



CPED STAFF REPORT

Prepared for the Heritage Preservation Commission

HPC Agenda Item #1
 April 21, 2015
 BZH-28621

HERITAGE PRESERVATION APPLICATION SUMMARY

Property Location: 113 1st Street N
Project Name: Alliance Française Rehabilitation
Prepared By: [Kimberly Holien](#), City Planner, (612) 673-2402
Applicant: Alliance Française
Project Contact: Elizabeth Gales, Hess, Roise and Company
Ward: 3
Neighborhood: North Loop
Request: To demolish a 1,584 square foot portion of the existing building and allow a 4,290 square foot addition and various alterations.

Required Applications:

Certificate of Appropriateness	To demolish a 1,584 square foot portion of the existing building and allow a 4,290 square foot addition and various alterations in the Saint Anthony Falls and Minneapolis Warehouse Historic Districts.
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HISTORIC PROPERTY INFORMATION

Current Name	Alliance Française
Historic Name	Not applicable
Historic Address	113 1 st Street N
Original Construction Date	1885
Original Architect	Unknown
Original Builder	Unknown
Original Engineer	Unknown
Historic Use	Grocery store with second floor residential Wholesale liquor use Asbestos insulation use
Current Use	Alliance Française (Community Center)
Proposed Use	Alliance Française (Community Center)

Date Application Deemed Complete	March 18, 2015	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	May 17, 2015	End of 120-Day Decision Period	Not applicable

CLASSIFICATION

Local Historic District	St. Anthony Falls Historic District Minneapolis Warehouse Historic District
Period of Significance	St. Anthony Falls: 1858-1941 Minneapolis Warehouse: 1865-1930
Criteria of Significance	Criteria 1: The property is associated with significant events or with periods that exemplify broad patterns of cultural, political, economic or social history. Criteria 4: The property embodies the distinctive characteristics of an architectural or engineering type or style, or method of construction. Criteria 6: The property exemplifies works of master builders, engineers, designers, artists, craftsmen or architects.
Date of Local Designation	St. Anthony Falls: 1971 Minneapolis Warehouse: 1978
Date of National Register Listing	St. Anthony Falls: 1971 Minneapolis Warehouse: 1989
Applicable Design Guidelines	St. Anthony Falls Historic District Design Guidelines (2012) Minneapolis Warehouse Historic District Design Guidelines (2010)

SUMMARY

BACKGROUND. The building at 113 1st Street N is occupied by Alliance Française, a cultural center (community center) that promotes the use and appreciation of French language and cultures through language classes, cultural programs, social events and information resources. The building is a contributing resource in both the Saint Anthony Falls Historic District and the Minneapolis Warehouse Historic District. The property is located in the Nineteenth Century Warehouse character area of the Minneapolis Warehouse Historic District and the Warehouse District character area of the St. Anthony Falls Historic District. The *St. Anthony Falls Historic District Design Guidelines* note that, in the case of overlapping district boundaries, the *Minneapolis Warehouse District Design Guidelines* shall apply.

The existing building was originally constructed in 1885 as a grocery store with a dwelling unit on the second floor. The building is clad in red brick and the first story predominantly consists of a wood-frame storefront system with a door on the west end. The storefront was the subject of a Certificate of No Change application in 2011 and is not historic. The second story has four arched window openings with the top of each filled in with brick to create a rectangular window opening. The windows are non-historic, wood frame, casement sashes topped with transoms. The east wall of the building is entirely screened by the adjacent building. The west wall is partially screened by the building to the west, including a concrete block wall that is all that remains from a rear addition that was once located on the adjacent building. The south side of the building includes the non-historic addition noted above. A portion of the second story of the historic building is visible on the south elevation. The visible portion is clad in red brick and contains three arched window openings and one rectangular window opening. Two of the arched openings contain non-historic windows and the third contains a door for roof access. The rectangular opening is filled with glass block.

The building has had a variety of additions constructed to the rear over time. In 1929, a permit was issued for a one-story, corrugated metal shed to be constructed over a loading platform. The

dimensions of said addition were 33 feet in width and 20 feet in depth. Maps from 1937 and 1940 show an addition of this size at the rear. In a Sanborn map update from 1951 there is a much larger addition in this location. No permits were issued for said addition but it appears to have been constructed after the period of significance for each of the historic districts. In 1992, a building permit was issued for an 8' x 20' deck extension and in 1994 another permit was issued for a loading dock addition. The current dimensions of the rear addition are 33 feet in width and ranging from 38 feet to 48 feet in depth. The analysis done by the applicant indicates that the addition was constructed at one time. A deck and wide overhang extend across the rear of the building with lap siding that appears to date from the 1990's. Based on the permit history and on-site analysis, the addition appears to date after the period of significance for each of the applicable historic districts.

APPLICANT'S PROPOSAL. The applicant is proposing to rehabilitate the building to provide accessibility on all floors, improve security and provide a layout that better suits the needs of the use. Specifically, the scope of work includes the following:

- Replacement of non-historic windows in the second story. The proposed windows are two-over-two sash windows in either wood or fiberglass. The windows will be offset to appear as double-hung sash windows but will operate as single-hung sash windows.
- Brick will be selectively tuckpointed where mortar is damaged or missing. Damaged brick will be replaced with brick that matches the historic material in size, color, texture and form.
- The wood storefront system will be painted a slightly different shade of blue.
- The non-historic front entry door will be replaced with a new wood and glass door. The existing transom above the doorway will be retained.
- The letters in the existing wall sign will be replaced with a new font and a new nine square foot projecting sign will be installed where a light fixture currently exists.
- The existing roof materials will be replaced with a new roof system, preserving non-historic skylights in the roof.
- An elevator will be added internally to the building with no exterior overrun.
- A 7-foot wall consisting of a perforated metal screen on top of a CMU base will enclose a courtyard behind the building. The courtyard will be paved in crushed stone with a concrete sidewalk leading from the gate to the rear entrance. A trash enclosure will be incorporated into the wall, constructed of CMU with a charcoal gray metal door.
- Demolition of a previously constructed rear addition that totals 1,584 square feet and construction of a new two-story rear addition that is 4,290 square feet in area.

The most substantial part of the project is the proposed rear addition. Said addition will be 33 feet in width, 65.3 feet in depth and 32.5 feet in height. The south wall of the addition will be clad in corrugated metal panel in light gray, charcoal gray and blue to match the color of the storefront. Window openings will include aluminum-frame windows in dark gray. The west wall is proposed to be unpainted, plain face CMU. A portion of this elevation will be covered by the existing CMU wall on the adjacent property. The east elevation will not be exposed. The second floor of the addition will include a small steel balcony in the southwest corner with perforated, corrugated aluminum panels. On the interior of the addition, the historic brick wall will be preserved and become an interior wall. The existing doorways will be retained and the second floor windows will be infilled with recessed gypsum board so that the openings remain visible. Mechanical equipment proposed on the roof addition will be set back and screened with a parapet.

RELATED APPROVALS.

Planning Case #	Application	Description	Action
BZH-26390	Certificate of no Change	Replacement of rooftop mechanical equipment	Approved administratively in April 2010
BZH-26596	Certificate of no change	Masonry repairs	Approved administratively in September 2010
BZH-26929	Certificate of no change	Storefront alterations	Approved administratively in July 2011

PUBLIC COMMENTS. No correspondence had been received as of the drafting of this report. Any correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

ANALYSIS

CERTIFICATE OF APPROPRIATENESS

The Department of Community Planning and Economic Development has analyzed the application to demolish a 1,584 square foot portion of the existing building and allow a 4,290 square foot addition and various alterations, based on the following [findings](#):

1. *The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

The Minneapolis Warehouse Historic District meets designation criteria #1, 4, and 6 (listed on page 2 of this report) and the period of significance is identified as 1865–1930. In the designation study, individual resources were evaluated on their ability to convey the significance of the district. The subject building at 113 1st Street N was identified as a contributing resource in the historic district. It was constructed during the period of significance as a storefront building with a residential unit above. The Saint Anthony Falls Historic District was listed in the National Register of Historic Places and given local designation in 1971 for its significance in architecture, commerce, industry and transportation. The District’s period of significance is from 1848-1941. The subject building is also a contributing resource in this historic district. The addition and alterations proposed will be compatible with and continue to support the criteria and period of significance for each historic district.

2. *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The Minneapolis Warehouse Historic District is historically significant as an early example of commercial growth as the city’s warehouse and wholesaling district. The district expanded during the late nineteenth and early twentieth centuries and helped transform Minneapolis into a major distribution and employment center. The buildings, structures, and industrial landscape of the Minneapolis Warehouse Historic District reflect the genesis and evolution of these industries as they grew from one or two warehouses in 1865 to approximately 300 by 1920. The Saint Anthony Falls Historic District is significant for its architecture, commerce, industry, and transportation. The subject building is not individually designated for the interior or exterior.

The existing building was constructed in 1895 as a store with a residential unit above. The building has been occupied by a variety of uses over time, including a wholesale liquor business, asbestos insulation company, retail uses and a photography studio. The building received a series of rear additions over the time with the existing addition likely constructed after the period of significance. The proposed rehabilitation of the structure will not impact any character-defining features on the primary façade. The proposed addition will be subordinate to the historic building in terms of height and area and is designed to be clearly distinguishable from the existing building. The proposed addition and alterations will be compatible with and support the designation of the building within the Minneapolis Warehouse Historic District and the St. Anthony Falls Historic District.

3. *The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.*

The proposed addition and alterations to the building will be compatible with and ensure continued integrity of the Minneapolis Warehouse Historic District and the St. Anthony Falls Historic District. The proposal will not significantly impact location, design, setting, or association of the building. No character-defining historic materials will be impacted and the majority of the work is being proposed to non-historic elements of the building. The existing rear addition that is proposed to be removed does not appear to date from the period of significance, nor do the windows on the second floor. The building has housed various commercial uses over time and the proposed modifications will allow the current use to continue operating in the building.

4. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The property is contributing in both the St. Anthony Falls Historic District and the Minneapolis Warehouse Historic District. In the *St. Anthony Falls Historic District Design Guidelines* it states that, for properties located in both districts the design guidelines for the Minneapolis Warehouse Historic District shall apply. The *Minneapolis Warehouse Historic District Design Guidelines* were adopted in 2010. These design guidelines were created to protect the integrity and character of the district and to help steward the district so that it is able to convey its significance for generations to come. The design guidelines promote the maintenance of buildings in the historic district and sensitive alterations to the existing buildings to continue their prolonged use. The following design guidelines apply to this project:

General Guidance – Meets applicable guidelines

Requirement

- 2.2. Distinctive architectural features shall be preserved.
- 2.3. Existing buildings in the district are oriented to provide two kinds of access: pedestrian access from the street and sidewalk and freight access from side streets, alleys, or rail spurs. The existing orientation of each building shall be maintained and preserved.
- 2.4. A building's original pedestrian entrance shall remain and shall be used as the building's primary entrance.

- 2.6. ADA accessibility shall be made within the interior of the building using the existing primary building entrance.
- 2.8. Regular maintenance and repair is preferred over the replacement of any historic materials or features.
- 2.9. Only replace features that are missing or proven beyond repair with the same kind of materials. Replacement with a substitute material will be considered if the form and design of the substitute material is proven durable and conveys the visual appearance of the original material.

Staff comment: No distinctive architectural features are proposed to be altered. The main pedestrian entrance into the building will remain and a new door will be installed to replace the non-historic door. The proposed rear addition will have a secondary entrance that is not intended to replace the existing main entrance on the front of the building. An elevator will be added within the building for accessibility and no overrun is proposed. The elevator is proposed in a location that will allow for ADA compliance without moving the location of the primary entrance. All windows that are proposed to be replaced are non-historic.

Façade Materials – *Meets applicable guidelines*

Requirement

- 2.12. Abrasive cleaning techniques, such as sandblasting, soda blasting, or high-pressure water wash shall not be used under any circumstances.
- 2.13. Façade cleaning methods that are considered to be gentle, non-abrasive methods such as a low pressure (100 psi or less) water wash shall be used.
- 2.16. Mortar joints shall only be repointed where there is evidence of a moisture problem or when a substantial amount of the mortar is missing.
- 2.17. Mortar joints shall be cleared with hand tools. The use of electric saws and hammers to remove mortar can seriously damage the adjacent brick and are inappropriate.
- 2.18. Replacement mortar shall duplicate the original mortar's composition, color, texture, joint width, and joint profile.
- 2.19. When patching an area of historic brick wall, the new brick and mortar shall match the original brick and mortar in material, color, profile, dimension, and texture.

Staff comment: Brick will be selectively repointed where mortar is damaged or missing and where unused fasteners or pipes protrude from the wall. Damaged brick will be replaced with brick that matches the historic material in size, color, texture and form. Cleaning of the façade is not proposed at this time.

Fenestration – Windows – *Meets applicable guidelines with conditions of approval*

Windows are an important character defining feature of existing buildings. Original windows can often be repaired instead of being replaced. Simple modifications, that are sensitive to the original fabric, can often be made to improve their thermal capacity.

