



MEMORANDUM

TO: City Planning Commission, Committee of the Whole
FROM: [Aaron Hanauer](#), Senior City Planner, (612) 673-2494
DATE: March 19, 2015
SUBJECT: 33-unit apartment building at 721-729 8th Street Southeast

The applicants are proposing a four-story, 33-unit, 40-bedroom apartment building at 721-729 8th Street Southeast in the Marcy Holmes Neighborhood. The project site is 16,905 square feet. The building would have three exterior materials: (1) limestone or cultured stone, (2) metal panel or LP Smart Siding and (3) Hardi Board siding or stucco panels. Off-street parking would consist of 20-surface parking spaces for vehicles, a surface parking area for mopeds, and a storage and repair room within the building for bicycles. The project site currently contains a two-story single-family dwelling that was determined not to be a historic resource.

The base zoning of the subject parcels is I I/Light Industrial District. The overlay zoning districts of the site are the IL/Industrial Living Overlay and the UA/University Area Overlay Districts. The future land use of the subject parcel is Urban Neighborhood.

Generally, there are residential uses (apartments and single/two family homes) along 8th Street Southeast. The adjacent properties to the north are primarily industrial uses.

The Marcy-Holmes Neighborhood Master Plan (2014) provides additional guidance for the project site. There are five character areas within the master plan. The project site is within the West Side Character Area and borders the 9th Street Industrial Character Area. The guidance for the West Side Character area is to maintain neighborhood stability, improve connectivity, enhance neighborhood amenities, and preserve historic neighborhood fabric. The master plan's future land use calls for medium density residential (20-50 dwelling units per acre). The proposed project would be 85 units per acre.

Applications: Based on a review of the proposed development, the following applications have been identified:

- Conditional use permit to allow for residential units in the IL/Industrial Living Overlay District;
- Variance to allow 55 percent of the off-street parking spaces to be compact parking spaces;
- Site plan review.

CPED staff would like to introduce the project to the Planning Commission and discuss any issues before going to a public hearing. In addition to any aspects of the project the commissioners would like to discuss, staff would like input on the requested applications and the following design aspects of the project:

1. Are the proposed exterior building materials and building massing compatible with the surrounding residential buildings?
2. Is the hipped roof appropriate for this building? The site plan review finding is that the form and pitch of the roof lines shall be similar to surrounding buildings. The neighboring multifamily and industrial buildings have flat roofs while the one/two family residential structures have hipped and gabled roofs.
3. Are there areas of the landscape plan that can be enhanced to complement the scale of the development and the surroundings?
4. Is the number of units per acre appropriate for this location?

March 10, 2015

Aaron Hanauer
Senior City Planner
250 South 4th Street, Room 300
Minneapolis, MN 55415

Re: Land Use Application for New Housing Development 729 8th St SE. Minneapolis

Dear Aaron Hanauer and Minneapolis Planning Commissioners:

My office is pleased to submit a proposal for a new housing development in the Marcy-Holmes Neighborhood at 721, 725, and 729 8th St SE. The new development will remove an existing rental property on 729 8th St SE. The other two parcels: 721 and 725 8th St SE are vacant lots. The existing house at 729 8th St SE is heavily damaged from a flood and needs to be demolished soon. Minneapolis Zoning staff reviewed the existing house on site and determined the house does NOT meet the definition of a historic resource (BZH-28555).

The Applicant proposes a new residential 4 story apartment building, with 33 units, 40 bedrooms and 20 parking spaces. The unit mix will be (7) 2-Bedroom units, (15) 1-Bedroom units, and (11) studios. The goal of the project is to design affordable bike friendly housing and encourage a variety of transportation types. The project includes bike storage and repair room at the front of the building, a covered trellis at the rear for moped parking, and the building is located next to a bus stop 200' away from the site. All bikes, cars, and mopeds, in the rear of the lot will be screened with a cedar wood fence and additional landscaping and trees as required. We are adding 5 new trees on site.

The development team met with the Marcy-Holmes Neighborhood Land Use Committee on March 3, 2015 and the neighborhood group voted unanimously to support the project. The Applicant also has a letter of support from adjacent property owner.

The proposed project schedule is:

March 3 - Meet with Neighborhood Group
March 11 - PDR / Zoning. Submit Plans
March 19 - Meet with Committee of the Whole (COW)
April 13 - Public Hearing (CPC)
July 1 - Start Construction

The applicant will continue to work with City Staff, The Neighborhood Group, and Planning Commissioners through the process to make this the best possible project. The Applicant proposed one variance and an encroachment permit in the right-of-way:

VARIANCE REQUEST

The Applicant requests a variance to change 6 standard parking spaces to 6 compact parking spaces. The applicant proposes 40 bedrooms on site and therefore is required to provide 20 parking spaces per the University District Overlay. Therefore of the required parking, a min of 75% must be standard size parking spaces and up to 25% can be compact size parking spaces.

ALLOWED:

15 standard parking size spaces
5 compact parking size spaces
20 parking spaces total

REQUESTED:

9 standard parking size spaces
11 compact parking size spaces
20 parking spaces total

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The lot is a very unusual shape and does NOT have alley access. Further, the existing building to the north at 815 9th Ave SE is very close to the lot line. The purpose of the additional compact parking spaces is to provide more green space between the existing building and the parking lot. The unique circumstances were not created by person having an interest in the property and are not based on economic considerations.

The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The applicant proposes to use the property for residential use, this use is consistent with the intent of the Industrial Living Overlay, and will be used in a reasonable manner, which will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

LANDSCAPING

The site is 16,905 sqft. The proposed building footprint is 5,870 sqft , which leaves 11,035 sqft of site, per the Minneapolis zoning code, 20% of the remaining site must be landscaped.

$11,035 \text{ sqft} \times 20\% = 2,207 \text{ sqft}$. This is the minimum allowable landscaping (impervious surface)
The applicant is proposing 3,000 sqft of landscaping (impervious surface).

The landscaping will be a mix of grass sod around the side and front of the building, with new arborvitae, chicagoland boxwood shrubs, and hydrangea. The surface parking lot will be enclosed with a cedar wood fence and surrounded by new trees. The Applicant proposes to remove 5 existing trees and replace the trees removed with 5 new trees. All other existing trees around the site will be saved. The trash will be fully screened with a wood fence, and a covered trellis will be provided at the rear of the lot for moped and bike storage.

Adequate utilities, access roads, drainage, will be provided. Adequate measures have been or will be taken to minimize traffic congestion in the public streets. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

PO BOX 8589 | Minneapolis, MN 55408 | Ph: 612-669-2052 Fax: 612-465-4002 wellsandcompany@yahoo.com

RIGHT OF WAY – ENCROACHMENT PERMIT

The applicant proposes the City grant the project an encroachment permit into the Right-of-Way, at the front of the building, to allow for the construction of a concrete bike ramp, retaining wall, concrete stairs with handrails, additional landscaping, and a roof canopy at the front of the building. The purpose of the site elements in the Right-of-Way is to increase the aesthetic beauty of the streetscape, increase the privacy for tenants, and encourage tenants to use bicycles for transportation. As well as meet federal ADA accessible guidelines.

It is important to note that the setback for the building at the front property line is 0.65' . The Applicant could build directly up to the front property line, but instead the Applicant proposes the building setback 4.0' from the front property line. The purpose of the setback is to allow more green space in the front yard and allow for a large front porch.

The existing site has significant topography which does presents some challenges for the project. The top of the existing site is 7'-0" higher than the existing sidewalk. Therefore the sloped bike ramp and ADA ramp, with stairs, is needed in the public right of way to access the building. The front porch covers the entry, prevents slipping, and reduces the visual scale of the building. The landscaping and plants in the Right of Way add visual interest.

The Applicant does not propose to change the existing sidewalk or boulevard. The Applicant will protect the existing trees in the boulevard during construction.

IN CONCLUSION

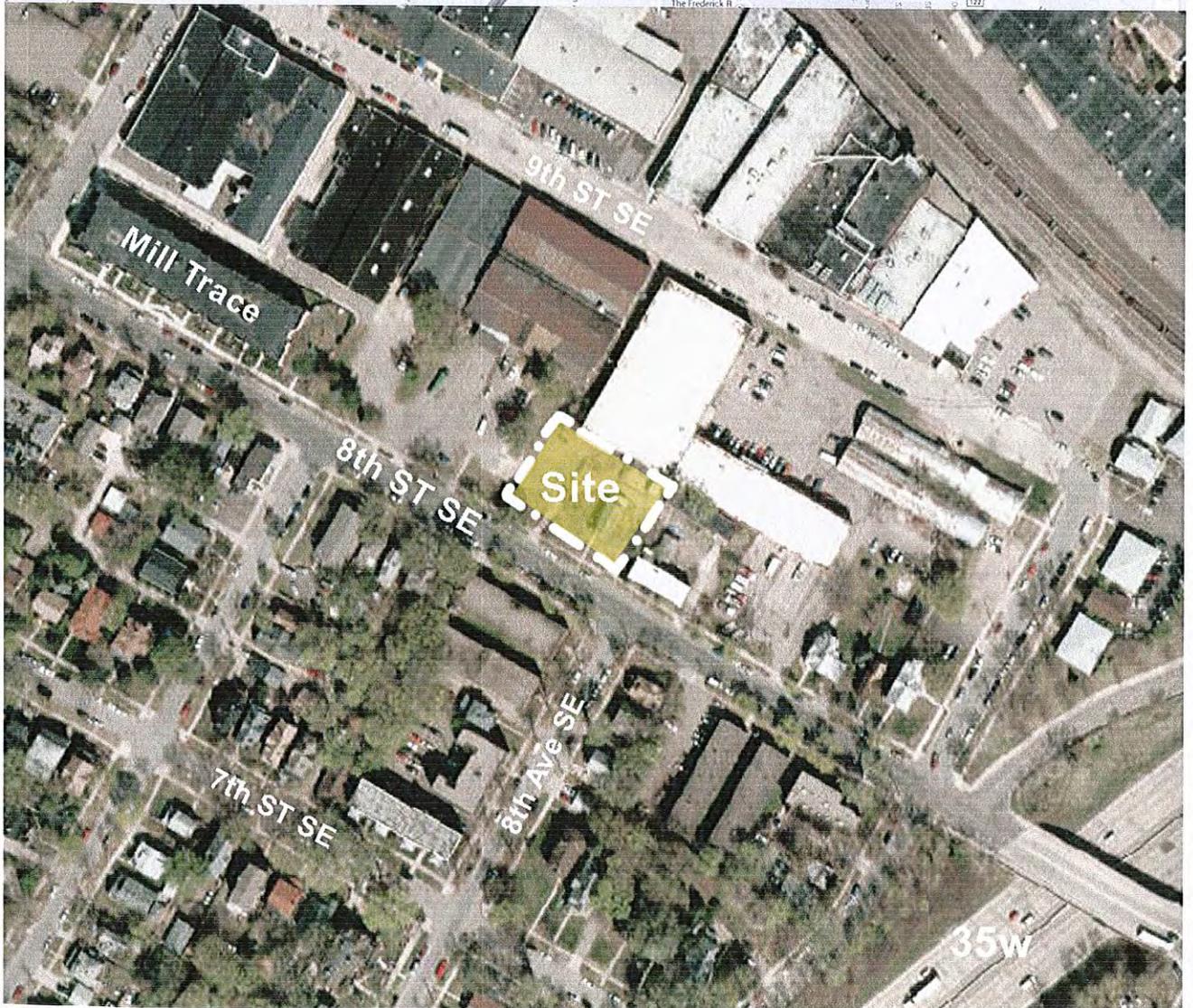
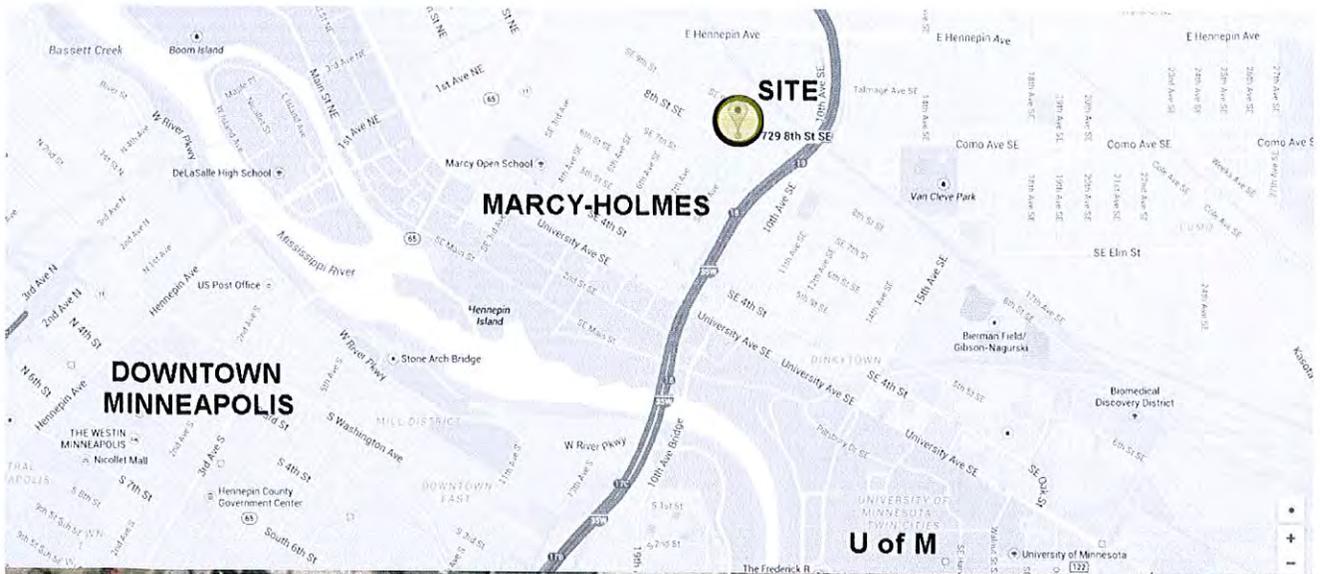
The design, scale, landscaping, and use of materials will benefit the surrounding neighborhood. The proposed conditional use allowing 33 residential units and 40 bedrooms will not be harmful to the use and enjoyment of the other property owners and residents living in the vicinity of the area and will not impede the normal and orderly development and improvements of surrounding properties in the area. There are many precedents of similar housing developments in the area including Marcy-Park Apartments on 8th St SE. Marcy-Park Apartments has a similar style and use, as the proposed building. The conditional use allowing a 4 story residential apartment building is consistent with the policies of the comprehensive plan and the industrial living overlay.

