



LAND USE APPLICATION SUMMARY

Property Location: 2415-2423 2nd Street Northeast
Project Name: Western Line on Second
Prepared By: [Aaron Hanauer](#), City Planner, (612) 673-2494
Applicant: Jeremy Rupp, Concord Universal Development
Project Contact: Jeremy Rupp
Request: To construct a two-building, seven-unit cluster development.
Required Applications:

Conditional Use Permit	To allow a two-building, seven-unit cluster development in the R3/Multiple-Family District.
Variance	To allow an increase in the maximum accessory structure floor area for a detached garage from the allowed 2,041 square feet (10 percent of the lot area) to 2,842 square feet.
Site Plan Review	For a two-building, seven-unit cluster development in the R3/Multiple-Family District.
Preliminary and Final Plat	To allow for the cluster development

SITE DATA

Existing Zoning	R3/Multiple-Family District
Lot Area	20,410 square feet / 0.47 acres
Ward(s)	3
Neighborhood(s)	Bottineau
Designated Future Land Use	Urban Neighborhood
Land Use Features	2 nd Street NE Community Corridor
Small Area Plan(s)	Lowry Avenue Corridor Plan (2002)

Date Application Deemed Complete	April 28, 2015	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	June 26, 2015	End of 120-Day Decision Period	N/A

BACKGROUND

SITE DESCRIPTION AND PRESENT USE.

The project site, which is one parcel to the south of Lowry Avenue Northeast, consists of three interior lots. It is a flat lot that is currently a combination of gravel and grass; no buildings or trees are present. The subject properties consist of a 20,410 square foot project site measuring approximately 129 feet wide by 158 feet deep. The only vehicular access point is the alley.

SURROUNDING PROPERTIES AND NEIGHBORHOOD.

The base zoning of the surrounding area parcels is a combination of residential (primarily R2B), commercial (C1 and C2) along Lowry Avenue NE, and industrial zoning (I1 and I2) along the railroad to the west. There are no overlay districts in the immediate area. The comprehensive plan designates the project site as urban neighborhood which is a predominately residential area with a range of densities. The project site borders the 2nd Street Northeast Community Corridor and is located just south of the Lowry Avenue Community Corridor. Community corridors support new residential development from low-to-high in specified areas, as well as increased housing diversity in neighborhoods. The area is well served by mass transit as bus stops for the #11, #32, and #824 buses are within two blocks of the project site. There are commercial properties along Lowry Avenue Northeast and a single family house is located to the south of the property at 2407 2nd Street NE.

PROJECT DESCRIPTION.

The project is a seven-unit cluster development with two buildings; four units and three units. The two buildings would be similar in design; 2.5 stories tall with a gabled roof and an engineered wood lap siding (L.P. SmartSide Trim and Siding). The units would be nearly identical in layout as well; each would have four bedrooms and be approximately 2,634 square feet including basement and half story space. A rooftop deck would be located within the dormer. The project also includes two detached garage structures that would provide one parking space for each unit; access to the garages would be from the alley. The buildings are proposed to be built simultaneously.

RELATED APPROVALS.

Planning Case #	Description	Application	Action
BZZ-3011 (2006)	Two-story, 10-unit condo development.	Rezoning to R3, CUP, variance of lot area, variance to increase max. accessory structure size, and site plan	Approved. However, entitlements have lapsed.
BZZ-2395	Two-story, 12-unit condo development	Rezoning to R4, CUP, size, site plan	Denied

PUBLIC COMMENTS. No public comments have been received at the time of publication of the report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow for a cluster development in the R3/Multiple-Family District based on the following [findings](#):

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The seven-unit cluster development will not be detrimental to or endanger the public health, safety, comfort, or general welfare of the surrounding area. The townhome development along the 2nd Street Northeast Community Corridor will provide an appropriate transition between the commercial properties to the north and the single-family homes to the south.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The cluster development will not be injurious to the use and enjoyment of other property in the vicinity. It will also not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The project site is zoned R3. Among the purposes of the R3 Multiple-Family District is to allow for cluster developments like the proposed development. The redevelopment plans do not overbuild the project site as it is in compliance with the zoning code setback and bulk regulations. Completion of the proposed cluster development will benefit the neighboring residential and non-residential uses with more eyes on the street. The development will also support the public transit and commercial uses in the area by having more residents nearby.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Adequate utilities, access roads, drainage, necessary facilities will be provided. The project would continue to use the alley for vehicular access.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Adequate measures have been taken to minimize traffic congestion in the public streets. The applicant proposes to meet the minimum number of required off-street vehicle and bike parking spaces by providing at least one vehicle parking space and at least one bike parking space per residential unit. In addition, the project is well served by mass transit. The project is within two blocks of Bus Route #11, #32 and #824. Furthermore, the applicant is proposing to minimize the disruption to on-street parking and pedestrians on sidewalks by using the alley for vehicular access and not having a curb cut along 2nd Street NE.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

The conditional use permit to allow seven-units of housing in a townhome development style along a community corridor is consistent with the relevant provisions of the Minneapolis Plan, as follows:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- 1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- 1.3.1. Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development.
- 1.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Land Use Policy 1.9: Through attention to the mix and intensity of land uses and transit service, the City will support development along Community Corridors that enhances residential livability and pedestrian access.

- 1.9.5 Encourage the development of low- to medium-density housing on Community Corridors to serve as a transition to surrounding low-density residential areas.

Housing Policy 3.1: Grow by increasing the supply of housing.

- 3.1.1 Support the development of new medium- and high-density housing in appropriate locations throughout the city.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

- 3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Housing Policy 3.6: Foster complete communities by preserving and increasing high quality housing opportunities suitable for all ages and household types.

- 3.6.1 Promote the development of housing suitable for people and households in all life stages that can be adapted to accommodate changing housing needs over time.
- 3.6.2 Promote housing development in all communities that meets the needs of households of different sizes and income levels.

- 3.6.4 Provide and maintain moderate and high-density residential areas, as well as areas that are predominantly developed with single and two family structures.

The proposal is also consistent with the comprehensive plan's future land use map. The subject properties are located in the urban neighborhood category of the future land use map. The urban neighborhood category is predominantly residential with a range of densities. The project is an appropriate density for the area and provides a good transition from commercial along Lowry Avenue Northeast to the north and the lower-density residential to the south.

Furthermore, the project is consistent with the Lowry Avenue Corridor Plan. The focus of the Lowry Avenue Corridor Plan, which was adopted by the Minneapolis City Council in 2002, was Lowry Avenue and the parcels that border Lowry Avenue. The project site is a block to the south of Lowry Avenue. However, the project will help enhance Lowry Avenue in terms of improving the landscaping of a parcel bordering Lowry Avenue and adding residential units that can bring customers to the commercial uses and transit riders to nearby transit stops along Lowry Avenue Northeast.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If all land use/zoning applications are approved, including the conditional use permit for the cluster development, a variance to increase the size of an accessory structure, and site plan review, the proposal will comply with all provisions of the R3 District.

Additional Criteria for Cluster Development

- (A) Any application for cluster development approval shall include a development plan which shall consist of a statement of the proposed use of all portions of the land to be included in the cluster development and a site plan showing all existing and proposed development, including but not limited to the location of structures, parking areas, vehicular and pedestrian access, open space, drainage, sewerage, fire protection, building elevations, landscaping, screening and buffer yards, and similar matters, as well as the location of existing public facilities and services.**

The applicant has submitted a survey of the property and all required plans. Final civil drawings must be reviewed and approved by the Public Works Department and the Community Planning and Economic Development (CPED) Department.

- (B) All land proposed for cluster development shall be platted or replatted into one or more lots suitable for cluster development, and as such shall comply with all of the applicable requirements contained in Chapter 598, Land Subdivision Regulations.**

Per section 598.260, cluster developments shall implement the site plan as approved by the planning commission and shall include a deed restriction designating the following:

1. The relationship between all common spaces and each individual lot (rights in the common spaces and proportionate ownership accruing to the individual lot).
2. Provision for access to each lot that does not have frontage on a public street.
3. A requirement that an owners' association be created. The duties and responsibilities of the owners' association shall include maintaining the elements of the planned unit development or cluster development as authorized under the zoning ordinance or other applicable regulations.

4. A provision that the taxes, special assessments, and other charges and fees that would normally be levied against the common spaces shall be levied against the individual lot occupied or to be occupied by buildings in direct proportion to the interest that is stated in the deed restriction and shall provide that such levies shall be a lien against the individual lots.
5. A requirement that any disposition of any of the common property situated within the planned unit development or cluster development shall not be made without the prior approval of the planning commission.

The applicant submitted a common interest community (CIC) plat, site plan and landscape plan in lieu of a plat application for Planning Commission review. CPED has made the determination that a CIC plat may be accepted in lieu of a plat application for cluster developments when all lots within the development have street frontage and the project does not contain irregular outlots for common areas. The submitted CIC plat and declaration/deed restriction meet the requirements outlined in section 598.260. As a condition of approval, the applicant shall provide proof of the deed restriction recording with Hennepin County prior to receiving the conditional use permit for the cluster development and CPED shall be notified about changes to the lot/parcel configuration done by future amendments to the CIC plat.

- (C) The cluster development shall meet the minimum lot area and lot width requirements of the zoning district. There shall be no minimum lot area or lot width requirements for individual lots within the cluster development.**

The seven-unit cluster development will meet the minimum lot area requirements of the R3/Multiple-Family District. The R3 zoning district requires that the project site have not less than 5,000 square feet and at least 1,500 square feet per unit. The project site is 20,410 square feet, or 2,915 square feet per residential unit. The cluster development will also meet the minimum lot width requirement of the zoning district. The R3 zoning district requires that the minimum width be at least 40 feet. The project site is 129 feet wide.

- (D) Yards of at least such minimum width as required by the zoning district shall be maintained along the periphery of the cluster development. Yards for individual lots within the cluster development shall not be required. The distance between principal buildings within the cluster development shall be not less than ten (10) feet.**

In the R3/Multiple-Family District, residential uses with more than two units must provide interior and rear yards of five feet plus two feet for every story above the first. As applied to the applicant's proposal, the proposed 2.5 story buildings must provide yards of not less than seven-feet along the north and south interior lot lines and a five foot setback along the rear property for the one-story detached garage. The project would have 8.5-foot side yard setbacks for the principal structure and 5-foot side setback for the detached garages. The distance between principal buildings within the cluster development would be 14 feet, which exceeds the 10-foot minimum requirement. The proposed development also meets the established front yard setback of 20.77 feet.

- (E) Not less than forty (40) percent of the land in a cluster development shall be designated as common space for the benefit of all of the residents of the development. Such common space shall be a contiguous area under common ownership or control and shall be located so that it is directly accessible to the largest practical number of dwellings within the development. Safe and convenient pedestrian access shall be provided to such common space for dwellings not**

adjoining such space. Common space shall include but is not limited to landscaped yards, recreation areas, wetlands, waterbodies and common parking facilities. However, not more than one-half of required common space shall consist of such parking facilities, driveways and private roadways. The city planning commission may approve alternatives to this requirement where strict adherence is impractical because of site location or conditions and the proposed alternative meets the intent of this section.

Common open area in the cluster development, including the landscaped areas, walkways, and drive apron would total approximately 55 percent of the lot area (11,197/20,410). This common area is contiguous. Only 2.5 percent of the project site (498 square feet) is a drive apron/driveway.

- (F) To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings, and exterior building materials shall be harmonious with other buildings in the neighborhood. Not less than eighty (80) percent of the habitable floor area of single or two family dwellings and multiple family dwellings of three (3) and four (4) units shall have a minimum width of twenty-two (22) feet. Cluster developments not otherwise governed by Chapter 530, Site Plan Review, shall comply with the principal entrance and windows requirements of Chapter 535, Regulations of General Applicability. The city planning commission may approve alternatives to this requirement where strict adherence is impractical because of site location or conditions and the proposed alternative meets the intent of this section.**

The new construction is compatible with the scale and character of the surroundings. The applicant proposes two buildings that are each 2.5 stories, both with an overall height of 30.3 feet as defined by the Minneapolis zoning code. The buildings would use an engineered wood lap siding (L.P. SmartSide Trim and Siding) as the exterior cladding. The surrounding area includes 2.5 story residential uses to the south that are a similar height of the proposed project and one and two-story commercial properties along Lowry Avenue Northeast. The buildings would exceed the minimum width requirements for a cluster development and exceed the minimum window requirements (please see site plan section below for specific details).

- (G) An appropriate transition area between the use and adjacent property shall be provided by landscaping, screening and other site improvements consistent with the character of the neighborhood.**

The project would comply with the required yards on the north and south sides. The applicant is proposing to landscape along the north and south lot lines to help with the transition between the multi-family project and the single-family dwelling to the south; 2407 2nd Street Northeast.