Requirement:

- 2.21. Original and historically significant windows shall be retained and repaired.
- 2.22. All decorative trim around the windows shall be retained, including lintels, pediments, moldings or hoods and if replacements are proven necessary, the original profile shall be replicated.
- 2.23. Clear transparent glass shall be used to replace missing panes or in full window replacement unless historical documentations show other treatments. Low emission coatings will be considered if they are not reflective or tinted.
- 2.24. Windows on primary facades shall not be removed or blocked to install air conditioning, mechanical equipment, louvers, or for any other reason.
- 2.25. New or expanded window openings on primary facades are not allowed, unless it is to restore an historical window opening and evidence is provided to support the opening.

Other Considerations:

- 2.26. New window openings on secondary facades will be considered.
- 2.27. Replacement windows will be considered if evidence is provided that significant numbers of the historical or original windows have been previously removed. A survey of the existing windows is required to document their condition and type.
- 2.28. Replacement windows will be considered if evidence is provided that original or historically significant windows cannot be feasibly repaired. A survey of the existing windows is required to document their condition and type.
- 2.29. When considering the replacement of historically significant windows, new windows shall be compatible in material, type, style, operation, sashes, size of lights and number of panes of the existing windows in that location.
- 2.33. Replacement windows shall be finished with a painted enamel finish. Anodized or other unfinished treatments are not allowed.

Staff comment: The windows proposed to be replaced on the front elevation are not historic. The applicant is proposing two-over-two sash windows. The windows will have the appearance of double-hung sash windows but will operate as single-sash. A photo from 1884 shows a portion of the building and two-over-two sash windows can be seen on the second floor. The applicant has proposed the option of fiberglass or wood windows. As a condition of approval, wood windows will be required.

Building Additions to the Side & Rear of Existing Buildings- *Meets applicable guidelines with conditions of approval*

- 2.72. Additions shall not be located on character defining facades of the front, rear, or sides of a property.

- 2.73. New additions shall be limited in the size to preserve the relationship with the existing building. The new addition shall not exceed the height, width, or depth of the existing building.
- 2.74. New additions built along the public right-of-way shall be treated as new construction and shall comply with Part III of this document, Design Guidelines for New Buildings on Infill Sites.

Other Considerations:

- 2.75. Additions to non-character defining facades will be considered on a case by case basis.

Staff comment: The applicant is proposing a 4,290 square foot addition to the existing building. The addition will be subordinate to the existing structure in terms of size and height. The existing building is 7,425 square feet in area and just over 35 feet in height. The height of the proposed rear addition is approximately six feet shorter than the historic building as measured from the roof and three feet shorter as measured from the parapet. The proposed addition would match the width of the existing building. The addition is proposed on the rear which is a non-character defining façade. The proposed exterior materials are metal panel and plain-face CMU to distinguish the addition from the historic building. Staff is recommending that the metal panel be carried over to the west side of the building so that all elevations will be compatible with one another in terms of materials and appearance. This will be required as a condition of approval.

Accessory Structures: *Meets applicable guidelines*

- 2.76. Accessory structures including but not limited to storage buildings and dumpster enclosures shall not be visible from the public right of way and shall not obscure the building's features.
- 2.77. Accessory structures shall be compatible to the primary building or structure. Such compatibility shall be determined by architectural style, colors, materials and finishes.

Staff comment: A trash enclosure is proposed in the rear of the property, incorporated into the wall surrounding the proposed courtyard. The trash enclosure will not be visible from 1st Street N. It will be visible from 2nd Street N due to the fact that the property to the south is a surface parking lot. The materials proposed for the trash enclosure will be compatible with the addition and include corrugated metal panels and a steel overhead door in gray.

Signage is subject to the *Design Guidelines for On-Premise Signs and Awnings*. The applicant is proposing to replace the lettering on the existing wall sign on the front elevation and install a new projecting sign. The sign guidelines limit the number of signs to two signs per street-facing entrance or 1st floor tenant, whichever is less. Additionally, these guidelines limit the size and height of wall signs to 32 square feet in area and 14 feet in height. Projecting signs are limited to 12 square feet in area and 14 feet in height. The proposed wall sign is 18.4 square feet in area and 10 feet in height, consistent with the design guidelines. The proposed projecting sign is nine square feet in area and 8.7 feet in height, also consistent with the design guidelines. The proposed signage is also consistent with the zoning code. The following additional guidelines relate to the proposed signage:

Sign message: All signs, except window signs, real estate signs, project information signs, auxiliary signs, temporary signs and portable signs, are limited to the name and address of the establishment

Staff comment: The proposed wall signs will display the name of the use only.

Location of building signs: Wherever possible, signs should be placed in traditional sign locations including the storefront sign band area. Signs should not obscure or damage architectural features including windows, doors, pilasters, columns and historic signs. Building signs should be located only on the primary façade of the building adjacent to the street and should be no higher than fourteen (14) feet, except as otherwise provided in the specific guidelines for wall signs.

Staff comment: The wall sign will replace existing lettering and will be individually mounted to the storefront in the same location as the current sign. The projecting sign will be installed where an existing light fixture is located next to the building entrance. The sign will be mounted to the wall using the existing openings in the masonry.

Color: Sign colors and materials should be compatible with the colors of the building and its surroundings. Day-glo, light reflecting or fluorescent colors or materials are not allowed.

Staff comment: The wall sign will include white lettering. The sign will not be lit. The projecting sign will be gray steel with red, white and black lettering. The sign will be lit via an LED light fixture mounted on top of the sign, projecting down on both sign faces.

Installation: Sign installation should have a minimal impact on the building and to the extent practical allow the building to be returned to its original condition if the sign is removed. Existing signboards and sign frames should be reused to limit drilling new holes into masonry. Wall signs should be attached to the building through the mortar joints. Projecting signs should be attached to a permanent mounting plate. Awnings should be attached to window or door frames and should never damage masonry.

Staff comment: The wall sign will replace existing lettering and will be individually mounted to the storefront in the same location as the current sign. The projecting sign will be installed in where an existing light fixture is located next to the building entrance, using the existing openings in the masonry.

Illumination: Signs may be illuminated externally, internally, or by neon. Plastic face covers should not be placed on illuminated signs. All illuminated building signs should connect to a permanent mounting plate located near the entrance. Electrical conduit should be installed through the permanent mounting plate. Not more than one brick should be damaged by the installation of the permanent mounting plate. Electrical conduit and any lighting fixture should be attached to the sign and not the building wall.

Staff comment: The wall sign will not be lit. The projecting sign will be lit via an LED light fixture mounted on top of the sign, projecting down on both sign faces. All of the wiring will be concealed within the sign frame and run through the existing openings.

5. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the*

recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.

As conditioned, the project will not materially impair the significance and integrity of the historic district as evidenced by the consistency of alterations with the recommendations contained in *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Those standards are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 4.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- 8.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed addition will be differentiated from the historic building and subordinate in terms of massing, size and scale. The rear exterior wall of the existing building will be retained and incorporated into the interior of the building so that, if the addition were to be removed in the future, the integrity of the historic building would be unimpaired. The other alterations will replace non-historic building elements and extend the life of historic building features.

6. *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

The proposed project is consistent with the applicable policies of the comprehensive plan, as follows:

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

- 8.1.1 Protect historic resources from modifications that are not sensitive to their historic significance.
- 8.1.2 Require new construction in historic districts to be compatible with the historic fabric.

The proposed work allows the property to be rehabilitated while respecting its historic significance. As conditioned, the project will be sensitive to its historical character.

- 7. *Destruction of any property. Before approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection, the commission shall make findings that the destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.*

The applicant is proposing to demolish a 1,584 square foot rear addition that does not appear to date from the period of significance of either historic district. As noted above, there was no permit issued for the addition but it appears to have been constructed sometime between 1941 and 1951. The addition is not in a primary elevation and its removal will not damage the building's integrity or status as a contributing structure to the Minneapolis Warehouse Historic District or the St. Anthony Falls Historic District.

Before approving a Certificate of Appropriateness, and based upon the evidence presented in each application submitted, the Commission shall make findings that alterations are proposed in a manner that demonstrates that the Applicant has made adequate consideration of the following documents and regulations:

- 8. *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

Evidence presented in the application submitted and the alterations proposed demonstrate that the applicant has made adequate consideration of the description and statement of significance of the nomination of the Minneapolis Warehouse Historic District and the St. Anthony Falls Historic District.

- 9. *Where applicable, adequate consideration of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

The proposed project will require site plan review because the rear addition will increase the gross floor area of the structure by over 1,000 square feet. Per Section 530.10 of the zoning code, the exterior materials and appearance of building walls shall be similar to and compatible with one another. Additionally, the use of plain face concrete block as an exterior material shall be prohibited where fronting along a public street, public sidewalk, public pathway, or adjacent to a residence or office residence district. The applicant is proposing plain face concrete block

on the west elevation of addition. Staff is recommending that this elevation be clad in corrugated metal to match the south wall in lieu of plain face CMU.

10. *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

The applicant has demonstrated adequate consideration for the statement of significance in the original nomination upon which the historic district was based, per the attached statement of findings. With the recommended conditions of approval, the proposed project will be consistent with the applicable standards.

Before approving a Certificate of Appropriateness that involves alterations to a property within an historic district, the Commission shall make findings based upon, but not limited to, the following:

11. *The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.*

With the recommended conditions of approval, the alterations will be compatible with and ensure continued significance and integrity of all the contributing properties in the historic district based on the period of significance of 1865 – 1930 for the Minneapolis Warehouse Historic District and the period of significance from 1858-1941 for the St. Anthony Falls Historic District. See findings 1-4 of this report for more detailed analysis.

12. *Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.*

With the recommended conditions of approval, granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

13. *The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.*

The significance and integrity of other resources in the district will not be negatively impacted by the certificate of appropriateness. These alterations will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt staff findings for the application(s) by Alliance Française for the property located at 113 1st Street N:

A. Certificate of Appropriateness.

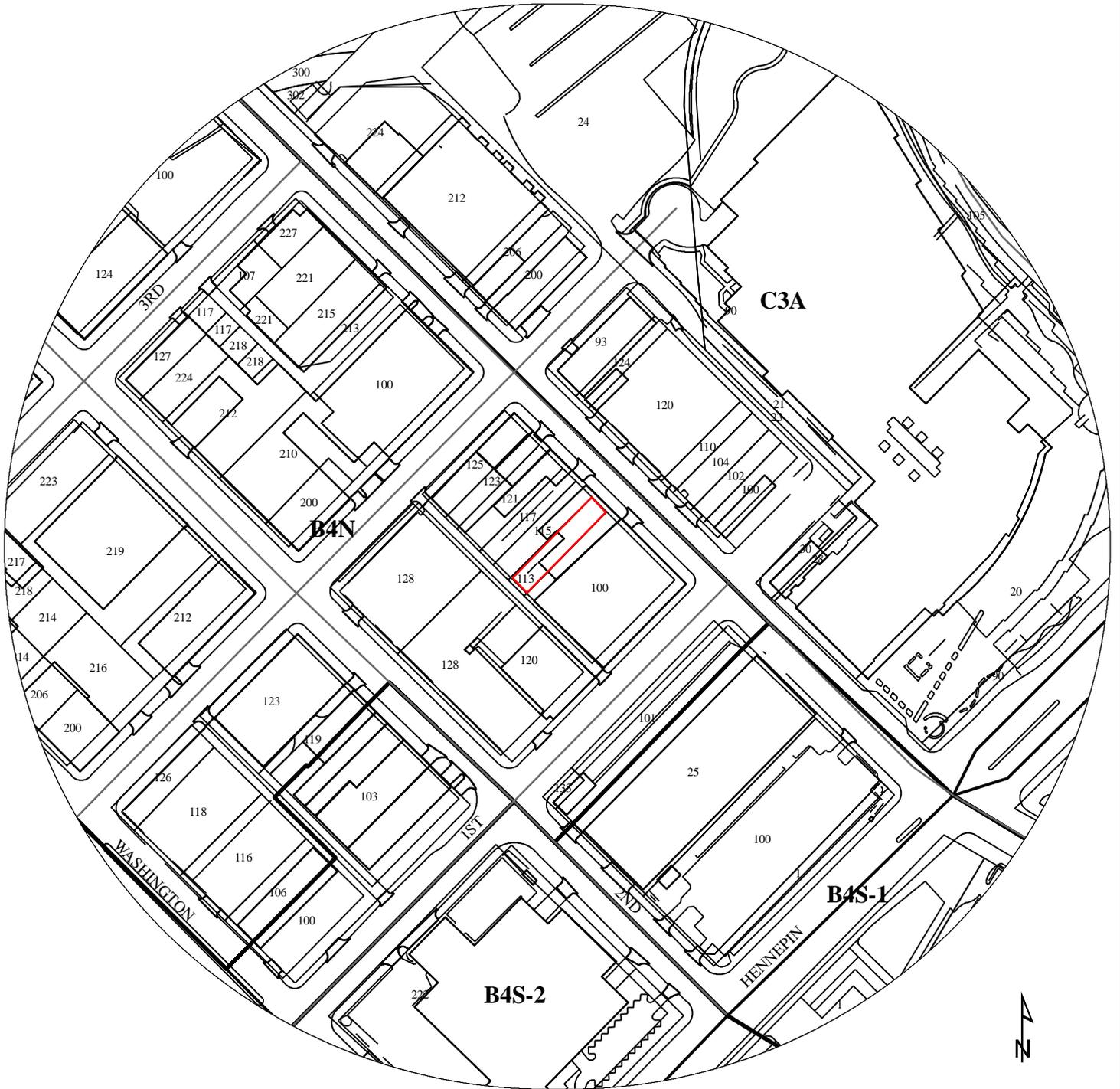
Recommended motion: **Approve** the certificate of appropriateness to allow the demolition of a 1,584 square foot portion of the existing building, a 4,290 square foot addition and various alterations, subject to the following conditions:

1. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and

- proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than April 21, 2017.
2. By ordinance, all approvals granted in this certificate of appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.
 3. Replacement mortar shall duplicate the original mortar's composition, color, texture, joint width, and joint profile.
 4. When patching an area of historic brick wall, the new brick and mortar shall match the original brick and mortar in material, color, profile, dimension, and texture.
 5. The proposed replacement windows shall be wood.
 6. The west elevation of the addition shall be clad in metal panel to match the south elevation.

