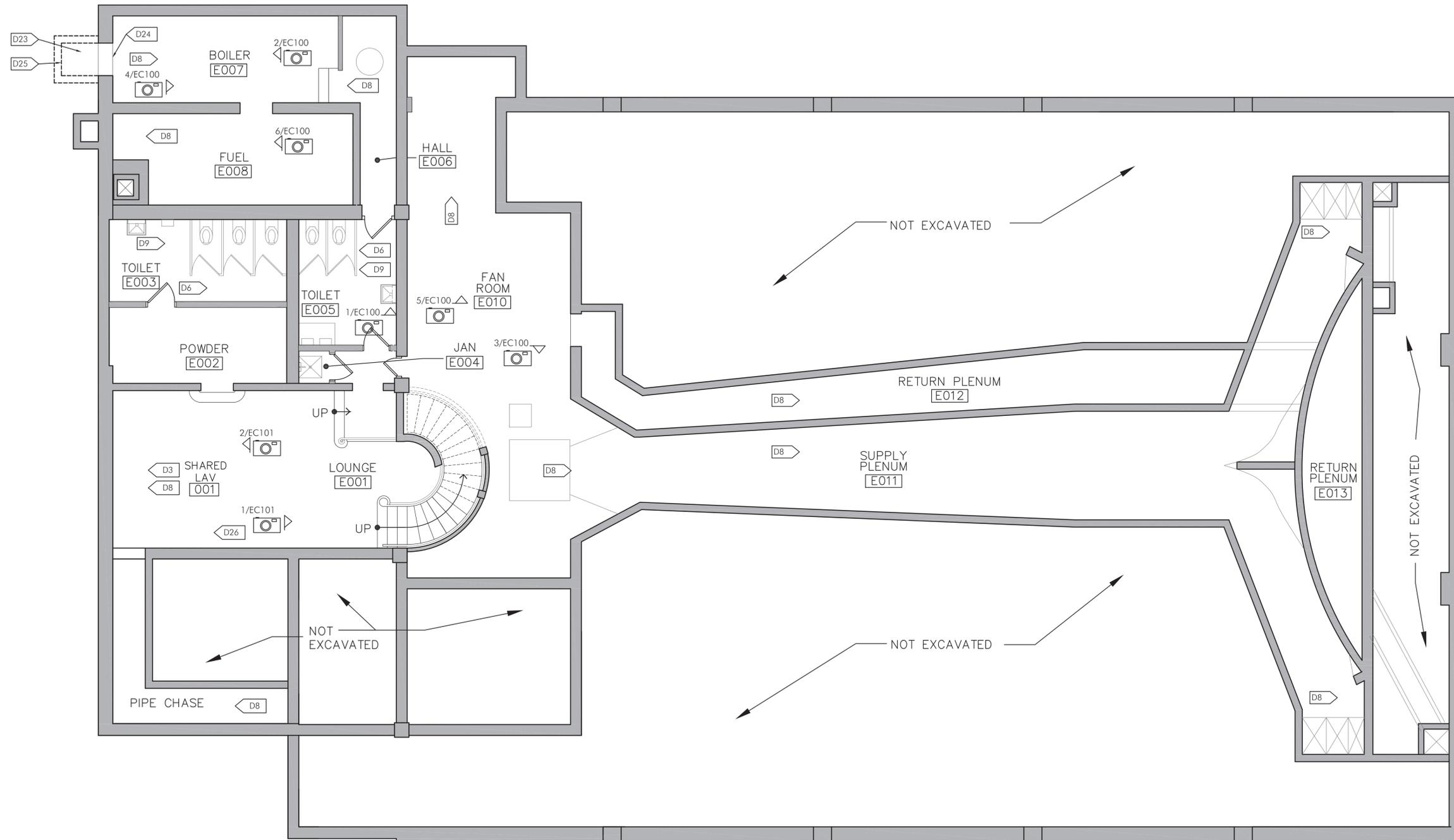
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 2815 JOHNSON STREET NE  
 MINNEAPOLIS, MN 55418

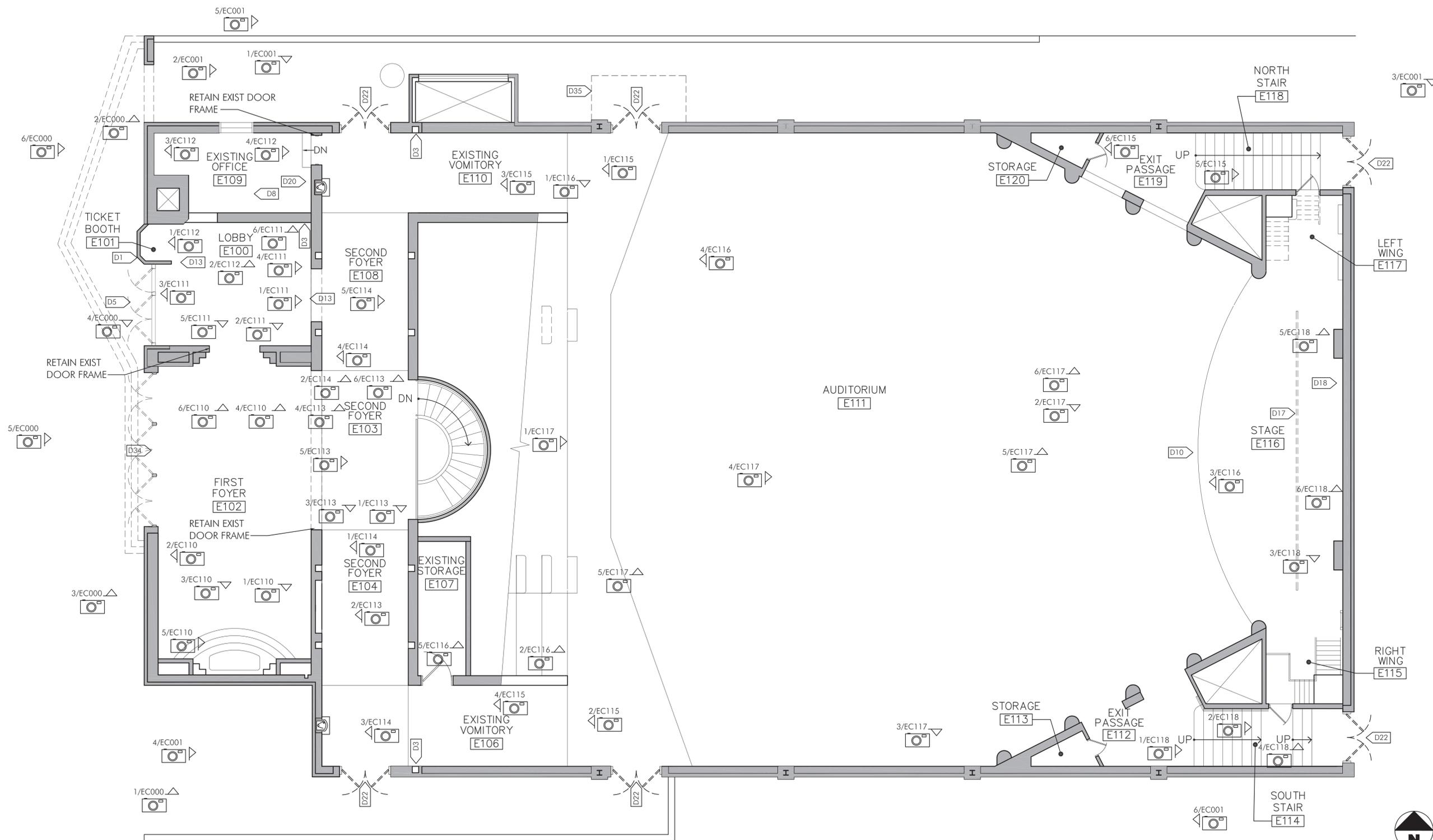
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**OUT OF THE PAST  
 REDEVELOPMENT, LLC**  
 1325 WINTER STREET NE  
 SUITE 100  
 MINNEAPOLIS, MN 55413

Comm No:	HOL
Date:	03/18/2015
Drawn by:	MFK
Checked by:	KJC

Sheet Title  
**DEMOLITION  
 KEYNOTES**

Sheet Number  
D001





**1** FIRST FLOOR DEMOLITION AND EXISTING CONDITIONS PLAN

Scale: 3/16"=1'-0"

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

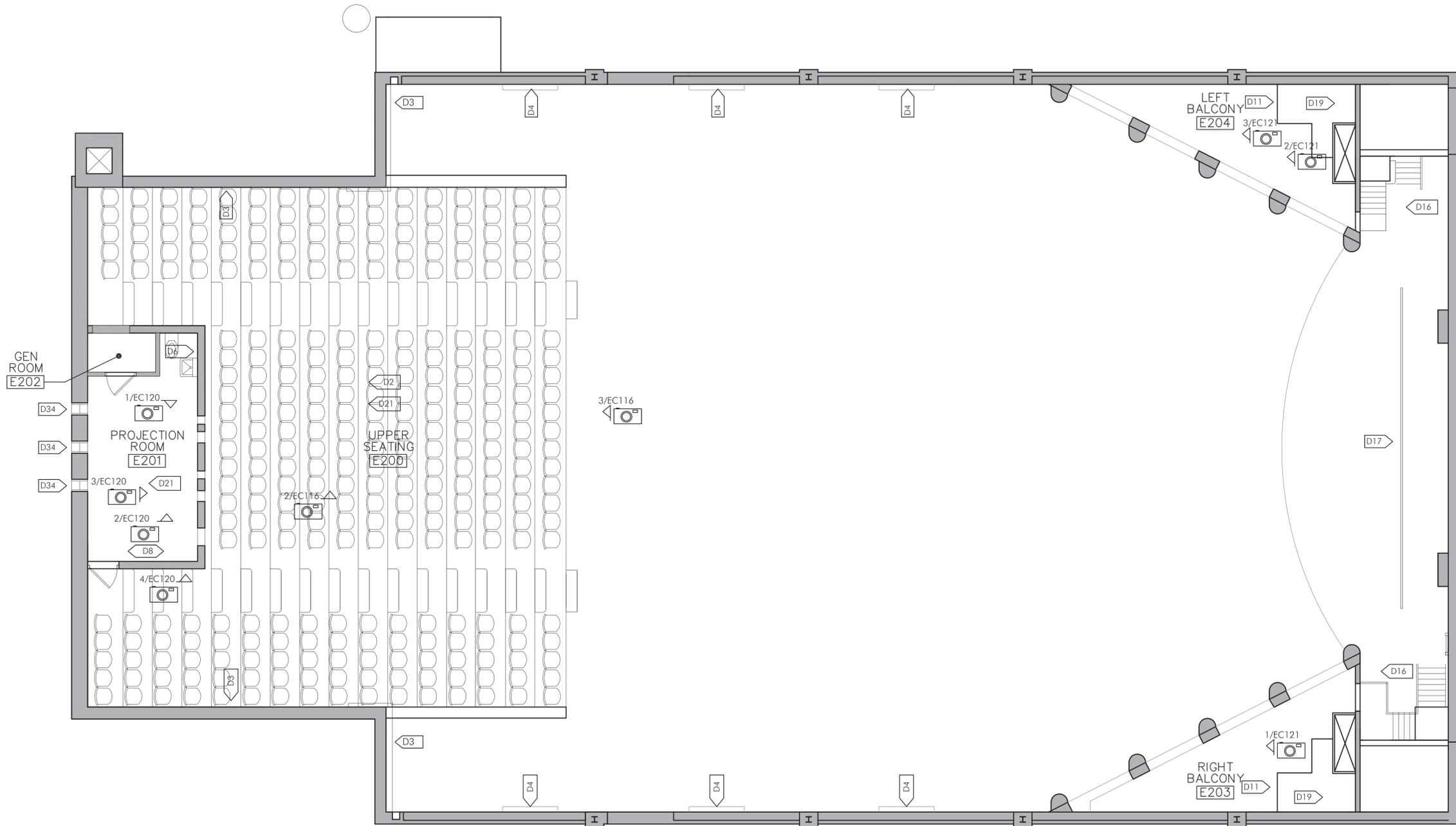
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 2815 JOHNSON STREET NE  
 MINNEAPOLIS, MN 55418

Client Name and Address  
**OUT OF THE PAST  
 REDEVELOPMENT, LLC**  
 1325 WINTER STREET NE  
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 MINNEAPOLIS, MN 55413

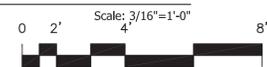
Comm No: HOL  
 Date: 03/18/2015  
 Drawn by: CLR  
 Checked by: -

Sheet Title  
**MEZZANINE LEVEL  
 DEMOLITION AND  
 EXISTING CONDITIONS**

Sheet Number  
**D102**



1 MEZZANINE LEVEL DEMOLITION AND EXISTING CONDITIONS PLAN



Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
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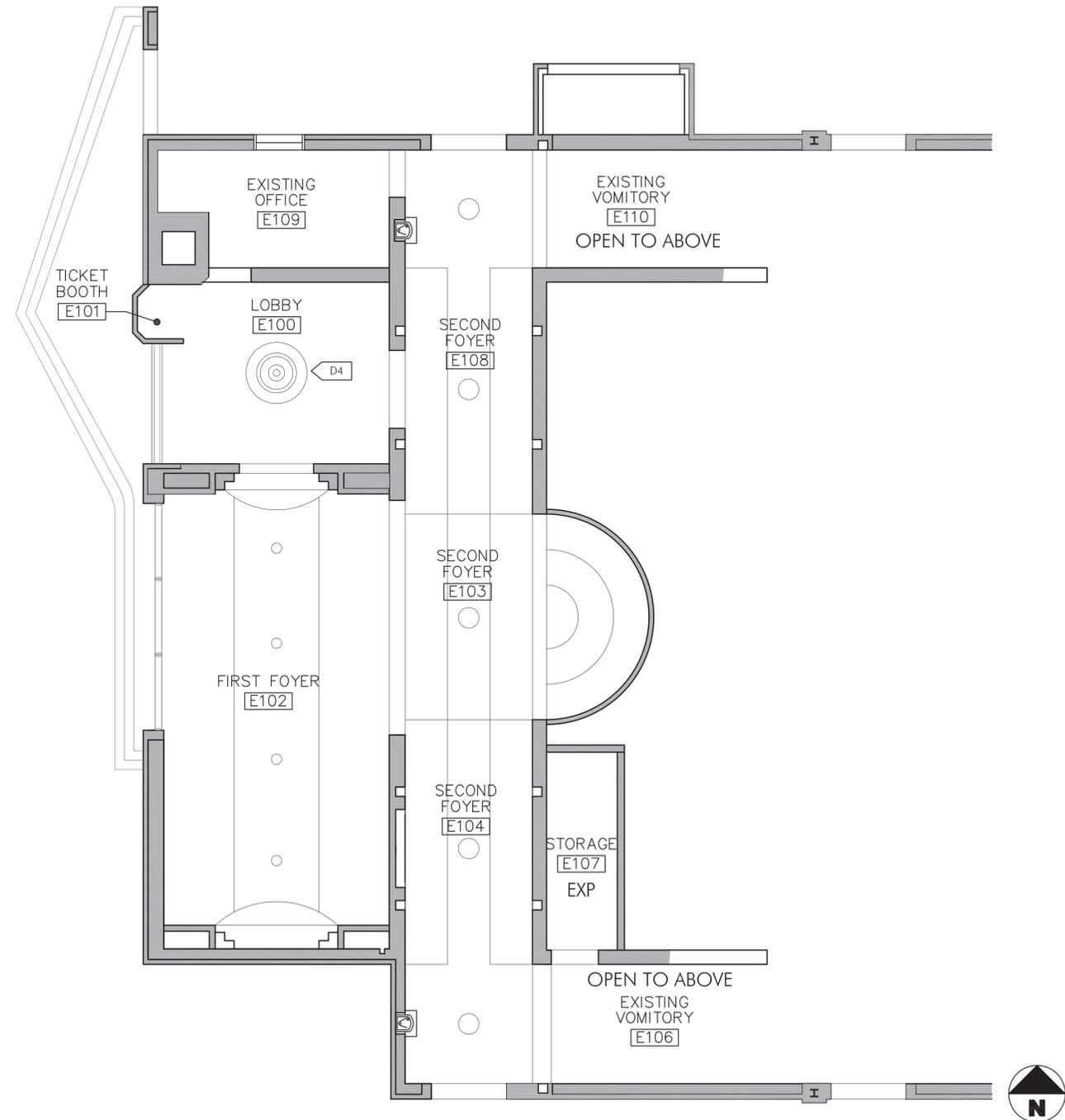
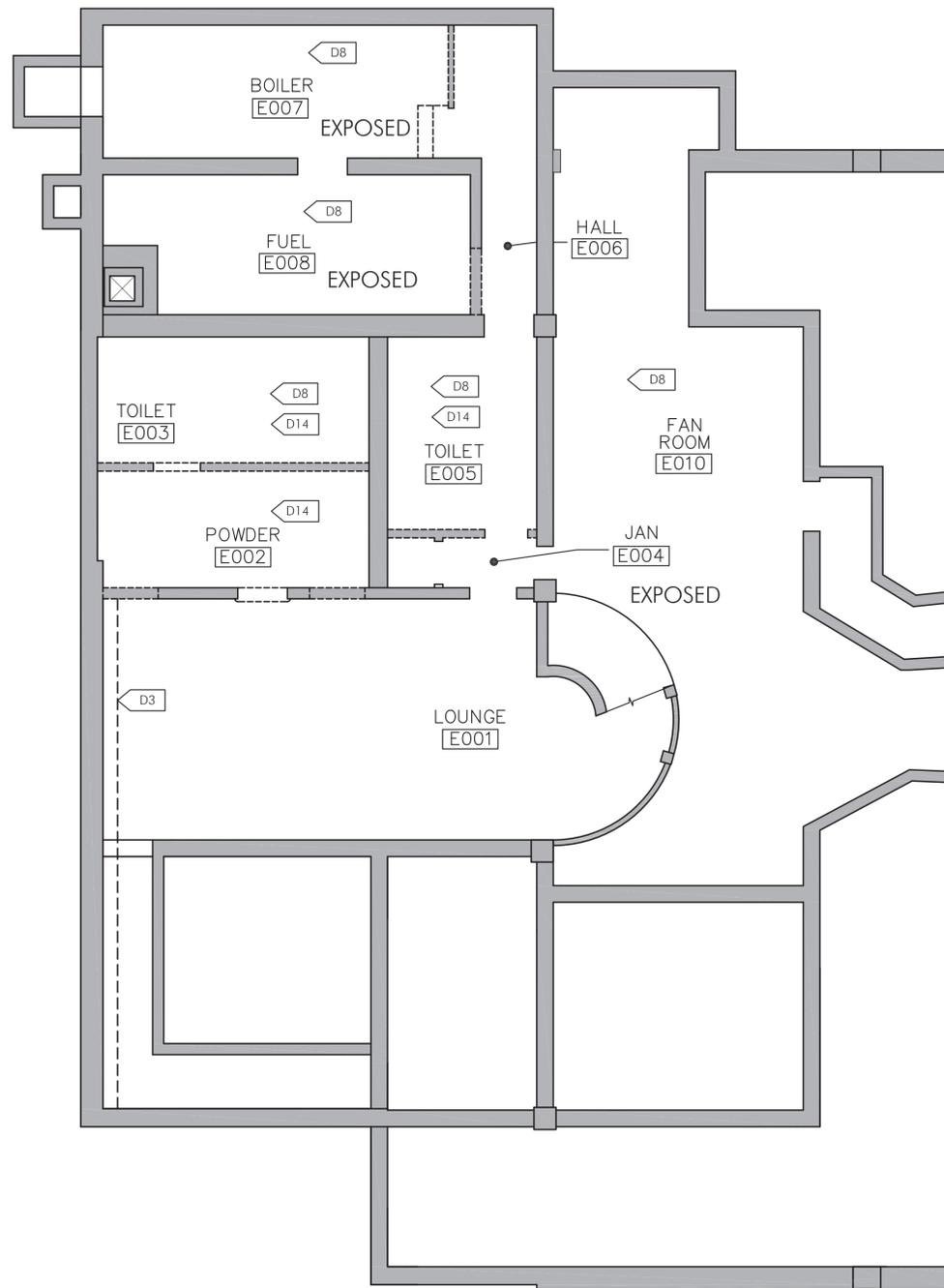
Client Name and Address  
**OUT OF THE PAST  
 REDEVELOPMENT, LLC**  
 1325 WINTER STREET NE  
 SUITE 100  
 MINNEAPOLIS, MN 55413

Comm No: HOL  
 Date: 03/18/2015  
 Drawn by: CLR  
 Checked by:

Sheet Title  
**LOWER LEVEL AND FIRST  
 FLOOR REFLECTED  
 CEILING PLANS: DEMO  
 AND EXISTING CONDITIONS**

Sheet Number

**D150**



1 LOWER LEVEL REFLECTED CEILING DEMOLITION PLAN



2 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN - FOR REFERENCE ONLY



Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
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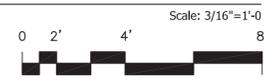
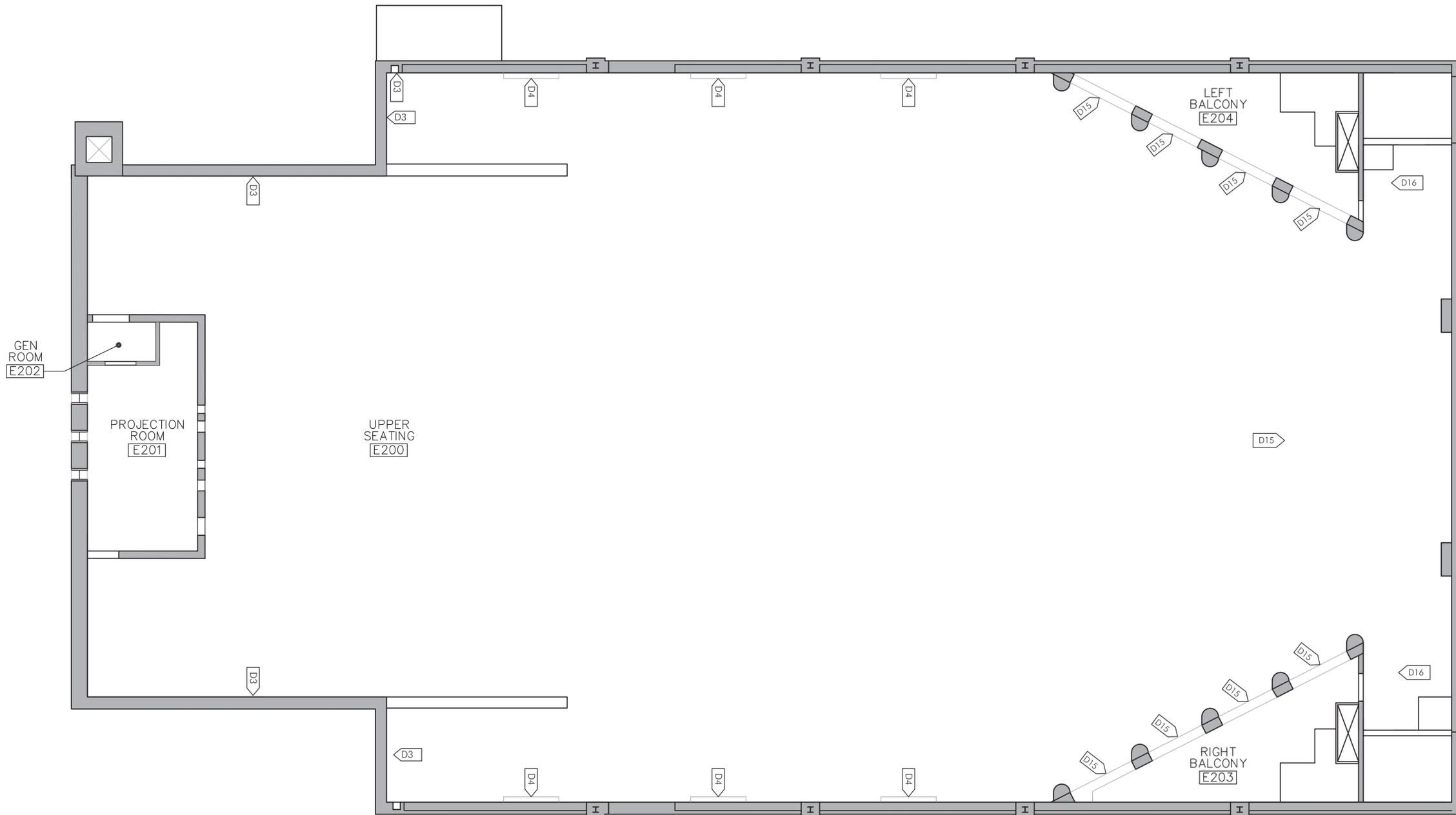
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 SUITE 100  
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Comm No: HOL  
 Date: 03/18/2015  
 Drawn by: CLR  
 Checked by: -

Sheet Title  
**MEZZANINE LEVEL  
 REFLECTED CEILING  
 PLAN: DEMOLITION AND  
 EXISTING CONDITIONS**

Sheet Number

**D151**



Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
 2815 JOHNSON STREET NE  
 MINNEAPOLIS, MN 55418

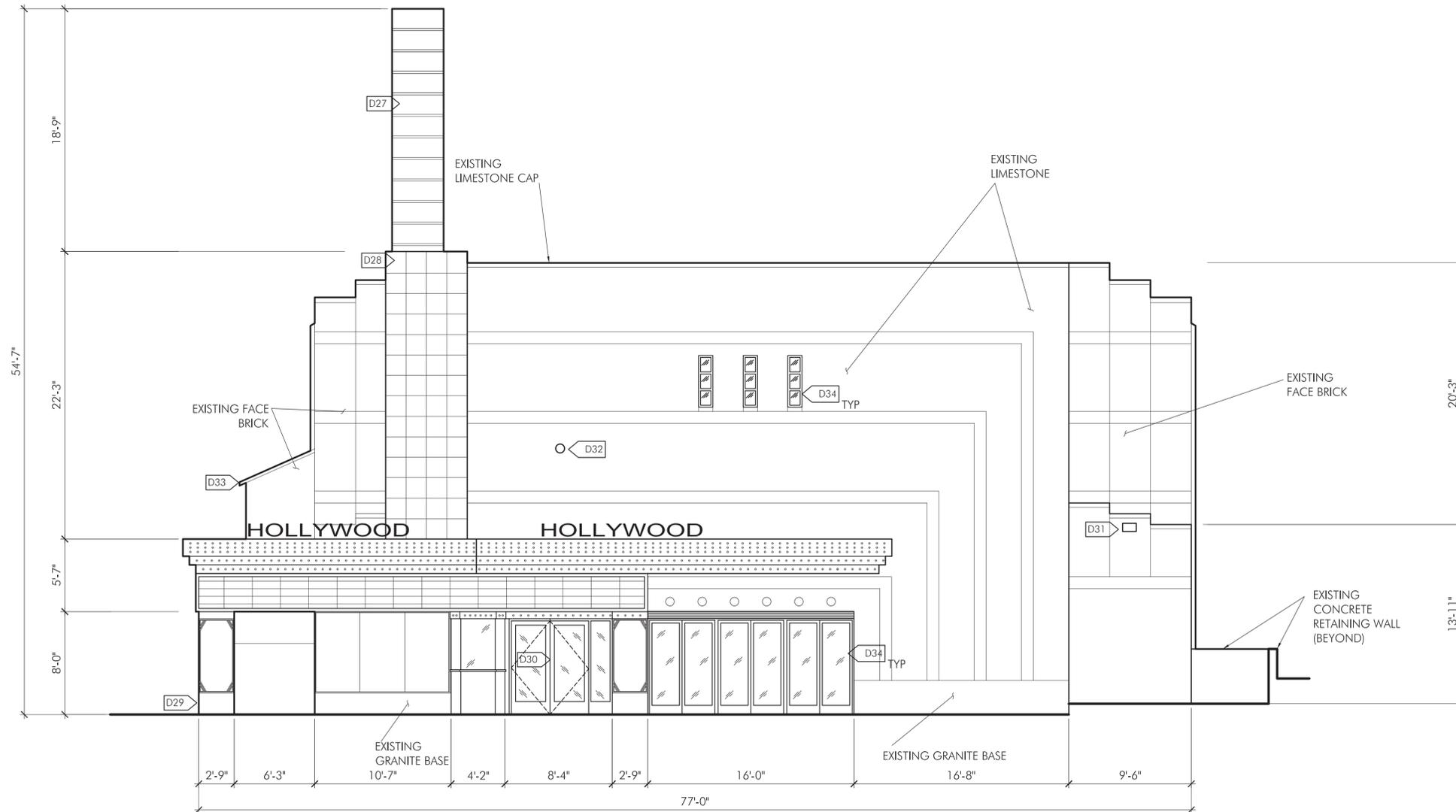
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 REDEVELOPMENT, LLC**  
 1325 WINTER STREET NE  
 SUITE 100  
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Comm No:	HOL
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Checked by:	LJF

Sheet Title  
**WEST ELEVATION  
 DEMOLITION AND  
 EXISTING CONDITIONS**

Sheet Number

**D200**



1 WEST ELEVATION

Scale: 3/16"=1'-0"



Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
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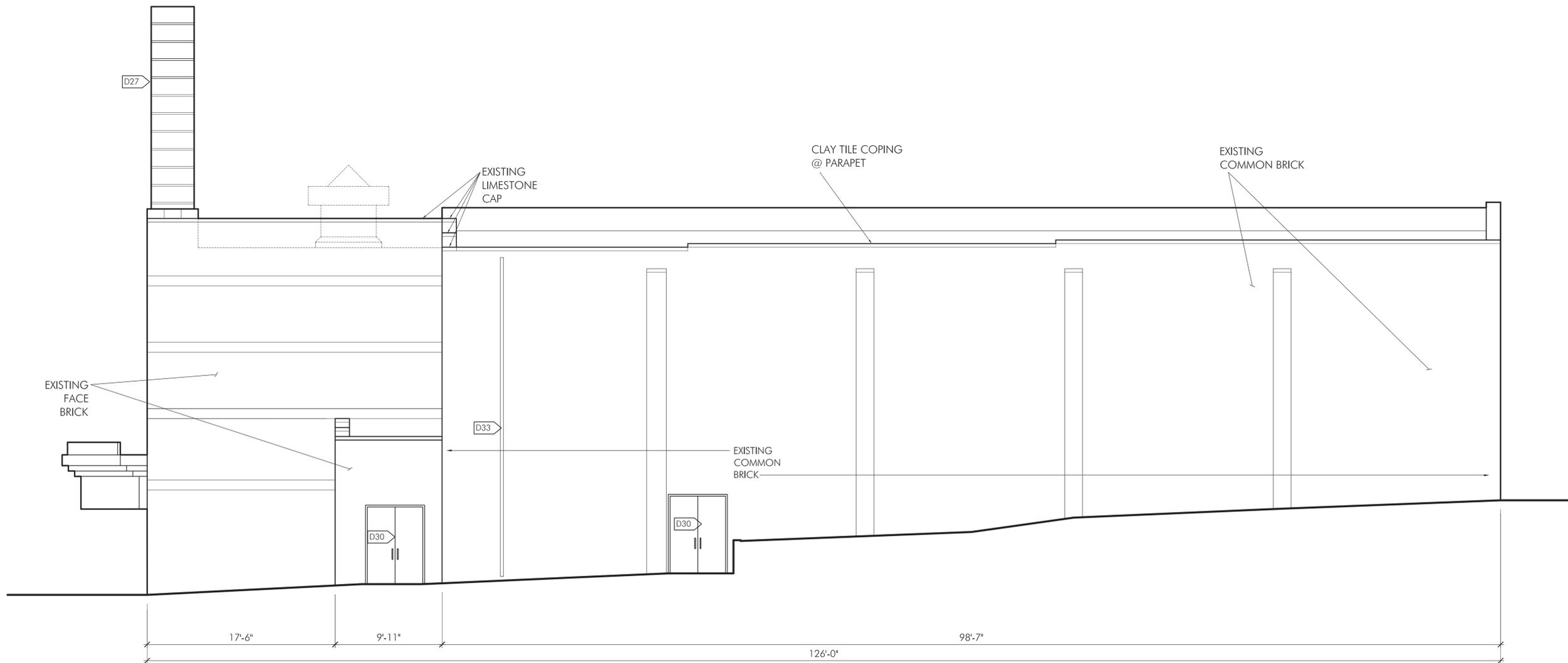
Client Name and Address  
**OUT OF THE PAST  
 REDEVELOPMENT, LLC**  
 1325 WINTER STREET NE  
 SUITE 100  
 MINNEAPOLIS, MN 55413

Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
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Sheet Title  
**SOUTH ELEVATION  
 DEMOLITION AND  
 EXISTING CONDITIONS**

Sheet Number

**D201**



**1** SOUTH ELEVATION

Scale: 3/16"=1'-0"  
 0 2' 4' 8'