- (H) Any cluster development which includes a manufactured home or a manufactured home park shall be first allowed in the R2 Two-family District.**

The project would not include manufactured housing.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to allow an increase in the maximum accessory structure size for a detached garage from the allowed 2,041 square feet (10 percent of the lot area) to 2,842 square feet. based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Per section 537.60, the maximum floor area for detached accessory structures in the R3 District for a residential development greater than two units is allowed to be 676 square feet or 10 percent of the lot area, whichever is greater. Therefore, the proposed development, with a 20,410 square foot lot, is allowed to have a detached accessory structure that is 2,041 square feet. The applicant is proposing to have two detached garages with a combined floor area of 2,842 square feet (14.3 percent of the lot area). As proposed, each of the residential units would have a garage space that is 14 feet wide by 29 feet deep; this would accommodate one vehicle, bike parking, and trash storage. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone. The applicant is looking to build a seven-unit cluster development along a community corridor that transitions from commercial to the north to single-family residential to the south in a way that blends in with the surrounding residential properties in the area. Having detached garage structures that accommodate vehicles, bikes and trash will help the new development blend in better with the built form of the single-family dwellings to the south and comply with other zoning code requirements.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The property owner proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of the maximum floor area requirement for detached accessory structures is to limit the impact of the structure on neighboring residential properties. The detached structures are appropriate for the site in terms of area, height and location. The garages will provide approximately 390 square feet per residential unit (13.5' x 29'). This is enough room to accommodate one vehicle, bike parking, and trash storage for each of the residential units. Even with the proposed variance to increase the floor area of the garage, the proposal is below the allowed lot coverage and impervious surface requirements. The proposed garage will be 12 feet in height at the midpoint, which is a modest height for a garage. Furthermore, the applicant is proposing to place the garages at the back of the site and have 38 feet of separation between the principal and accessory garage structures, which will help protect backyard views of neighboring residential structures to the south.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality in a negative way. The garages will be detached from the living area, which is typical for the lower density residential development in the area. The enclosed detached garages within this area are also more in keeping with the character of the area compared to surface parking. In addition, granting of the variances will not be injurious to the use or enjoyment of the other property in the vicinity. The garage access doors are five feet from the rear property line which meets the zoning code requirement for one-story detached accessory structures that are oriented towards the alley. Furthermore, granting the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The project includes a modest sized garage for each of the residential units. By providing the proposed detached accessory structures it will provide enough room for each of the residential units to meet zoning code requirements for vehicle, bike and trash storage.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Meets requirements

- The placement of buildings will reinforce the street wall as the buildings will be located the same distance from the front property line as the nearest residential building to the south. The fenestration will maximize natural surveillance and visibility and the site layout and building design will facilitate pedestrian access and circulation as each residential unit will have a walkway connecting the building to 2nd Street Northeast.
- The first floor of the building will be located 20.77 feet from the front property line, which is the zoning district setback for the R3/Multiple-Family District.
- The area between the building and the front lot line includes trees, lawns, and stoops to improve the interaction of the site with 2nd Street Northeast.
- The building is oriented so that there is a main, street-facing pedestrian entrance for each of the seven residential units.
- The on-site accessory parking is located at the rear of the site.
- The building walls include architectural details such as dormers and rafters above the front entrances that divide the building into smaller identifiable sections and help blend in better with the neighboring low-density residential structures. In addition, the project is providing windows as required by Chapter 530.
- Blank uninterrupted walls do not exceed 24 feet in length.
- The only exterior material on building walls, outside of windows, doors, and foundation materials is a wood lap siding (L.P. SmartSide Trim and Siding). This is a durable material and as proposed will comply with the percentages allowed for each elevation (see Table 1).
- The exterior materials and appearance of the rear and side walls are similar and compatible with the front of the building.
- Plain face concrete will not be an exterior material for the building.
- Principal entrances are clearly defined and emphasized through the use of a first floor roof. The fenestration exceeds the minimum required on the front elevation’s first and second floors (see Table 2). The windows are vertical in proportion and distributed in an even manner.
- The entire first floor is designed to accommodate active functions.
- The gabled roof with dormers is similar to the surrounding buildings.
- The exterior design of the one-story parking garages is similar to the neighboring low-density garages.

Table I. Percentage of Exterior Materials per Elevation

(Excludes windows, doors, and foundation materials)

	Material	Allowed max %	North	South	East	West
4-Unit Building	Wood	75%	75%	75%	68%	41%
3-Unit Building	Wood	75%	75%	75%	68%	41%

Table 2. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
4-Unit Building				
1 st Floor (2 nd St. NE)	20% minimum	90 sq. ft.	38%	168 sq. ft.
2 nd Floor	10% minimum	52 sq. ft.	35%	180 sq. ft.
3-Unit Building				
1 st Floor (2 nd St. NE)	20% minimum	67 sq. ft.	38%	126 sq. ft.
2 nd Floor	10% minimum	39 sq. ft.	35%	135 sq. ft.

Access and Circulation – Meets requirements

- Clear and well-lit walkways at least four feet in width connect building entrances along 2nd Street Northeast to the public sidewalk.
- There are no transit shelters on site.
- Vehicular access and circulation are designed to minimize conflicts with pedestrian traffic and surrounding residential uses as all vehicular access will take place in the alley.
- The residential project is in compliance with section 530.150 in terms of alley access.
- The site plan minimizes the use of impervious surfaces as the project is under the impervious surface allowance of the R3 zoning district and meets or exceeds the landscaping percentage requirements (see Table 3 and Table 7).

Landscaping and Screening – Meets requirements

- The composition and location of landscaped areas complement the scale of development and surroundings. The applicant has landscaped the areas within the required yards and most of the landscaping area is continuous. The project meets or exceeds the minimum requirements for percentage of landscaped area, canopy trees, and shrubs. See Table 3.
- The project does not include surface parking and is not subject to the parking and loading landscaping and screening requirements outlined in section 530.170.
- As conditioned, the installation and maintenance of landscape materials shall comply with the standards outlined in section 530.210. And all areas not governed by sections 530.160 and 530.170 and not occupied by buildings, parking and loading facilities or driveways, shall be covered with turf grass, native grasses or other perennial flowering plants, vines, mulch, shrubs or trees.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	20,410 sq. ft.
Building footprints (primary and accessory)	--	9,142 sq. ft.
Remaining Lot Area	--	11,268 sq. ft.
Landscaping	2,275 sq. ft.	9,147 sq. ft.
Canopy Trees (1: 500 sq. ft.)	5 trees	14 trees
Shrubs (1: 100 sq. ft.)	20 shrubs	23 shrubs

Additional Standards – Meets requirements

- The project does not include a parking lot or driveway and therefore is not subject to the concrete curb and wheel stop requirements outlined in section 530.230.
- The project will have minimal impact on blocking of views of important elements of the city.
- The buildings are arranged to minimize shadowing on public spaces and adjacent properties.
- The project will have a minimal impact on wind currents at ground level.
- The site plan includes crime prevention through environmental design elements as outlined in section 530.260 as the project will have natural surveillance and visibility with the proposed fenestration that exceeds the zoning code percentages, territorial reinforcement/space delineation and natural access control with the walkway leading to the main pedestrian entrances on 2nd Street Northeast.
- The existing site does not contain an officially designated historic structure or structure that is determined to be eligible for local designation.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed cluster development is a *conditional use* in the R3 Multiple-Family District.

Off-street Parking and Loading – Meets requirements with Conditions of Approval

- As conditioned, the off-street parking and loading proposal is in compliance with the requirements outlined in Chapter 537 and Chapter 541. Per Table 541-1, the proposed seven-unit residential development meets the minimum off-street parking requirement (see Table 4). Residential uses in the R3 District are required to provide one space per dwelling unit, which the applicant is proposing to do in the detached garages. There is not a maximum amount of parking for a residential development at the R3 District and all vehicles will be stored in an enclosed structure. Therefore, the project is in compliance with section 541.450, maximum number of vehicles for dwellings. Per 537.80, the garages will be located more than six feet from the habitable space of a dwelling. Per 541.300, the drive aprons will be concrete slabs. Snow storage is proposed to take place within the required north and side yards. Snow storage is not a permitted obstruction in the interior yards. Per 541.600, CPED is recommending that snow shall be removed from the site or be stored between the two garage structures.
- Per Table 541-3, multiple-family dwellings with five or more units are required to provide one bike parking space per two dwelling units; 90 percent of this parking is required to meet the long term bike parking standards. The project includes one secured bike parking space in each garage unit.

Table 4. Vehicle Parking Requirements Per Use (Chapter 54I)

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Residential dwellings	7	0	7	No maximum	7
Total	7	0	7	No maximum	7

Table 5. Bicycle Parking and Loading Requirements (Chapter 54I)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Residential dwellings	4	--	4	7 long term	None	None
Total	4	--	4	7 long term	None	None

Building Bulk and Height – Meets requirements

- The combined gross floor area of the two buildings is 18,547 square feet and the overall floor area ratio is 0.9 (see Table 6). The four-unit building has 10,594 square feet of gross floor area and the three-unit building has 7,953 square feet of gross floor area. Per 546.480, this includes the floor area in the basements and half stories for the three and four unit buildings.
- The gabled roof buildings are identical in height. They are 2.5 stories and 30.3 feet in height as defined by the Minneapolis zoning code, which is below the 35-foot height requirement for non-one and two-family residential structures in the R3 zoning district. The natural grade 10 feet from the center of the building is 832.5 feet above sea level. The proposed first floor elevation is 835 feet above sea level. The height of the building from the first floor to the midpoint between the eave edge and the roof ridge level is 27.8 feet (862.76 feet above sea level). Per 520.160-Definitions, the upper floors of the principal buildings meet the definition of a half story as (1) the habitable space located under the gabled roof is within two feet of the floor joists, (2) the total width of the dormers does not exceed 50 percent of the width of the wall of the floor below the half story, (3) the dormers will not be located closer than 3 feet from any end of the house and (4) the dormers do not interrupt the eave edge of the gable roof.

Table 6. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	20,410 sq. ft.
Gross Floor Area (GFA)		18,547 sq. ft.
Minimum Floor Area Ratio (GFA/Lot Area)	N/A	0.9
Maximum Floor Area Ratio (GFA/Lot Area)	1.0	0.9
Maximum Building Height	2.5 stories or 35 feet whichever is less	2.5 stories/30.3 feet

Lot Requirements – Meets requirements

Table 7. Lot Requirement Summary

	Code Requirement	Proposed
Dwelling Units (DU)	N/A	7 DUs
Density (DU/acre)	N/A	15 DU/acre
Minimum Lot Area	7,500 square feet and at least 1,500 square feet of lot area per dwelling unit	2,915 sq. ft. per DU
Minimum Lot Width	40 ft.	129 ft.
Maximum lot coverage	45%/9,185 sq. ft.	45%/9,142 sq. ft.
Maximum Impervious Surface Allowance	60%/12,446 sq. ft.	55%/11,263 sq. ft.

Yard Requirements – Meets requirements

- The principal building meets the zoning district building setback requirements (see Table 8). Per Table 546-10, the required interior side and rear yards are 5 feet for the one-story garages. The garages will be located 8.5 feet from the interior side yard and 5 feet from the rear property line.

Table 8. Minimum Yard Requirements (Principal Building)

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front	20 ft.	20.77 ft.	20.77 ft.	20.77 ft.
Interior Side (North)	7 ft.	N/A	7 ft.	8.5 ft.
Interior Side (South)	7 ft.	N/A	7 ft.	8.5 ft.
Rear	7 ft.	N/A	7 ft.	73 ft.

Signs – Not applicable

- No signs are proposed as part of the residential project.

Lighting – *Meets requirements with Conditions of Approval*

- The applicant did not submit a lighting plan with their submittal. As a condition of approval, a lighting plan shall be submitted prior to building permit issuance that shows the project is in compliance with the lighting requirements outlined in section 535.590.

Regulations of General Applicability – *Meets requirements*

- The applicant is proposing air conditioning units for the individual units that are similar to the air condition units for a single or two-family dwelling. Per 535.70, this mechanical equipment is exempt from the screening requirements.
- Refuse containers are proposed to be stored within the garage, which will meet the screening of refuse and recycling storage container requirement outlined in section 535.80.
- The residential units meet the general standards outlined in 535.90 as the units will be greater than 500 square feet.
- No fences are shown on the proposed site plan. As a condition of approval, any fence constructed shall comply with the requirements outlined in Chapter 535, Article VI - Fences.

Specific Development Standards – *Meets requirements*

- The project will be in compliance with the specific development standards for a cluster development outlined in Chapter 536 of the zoning code (see conditional use permit application findings above for a complete review).

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as urban neighborhood on the future land use map. The proposed project is in compliance with the Minneapolis Plan for Sustainable Growth. See conditional use permit finding 5 for a review of the project in compliance with the land use policies and implementation steps of the comprehensive plan. The land use policies and implementation steps outlined in finding 5 of the conditional use permit apply to the proposed site plan application. The project is also in compliance with the following urban design policies and implementation steps:

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

- 10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.

Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

- 10.5.1 Smaller-scale, multi-family residential development is more appropriate along Community Corridors and Neighborhood Commercial Nodes.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.

- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.

- 10.8.1 Infill development shall reflect the setbacks, orientation, pattern, materials, height and scale of surrounding dwellings.
- 10.8.2 Infill development shall incorporate the traditional layout of residential development that includes a standard front and side yard setbacks, open space in the back yard, and detached garage along the alley or at back of lot.
- 10.8.3 Building features of infill development, such as windows and doors, height of floors, and exposed basements, shall reflect the scale of surrounding dwellings.
- 10.8.4 Detached garages are preferred over attached garages and should be accessory in size and use to the primary residential structure.
- 10.8.5 New driveways should be prohibited on blocks that have alley access and no existing driveways.
- 10.8.6 Traditional setbacks, orientations, pattern, height and scale of dwellings should be created in areas where no clear pattern exists.
- 10.8.7 Low density residential development proposals should be evaluated and compared to the form and density of the neighborhood.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.3 Locate parking lots to the rear or interior of the site.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

- 10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.

Urban Design Policy 10.22 Use Crime Prevention Through Environmental Design (CPTED) principles when designing all projects that impact the public realm, including open spaces and parks, on publicly owned and private land.

- 10.22.1 Integrate “eyes on the street” into building design through the use of windows to foster safer and more successful commercial areas in the city.
- 10.22.2 Orient new housing to the street to foster safe neighborhoods.
- 10.22.3 Design the site, landscaping, and buildings to promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- 10.22.5 Locate landscaping, sidewalks, lighting, fencing and building features to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.

4. Conformance with applicable development plans or objectives adopted by the City Council.

As stated in finding 5 of the conditional use permit review above, the project is in compliance with the Lowry Avenue Corridor Plan.

5. Alternative compliance.

No alternative compliance is required.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application(s) by Concord Universal Development for the properties located at 2415-2423 2nd Street Northeast in the R3/Multiple-Family District:

A. Conditional Use Permit to allow for a cluster development in the R3/Multiple-Family District.

Recommended motion: **Approve** the conditional use permit to allow a two-building, seven-unit cluster development in the R3/Multiple-Family District, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.
2. The applicant shall provide proof of the deed restriction recording with Hennepin County prior to receiving the conditional use permit for the cluster development and CPED shall be notified about changes to the lot/parcel configuration done by future amendments to the CIC plat.
3. As required by 520.160, the upper stories of the principal buildings shall meet the definition of a half story.
4. As required by development standard #5 for cluster developments in Chapter 536, fences shall be prohibited that segment the backyards into individual private spaces.