ATTACHMENTS

1. Zoning map
2. Written description and findings submitted by applicant
3. Site plan
4. Site survey (if applicable)
5. Plans
6. Building elevations
7. Renderings
8. Photos
9. Correspondence



PROPERTY ADDRESS
113 1st Street N

FILE NUMBER
BZH-28621



**113 North First Street
Minneapolis, Minnesota**

**Certificate of Appropriateness Application
for Rehabilitation of Building
Minneapolis Heritage Preservation Commission**

**Submitted March 17, 2015
for Public Hearing, April 21, 2015**

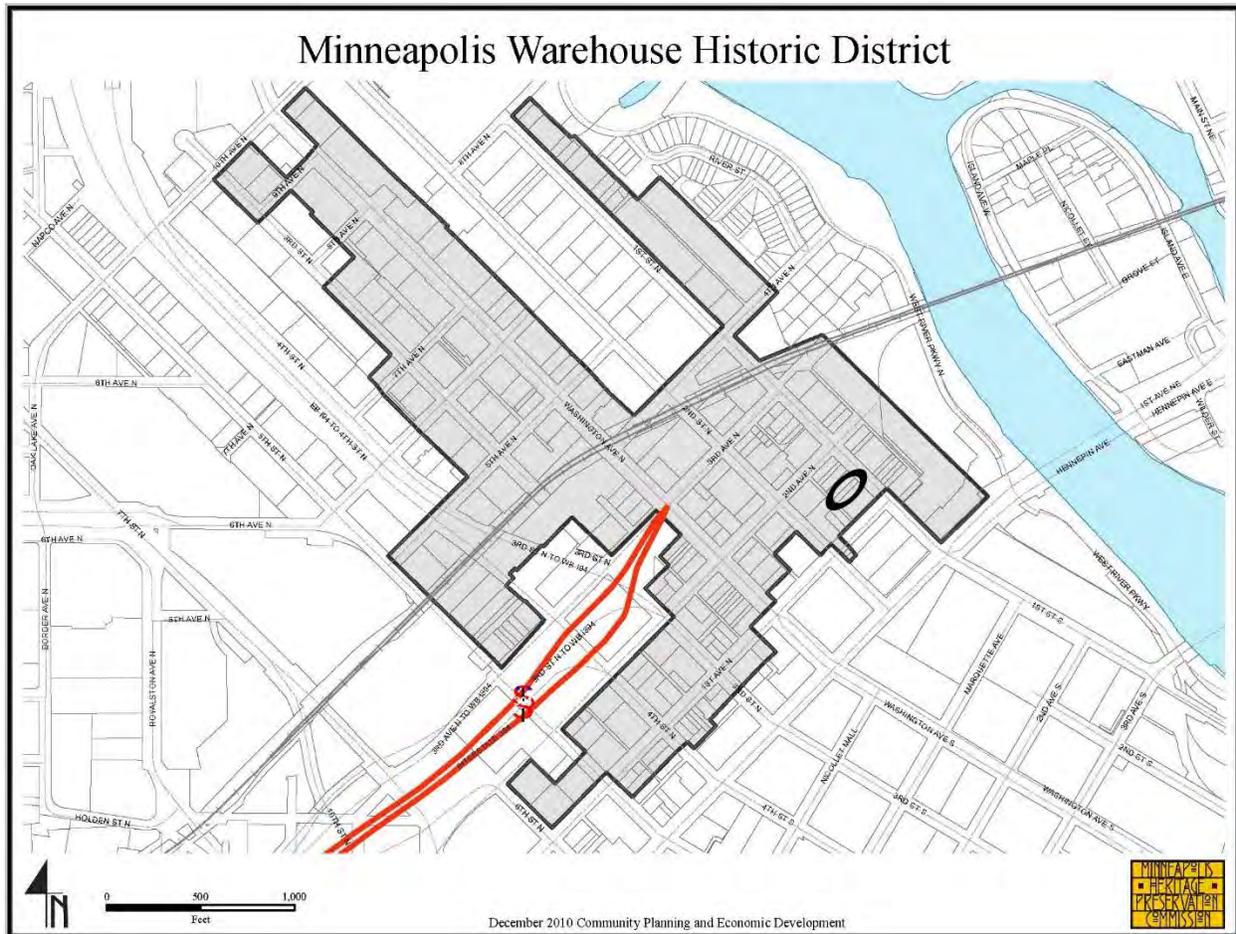
Project Overview

Alliance Francaise de Minneapolis-Saint Paul at 113 North First Street

Owner: Alliance Francaise Twin Cities
Architect: MSR Design
Contractor: Ryan Companies US
Historian: Hess, Roise and Company

Historic District: Minneapolis Warehouse Historic District and Saint Anthony Falls Historic District (both local and National Register designations)

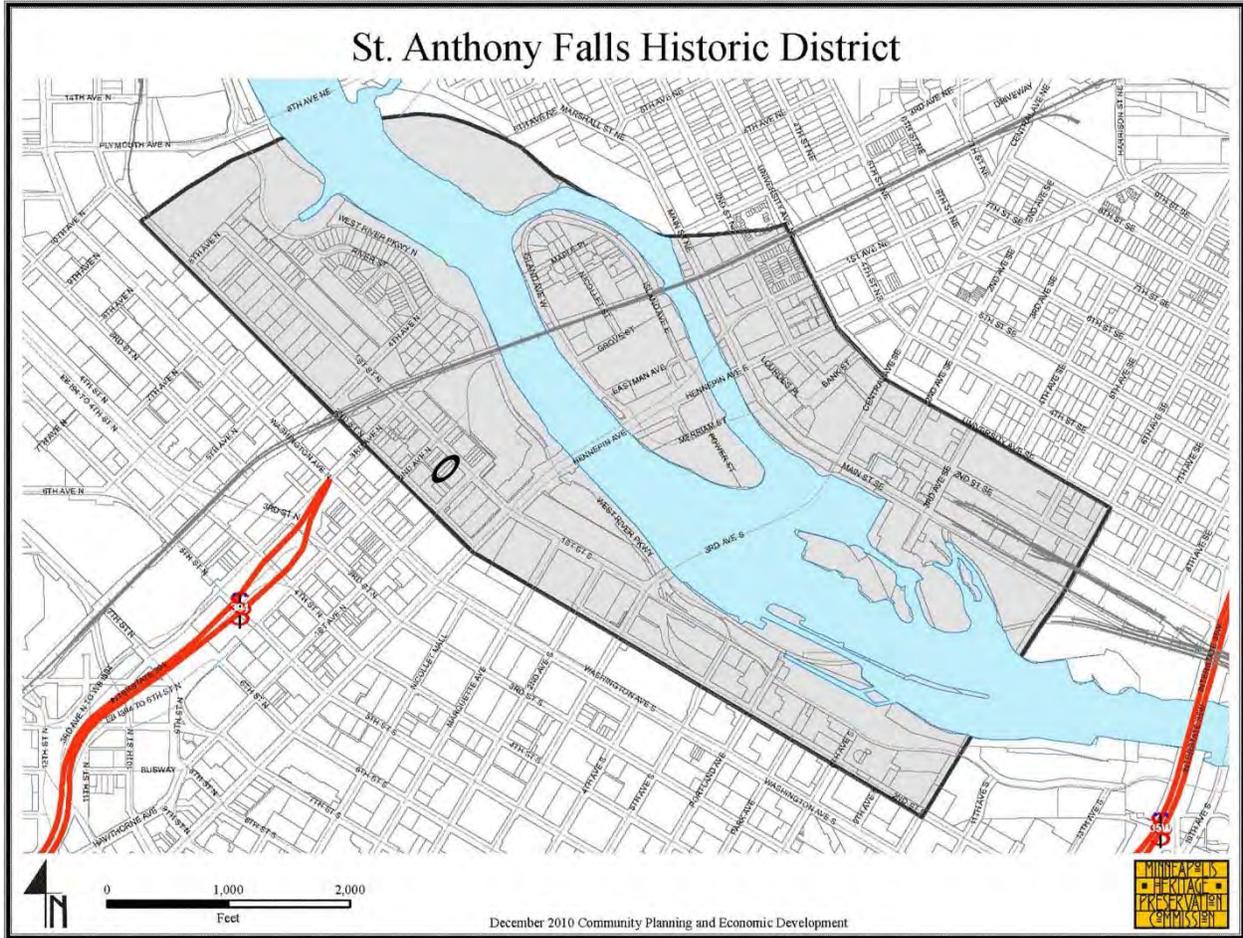
Site Status: Building at 113 North First Street is a contributing property to both the Warehouse and Saint Anthony Falls districts. A one-story addition on the rear of the property dates from after the periods of significance for both districts and is not historic.



Minneapolis Warehouse Historic District Location of 113 North First Street

(Map from Minneapolis Heritage Preservation Commission website:

http://www.ci.minneapolis.mn.us/www/groups/public/@cped/documents/webcontent/convert_275513.pdf)



*Saint Anthony Falls Historic District
Location of 113 North First Street*

(Map from Minneapolis Heritage Preservation Commission website:

http://www.ci.minneapolis.mn.us/www/groups/public/@cped/documents/webcontent/convert_284813.pdf)

Historical Information

Introduction

The Alliance Francaise building at 113 North First Street is located in the Minneapolis Warehouse Historic District and in the Saint Anthony Falls Historic District, and is a contributing property to both districts. The Minneapolis Warehouse District covers several blocks on the west side of the Mississippi River. The district is generally bounded by First Avenue North, North Second Street, Washington Avenue North, Third Avenue North, and North Sixth Street. The period of significance for the district is extends from 1865 to 1930. The Saint Anthony Falls Historic District covers several blocks on both the east and west sides of the Mississippi River, and includes Nicollet Island. The period of significance for the historic district is 1848-1941.

Property Description

The downtown Minneapolis street grid is oriented on a northwest-southeast axis. To simplify the description of the Alliance Francaise property, North First Street is assumed as north, First Avenue North as east, North Second Street as south, and Second Avenue North as west.

The lot at 113 North First Street is dominated by a two-story, brick building, which overlooks First Street. The north facade is clad in red brick and is the primary facade of the building. The first story is dominated by a wood-frame storefront system with an entrance on the west end. The storefront and wood door are not historic, but are complimentary to the building's historic character. Individual metal letters forming the words "Alliance Francaise" are attached to the sign band of the storefront. The second story has four segmental-arched window openings. The arch at the top of each opening has been filled in with brick to create a rectangular opening for the windows. All of the windows are non-historic, wood-frame, casement sashes topped by transoms.

The east wall is engaged by the building at 100 First Avenue North, which currently houses Aria. Most of the west wall is engaged by the building at 115 North First Street, which houses the bar Jetset, and a graphic design business. A concrete-block wall along the west facade is located on the parcel for 115 North First Street and appears to have been part of a loading dock addition on that building that was demolished in the 1990s.

The south facade of the Alliance Francaise building is dominated by a one-story, non-historic addition. The structure is wood frame with steel columns for support. The exposed walls on the south facade and part of the west facade are clad in artificial lap siding, which has been painted dark red. A wood deck covered by a roof, projects out from the south end of the building.

A portion of the second story of the historic building is visible above the addition. It is clad in common brick and has three segmental-arched openings and a fourth rectangular opening. Two of the segmental-arched openings hold non-historic, one-over-one wood-frame windows, and the third arched opening holds a non-historic door that accesses the roof of the addition. The rectangular opening holds non-historic glass block.

The roof of the original building is flat with three non-historic skylights, which are not visible from the street. The addition also has a flat roof with a condenser unit set towards the center.

Property History

The original building was constructed around 1884, based on records of property ownership and liens. A historic photograph from the same period shows part of 113 North First Street, along with the taller building at 115 North First Street. The first story was originally used as a grocery store and the second story was occupied by the grocer's family. Eventually, both floors of the building would be utilized for business purposes.¹

A variety of additions have been located on the rear of the building since the beginning. A Sanborn map of Minneapolis, published in 1885, shows the building with several small additions, and outbuildings on the rear of the property parcel. A *Sanborn Fire Insurance Map* published in 1912 notes that a wholesale liquor business occupied the first floor of the building and there is a two- to three-story L-shaped addition at the southeast corner of the rear facade.²

An asbestos insulation company, A. H. Bennett Company, moved into the building in 1928. In 1929, a building permit was pulled for construction of a one-story shed of corrugated sheet steel over a loading platform. The shed measured 33' in width (as wide as the building) and 20' deep. A Sanborn map updated in 1937 and the *1940 Atlas of the City of Minneapolis* both depict an addition that appears to match the size of the 1929 addition.³

In a Sanborn map updated in 1951, a much larger one-story addition is shown on the rear of the building. No building permit is on record for expansion of the 1929 addition or the demolition of it. There is also no permit for construction of a new addition, but it appears that a new addition was built sometime between 1940 and 1951 based on the maps.⁴

No permits were pulled for additions to the building until 1992 when a "deck extension" measuring 8' by 20' was filed. The extension was to go onto the shipping area of the building at the rear. In 1994, a permit was filed for another loading dock addition, although no dimensions were listed.⁵

The existing one-story addition was evaluated to determine if it was constructed at one time, or if contained an earlier addition. The addition measures 33' wide and between 38' and 48' deep. The structural system for most of the interior is consistent throughout the addition, with the exception of a small area at the very rear. This indicates that the addition was constructed at one time with

¹ EHT Tracerics, "Historic Structure Report, Part 1," prepared for Alliance Francaise, April 2014, available at the Alliance Francaise, 113 North First Street, Minneapolis, Minnesota; Sanborn Map and Publishing Company, *Minneapolis, Minnesota, vol. 2* (New York: Sanborn Map and Publishing Company, 1885), Sheet 39a.