Thank you,

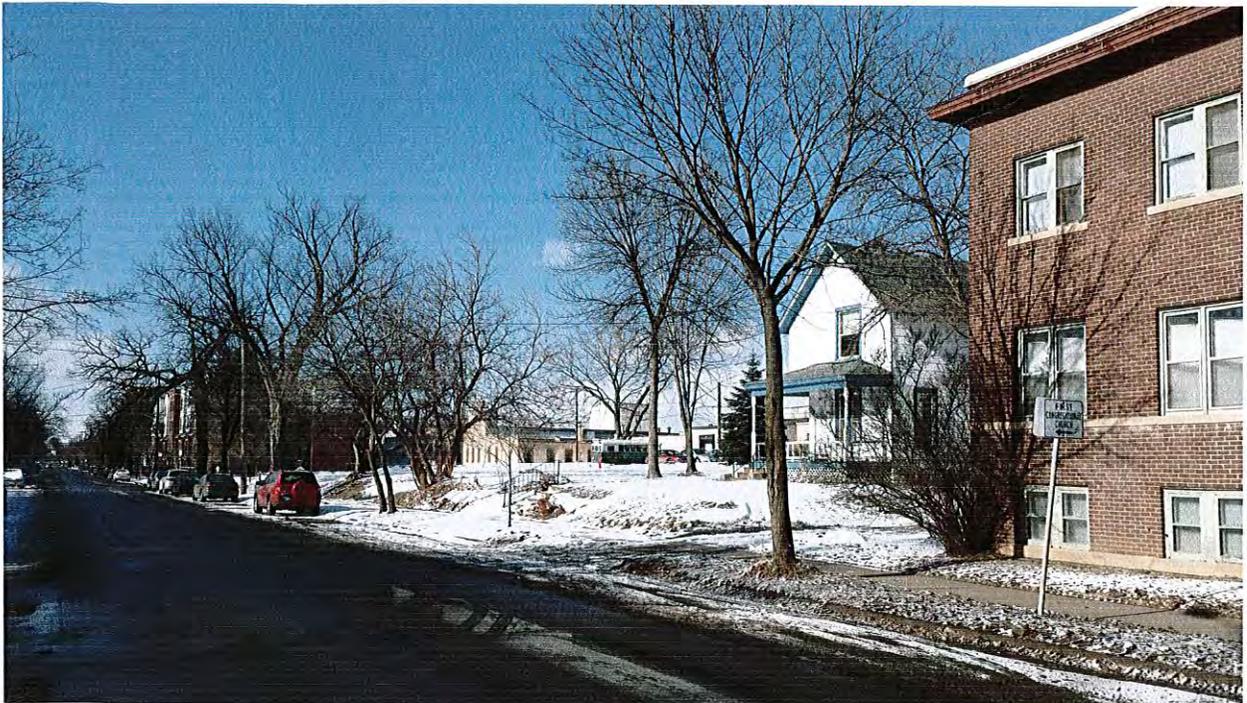


William Wells, Project Architect
Wells & Company, Inc
PO BOX 8589
Minneapolis, MN 55408
wellsandcompany@yahoo.com
612-669-2052

AERIAL PHOTO OF SITE



EXISTING SITE – PHOTO – MARCH 2015

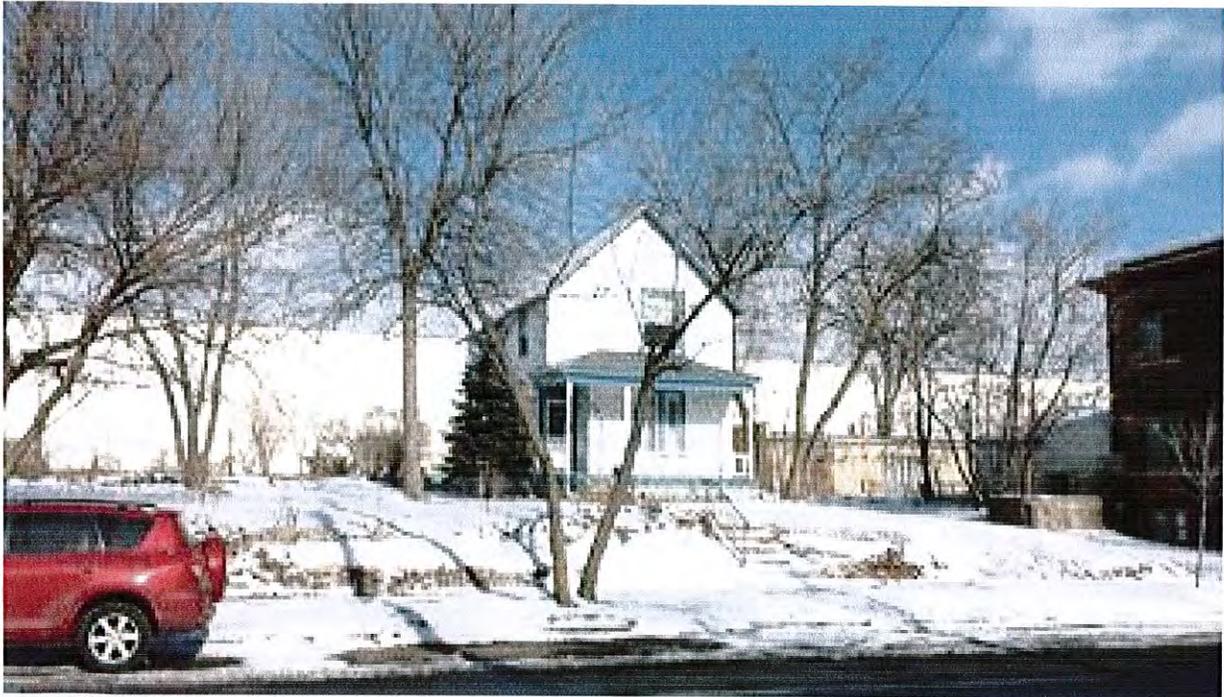


PROPOSED NEW BUILDING



DRAWING BY WILLIAM WELLS, ARCHITECT, MARCH 2015

EXISTING SITE – PHOTOS – MARCH 2015



729 8th St SE – EXISTING HOUSE ON SITE, 721 and 725 8th ST SE ARE VACANT LOTS

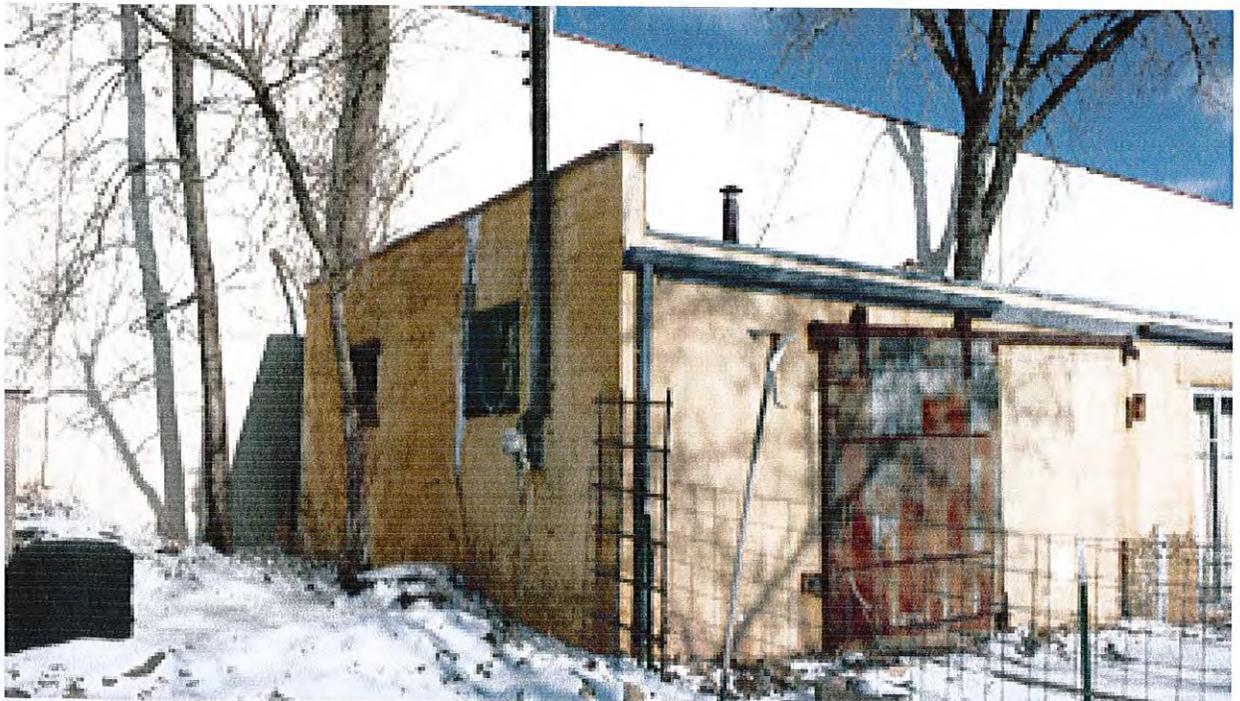


729 8th ST SE AND 801 8th ST SE – EXISTING SHARED DRIVEWAY

EXISTING SITE – PHOTOS – MARCH 2015



729 8th ST SE – LOOKING BACK AT 8th ST SE – NOTICE THE SITE TOPOGRAPHY. THE APPLICANT IS STANDING 7'-0" HIGHER THAN THE EXISTING STREET LEVEL



EXISTING GARAGE BEHIND 801 8th ST SE – NOTICE HOW CLOSE THE BUILDINGS ARE TO THE LOT LINES, AT THE REAR OF THE PROPERTY

EXISTING SITE – PHOTOS – MARCH 2015



EXISTING SHARED DRIVEWAY – LOOKING AT THE BACK OF THE SITE

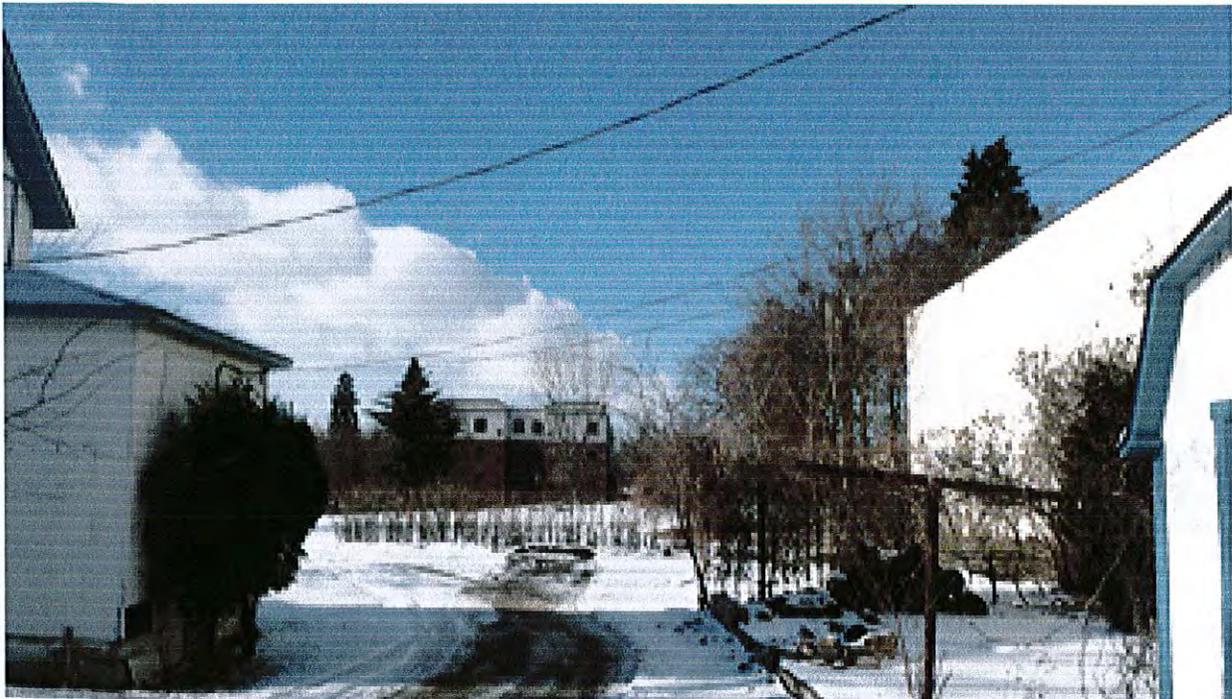


EXISTING APARTMENT BUILDING – DIRECTLY ACROSS THE STREET FROM 729 8th ST SE. THREE STORIES. BRICK AND STUCCO.