B. Variance to allow an increase in the maximum accessory structure floor area.

Recommended motion: **Approve** the variance to increase the maximum accessory structure floor area for a detached garage from the allowed 2,041 square feet (10 percent of the lot area) to 2,842 square feet.

C. Site Plan Review to allow for a seven-unit residential cluster development.

Recommended motion: **Approve** the site plan review for the construction of a seven-unit cluster development, subject to the following conditions:

1. The installation and maintenance of landscape materials shall comply with the standards outlined in section 530.210. In addition, all areas not governed by sections 530.160 and 530.170 and not occupied by buildings, parking and loading facilities or driveways, shall be covered with turf grass, native grasses or other perennial flowering plants, vines, mulch, shrubs or trees.
2. A lighting plan shall be submitted prior to building permit issuance that shows the project is in compliance with the lighting requirements outlined in section 535.590.

3. Per 541.600, snow shall be removed from the site or be stored between the two detached garage structures.
4. Any fences along the perimeter of the property shall comply with the requirements outlined in Chapter 535, Article VI- Fences.

D. Preliminary and Final Plat application to allow for a seven-unit residential cluster development.

Recommended motion: **Return** the preliminary and final plat application for the construction of a cluster development.

ATTACHMENTS

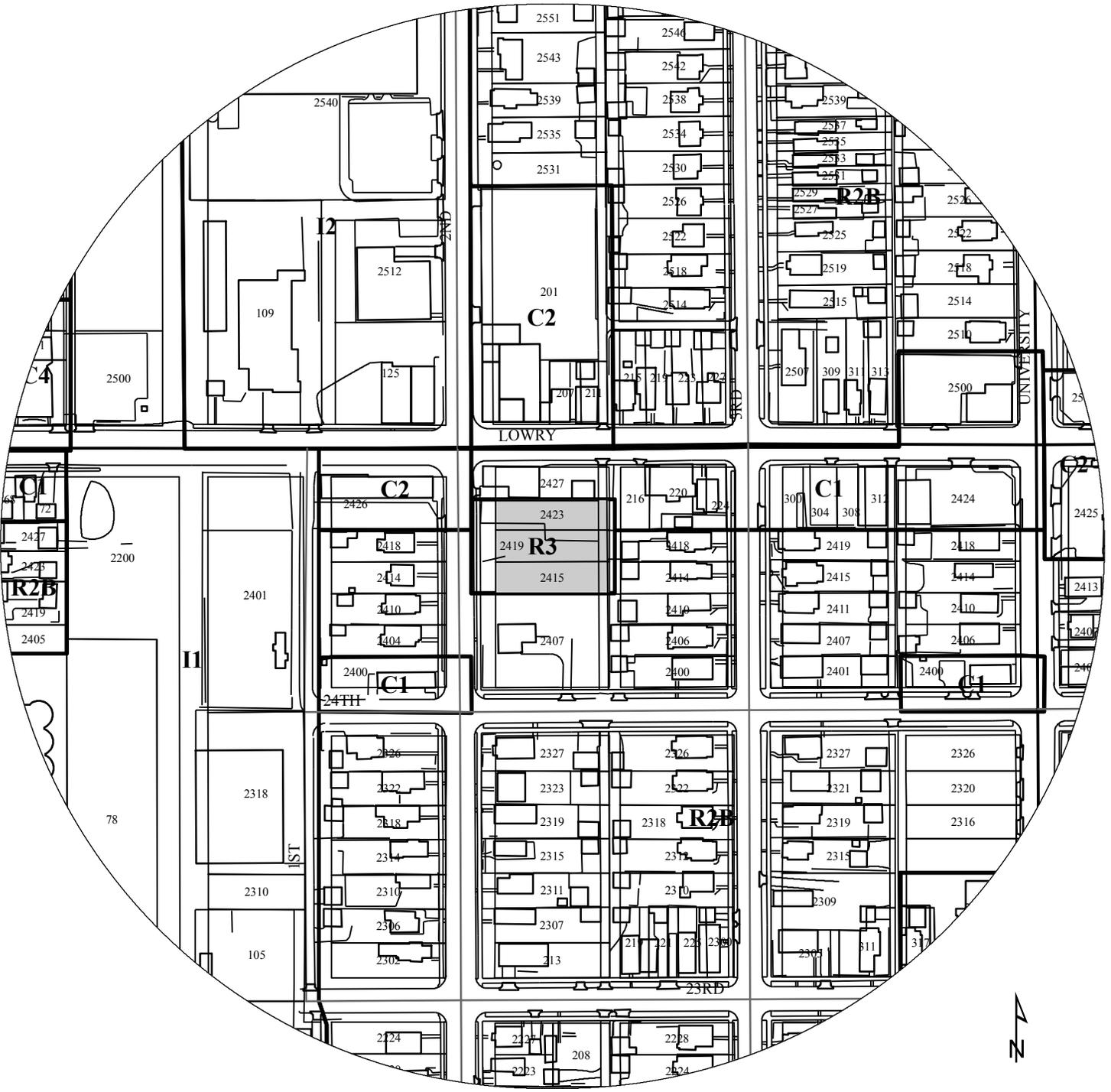
1. Zoning map
2. Statement of proposed use and statement to findings
3. PDR report
4. Site information: existing conditions, site plan and landscape plan,
5. Building information: elevations, floor plans, section drawing and renderings
6. Aerials and images

Concordia Development

3rd

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
2415-2423 2nd Street NE

FILE NUMBER
BZZ-7119

STATEMENT OF PROPOSED USES

2423/2419/2415 Second Street NE, Minneapolis.

The applicant, Concord Development has made application for subdivision approval to allow for the development of seven townhome units and seven detached enclosed parking stalls. The townhomes and garages will be built in a three unit and a four unit cluster. The proposed property consists of three vacant residential lots and has a current zoning of R-3. The application requires a subdivision approval to allow the combination of three adjacent lots into one parcel.

The applicant currently owns all three land parcels.

CONDITIONAL USE PERMIT TO ALLOW CLUSTER DEVELOPMENT APPLICATION:

STATEMENT BY APPLICANT

2423/2419/2415 Second Street NE, Minneapolis.

The applicant, Concord Development has made application for a conditional use permit and makes the following statement:

- 1) The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.
- 2) The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
- 3) Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be prepared.
- 4) Adequate measures have been or will be taken to minimize traffic congestion in the public streets.
- 5) The conditional use is consistent with the applicable policies of the comprehensive plan.
- 6) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

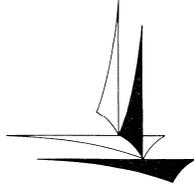
VARIANCE TO INCREASE THE MAXIMUM ACCESSORY STRUCTURE SIZE FOR A DETACHED GARAGE FROM THE ALLOWED 2,042 SQAURE FEET TO 2,960 SQUARE FEET.

STATEMENT BY APPLICANT

2423/2419/2415 Second Street NE, Minneapolis.

The applicant, Concord Development has made application for a variance and makes the following statement:

- 1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.
- 2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.
- 3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**
(612) 673-2726
don.zart@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001294
Applicant:	CONCORND UNIVERSAL 9900 13TH AVE N, SUITE 100 PLYMOUTH, MN 55441
Site Address:	2415 2ND ST NE 2419 2ND ST NE 2423 2ND ST NE
Date Submitted:	18-MAR-2015
Date Reviewed:	26-MAR-2015

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.

Project Scope

Proposed 7 unit town home project with detached parking.

Review Findings (by Discipline)

Historical Preservation Committee

- There is no HPC flag on these properties.

Zoning - Planning

- The project requires the following land use applications:
 - Conditional use permit to allow a cluster development in the R3/Multiple Family Zoning District.
 - Variance to increase the maximum accessory structure size for a detached garage from the allowed 2,042 square feet (10 percent of the lot area) to 2,960 square feet .
 - Site plan review.
- The project is scheduled to be reviewed by the City Planning Commission on April 27.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Addressing

- The proposed addressing for the 7 units will be as follows, from South to North:
- 2413 2nd St NE
- 2415 2nd St NE
- 2417 2nd St NE
- 2419 2nd St NE
- 2421 2nd St NE
- 2423 2nd St NE
- 2425 2nd St NE

□ Parks - Forestry

- Contact Craig Pinkalla (cpinkalla@minneapolisparcs.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project the 7 townhouse units at 2415 2nd St NE, the calculated dedication fee is as follows:

7 x \$1500	=	\$10,500
5% of \$10,500 (administrative fee)	=	\$ 525
Total	=	\$11,025
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at 612-673-2726.

□ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- The site plan does not provide for a "demolition plan"; consequently it is not possible to determine the complete impact to existing infrastructure. It is recommended that the Applicant provide a separate "demolition/erosion control plan" that identifies all proposed removals of existing Public infrastructure.

□ Street Design

- For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>
- Given the number of utility cuts crossing the existing curb & gutter, the Applicant shall provide for complete curb removal and replacement to the limits of the Project. All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the appropriate details from the ROAD-1000 Series - Curbs and Gutters (ROAD-1003, and ROAD-1010) to the plans. Top of Curb profiles shall be provided for any section of curb replacement in excess of 50 feet.

❑ Traffic and Parking

- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations; per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- Note to the Applicant: Please add the following notes to the site plan:
- " An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
- " Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

❑ Fire Safety

- Provide the description of the building including occupancy type, square footage and what code you are using in the design of this building - fire sprinkler and fire alarm systems may be required. Contact Mike Raeker (612)673-2624 with any questions.

❑ Environmental Health

- A review of the site(s) indicates that original structure at 2415 2nd St NE, which was demolished in 1997, did not city water available when it was moved on site from 323 Quincy St NE in 1889. City water was not available on the 2400 block of 2nd St NE until 1898 and the first plumbing permit on record was obtained in 1914. These factors indicate there was either a water supply well installed with the first home or another alternative water supply was available other than City water. The owner must locate and have sealed by a licensed well contractor the out-of-service water supply well. If the well cannot be located the owner must obtain an unlocatable well sealing variance from the Minnesota Department of Health. Any site development must not impede or prohibit the investigation for the well and sealing of it if found. A notice will be sent separate from the PDR process for tracking the investigation progress.
- If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. The scope of work calls for underground parking. The highest groundwater level expected for this site should be determined and used in establishing the lowest level for underground parking. The underground parking and other subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

❑ Sidewalk

- Given the number of utility cuts crossing the existing sidewalk, the Applicant shall provide for complete sidewalk removal and replacement to the limits of the Project.

❑ Business Licensing

- There is no Business Licensing requirement for this project. Work with Housing / Rental Licensing on the appropriate Rental License.

❑ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.
- Water service line sizes need to be specified for each individual service and if these lines are domestic only. Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

❑ Sewer Design

- Surface Drainage: It does not appear that the proposed drain tile on the north and south sides of the lot would be daylighted or connect to any storm sewer. It is recommended that the downspouts not be connected to the drain tile as proposed.
- Please identify the location of any proposed foundation drain tile connections or discharges.
- Utility Connections: Please verify if the common area outside the buildings will be owned and maintained by an association. If so, it may be more appropriate to make one connection to the City main for the sanitary sewer service connection, with branch line serving each unit off that. Please contact Jeremy Strehlo, 612-673-3973, for further direction on the sanitary sewer service connections.
- Erosion Control: The erosion and sediment control notes on Sheet 3 of 3 appear to be related to a different project. Please update these to reflect this project.
- Inlet protection should be provided at the catch basins downstream of the site that will receive runoff from the disturbed area.
- Please include details of the proposed temporary erosion and sediment control devices (silt fence, inlet protection, rock construction entrances, etc.)
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

❑ Construction Code Services

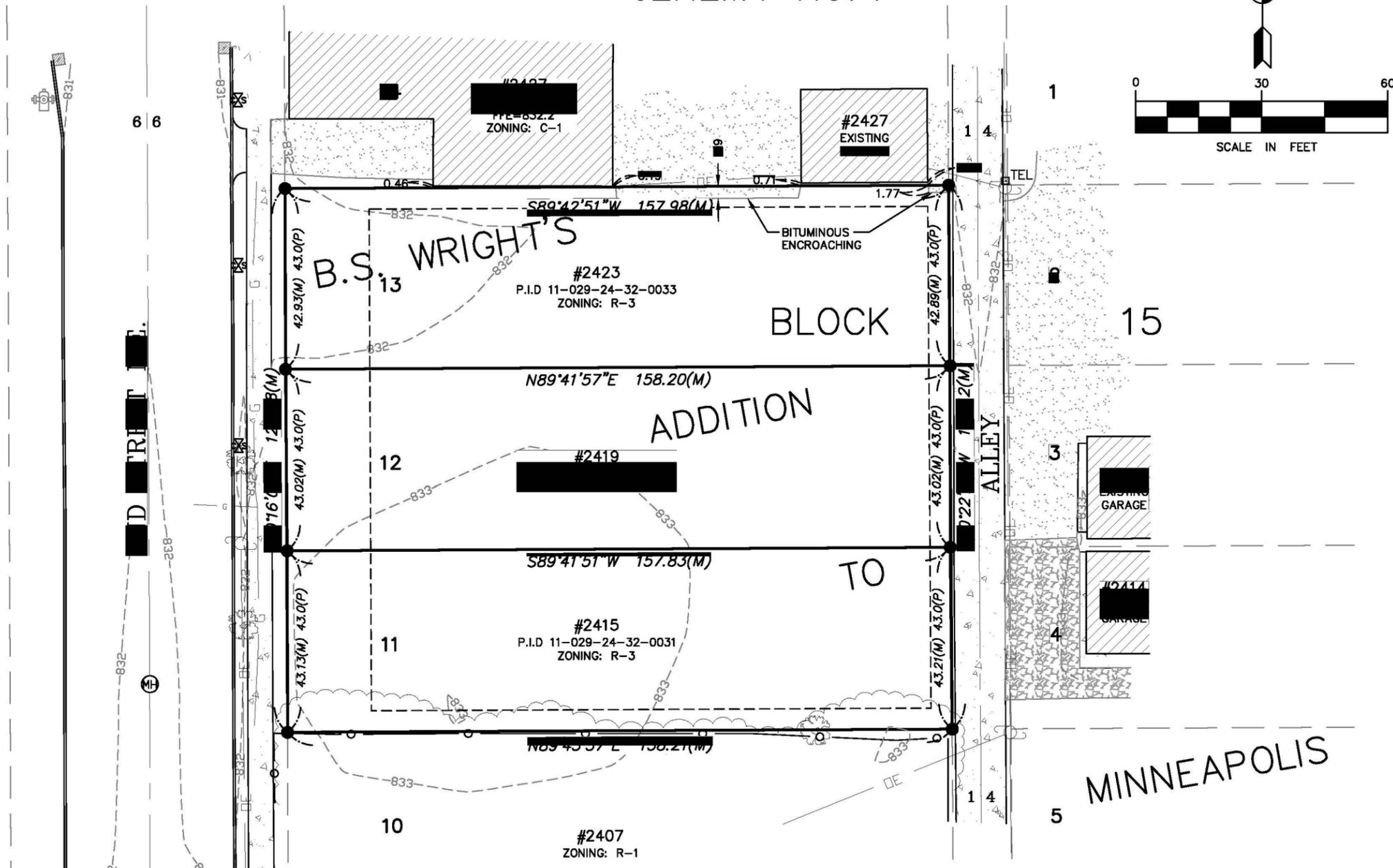
- Provide additional information on drainage swale on North and South of property lot. Submit section view drawing of swale for review.
- Note:
- Please contact the Met Council regarding a SAC Determination. For more information please refer to this link:
http://www.minneapolismn.gov/www/groups/public/@regservices/documents/webcontent/convert_281675.pdf
- Please submit soils report along with construction plans