² Sanborn Map Company, *Insurance Maps of Minneapolis, Minnesota, vol. 2* (New York: Sanborn Map Company, 1912), Sheet 123.

³ Minneapolis Building Permit A19445 (June 3, 1929); Sanborn Map Company, *Insurance Maps of Minneapolis, Minnesota, vol. 2* (New York: Sanborn Map Company, 1912, updated 1937), Sheet 123; *1940 Atlas of the City of Minneapolis, Minnesota* (Minneapolis: City of Minneapolis, 1941), Sheet 2B.

⁴ Sanborn Map Company, *Insurance Maps of Minneapolis, Minnesota, vol. 2* (New York: Sanborn Map Company, 1912, updated 1951), Sheet 123.

⁵ Minneapolis Building Permit B586577 (February 20, 1992) and B608313 (June 3, 1994).

a newer addition likely dating from the 1990s. A deck and wide overhang extend across the rear of the building. The materials of the deck and the lap siding on the exterior of addition appear to date from the 1990s. The physical assessment of the addition agrees with the map and permit documentation. The addition was built between 1940 and 1951 with small additions and decks dating from the 1990s. The addition dates after the period of significance for the Minneapolis Warehouse Historic District, which is 1865-1930. It was also likely constructed after the period of significance for the Saint Anthony Falls Historic District, 1848-1941.



Photograph showing the C. Himmelsbach Furniture and Undertaking Shop, 115 North First Street
Part of 113 North First Street is visible on the left side of the image
(source: Minnesota Historical Society)

Project Description

The Alliance Francaise purchased 113 North First Street in 1998 and has utilized interior floor plans created by the previous tenant, a photography studio. The spaces were never ideal for the organization's needs, and increasing attendance in French-language classes and at cultural events has emphasized the shortcomings of the floor plans. The Alliance plans to rehabilitate the building to provide accessibility on all floors, to improve security, and to provide a better layout of classrooms and gathering spaces. All levels of the historic building, from the basement through the second floor will be remodeled. The Alliance investigated reusing the non-historic addition at the rear of the building, but it would be extraordinarily difficult and expensive to make the addition accessible and also able to support a second story. The non-historic addition will be removed and a new two-story addition constructed on the rear of the historic building.

The rehabilitation includes the following scope of work:

Historic Building

The historic building measures 33' wide and 74'-8" long.

Front (north) facade:

1. The brick will be selectively repointed where mortar is damaged or missing, and where unused fasteners or pipes protrude from the wall. Damaged brick will be replaced with brick that matches the historic material in size, color, texture, and form. A test panel of the repointing and the replacement brick will be prepared for HPC staff to review and approve before work proceeds.
2. A gap between the front facades of 113 North First Street and 115 North First Street will be caulked to limit water infiltration between the two buildings. The joint between the buildings is currently flashed along the full length of the roof.
3. The existing wood storefront system on the first story will be repainted in a slightly different shade of blue.
4. A new wood and glass door will be installed in the entrance. The existing transom windows above the doorway will be retained.
5. The letters for the existing wall sign will be replaced with new letters in a font approved by the Alliance Francaise organization. The letters will be individually mounted to the storefront in the same area that the current sign is located.
6. The non-historic light fixture next to the entrance will be removed. A new projecting sign made of steel will be mounted in the same location and use the existing openings in the masonry. The sign will be square in shape with an area that is approximately 9'-square. The logo "AF" and the words "Alliance Francaise" will be painted onto the sign. LED light fixtures will be mounted to the top of the sign and project down onto both faces. All of the wiring will be concealed within the sign frame and run through the existing openings in the masonry wall.
7. The non-historic windows on the second story will be replaced with new wood or fiberglass two-over-two sash windows. The design for the windows is inspired by the historic photograph from ca. 1884, which shows two-over-two sash windows. The window sashes will be offset to appear as double-hung sash windows, but will operate as

single-hung sash windows. The frames will be painted the same blue as the storefront system. The insulated glazing will be clear.

Rear (south) wall:

1. The historic brick wall will be preserved and will become an internal wall between the original building and the new addition.
2. The existing doorways on the first and second floors will be reused to provide passage between the original building and the new addition. The doorway on the second floor will be widened to 5'-6".
3. The window openings on the second story will be filled in with a rated gypsum board assembly. The new infill will be recessed slightly so the historic window openings will be clearly visible.

Roof:

1. The existing roof materials will be replaced with a new roof system. The roof slope will remain the same.
2. The existing non-historic skylights will be preserved. A new solar tube will be installed in the roof in the southeast corner to let natural light into the second floor. The tube will only extend 12" above the roof and will not be visible from the street.
3. New mechanical units will be located on the roof, but will be set back from the front facade so they are not visible from the street.
4. A new elevator will be added in the building, but no penthouse will be constructed on the roof.

New Addition

A two-story addition will be constructed on the rear of the original building. The addition will be 33' wide and 65'-4" long.

East and west walls:

1. The east and west walls of the new addition will be unpainted concrete-masonry units.
2. The east wall will be completely engaged by 100 First Avenue North and will not be visible from the exterior of the building.
3. The west wall will be engaged by 115 North First Street, including the concrete-block wall that belonged to a former loading dock addition on that building. The concrete-block wall belonging to 115 North First Street will be preserved.
4. The south end of the west wall will be visible where it extends past the walls of 115 North First Street.

South wall:

1. The south wall of the addition will be clad in corrugated metal panels in shades of light gray, charcoal gray, and regal blue. The blue will match the storefront on the front facade.
2. Window openings on the first and second stories will hold aluminum-frame windows finished in a dark gray color. The insulated glazing for the windows will be tinted gray and will have a low-E coating.

3. The entrance bay on the wall will be slightly recessed, and will hold a hollow-metal door on the first story.
4. On the second story, a small steel balcony will be located on the southwest corner. The balcony will not extend past the plane of the south wall. The steel will be finished in dark gray to match the windows. The railing will be perforated, corrugated aluminum panels. An aluminum-frame and glass door will provide access to the balcony.

Roof:

1. The roof of the new addition will be flat.
2. New mechanical units will be located on the roof, but will be set back from the south edge so they are not visible from the street. The south wall will also have a parapet that will conceal the equipment from view.
3. Solar tubes will be installed in the new roof to let natural light into the second floor. The tubes will only extend 12" above the roof and will not be visible from the street.

Site:

1. A new bicycle rack shaped like the Eiffel Tower will be installed on the sidewalk in front of the building.
2. A low concrete-masonry unit wall, which is tied into the new addition, will be built along the west and south sides near the rear of the property. The upper portion of the wall will be the same type of perforated, corrugated aluminum panels as used on the new balcony.
3. A trash enclosure will be located on the south wall and will also be built of concrete-masonry units with charcoal gray flashing and a charcoal gray door.
4. The courtyard enclosed by the wall will be paved in crushed stone. A concrete sidewalk will lead from a gate in the south wall to the first-story entrance. Movable furniture and planters will be located in the courtyard.

Certificate of Appropriateness Findings per Section 599.350

(a) General

(1) The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.

The Alliance Francaise, 113 North First Street, is a contributing historic resource to both the Minneapolis Warehouse District and the Saint Anthony Falls Historic District. The Minneapolis Warehouse District was listed in the National Register in 1989. The local district has been expanded to match the boundaries of the National Register district. The district is significant under Criterion A in the area of commerce/trade, and Criterion C in the area of architecture. Its period of significance is 1865-1930. The Saint Anthony Falls Historic District was listed in the National Register of Historic Places and given local designation in 1971 for its significance in the areas of architecture, commerce, industry, and transportation (National Register Criteria A and C). The district is now considered eligible under Criterion D (archaeology) as well. Although a period of significance was not delineated when the nomination was prepared, the HPC has adopted the period of 1848-1941.

The HPC design guidelines place the property in the “Nineteenth Century Warehouse” character area of the Warehouse Historic District and the “Warehouse District” character area of the Saint Anthony Falls Historic District. These character areas overlap, so HPC staff will determine which design guidelines will serve as the standard for the review.

The rehabilitation of 113 North First Street will preserve character-defining features on the exterior of the historic building, and the property will continue to contribute to the historic significance of both historic districts. Demolition of the non-historic addition and construction of a new addition will not impact the historic integrity of the property or of the historic districts.

(2) The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.

The rehabilitation of the historic building will preserve character-defining features on the exterior of the historic building, and it will continue to contribute to the historic significance of both historic districts. Demolition of the non-historic addition and construction of a new addition is compatible with the design guidelines of both historic districts. The size, form, and materials proposed for the new addition comply with the historic guidelines for both districts while being clearly identifiable as new construction.

(3) The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.

The rehabilitation of the historic building will preserve character-defining features on the exterior of the historic building, and it will continue to contribute to the historic significance of

both historic districts. Demolition of the non-historic addition and construction of a new addition is compatible with the design guidelines of both historic districts. The size, form, and materials proposed for the new addition comply with the historic guidelines for both districts while being clearly identifiable as new construction.

(4) The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.

The design guidelines allow for rehabilitation of historic resources in the district. The proposed work meets the design guidelines for both districts. Demolition of the non-historic addition and construction of a new addition is also compatible with the design guidelines of both historic districts. The size, form, and materials proposed for the new addition comply with the historic guidelines for both districts while being clearly identifiable as new construction.

(5) The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.

Rehabilitation is one of the approved treatments of the Secretary of the Interior's Standards for the Treatment of Historic Properties. The work proposed for the historic building will meet the Secretary's standards for rehabilitation. The demolition of a non-historic addition is not prohibited by the Secretary of the Interior's Standards for the Treatment of Historic Properties, so the loss of the existing addition will not materially impair the significance and integrity of either historic district. Construction of a new addition is allowed in the Secretary of the Interior's Standards for the Treatment of Historic Properties. The size, form, and materials proposed for the new addition will comply with the Secretary's standards.

(6) The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.

The North Loop Small Area plan, an update to the Downtown East/North Loop Master Plan, was approved by the Minneapolis City Council on April 16, 2010. The land use of the property at 113 North First Street is classified as "Old Warehouse." The plan states that: "This district covers the area where the historically-designated Warehouse District originated" and "new development should maintain and enhance the historic character of the district." Rehabilitation of 113 North First Street will maintain and enhance the historic character of the district.

(b) Destruction of any property.

(7) The destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of

the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.

The demolition of the non-historic addition on the rear of 113 North First Street is not necessary to correct an unsafe or dangerous condition. However, the addition is not historically significant and its removal will not adversely affect the historic character and integrity of 113 North First Street, or of the Minneapolis Warehouse or Saint Anthony Falls Historic Districts.

(c) Adequate consideration of related documents and regulations.

(8) The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.

The physical condition of the property at 113 North First Street has not changed significantly since the local designations and National Register listings of the Minneapolis Warehouse and Saint Anthony Falls Historic Districts. The original building continues to contribute to the significance of both districts. The removal of the non-historic addition and construction of a new addition on the rear of the property will not damage the building's contributing status, or the designation of the historic districts.

(9) Where applicable, Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.

For the rehabilitation and the new construction, the Applicant plans to meet the requirements of Chapter 530 within the City of Minneapolis Zoning Code.

(10) The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.

See Section (a)(5) above.

(d) Property within a historic district.

(11) The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.