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

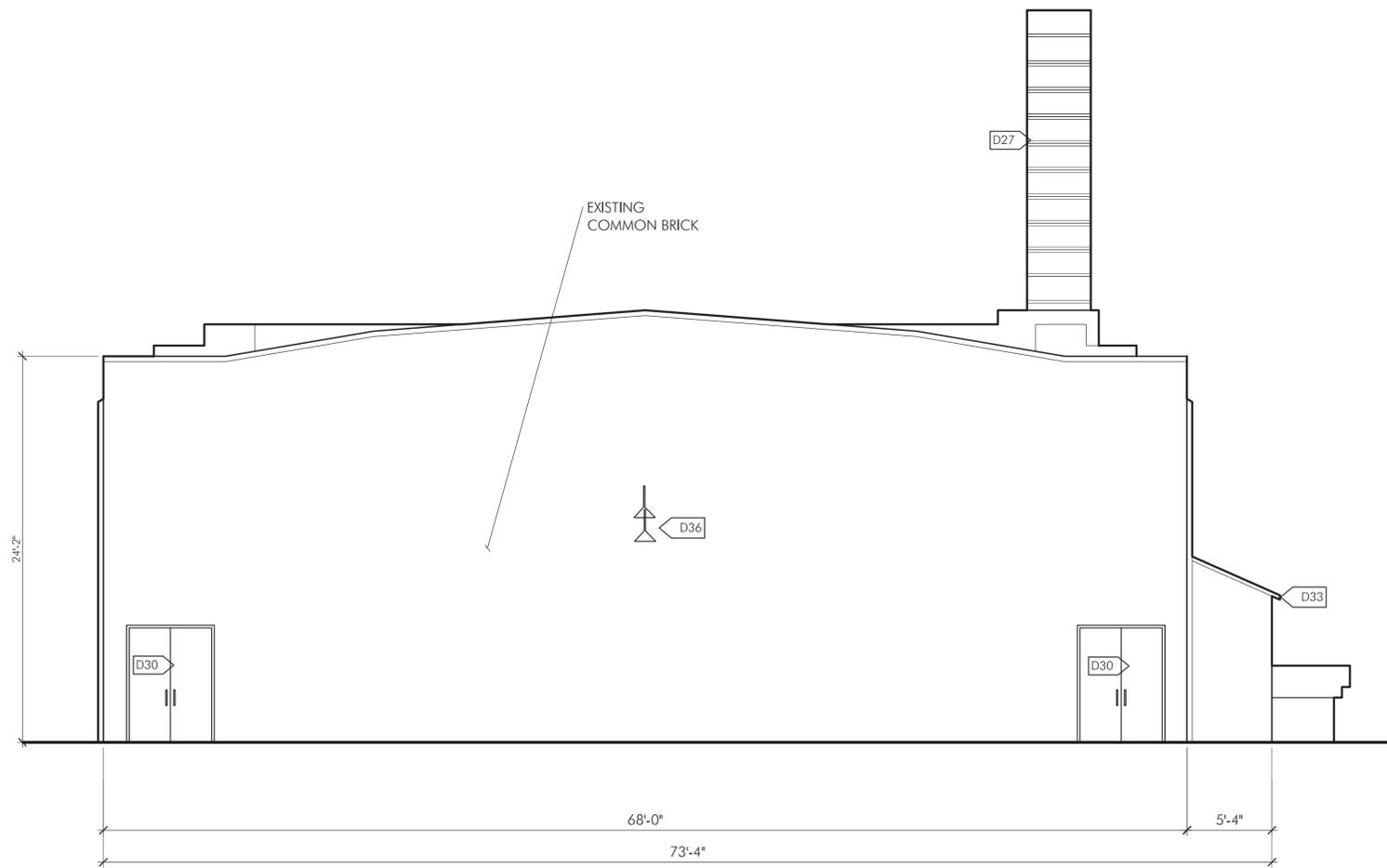
Project Name and Address  
**HOLLYWOOD  
 THEATER**  
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Client Name and Address  
**OUT OF THE PAST  
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Date:	03/18/2015
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Sheet Title  
**EAST ELEVATION  
 DEMOLITION AND  
 EXISTING CONDITIONS**

Sheet Number  
**D202**



1 EAST ELEVATION

Scale: 3/16"=1'-0"



Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
 2815 JOHNSON STREET NE  
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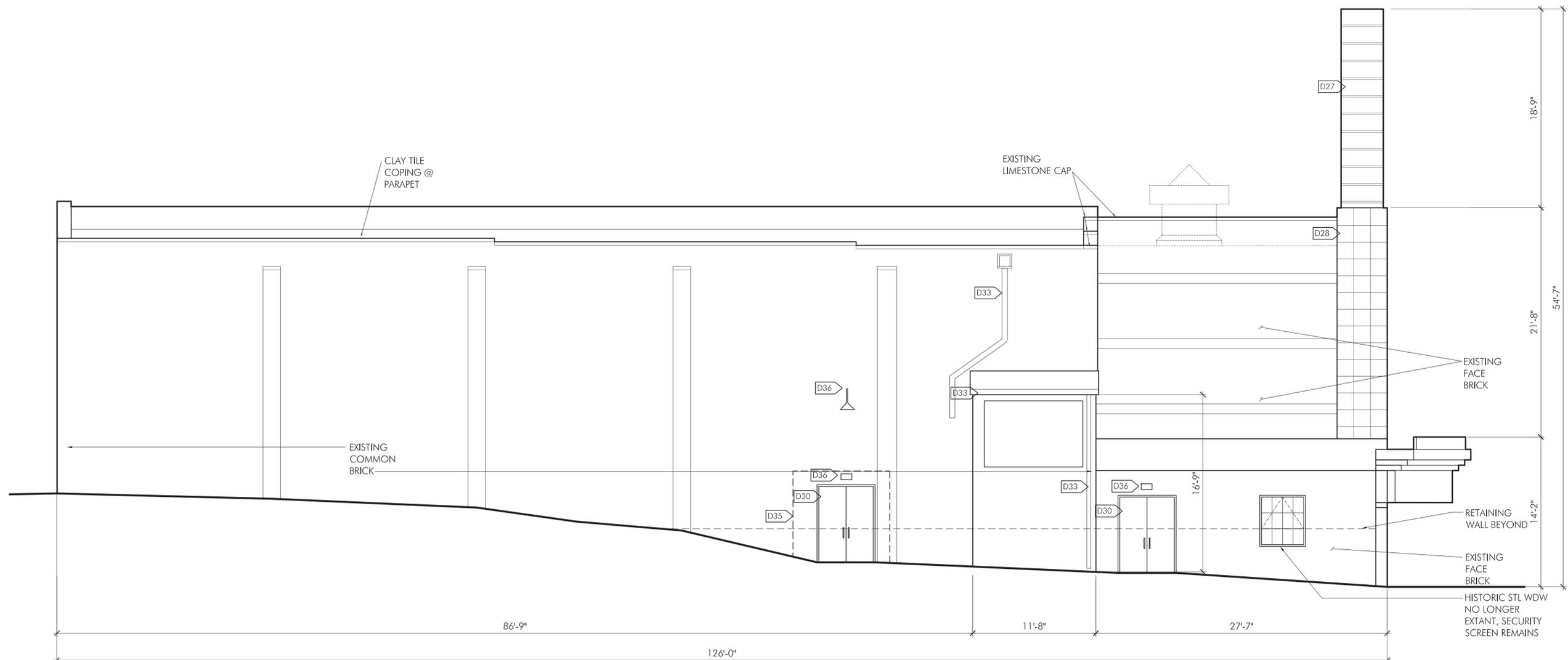
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**OUT OF THE PAST  
 REDEVELOPMENT, LLC**  
 1325 WINTER STREET NE  
 SUITE 100  
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Comm No:	HOL
Date:	03/18/2015
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Sheet Title  
**NORTH ELEVATION  
 DEMOLITION AND  
 EXISTING CONDITIONS**

Sheet Number

**D203**



1 NORTH ELEVATION

Scale: 3/16"=1'-0"



Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

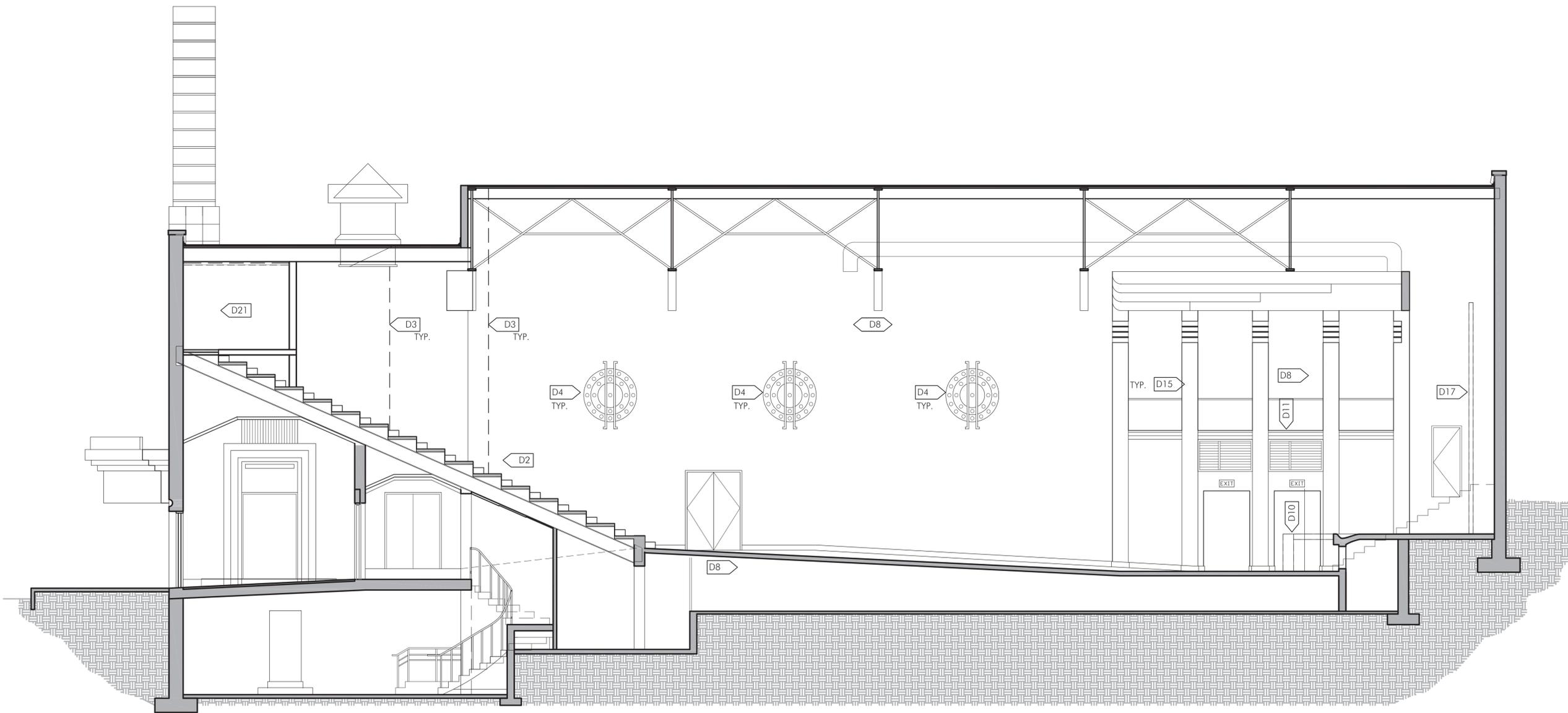
Project Name and Address  
**HOLLYWOOD  
 THEATER**  
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Client Name and Address  
**OUT OF THE PAST  
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 SUITE 100  
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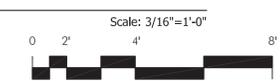
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 Date: 03/18/2015  
 Drawn by: CLR  
 Checked by: -

Sheet Title  
**WEST-EAST INTERIOR  
 ELEVATION  
 DEMOLITION AND  
 EXISTING CONDITIONS**

Sheet Number  
**D204**



**1** INTERIOR ELEVATION - WEST-EAST DEMOLITION AND EXISTING CONDITIONS



Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
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 MINNEAPOLIS, MN 55418

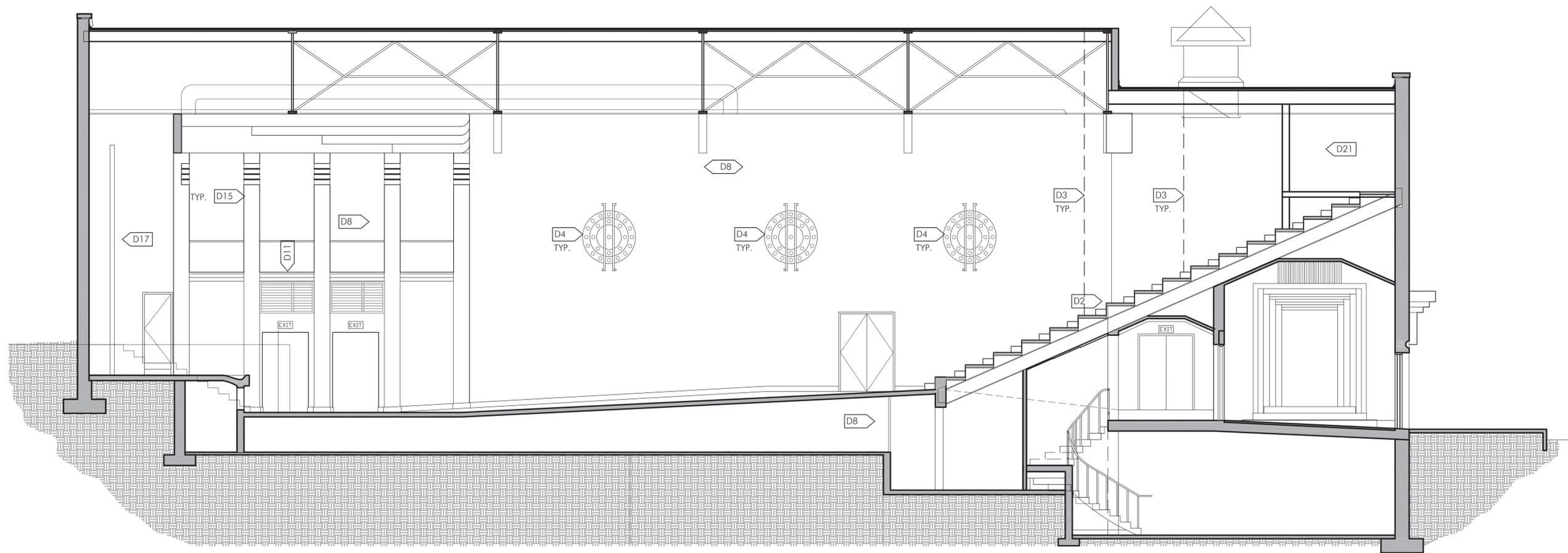
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 1325 WINTER STREET NE  
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Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
Checked by:	-

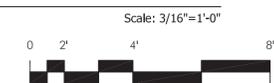
Sheet Title  
**EAST-WEST INTERIOR  
 ELEVATION  
 DEMOLITION AND  
 EXISTING CONDITIONS**

Sheet Number

**D205**



**1** INTERIOR ELEVATION - EAST-WEST DEMOLITION AND EXISTING CONDITIONS





6 WEST ELEVATION LOOKING TOWARDS CANOPY

Scale: NOT TO SCALE



4 WEST ELEVATION LOOKING SOUTH

Scale: NOT TO SCALE



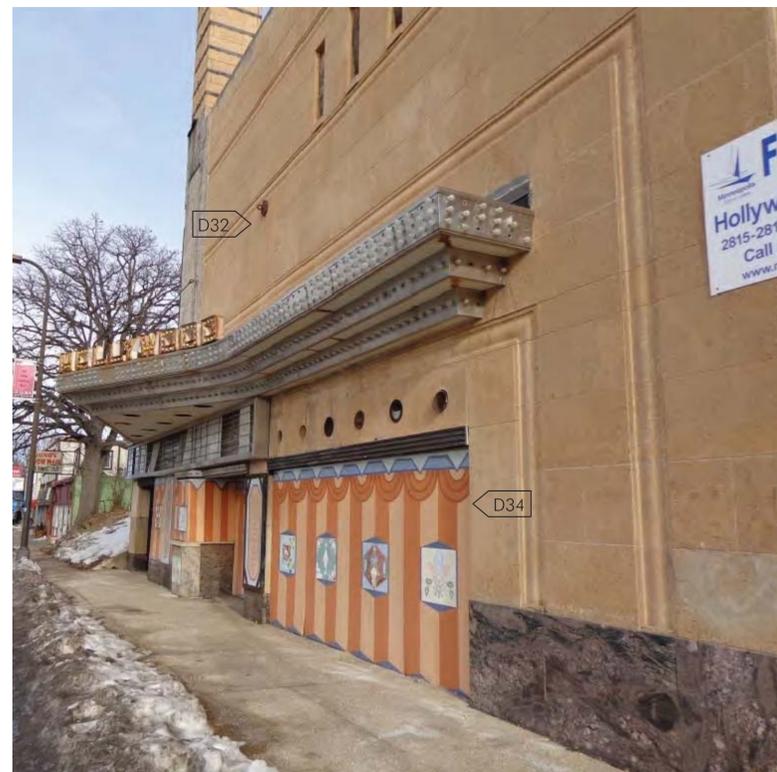
2 WEST ELEVATION LOOKING NORTH

Scale: NOT TO SCALE



5 WEST ELEVATION

Scale: NOT TO SCALE



3 WEST ELEVATION LOOKING NORTH

Scale: NOT TO SCALE



1 SW CORNER LOOKING TOWARD PED. ALLEYWAY

Scale: NOT TO SCALE

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SUITE 100  
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Comm No:	HOL
Date:	03/18/2015
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Sheet Title  
EXISTING  
CONDITIONS  
PHOTOS: EXTERIOR

Sheet Number  
EC000



6 SOUTH ELEVATION LOOKING WEST

Scale: NOT TO SCALE



4 SOUTH ELEVATION LOOKING EAST

Scale: NOT TO SCALE



2 NORTH PEDESTRIAN ALLEYWAY

Scale: NOT TO SCALE



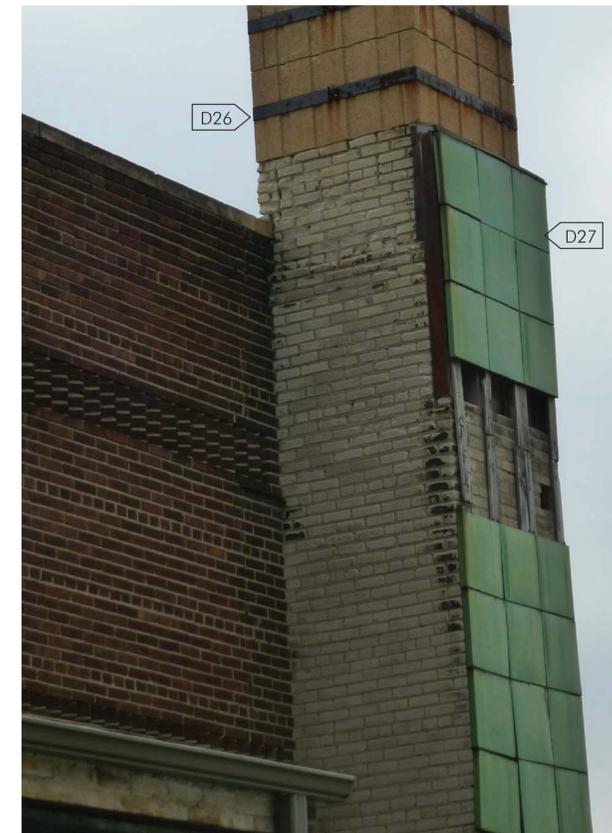
5 NORTH ELEVATION LOOKING EAST

Scale: NOT TO SCALE



3 EAST ELEVATION LOOKING SOUTH

Scale: NOT TO SCALE



1 NW CORNER LOOKING SOUTH TOWARD CHIMNEY

Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
IMPROVEMENTS AND  
ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
THEATER**  
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Client Name and Address  
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SUITE 100  
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Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
Checked by:	-

Sheet Title  
**EXISTING  
CONDITIONS  
PHOTOS: EXTERIOR**

Sheet Number  
**EC001**



6 FUEL ROOM E008

Scale: NOT TO SCALE



4 BOILER ROOM E007

Scale: NOT TO SCALE



2 BOILER ROOM E007

Scale: NOT TO SCALE



5 FAN ROOM E010

Scale: NOT TO SCALE



3 FAN ROOM E010

Scale: NOT TO SCALE



1 TOILET E005

Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
IMPROVEMENTS AND  
ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
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SUITE 100  
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Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
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Sheet Title  
**EXISTING CONDITIONS  
AND DEMOLITION  
PHOTOS:  
LOWER LEVEL**

Sheet Number  
**EC100**

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
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Date:	03/18/2015
Drawn by:	CLR
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Sheet Title  
**EXISTING CONDITIONS  
 AND DEMOLITION  
 PHOTOS:  
 LOWER LEVEL**

Sheet Number  
**EC101**



2 LOUNGE E001, LOOKING EAST

Scale: NOT TO SCALE



1 LOUNGE E001, LOOKING WEST

Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

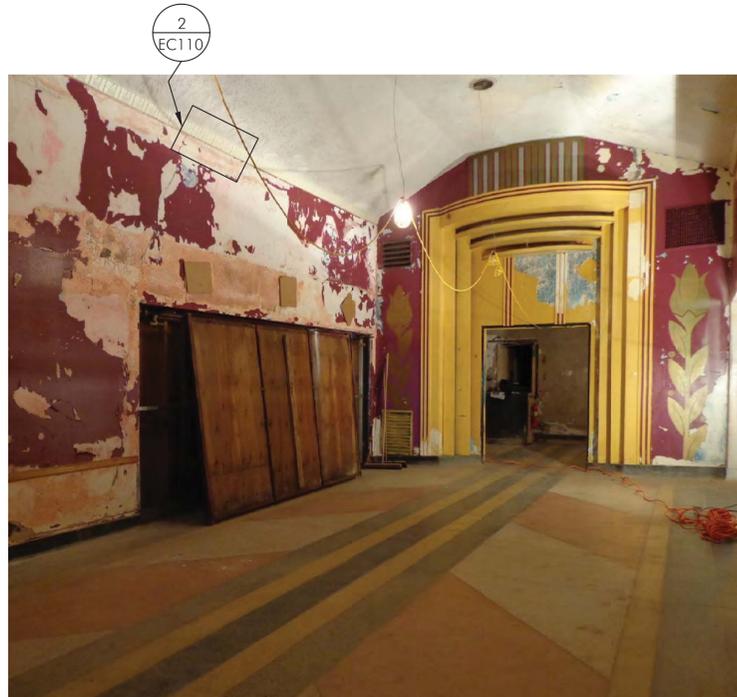
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Client Name and Address  
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 SUITE 100  
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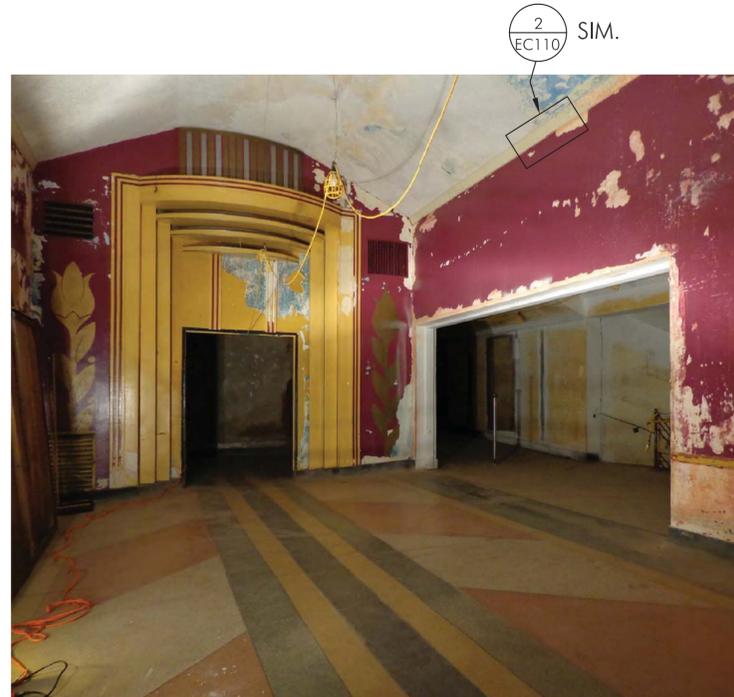
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Checked by:	-

Sheet Title  
**EXISTING CONDITIONS  
 AND DEMOLITION  
 PHOTOS:  
 FIRST FLOOR**

Sheet Number  
**EC110**



6 FIRST FOYER E102, LOOKING NORTHWEST  
 Scale: NOT TO SCALE



4 FIRST FOYER E102, LOOKING NORTHEAST  
 Scale: NOT TO SCALE



2 PLASTER TRIM DETAIL AT E102 CEILING  
 Scale: NOT TO SCALE



5 FOUNTAIN BASIN IN NICHE @ FIRST FOYER E102  
 Scale: NOT TO SCALE



3 FIRST FOYER E102, LOOKING SOUTH  
 Scale: NOT TO SCALE



1 FIRST FOYER E102 CEILING, LOOKING SOUTH  
 Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
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 SUITE 100  
 MINNEAPOLIS, MN 55413

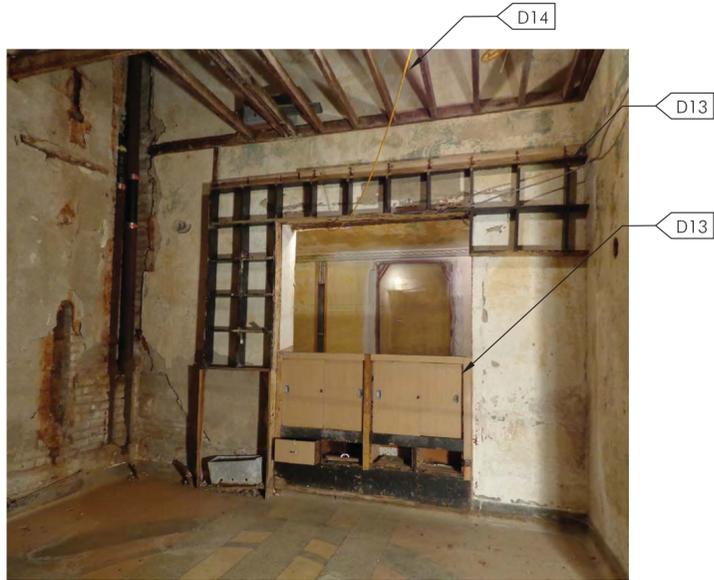
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Date:	03/18/2015
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Sheet Title  
**EXISTING CONDITIONS  
 AND DEMOLITION  
 PHOTOS:  
 FIRST FLOOR**

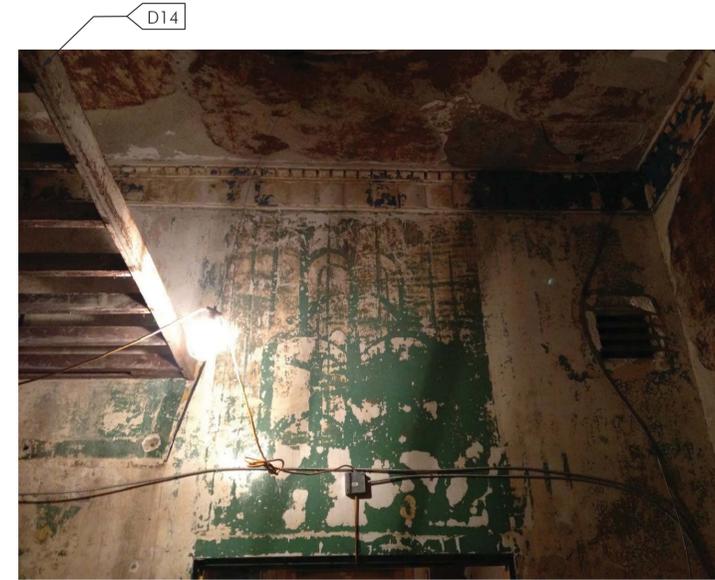
Sheet Number  
**EC111**



6 LOBBY E100, LOOKING N  
 Scale: NOT TO SCALE



4 LOBBY E100, LOOKING EAST  
 Scale: NOT TO SCALE



2 LOBBY E100, LOOKING SOUTH  
 Scale: NOT TO SCALE

SEE ARCHITECTURAL FOR  
 TICKET BOOTH  
 RESTORATION



5 LOBBY E100 WALL, TRIM, & CEILING DETAIL  
 Scale: NOT TO SCALE



3 LOBBY E100 & TICKET E101, LOOKING WEST  
 Scale: NOT TO SCALE



1 LOBBY E100 TERRAZZO, LOOKING EAST  
 Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
 2815 JOHNSON STREET NE  
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Client Name and Address  
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Date:	03/18/2015
Drawn by:	CLR
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Sheet Title  
**EXISTING CONDITIONS  
 AND DEMOLITION  
 PHOTOS:  
 FIRST FLOOR**

Sheet Number  
**EC112**



4 OFFICE E109, LOOKING EAST

Scale: NOT TO SCALE



2 LOBBY E100 LIGHT FIXTURE

Scale: NOT TO SCALE



3 OFFICE E109, LOOKING WEST

Scale: NOT TO SCALE

SEE ARCHITECTURAL FOR  
 TICKET BOOTH  
 RESTORATION



1 TICKET BOOTH E101, LOOKING WEST

Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
 2815 JOHNSON STREET NE  
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Client Name and Address  
**OUT OF THE PAST  
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 SUITE 100  
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Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
Checked by:	-

Sheet Title  
**EXISTING CONDITIONS  
 AND DEMOLITION  
 PHOTOS:  
 FIRST FLOOR**

Sheet Number

**EC113**



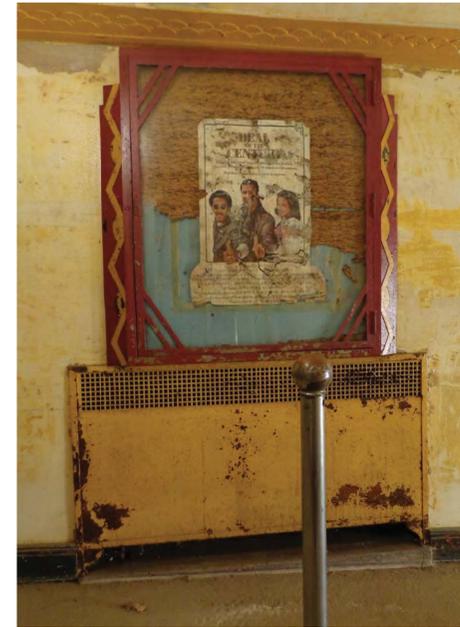
6 SECOND FOYER E108, LOOKING NORTHWEST

Scale: NOT TO SCALE



4 SECOND FOYER E108, LOOKING NORTHEAST

Scale: NOT TO SCALE



2 SECOND FOYER POSTER CASE, TYP.

Scale: NOT TO SCALE



5 SECOND FOYER E103 STAIR

Scale: NOT TO SCALE



3 SECOND FOYER E013, LOOKING SOUTHEAST

Scale: NOT TO SCALE



1 SECOND FOYER E104, LOOKING SOUTHWEST

Scale: NOT TO SCALE



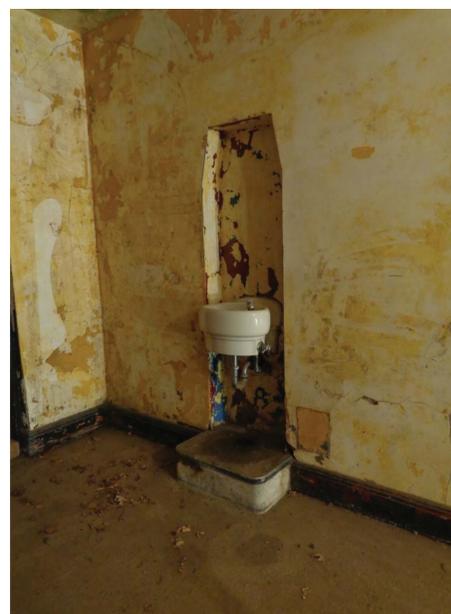
4 WALL, TRIM, CEILING CONDITION @ SECOND FOYER E104 & E108  
Scale: NOT TO SCALE



2 CEILING CONDITION, SECOND FOYER E108, LOOKING NORTH  
Scale: NOT TO SCALE



5 EXISTING DISPLAY CASE @ SECOND FOYER, TYP. OF 3  
Scale: NOT TO SCALE



3 EXISTING WATER FOUNTAIN IN SECOND FOYER, TYP. OF 2  
Scale: NOT TO SCALE



1 EXISTING RECESS WALL LIGHTS @ SECOND FOYER, TYP. OF 8  
Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
IMPROVEMENTS AND  
ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
THEATER**  
2815 JOHNSON STREET NE  
MINNEAPOLIS, MN 55418

Client Name and Address  
**OUT OF THE PAST  
REDEVELOPMENT, LLC**  
1325 WINTER STREET NE  
SUITE 100  
MINNEAPOLIS, MN 55413

Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
Checked by:	-

Sheet Title  
**EXISTING CONDITIONS  
AND DEMOLITION  
PHOTOS:  
FIRST FLOOR**

Sheet Number

**EC114**



D13

6 STORAGE E120

Scale: NOT TO SCALE



4 VOMITORY E106, LOOKING SOUTHWEST

Scale: NOT TO SCALE



D2

2 VOMITORY E106, LOOKING NW

Scale: NOT TO SCALE



5 NORTH STAIR E118

Scale: NOT TO SCALE



3 VOMITORY E110, LOOKING SOUTHWEST

Scale: NOT TO SCALE



1 VOMITORY E110, LOOKING NORTHWEST

Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
IMPROVEMENTS AND  
ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
THEATER**  
2815 JOHNSON STREET NE  
MINNEAPOLIS, MN 55418