END OF REPORT

EXISTING CONDITIONS

-for-
JEREMY RUPP

Call 48 Hours before digging
GOPHER STATE ONE CALL
Twin Cities Area 651-454-0002
MN. Toll Free 1-800-252-1166



LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- 999 DENOTES EXISTING CONTOUR LINE
- x999.99 DENOTES EXISTING SPOT ELEVATION
- [Concrete Pattern] DENOTES CONCRETE SURFACE
- [Bituminous Pattern] DENOTES BITUMINOUS SURFACE
- [Telephone Pedestal] DENOTES TELEPHONE PEDESTAL
- FFE DENOTES FINISH FLOOR ELEVATION
- [Deciduous Tree] DENOTES DECIDUOUS TREE
- [Wood Fence] DENOTES WOOD FENCE
- [Manhole] DENOTES MANHOLE (UNKNOWN UTILITY)
- [Electric Pole] DENOTES ELECTRIC POWER POLE
- [Water Curb Stop] DENOTES WATER CURB STOP
- [Overhead Electric] DENOTES OVERHEAD ELECTRIC
- [Gas Line] DENOTES GAS LINE
- [Guy Anchor] DENOTES GUY ANCHOR
- [Fire Hydrant] DENOTES FIRE HYDRANT
- [Storm Catch Basin] DENOTES STORM CATCH BASIN
- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE

LEGAL DESCRIPTION

P.I.D 11-029-24-32-0033
Lot 13, Block 15, B.S. WRIGHT'S ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.

P.I.D 11-029-24-32-0032
Lot 12, Block 15, B.S. WRIGHT'S ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.

P.I.D 11-029-24-32-0031
Lot 11, Block 15, B.S. WRIGHT'S ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.

REFERENCE BENCHMARK

ELEVATION = 830.06 MINNEAPOLIS MONUMENT #947 @ INTERSECTION OF MARSHALL ST NE AND 18TH AVE NE.

EXISTING HARDCOVER

EXISTING HARDCOVER 0%

BUILDING SETBACKS

ZONING: R3 = MULTIPLE-FAMILY DISTRICT HOUSE: FRONT = 20 REAR/SIDE = 5 FT

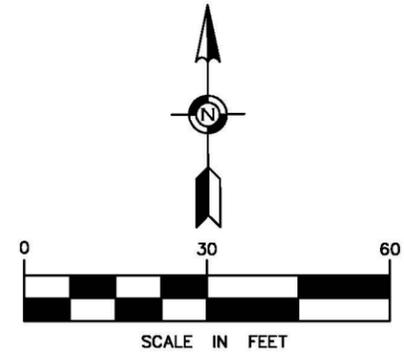
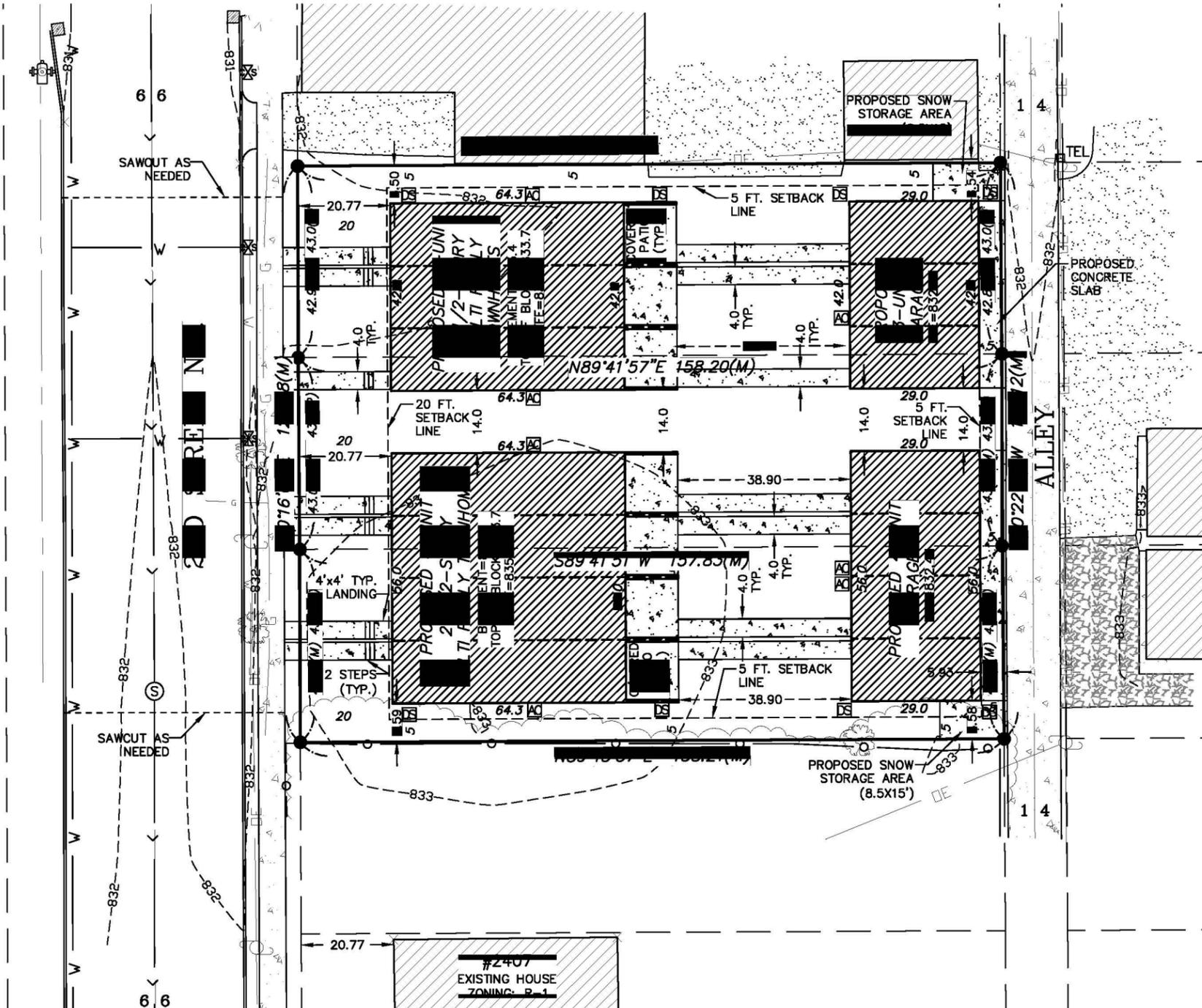
NOTES

1. THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
3. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
4. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.

NO.	DATE	DESCRIPTION	BY

SITE AND DIMENSION PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



- LEGEND (EXISTING)**
- DENOTES FOUND PROPERTY IRON
 - DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
 - DENOTES PROPOSED BOUNDARY LINE
 - DENOTES LOT LINE
 - - - DENOTES SETBACK LINE
 - 999 DENOTES EXISTING CONTOUR LINE
 - x999.99 DENOTES EXISTING SPOT ELEVATION
 - DENOTES EXISTING CONCRETE SURFACE
 - TEL DENOTES BITUMINOUS SURFACE
 - TEL DENOTES TELEPHONE PEDESTAL
 - FFE DENOTES FINISH FLOOR ELEVATION
 - ⊙ DENOTES DECIDUOUS TREE
 - DENOTES WOOD FENCE
 - ⊙ DENOTES SANITARY MANHOLE
 - ⊙ DENOTES ELECTRIC POWER POLE
 - ⊙ DENOTES WATER CURB STOP
 - OE— DENOTES OVERHEAD ELECTRIC
 - G— DENOTES GAS LINE
 - ⊙ DENOTES GUY ANCHOR
 - ⊙ DENOTES FIRE HYDRANT
 - DENOTES STORM CATCH BASIN
 - (M) DENOTES MEASURED DISTANCE
 - (P) DENOTES PLATTED DISTANCE
- LEGEND (PROPOSED)**
- DENOTES PROPOSED CONCRETE SURFACE
 - DENOTES PROPOSED DOWNSPOUT
 - DENOTES PROPOSED A.C. UNIT

LEGAL DESCRIPTION
 P.I.D 11-029-24-32-0033
 Lot 13, Block 15, B.S. WRIGHT'S ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.
 P.I.D 11-029-24-32-0032
 Lot 12, Block 15, B.S. WRIGHT'S ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.
 P.I.D 11-029-24-32-0031
 Lot 11, Block 15, B.S. WRIGHT'S ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.

GENERAL NOTES

1. THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
3. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
4. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.

SITE PLAN NOTES

1. AN OBSTRUCTION PERMIT IS REQUIRED ANYTIME CONSTRUCTION WORK IS PERFORMED IN THE PUBLIC RIGHT- OF-WAY. PLEASE CONTACT SCOTT KRAMER AT (612) 673-2383 REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES. LOG ON TO <http://minneapolis.mn.roway.net/> FOR A PERMIT.
2. CONTACT DOUG MADAY AT (612) 673-5755 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT-OF-WAY SIGNS THAT MAY BE IN THE WAY OF CONSTRUCTION.

NO.	DATE	DESCRIPTION	BY
1	3/13/15	REV. PER CITY COMMENTS	BN
2	4/10/15	REV. PER CITY PDR REPORT	BN
3	5/16/15	REV. PER CITY COMMENTS	CG

REFERENCE BENCHMARK
 ELEVATION = 830.06 MINNEAPOLIS MONUMENT #947 @ INTERSECTION OF MARSHALL ST NE AND 18TH AVE NE.

BUILDING SETBACKS
 ZONING: R3 = MULTIPLE-FAMILY DISTRICT
 HOUSE: FRONT = 20
 REAR/SIDE = 5 FT

EXISTING HARDCOVER
 EXISTING HARDCOVER 0%

PROPOSED HARDCOVER
 TOTAL PRIMARY & ACCESSORY STRUCTURES 9,143 SQ. FT.
 TOTAL LOT AREA 20,410 SQ. FT. (0.47 AC.)
 PROPOSED HARDCOVER 44.8%

EDS ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 5/17/15

JOB NAME: WESTERN LINE ON 2ND TOWNHOMES	FIELD WORK DATE: 9/11/14	DRAWN BY: BN	PROJECT NO.: 14-123
LOCATION: 2415, 2419 & 2423 2ND ST. NE MINNEAPOLIS, MN 55418	FIELD BOOK NO.: EDS-11	CHECKED BY: VS	SHEET NO. 3 OF 6