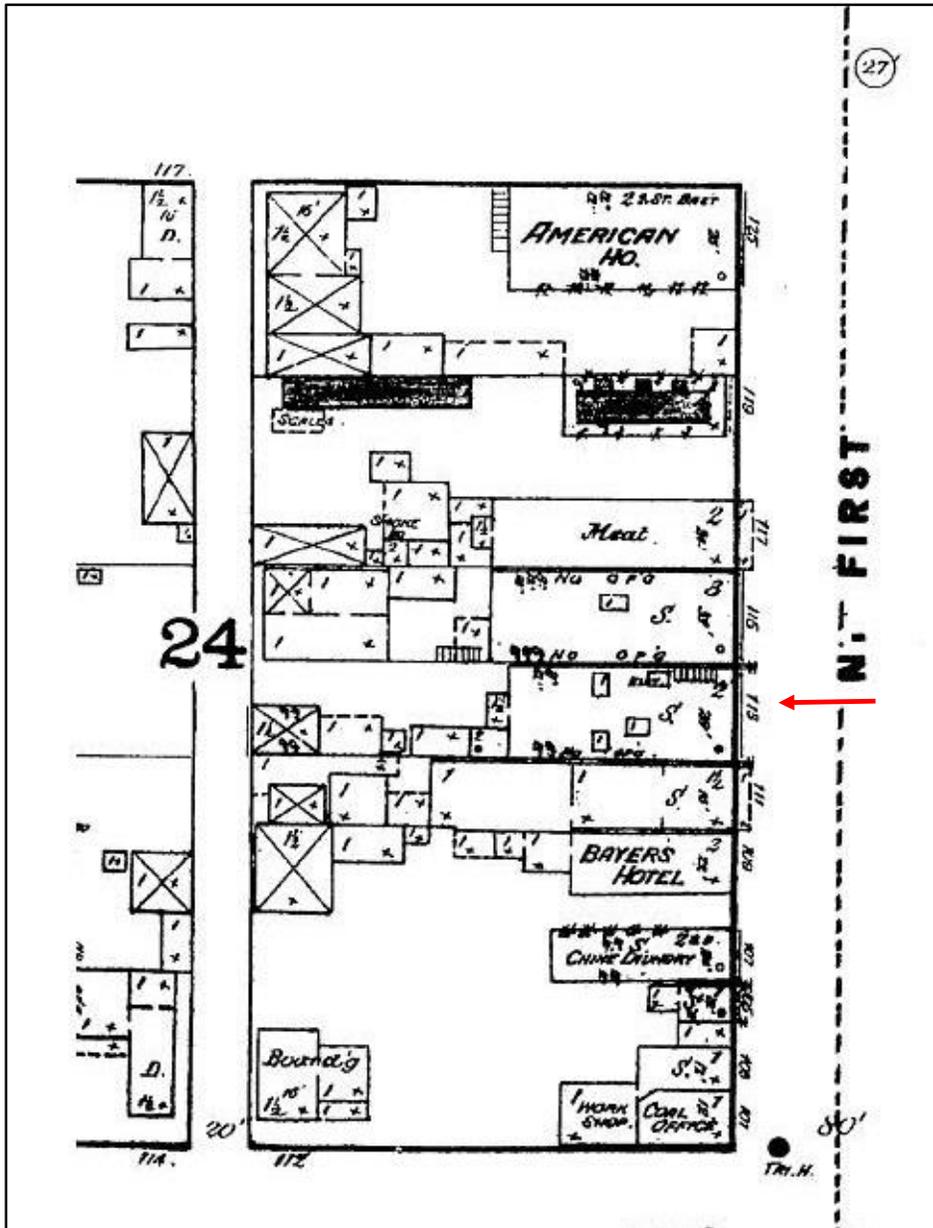
The rehabilitation of the historic building will preserve character-defining features on the exterior of the historic building, and it will continue to contribute to the historic significance of both historic districts. The integrity of the historic districts will be preserved by the rehabilitation of the building. Demolition of the non-historic addition and construction of a new addition is compatible with the design guidelines of both historic districts. The size, form, and materials proposed for the new addition comply with the historic guidelines for both districts while being clearly identifiable as new construction.

(12) Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

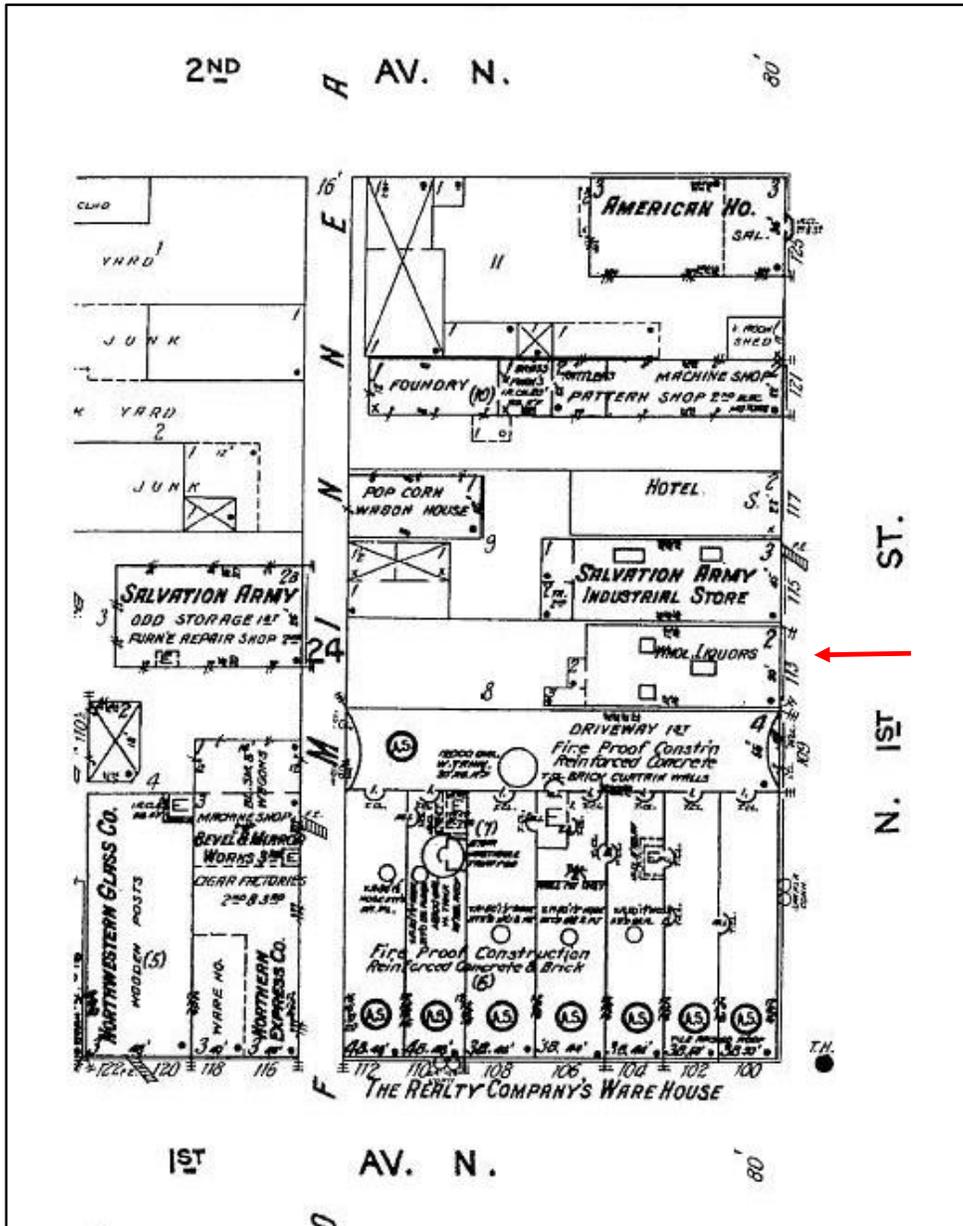
The rehabilitation of 113 North First Street and the construction of a new addition meets the design guidelines for the Minneapolis Warehouse and Saint Anthony Falls Historic Districts. It also meets the Secretary of the Interior's Standards for the Treatment of Historic Properties. The work is in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

(13) The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

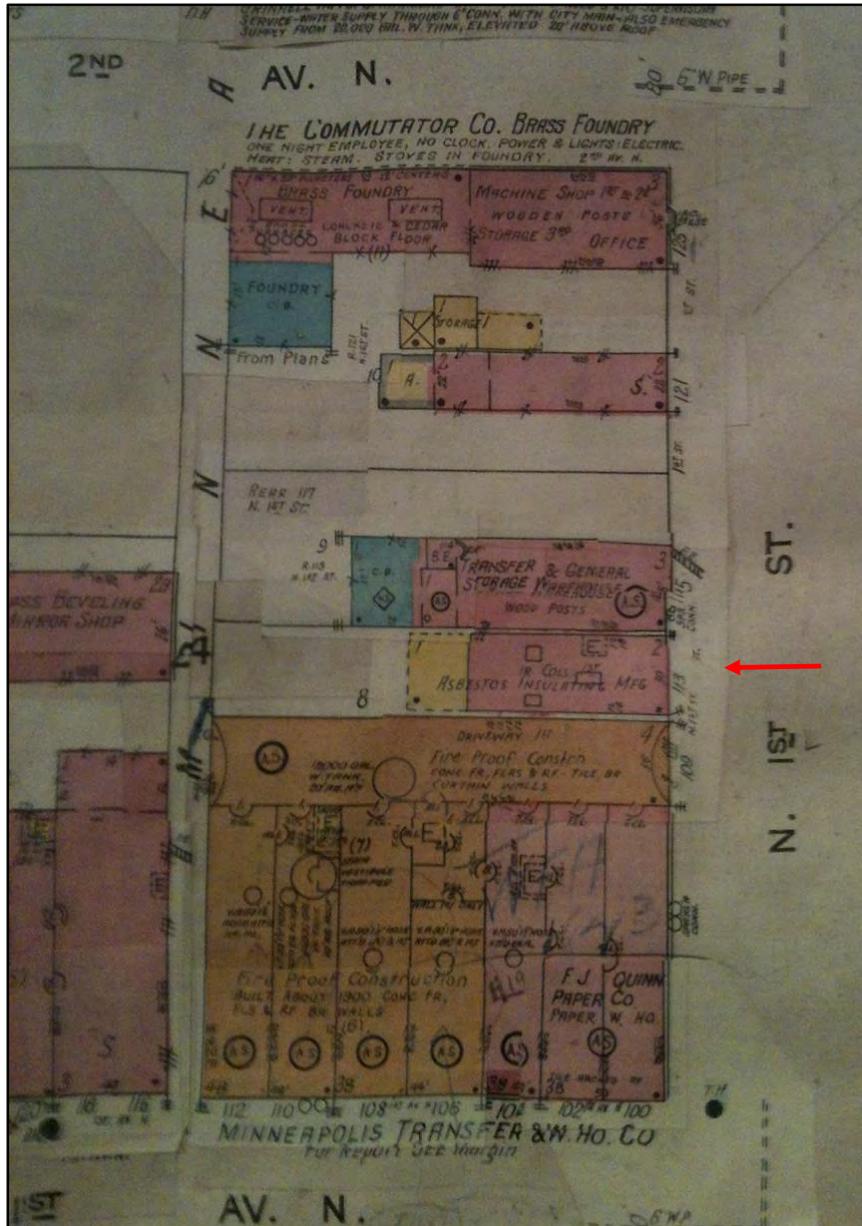
The rehabilitation of 113 North First Street and the construction of a new addition will only impact the property parcel that the building sits on. No neighboring historic resources will be harmed by the rehabilitation. The work will also allow for the preservation of surrounding resources.



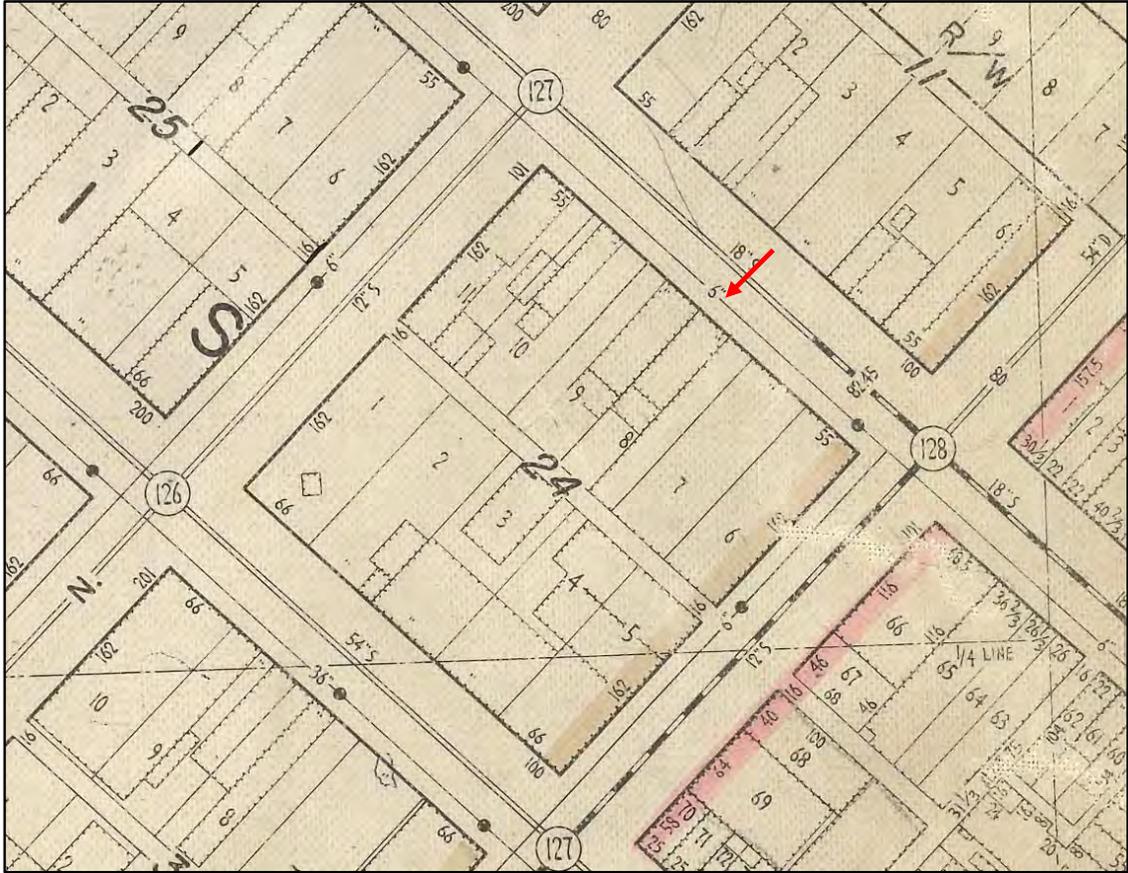
Sheet 39a, *Minneapolis, Minnesota, vol. 2, 1885*, no corrections are noted in the volume (source: ProQuest)