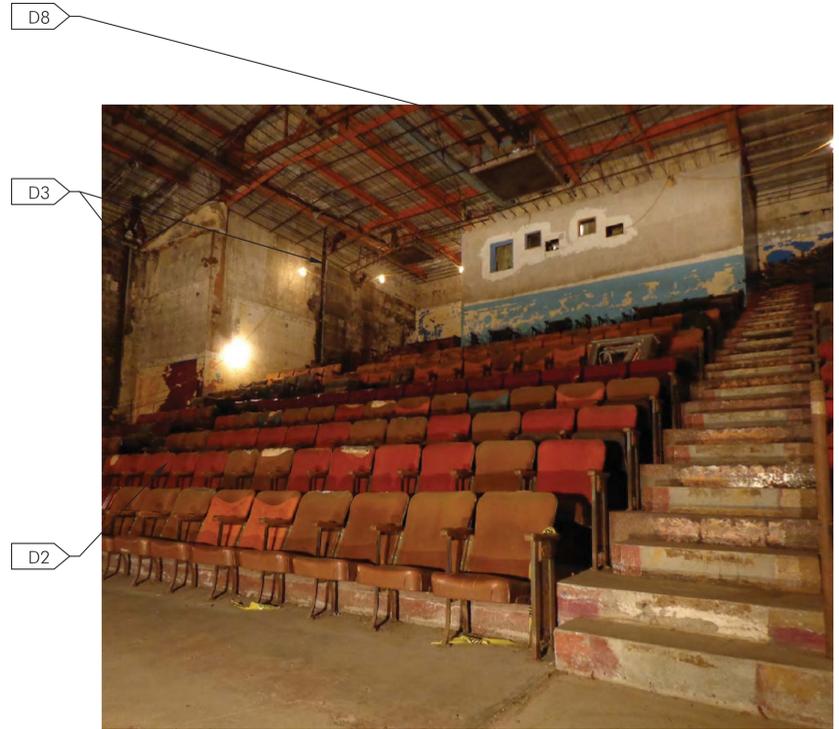
Client Name and Address  
**OUT OF THE PAST  
REDEVELOPMENT, LLC**  
1325 WINTER STREET NE  
SUITE 100  
MINNEAPOLIS, MN 55413

Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
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Sheet Title  
**EXISTING CONDITIONS  
AND DEMOLITION  
PHOTOS:  
FIRST FLOOR**

Sheet Number

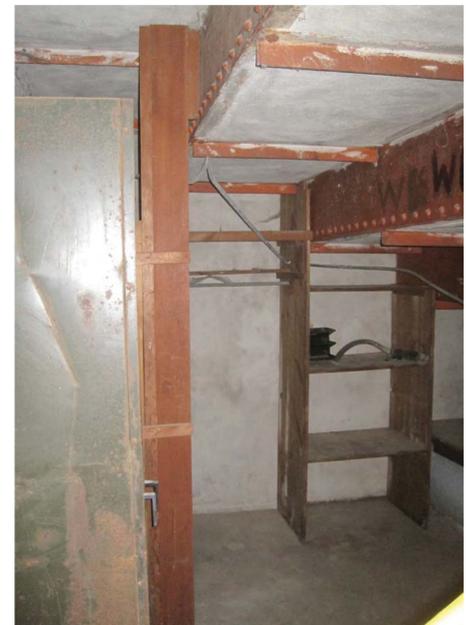
**EC115**



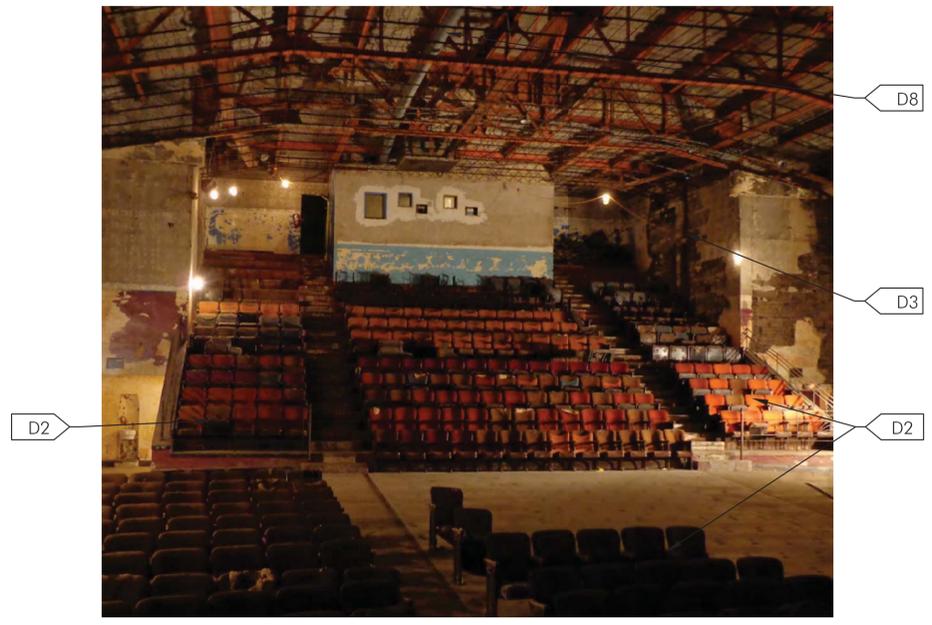
4 UPPER SEATING E200 LOOKING WEST  
Scale: NOT TO SCALE



2 UPPER SEATING E200 LOOKING NORTH  
Scale: NOT TO SCALE



6 STORAGE E107  
Scale: NOT TO SCALE



3 AUDITORIUM E111 LOOKING TOWARD UPPER SEATING E200  
Scale: NOT TO SCALE



1 VOMITORY E110 LOOKING TOWARD UPPER SEATING E200  
Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
IMPROVEMENTS AND  
ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
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Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
Checked by:	-

Sheet Title  
**EXISTING CONDITIONS  
AND DEMOLITION  
PHOTOS:  
FIRST FLOOR, MEZZ**

Sheet Number  
**EC116**

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
**HOLLYWOOD  
 THEATER**  
 2815 JOHNSON STREET NE  
 MINNEAPOLIS, MN 55418

Client Name and Address  
**OUT OF THE PAST  
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 SUITE 100  
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Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
Checked by:	-

Sheet Title  
**EXISTING CONDITIONS  
 AND DEMOLITION  
 PHOTOS: FIRST FLOOR,  
 AUDITORIUM**

Sheet Number

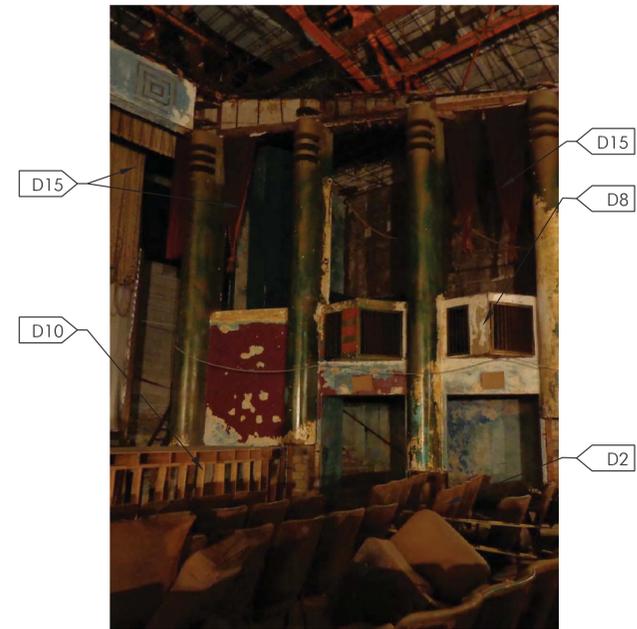
**EC117**



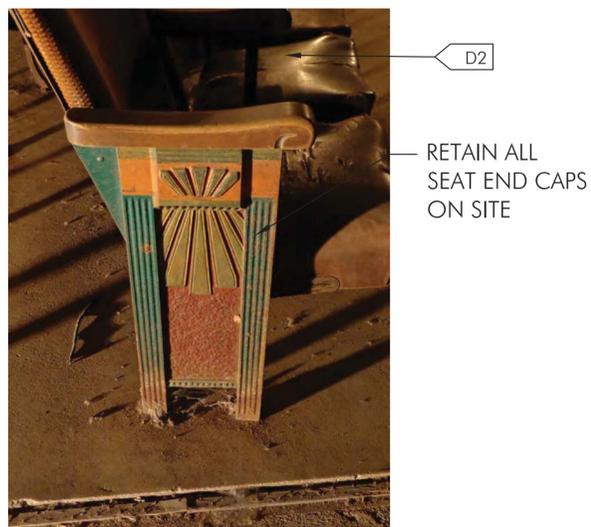
6 AUDITORIUM E111 LOOKING TOWARD LEFT BALCONY  
 Scale: NOT TO SCALE



4 STAGE E116 LOOKING EAST  
 Scale: NOT TO SCALE



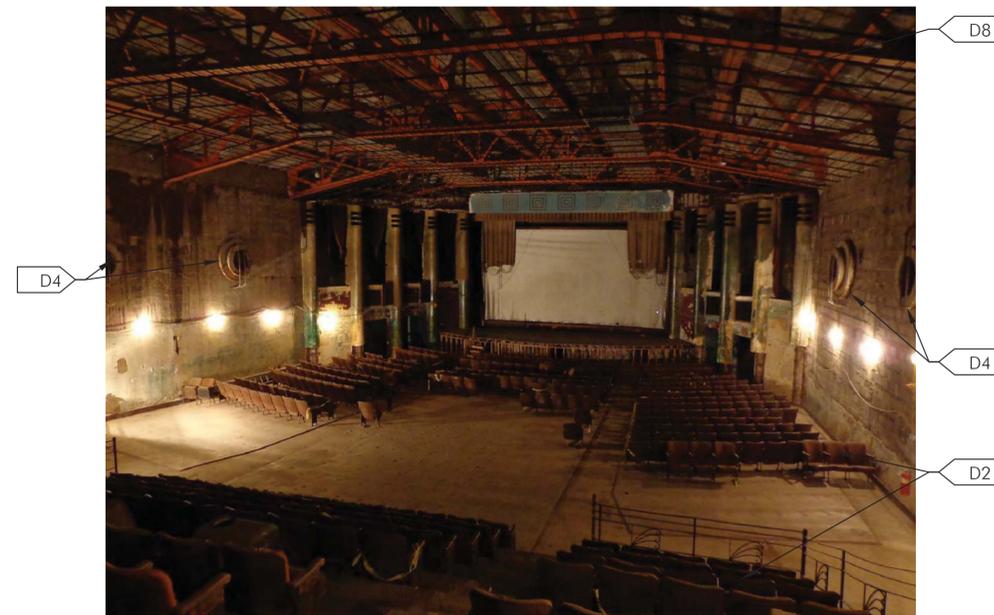
2 AUDITORIUM E111 LOOKING TOWARD RIGHT BALCONY  
 Scale: NOT TO SCALE



5 EXISTING FIXED SEAT @ E111, TYP.  
 Scale: NOT TO SCALE



3 SIDEWALL LIGHT FIXTURE @E111  
 Scale: NOT TO SCALE



1 AUDITORIUM E111 LOOKING EAST  
 Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

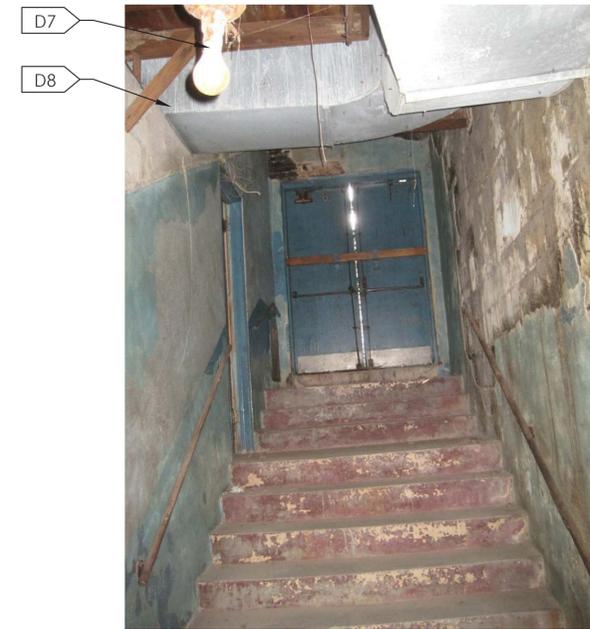
Project Name and Address  
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 MINNEAPOLIS, MN 55418

Client Name and Address  
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Comm No:	HOL
Date:	03/18/2015
Drawn by:	CLR
Checked by:	-

Sheet Title  
**EXISTING CONDITIONS  
 AND DEMOLITION  
 PHOTOS:  
 FIRST FLOOR**

Sheet Number  
**EC118**



2 SOUTH STAIR E114  
 Scale: NOT TO SCALE



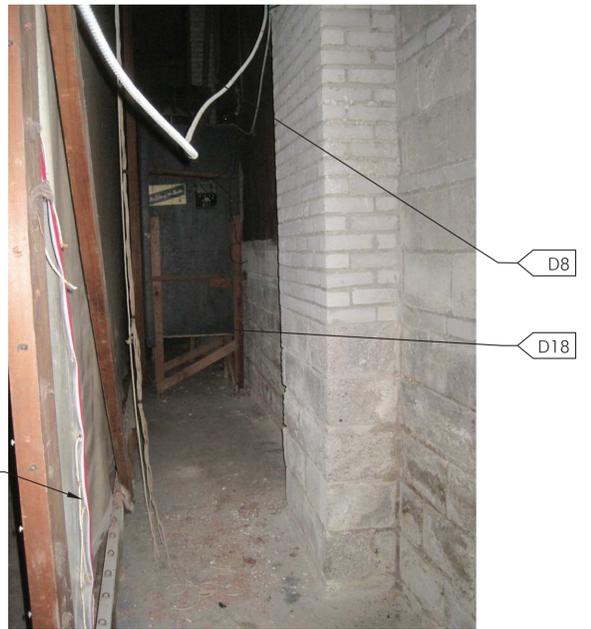
4 SOUTH STAIR E114 ENTRY TO E115  
 Scale: NOT TO SCALE



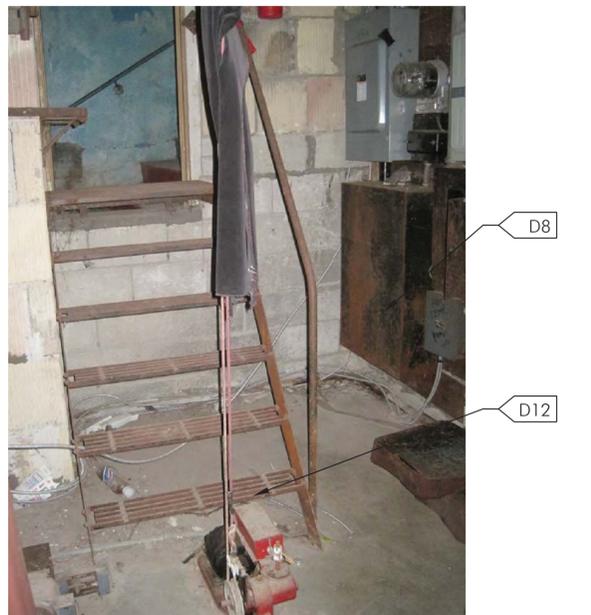
1 EXIT PASSAGE E112  
 Scale: NOT TO SCALE



3 STAIR @ RIGHT WING E115  
 Scale: NOT TO SCALE



6 BEHIND SCREEN @ STAGE E116  
 Scale: NOT TO SCALE



5 STAIR @ LEFT WING E117  
 Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

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Checked by:	-

Sheet Title  
**EXISTING CONDITIONS  
 AND DEMOLITION  
 PHOTOS:  
 MEZZANINE**

Sheet Number

**EC120**



④ INTERSTITIAL SPACE BELOW E201 (SHOWN FOR INFORMATION)  
 Scale: NOT TO SCALE



② PROJECTION BOOTH E201, LOOKING NORTHEAST  
 Scale: NOT TO SCALE



③ CEILING MOUNTED LIGHTING CONTROLS @ E201  
 Scale: NOT TO SCALE



① PROJECTION BOOTH E201, LOOKING SOUTHEAST  
 Scale: NOT TO SCALE

Drawing Set Title  
**MINIMUM  
 IMPROVEMENTS AND  
 ADD ALTERNATES**

Project Name and Address  
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Checked by:	-

Sheet Title  
**EXISTING CONDITIONS  
 AND DEMOLITION  
 PHOTOS:  
 MEZZANINE**

Sheet Number  
**EC121**



2 LEFT BALCONY E204  
 Scale: NOT TO SCALE



3 LEFT BALCONY E204  
 Scale: NOT TO SCALE



1 RIGHT BALCONY E203  
 Scale: NOT TO SCALE



# SNOW KREILICH ARCHITECTS

2400 RAND TOWER  
527 MARQUETTE AVENUE  
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612 359 9430  
WWW.SNOWKREILICH.COM

## HOLLYWOOD THEATER

2815 Johnson St. NE  
Minneapolis, MN 55418

MINIMUM IMPROVEMENTS AND ADD  
ALTERNATES

CLIENT  
Out of the Past Redevelopment, LLC.  
1325 Winter St. NE  
Suite 100  
Minneapolis, MN 55413  
612 746 1774

HISTORIC PRESERVATION  
Preservation Design Works  
575 9th St. SE, Ste 215  
Minneapolis, MN 55414  
612 843 4140

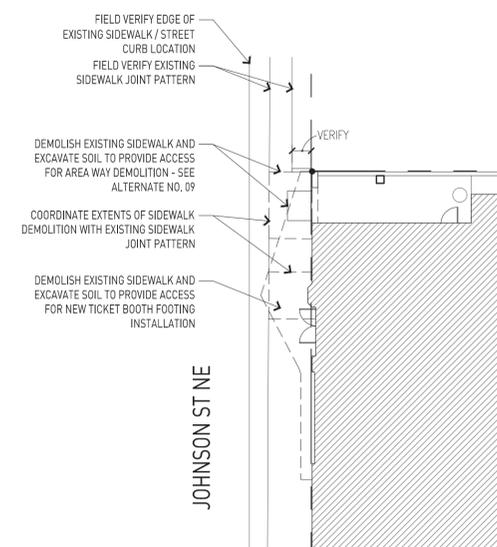
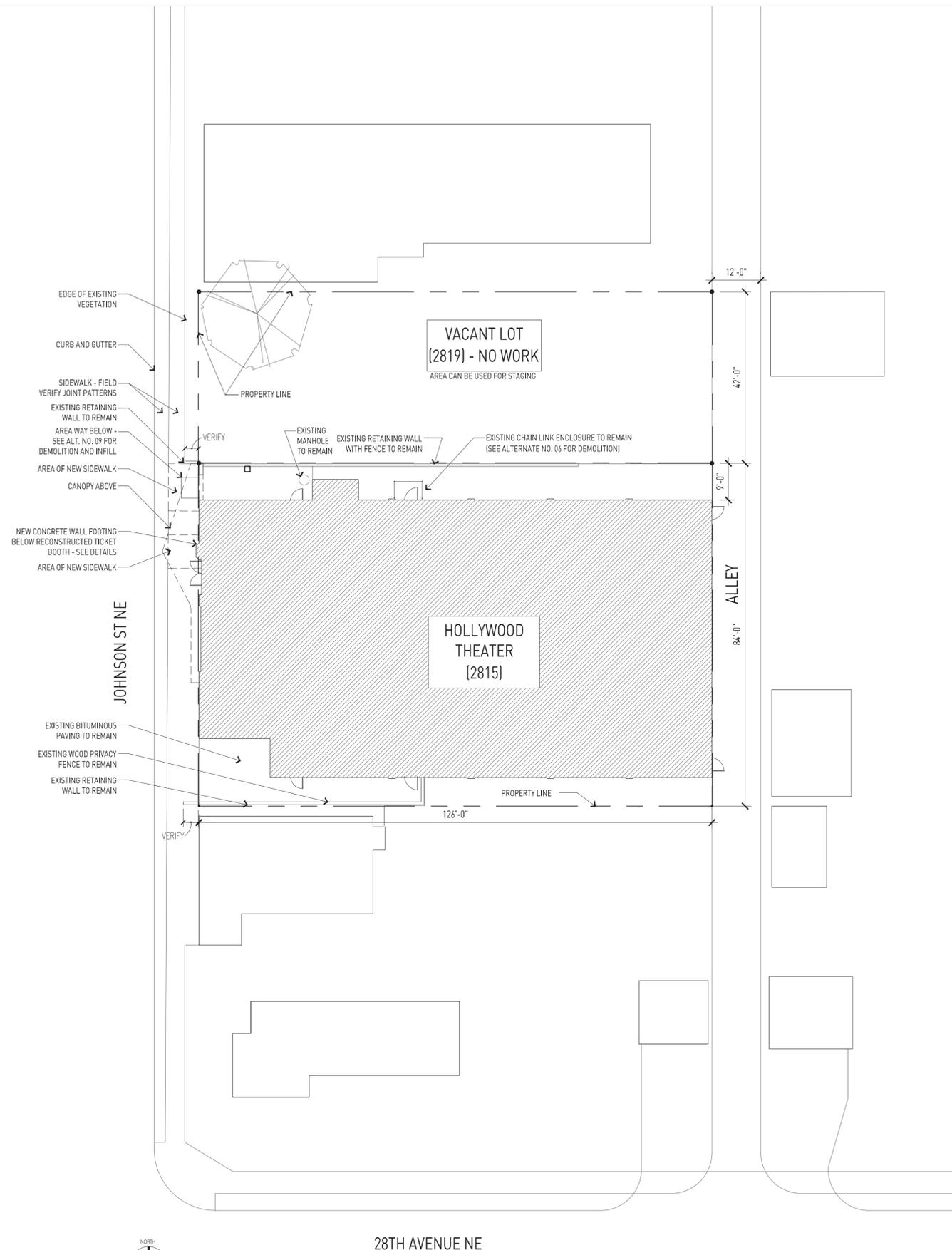
**NOT FOR  
CONSTRUCTION**

Preservation Review 18 Mar 2015

2014.19 Project Number tkm Drawn By

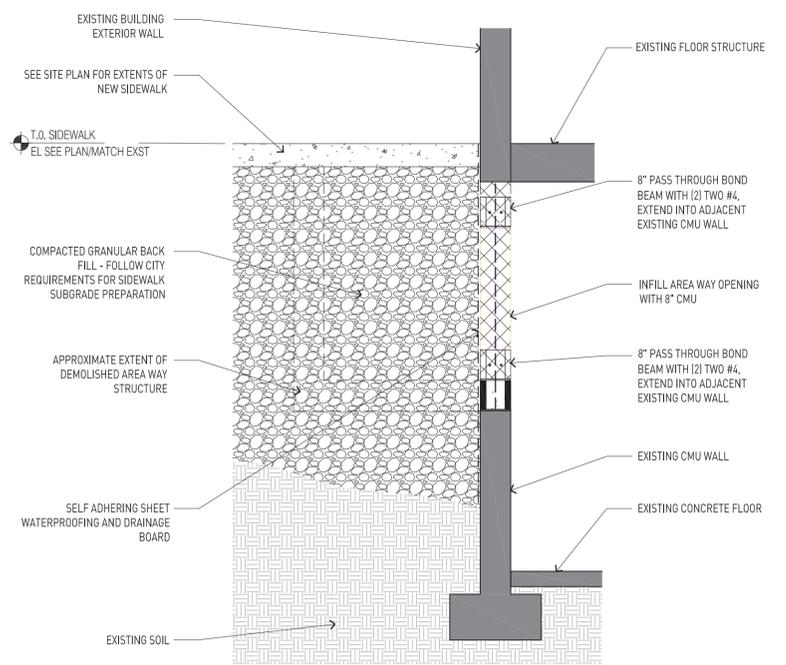
SITE PLAN

# A 1.10

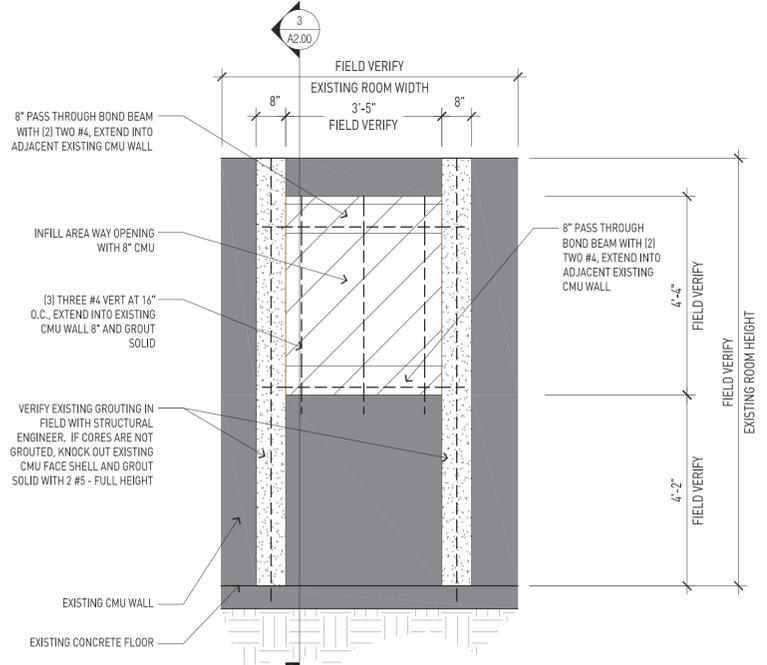


ALTERNATE NO. 9 ENLARGED SITE DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"  
2  
A1.10

SITE PLAN  
SCALE: 1/8" = 1'-0"  
1  
A1.10



ALTERNATE NO. 9 AREAWAY - OPENING SECTION 3  
SCALE: 1/2" = 1'-0" A2.00

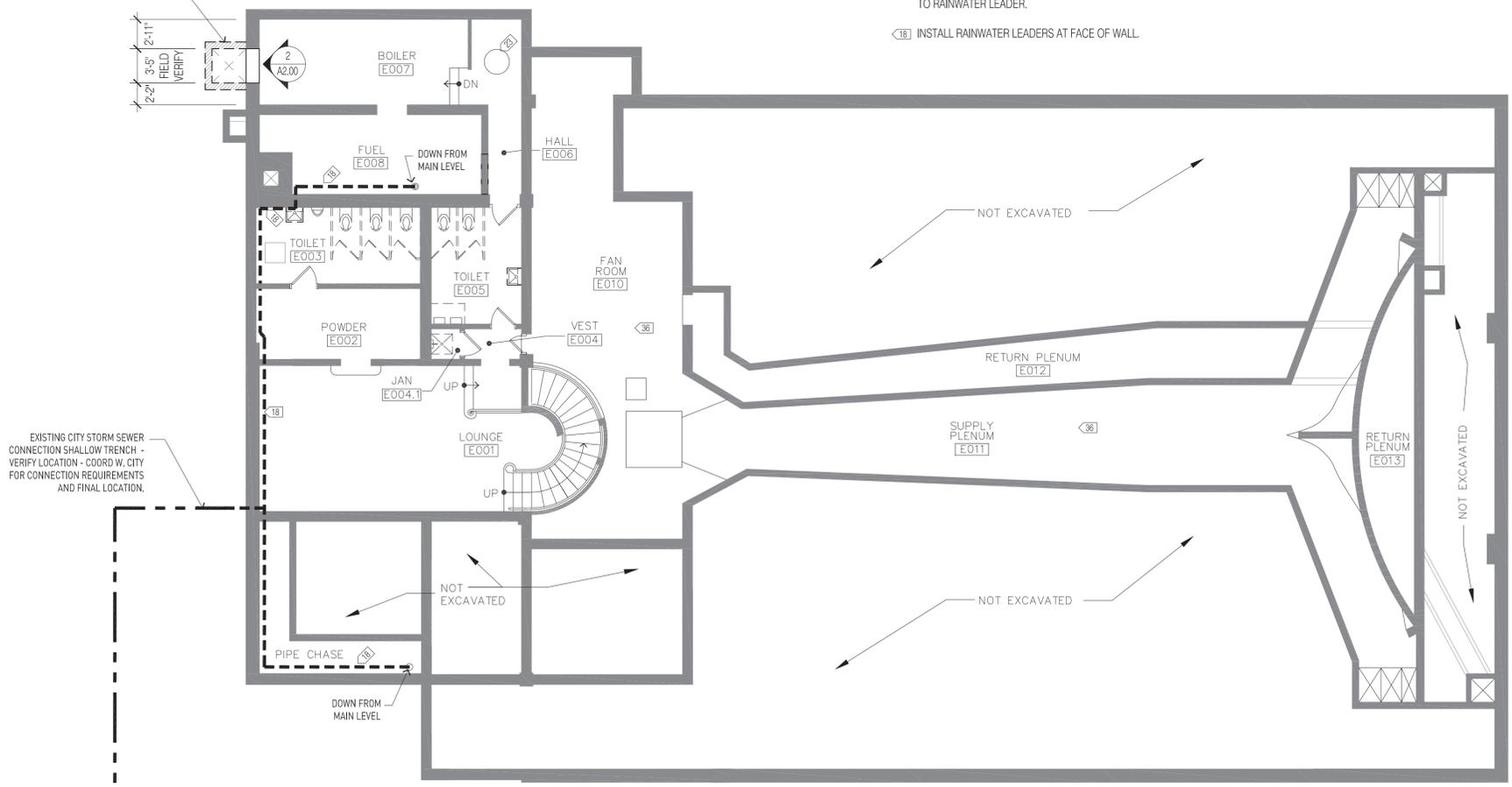


ALTERNATE NO. 9 AREAWAY - OPENING INT ELEVATION 2  
SCALE: 1/2" = 1'-0" A2.00

KEY NOTES:

- 1 METAL LIGHT FIXTURES ARE TO BE REMOVED, CRATED & STORED WITHIN THE BUILDING FOR FUTURE REFURBISHMENT. REFER TO A1.01 FOR NOTES ON PROTECTION OF HISTORIC ELEMENTS
- 2 PROTECT RAILINGS AND BALUSTRADE, REFER TO 2/A2.10.
- 3 REPLACE DETERIORATED CANOPY ROOF DECK.
- 4 PROVIDE POSITIVE SLOPED DRAINAGE AT CANOPY ROOF TO ROOF DRAIN. PROVIDE NEW ROOFING AT CANOPY.
- 5 INSTALL NEW STEEL WINDOW.
- 6 REFER TO DOOR SCHEDULE FOR NEW DOORS OR INTERIOR STORMS AND RELATED HARDWARE AND TRIM.
- 7 NOT USED.
- 8 PROTECT EXISTING PLASTER LIGHT FIXTURE SURROUND.
- 9 PROTECT VERTICAL RECESSED LIGHT AND RELATED COMPONENTS.
- 10 EXISTING TERRAZZO TO BE CLEANED & REFINISHED, SEE 09 66 00.
- 11 RESTORE METAL ENCLOSURES.
- 12 PLASTER AND ORNAMENTAL METAL AUDITORIUM ELEMENTS TO REMAIN UNDISTURBED DURING DEMOLITION AND CONSTRUCTION. THERE IS NO WORK CALLED FOR IN THIS AREA. DAMAGE WILL BE THE RESPONSIBILITY OF CONTRACTOR.
- 13 NOT USED.
- 14 ALL INTERIOR AND EXTERIOR POSTER CASES ARE TO REMAIN IN PLACE, PROTECTED IN THEIR HISTORIC LOCATIONS.
- 15 CAP EXST FOUNTAIN PIPING WITHIN WALL IN ACCESSIBLE LOCATION. FINISH TERRAZZO BASIN FLUSH WITH NO PLUMBING VISIBLE.
- 16 PROTECT EXISTING DRINKING FOUNTAIN.
- 17 REPLACE ROOF DRAIN AND PIPING AS REQUIRED TO CONNECT TO RAINWATER LEADER.
- 18 INSTALL RAINWATER LEADERS AT FACE OF WALL.
- 20 PROVIDE NEW ELECTRICAL SERVICE COMPONENTS, SWITCHING, AND LAMPS AT SHEET METAL ENCLOSURES. RESTORE EXISTING ENCLOSURES.
- 21 PROTECT EXISTING LIGHT FIXTURES, TYPICAL U.N.O.
- 22 PROTECT EXISTING ELECTRICAL SERVICE COMPONENTS.
- 23 ALTERNATE #1: CAP OR REGISTER WITH CITY OF MINNEAPOLIS EXISTING WELL/ PUMP.
- 24 NEW RAINWATER LEADER FROM MARQUEE ROOF. RUN WITHIN MARQUEE PLENUM INTO BUILDING. RUN TIGHT TO CEILING WITHIN OFFICE E109 AND CONNECT TO OTHER ROOF DRAIN LINES TO DRAIN TO CITY STORM SEWER.
- 25 ALTERNATE #3: EXTERIOR LIGHTING AT THE PERIMETER OF THE BUILDING
- 26 ALTERNATE #4: MASONRY REHABILITATION
- 27 ALTERNATE #5: ROOF REPAIR / INCLUDING DRAINAGE
- 28 ALTERNATE #6: EXTERIOR OPENING REHABILITATION
- 29 ALTERNATE #7: STEEL LINTELS
- 30 ALTERNATE #8: TERRA COTTA AND STONE PARAPETS
- 31 ALTERNATE #9: REMOVAL OF AREAWAY AND INFILL OF OPENINGS
- 32 RESTORE EXISTING CANOPY LIGHT FIXTURES
- 33 NEW HINGED ACCESS PANEL TO MATCH RESTORED SOFFIT FINISH
- 34 PROTECT EXISTING FLOOR BASE FOR FUTURE REFINISHING
- 35 PROTECT EXISTING WALL GRILLE FOR REUSE WITH FUTURE NEW MECHANICAL SYSTEM
- 36 ALTERNATE #2: CLEAN AND PATCH WALLS AND CEILINGS IN TUNNELS IN PREPARATION FOR FUTURE FINISHING