LANDSCAPE PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL

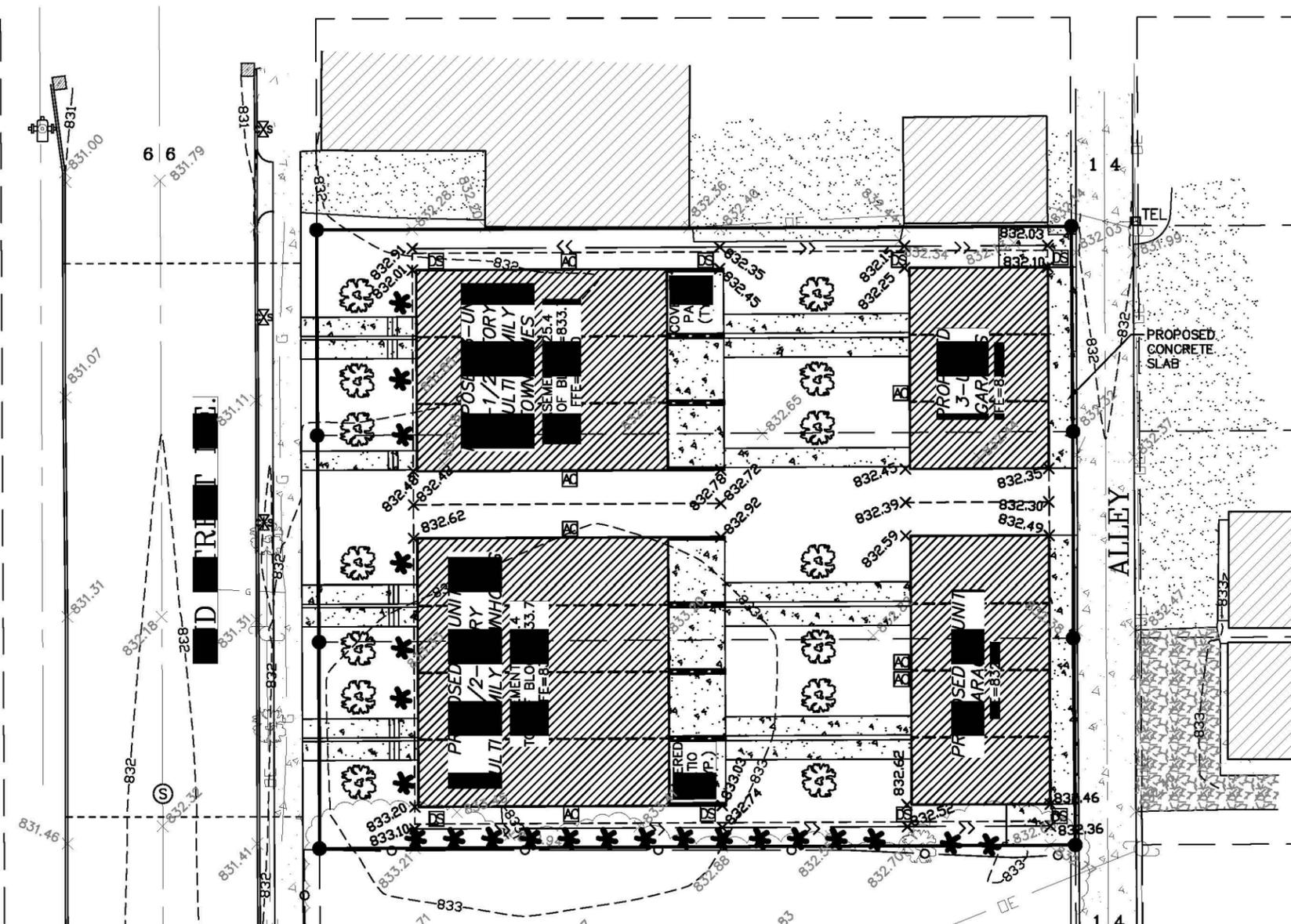
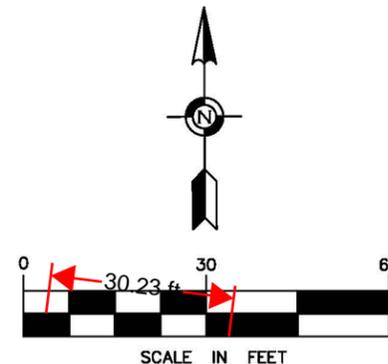
Twin Cities Area 651-454-0002
MN. Toll Free 1-800-252-1166

LEGEND (EXISTING)

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES PROPOSED BOUNDARY LINE
- DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- 999 - DENOTES EXISTING CONTOUR LINE
- x999.99 DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- TEL DENOTES TELEPHONE PEDESTAL
- FFE DENOTES FINISH FLOOR ELEVATION
- DENOTES DECIDUOUS TREE
- DENOTES WOOD FENCE
- ⊙ DENOTES SANITARY MANHOLE
- ⊕ DENOTES ELECTRIC POWER POLE
- ⊗ DENOTES WATER CURB STOP
- OE DENOTES OVERHEAD ELECTRIC
- G DENOTES GAS LINE
- ↑ DENOTES GUY ANCHOR
- ⊕ DENOTES FIRE HYDRANT
- DENOTES STORM CATCH BASIN
- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE

LEGEND (PROPOSED)

- DENOTES PROPOSED CONCRETE SURFACE
- DENOTES PROPOSED 4" HACKBERRY TREE
- ⊗ DENOTES COLUMNAR ARBOR VITAE "THUJA OCCIDENTALIS" (4' HT. MIN.)
- x999.99 DENOTES PROPOSED ELEVATION
- DENOTES PROPOSED DRAINAGE FLOW



EXISTING HARDCOVER

EXISTING HARDCOVER 0%

PROPOSED HARDCOVER

TOTAL IMPERVIOUS SURFACE 9,425 SQ. FT.
TOTAL LOT AREA 20,410 SQ. FT. (0.47 AC.)
PROPOSED HARDCOVER 46.2%

REFERENCE BENCHMARK

ELEVATION = 830.06 MINNEAPOLIS MONUMENT
#947 @ INTERSECTION OF MARSHALL ST NE
AND 18TH AVE NE.

LANDSCAPE NOTES

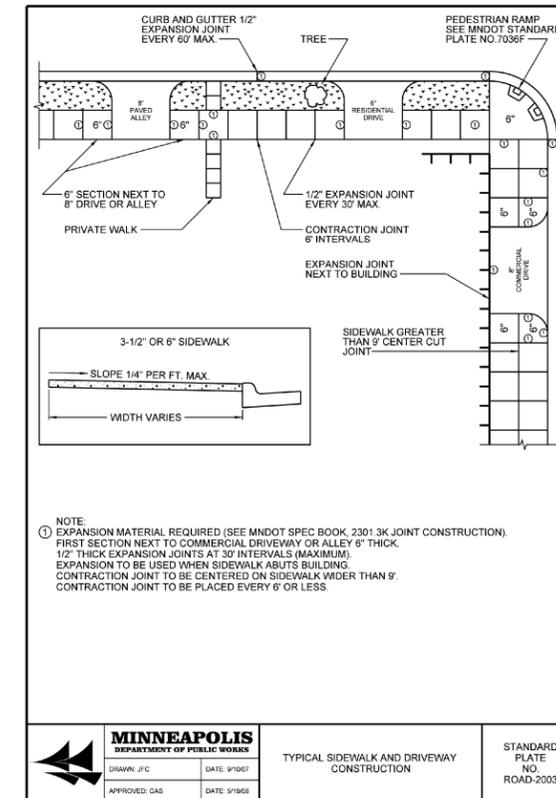
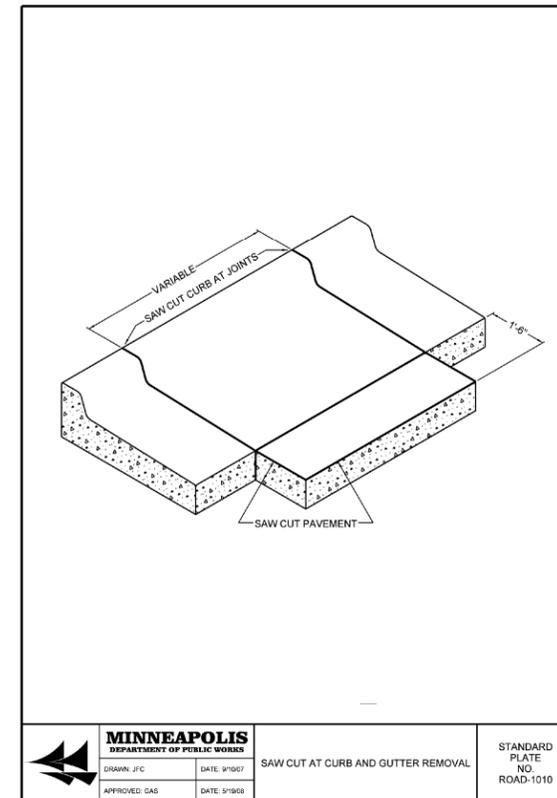
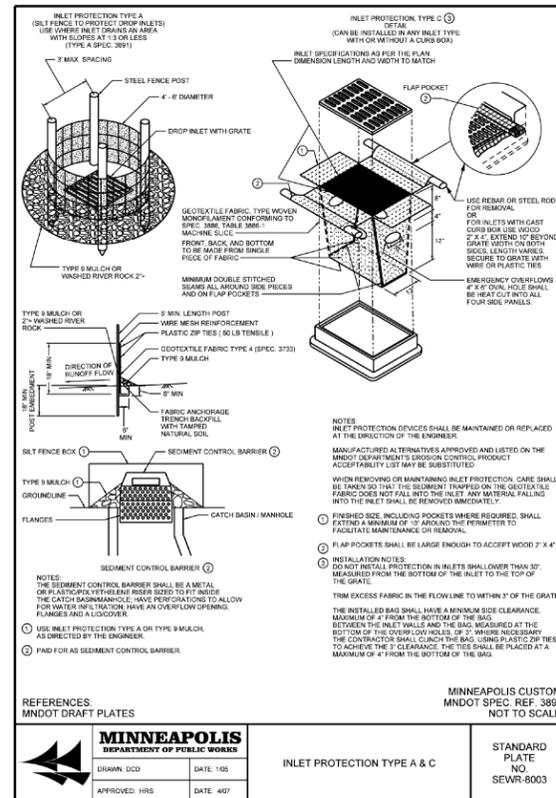
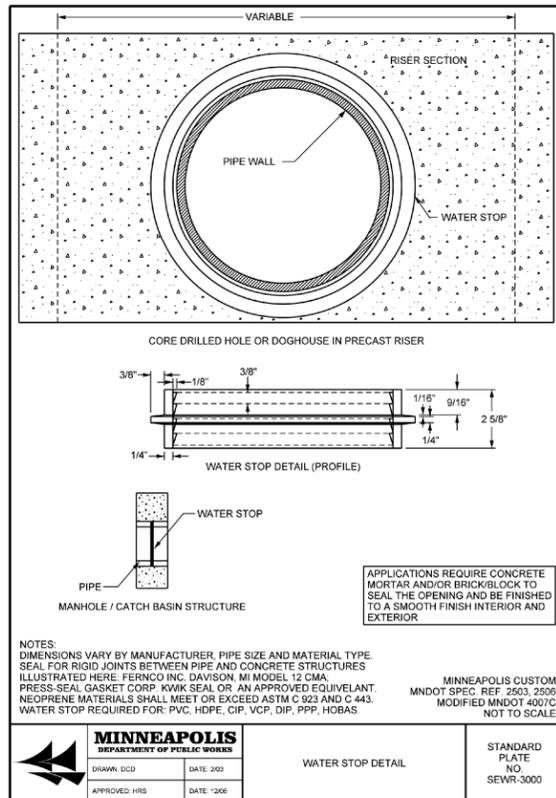
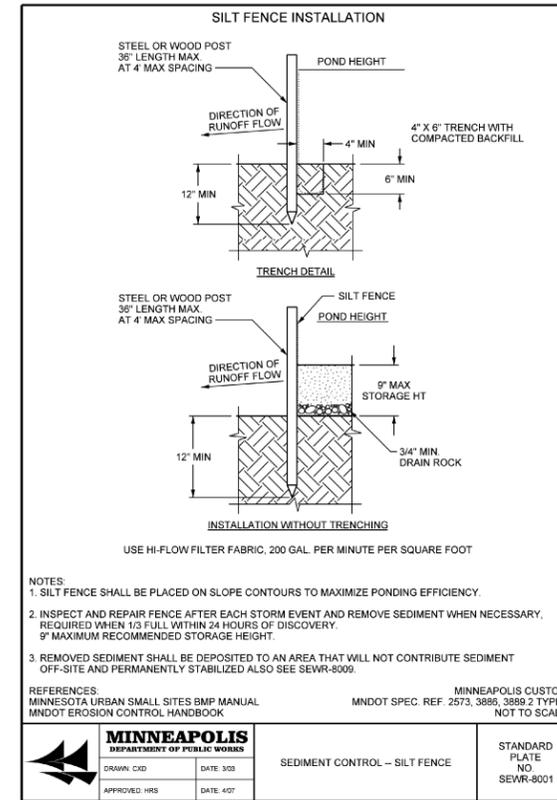
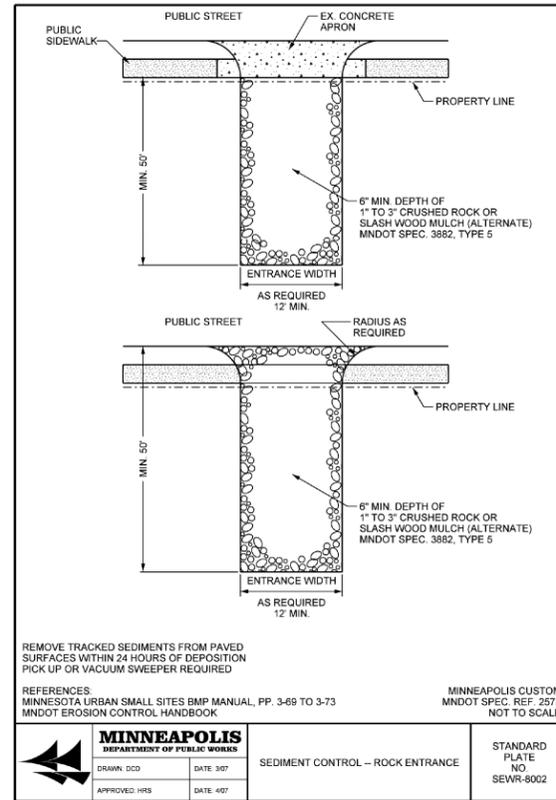
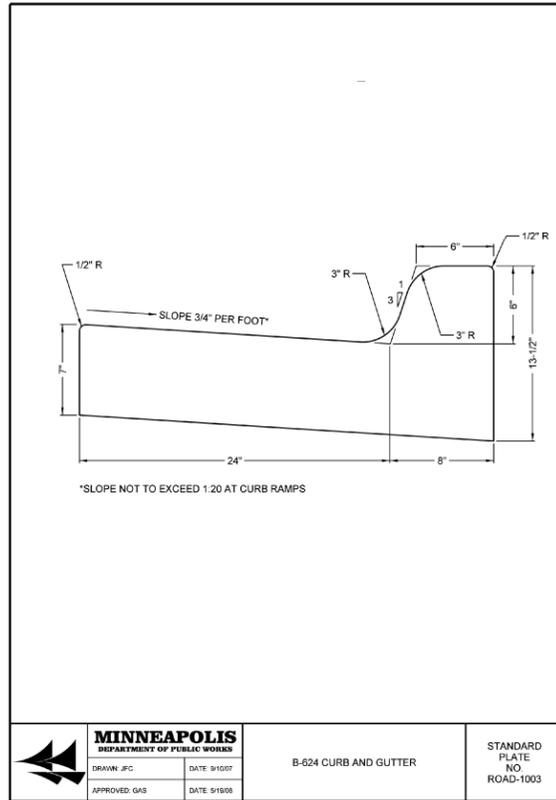
1. ALL PVIOUS SURFACE TO BE SEEDD AND/OR MULCHED AFTER GRADING IS COMPLETED.
2. 22 ARBOR VITAE SHRUBS IN TOTAL ARE PROPOSED AS A PART OF THIS PROJECT
3. 14 HACKBERRY TREES ARE PROPOSED AS A PART OF THIS PROJECT