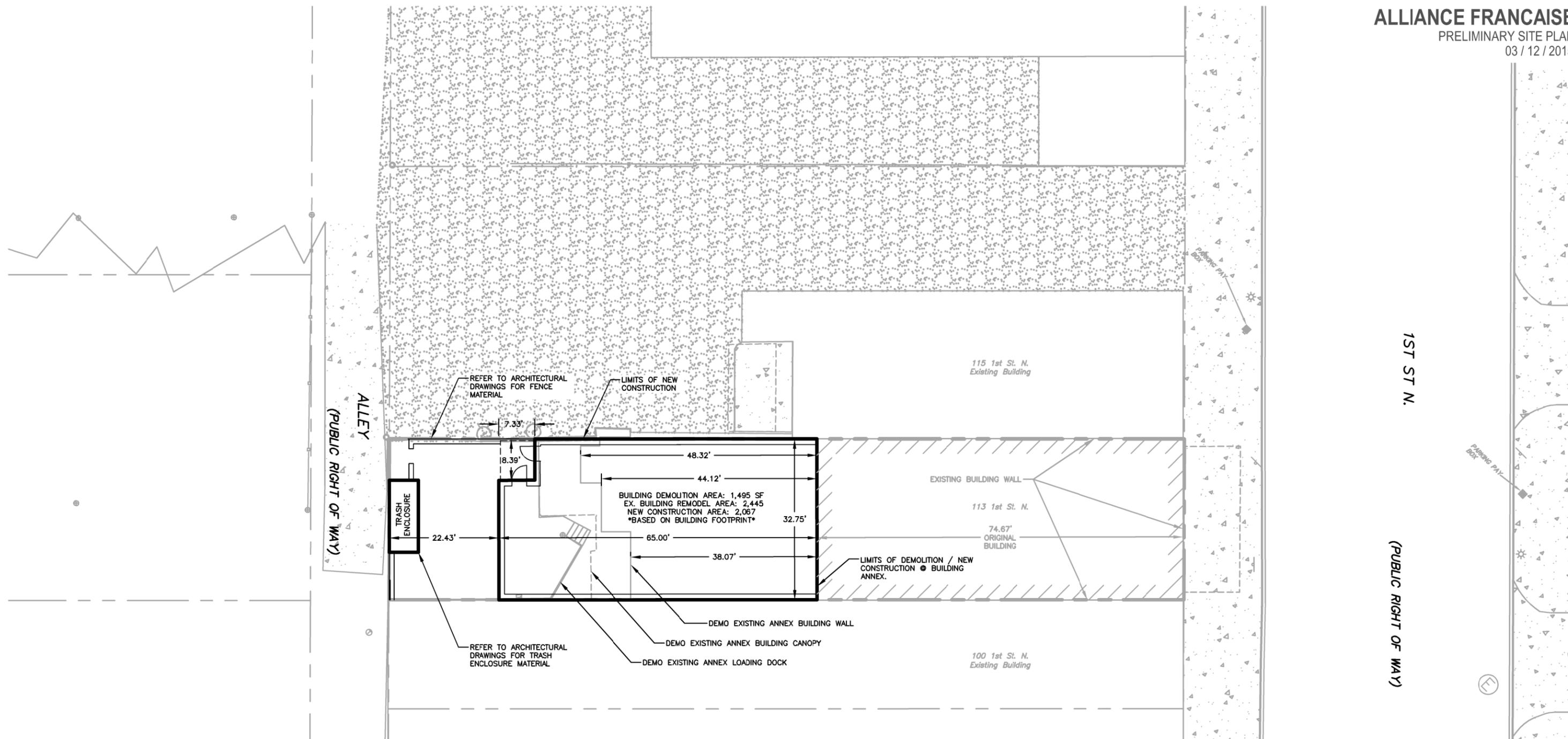
Sheet 123, *Insurance Maps of Minneapolis, Minnesota*, vol. 2, 1912, no corrections noted in the volume (source: ProQuest)



Sheet 123, *Insurance Maps of Minneapolis, Minnesota, vol. 2*,
 1912, corrected/updated 1937
 (source: Hennepin History Museum)



Sheet 2B, 1940 *Atlas of the City of Minneapolis, Minnesota*, 1941
(source: Hess Roise Collection)

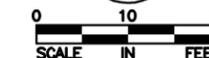


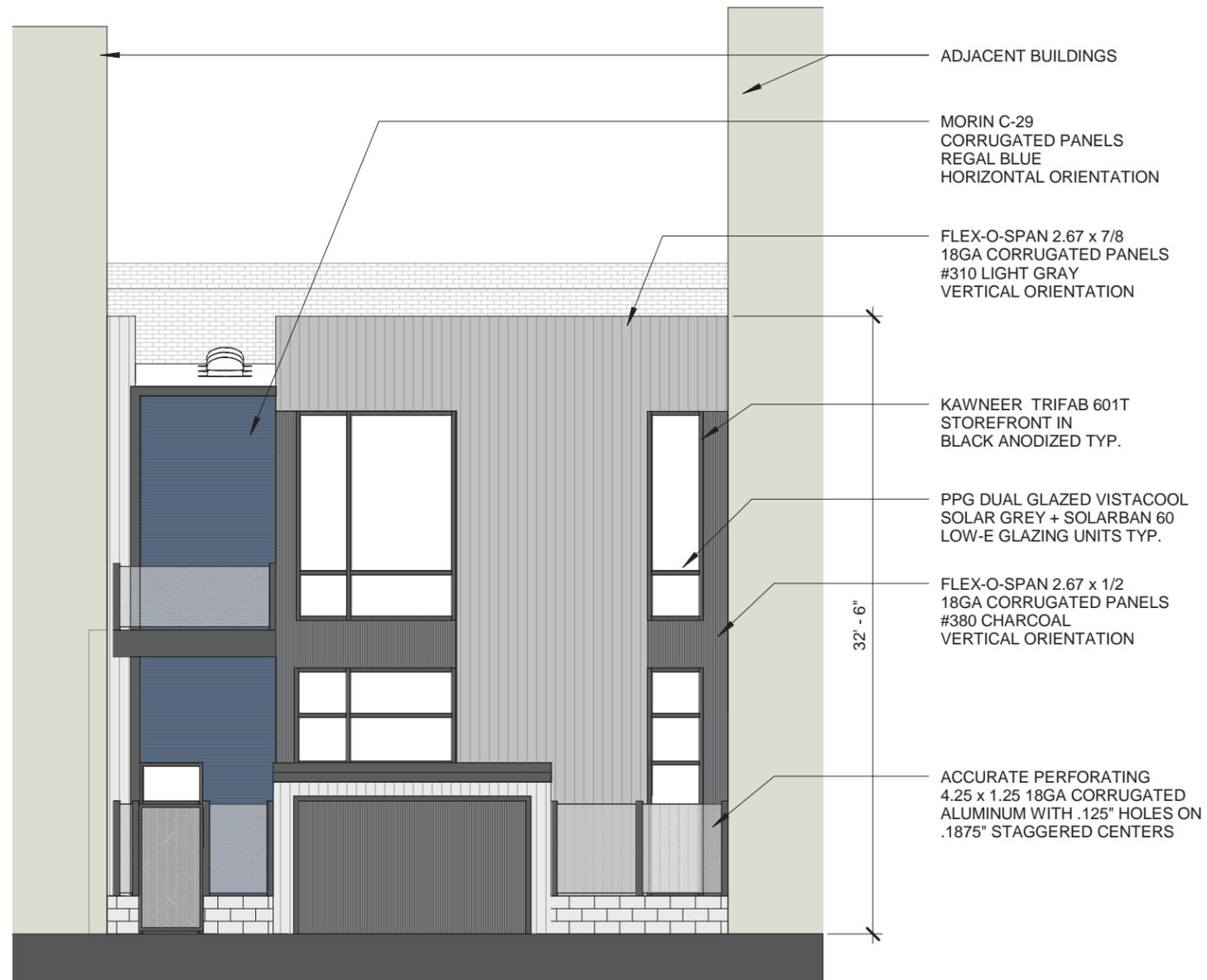
SITE DATA:

Property Address: 113 1st Street N, Minneapolis, MN 55401
 Hennepin County Tax ID: 2202924140063
 Parcel Area: 5,313± S.F. / 0.12± Acres
 Existing Zoning: Downtown Neighborhood District (B4N)
 Existing Use: Language learning center

ZONING CODE INTERPRETATION / ASSUMPTIONS:

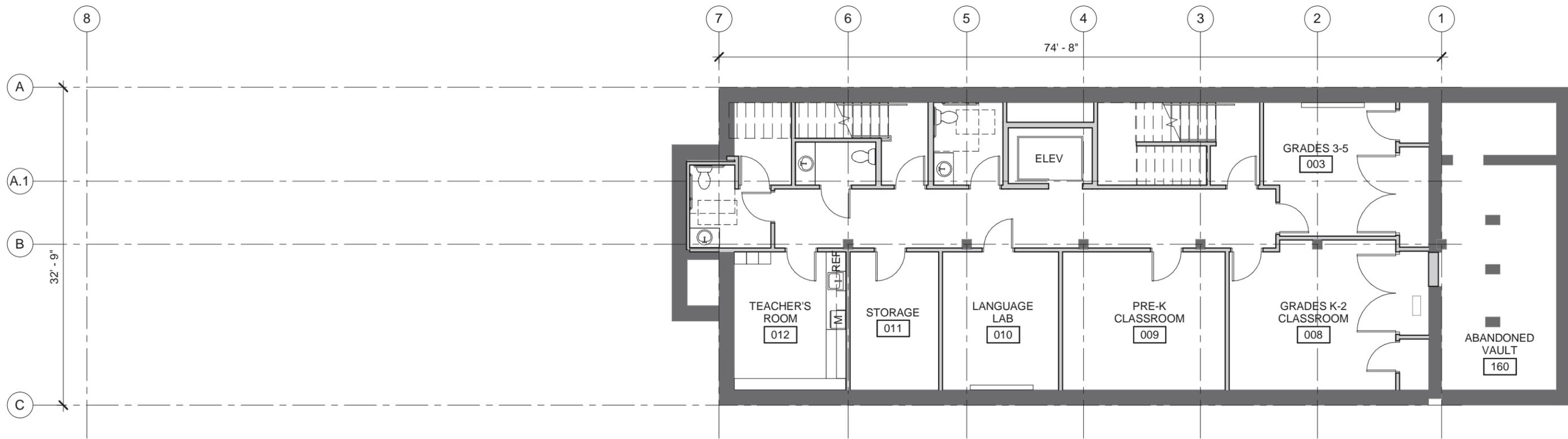
1. No required parking
2. No stormwater management required.





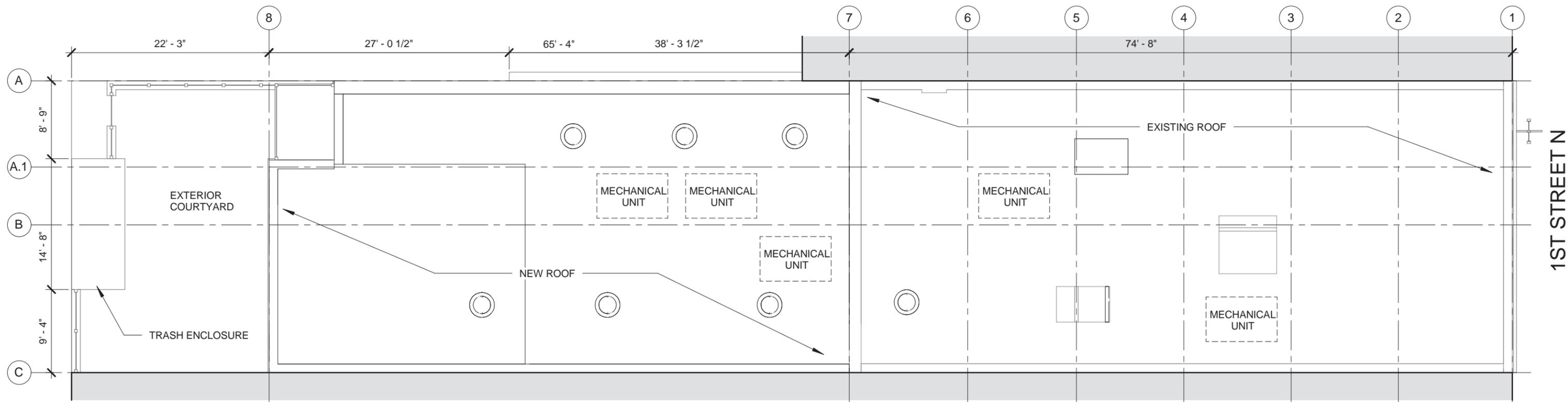
WEST ELEVATION

1/8" = 1'-0"