EXTENTS OF AREA WAY TO BE DEMOLISHED - SEE DEMO PLANS



SCOPE LIMITED TO PENETRATIONS FOR RAINWATER LEADERS IN THIS AREA

LOWER LEVEL FLOOR PLAN 1  
SCALE: 1/8" = 1'-0" A2.00

# SNOW KREILICH ARCHITECTS

2400 RAND TOWER  
527 MARQUETTE AVENUE  
MINNEAPOLIS, MN 55402  
612 359 9430  
WWW.SNOWKREILICH.COM

## HOLLYWOOD THEATER

2815 Johnson St. NE  
Minneapolis, MN 55418

MINIMUM IMPROVEMENTS AND ADD ALTERNATES

CLIENT  
Out of the Past Redevelopment, LLC.  
1325 Winter St. NE  
Suite 100  
Minneapolis, MN 55413  
612 746 1774

HISTORIC PRESERVATION  
Preservation Design Works  
575 9th St. SE, Ste 215  
Minneapolis, MN 55414  
612 843 4140

NOT FOR CONSTRUCTION

Preservation Review 18 Mar 2015

2014.19 Project Number tkm Drawn By

FLOOR PLAN LOWER LEVEL

# A 2.00

# SNOW KREILICH ARCHITECTS

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## NOT FOR CONSTRUCTION

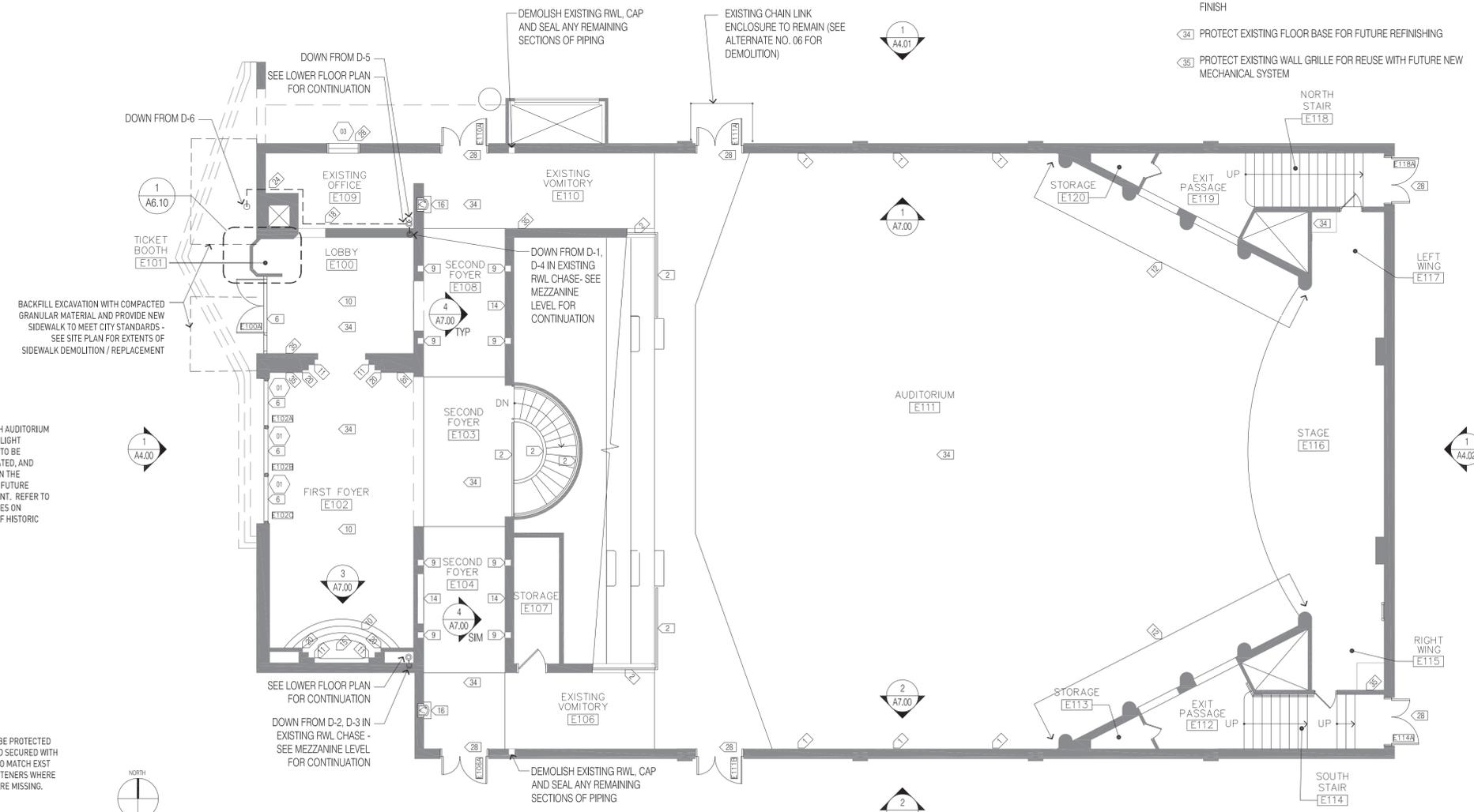
Preservation Review 18 Mar 2015

2014.19 tkm  
Project Number Drawn By

FLOOR PLAN MAIN LEVEL

# A 2.10

- KEY NOTES:**
- <1> METAL LIGHT FIXTURES ARE TO BE REMOVED, CRATED & STORED WITHIN THE BUILDING FOR FUTURE REFURBISHMENT. REFER TO A1.01 FOR NOTES ON PROTECTION OF HISTORIC ELEMENTS
  - <2> PROTECT RAILINGS AND BALUSTRADE, REFER TO 2/A2.10.
  - <3> REPLACE DETERIORATED CANOPY ROOF DECK.
  - <4> PROVIDE POSITIVE SLOPED DRAINAGE AT CANOPY ROOF TO ROOF DRAIN. PROVIDE NEW ROOFING AT CANOPY.
  - <5> INSTALL NEW STEEL WINDOW.
  - <6> REFER TO DOOR SCHEDULE FOR NEW DOORS OR INTERIOR STORMS AND RELATED HARDWARE AND TRIM.
  - <7> NOT USED.
  - <8> PROTECT EXISTING PLASTER LIGHT FIXTURE SURROUND.
  - <9> PROTECT VERTICAL RECESSED LIGHT AND RELATED COMPONENTS.
  - <10> EXISTING TERRAZZO TO BE CLEANED & REFINISHED, SEE 09 66 00.
  - <11> RESTORE METAL ENCLOSURES.
  - <12> PLASTER AND ORNAMENTAL METAL AUDITORIUM ELEMENTS TO REMAIN UNDISTURBED DURING DEMOLITION AND CONSTRUCTION. THERE IS NO WORK CALLED FOR IN THIS AREA. DAMAGE WILL BE THE RESPONSIBILITY OF CONTRACTOR.
  - <13> NOT USED.
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  - <16> PROTECT EXISTING DRINKING FOUNTAIN.
  - <17> REPLACE ROOF DRAIN AND PIPING AS REQUIRED TO CONNECT TO RAINWATER LEADER.
  - <18> INSTALL RAINWATER LEADERS AT FACE OF WALL.
  - <19> PATCH EXST ROOF STRUCTURE AT DEMOLISHED ROOF DRAIN.
  - <20> PROVIDE NEW ELECTRICAL SERVICE COMPONENTS, SWITCHING, AND LAMPS AT SHEET METAL ENCLOSURES. RESTORE EXISTING ENCLOSURES.
  - <21> PROTECT EXISTING LIGHT FIXTURES, TYPICAL U.N.O.
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  - <30> ALTERNATE #8: TERRA COTTA AND STONE PARAPETS
  - <31> ALTERNATE #9: REMOVAL OF AREAWAY AND INFILL OF OPENINGS
  - <32> RESTORE EXISTING CANOPY LIGHT FIXTURES
  - <33> NEW HINGED ACCESS PANEL TO MATCH RESTORED SOFFIT FINISH
  - <34> PROTECT EXISTING FLOOR BASE FOR FUTURE REFINISHING
  - <35> PROTECT EXISTING WALL GRILLE FOR REUSE WITH FUTURE NEW MECHANICAL SYSTEM



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Preservation Review 18 Mar 2015

2014.19 tkm  
Project Number Drawn By

FLOOR PLAN  
MEZZANINE LEVEL

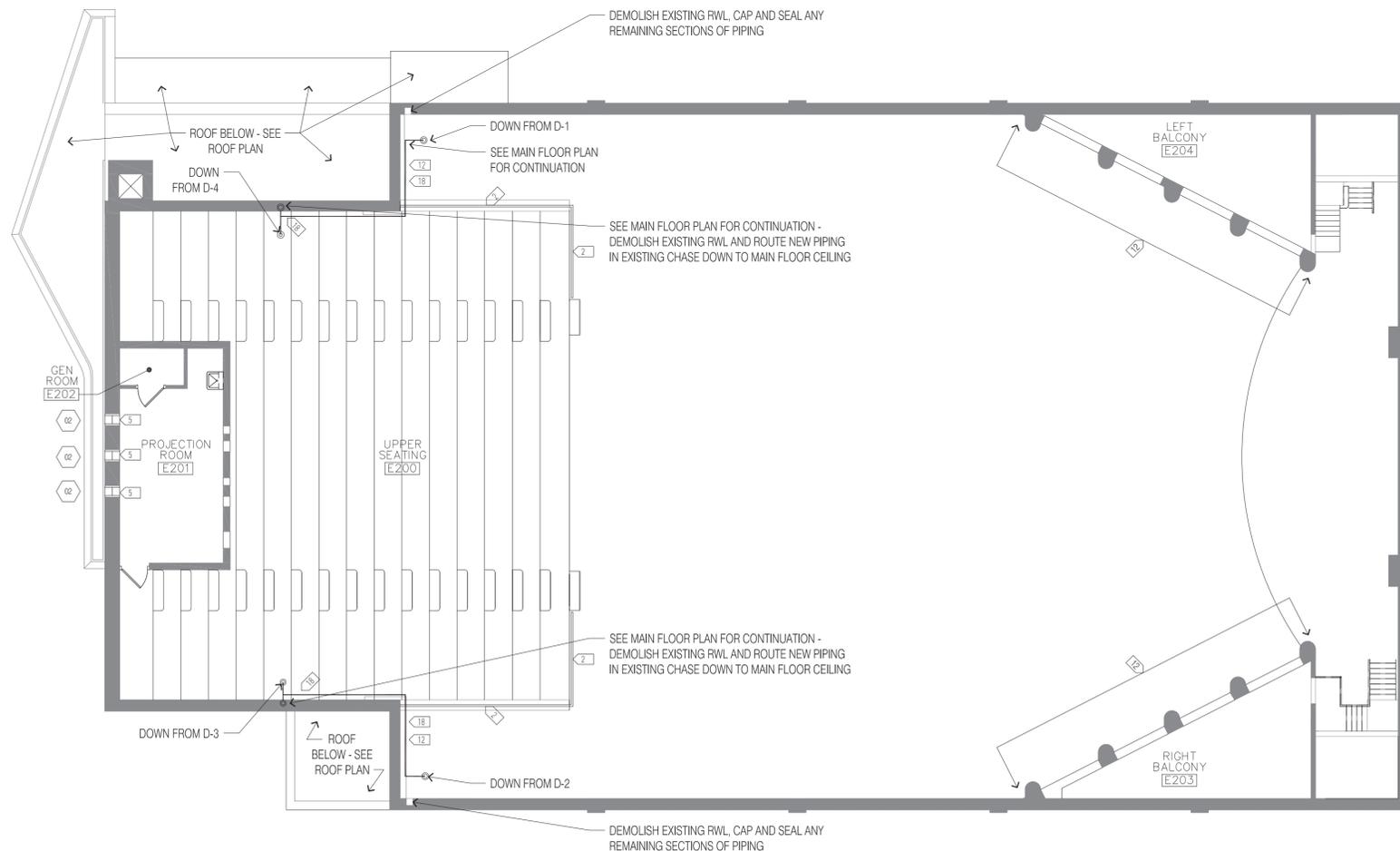
# A 2.20

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  - <6> REFER TO DOOR SCHEDULE FOR NEW DOORS OR INTERIOR STORMS AND RELATED HARDWARE AND TRIM.
  - <7> NOT USED.
  - <8> PROTECT EXISTING PLASTER LIGHT FIXTURE SURROUND.
  - <9> PROTECT VERTICAL RECESSED LIGHT AND RELATED COMPONENTS.
  - <10> EXISTING TERRAZZO TO BE CLEANED & REFINISHED, SEE 09 66 00.
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  - <17> REPLACE ROOF DRAIN AND PIPING AS REQUIRED TO CONNECT TO RAINWATER LEADER.
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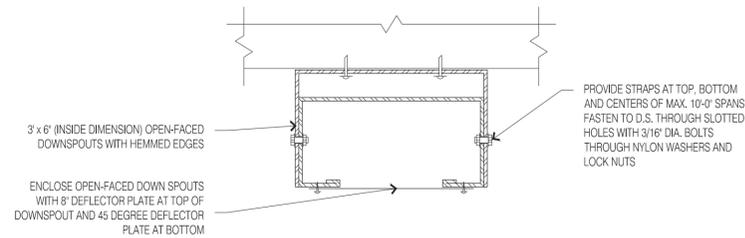
PROJECTION ROOM WINDOW OPENINGS. PROVIDE NEW STEEL WINDOWS PER THESE DOCUMENTS.

REFERENCE PHOTOS 2  
SCALE: NONE A2.20

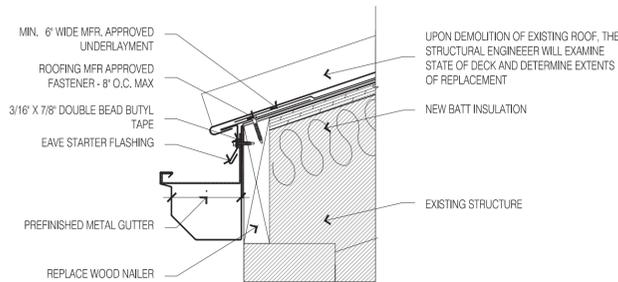


MEZZANINE LEVEL FLOOR PLAN 1  
SCALE: 1/8" = 1'-0" A2.20

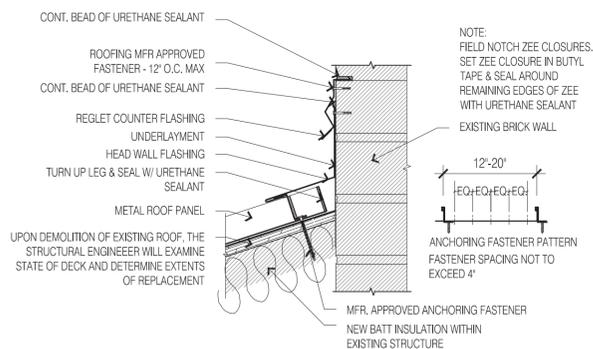




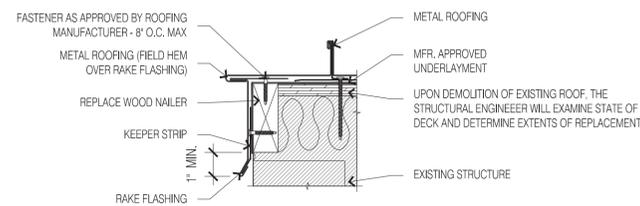
**ROOF DOWNSPOUT** 10  
SCALE: 3" = 1'-0" A2.31



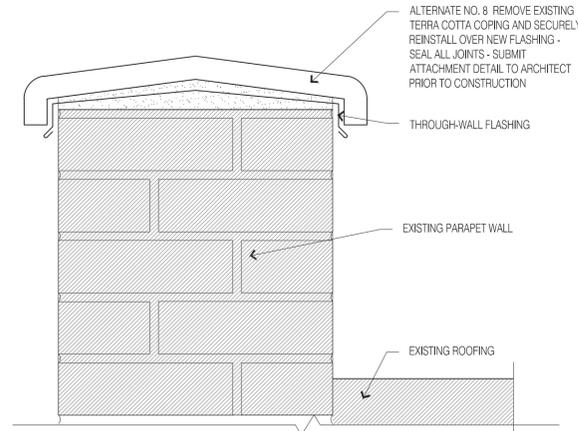
**ALTERNATE NO. 5 METAL ROOF EDGE AND GUTTER** 9  
SCALE: 3" = 1'-0" A2.31



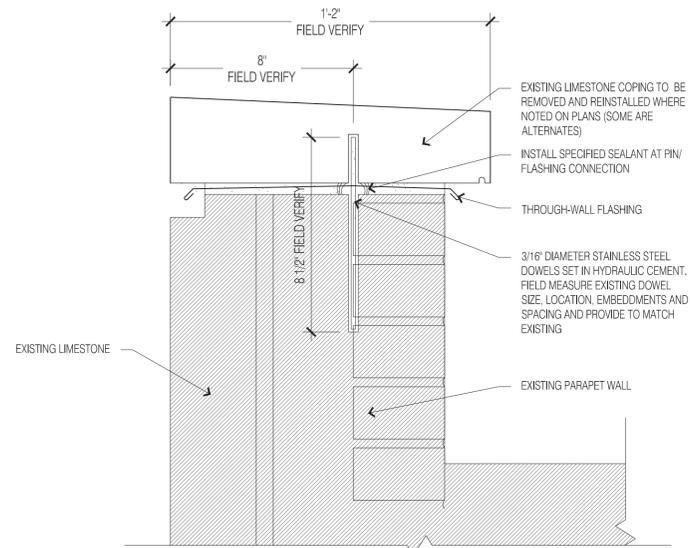
**ALTERNATE NO. 5 METAL ROOF / WALL TRANSITION** 8  
SCALE: 3" = 1'-0" A2.31



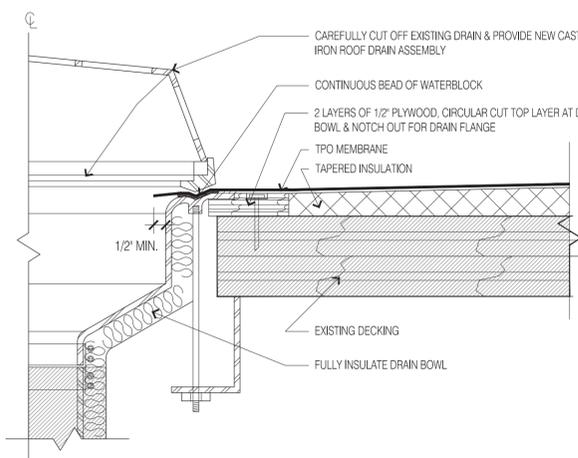
**ALTERNATE NO. 5 METAL ROOF EDGE** 7  
SCALE: 3" = 1'-0" A2.31



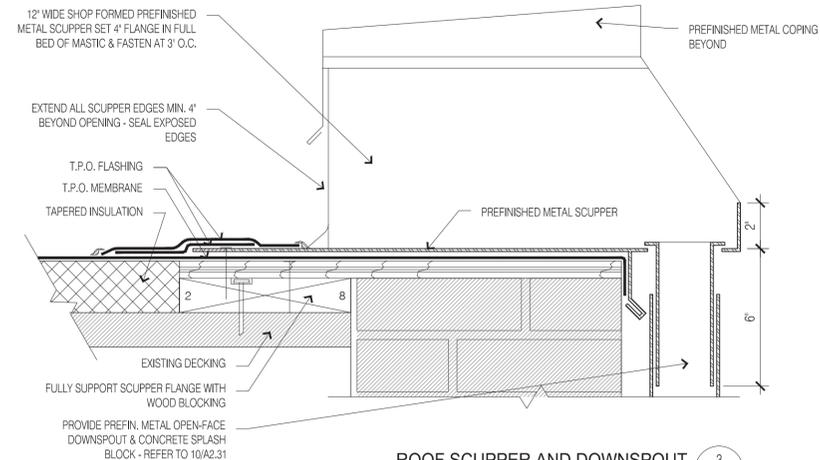
**TERRA COTTA PARAPET DETAIL** 6  
SCALE: 3" = 1'-0" A2.31



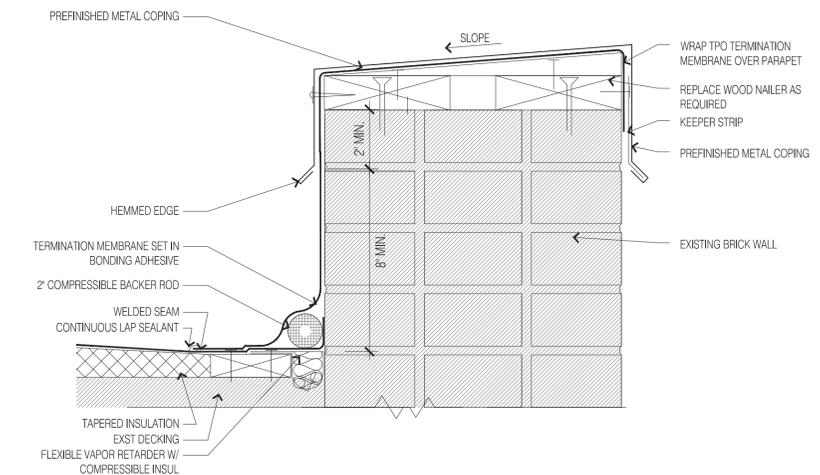
**STONE PARAPET** 5  
SCALE: 3" = 1'-0" A2.31



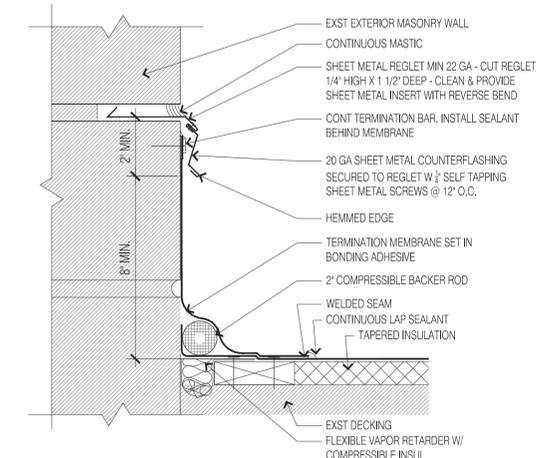
**ROOF DRAIN** 4  
SCALE: 3" = 1'-0" A2.31



**ROOF SCUPPER AND DOWNSPOUT** 3  
SCALE: 3" = 1'-0" A2.31



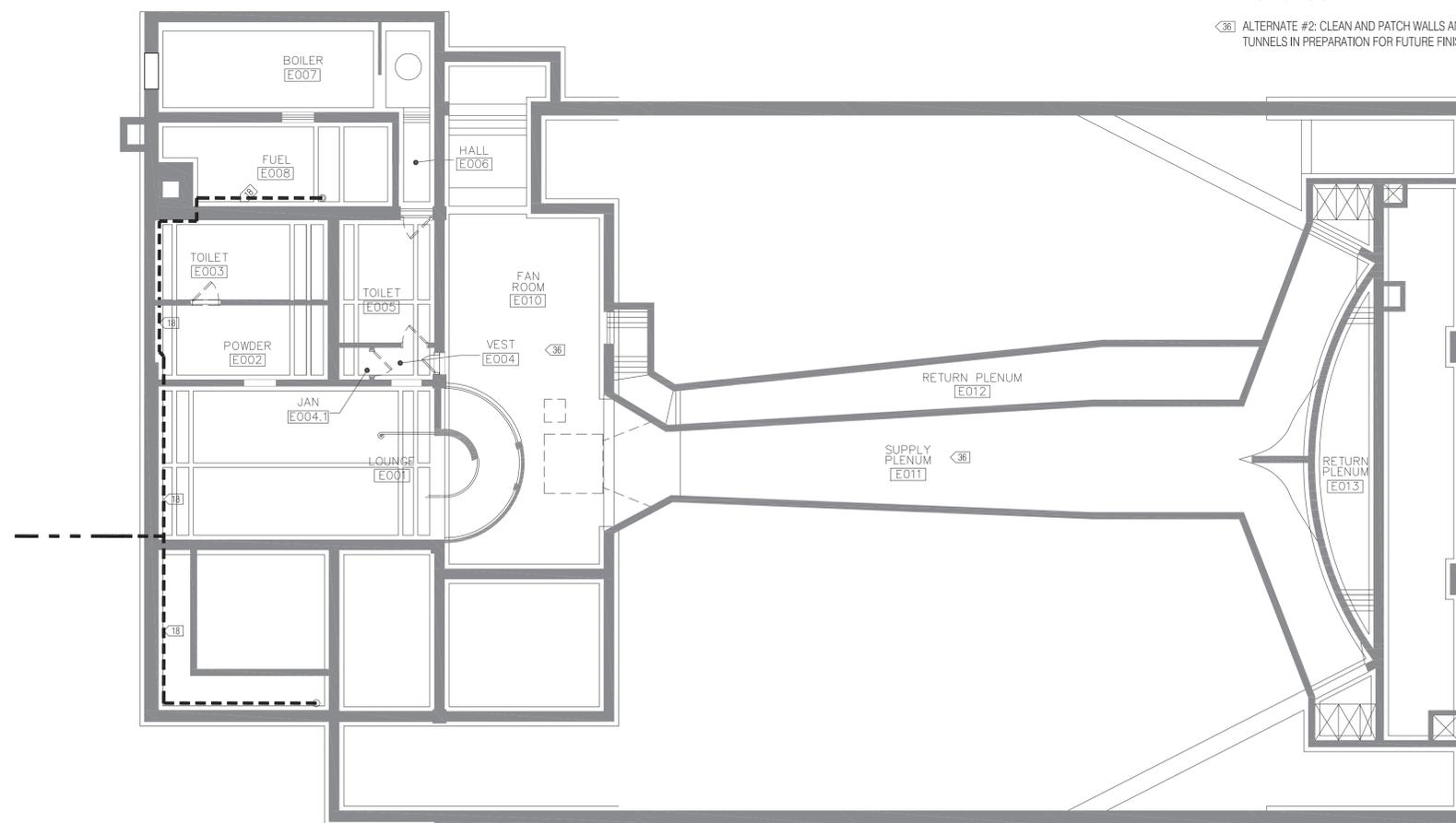
**METAL ROOF COPING DETAIL** 2  
SCALE: 3" = 1'-0" A2.31



**ROOF / WALL TRANSITION DETAIL** 1  
SCALE: 3" = 1'-0" A2.31

#### KEY NOTES:

- <1> METAL LIGHT FIXTURES ARE TO BE REMOVED, CRATED & STORED WITHIN THE BUILDING FOR FUTURE REFURBISHMENT. REFER TO A1.01 FOR NOTES ON PROTECTION OF HISTORIC ELEMENTS
- <2> PROTECT RAILINGS AND BALUSTRADE, REFER TO 2/A2.10.
- <3> REPLACE DETERIORATED CANOPY ROOF DECK.
- <4> PROVIDE POSITIVE SLOPED DRAINAGE AT CANOPY ROOF TO ROOF DRAIN. PROVIDE NEW ROOFING AT CANOPY.
- <5> INSTALL NEW STEEL WINDOW.
- <6> REFER TO DOOR SCHEDULE FOR NEW DOORS OR INTERIOR STORMS AND RELATED HARDWARE AND TRIM.
- <7> NOT USED.
- <8> PROTECT EXISTING PLASTER LIGHT FIXTURE SURROUND.
- <9> PROTECT VERTICAL RECESSED LIGHT AND RELATED COMPONENTS.
- <10> EXISTING TERRAZZO TO BE CLEANED & REFINISHED, SEE 09 66 00.
- <11> RESTORE METAL ENCLOSURES.
- <12> PLASTER AND ORNAMENTAL METAL AUDITORIUM ELEMENTS TO REMAIN UNDISTURBED DURING DEMOLITION AND CONSTRUCTION. THERE IS NO WORK CALLED FOR IN THIS AREA. DAMAGE WILL BE THE RESPONSIBILITY OF CONTRACTOR.
- <13> NOT USED.
- <14> ALL INTERIOR AND EXTERIOR POSTER CASES ARE TO REMAIN IN PLACE, PROTECTED IN THEIR HISTORIC LOCATIONS.
- <15> CAP EXST FOUNTAIN PIPING WITHIN WALL IN ACCESSIBLE LOCATION. FINISH TERRAZZO BASIN FLUSH WITH NO PLUMBING VISIBLE.
- <16> PROTECT EXISTING DRINKING FOUNTAIN.
- <17> REPLACE ROOF DRAIN AND PIPING AS REQUIRED TO CONNECT TO RAINWATER LEADER.
- <18> INSTALL RAINWATER LEADERS AT FACE OF WALL.
- <19> PATCH EXST ROOF STRUCTURE AT DEMOLISHED ROOF DRAIN.
- <20> PROVIDE NEW ELECTRICAL SERVICE COMPONENTS, SWITCHING, AND LAMPS AT SHEET METAL ENCLOSURES. RESTORE EXISTING ENCLOSURES.
- <21> PROTECT EXISTING LIGHT FIXTURES, TYPICAL U.N.O.
- <22> PROTECT EXISTING ELECTRICAL SERVICE COMPONENTS.
- <23> ALTERNATE #1: CAP OR REGISTER WITH CITY OF MINNEAPOLIS EXISTING WELL/ PUMP.
- <24> NEW RAINWATER LEADER FROM MARQUEE ROOF. RUN WITHIN MARQUEE PLENUM INTO BUILDING. RUN TIGHT TO CEILING WITHIN OFFICE E109 AND CONNECT TO OTHER ROOF DRAIN LINES TO DRAIN TO CITY STORM SEWER.
- <25> ALTERNATE #3: EXTERIOR LIGHTING AT THE PERIMETER OF THE BUILDING
- <26> ALTERNATE #4: MASONRY REHABILITATION
- <27> ALTERNATE #5: ROOF REPAIR / INCLUDING DRAINAGE
- <28> ALTERNATE #6: EXTERIOR OPENING REHABILITATION
- <29> ALTERNATE #7: STEEL LINTELS
- <30> ALTERNATE #8: TERRA COTTA AND STONE PARAPETS
- <31> ALTERNATE #9: REMOVAL OF AREAWAY AND INFILL OF OPENINGS
- <32> RESTORE EXISTING CANOPY LIGHT FIXTURES
- <33> NEW HINGED ACCESS PANEL TO MATCH RESTORED SOFFIT FINISH
- <34> PROTECT EXISTING FLOOR BASE FOR FUTURE REFINISHING
- <35> PROTECT EXISTING WALL GRILLE FOR REUSE WITH FUTURE NEW MECHANICAL SYSTEM
- <36> ALTERNATE #2: CLEAN AND PATCH WALLS AND CEILINGS IN TUNNELS IN PREPARATION FOR FUTURE FINISHING



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CONSTRUCTION

Preservation Review 18 Mar 2015

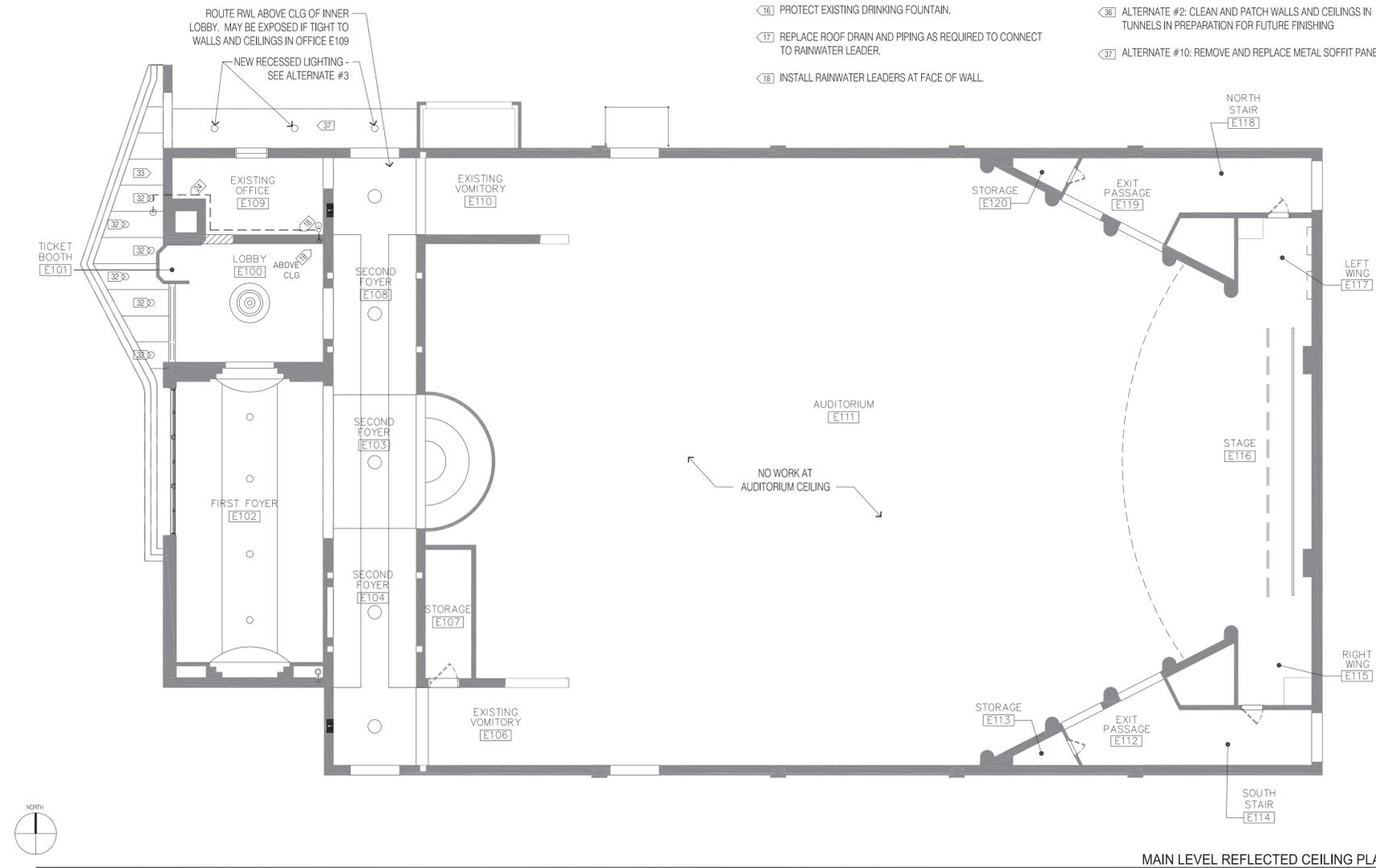
2014.19 tkm  
Project Number Drawn By

REFLECTED CEILING PLAN  
MAIN LEVEL

# A 3.01

KEY NOTES:

- <1> METAL LIGHT FIXTURES ARE TO BE REMOVED, CRATED & STORED WITHIN THE BUILDING FOR FUTURE REFURBISHMENT. REFER TO A1.01 FOR NOTES ON PROTECTION OF HISTORIC ELEMENTS
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- <35> PROTECT EXISTING WALL GRILLE FOR REUSE WITH FUTURE NEW MECHANICAL SYSTEM
- <36> ALTERNATE #2: CLEAN AND PATCH WALLS AND CEILINGS IN TUNNELS IN PREPARATION FOR FUTURE FINISHING
- <37> ALTERNATE #10: REMOVE AND REPLACE METAL SOFFIT PANELS.