SEDIMENT & EROSION CONTROL NOTES

1. ALL EXPOSED SOIL AREA, INCLUDING TEMPORARY STOCKPILES, MUST BE STABILIZED AS SOON AS POSSIBLE BUT IN NO CASE LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZE WITH TEMPORARY SEED AND STRAW MULCH APPLIED AT 2 TONS PER ACRES.
2. SILT FENCE SHALL BE INSTALLED AND AT THE LOCATIONS SHOWN ON THE PLAN AND AROUND ANY STOCKPILES. SILT FENCE SHALL BE INSPECTED AND MAINTINED WEEKLY (AND WITHIN 24 HRS OF A 0.5" RAINFALL) UNTIL FINAL SEEDING AND MULCHING (OR SODDING) OF LOT.
3. DUST CONTROL IS THE RESPONSIBILITY OF THE PERMIT HOLDER. THE PERMIT HOLDER MUST ELIMINATE DUST PROBLEMS UPON RECEIVING NOTICE FROM THE BUILDING OFFICIAL THAT THERE IS A DUST PROBLEM.
4. STREET CLEANING SHALL OCCUR DAILY OR AS NEEDED.
5. BUILDER TO PROVIDE EROSION AND SEDIMENT CONTROL PRECAUTIONS DESCRIBED UNDER EDINA CITY CODE CHAPTER 10, ARTICLE 7 - LITTERING IN THE COURSE OF CONSTRUCTION WORK.
6. CONTRACTOR IS RESPONSIBLE FOR THE CLEANLINESS OF THE SITE AND THE MAINTENANCE OF THE EROSION AND SEDIMENT CONTROLS.
7. THE STOCKPILE LOCATION SHALL BE AT THE SOUTHWEST CORNER OF THE LOT (SET BACK 20' FROM REAR PROPERTY LINE).
8. SITE ACCESS SHALL BE VIA A ROCK CONSTRUCTION ENTRANCE ABOVE EXISTING CONCRETE DRIVEWAY. TO THE EXTENT PRACTICABLE, HEAVY EQUIPMENT AND TRUCKS SHALL BE PROHIBITED FROM PARKING OUTSIDE OF THE GRAVEL PAD AT SITE ACCESS.
9. AS IS PRACTICABLE, BUILDER TO MAINTAIN CONTINUOUS SILT FENCE ACROSS THE SITE ACCESS WHEN NOT IN USE.
10. IN THE CASE OF PUMPED DISCHARGE, CONTRACTOR MUST FILTER ANY TURBID WATER THROUGH SAND AND SILT FENCE BEFORE DISCHARGING TO STREET. INLET PROTECTION MUST BE IN PLACE.

NO.	DATE	DESCRIPTION	BY
1	3/13/15	REV. PER CITY COMMENTS	BN
2	4/10/15	REV. PER CITY PDR REPORT	BN

DETAILS





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DRAWING TITLE
2ND STREET TOWNHOME PROJECT

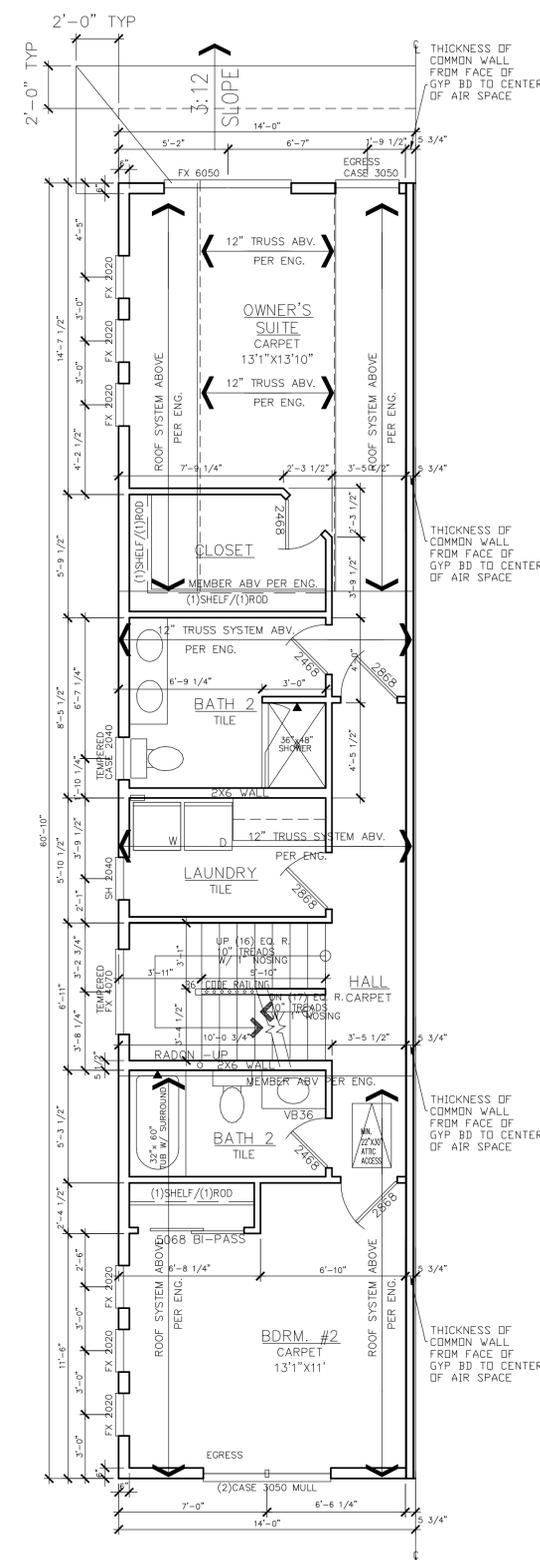
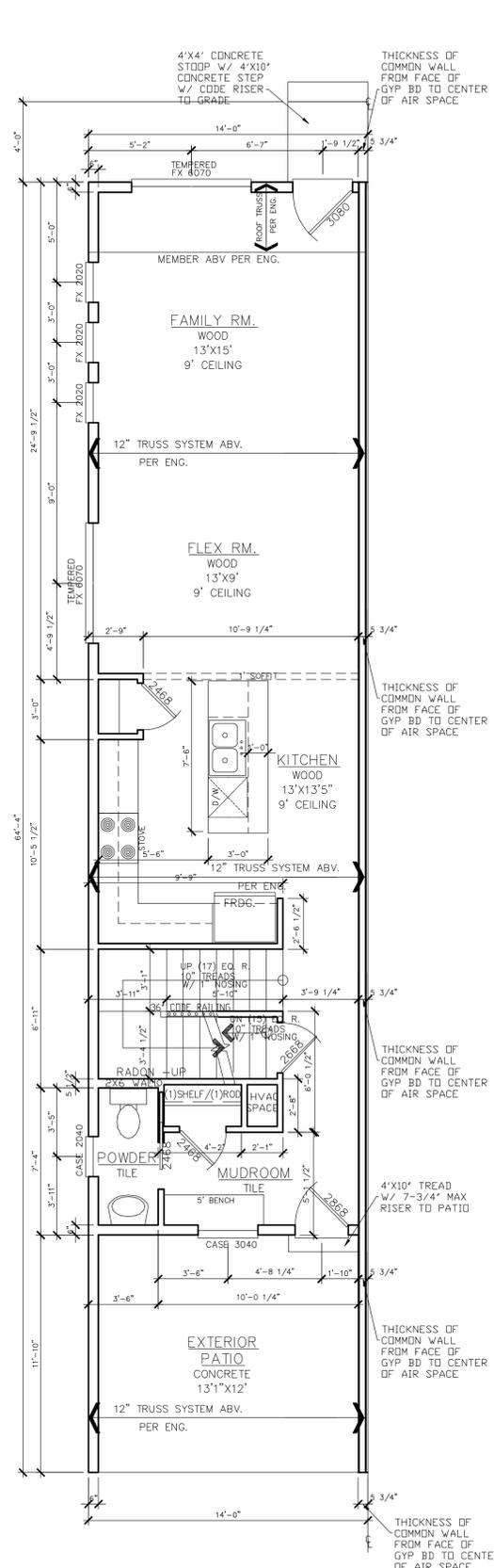
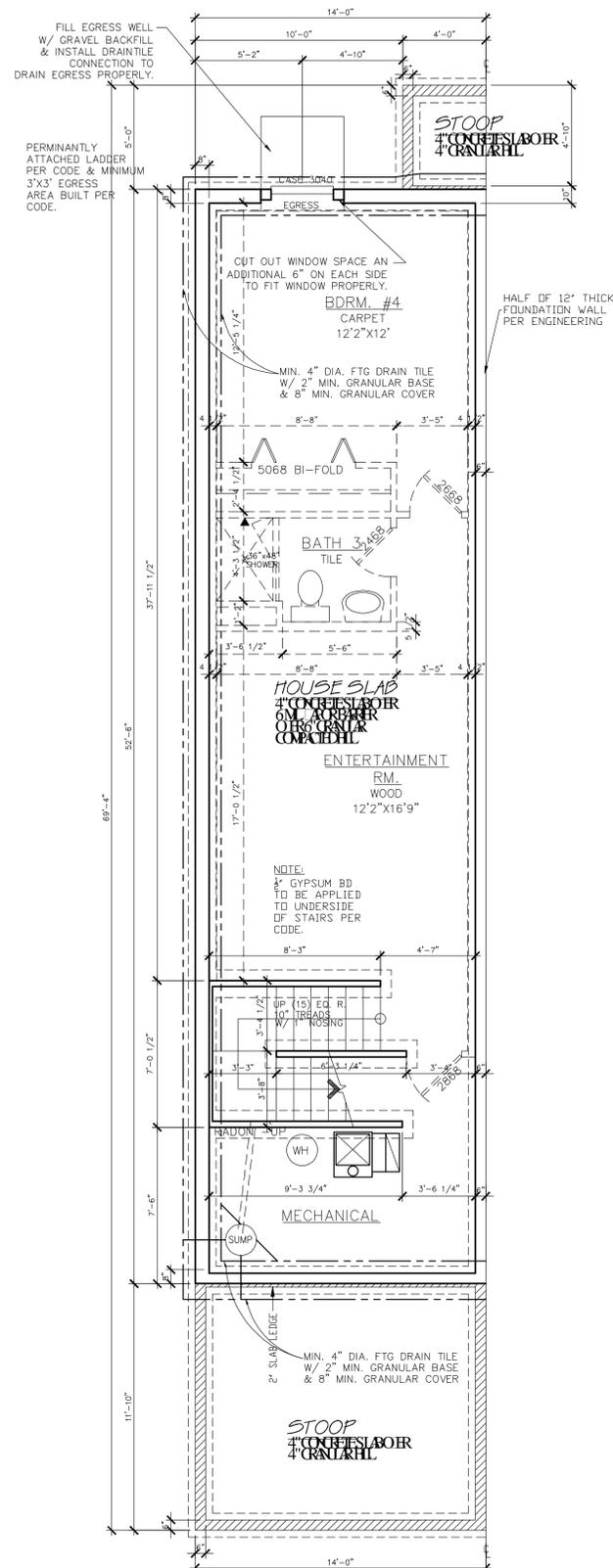
LOCATION

2415 2ND STREET NORTH

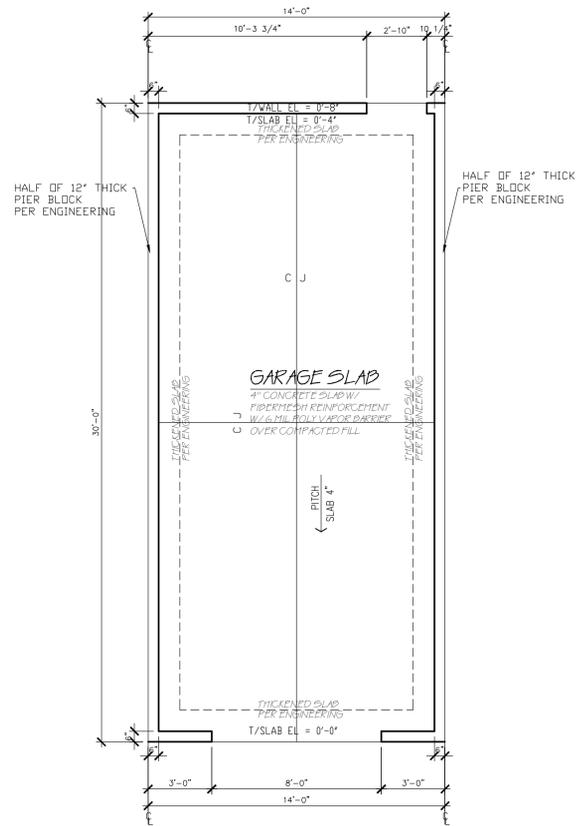
COMMUNITY:
MINNEAPOLIS, MN

DATE DRAWN: 6-8-14
DRAWN BY: JED
RELEASE DATE:
REVISION: DAE

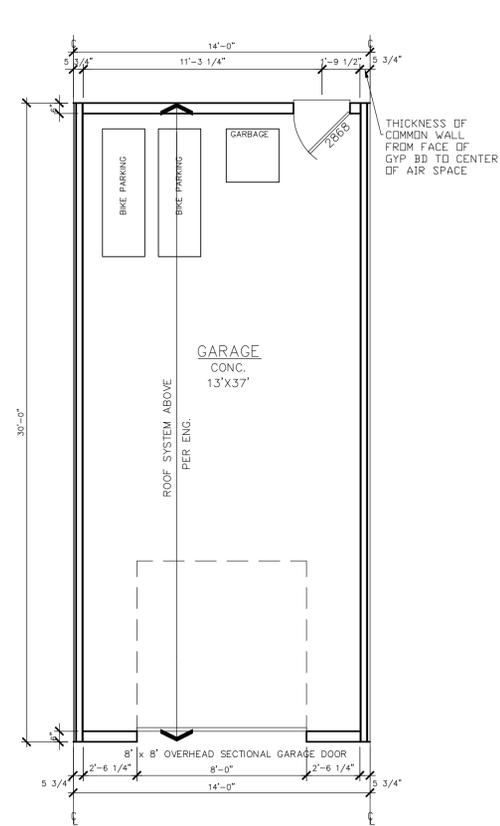
A8



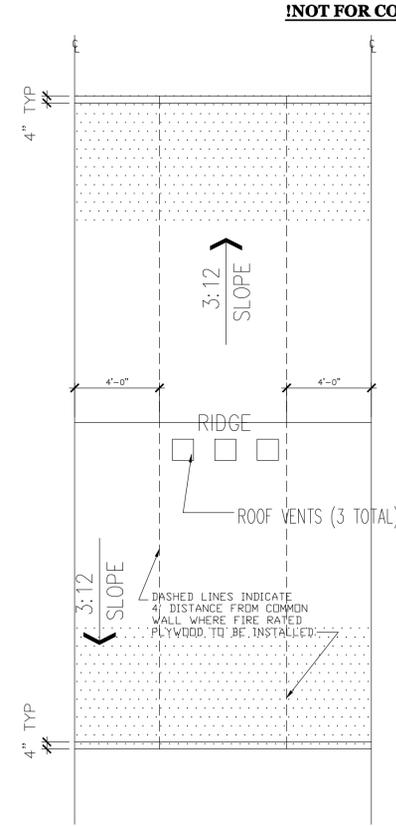
NOT FOR CONSTRUCTION!