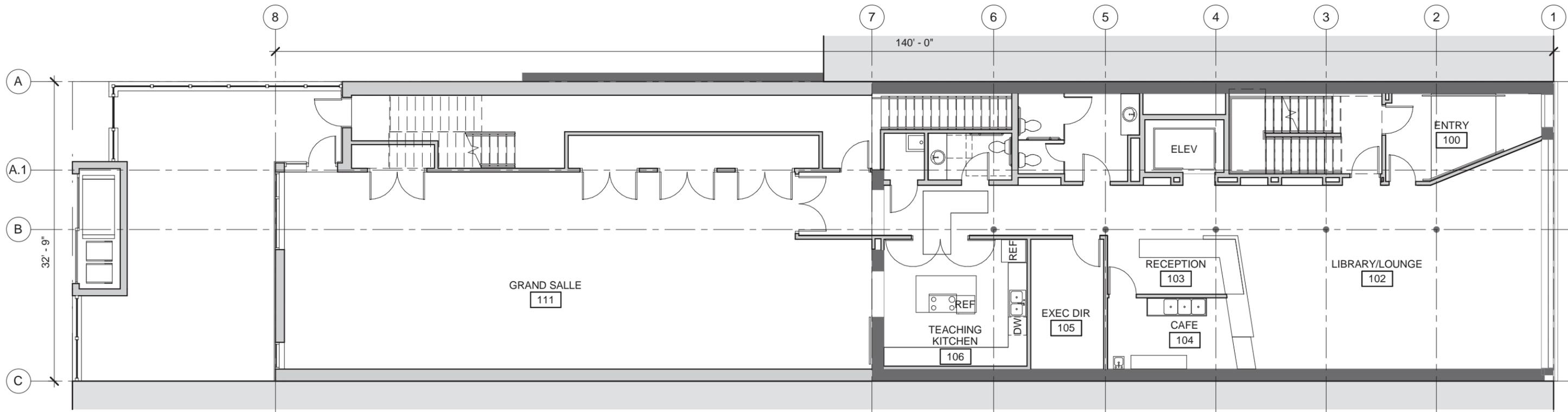
.BASEMENT FLOOR PLAN

3/32" = 1'-0"



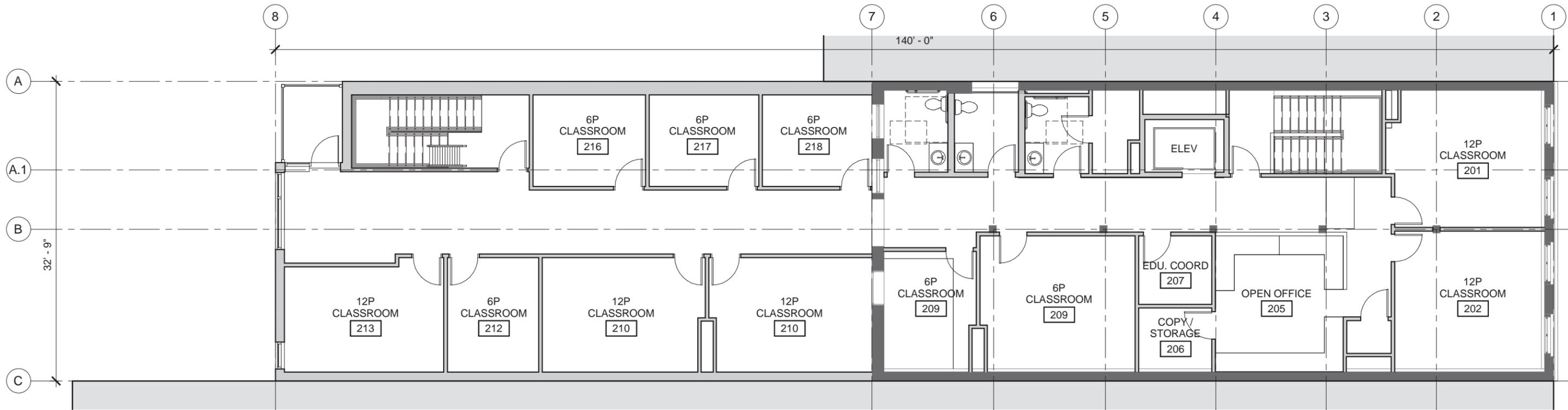
.SITE & ROOF PLAN

3/32" = 1'-0"



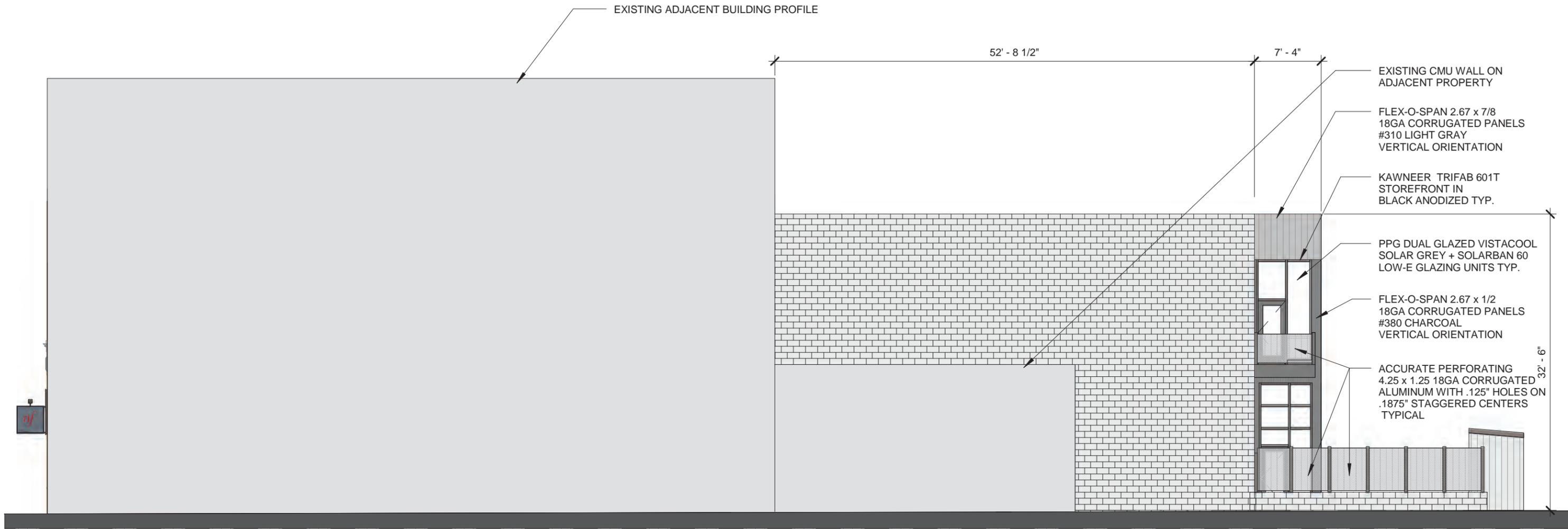
1ST FLOOR PLAN

3/32" = 1'-0"



2ND FLOOR PLAN

3/32" = 1'-0"



NORTH ELEVATION

3/32" = 1'-0"

EXISTING ADJACENT BUILDING PROFILE



SOUTH ELEVATION

3/32" = 1'-0"

EXISTING
CONDITIONS



GENERAL TUCKPOINTING
WHERE MORTAR IS
NOTICABLY MISSING
OR RISK OF WATER
INFILTRATION IS PRESENT

LOCALIZED
TUCKPOINTING IN HOLES
FROM CANOPY

FILL GAP BETWEEN
BUILDINGS WITH BLACK
CAULKING

EXISTING WINDOWS
TO BE REPLACED WITH
HISTORICALLY ACCURATE
UNITS

EXISTING 17" LETTERS
TO BE REPLACED WITH
MODERN FONT

SIGNIFICANTLY
DAMAGED AREA TO BE
TUCKPOINTED AND/OR
BRICKS REPLACED

EXISTING LIGHT
REMOVED AND
REPLACED WITH NEW
BLADE SIGN & LIGHTS -
SEE FOLLOWING PAGES

FRONT DOOR TO BE
REPLACED WITH FULL
LITE DOOR AND NEW
TRANSOM

EXISTING PIPES AND
UTILITIES TO BE ASSESSED
AND REMOVED AS
POSSIBLE

PROPOSED
CHANGES



EXISTING FLAGS AND
LIGHTS TO REMAIN

NEW ANDERSEN E-SERIES
NARROW SASH
WINDOWS PER
HISTORICAL PRECEDENT

NEW 17" LETTERS
CENTURY GOTHIC
WHITE

NEW BLADE SIGN

REPAINT ALL WOOD
SHERWIN WILLIAMS
SW6966 'BLUEBLOOD'

NEW FRONT DOOR AND
TRANSOM



EXISTING SITE



PROPOSED BUILDING

Current Photographs

The following photographs show the property and the interior of the addition.



Looking south on North First Street at the front facade.

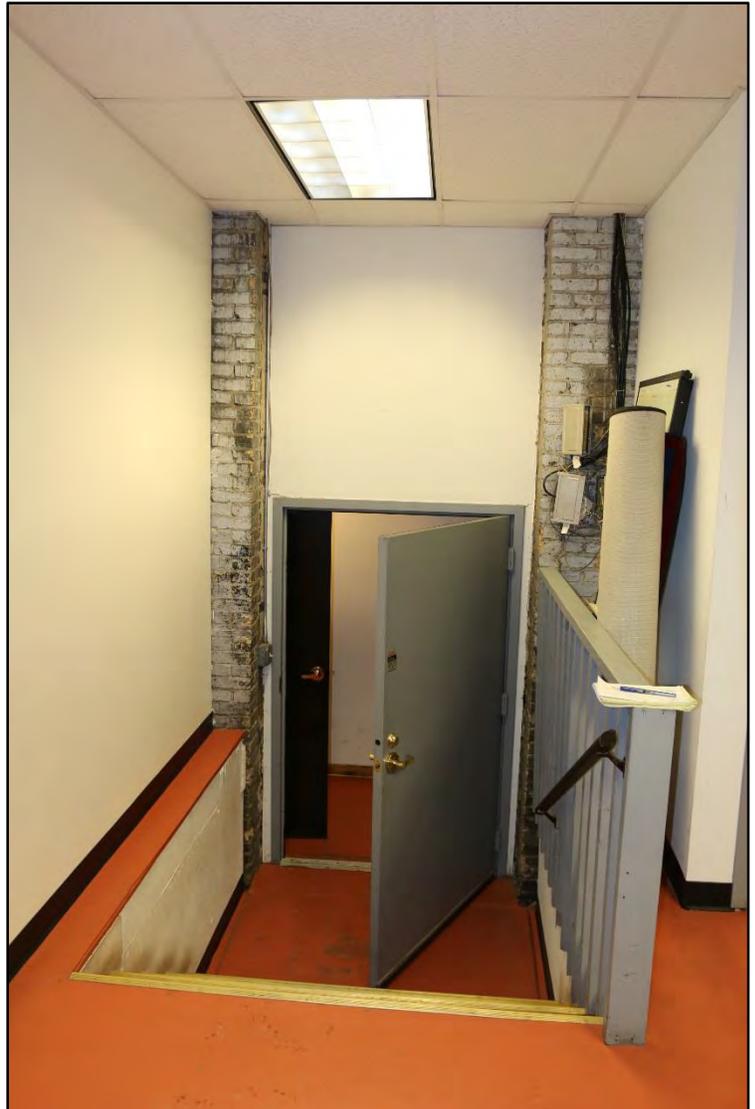


Top: Looking northeast from the alley between North First Street and North Second Street.

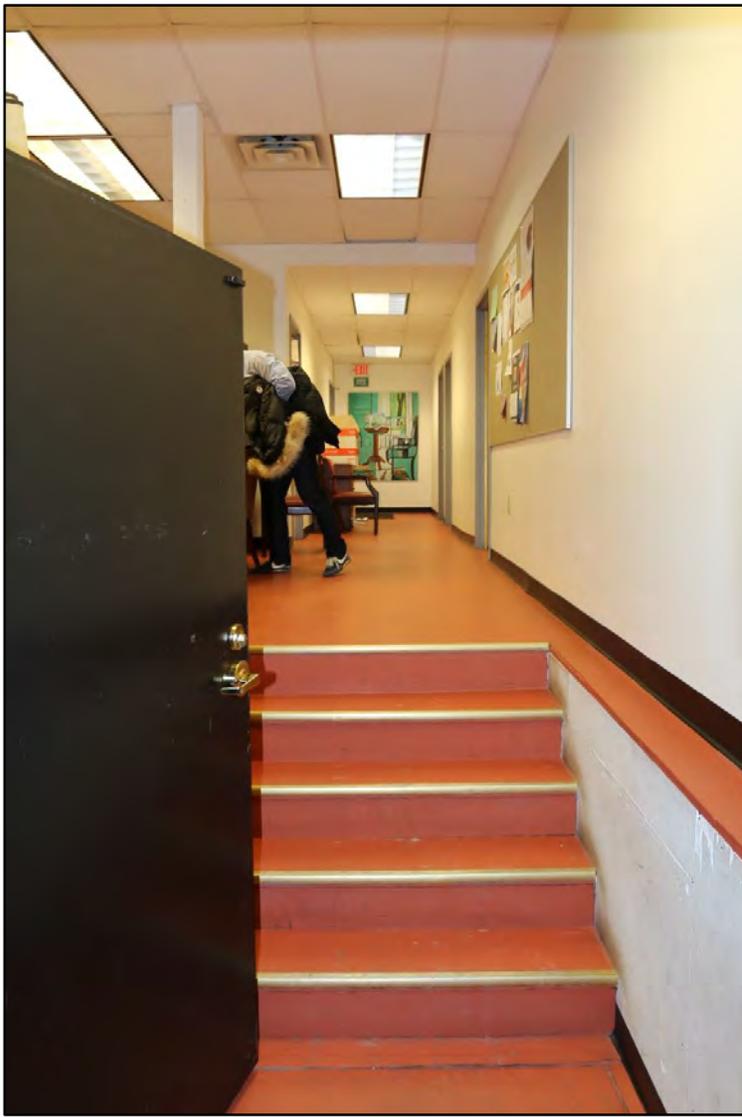
Bottom: Looking north from the alley.