MAIN LEVEL REFLECTED CEILING PLAN 1  
SCALE: 1/8" = 1'-0" A3.01

# SNOW KREILICH ARCHITECTS

2400 RAND TOWER  
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612 359 9430  
WWW.SNOWKREILICH.COM

## HOLLYWOOD THEATER

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Minneapolis, MN 55418

MINIMUM IMPROVEMENTS AND ADD  
ALTERNATES

CLIENT  
Out of the Past Redevelopment, LLC.  
1325 Winter St. NE  
Suite 100  
Minneapolis, MN 55413  
612 746 1774

HISTORIC PRESERVATION  
Preservation Design Works  
575 9th St. SE, Ste 215  
Minneapolis, MN 55414  
612 843 4140

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Preservation Review 18 Mar 2015

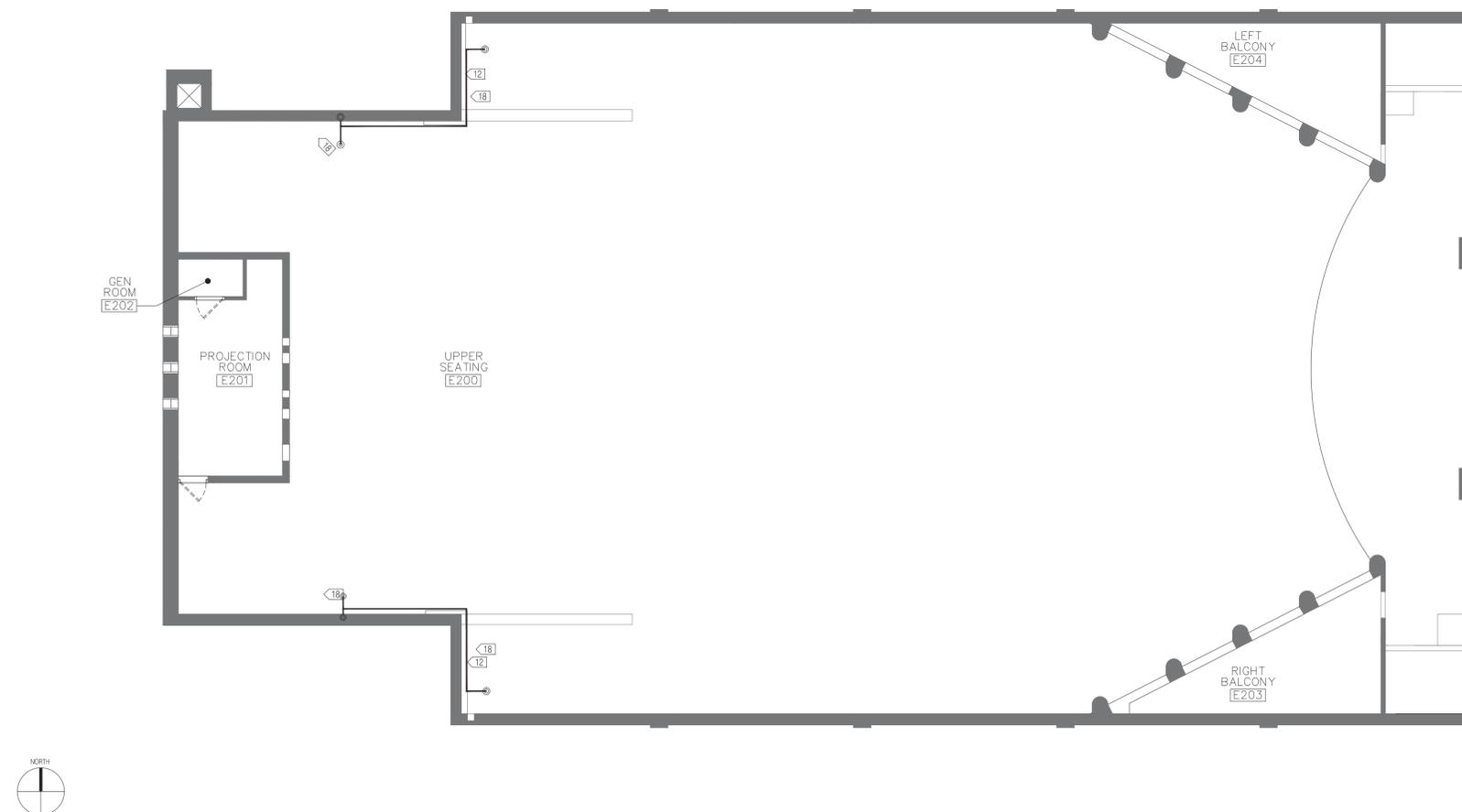
2014.19 Project Number tkm Drawn By

REFLECTED CEILING PLAN  
MEZZANINE LEVEL

# A 3.02

### KEY NOTES:

- <1> METAL LIGHT FIXTURES ARE TO BE REMOVED, CRATED & STORED WITHIN THE BUILDING FOR FUTURE REFURBISHMENT. REFER TO A1.01 FOR NOTES ON PROTECTION OF HISTORIC ELEMENTS
- <2> PROTECT RAILINGS AND BALUSTRADE. REFER TO 2/A2.10.
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- <7> NOT USED.
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- <9> PROTECT VERTICAL RECESSED LIGHT AND RELATED COMPONENTS.
- <10> EXISTING TERRAZZO TO BE CLEANED & REFINISHED. SEE 09 66 00.
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- <33> NEW HINGED ACCESS PANEL TO MATCH RESTORED SOFFIT FINISH
- <34> PROTECT EXISTING FLOOR BASE FOR FUTURE REFINISHING
- <35> PROTECT EXISTING WALL GRILLE FOR REUSE WITH FUTURE NEW MECHANICAL SYSTEM



MEZZANINE LEVEL REFLECTED CEILING PLAN 1  
SCALE: 1/8" = 1'-0" A3.02

# SNOW KREILICH ARCHITECTS

2400 RAND TOWER  
527 MARQUETTE AVENUE  
MINNEAPOLIS, MN 55402  
612 359 9430  
WWW.SNOWKREILICH.COM

## HOLLYWOOD THEATER

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MINIMUM IMPROVEMENTS AND ADD  
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CLIENT  
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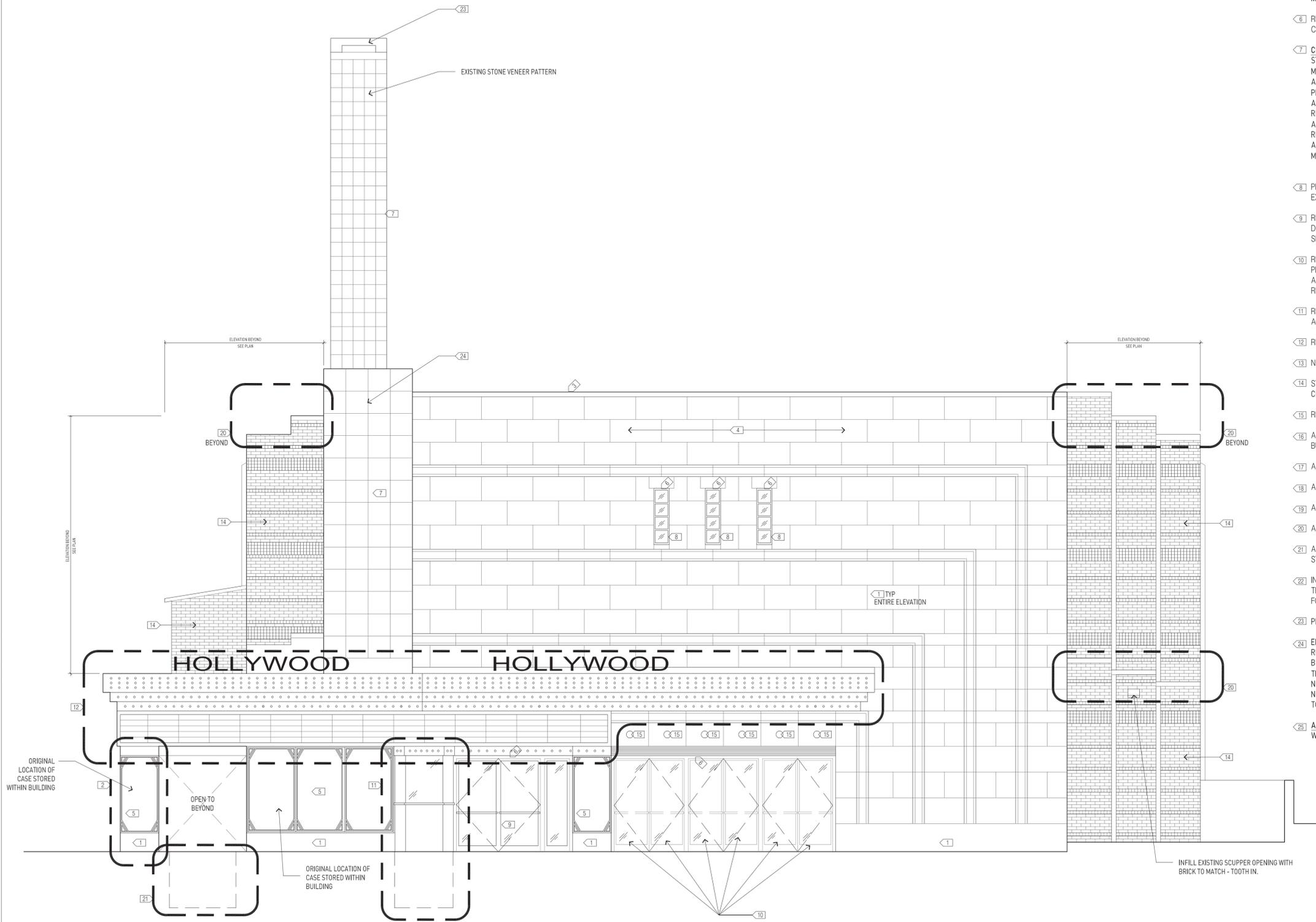
2014.19 tkm  
Project Number Drawn By

EXTERIOR ELEVATIONS

# A 4.00

### ELEVATION KEYED NOTES:

- ◁1 STONE MASONRY: REPOINT ALL JOINTS.
- ◁2 REMOVE AREA OF DISPLACED STONE VENEER. REPAIR BACKUP MASONRY AS NEEDED AND RESET STONE PANELS.
- ◁3 VERIFY CONDITIONS OF ALL LIMESTONE PARAPET CAPSTONES. RESET IF LOOSE OR DISPLACED.
- ◁4 CLEAN AREA OF SOILED MASONRY. GENERALLY, TOP BAND OF LIMESTONE FROM CHIMNEY TO SOUTH CORNER
- ◁5 REMOVE AND RESTORE EXISTING EXTERIOR METAL POSTER CASE AND REINSTALL. RECONSTRUCT ANY ELEMENTS THAT ARE MISSING OR DAMAGED BEYOND REPAIR.
- ◁6 REMOVE RUST FROM EXISTING STEEL LINTEL OR METAL CLADDING. PRIME WITH A RUST-INHIBITIVE PRIMER AND REPAINT
- ◁7 CHIMNEY: REPAIR STONE MASONRY AT CHIMNEY AND REMOVE STRAPPING. TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY (ABOVE ROOFING) BY REMOVING AREAS OF STONE AND ASSESSING INTEGRITY OF BACK-UP BRICK MASONRY WITH PROJECT STRUCTURAL ENGINEER. (FOR PRICING PURPOSES, ASSUME THE FOLLOWING: REMOVAL OF METAL STRAPPING; REMOVAL AND SALVAGE OF ALL STONE VENEER; REPLACEMENT AND/ OR REBUILDING 25% OF BRICK MASONRY BACKUP; REPOINTING 100% OF MORTAR JOINTS AT BRICK; RESETTING AND ANCHORING STONE VENEER; AND AND REPOINTING 100% OF MORTAR JOINTS AT STONE VENEER).
- ◁8 PROVIDE AND INSTALL NEW PREFINISHED STEEL WINDOWS IN EXISTING OPENINGS.
- ◁9 REMOVE AND REPLACE (3) EXISTING ENTRY DOORS WITH NEW DOORS AND FRAMES TO MATCH EXISTING HISTORIC PROFILES. SEE SCHEDULE AND DETAILS.
- ◁10 REPAIR EXISTING DOORS. REMOVE HARDWARE AND SECURE IN PLACE. INSTALL INTERIOR ALUMINUM STORM WINDOWS WITH ALUMINUM MILL FINISH. NEW STORM WINDOWS TO BE REMOVABLE.
- ◁11 RECONSTRUCT TICKET BOOTH. REFER TO DETAILS ON SHEET A6.01.
- ◁12 RESTORE CANOPY.
- ◁13 NEW SCUPPER AND DOWNSPOUT - REFER TO ROOF PLAN
- ◁14 STABILIZE AND REPOINT 25% OF RED BRICK MASONRY; REPOINT CRACKED OR DETERIORATED MORTAR JOINTS
- ◁15 RESTORE EXISTING PORTHOLE LIGHT FIXTURES (6)
- ◁16 ALTERNATE #3: EXTERIOR LIGHTING AT THE PERIMETER OF THE BUILDING - FULL CUT-OFF FIXTURE, ON DAYLIGHT SENSOR
- ◁17 ALTERNATE #4: MASONRY REHABILITATION
- ◁18 ALTERNATE #6: EXTERIOR OPENING REHABILITATION
- ◁19 ALTERNATE #7: STEEL LINTELS
- ◁20 ALTERNATE #8: TERRA COTTA AND STONE PARAPETS
- ◁21 ALTERNATE #9: INFILL DEMOLISHED OPENINGS - REFER TO STRUCTURAL DETAILS
- ◁22 INTERIOR POSTER CASES ARE TO BE PROTECTED IN PLACE IN THEIR HISTORIC LOCATIONS. REFER TO NOTES ON SHEET A1.01 FOR GUIDELINES ON PROTECTION OF HISTORIC ELEMENTS.
- ◁23 PROVIDE NEW CONCRETE CHIMNEY CAP
- ◁24 ELEVATION SHOWS PATTERN OF HISTORIC GREEN TILES - REHABILITATION REQUIRES STABILIZATION AND POINTING OF BRICK MASONRY CHIMNEY BACK UP WALL BEHIND HISTORIC TILES. REPAIR REMOVED TILES (EXISTING & REPLACEMENT, ON NEW METAL CHANNEL FURRING SYSTEM, SUPPLEMENT WITH NEW MATCHING TILES AS NEEDED. SUBMIT ATTACHMENT DETAIL TO ARCHITECT PRIOR TO CONSTRUCTION
- ◁25 ALTERNATE #10: REPLACE DETERIORATED METAL SOFFIT PANELS WITH NEW PREFINISHED METAL PANELS



WEST ELEVATION  
SCALE: 1/4" = 1'-0"  
1  
A4.00

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Preservation Review 18 Mar 2015

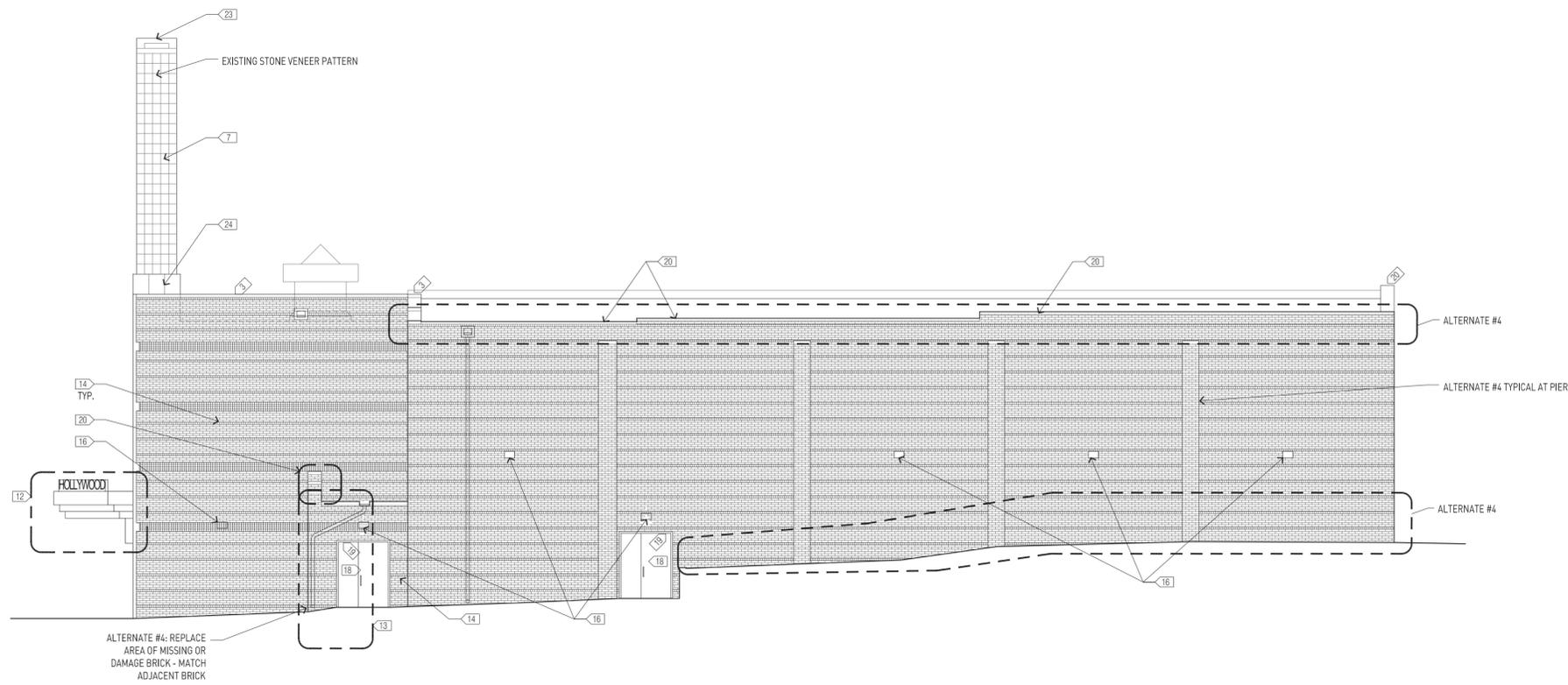
2014.19 Project Number tkm  
Drawn By

EXTERIOR ELEVATIONS

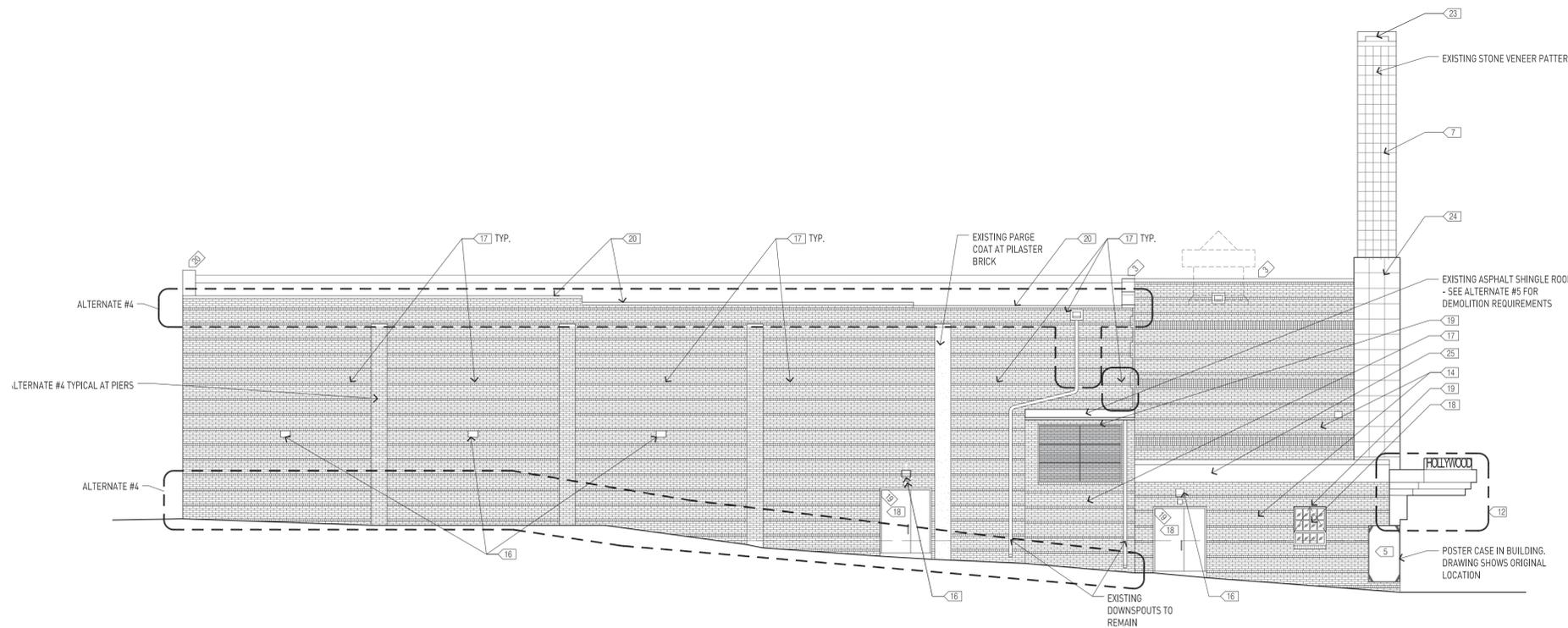
# A 4.01

### ELEVATION KEYED NOTES:

- 1 STONE MASONRY: REPOINT ALL JOINTS.
- 2 REMOVE AREA OF DISPLACED STONE VENEER. REPAIR BACKUP MASONRY AS NEEDED AND RESET STONE PANELS.
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- 25 ALTERNATE #10: REPLACE DETERIORATED METAL SOFFIT PANELS WITH NEW PREFINISHED METAL PANELS



**SOUTH ELEVATION** 2  
SCALE: 1/8" = 1'-0"  
A4.01



**NORTH ELEVATION** 1  
SCALE: 1/8" = 1'-0"  
A4.01

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Preservation Review 18 Mar 2015

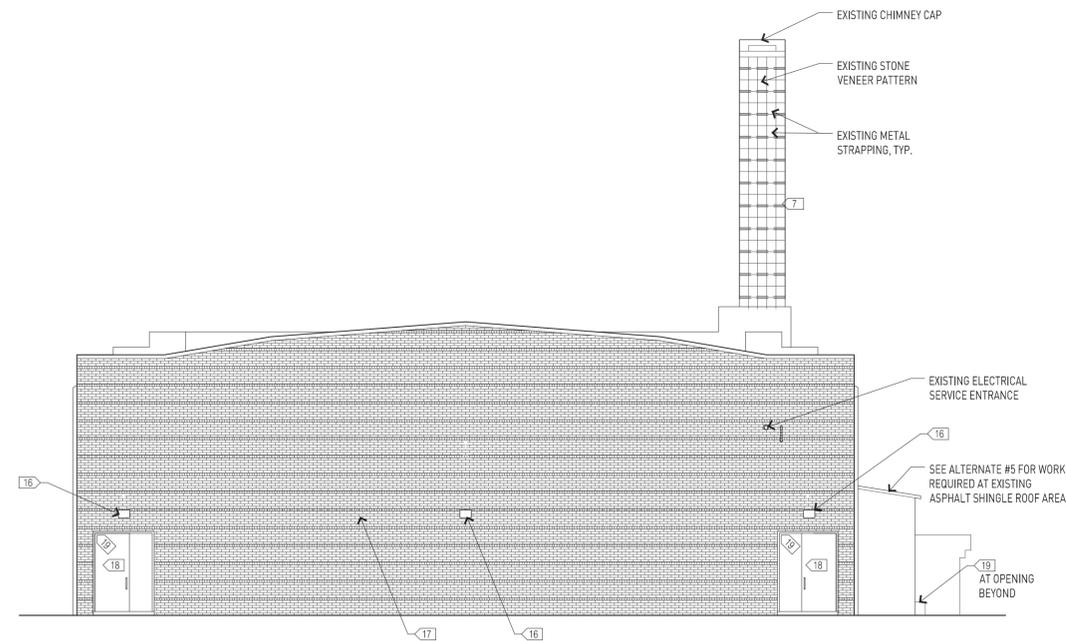
2014.19 Project Number tkm Drawn By

EXTERIOR ELEVATIONS

# A 4.02

ELEVATION KEYED NOTES:

- <1> STONE MASONRY: REPOINT ALL JOINTS.
- <2> REMOVE AREA OF DISPLACED STONE VENEER. REPAIR BACKUP MASONRY AS NEEDED AND RESET STONE PANELS.
- <3> VERIFY CONDITIONS OF ALL LIMESTONE PARAPET CAPSTONES. RESET IF LOOSE OR DISPLACED.
- <4> CLEAN AREA OF SOILED MASONRY. GENERALLY, TOP BAND OF LIMESTONE FROM CHIMNEY TO SOUTH CORNER
- <5> REMOVE AND RESTORE EXISTING EXTERIOR METAL POSTER CASE AND REINSTALL, RECONSTRUCT ANY ELEMENTS THAT ARE MISSING OR DAMAGED BEYOND REPAIR.
- <6> REMOVE RUST FROM EXISTING STEEL LINTEL OR METAL CLADDING. PRIME WITH A RUST-INHIBITIVE PRIMER AND REPAINT
- <7> CHIMNEY: REPAIR STONE MASONRY AT CHIMNEY AND REMOVE STRAPPING. TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY (ABOVE ROOFING) BY REMOVING AREAS OF STONE AND ASSESSING INTEGRITY OF BACK-UP BRICK MASONRY. (FOR PRICING PURPOSES, ASSUME THE FOLLOWING: REMOVAL OF METAL STRAPPING; REMOVAL AND SALVAGE OF ALL STONE VENEER; REPLACEMENT AND/OR REBUILDING 25% OF BRICK MASONRY BACKUP; REPOINTING 100% OF MORTAR JOINTS AT BRICK; RESETTING AND ANCHORING STONE VENEER; AND AND REPOINTING 100% OF MORTAR JOINTS AT STONE VENEER). COORDINATE WITH 5.3.
- <8> PROVIDE AND INSTALL NEW PREFINISHED STEEL WINDOWS IN EXISTING OPENINGS.
- <9> REMOVE AND REPLACE (3) EXISTING ENTRY DOORS WITH NEW DOORS AND FRAMES TO MATCH EXISTING HISTORIC PROFILES. SEE SCHEDULE AND DETAILS.
- <10> REPAIR EXISTING DOORS. REMOVE HARDWARE AND SECURE IN PLACE. INSTALL INTERIOR ALUMINUM STORM WINDOWS WITH ALUMINUM MILL FINISH. NEW STORM WINDOWS TO BE REMOVABLE.
- <11> RECONSTRUCT TICKET BOOTH. REFER TO DETAILS ON SHEET A6.01.
- <12> RESTORE CANOPY.
- <13> NEW SCUPPER AND DOWNSPOUT - REFER TO ROOF PLAN
- <14> STABILIZE AND REPOINT 25% OF RED BRICK MASONRY, REPOINT CRACKED OR DETERIORATED MORTAR JOINTS
- <15> RESTORE EXISTING PORTHOLE LIGHT FIXTURES (6)
- <16> ALTERNATE #3: EXTERIOR LIGHTING AT THE PERIMETER OF THE BUILDING - FULL CUT-OFF FIXTURE, ON DAYLIGHT SENSOR
- <17> ALTERNATE #4: MASONRY REHABILITATION
- <18> ALTERNATE #6: EXTERIOR OPENING REHABILITATION
- <19> ALTERNATE #7: STEEL LINTELS
- <20> ALTERNATE #8: TERRA COTTA AND STONE PARAPETS



EAST ELEVATION  
SCALE: 1/8" = 1'-0"  
1  
A4.02

# SNOW KREILICH ARCHITECTS

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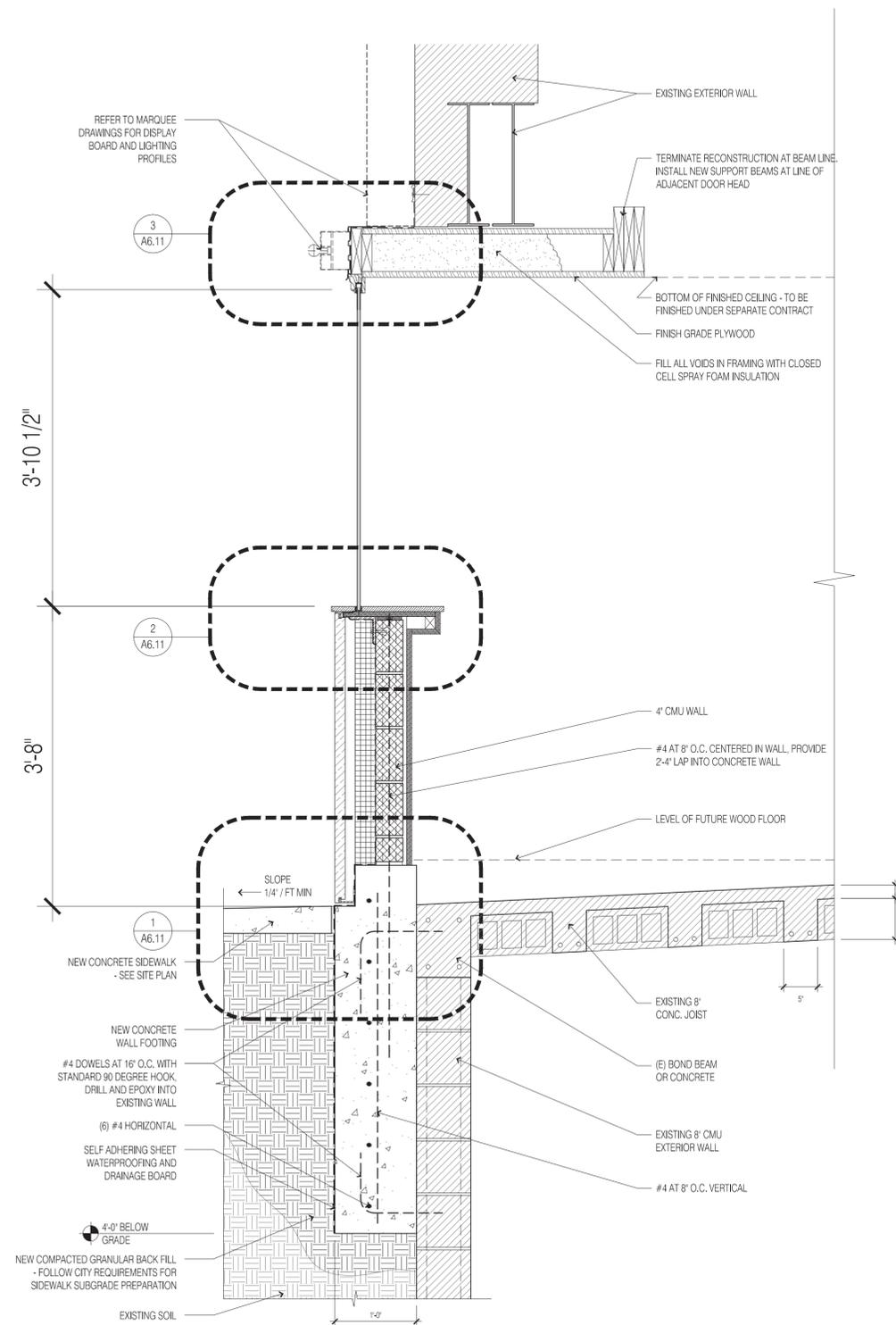
## HOLLYWOOD THEATER

2815 Johnson St. NE  
Minneapolis, MN 55418

MINIMUM IMPROVEMENTS AND ADD  
ALTERNATES

CLIENT  
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1325 Winter St. NE  
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Minneapolis, MN 55413  
612 746 1774