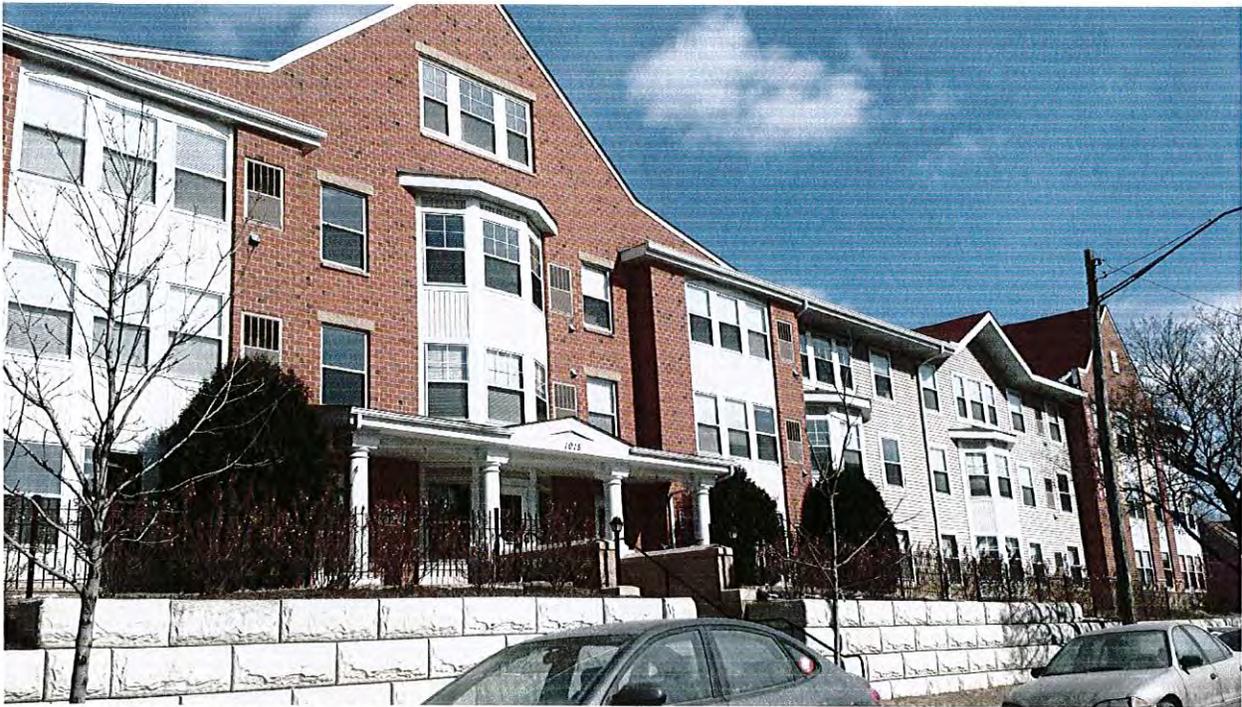
EXISTING SITE – PHOTOS – MARCH 2015



EXISTING SIDEWALK IN FRONT OF 729 8th ST SE – LOOKING WEST



EXISTING PARKING LOT BEHIND 729 8th ST SE – LOOKING WEST



MARCY PARK APARTMENTS – EXISTING APARTMENT BUILDING ON 8th ST SE
THE DESIGN IS SIMILAR TO THE APPLICANT'S PROPOSED NEW HOUSING PROJECT.



MARCY PARK APARTMENTS – EXISTING APARTMENT BUILDING ON 8th ST SE
MIX OF BRICK, LAP SIDING, HARDIPANEL AND STONE.

Site Photos & Site Context:
Existing Buildings in the Area

Mill Trace Condos
619 8th St SE



Vacant Lots
721, 725 8th St SE



Existing house on site
729 8th St SE



Existing Apartments
725 8th Ave SE



Site Information

Addresses: 721, 725, 729 8th St Se
 Lot Area: 16,900 sqft
 Base Zoning: I-1 Light Industrial
 Overlays: IL Living Overlay
 UD University District
 Max Height: 4 stories or 56'
 Max FAR: 2.7

Variety of building styles on 8th St SE

Marcy-Park Apartments
1015 8th St SE



801 8th St SE
Garage



801 8th St SE



**WELLS & COMPANY
ARCHITECTS**
 612-669-2052
 3346 Hennepin Ave S
 Minneapolis, MN 55408
 www.WellsandCompanyArchitects.com

PROJECT TITLE:
**AFFORDABLE
 BIKE FRIENDLY
 HOUSING**
 721,725,729
 8th St SE

SHEET TITLE:
 FRONT ELEVATION

PROJECT #: 01-2015
 DRAWN BY: WELLS
 CHECKED BY: WELLS
 ISSUE DATE:
 ZONING 3 / 3 / 15

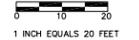
I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
 signed: William M. Wells, Architect
 date: reg. no. 49015

SHEET NO:
T1

721, 725 & 729 8TH STREET SOUTHEAST

CITY OF MINNEAPOLIS, HENNEPIN COUNTY, MINNESOTA

(SEE LEGAL DESCRIPTIONS BELOW)



BASIS FOR BEARINGS:
 STATE PLANE COORDINATE
 SYSTEM, MINNESOTA SOUTH
 ZONE (NAD83, 1996)
 (AS PER GPS
 MEASUREMENTS UTILIZING
 MINNESOTA DEPARTMENT
 OF TRANSPORTATION
 VRS NETWORK)

BASIS FOR ELEVATION:
 MINNESOTA DEPARTMENT
 OF TRANSPORTATION
 STATION 2783 OF N
 S.E. BRIDGE ABUTMENT
 OF 8TH STREET S.E.
 OVER INTERSTATE 35W
 ELEV. 837.151 (NAV88)

CONTOUR INTERVAL=1 FOOT

SECTION 24, T29N, R24W



VICINITY MAP
(NO SCALE)



729 8TH STREET SOUTHEAST
 MINNEAPOLIS, MINNESOTA

LEGAL DESCRIPTION (PARCEL 1)

725 8TH STREET SOUTHEAST
 PID# 24-029-24-21-0038
 TORRENS CERTIFICATE OF TITLE NO. 1314950

THAT PART OF LOT 65, AUDITOR'S SUBDIVISION NO. 28, HENNEPIN COUNTY, MINN., DESCRIBED AS COMMENCING AT THE MOST SOUTHERLY CORNER OF BLOCK 5, THE ANDREWS AND MOULTON'S ADDITION TO MINNEAPOLIS; THENCE NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID BLOCK 5, AND THE SOUTHWESTERLY LINE OF SAID LOT 65 A DISTANCE OF 459.8 FEET TO THE ACTUAL POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 65 A DISTANCE OF 44 FEET; THENCE NORTHEASTERLY, AT A RIGHT ANGLE, A DISTANCE OF 120 FEET; THENCE SOUTHEASTERLY, AT A RIGHT ANGLE, A DISTANCE OF 44 FEET; THENCE SOUTHWESTERLY, AT A RIGHT ANGLE, A DISTANCE OF 120 FEET TO THE ACTUAL POINT OF BEGINNING.

THE NORTHWESTERLY LINE OF WHICH TRACT IS MARKED BY JUDICIAL LANDMARKS AT THE MOST NORTHERLY AND MOST WESTERLY CORNERS THEREOF, SET PURSUANT TO TORRENS CASE NO. 17130. THE NORTHEASTERLY LINE OF WHICH TRACT IS MARKED BY JUDICIAL LANDMARKS SET PURSUANT TO TORRENS CASE NO. 16894.

SUBJECT TO AN EASEMENT IN FAVOR OF THE NORTHWESTERN BELL TELEPHONE COMPANY AS CONTAINED IN CR DOCUMENT NO. 4272714 AS TO A PART OF THE ABOVE DESCRIBED TURN-AROUND.

(NOTE: THIS EASEMENT DOES NOT APPEAR TO AFFECT THE SUBJECT PROPERTY LOCATED IN WHOLE IN LOT 65, AUDITOR'S SUBDIVISION NO. 28. EASEMENT AFFECTS LOT 45, AUDITOR'S SUBDIVISION NO. 28.)

LEGAL DESCRIPTION (PARCEL 2)

729 8TH STREET SOUTHEAST
 PID# 24-029-24-21-0014
 WARRANTY DEED DOC. NO. A9447642

THE WESTERLY 50 FEET, FRONT AND REAR OF THE FOLLOWING DESCRIBED TRACT OF LAND: ALL THAT PART OF LOT 65, AUDITOR'S SUBDIVISION TWENTY-EIGHT (28), DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE LINE DIVIDING SAID LOT 65 FROM EIGHTH STREET SOUTHEAST, DISTANT 396.8 FEET NORTHWESTERLY FROM THE MOST SOUTHERLY CORNER OF BLOCK 5, THE ANDREWS AND MOULTON'S ADDITION TO MINNEAPOLIS, FORMED BY THE INTERSECTION OF THE NORTHWESTERLY LINE OF NINTH AVENUE SOUTHEAST AND THE NORTHEASTERLY LINE OF SAID EIGHTH STREET SOUTHEAST; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF EIGHTH STREET SOUTHEAST, A DISTANCE OF 63 FEET; THENCE AT A RIGHT ANGLE NORTHEASTERLY 120 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY 63 FEET; THENCE AT RIGHT ANGLES SOUTHWESTERLY 120 FEET TO POINT OF BEGINNING, ACCORDING TO THE RECORDED PLAT THEREOF, AND SITUATE IN HENNEPIN COUNTY, MINNESOTA.

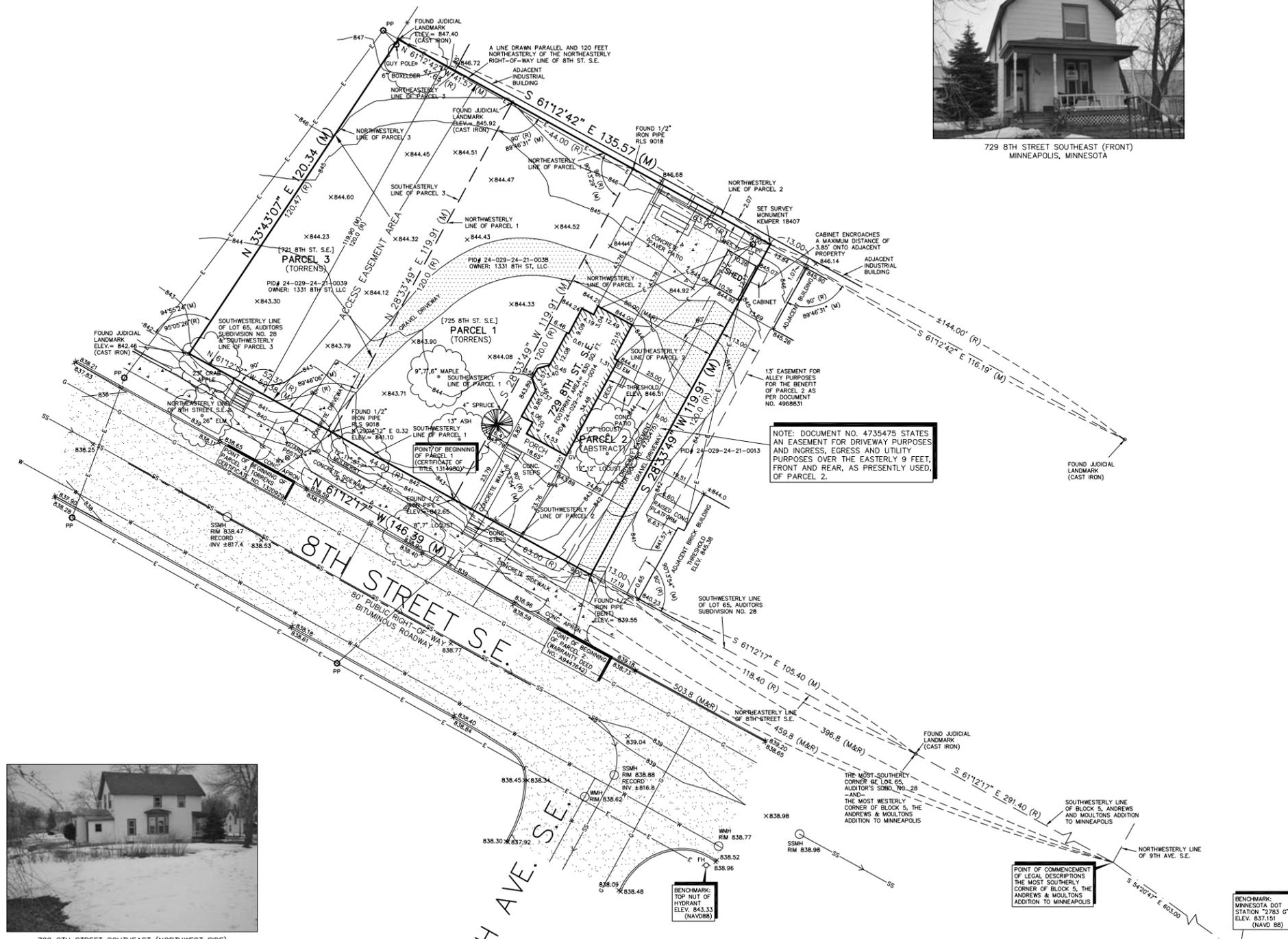
LEGAL DESCRIPTION (PARCEL 3)