Looking south at the west doorway into the addition from the historic building. A storage closet is behind the door.



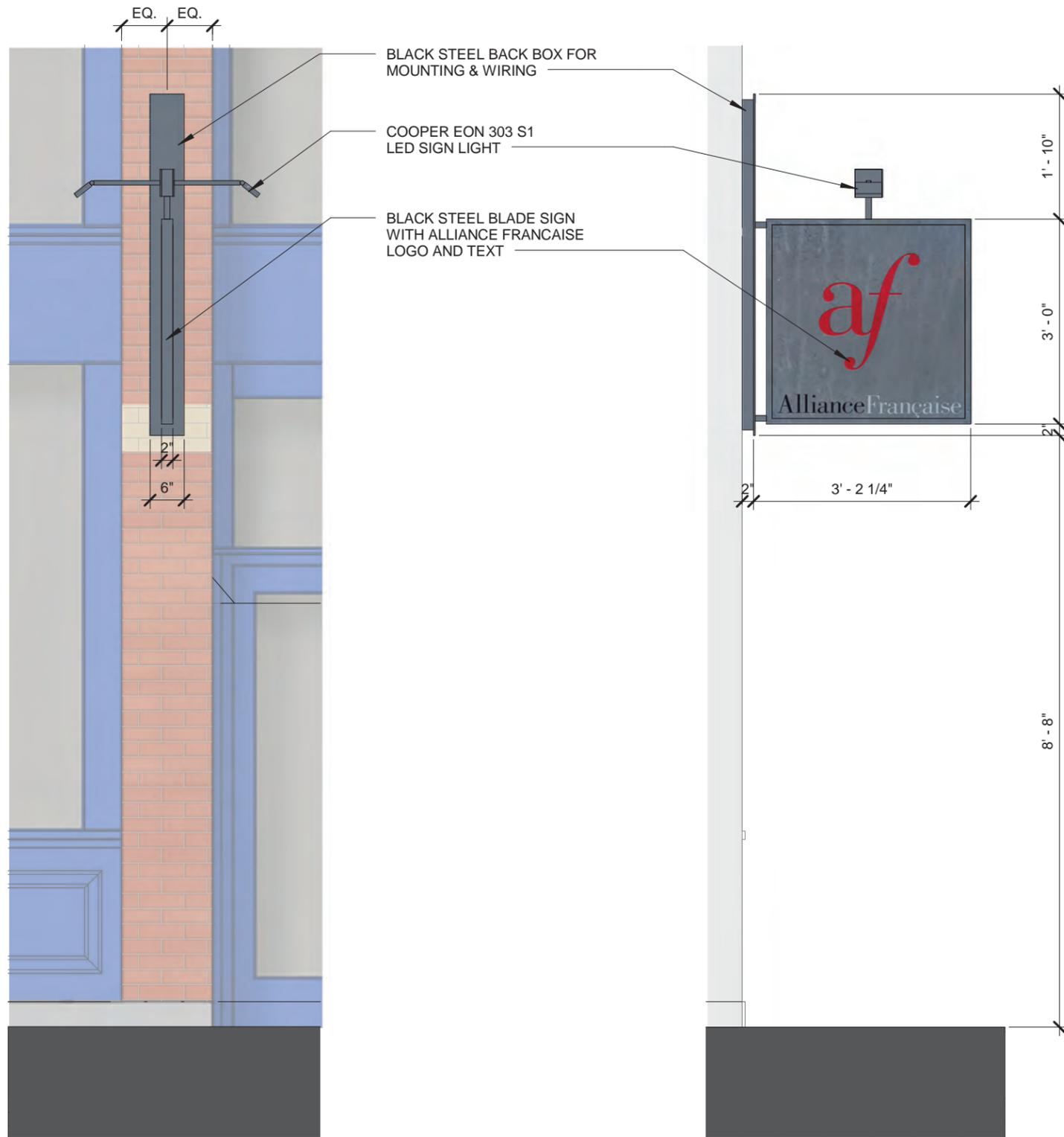
Looking north at the east doorway between the addition and the historic building, from the addition.



Looking south into the addition from the east doorway between the historic building and the addition.



Looking southeast at a typical classroom in the addition. The steel columns are part of the structural system and are extant throughout. Some have been enclosed in gypsum board. The brick wall is the exterior wall of 100 First Avenue North.



SIGN EAST ELEVATION

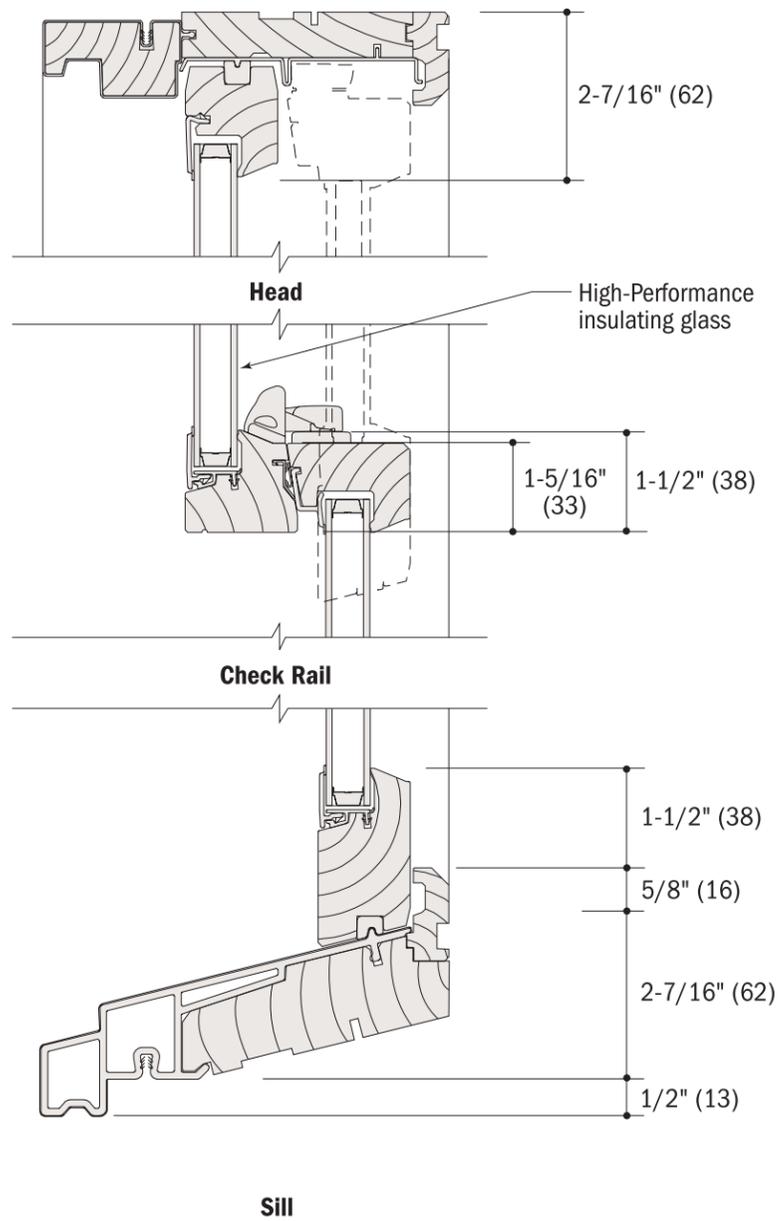
1/2" = 1'-0"

SIGN SOUTH ELEVATION

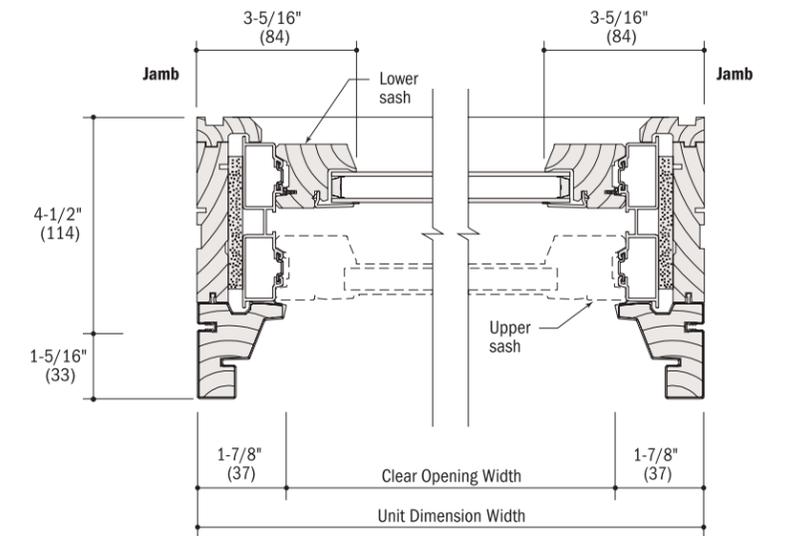
1/2" = 1'-0"



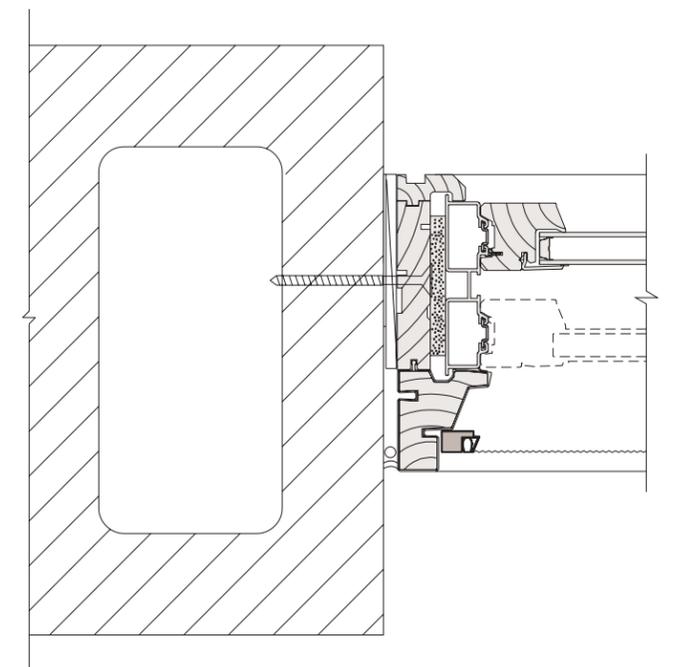
SIGN 3D VIEW - NO SCALE



Vertical Section



Horizontal Section



Threaded Masonry Fastener / Expansion Sleeve

HOME

ABOUT

DIRECTORY



NORTH LOOP ASSOCIATION

NLNA INITIATIVES

NEWS

Search

North Loop Neighborhood Association

207 5th Avenue North - Minneapolis, MN 55401

Name *

Elizabeth

First Name

Gales

Last Name

Get connected with the latest events, news, and information in the North Loop.

Email Address *

gales@hessroise.com

Message *

My name is Elizabeth Gales and I work for Hess, Roise and Company. I am contacting the association as the historical consultant for the Alliance Francaise, located at 113 North First Street. The Alliance will be submitting a Certificate of Appropriateness (COA) to the Minneapolis Heritage Preservation Commission for a historic rehabilitation of their building, which

Submit



Elizabeth Gales

To: jacob.frey@minneapolismn.gov
Cc: heidi.ritchie@minneapolismn.gov; zack.farley@minneapolismn.gov
Subject: Certificate of Appropriateness - Alliance Francaise, 113 North First Street

Councilmember Frey,

My name is Elizabeth Gales and I work for Hess, Roise and Company. I am the historical consultant for the Alliance Francaise, located at 113 North First Street. The Alliance will be submitting a Certificate of Appropriateness (COA) to the Minneapolis Heritage Preservation Commission for a historic rehabilitation of their building, which contributes to the Minneapolis Warehouse Historic District and to the Saint Anthony Falls Historic District. The COA will hopefully be on the agenda for the April 21 public hearing of the Heritage Preservation Commission.

Work will include the demolition of a non-historic one-story addition on the rear of the building, and construction of a new two-story addition, which will also be on the rear of the building. The interior will be renovated to provide accessibility and security, and to meet the programming needs of the Alliance Francaise. The historic character of the building will be preserved as part of the rehabilitation, and it will continue to contribute to the Minneapolis Warehouse Historic District and the Saint Anthony Falls Historic District. Please contact me if you have any questions. I can be reached at 612-338-1987 or gales@hessroise.com.

Thank you for your time,
Elizabeth Gales

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