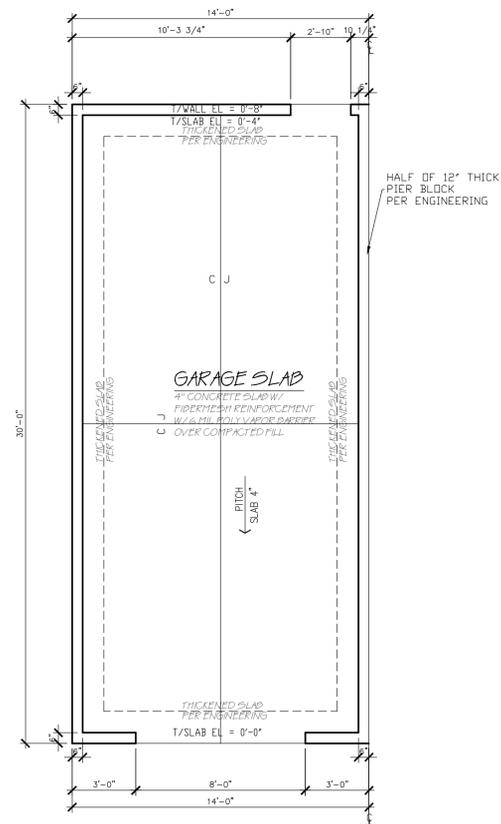
3 MID UNIT FOUND. PLAN (LEFT TYPE SIMILAR) 1/4" = 1'-0"



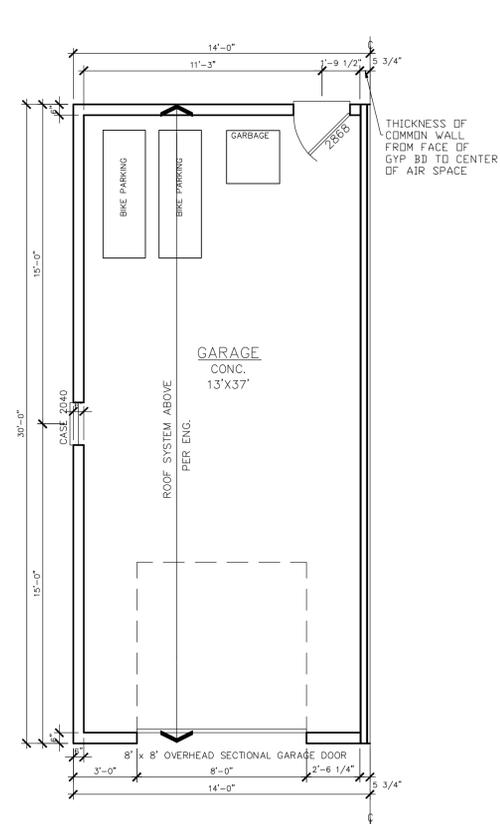
2 MID UNIT FLOOR PLAN (LEFT TYPE SIMILAR) 1/4" = 1'-0"



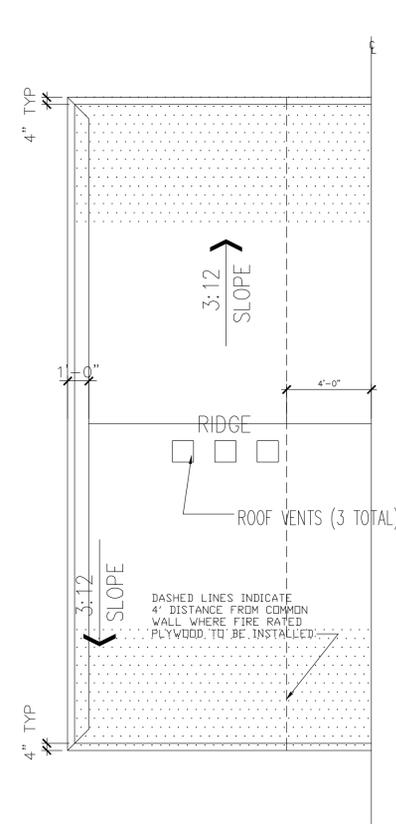
1 MID UNIT ROOF PLAN (LEFT TYPE SIMILAR) 1/4" = 1'-0"



6 END UNIT FOUND. PLAN (LEFT TYPE SIMILAR) 1/4" = 1'-0"



5 END UNIT FLOOR PLAN (LEFT TYPE SIMILAR) 1/4" = 1'-0"



4 END UNIT ROOF PLAN (LEFT TYPE SIMILAR) 1/4" = 1'-0"

NOT FOR CONSTRUCTION!

NOT FOR CONSTRUCTION!

LITTFIN DESIGN (320)224-7844



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DRAWING TITLE: 2ND STREET TOWNHOME PROJECT
 LOCATION: 2415 2ND STREET NORTH
 COMMUNITY: MINNEAPOLIS, MN

DATE DRAWN: 6-13-14
 DRAWN BY: LD
 RELEASE DATE: TBD
 REVISION: DATE

A12

GARAGE PLANS

NOT FOR CONSTRUCTION!

NOT FOR CONSTRUCTION!

LITTFIN DESIGN
(320)224-7844



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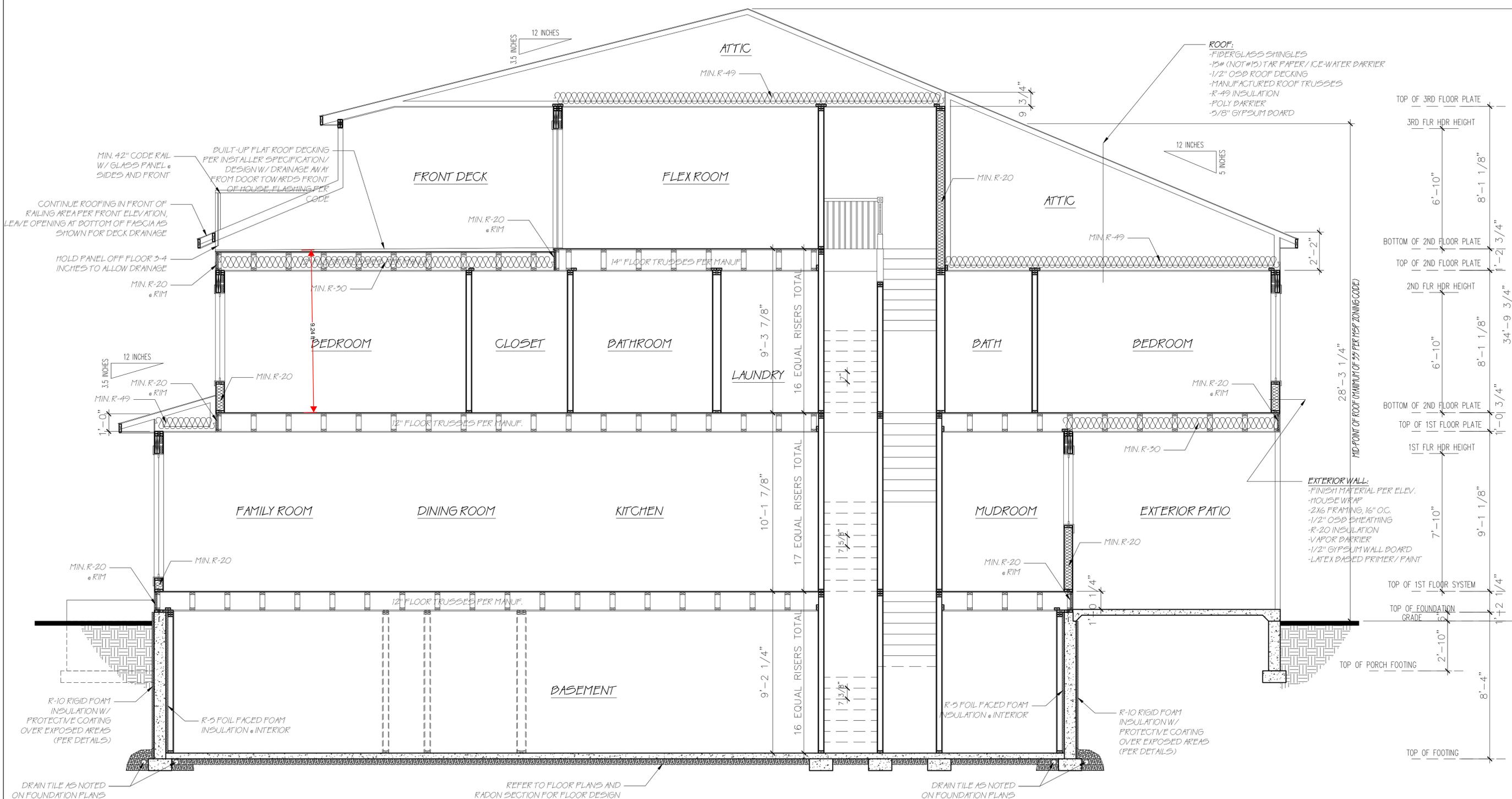
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DRAWING TITLE: 2ND STREET TOWNHOME PROJECT
LOCATION: 2415 2ND STREET NORTH
COMMUNITY: MINNEAPOLIS, MN