721 8TH STREET SOUTHEAST
 PID# 24-029-24-21-0039
 TORRENS CERTIFICATE OF TITLE NO. 1320929

THAT PART OF AUDITOR'S SUBDIVISION NO. 28, HENNEPIN COUNTY, MINN., DESCRIBED AS COMMENCING AT THE MOST SOUTHERLY CORNER OF BLOCK 5, THE ANDREWS AND MOULTON'S ADDITION TO MINNEAPOLIS; THENCE NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID BLOCK 5 AND ITS EXTENSION A DISTANCE OF 503.8 FEET TO THE ACTUAL POINT OF BEGINNING; THENCE CONTINUING NORTHWESTERLY ALONG THE EXTENSION OF SAID SOUTHWESTERLY LINE A DISTANCE OF 52.32 FEET; THENCE NORTHEASTERLY DEFLECTING TO THE RIGHT 95 DEGREES 05 MINUTES 26 SECONDS A DISTANCE OF 120.47 FEET TO A LINE DRAIN PARALLEL WITH AND 120 FEET NORTHEASTERLY, MEASURED AT RIGHT ANGLES FROM THE NORTHWESTERLY EXTENSION OF SAID SOUTHWESTERLY LINE; THENCE SOUTHEASTERLY ALONG SAID PARALLEL LINE A DISTANCE OF 41.63 FEET TO A LINE DRAIN NORTHEASTERLY AT A RIGHT ANGLE TO THE NORTHWESTERLY EXTENSION OF SAID SOUTHWESTERLY LINE FROM THE ACTUAL POINT OF BEGINNING; THENCE SOUTHWESTERLY A DISTANCE OF 120 FEET TO THE ACTUAL POINT OF BEGINNING.

THE NORTHWESTERLY AND SOUTHEASTERLY LINES OF THE PREMISES ARE MARKED BY JUDICIAL LANDMARKS SET PURSUANT TO TORRENS CASE NO. 17130.

NOTE: THIS PARCEL (PARCEL 3) IS SUBJECT TO AN ACCESS EASEMENT OVER THE ENTIRETY OF THE PARCEL.



729 8TH STREET SOUTHEAST (NORTHWEST SIDE)
 MINNEAPOLIS, MINNESOTA

LOT AREA SUMMARY

PARCEL 1-
 LOT AREA = 5,276 SQ. FT. OR 0.1211 ACRES
 PARCEL 2-
 LOT AREA = 5,996 SQ. FT. OR 0.1376 ACRES
 PARCEL 3-
 LOT AREA = 5,633 SQ. FT. OR 0.1293 ACRES
 PARCELS 1, 2 & 3-
 TOTAL PROPERTY AREA = 16,905 SQ. FT. OR 0.3881 ACRES

ZONING REQUIREMENTS SUMMARY

ZONED I-1: LIGHT INDUSTRIAL DISTRICT SUBJECT TO INDUSTRIAL LIVING (IL) OVERLAY DISTRICT

RESIDENTIAL USE IS NOT PERMITTED IN THE I1 DISTRICT BUT THIS LOT IS ALSO SUBJECT TO THE INDUSTRIAL LIVING (IL) OVERLAY DISTRICT WHICH ALLOWS RESIDENTIAL USE AS A CONDITIONAL USE.

MINIMUM LOT AREA: 5,000 SQ. FT. (IL OVERLAY)

MINIMUM LOT WIDTH: NONE GIVEN FOR IL OVERLAY DISTRICT AND RESIDENTIAL USE IS NOT PERMITTED WITHIN THE LIGHT INDUSTRIAL DISTRICT

MAXIMUM BUILDING HEIGHT: 35 FEET OR 2.5 STORIES, WHICHEVER IS LESS (IL OVERLAY)

BUILDING SETBACKS: (LIGHT INDUSTRIAL DISTRICT)

FRONT: NONE GIVEN FOR RESIDENTIAL USES
 SIDE & REAR: 5 FEET PLUS 2 FEET FOR EVERY STORY ABOVE THE FIRST FLOOR PROVIDED THAT THIS SECTION SHALL NOT REQUIRE A MINIMUM INTERIOR SIDE YARD OR REAR YARD GREATER THAN 15 FEET

THE IL OVERLAY DISTRICT DOES NOT ADDRESS YARD REQUIREMENTS

(AS PER CITY OF MINNEAPOLIS ZONING CODE) (OWNER/ARCHITECT TO VERIFY)

LEGEND

- 846- EXISTING CONTOUR LINE
- X866.00 EXISTING SPOT ELEVATION
- SSMH (O) SANITARY SEWER MANHOLE
- WMH (O) WATER MANHOLE
- WV (O) WATER VALVE
- E- OVERHEAD UTILITY LINES
- G- UNDERGROUND GAS
- SS- UNDERGROUND SANITARY SEWER
- W- UNDERGROUND WATER
- PP (O) POWERPOLE / UTILITY POLE
- EM (E) ELECTRIC METER
- GV (O) GAS VENT
- FH (O) FIRE HYDRANT
- (M) DENOTES DIMENSION MEASURED DURING THE COURSE OF THIS SURVEY
- (R) DENOTES RECORD DIMENSION AS PER PLAT OR LEGAL DESCRIPTION
- (*) DENOTES SET SURVEY MONUMENT MARKED 'KEMPER 18407'

CURRENT OWNER:
 1331 8TH ST. LLC
 C/O TIM & KAREN HARMSEN
 74 E. GOLDEN LAKE ROAD
 CIRCLE PINES, MN 55014

ARCHITECT:
 WILLIAM WELLS, ARCHITECT
 WELLS & COMPANY ARCHITECTS
 3346 HENNEPIN AVENUE SOUTH
 MINNEAPOLIS, MINNESOTA 55408
 PHONE: 612-669-2052

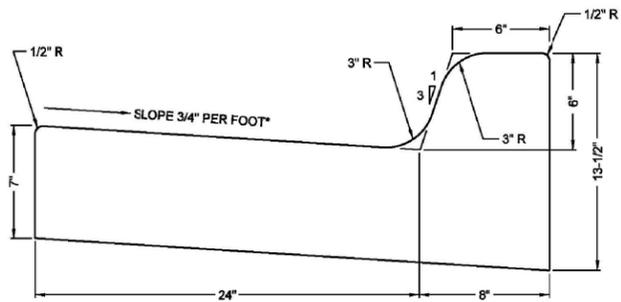


CERTIFICATION
 I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Mark D. Kemper
 MARK D. KEMPER, PLS 18407

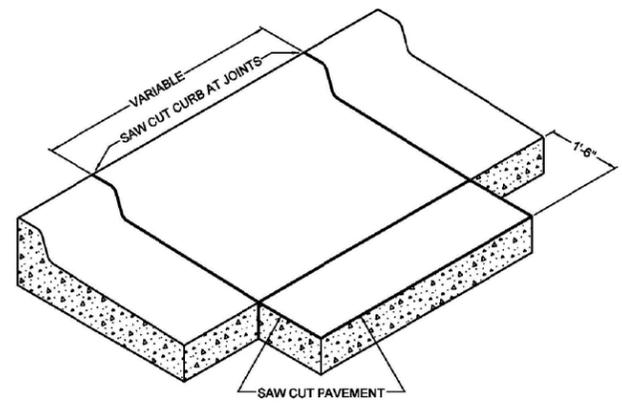
DATED THIS 2ND DAY OF APRIL, 2014

CERTIFICATE OF SURVEY



*SLOPE NOT TO EXCEED 1:20 AT CURB RAMPS

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		B-624 CURB AND GUTTER	STANDARD PLATE NO. ROAD-1003
DRAWN: JFC	DATE: 6/1/07		
APPROVED: GAS	DATE: 6/1/08		



MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		SAW CUT AT CURB AND GUTTER REMOVAL	STANDARD PLATE NO. ROAD-1010
DRAWN: JFC	DATE: 6/1/07		
APPROVED: GAS	DATE: 6/1/08		

CITY OF MINNEAPOLIS CURB AND GUTTER DETAILS

MN DOT STANDARD PEDESTRIAN CURB RAMP DETAILS
5-297.250

NOTES:

- SEE STANDARD PLATE 1008 AND SHEET 4 OF 5 FOR DETAILS ON DETECTABLE WARNING. SLOPES ARE DEFINED AS ABSOLUTE ELEVATION DIFFERENCE PER LENGTH OF RUN, AS OPPOSED TO A RELATIVE SLOPE WITH RESPECT TO A CURB LINE OR CURB HEIGHT. LANDING SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE CHANGES DIRECTION, AND AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5%.
- INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 18" FROM THE BACK OF CURB WITH 6" FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE.
- SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30° OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS 7% OR GREATER.
- CONSTRUCTION JOINTS SHALL BE CONSTRUCTED AT ALL GRADE BREAKS.
- TOP OF CURB SHALL MATCH PREPROPOSED ADJACENT WALK GRADE.
- USE 4" CONCRETE FOR ALL INITIAL RAMP AND LANDING AREAS.
- CONTRACTOR SHALL EMPLOY APPROPRIATE METHODS FOR INTERMEDIATE GRADE CONTROL TO ENSURE ALL GRADE BREAKS ARE CONSTRUCTED PROPERLY.
- ALL GRADE BREAKS SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL/PEDESTRIAN ACCESS ROUTE.
- MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMPS. SHARED USE PATHS SHALL HAVE DETECTABLE WARNING ACROSS THE ENTIRE WIDTH OF PATH WHEN THE PATH CROSSES A ROAD.
- 0" CURB HEIGHT.
- FULL CURB HEIGHT.
- LESS THAN 5% PREFERRED, 5-8.3% SHOULD ONLY BE USED AFTER ALL OTHER SLOPES HAVE BEEN CONSIDERED AND DEEMED IMPRACTICAL.
- 1/2" PREFORMED JOINT FILLER MATERIAL ASHTO M 283. JOINT FILLER SHALL BE PLACED FLUSH WITH THE BACK OF CURB AND ADJACENT SURFACE. JOINT SHALL BE FREE OF DEBRIS. RECTANGULAR DETECTABLE WARNING SHALL BE SET BACK 5" FROM THE BACK OF CURB. RADIAL DETECTABLE WARNING SHALL BE SET BACK 3'-4" FROM THE BACK OF CURB.
- SEE PEDESTRIAN ACCESS ROUTE CURB AND GUTTER DETAIL FOR INFORMATION ON CONSTRUCTING CURB AND GUTTER AT CURB OPENINGS. SEE SHEET NO. 3 OF 5.
- 4" BY 4" MIN. LANDINGS WITH MAX. 2% SLOPE IN ALL DIRECTIONS.
- IF RAMP SLOPE IS LESS THAN 5.0% NO SECONDARY LANDING IS REQUIRED.
- IF CURB IS USED, SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS. SEE SHEET 3 OF 5.
- DETECTABLE WARNING MAY BE PART OF 4" BY 4" LANDING AREA IF IT IS NOT FEASIBLE TO CONSTRUCT THE LANDING OUTSIDE OF THE DETECTABLE WARNING AREA.
- SEE SHEET 4 OF 5, TYPICAL SIDE TREATMENT OPTIONS, FOR DETAILS ON FLARES AND RETURNED CURBS.
- SEE SHEET 3 OF 5 FOR FURTHER DETAIL.
- DIAGONAL RAMPS SHOULD ONLY BE USED AFTER ALL OTHER CURB RAMP TYPES HAVE BEEN CONSIDERED AND DEEMED IMPRACTICAL.