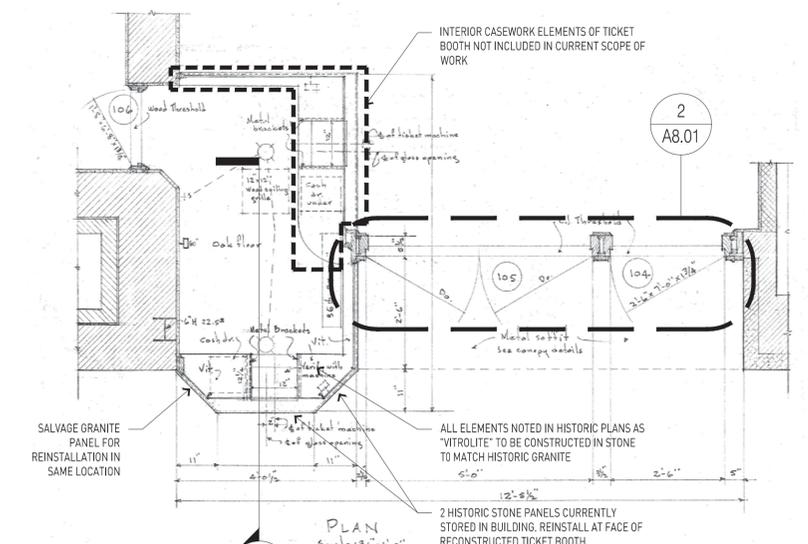
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612 843 4140



TICKET BOOTH WALL SECTION  
SCALE: 1/2" = 1'-0" 2 A6.10



TICKET BOOTH REFERENCE PHOTOS  
SCALE: NONE 3 A6.10



TICKET BOOTH RESTORATION PLAN  
SCALE: 1/2" = 1'-0" 1 A6.10

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TICKET BOOTH  
ENLARGED PLANS & DETAILS

# A 6.10

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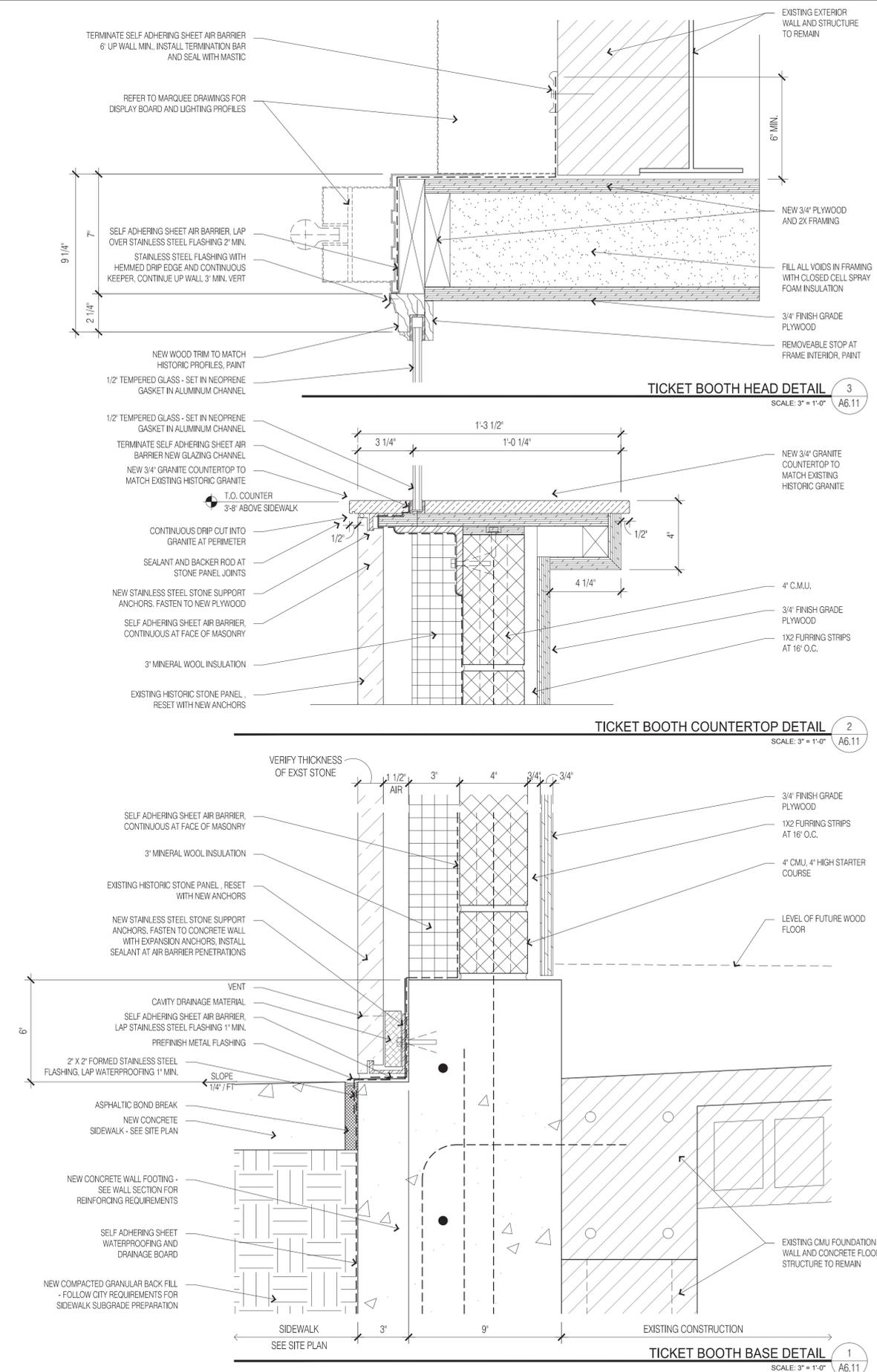
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TICKET BOOTH  
DETAILS

# A 6.11



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MARQUEE  
ENLARGED PLANS & DETAILS

# A 6.20



MARQUEE



MARQUEE SOFFIT AND LIGHTING



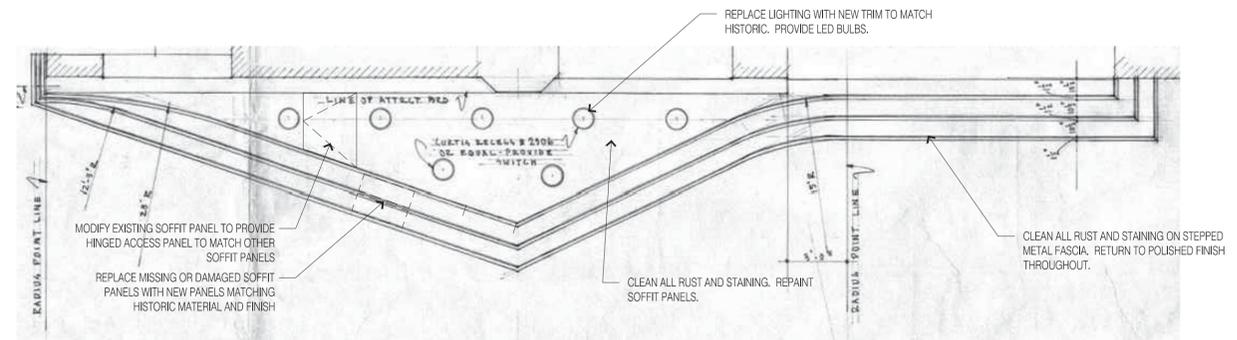
MARQUEE SOFFIT, LIGHTING, AND  
ATTRACTION BOARD



METAL PANEL  
ACCESS PANEL

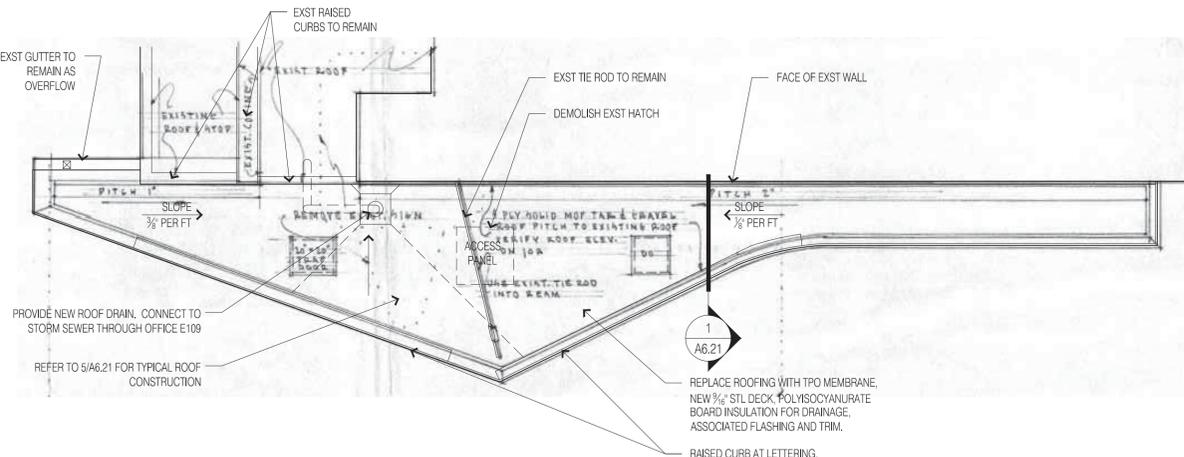
MARQUEE SOFFIT AND LIGHTING

REFERENCE PHOTOS 4  
SCALE: NONE A6.20



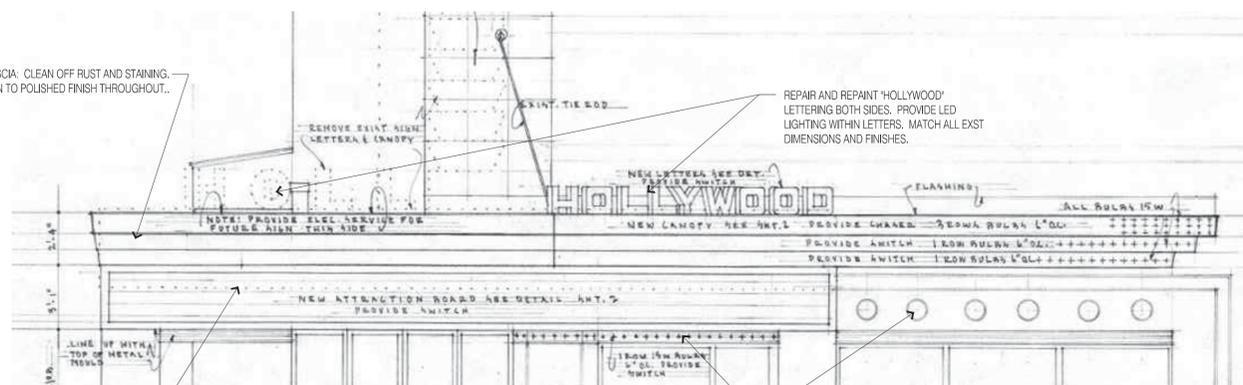
MARQUEE HISTORIC REFLECTED CEILING PLAN 3

SCALE: 1/4" = 1'-0" A6.20



MARQUEE HISTORIC ROOF PLAN 2

SCALE: 1/4" = 1'-0" A6.20



MARQUEE HISTORIC ELEVATION 1

SCALE: 1/4" = 1'-0" A6.20

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## HOLLYWOOD THEATER

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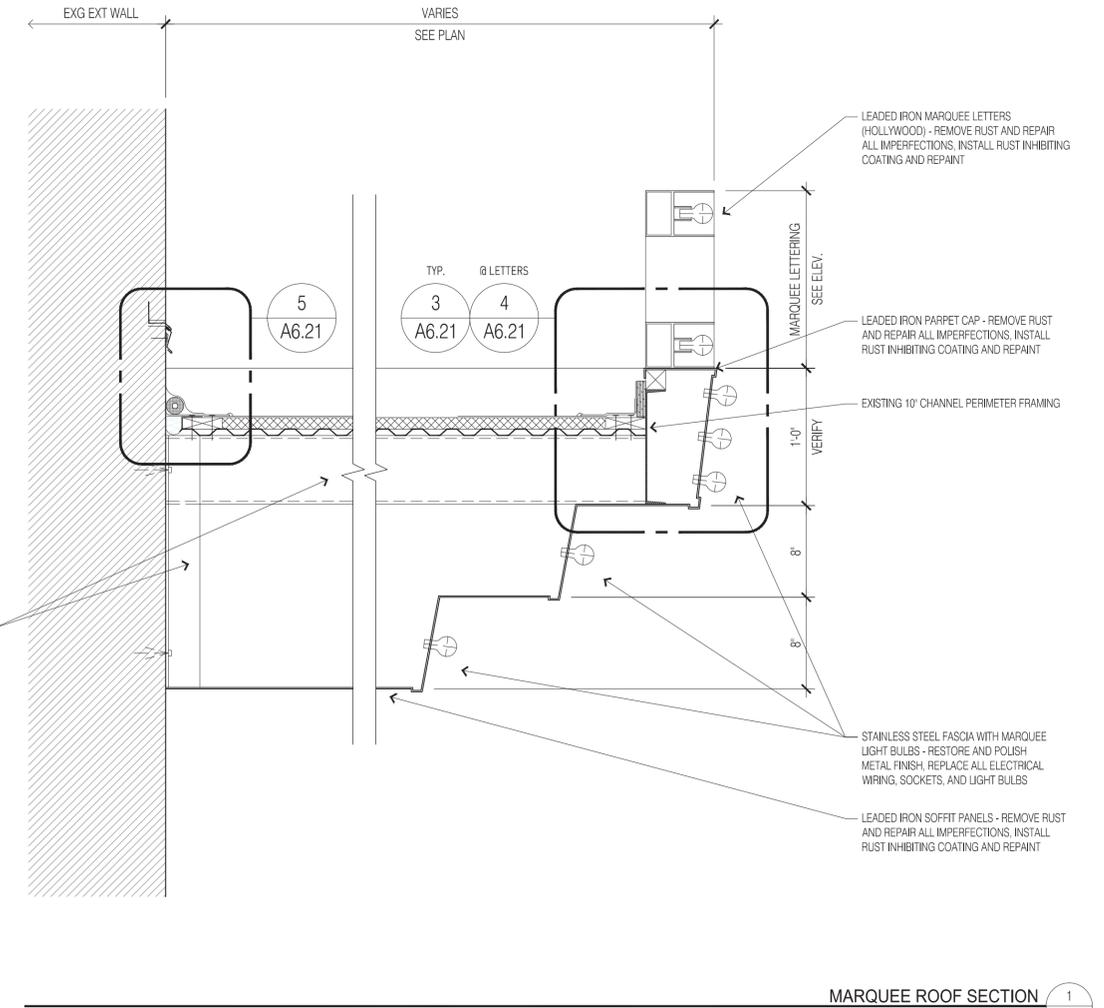
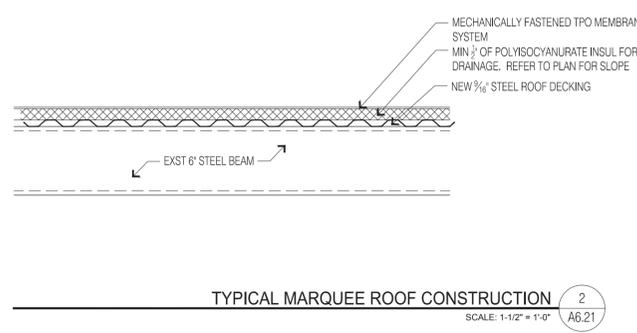
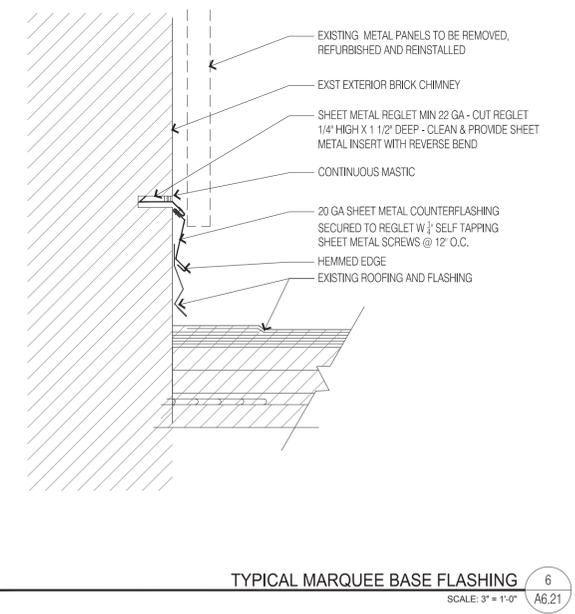
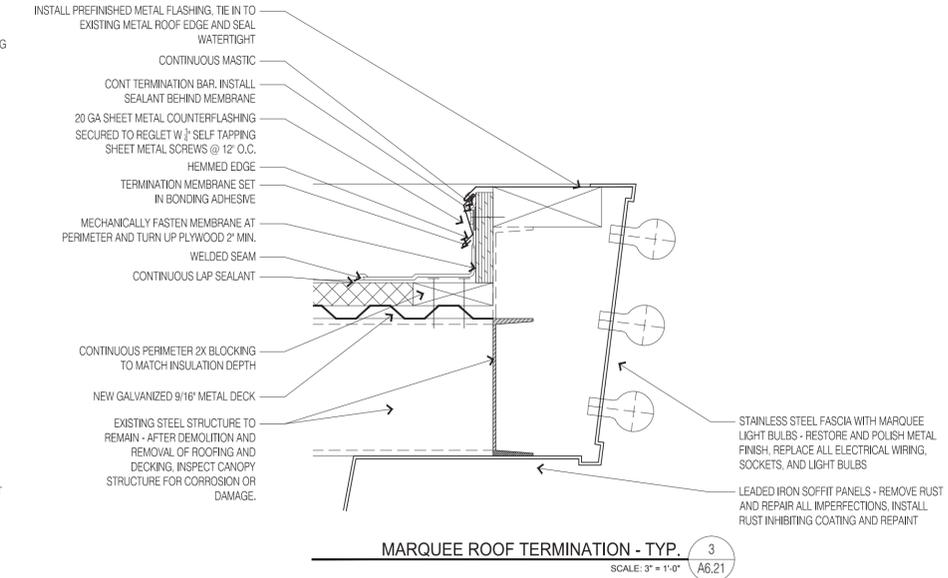
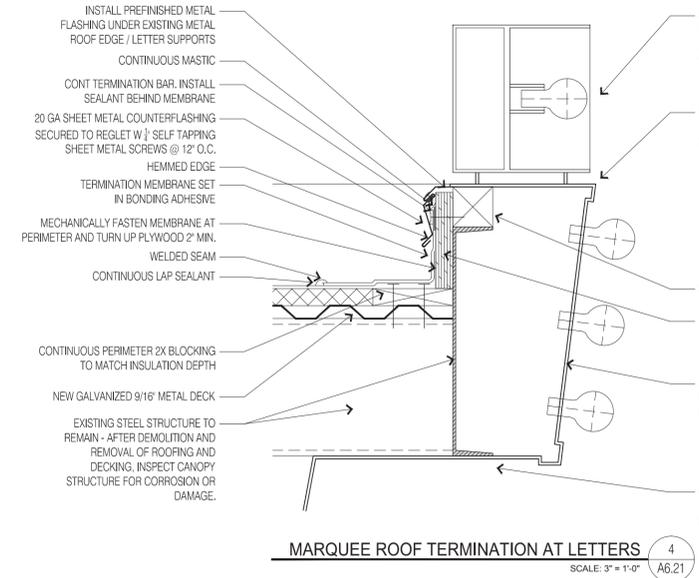
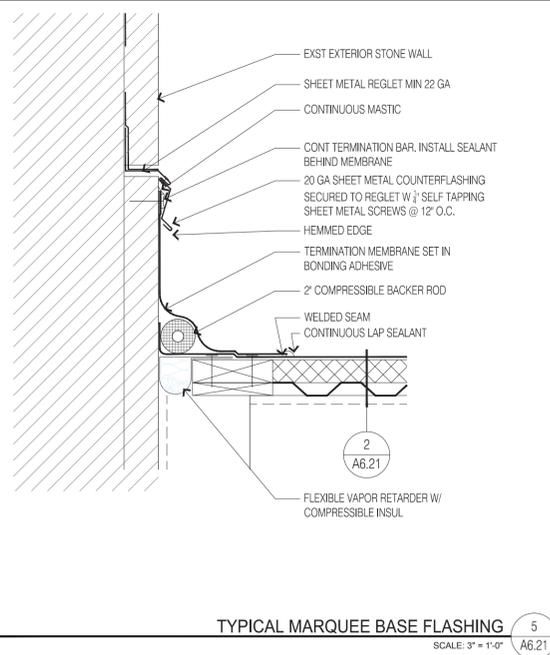
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Project Number Drawn By

MARQUEE  
DETAILS

# A 6.21



## HOLLYWOOD THEATER

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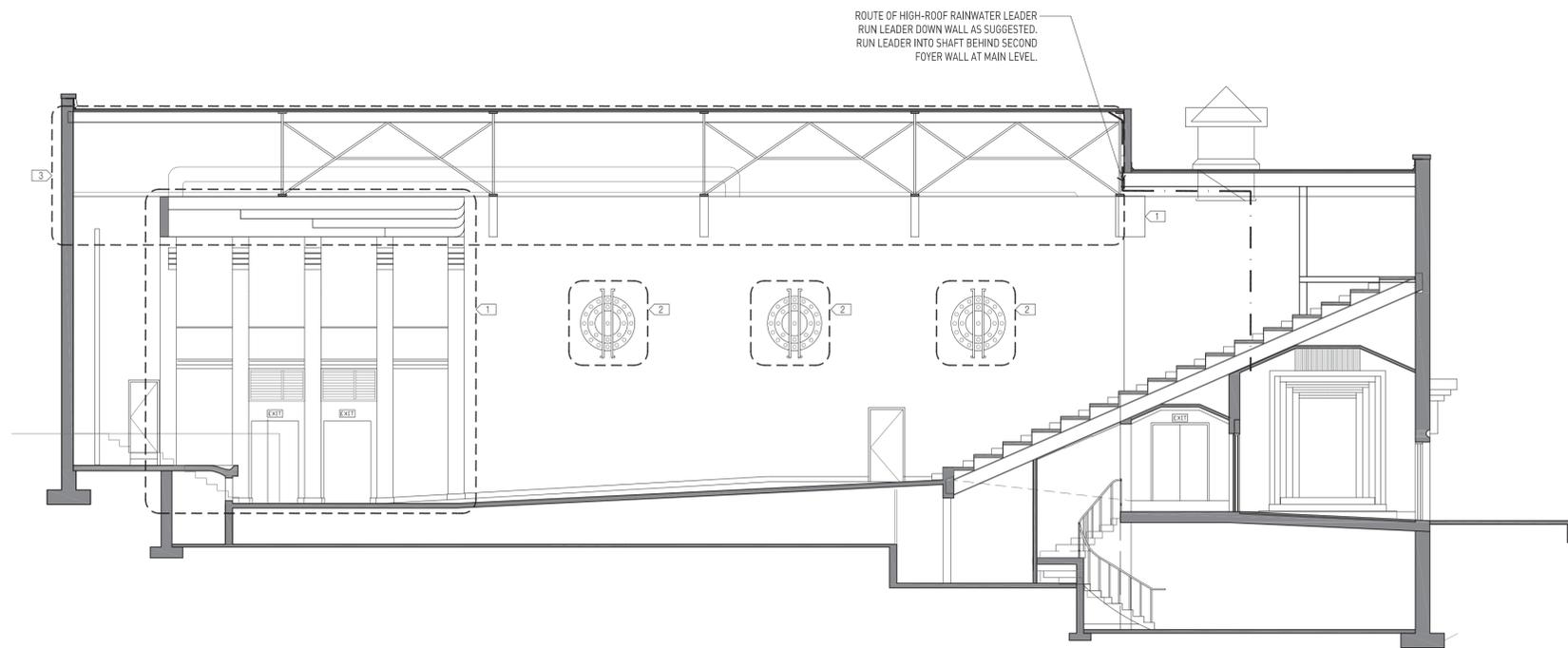
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### INTERIOR ELEVATION KEYED NOTES:

- 1 PLASTER AND ORNAMENTAL METAL AUDITORIUM ELEMENTS TO REMAIN UNDISTURBED DURING DEMOLITION AND CONSTRUCTION. THERE IS NO WORK CALLED FOR IN THIS AREA. DAMAGE WILL BE THE RESPONSIBILITY OF CONTRACTOR.
- 2 METAL LIGHT FIXTURES ARE TO BE REMOVED, CRATED & STORED WITHIN THE BUILDING FOR FUTURE REFURBISHMENT. REFER TO A1.01 FOR NOTES ON PROTECTION OF HISTORIC ELEMENTS
- 3 ALTERNATE #2: POWER WASH EXISTING ROOF TRUSSES AND UNDERSIDE OF ROOF STRUCTURE ABOVE

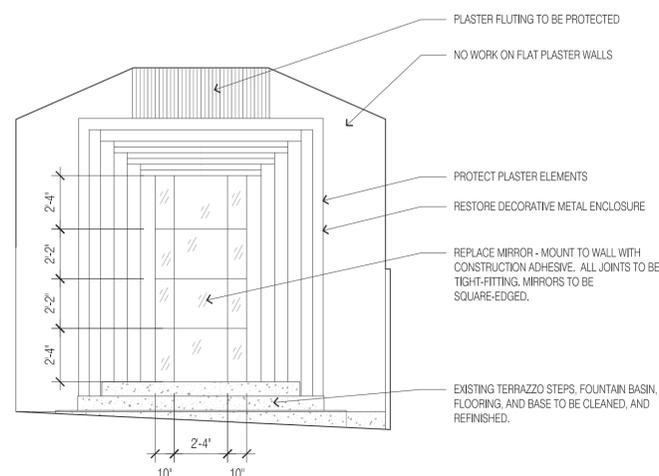


INTERIOR ELEVATION - SOUTH 2  
SCALE: 1/8" = 1'-0" A7.00

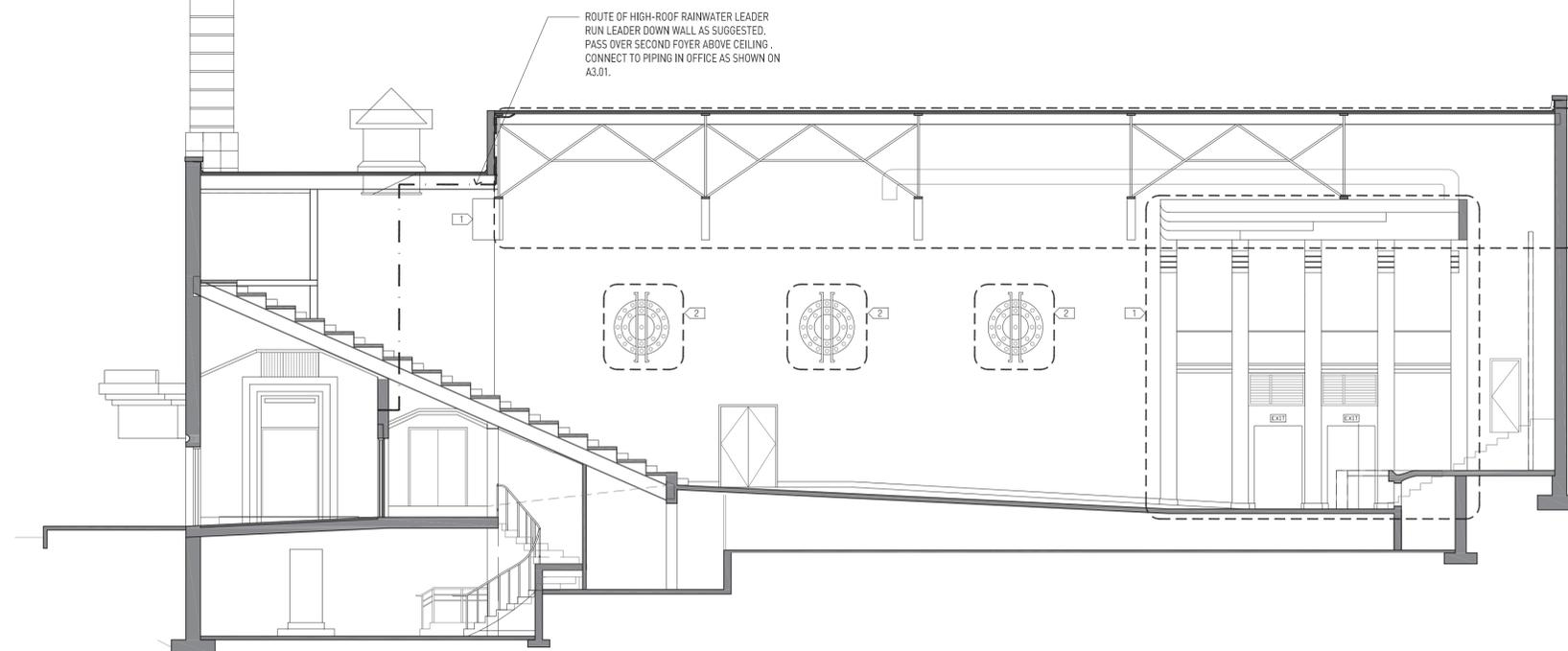


ALL INTERIOR POSTER CASES, DRINKING FOUNTAINS, RECESSED WALL LIGHTS, AND CEILING LIGHT FIXTURES ARE TO BE PROTECTED PER THE GENERAL NOTES ON SHEET A1.01

SECOND FOYER POSTER CASE AND RECESSED LIGHT 4  
SCALE: 1/4" = 1'-0" A7.00



FOUNTAIN ELEVATION 3  
SCALE: 1/4" = 1'-0" A7.00



INTERIOR ELEVATION - NORTH 1  
SCALE: 1/8" = 1'-0" A7.00

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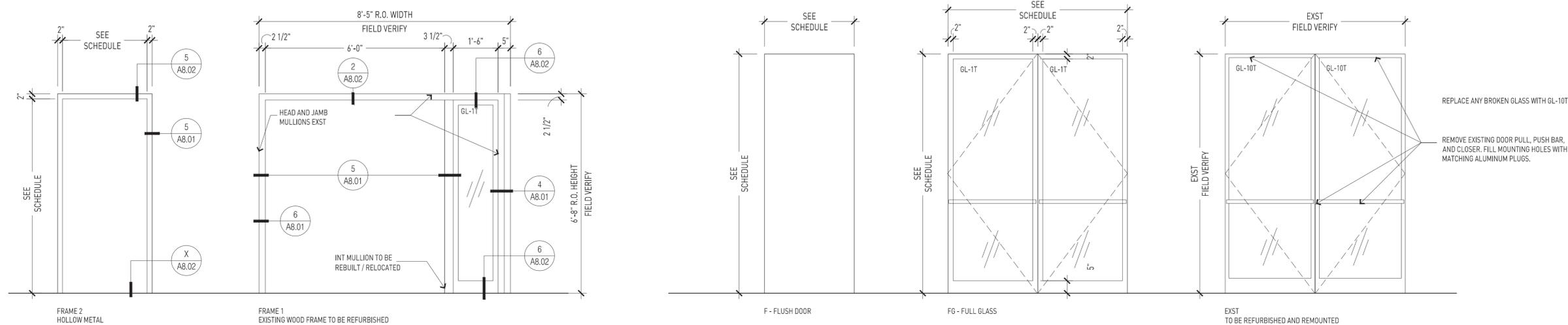
INTERIOR ELEVATIONS

# A 7.00

DOOR AND FRAME SCHEDULE															
DOOR #	LOCATION	WIDTH	SIZE HEIGHT	DOOR					FRAME			FIRE RATING (MINS.)	HARDWARE		NOTES
				THICK	MTL	TYPE	FINISH	MTL	TYPE	FINISH	GROUP				
E100A	Lobby E100	6'-0" (PR)	6'-8"	1-3/4"	AL	FG-1		AL	1		NR	4	2, 4		
E102A	First Foyer E102	5'-1" (PR)	6'-8"	EXST	AL	EXST		AL	EXST		NR	1	1, 6, 7		
E102B	First Foyer E102	5'-1" (PR)	6'-8"	EXST	AL	EXST		AL	EXST		NR	1	1, 6, 7		
E102C	First Foyer E102	5'-1" (PR)	6'-8"	EXST	AL	EXST		AL	EXST		NR	1	1, 6, 7		
E106A	Existing Vomitory E106	5'-1" (3'-0" / Z'-1")	6'-8"	1-3/4"	HM	F	PT	HM	2	PT	NR	3	3, 5, 8		
E110A	Existing Vomitory E110	5'-1" (3'-0" / Z'-1")	6'-8"	1-3/4"	HM	F	PT	HM	2	PT	NR	3	3, 5, 8		
E111A	Existing Auditorium E111	5'-1" (3'-0" / Z'-1")	6'-8"	1-3/4"	HM	F	PT	HM	2	PT	NR	2	3, 5, 8		
E111B	Existing Auditorium E111	5'-1" (3'-0" / Z'-1")	6'-8"	1-3/4"	HM	F	PT	HM	2	PT	NR	3	3, 5, 8		
E114A	South Stair E114	5'-1" (3'-0" / Z'-1")	6'-8"	1-3/4"	HM	F	PT	HM	2	PT	NR	5	3, 5, 8		
E118A	North Stair E118	5'-1" (3'-0" / Z'-1")	6'-8"	1-3/4"	HM	F	PT	HM	2	PT	NR	5	3, 5, 8		