DATE DRAWN: 6-13-14
DRAWN BY: LD
RELEASE DATE: TBD
REVISION: DATE

D1

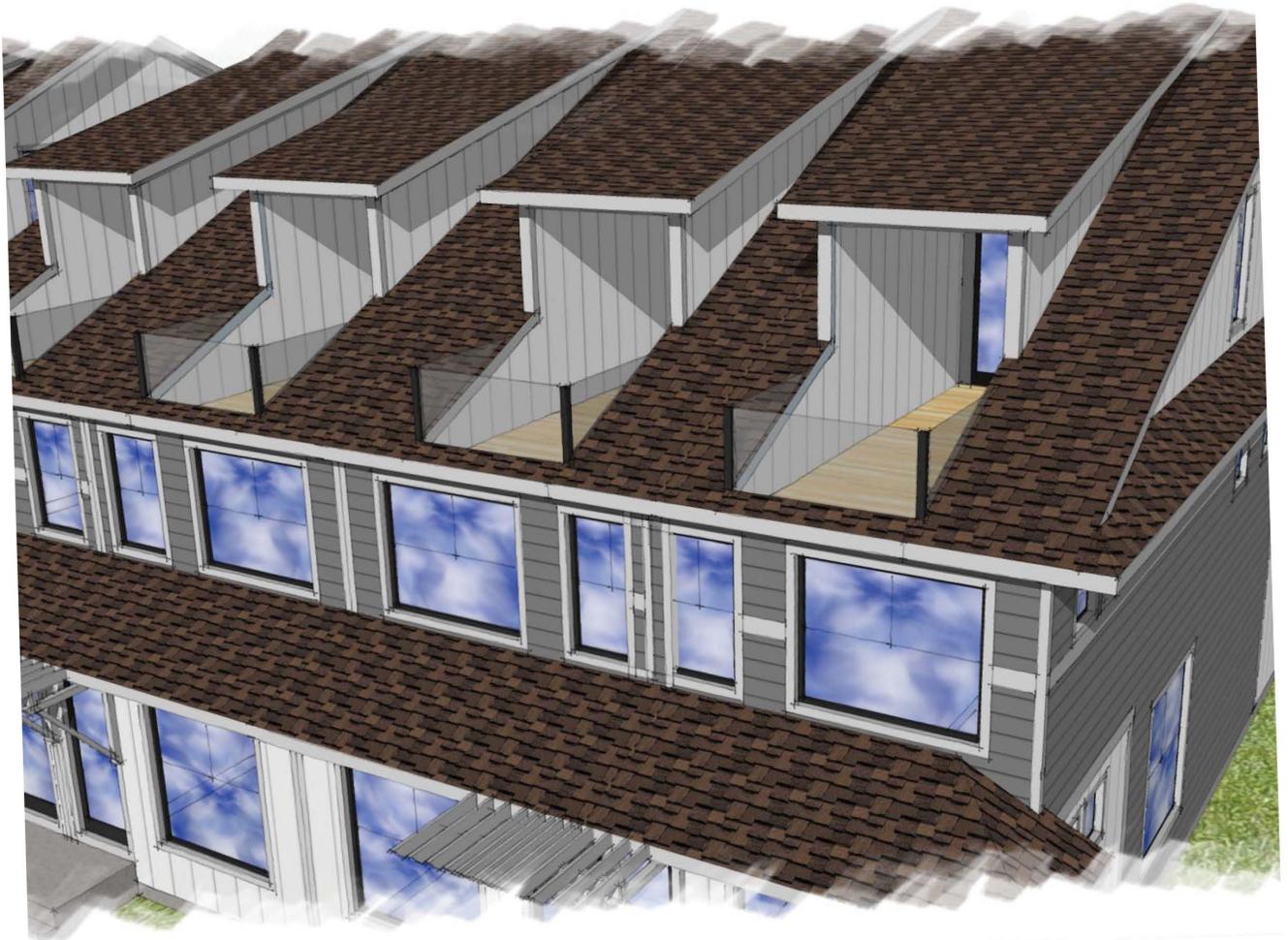
SECTIONS

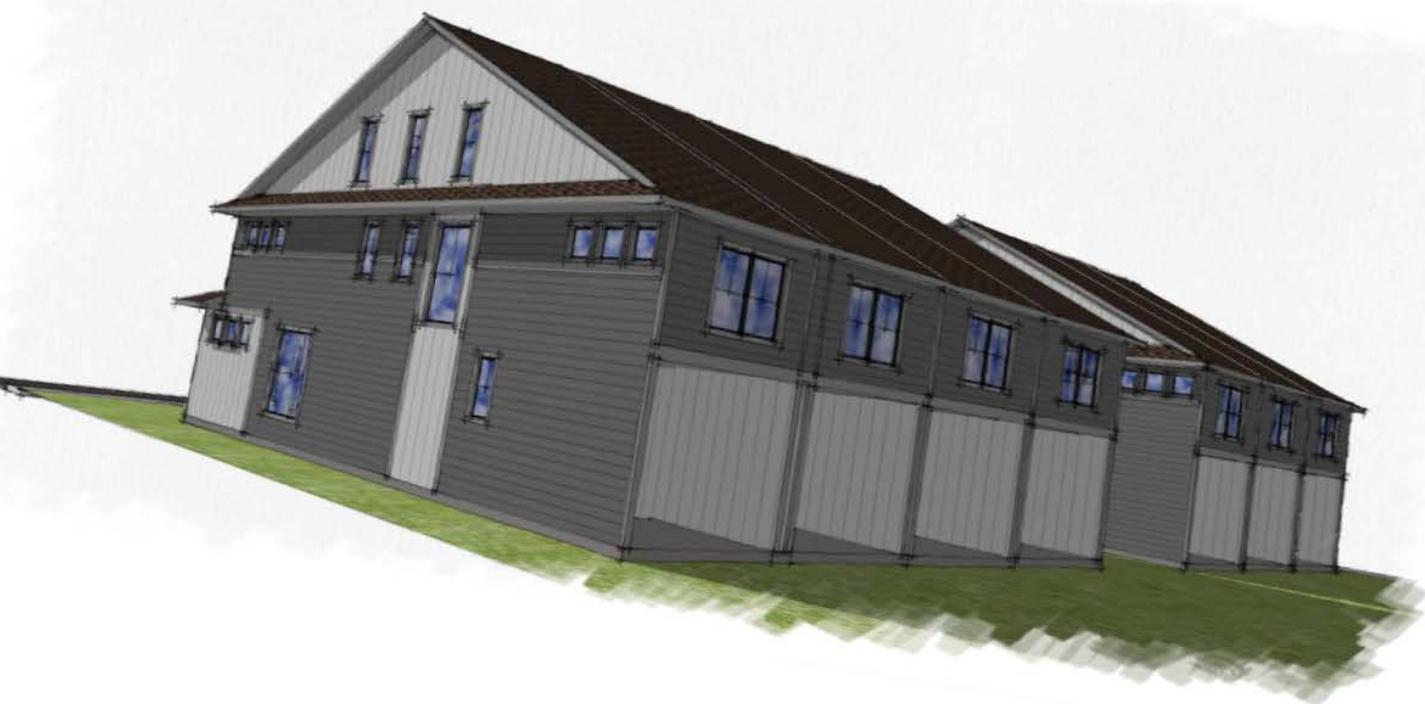


1 TYPICAL SECTION THROUGH UNITS
3/8" = 1'-0"

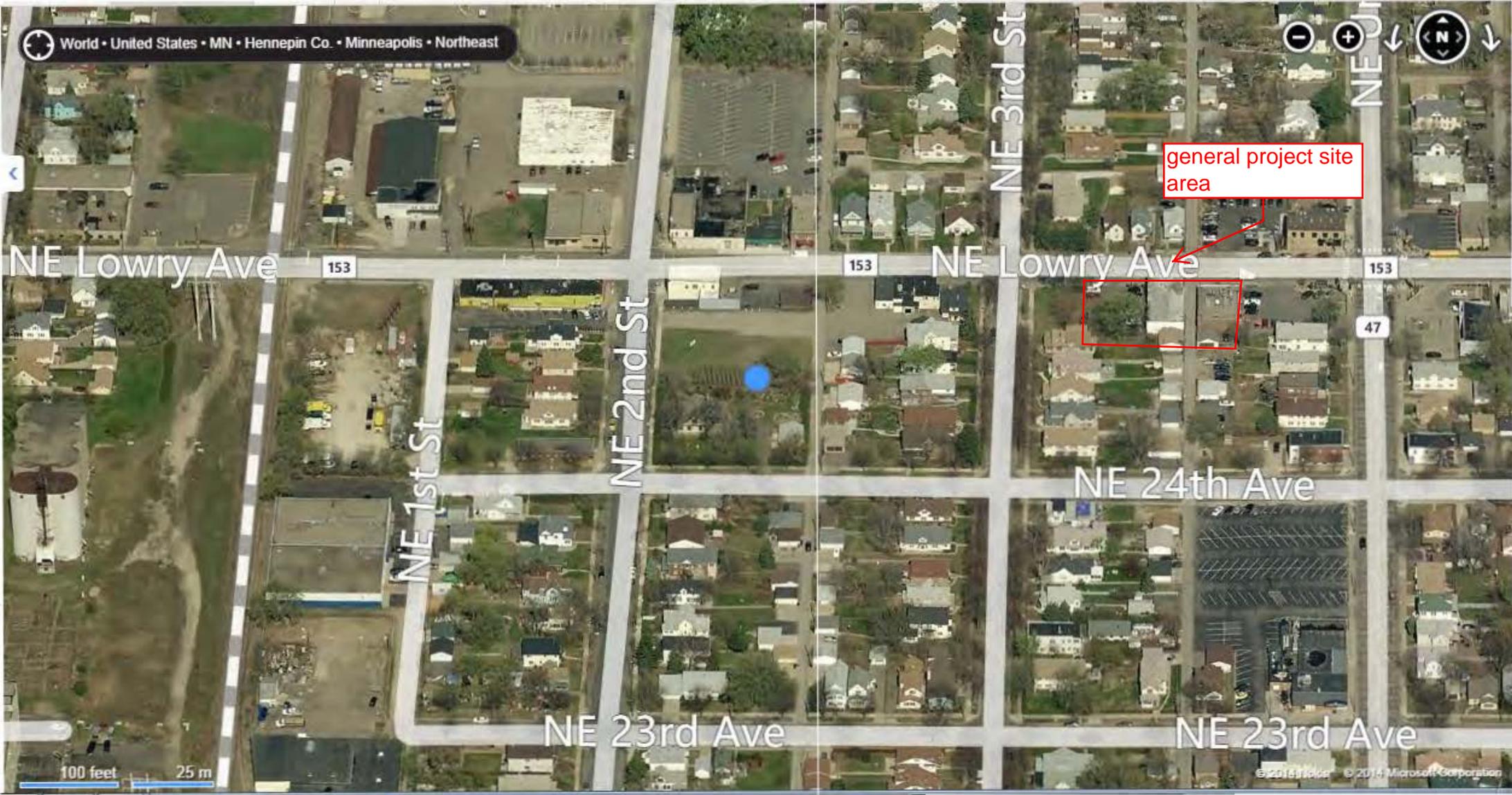
NOT FOR CONSTRUCTION!

NOT FOR CONSTRUCTION!









general project site area



NE Lowry Ave

153

NE Lowry

general project site area



NE 2nd St

NE 24th Ave

st

View from 2nd Street Northeast



View from alley looking west towards 2nd Street NE



View from alley looking west towards 2nd Street NE



View from 2nd Street NE sidewalk looking northeast



View from 2nd Street NE looking northeast



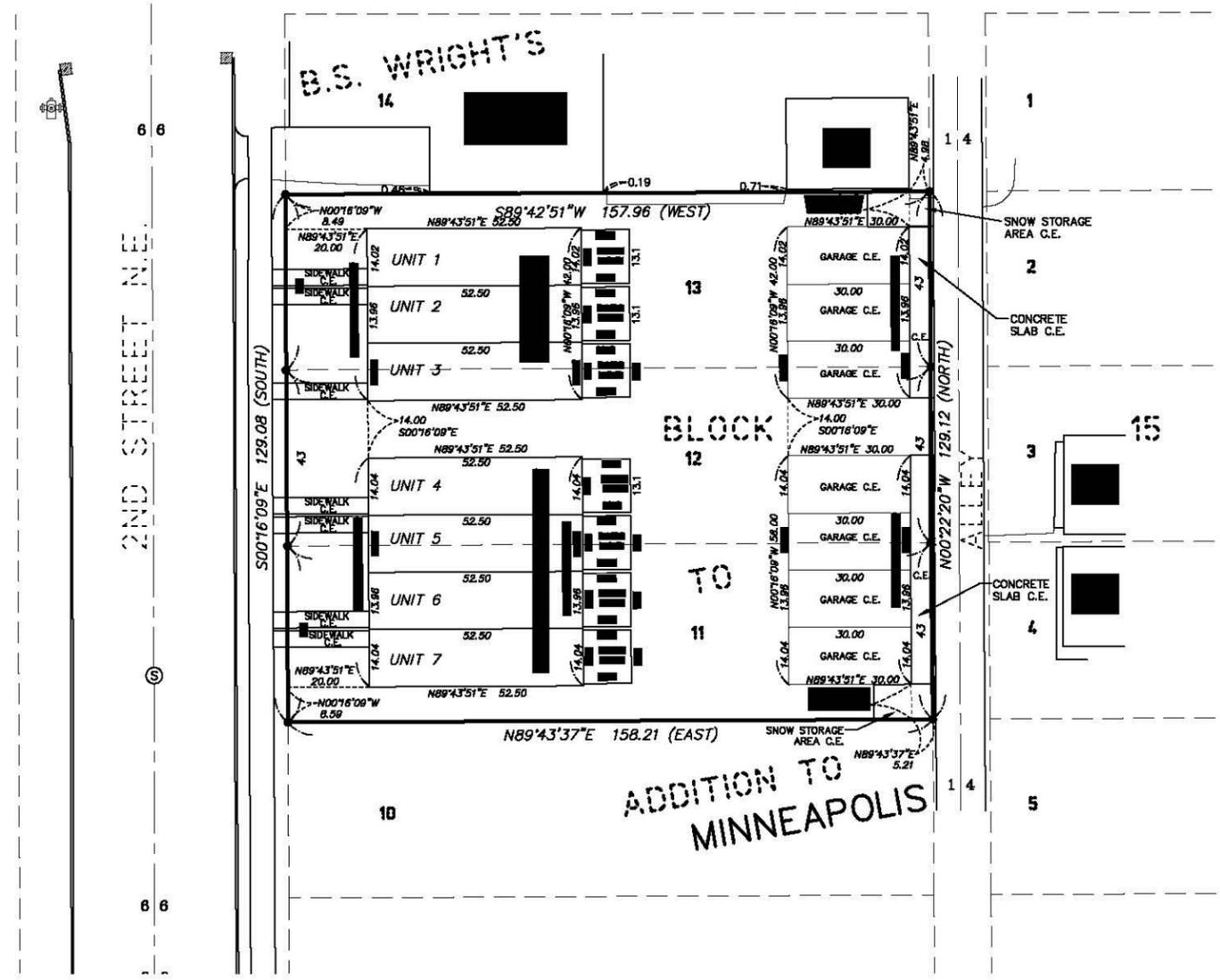
CIC NUMBER 2031 WESTERN LINE ON SECOND TOWNHOMES CIC PLAT

The Plat is part of the Declaration recorded as

Document No. _____

on this ____ day of _____, 2015
Hennepin County Recorder

SITE PLAN



I, Vladimir Sivriver, do hereby certify that the work was undertaken by or reviewed and approved by me for this CIC PLAT of CIC NUMBER 2031, WESTERN LINE ON SECOND TOWNHOMES, being located upon:

Lot 11, 12 and 13, Block 15, B.S. WRIGHT'S ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.

and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota; and that this CIC plat fully and accurately depicts all information required by Minnesota Statutes, Section 515B.2-1101.
Dated this ____ day of _____, 2015.

Vladimir Sivriver, Licensed Land Surveyor
Minnesota Registration No. 25105

STATE OF MINNESOTA
COUNTY OF HENNEPIN
The foregoing instrument was acknowledged before me this ____ day of _____, 2015, by Vladimir Sivriver, a Licensed Land Surveyor.

Notary Public, _____ County, Minnesota
My Commission Expires: _____

I, _____, pursuant to Minnesota Statutes, Section 515B.2-101(c), do hereby certify that the structural components of the structures containing the units and the mechanical systems serving more than one unit are substantially completed, and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota.

Dated this ____ day of _____, 2015.

_____, Licensed Professional Architect
Minnesota License No. _____

STATE OF MINNESOTA
COUNTY OF HENNEPIN
The foregoing instrument was acknowledged before me this ____ day of 2015, by _____, a Licensed Professional Architect.

Notary Public, _____ County, Minnesota
My Commission Expires _____

SURVEY DIVISION, Hennepin county, Minnesota
The CIC plat has been reviewed and is approved this ____ day of _____, 2015.

Chris F. Mavis, Hennepin County Surveyor
By: _____

BENCHMARK
ELEVATION = 830.06 MINNEAPOLIS MONUMENT #947
INTERSECTION OF MARSHALL ST NE AND 18TH AVE NE.

- LEGEND**
- DENOTES FOUND PROPERTY IRON
 - DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
 - C.E. DENOTES COMMON ELEMENT
 - L.C.E. DENOTES LIMITED COMMON ELEMENT
 - DENOTES CONCRETE SURFACE