STANDARD PLAN SHEET NO. 5-297.250 (2 OF 5)	PEDESTRIAN CURB RAMP DETAILS
DATE: MAY 10, 2012	
STATE PROJ. NO. (TH)	SHEET NO. OF SHEETS

NOTES:

- SEE STANDARD PLATE 1008 AND SHEET 4 OF 5 FOR DETAILS ON DETECTABLE WARNING. SLOPES ARE DEFINED AS ABSOLUTE ELEVATION DIFFERENCE PER LENGTH OF RUN, AS OPPOSED TO A RELATIVE SLOPE WITH RESPECT TO A CURB LINE OR CURB HEIGHT. LANDING SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE CHANGES DIRECTION, AND AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5%.
- INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 18" FROM THE BACK OF CURB WITH 6" FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE.
- SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30° OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS 5% OR GREATER.
- CONSTRUCTION JOINTS SHALL BE CONSTRUCTED AT ALL GRADE BREAKS.
- TOP OF CURB SHALL MATCH PREPROPOSED ADJACENT WALK GRADE.
- USE 4" CONCRETE WALL FOR ALL INITIAL RAMP AND LANDING AREAS.
- CONTRACTOR SHALL EMPLOY APPROPRIATE METHODS FOR INTERMEDIATE GRADE CONTROL TO ENSURE ALL GRADE BREAKS ARE CONSTRUCTED PROPERLY.
- ALL GRADE BREAKS SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL/PEDESTRIAN ACCESS ROUTE.
- MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMPS. SHARED USE PATHS SHALL HAVE DETECTABLE WARNING ACROSS THE ENTIRE WIDTH OF PATH WHEN THE PATH CROSSES A ROAD.
- 0" CURB HEIGHT.
- FULL CURB HEIGHT.
- 2" MINIMUM CURB HEIGHT.
- 1/2" PREFORMED JOINT FILLER MATERIAL ASHTO M 283. JOINT FILLER SHALL BE PLACED FLUSH WITH THE BACK OF CURB AND ADJACENT SURFACE. JOINT SHALL BE FREE OF DEBRIS. RECTANGULAR DETECTABLE WARNING SHALL BE SET BACK 5" FROM THE BACK OF CURB. RADIAL DETECTABLE WARNING SHALL BE SET BACK 3'-4" FROM THE BACK OF CURB.
- SEE PEDESTRIAN ACCESS ROUTE CURB AND GUTTER DETAIL FOR INFORMATION ON CONSTRUCTING CURB AND GUTTER AT CURB OPENINGS. SEE SHEET NO. 3 OF 5.
- 4" BY 4" MIN. LANDINGS WITH MAX. 2% SLOPE IN ALL DIRECTIONS.
- IF RAMP SLOPE IS LESS THAN 5% NO SECONDARY LANDING IS REQUIRED.
- IF CURB IS USED, SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS.
- RAMPING SLOPE LESS THAN OR EQUAL TO 8.3% & CROSS SLOPE LESS THAN OR EQUAL TO 2%.
- SEE SHEET 4 OF 5, TYPICAL SIDE TREATMENT OPTIONS, FOR DETAILS ON FLARES AND RETURNED CURBS.
- IF ELEVATION CHANGES IN FRONT OF GRADE BREAK AND DRAIN TO FLOW LINE, SHALL BE CONSTRUCTED INTERNAL WITH CURB AND GUTTER.
- TO BE USED FOR ALL DIRECTIONAL RAMPS.
- DOES NOT BE PLACED AT THE BACK OF CURB WHEN ALLOWABLE SETBACK CRITERIA IS EXCEEDED.
- ANY VERTICAL LIP THAT OCCURS AT THE FLOW LINE MAY NOT BE GREATER THAN 1/4" INCH.

STANDARD PLAN SHEET NO. 5-297.250 (2 OF 5)	PEDESTRIAN CURB RAMP DETAILS
DATE: MAY 10, 2012	
STATE PROJ. NO. (TH)	SHEET NO. OF SHEETS

NOTES:

- ADJACENT GRADE SHALL BE MAINTAINED THROUGHOUT THE PEDESTRIAN ACCESS ROUTE AND AT 2% ABSOLUTE MAXIMUM.
- NO PONDING SHALL BE PRESENT IN THE PAN.
- ANY VERTICAL LIP THAT OCCURS AT THE FLOW LINE MAY NOT BE GREATER THAN 1/4" INCH.
- FOR USE AT CURB CUTS WHERE THE PEDESTRIAN'S PATH OF TRAVEL IS ASSUMED NON-PERPENDICULAR TO THE GUTTER FLOW LINE, RAMP TYPES INCLUDING FAN, DEPRESSED CORNER, ONE WAY AND COMBINED DIRECTIONAL.
- FOR USE AT CURB CUTS WHERE THE PEDESTRIAN'S PATH OF TRAVEL IS ASSUMED PERPENDICULAR TO THE GUTTER FLOW LINE, RAMP TYPES INCLUDING PERPENDICULAR, TIERED PERPENDICULAR, PARALLEL, AND DIAGONAL RAMPS.
- THERE SHALL BE NO VERTICAL DISCONTINUITIES GREATER THAN 1/4" INCH.
- WELL AND GREAT WALLS ERECT-CAST BY LOW BARS AT 2" CENTER TO CENTER INTO EXISTING CONCRETE PAVEMENT.
- ELEVATION CHANGE TAKES PLACE FROM THE EXISTING TO NEW FRONT OF GUTTER. PATCH IS USED TO MATCH THE NEW OUTER FACE INTO THE EXISTING ROADWAY.
- VARIABLE WIDTH FOR DIRECTIONAL CURB APPLICATIONS.

STANDARD PLAN SHEET NO. 5-297.250 (3 OF 5)	PEDESTRIAN CURB RAMP DETAILS
DATE: MAY 10, 2012	
STATE PROJ. NO. (TH)	SHEET NO. OF SHEETS

Dinkytown Rentals, LLC
1112 6th Street SE
Minneapolis, MN 55414
www.dinkytownrentals.com

WELLS & COMPANY
ARCHITECTS

612-669-2052
3346 Hennepin Ave. S
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
721.725.729
8th St SE

CIVIL DETAILS
CURB AND GUTTER
ADA SIDEWALK

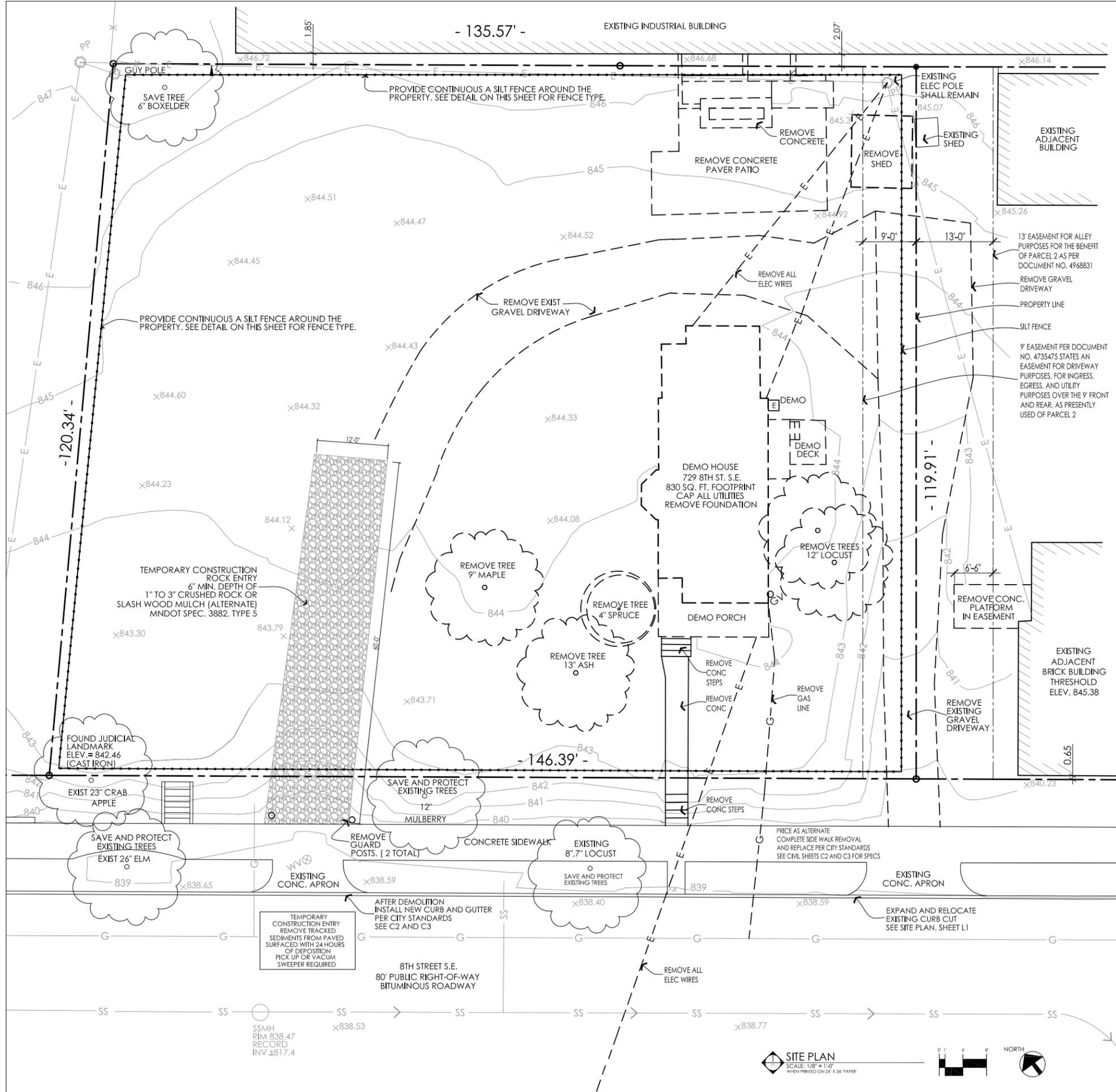
PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:
ZONING: 2 / 11 / 15

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota

license: William M. Wells, Architect
date: reg. no. 43615

SHEET NO:

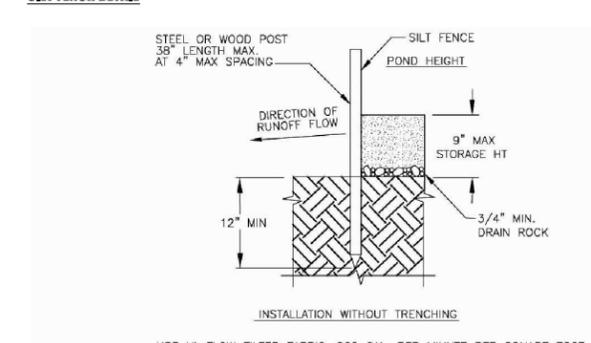
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MINNEAPOLIS STANDARD EROSION CONTROL NOTES

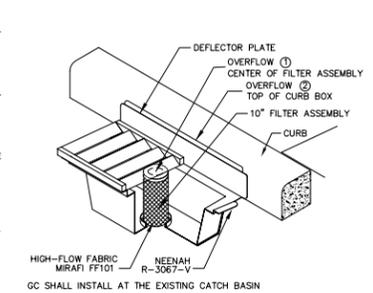
- 1) Contractor must call for a pre-construction meeting 48 hours prior to any land disturbances 612-673-2738. Failure to do so may result in the revocation of permit and a stop work order being issued.
- 2) Install perimeter erosion control at the locations shown on the plans prior to beginning construction. (Hay bales are not an acceptable perimeter control)
- 3) Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance to at least 50 feet into the construction zone. Use a geo-textile fabric beneath the aggregate in order to prevent migration of soil into the rock from below
- 4) Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs. Sweeping may be ordered by at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- 5) Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Catch basin inserts are required in undisturbed areas that receive runoff from disturbed areas. NOTE: Hay bales or filter fabric wrapping the grates are not effective or acceptable form of inlet protection.
- 6) Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- 7) Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace damaged control devices immediately.
- 8) Temporarily or permanently stabilize all construction areas which have been finishgraded, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seeding and mulching, erosion control matting, and/or sodding and staking in green space areas. Application of gravel base on areas to be paved recommended minimizing erosion potential.
- 9) Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization and permanent vegetation has been established, minimum vegetation establishment is 70% cover, maintain all temporary erosion control devices until 70% established cover is achieved.
- 10) Ready mixed concrete and concrete batch plants prohibited within the public right of way, designate concrete mixing/washout locations in the erosion control Plan. Under no circumstances may washout water drain onto the public right of way or into the public storm sewer.
- 11) Save and protect all trees in the right of way during construction with a chain link fence

SILT FENCE DETAIL



- NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVEN AND REMOVE SEDIMENT WHEN NECESSARY, REQUIRED WHEN 1/3 FULL WITHIN 24 HOURS OF DISCOVERY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND PERMANENTLY STABILIZED ALSO SEE SEWR-8009.

WIMCO - CATCH BASIN INLET PROTECTION DEVICE



SYMBOL KEY

- x 101.57 Existing Spot Elevation
- 101 - Existing Contour
- G - Underground Gas Line
- W - Water Main Pipe
- SS - Sanitary Sewer Pipe
- E - Overhead Utility Wires
- Concrete Surface
- SILT FENCE

BENCHMARK: TOP OF FIRE HYDRANT AT THE NE CORNER OF 8TH ST SE AND 8TH AVE SE ELEVATION= 843.33 (NAVVD88)

GENERAL CONSTRUCTION NOTES

DURING EXCAVATION FOR THE NEW FOUNDATION, THE SLOPES TO THE BOTTOM OF THE EXCAVATION CAN NOT EXCEED 1:1 AND THE CONTRACTOR MUST PROVIDE A FENCE AROUND THE SITE TO PREVENT UNAUTHORIZED ACCESS.