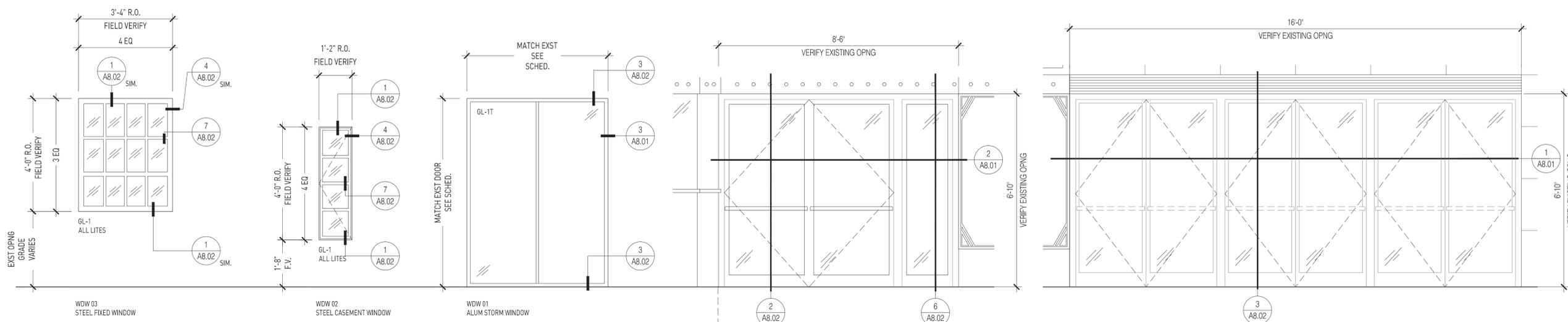
DOOR SCHEDULE NOTES:  
 NOTE 1 - EXISTING DOOR AND FRAME TO REMAIN. FIELD VERIFY SIZE  
 NOTE 2 - EXISTING FRAME TO BE MODIFIED - FIELD VERIFY SIZE. INSTALL NEW DOORS INTO EXISTING FRAME  
 NOTE 3 - INSULATED HM EXTERIOR DOOR AND FRAME - FIELD VERIFY EXISTING OPENING  
 NOTE 4 - NARROW STILE DOOR  
 NOTE 5 - UNEQUAL LEAF DOOR  
 NOTE 6 - EXISTING ALUMINUM DOOR. REPAIR FRAME, LOCK IN PLACE, AND REMOVE EXST PUSH AND PULL HARDWARE, CLOSER, AND FILL MOUNTING HOLES WITH MATCHING ALUMINUM PLUGS  
 NOTE 7 - CLEAN AND REFINISH EXISTING ALUMINUM DOORS  
 NOTE 8 - ALTERNATE NO. 06

DOOR SCHEDULE ABBREVIATION LIST:  
 AL ALUMINUM  
 EXST EXISTING  
 HM HOLLOW METAL  
 NR NON-RATED  
 PFN PREFINISHED  
 PT PAINT



FRAME TYPES 4  
SCALE: 1/2" = 1'-0" A8.00

DOOR TYPES 3  
SCALE: 1/2" = 1'-0" A8.00



WINDOW TYPES 5  
SCALE: 1/2" = 1'-0" A8.00

ENLARGED EXTERIOR ELEVATION AT ENTRY DOORS 2  
SCALE: 1/2" = 1'-0" A8.00

ENLARGED EXTERIOR ELEVATION AT LOBBY DOORS 1  
SCALE: 1/2" = 1'-0" A8.00

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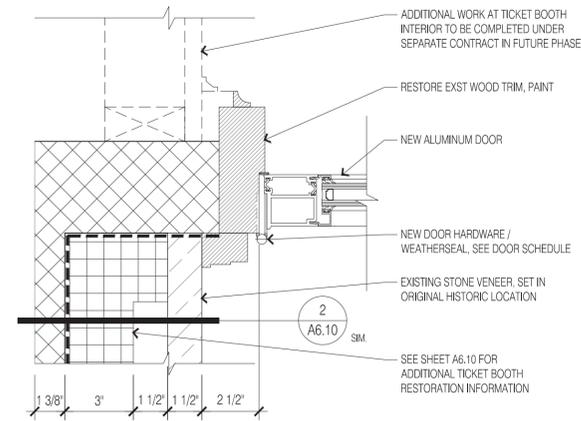
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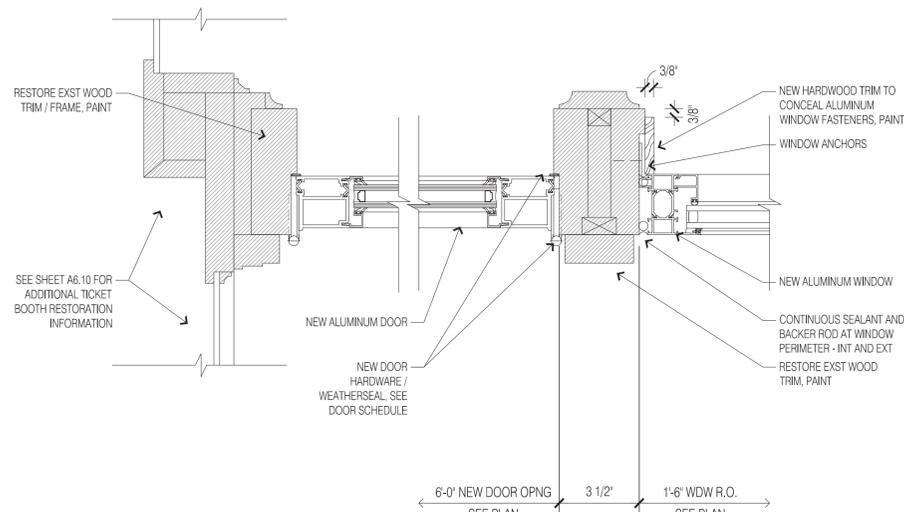
2014.19 Project Number tkm Drawn By

DOOR AND WINDOW  
DETAILS

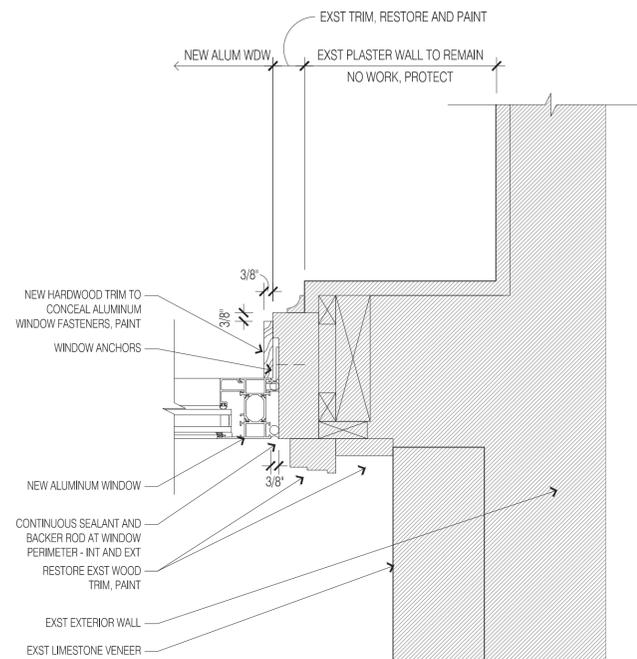
# A 8.01



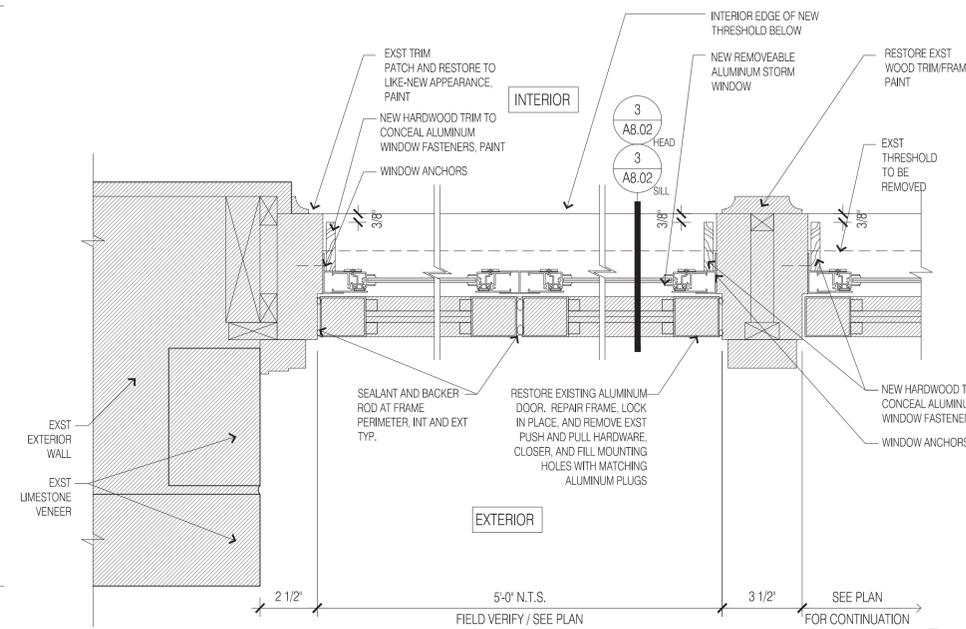
MAIN ENTRANCE MULLION JAMB DETAIL (LOW) 6  
SCALE: 3" = 1'-0" A8.01



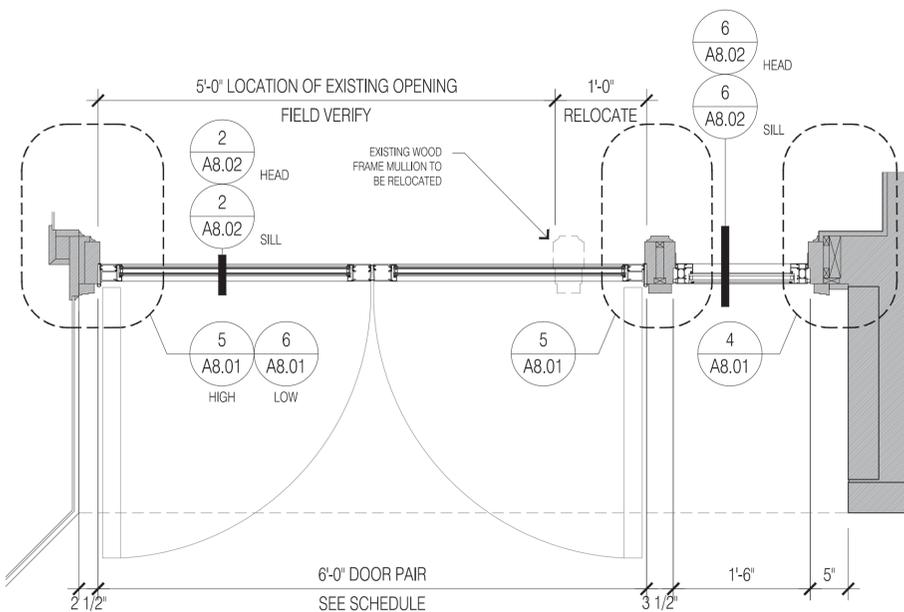
MAIN ENTRANCE MULLION JAMB DETAIL (HIGH) 5  
SCALE: 3" = 1'-0" A8.01



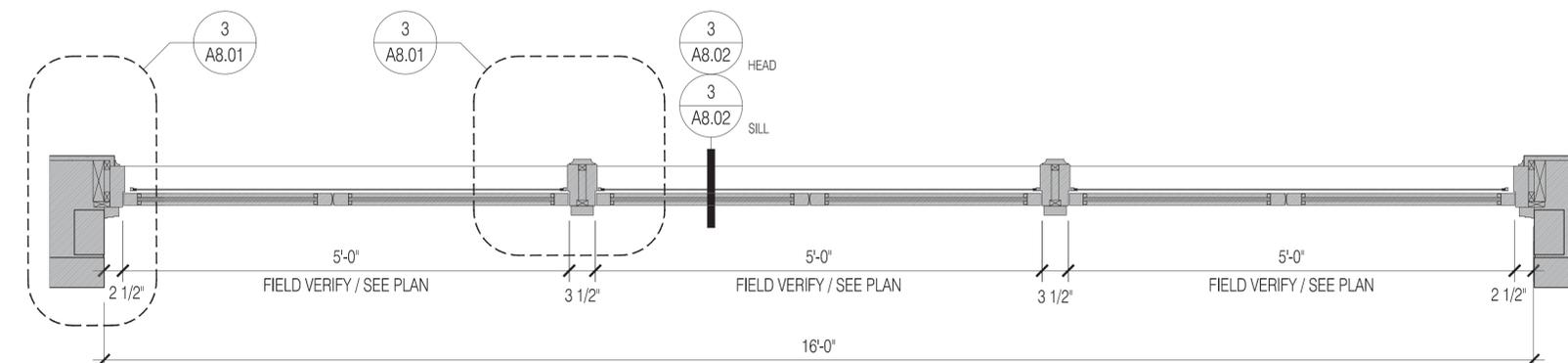
MAIN ENTRANCE ALUMINUM WINDOW JAMB DETAIL 4  
SCALE: 3" = 1'-0" A8.01



EXTERIOR LOBBY DOOR JAMB 3  
SCALE: 3" = 1'-0" A8.01



PLAN AT ENTRY DOORS 2  
SCALE: 1" = 1'-0" A8.01



PLAN AT LOBBY DOORS 1  
SCALE: 1" = 1'-0" A8.01

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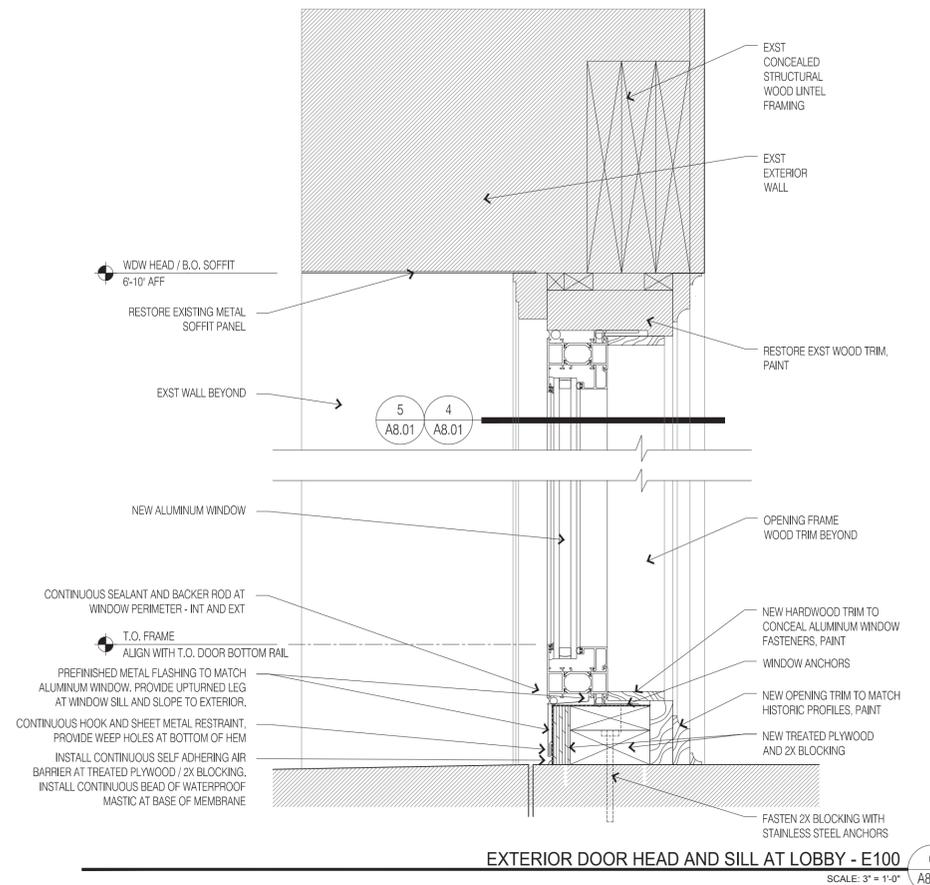
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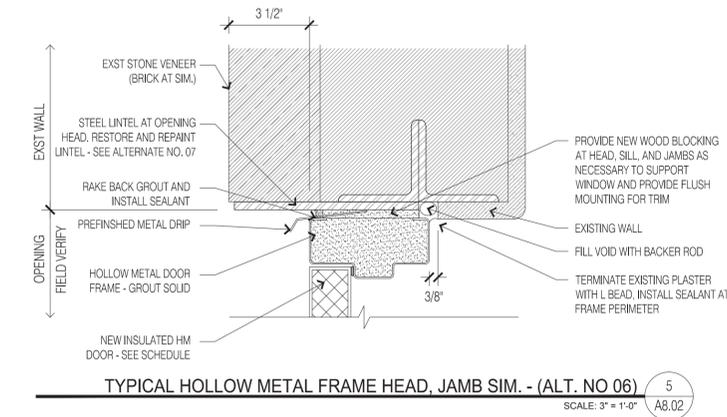
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DOOR AND WINDOW  
DETAILS

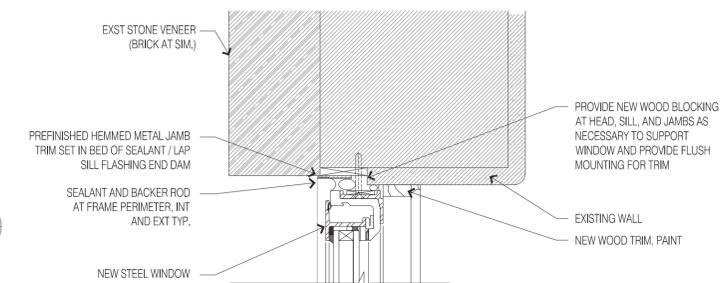
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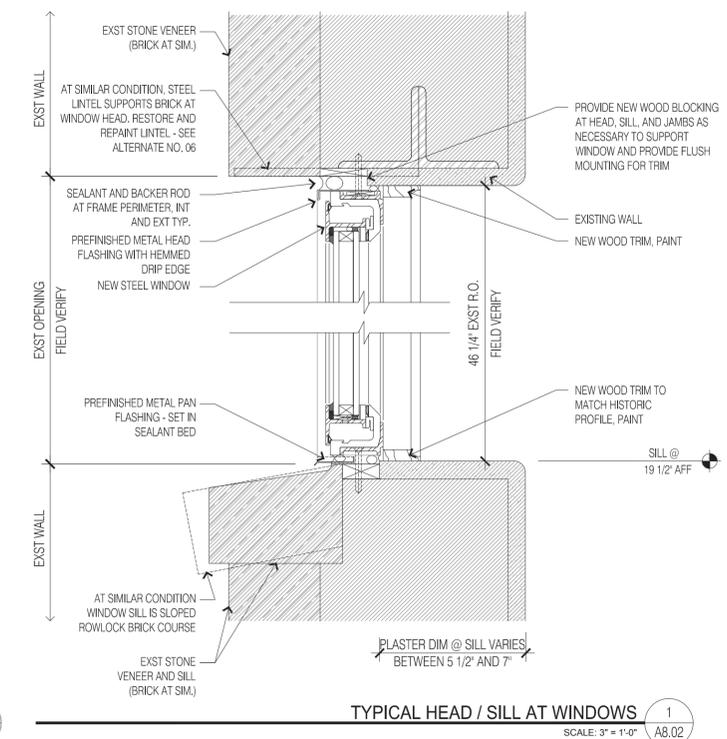
EXTERIOR DOOR HEAD AND SILL AT LOBBY - E100 6  
SCALE: 3" = 1'-0" A8.02



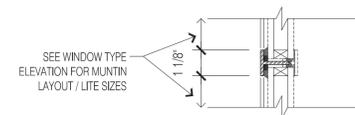
TYPICAL HOLLOW METAL FRAME HEAD, JAMB SIM. - (ALT. NO 06) 5  
SCALE: 3" = 1'-0" A8.02



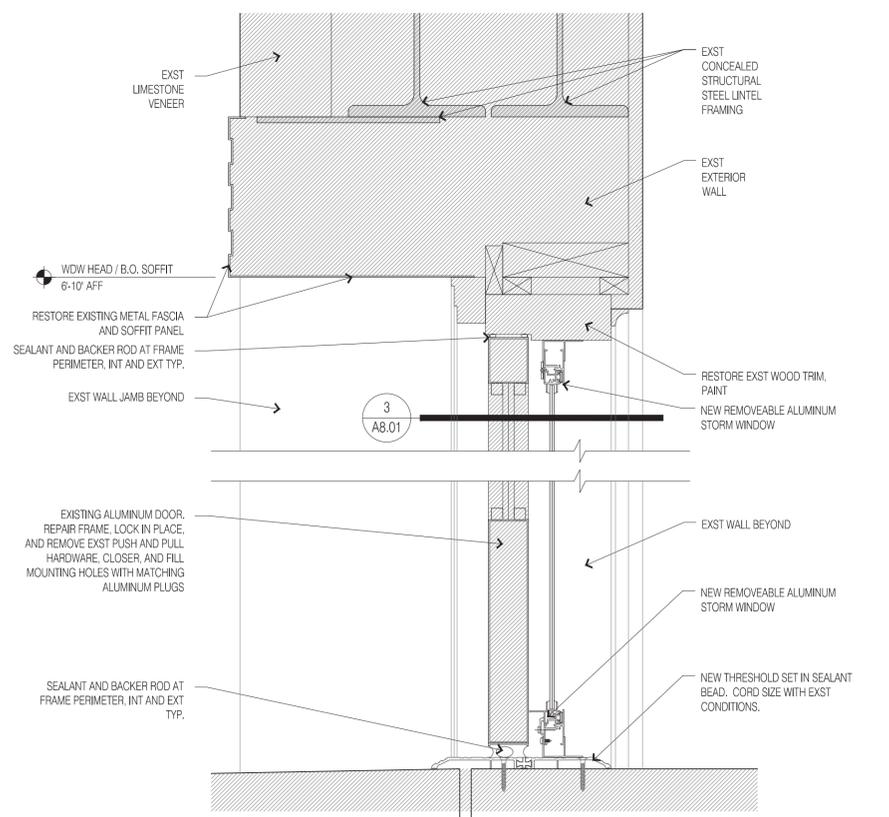
TYPICAL JAMB AT WINDOWS 4  
SCALE: 3" = 1'-0" A8.02



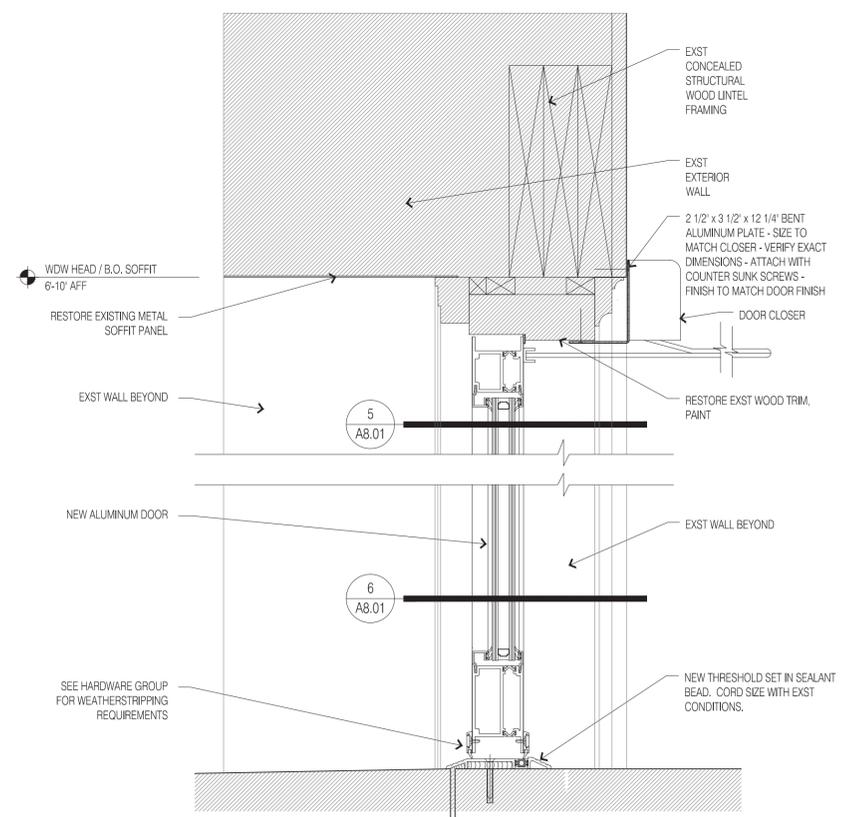
TYPICAL HEAD / SILL AT WINDOWS 1  
SCALE: 3" = 1'-0" A8.02



WINDOW MUNTIN PROFILE 7  
SCALE: 3" = 1'-0" A8.02



EXTERIOR DOOR HEAD AND SILL AT FIRST FOYER - E102 3  
SCALE: 3" = 1'-0" A8.02



EXTERIOR DOOR HEAD AND SILL AT LOBBY - E100 2  
SCALE: 3" = 1'-0" A8.02



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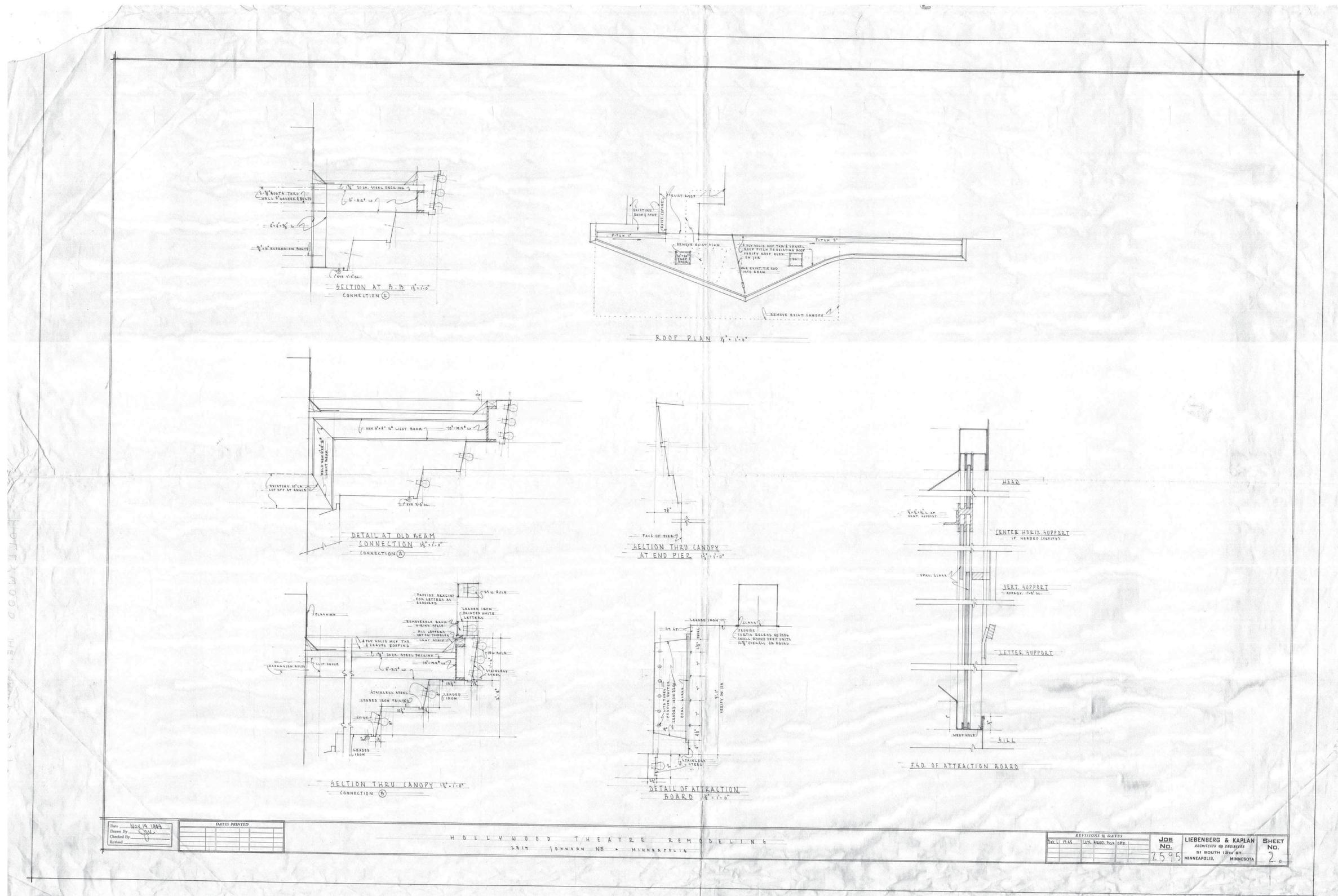
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HISTORIC  
MARQUEE DRAWINGS

# H 1.01



Date	Nov 15 1983
Drawn By	[Signature]
Checked By	[Signature]
Revised	

DATE	PRINTED

HOLLYWOOD THEATRE REMODELING  
2815 JOHNSON NE - MINNEAPOLIS

REV.	DATE	DESCRIPTION
1	11/15/83	ISS. FOR PERM. APPL.
2		
3		
4		

JOB NO. 7595  
LIEBENBERG & KAPLAN  
ARCHITECTS & ENGINEERS  
51 SOUTH 15TH ST.  
MINNEAPOLIS, MINNESOTA

SHEET NO. 2

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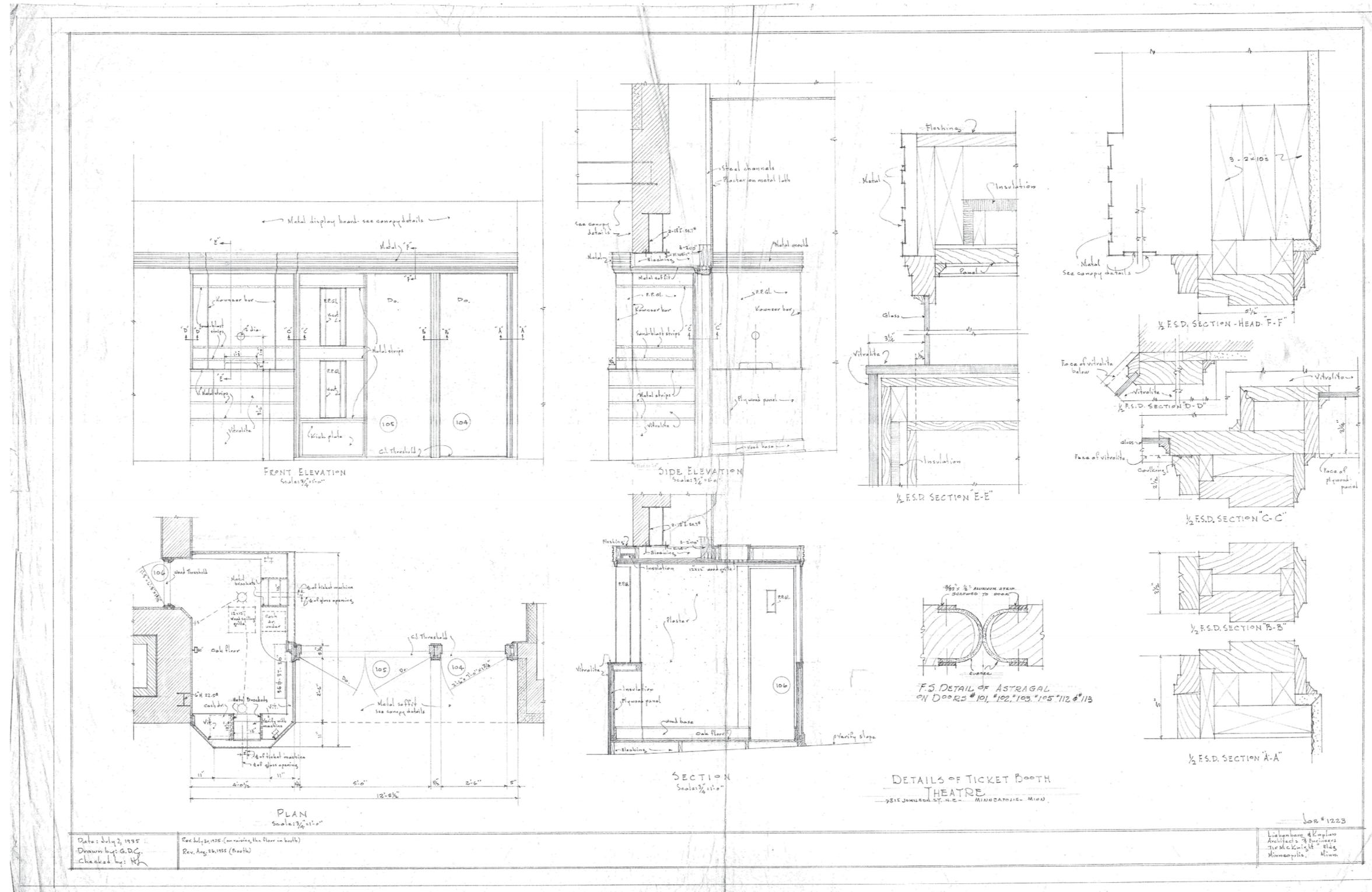
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HISTORIC TICKET  
BOOTH DRAWINGS

# H 2.00



Date: July 2, 1995  
Drawn by: G.D.G.  
Checked by: H.J.

Rev. July 26, 1995 (converting the floor in booth)  
Rev. Aug. 26, 1995 (Booth)

Job # 1223  
Lichtenberg & Emplius  
Architects & Planners  
The McKnight Building  
Minneapolis, Minn.