Dinkytown Rentals, LLC
1112 6th Street SE
Minneapolis, MN 55414
www.dinkytownrentals.com

WELLS & COMPANY ARCHITECTS
612-669-2032
3346 Hennepin Ave. S
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
721,725,729
8th St SE

EROSION CONTROL
DEMOLITION PLAN

PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:
ZONING: 2 / 11 / 15

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota

signed: William M. Wells, Architect
date: reg. no. 49615

SHEET NO:

C1

SITE PLAN
SCALE: 1/8" = 1'-0"
WHEN PRINTED ON 24" X 36" PAPER

CONSTRUCTION NOTES RELATED TO UTILITY AND STREET (INCLUDING HARDCOVER SURFACES) CONSTRUCTION:

IMPORTANT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE NOTES PRIOR TO WORK COMMENCING. IN ADDITION TO THE NOTES SHOWN ON THE CURRENT PLAN, THERE MAY BE ADDITIONAL PLANS, SPECIFICATIONS AND DETAILS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL REVIEW ALL APPLICABLE ITEMS AND ADDRESS CONFLICTS OR ISSUES WITH THE PROJECT OWNER'S REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION OPERATIONS. TYPICAL ADDITIONAL APPLICABLE DOCUMENTS MAY INCLUDE (NOT EXHAUSTIVE AND SHOWN FOR REFERENCE PURPOSES ONLY):

- NPDES PERMITS
- EROSION CONTROL PLAN, GRADING PLAN, LANDSCAPE PLAN, ARCHITECTURAL PLANS, DETAIL SHEETS ETC.
- GEOTECHNICAL SOIL EVALUATION
- ARCHITECTURAL SPECIFICATIONS
- MUNICIPAL, WATER DISTRICT, STATE, FEDERAL AND REGULATORY CONSTRUCTION PERMITS

A. THE CONTRACTOR IS CAUTIONED THAT "THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CVASCE 38-02 TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". CLASS LEVEL D INDICATES THE UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA AT 1-800-252-1166). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

B. IF THE CONTRACTOR ENCOUNTERS ANY UTILITY LINES WITHIN THE SITE INCLUDING DRAIN TILE OR IRRIGATION LINES, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND DIRECTION OF THOSE UTILITY LINES. NO UTILITY LINE SHALL BE BACKFILLED OR ALTERED WITHOUT REVIEW, DISCUSSION AND WRITTEN APPROVAL FROM THE PROJECT ENGINEER. THE CONTRACTOR SHALL BEAR RESPONSIBILITY OF THE RELOCATING ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AT NO ADDITIONAL PAYMENT BY THE OWNER.

C. E UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) AS AMENDED FROM TIME TO TIME. CONTRACTOR SHALL AT A MINIMUM, FOLLOW THESE SPECIFICATIONS AND ADDITIONAL SPECIFICATIONS FROM ANY REGULATORY AGENCY FOR THIS PARTICULAR PROJECT.

E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE SITE FOR TREES AND NATIVE VEGETATION PRIOR TO WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONDUCT A PRE-CONSTRUCTION MEETING TO VERIFY QUANTITIES AND LIMITS OF TREE AND NATIVE VEGETATION REMOVAL. CONTRACTOR SHALL RESTRICT ALL GRADING AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES WITHIN THE CONSTRUCTION MAY BE RESTRICTED TO A NARROWER WIDTH IN THE FIELD TO SAVE ADDITIONAL TREES AS DIRECTED BY THE OWNER.

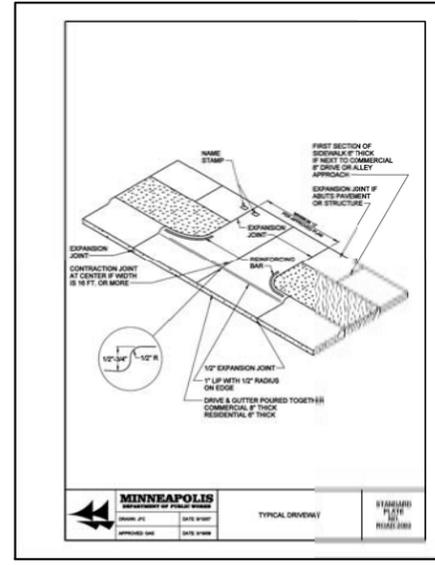
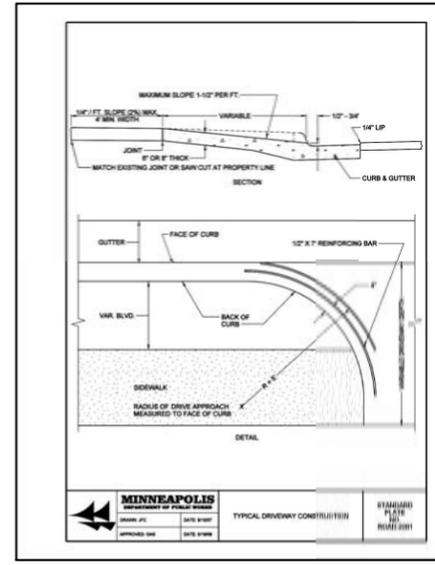
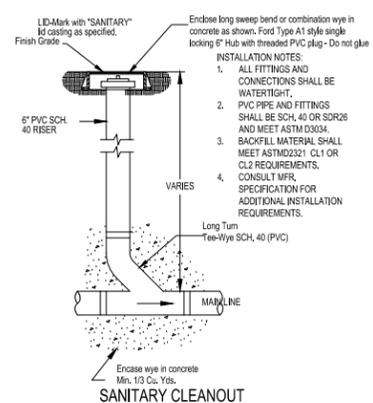
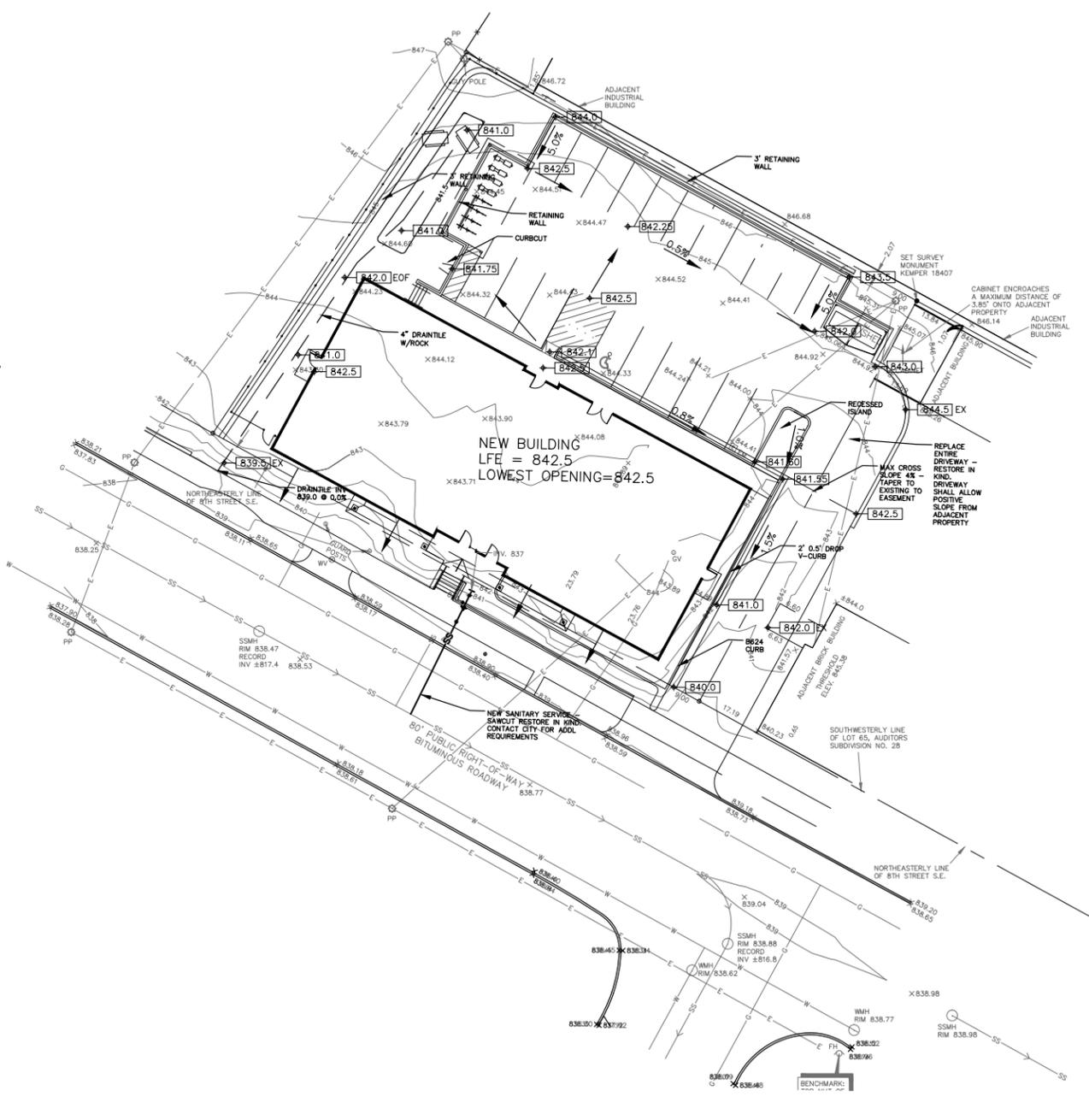
F. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY OR ANY PRIVATE PARTY UNLESS DULY AUTHORIZED TO DO SO BY THE MUNICIPALITY OR ANY PARTY WITH PERMIT AUTHORITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF THE CONTRACTOR.

G. ALL STORM PIPE SHALL BE HDPE UNLESS OTHERWISE STATED ON PLAN. HDPE PIPE SHALL MEET ASTM F894 & AASHTO M-294 (TYPE S) WITH WATERTIGHT FITTINGS.

H. THE CONTRACTOR SHALL REMOVE EXISTING WATER AND SEWER SERVICE LINES SERVICING THE CURRENT PROPERTY. THE CONTRACTOR MAY ABANDON SERVICE LINES PROVIDED THE EXISTING SERVICE LINES DO NOT INTERFERE WITH NEWLY INSTALLED SERVICE LINES. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING PROPER ABANDONING AND BACKFILLING OF RETIRED SERVICE LINES AT NO ADDITIONAL COST TO THE OWNER. CONTACT CRAIG ALLISON AT THE CITY OF MINNEAPOLIS FOR ADDITIONAL UTILITY CONSTRUCTION REQUIREMENTS.

I. GENERAL CONTRACTOR TO CONSULT OWNER REGARDING CONSTRUCTION OF SMALL UTILITIES. EACH EACH INDIVIDUAL BUILDING WILL HAVE AN ELECTRIC METER (LOCATED ON THE SOUTH END OF 1015 BUILDING AND THE NORTH END OF 1011 BUILDING. GAS SERVICE TO BE ROUTED THROUGH THE MECHANIC ROOM LOCATED ADJACENT TO THE COURTYARD.

J. ALL WATERMAIN SERVICE SHALL BE INSULATED AS REQUIRED.



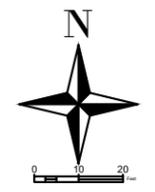
SUPPLEMENTAL SITE PLAN NOTES:

1. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE PLAN INFORMATION INCLUDING SPOT ELEVATIONS, RETAINING WALLS, UTILITIES AND OTHER PLAN DETAILS.
2. EXTERIOR DRAINAGE SHALL BE ROUTED AWAY FROM REAR PARKING AREA AS FEASIBLE.
3. CONFIRM TREE PROTECTION REQUIREMENTS WITH OWNER BEFORE COMMENCING WORK. PLACEMENT OF GAS AND ELECTRICAL METERS SHALL NOT INTERFERE WITH NEW SIDEWALK AREAS.
4. SEE ARCHITECTURAL PLANS FOR ADDITIONAL EROSION CONTROL PLAN AND UTILITY INFORMATION.
5. ALL STORM MAIN AND CATCH BASIN CONSTRUCTION SHALL FOLLOW THE CITY OF MINNEAPOLIS PUBLIC WORKS STANDARDS. STORM CB'S AND CBM'S SHALL BE THE STANDARD 30" DESIGN.
6. CATCH BASIN GRATES SHALL BE RATED H-15 OR OF HIGHER STRENGTH.
7. CONTACT CRAIG ALLISON AT THE CITY OF MINNEAPOLIS PUBLIC WORKS FOR ALL WORK WITHIN RIGHT OF WAY AREAS.
8. HDPE CAN BE SUBSTITUTED FOR PERFORATED PVC. USE OF PVC AND HDPE SHALL CONFORM TO MNDOT STANDARDS FOR STORM MAIN CONSTRUCTION.
9. EXISTING TOPOGRAPHY BY OTHERS. EXISTING TOPOGRAPHY IS BASED ON NAVD88 DATUM. SEE ARCHITECTURAL SHEETS FOR PROPOSED TOPOGRAPHY.
10. GARAGE OPENINGS SHALL BE PLACED AT AN ELEVATION OF 869.0 OR HIGHER.
11. RECOMMENDED OPERATION AND MAINTENANCE OF UNDERGROUND STRUCTURES SHALL INCLUDE INSPECTIONS A MINIMUM OF ONCE PER MONTH DURING GROWING SEASON. ADDITIONAL MEASURES SHOULD INCLUDE:
 - STREET SWEEPING WITHIN PARKING LOT - MINIMUM TWICE PER YEAR USING VACUUM TYPE SWEEP UNITS
 - INSTALLATION OF OBSERVATION WELL OR CLEANOUT AT OPPOSITE END OF DRAIN TILE LINE
12. ALL SANITARY SEWER MAIN SHALL BE PVC SDR-35 UNLESS STATED OTHERWISE. MINIMUM MAIN SLOPE INCLUDING FITTINGS SHALL BE 2% OR STEEPER. SLOPE SHOULD BE LIMITED TO 10% OR FLATTER WHERE FEASIBLE WITHIN BOULEVARD WITH SLOPE GRADUALLY INCREASING TOWARDS MAINLINE CONNECTION. DROP-SADDLE SHOULD BE PLACED AS VERTICAL TO MAIN AS FEASIBLE.
13. ALL WATERMAIN SHALL BE DUCTILE IRON CLASS 52. WATER SERVICE SHALL BE COPPER TYPE "K" UNLESS STATED OTHERWISE.

IMPORTANT NOTE REGARDING USE OF THIS DOCUMENT: Unless Mariner Professional Services or MPS has a signed agreement to provide Construction Management or Design Services which include preparation of Bid Documents, Review of Shop Drawings, or Inspection and Verification services related to this document, AND Dated and Initialed "Work Inspected" and "Work Verified" information appears within this Plan, the Project Owner, Construction Contractors and Installers agrees to indemnify, defend, and hold harmless MPS, and its officers, agents, and employees including other design professionals responsible for preparation of this Plan against any and all claims, suits, losses, damages, or costs, including reasonable attorney's fees, arising from the use of design or construction plans or documents, signed or unsigned, in electronic or paper form.

LEGEND

	PROPOSED	EXISTING
SPOT ELEVATION	x 962.5	x 962.5
CONTOUR	902	902
RIP RAP	XXXXXX	XXXXXX
CURB & GUTTER	ST 12"	STM
STORM SEWER	SS 6"	SS
SANITARY SEWER	W 2"	W
WATERMAIN		



PRELIMINARY

Mariner Professional Services
 2355 Fairview Avenue #200
 Roseville, MN 55113
 P/F 612.216.2573
 www.mariner-ps.com
 Now Partnering With
 van der Zahn + Associates Midwest
 www.vdz-usa.com
 A Full Service Consulting Firm

PROJECT TITLE:
 HOUSING PROJECT
 721 8th ST SE
 725 8th ST SE
 729 8th ST SE
 Minneapolis, MN

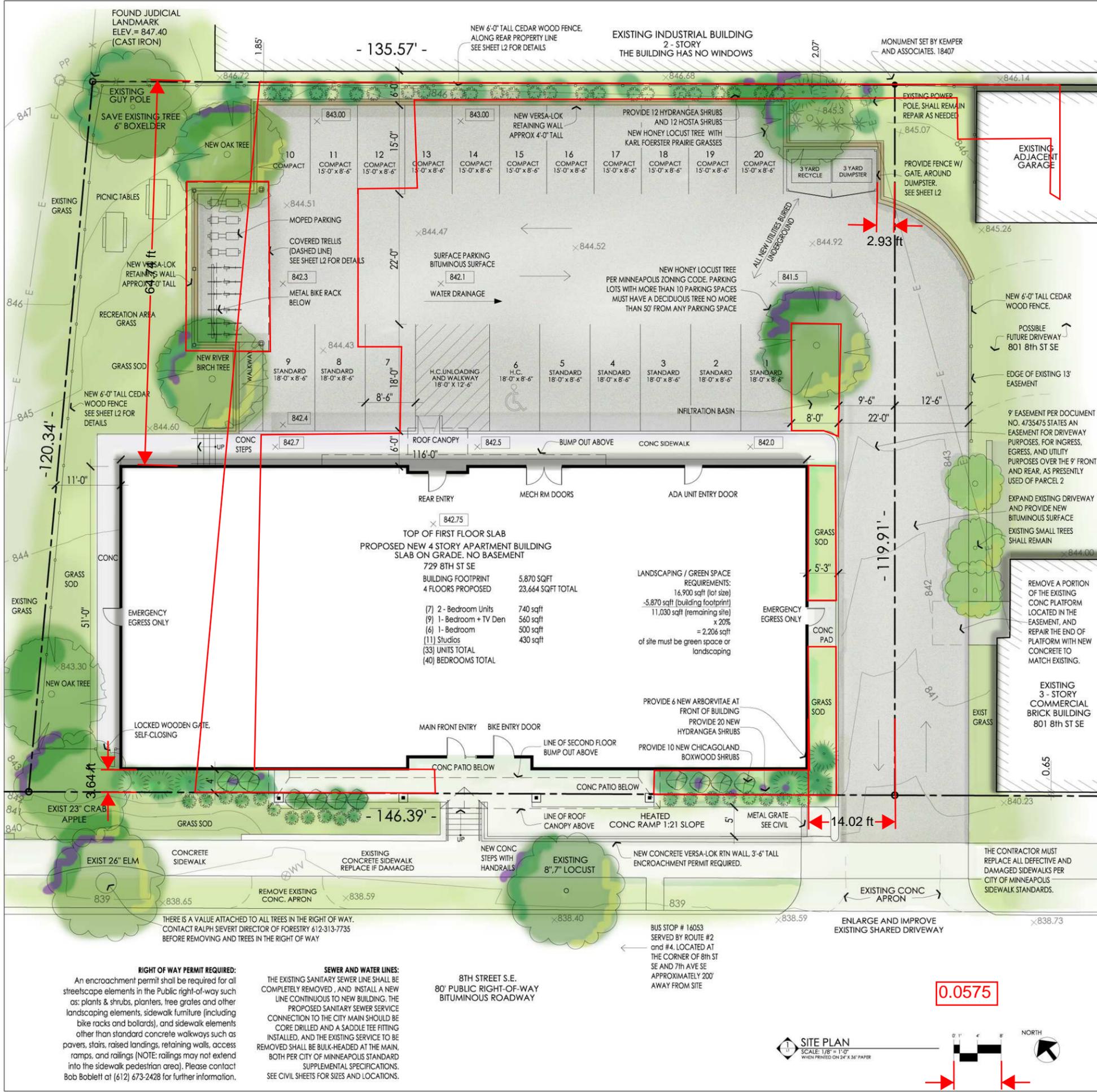
SHEET TITLE:
 Civil Site Plan

PROJECT #: 15-WELL-01
DRAWN BY: ATP
CHECKED BY: ATP
ISSUE: DATE:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE:
 TYPED OR PRINTED NAME:
 DATE: 3/15 REG. NO. 42733

SHEET NO:
C-2



PROPERTY SIZE:
 PARCELS 1, 2 & 3-
 TOTAL PROPERTY AREA = 16,905 SQ. FT.
 0.3881 ACRES

BASIS FOR ELEVATION:
 BENCHMARK: TOP OF NEAREST FIRE HYDRANT
 AT THE NE CORNER OF 8TH ST SE AND 8TH AVE SE
 ELEVATION= 843.33 (NAVD88)

GENERAL SITE PLAN NOTES:

- The impervious surface on the site is 13,905 SQFT, the proposed landscape area is 3,000 sqft
- See civil sheets C1 for erosion control plan, construction entrance, and demolition plans.
- Call the surveyor of record and have the proposed building staked before excavation.
- Protect existing trees in the city right of way. Contact Paul Martinson at 612-499-9209.
- Contact Tom Frame 612-673-5807 to schedule an inspection need with Environmental Services to identify and register equipment and processes that impact the environment.
- Contact MN State Duty officer 651-649-5451 if contaminated soil is encountered during construction.
- The lighting plan must comply with Section 535.590 of the Minneapolis Zoning Code. The lighting fixtures shall not exceed two thousand (2,000) lumens equivalent to a one hundred fifty (150) watt incandescent bulb) unless a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use. The lighting fixtures shall be effectively arranged as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle for residential use, & five (5) footcandles measured at the street, curb or nonresidential property line nearest the light source.
- All snow shall be removed from the site during winter months. There is no long term snow storage on site.

LANDSCAPE DESIGN AND INSTALLATION NOTES:

- The landscape contractor and all subcontractors shall inspect the site and become familiar with the existing conditions relating to the nature and scope of the work, before providing a bid on the project.
- The landscape contractor shall verify plant layout, drainage, and dimensions on site and bring any discrepancies to the attention of the architect. The landscape contractor shall not change plant types without architect or Owner's written permission. The landscape contractor shall install all new plants and trees after all grading and construction has been completed and provide a one year warranty.
- The landscape contractor shall Sod all existing grass areas disturbed due to grading and construction. Where sod abuts paved surfaces, the finished grade or sod shall be held to 1" below the surface elevation of the paved area. The sod shall be laid parallel to the contours and shall have staggered joints.
- The landscape contractor shall assure compliance with all applicable codes and regulations governing the work and or materials supplied and all plant materials installed comply with the latest edition of the American Standards for Nursery Stock, ANSI Z60.1 unless noted otherwise.
- The landscape contractor shall ensure all planting areas receiving ground cover, perennials, or annuals shall receive a minimum of 18" depth of planting soil consisting of at least 45 parts topsoil, 45 parts screened compost or manure and 10 parts sand.
- The landscape contractor shall provide min 4" deep shredded hardwood mulch in all shrub and plant beds as shown on plans, provide a fiber mat weed barrier.

RIGHT OF WAY NOTES:

- Temporary or permanent related encroachments in the public right of way requires a permit, contact Robert Boblett at 612-673-2428 for more information. Snow storage is not permitted in the public right of way.

STREETS, SIDEWALKS, TRAFFIC AND PARKING NOTES:

- All driveway aprons, curbs, and gutters must be designed and constructed to City standards. See civil sheets.
- A sidewalk construction permit must be obtained before the start of any work in the public right of way. The contractor must replace any concrete infrastructure in the City right of Way that is damaged during construction. A \$15,000 Sidewalk Contractor's Bond must be obtained from Public Works Sidewalk Inspections prior to the start of any work in the Public right-of-way.
- An obstruction permit is required before any work is performed in the public right of way. Contact Scott Kramer at 612-673-2383 for sidewalk and lane closures.
- 20 feet of straight curb from the corner radius the beginning of a proposed drive apron is required.

WATER AND SEWER (UTILITY DESIGN) NOTES:

- See civil sheets for size of water and sewer lines.
- Provide new K copper water service line, joints to existing and connected at curb. Sewer service to enter proposed structure within 27' building lines as per the city of Minneapolis sewer requirements. Before digging the contractor shall call public sanitary and storm sewer records at 612-673-2405 and the Utility water and sewer department at 612-673-2451
- Replacement of the existing water service will be necessary, any existing connections not in use shall be removed per Utility Connections Dept, call 612-673-2451 for more info.
- The water meter shall be located in the mechanical room.
- The existing sanitary sewer service connection should be televised during construction to determine if it is damaged, questions related to public works surface water and sewer divisions should be directed towards Jeremy Strehlo, engineer at 612-673-3973
- Contact Rock Rogers at 612-673-2286 to review domestic and fire service design, connections, and sizes.

ENVIRONMENTAL HEALTH

- The contractor must check the static water level during construction to assist in determining if dewatering will be needed during construction and to ensure subgrade structures are designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed.
- Permits and approval are required from Environmental Services for the following activities: After hours work; Temporary storage of impacted soils on site prior to disposal or reuse; Remediation of contaminated soil and groundwater. Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water to city sewers; Flammable waste traps. Underground or aboveground tank installation or removal; Well construction or sealing; On-site rock crushing. Contact Tom Frame at tom.frame@minneapolismn.gov for permit applications and approvals.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-3807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

CONSTRUCTION CODE SERVICES

- During excavation for the new foundation, the slopes to the bottom of the excavation can not exceed 1:1 and the contractor must provide a fence around the site at all times to prevent unauthorized access.

ADDRESSING NOTES:

- See plans for addressing. Post signage in the front and in the rear or on a building to be readily identified in case of fire or other emergency.

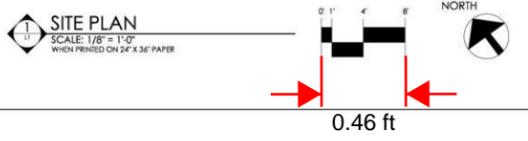
SYMBOL / LEGEND:

- 866.00 EXISTING SPOT ELEVATION
- 900.0 PROPOSED SPOT ELEVATION
- 846 EXISTING CONTOUR LINE
- SSMH SANITARY SEWER MANHOLE
- WMH WATER MANHOLE
- WV WATER VALVE
- PP POWERPOLE / UTILITY POLE

RIGHT OF WAY PERMIT REQUIRED:
 An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.

SEWER AND WATER LINES:
 THE EXISTING SANITARY SEWER LINE SHALL BE COMPLETELY REMOVED, AND INSTALL A NEW LINE CONTINUOUS TO NEW BUILDING. THE PROPOSED SANITARY SEWER SERVICE CONNECTION TO THE CITY MAIN SHOULD BE CORE DRILLED AND A SADDLE TEE FITTING INSTALLED, AND THE EXISTING SERVICE TO BE REMOVED SHALL BE BULK-HEADED AT THE MAIN, BOTH PER CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS. SEE CIVIL SHEETS FOR SIZES AND LOCATIONS.