# SNOW KREILICH ARCHITECTS

2400 RAND TOWER  
527 MARQUETTE AVENUE  
MINNEAPOLIS, MN 55402  
612 359 9430  
WWW.SNOWKREILICH.COM

## HOLLYWOOD THEATER

2815 Johnson St. NE  
Minneapolis, MN 55418

MINIMUM IMPROVEMENTS AND ADD  
ALTERNATES

CLIENT  
Out of the Past Redevelopment, LLC.  
1325 Winter St. NE  
Suite 100  
Minneapolis, MN 55413  
612 746 1774

HISTORIC PRESERVATION  
Preservation Design Works  
575 9th St. SE, Ste 215  
Minneapolis, MN 55414  
612 843 4140

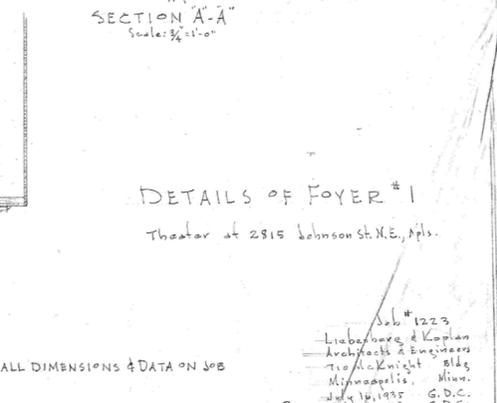
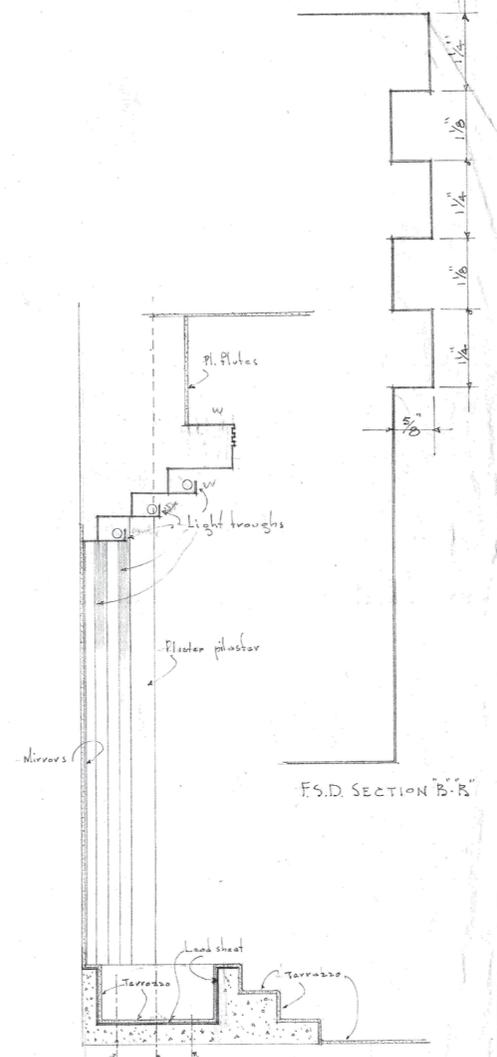
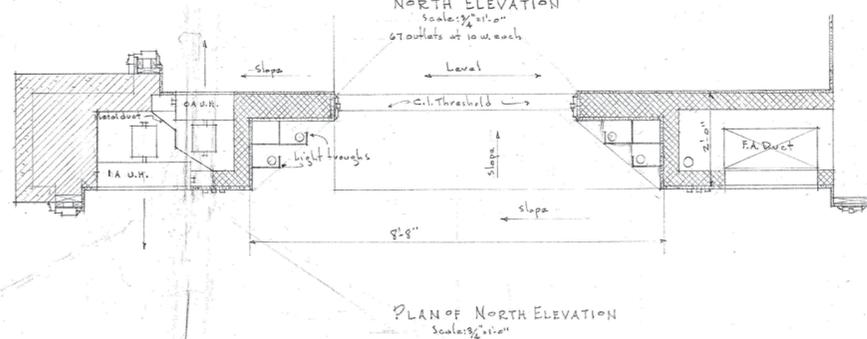
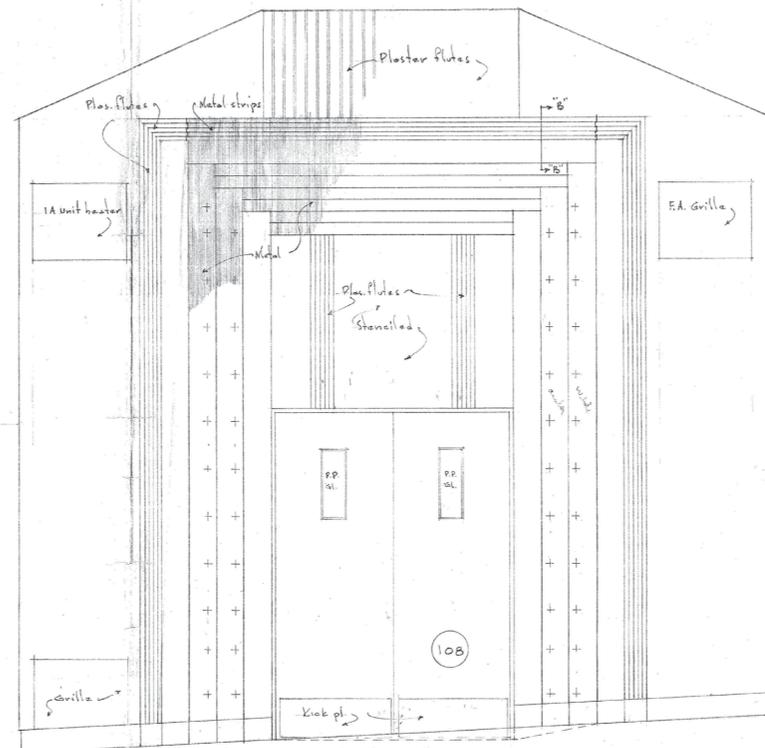
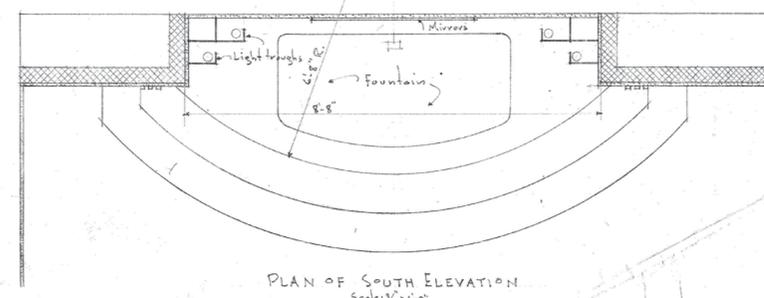
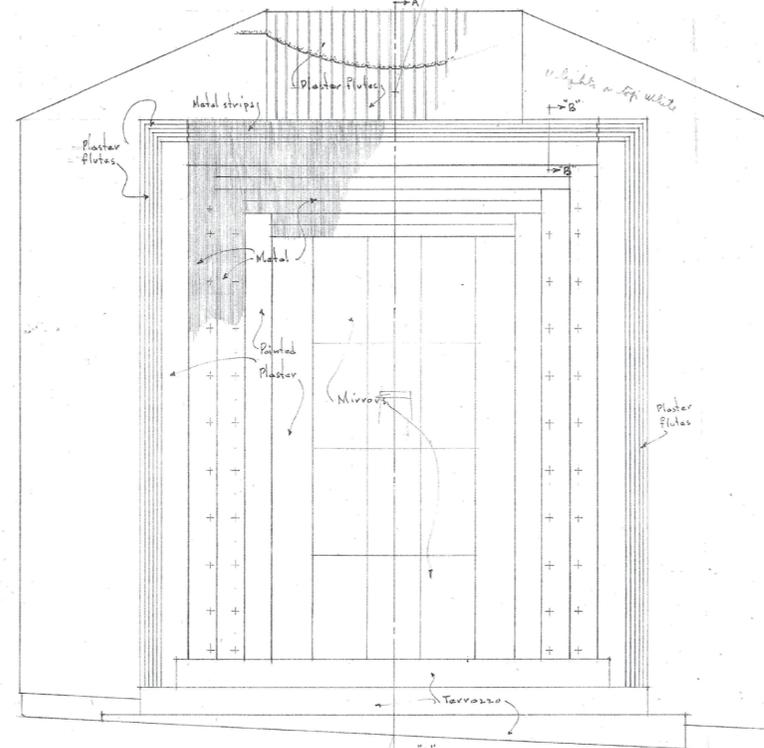
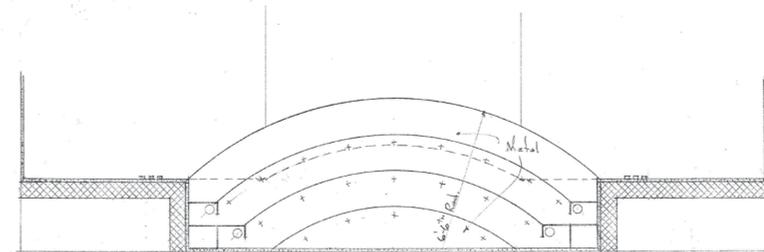
NOT FOR  
CONSTRUCTION

Preservation Review 18 Mar 2015

2014.19 Project Number tkm Drawn By

HISTORIC  
FOYER DRAWINGS

# H 3.00



VERIFY ALL DIMENSIONS & DATA ON JOB

Job # 1223  
Liebenberg & Koplan  
Architects & Engineers  
710 McKnight Bldg  
Minneapolis, Minn.  
July 16, 1995 G.D.C.  
Rev. 08/11/12 G.D.C.

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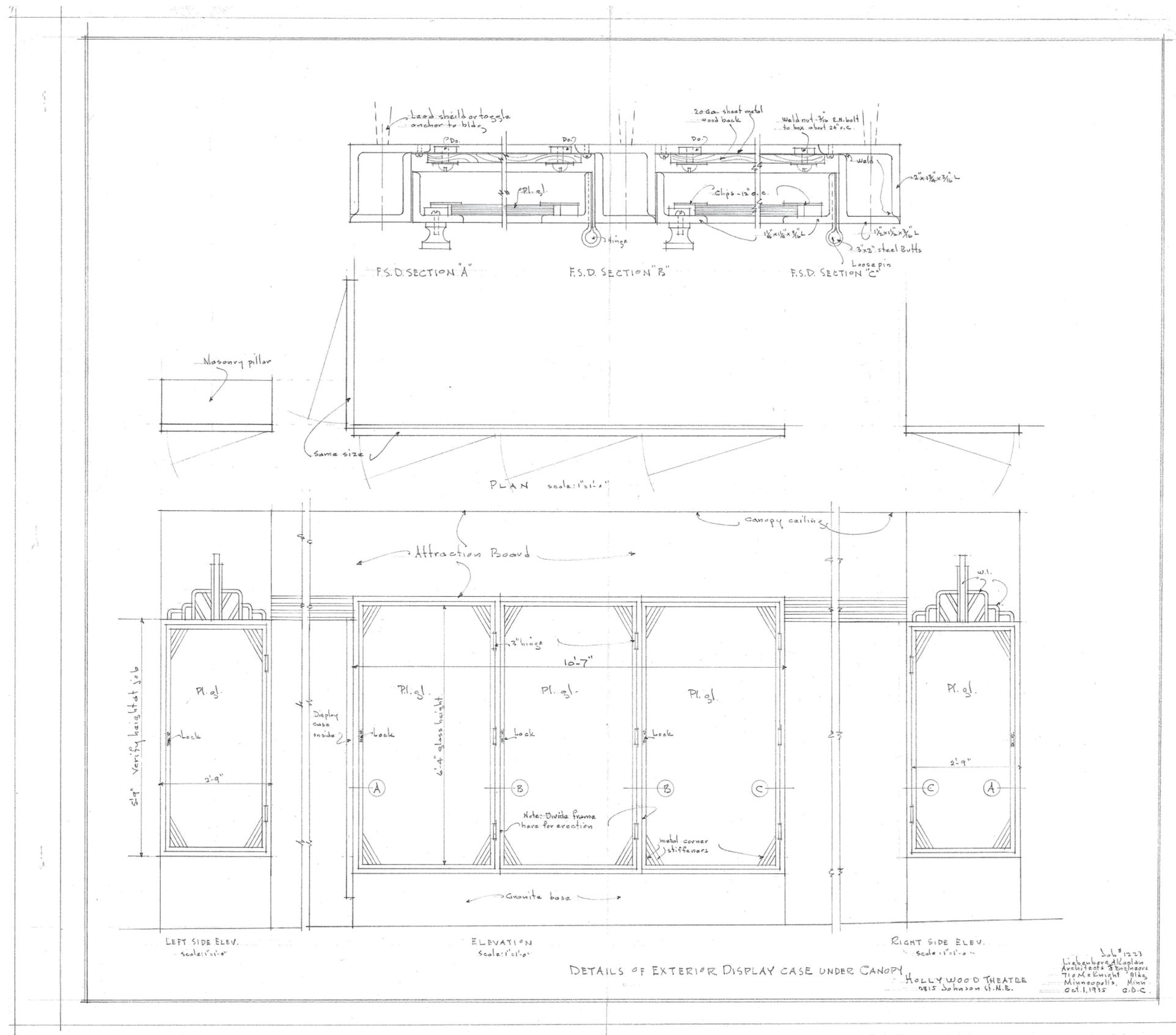
NOT FOR  
CONSTRUCTION

Preservation Review 18 Mar 2015

2014.19 tkm  
Project Number Drawn By

HISTORIC DISPLAY  
/ POSTER CASE DRAWINGS

# H 4.00



HOLLYWOOD  
THEATER

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Minneapolis, MN 55418

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ALTERNATES

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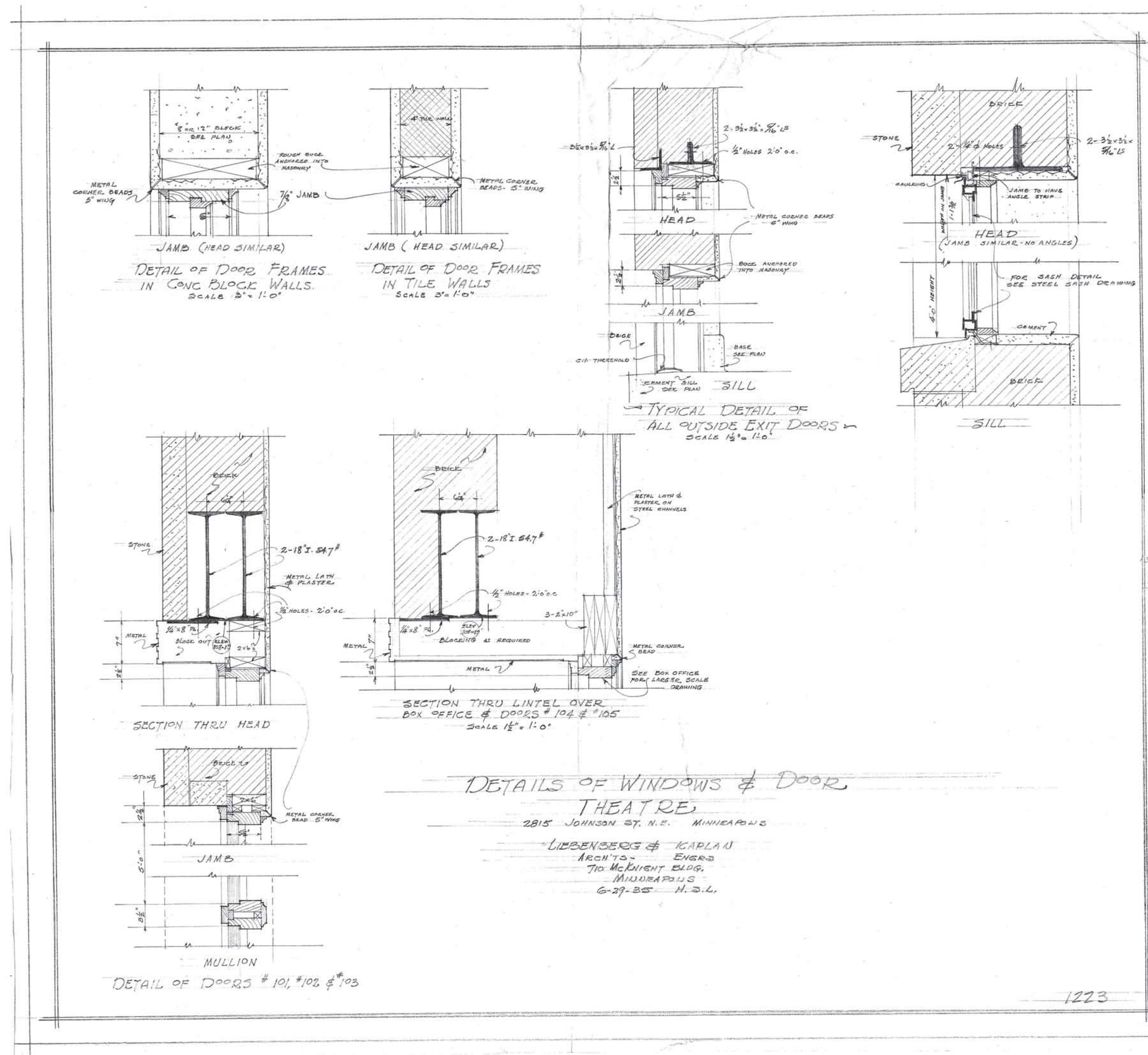
NOT FOR  
CONSTRUCTION

Preservation Review 18 Mar 2015

2014.19 tkm  
Project Number Drawn By

HISTORIC WINDOW AND DOOR  
DETAIL DRAWINGS

H 5.00



# AccuLite™

## POLARIS™ LED

### DT - TRAPEZOID

FULL CUT-OFF SECURITY LIGHTING

LED UP TO 3200 LUMENS

Project: \_\_\_\_\_

Fixture Type: \_\_\_\_\_

Location: \_\_\_\_\_

Contact/Phone: \_\_\_\_\_

Cat. No.: \_\_\_\_\_

#### PRODUCT DESCRIPTION

The Polaris is a decorative, wall mounted luminaire for outdoor applications where quality of light and dark sky ordinances are of concern. The ultra bright LEDs are arranged to optimize light distribution while providing even illumination on the wall, highlighting architectural features. Acculite LED engines carry a 5 year limited warranty.

#### PRODUCT SPECIFICATIONS

**Optics** Full cut-off distribution that is Dark Sky compliant is achieved through a recessed, aimed LED array that reduces glare and eliminates light above the 90 degree plane • Ideal for security lighting and wall grazing applications

**"Easy-Install" Mounting** Mounts to a standard 3 1/2" or 4" junction box • Using the built-in level, align the bracket and secure it • Hang the luminaire and secure with heavy duty set screws

**Construction** Heavy duty die cast aluminum housing  
 • Concealed cover screws secure the door assembly  
 • Lens is secured mechanically and sealed with a silicone rubber gasket, no silicone sealants are used • Stainless steel external hardware • Tempered glass lens • Formed aluminum heat sink

**LED Thermal Management** Polaris luminaires are equipped with a formed aluminum heat sink that creates a strong bond between the LED arrays and the aluminum housing, thus utilizing the entire mass and surface area of the luminaire as a heat sink. This reduces LED operating temperature and increases LED life



**Electrical** The luminaire is equipped with one LED driver with universal 120-277VAC input • Driver minimum operating temperature is -30°C (-22°F) • Total Harmonic Distortion (THD) 20% Max • Power factor > 92% at full load, 115VAC, 230VAC • An independent surge suppressor provides 10 KAMP protection

**Emergency Battery Backup (Option "EM")** Fixture is supplied with an integral emergency battery that provides power to the fixture for 90 minutes • Suitable for ambient temperatures between 0°-50°C (32°-120°F)  
 • Requires an un-switched power source

**Finish** Polyester powder coat finish • Bronze, black, white, or silver

**Certification** Fixture meets UL1598 and CSA C22.2-250 standards • Suitable for wet location applications  
 • Union made • Meets "Buy American Act" and ARRA

Specifications subject to change without notice.

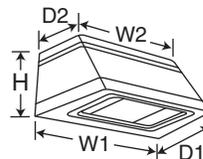
#### LED DATA

Ordering Code	System Watts	CCT	CRI	Luminaire Initial Absolute Lumens
A017	22	4000K	80 Typical	1,710
A026	35	4000K	80 Typical	2,655
A032	45	4000K	80 Typical	3,404

Note: Values apply to both 3500K and 4000K CCT.

#### DIMENSIONS

DT Series	W1	W2	D1	D2	H
	Width @ Bottom	Width @ Top	Depth @ Bottom	Depth @ Top	Height
	16 3/4"	14 3/4"	9 1/4"	5 1/2"	7 1/8"



#### LED LUMEN DEPRECIATION

Ambient Temperature (°C)	L <sub>70</sub> Hours
25°C	50,000

Cat. No.:

**ORDERING INSTRUCTIONS**

Series	Engine Code	CCT	Volts	Options
<b>DT</b>				
DT	<b>A017</b> 22W LED	<b>35K</b> 3500K	<b>UN</b> Universal 120-277VAC	<b>PC</b> Photocontrol (must specify voltage)
	<b>A026</b> 35W LED	<b>4K</b> 4000K	<b>E12</b> 120VAC	<b>F</b> Fuse (must specify voltage)
	<b>A032</b> 45W LED		<b>E27</b> 277VAC	<b>FG</b> Frosted Glass
			<b>E34</b> 347VAC	<b>TP</b> Tamper Resistant Screws
				<b>EM*</b> Integral Emergency Battery Backup
				<b>no suffix</b> Bronze Finish
				<b>BL</b> Black Finish
				<b>WH</b> White Finish
				<b>SL</b> Silver Finish

**PHOTOMETRICS**

**DT-A032-4K-UN**

Total Lumens: 3404

Zone	Luminaire Lumens	% of Luminaire Lumens
<b>Forward Light</b>	<b>1964</b>	<b>57.7%</b>
FL (0°-30°)	515	15.1%
FM (30°-60°)	1080	31.7%
FH (60°-80°)	367	10.8%
FVH (80°-90°)	2	0.1%
<b>Back Light</b>	<b>1440</b>	<b>42.3%</b>
BL (0°-30°)	468	13.7%
BM (30°-80°)	814	23.9%
BH (60°-80°)	155	4.6%
BVH (80°-90°)	3	0.1%
<b>Up Light</b>	<b>0</b>	<b>0.0%</b>
UL (90°-100°)	0	0.0%
UH (100°-180°)	0	0.0%
<b>Trapped Light</b>	<b>N/A</b>	<b>N/A</b>

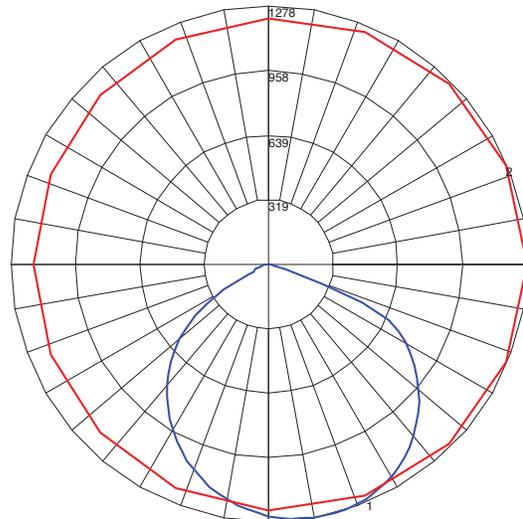
BUG Rating B1-U0-G1

\*Emergency battery option is available for 120V, 277V, or 347V. For 120V or 277V specify "UN" suffix for voltage. For 347V specify "E34" suffix for voltage.

**DT-A032-4K-UN POLAR GRAPH**

Total Luminaire Watts: 44.7W  
Total Luminaire Lumens: 3404

Note: All photometry done according to IES LM-79-08



Maximum Candela = 1005  
Located At Horizontal Angle = 0, Vertical Angle = 60  
# 1 - Vertical Plane Through Horizontal Angles (0 -180) (Through Max. Cd.)  
# 2 - Horizontal Cone Through Vertical Angle (60) (Through Max. Cd.)



Date: May 1, 2015

To: Becca Farrar, Senior City Planner  
City of Minneapolis - Community Planning and Economic Development -  
Development Services Division  
250 S. Fourth Street - Room 300  
Minneapolis, MN 55415

Regarding: Application for Certificate of Appropriateness  
Hollywood Theater Minimum Improvements and Add Alternates  
2815-2819 Johnson Street NE  
Minneapolis, MN 55418

Dear Ms. Farrar,

Please accept this letter as our authorization for Preservation Design Works to submit the attached Certificate of Appropriateness application on our behalf.

Sincerely,

# PRESERVATION DESIGN WORKS, LLC

May 1, 2015

Audubon Park Neighborhood Association  
1509 27<sup>th</sup> Avenue NE  
Minneapolis, MN 55418

Regarding:     Application for Certificate of Appropriateness  
                  Hollywood Theater Minimum Improvements and Add Alternates  
                  2815-2819 Johnson Street NE  
                  Minneapolis, MN 55418

Dear Audubon Park Neighborhood Association:

This letter is to inform you of the proposed project at The Hollywood Theater at 2815-2819 Johnson Street NE. The Hollywood Theater is designated as a local landmark and is also listed in the National Register of Historic Places. As a local landmark, the proposed work is subject to the review and approval of the Minneapolis Heritage Preservation Commission (HPC). The Hollywood Theater is currently in the process of applying to the HPC for a Certificate of Appropriateness for the following scope of work:

## **Exterior**

- Repair of the masonry at the west façade (the primary façade of the building).
- Repair of the canopy, sign, and marquee.
- Repair and drainage of the canopy roofing.
- Reconstruction of the ticket booth.
- Rehabilitation and restoration of the remaining poster cases.
- Replacement of the projection room windows.
- Replacement of the first floor office window.
- Replacement of the primary entry doors to meet accessibility guidelines.
- Refurbishment of the exit doors.
- Rehabilitation of the porthole light fixtures above the exit doors. Rehabilitation of the chimney.
- Replace roof assembly at southwest low roof (area C).
- Patch and repair roof at tie-in areas where existing drains are being replaced or modified.

- Repair shed roof at north elevation.
- Repair of the masonry at the north, east and south façades (the secondary façades of the building).
- Remove and reset terra cotta copings at North, East, and South facades.
- Provide new security lighting.
- Repair roofing where damaged.
- Rehabilitation of secondary exit doors.
- Rehabilitate steel lintels at openings at the North, East and South facades.
- Remove the existing areaway below the sidewalk.
- Remove and replace metal soffit panels at north overhang.

### **Interior**

- Lobby – Reconstruction of the ticket booth.
- Lobby – Refinishing of the terrazzo floor.
- Lobby – Documentation and removal of the existing candy counter, ceiling element and ticket counter.
- Lobby - Ticket counter, candy counter, shelving and decorative ceiling feature at the candy counter will be documented with photographs and measured drawings prior to being removed from the building.
- Office - Remaining wood chair rail and floor base will be removed.
- First Foyer - Rehabilitation of the exit doors. (See above.)
- First Foyer - Refinishing of the terrazzo floor.
- First Foyer - Rehabilitation of the fountain.
- First Foyer – Rehabilitation of the sheet metal alcoves at the fountain and Lobby to First Foyer entrance.
- Second Foyer - Protection of the decorative metal guardrail in the inner lobby, terminating at the basement stair.
- Second Foyer - Protection of remaining light fixtures, rope stanchions, drinking fountains, and poster cases in the inner lobby.
- Auditorium - Protection of the remaining plaster elements at the auditorium, including faux balconies and columns and proscenium.
- Auditorium - Protection of porthole light fixtures at the auditorium.
- Auditorium - Protection of decorative metal guardrails at the auditorium.
- Auditorium – Power wash existing roof trusses and underside of roof structure to remove debris.
- Auditorium - The remaining seats and end caps will be removed.
- Balconies and Proscenium - The wood enclosure at each balcony will be removed along with the existing mechanical equipment, piping, conduit and wiring.
- Stage - The original stage will remain in place and be protected from damage during demolition and construction.
- Projection Room - The mechanical equipment, electrical conduit and wiring will be removed.

- Basement – Stabilization, replacement of the current rain leaders and connection to the city-provided bulkhead.
- Basement – Selective demolition.
- Basement – Clean and patch existing concrete tunnels and prep for future new finish.
- Removal and replacement of rain leaders. Throughout – Additional selective demolition to prepare for future overall building rehabilitation.

Preservation Design Works is The Hollywood Theater's authorized representative for this project. Please contact us with any questions or concerns you have regarding the project. We will follow up with you via email to let you know when the date of the public hearing for this Certificate of Appropriateness is set.

Sincerely,

**PRESERVATION DESIGN WORKS**

575 9<sup>th</sup> St SE, Ste. 215

Minneapolis, MN 55414

A handwritten signature in blue ink, appearing to read 'Meghan Elliott', with a horizontal line extending to the right.

Meghan Elliott, Principal and Founder  
elliott@pvnworks.com  
(612) 843-4140

A handwritten signature in black ink, appearing to read 'Casie Lee Radford', written in a cursive style.

Casie Radford, AIA, LEED AP,  
Historical Architect  
radford@pvnorks.com  
(612) 843-4140



Casie Radford &lt;radford@pvnworks.com&gt;

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**Hollywood Theater**

1 message

**Casie Radford** <radford@pvnworks.com>

Fri, May 8, 2015 at 8:00 AM

To: kellykj06@yahoo.com

Cc: "Mercer, Miles K." &lt;Miles.Mercer@minneapolismn.gov&gt;, Meghan Elliott &lt;elliott@pvnworks.com&gt;, Andrew Volna &lt;andrew@noiseland.com&gt;, "Farrar, Rebecca D." &lt;rebecca.farrar@minneapolismn.gov&gt;

Good Morning Kevin,

The purpose of this email and the attached letter is to inform you of the proposed project at the Hollywood Theater. The exterior rehabilitation and interior preservation and stabilization is moving forward. The project will be submitted to the City of Minneapolis Heritage Preservation Commission today for their review and approval. Don't hesitate to contact us with any questions you may have.

Thank you,

Casie Radford, AIA, LEED AP  
Historical Architect  
PRESERVATION **DESIGN WORKS**, LLC  
(612) 843-4140 (office)  
(612) 382-5308 (cell)  
[www.pvnworks.com](http://www.pvnworks.com)

**04a Neighborhood Letter.pdf**

108K

# PRESERVATION DESIGN WORKS, LLC

May 1, 2015

Council Member Kevin Reich  
Minneapolis Ward 1  
350 S. 5<sup>th</sup> Street, Room 307  
Minneapolis, MN 55415  
[Kevin.reich@minneapolismn.gov](mailto:Kevin.reich@minneapolismn.gov)

Regarding: Application for Certificate of Appropriateness  
Hollywood Theater Minimum Improvements and Add Alternates  
2815-2819 Johnson Street NE  
Minneapolis, MN 55418

Dear Council Member Reich:

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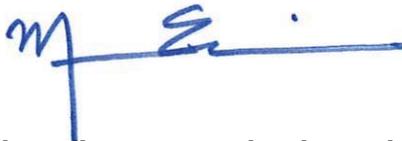
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Minneapolis, MN 55414



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elliott@pvnworks.com  
(612) 843-4140



Casie Radford, AIA, LEED AP,  
Historical Architect  
radford@pvnorks.com  
(612) 843-4140



Casie Radford &lt;radford@pvnworks.com&gt;

---

**Hollywood Theater**

1 message

**Casie Radford** <radford@pvnworks.com>

Fri, May 8, 2015 at 7:57 AM

To: kevin.reich@minneapolismn.gov

Cc: "Mercer, Miles K." &lt;Miles.Mercer@minneapolismn.gov&gt;, Meghan Elliott &lt;elliott@pvnworks.com&gt;, Andrew Volna &lt;andrew@noiseland.com&gt;, "Farrar, Rebecca D." &lt;rebecca.farrar@minneapolismn.gov&gt;

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**04b City Council Letter.pdf**

108K



Meghan Elliott &lt;elliott@pvnworks.com&gt;

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**Hollywood Photo**

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**Natascha Wiener** <natascha.wiener@mnhs.org>

Mon, Apr 27, 2015 at 1:15 PM

To: Casie Radford &lt;radford@pvnworks.com&gt;

Cc: Meghan Elliott &lt;elliott@pvnworks.com&gt;

Casie and Meghan,

Thanks for the photo - I attached it to the other historic photos.

FYI - I did recommend several conditions. I mentioned the Repointing and Cleaning condition to Meghan, as I wanted to cover any inconsistencies. Also:

Window Replacement: Non-historic windows may be replaced; however, proposed replacement units do not meet Standards. Proposed replacement windows must match the size, configuration, operation, design and profiles of extant historic windows. If no historic windows are extant, other physical evidence and drawings may then be used to determine design. Side-by-side shop detail drawings at head, jamb and sill of historic and proposed windows must be provided for review and approval at all window types including ticket window booth. Glass may have low-e coating, though this must be the least reflective coating available. Please submit proposed shops and glazing type to NPS and SHPO for review prior to purchase or installation.

Door Hardware: Push door hardware at exit doors should not be removed, as this will affect the overall character of the doors and therefore a large portion of the primary facade. If hardware must be removed per code, additional design element must be added to reestablish the historic character. If design modifications are proposed, please submit to NPS and SHPO for review prior to purchase or installation.

Historic Lighting: Lighting may be rehabilitated using LED fixtures; however, new lighting must match the appearance of historic lighting in all regards. This not only includes appearance of bulb shape and attachment, but also general appearance of light source during the daylight and when lite at night. Please submit/install mock-up to NPS and SHPO for review prior to purchase or installation.

Roofing: Any new reglets should be cut at mortar joints and shall not be cut through masonry units even in the case that step flashing is required to accomplish this.

FYI - you didn't say either way on the reglets, so threw that in there. NPS has the final say on conditions concerning the Tax Act process, though technically our Grants Office can add on grants funded work only. Conditions aren't an issue for the milestone, as it only requires a review. We typically require that you "acknowledge" the comments before releasing the funds associated with the milestone, but we may need to do that later? I'll hand over to Mandy - and she will manage the Milestone as she sees fit. As the applicant has input on the milestones and the agreement is not yet signed, hopefully the City and Mandy can work something out about the 2nd milestone and bidding. I will mention to Mandy, but I believe it would be up to the City to actually initiate any modifications.

Let me know if you have questions,

Natascha

[Quoted text hidden]