8TH STREET S.E. 80' PUBLIC RIGHT-OF-WAY BITUMINOUS ROADWAY



Dinkytown Rentals, LLC
 1112 6th Street SE
 Minneapolis, MN 55414
 www.dinkytownrentals.com

DINKYTOWN RENTALS

WELLS & COMPANY ARCHITECTS
 612-669-2052
 3346 Hennepin Ave S
 Minneapolis, MN 55408
 www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
 721,725,729
 8th St SE

SHEET TITLE:
 SITE PLAN

PROJECT #: 01-2015
 DRAWN BY: WELLS
 CHECKED BY: WELLS
 ISSUE: DATE:
 C.O.W. / ZONING 3/9/15

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota

Signed: William M. Wells, Architect
 Date: reg. no. 49615

SHEET NO:
L1

BUILDING FOOTPRINT 5,870 SQFT
 4 FLOORS PROPOSED 23,664 SQFT TOTAL

(7) 2 - Bedroom Units 740 sqft
 (9) 1 - Bedroom + TV Den 560 sqft
 (6) 1 - Bedroom 500 sqft
 (11) Studios 430 sqft
 (33) UNITS TOTAL
 (40) BEDROOMS TOTAL



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 612-669-2082
 3346 Hennepin Ave S
 Minneapolis, MN 55408
 www.wellsandcompanyarchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
 721,725,729
 8th St SE

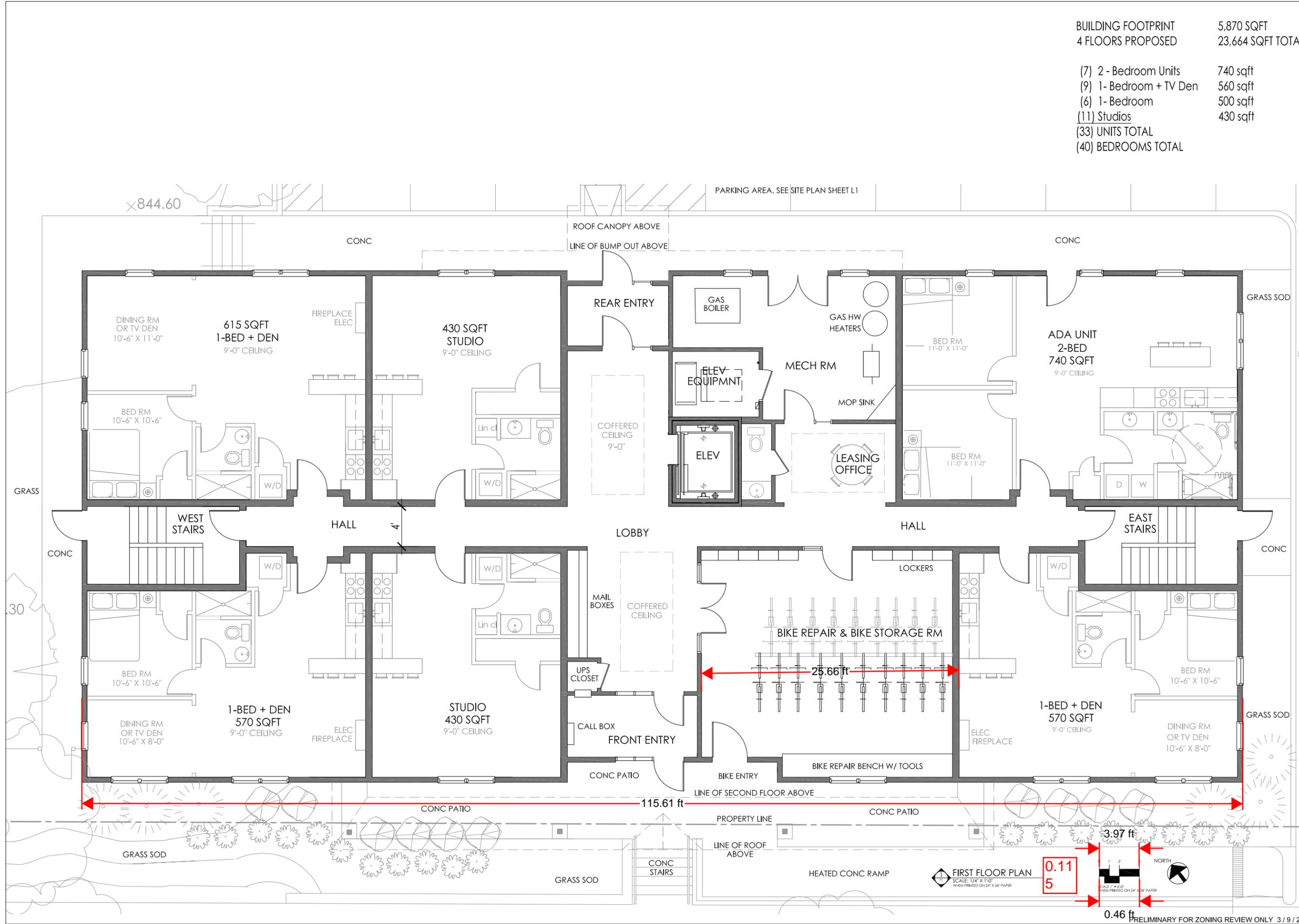
SHEET TITLE:
FIRST FLOOR PLAN

PROJECT #: 01-2015
 DRAWN BY: WELLS
 CHECKED BY: WELLS
 ISSUE: DATE:
 C.O.W. / ZONING 3/9/15

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota
 signed: William M. Wells, Architect
 date: reg. no. 49615

SHEET NO:

A1



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 WHEN PRINTED ON 24" X 36" PAPER

0.11
 5



PRELIMINARY FOR ZONING REVIEW ONLY 3/9/2015

BUILDING FOOTPRINT 5,870 SQFT
 4 FLOORS PROPOSED 23,664 SQFT TOTAL

(7) 2 - Bedroom Units 740 sqft
 (9) 1 - Bedroom + TV Den 560 sqft
 (6) 1 - Bedroom 500 sqft
 (11) Studios 430 sqft
 (33) UNITS TOTAL
 (40) BEDROOMS TOTAL



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 612-669-2032
 3346 Hennepin Ave S
 Minneapolis, MN 55408
 www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
 721,725,729
 8th St SE

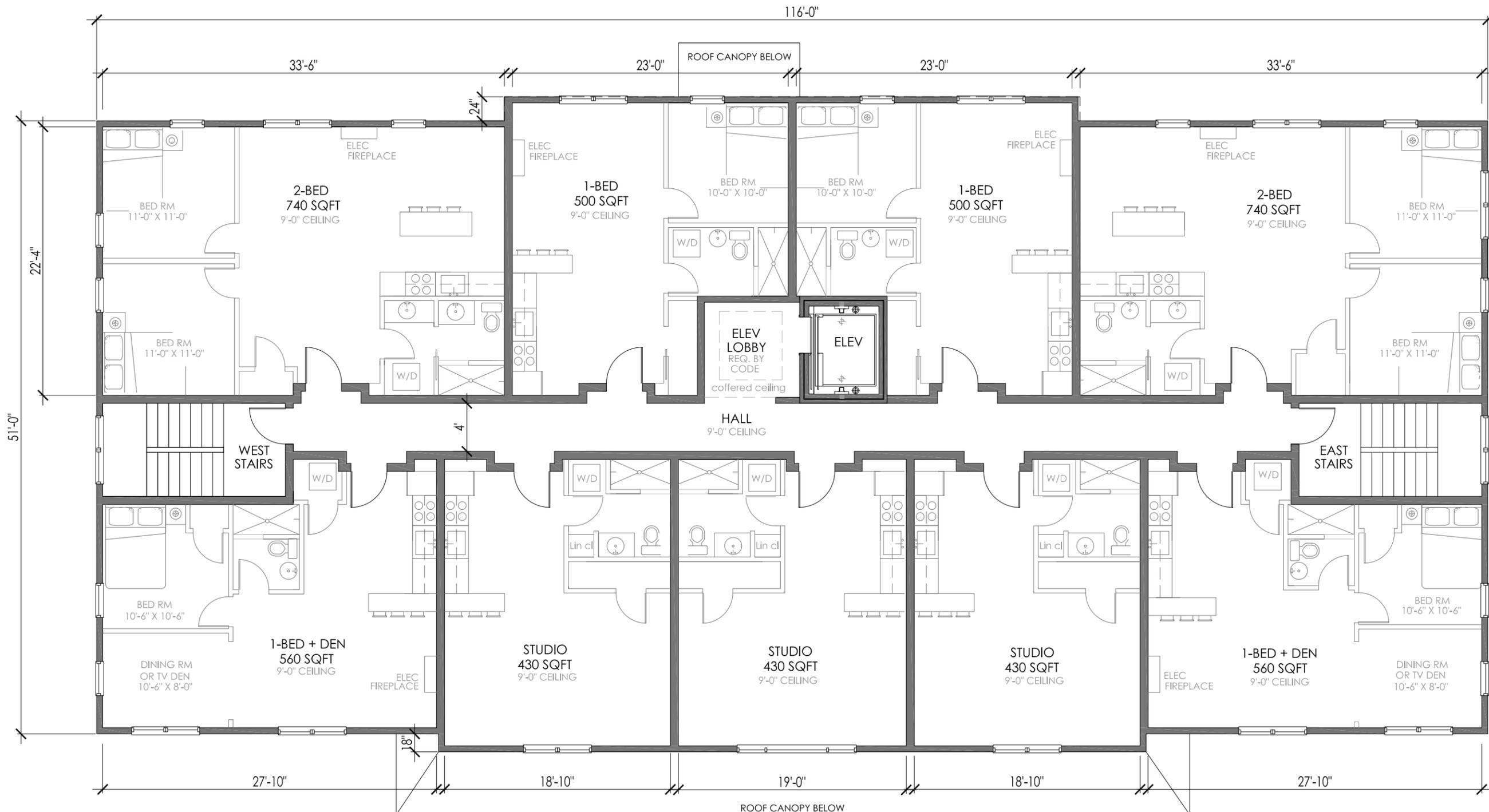
SHEET TITLE:
 FLOOR PLANS
 FLOORS 2, 3, & 4

PROJECT #: 01-2015
 DRAWN BY: WELLS
 CHECKED BY: WELLS
 ISSUE: DATE:
 C.O.W. / ZONING 3/9/15

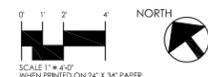
I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota
 signed: William M. Wells, Architect
 date: reg. no. 49615

SHEET NO:

A2



FLOOR PLAN FOR FLOORS: 2, 3, 4
 SCALE: 1/4" = 1'-0"
SCALE: 1/4" = 1'-0" WHEN PRINTED ON 24" X 36" PAPER





729 8th ST SE
FRONT ELEVATION FACING 8th ST SE

801 8th ST SE
EXISTING



729 8th ST SE
FRONT ELEVATION FACING 8th ST SE

FRONT ELEVATION
SCALE: 3/16" = 1'-0"

ENLARGE EXISTING
SHARED DRIVEWAY

EXISTING BUILDING
801 8th ST SE

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ARCHITECTS
612-669-2052
3346 Hennepin Ave S
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE
BIKE FRIENDLY
HOUSING
721,725,729
8th St SE

SHEET TITLE:
FRONT BUILDING
ELEVATION

PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:
C.O.W. / ZONING 3/9/15

I hereby certify that this plan
specification or report was prepared
by me or under my direct supervision
and that I am a duly registered
architect under the law of
the state of: Minnesota

signed:
William M. Wells, Architect
date: reg. no. 49619

SHEET NO:

A5.0



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PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
721,725,729
8th St SE

SHEET TITLE:
REAR BUILDING ELEVATION
FACING NORTH

PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:
C.O.W. / ZONING 3/9/15

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota

signed: William M. Wells, Architect
date: reg. no. 49615

SHEET NO:
A7.0



EXISTING BUILDING
801 8th ST SE

SHARED DRIVEWAY

BUILDING FOOTING BELOW GRADE

ADA UNIT - PRIVATE ENTRY

MECHANICAL ROOM ENTRY

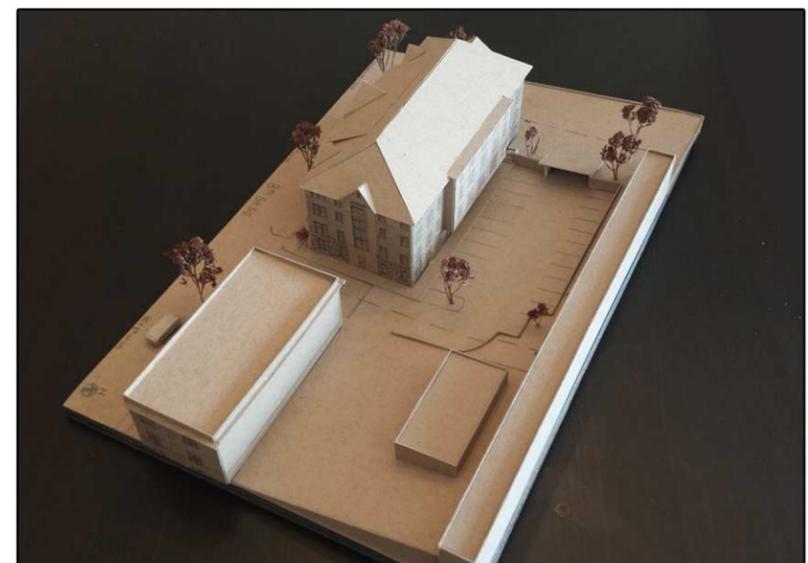
REAR BUILDING ENTRY - COMMON

COVERED TRELLIS FOR BIKE PARKING

REAR ELEVATION (FACING NORTH)
SCALE: 3/16" = 1'-0"



SIDE ELEVATION (FACING EAST)
 SCALE: 3/16" = 1'-0"



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ARCHITECTS**
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Minneapolis, MN 55408
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PROJECT TITLE:
**AFFORDABLE
BIKE FRIENDLY
HOUSING**
721,725,729
8th St SE

SHEET TITLE:
Site Model
and 3-D
Images

PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:
ZONING: 3 / 3 / 15

I hereby certify that this plan application or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota.
Signed: William M. Wells, Architect
date: aug. 15, 2015

SHEET NO:
A9.0