



**CPED STAFF REPORT**  
Prepared for the Board of Adjustment

BOA Agenda Item #2  
February 5, 2015  
BZZ-6976

**LAND USE APPLICATION SUMMARY**

*Property Location:* 3331 Pierce Street Northeast  
*Project Name:* 3331 Pierce Street Northeast  
*Prepared By:* [Janelle Widmeier](#), Senior City Planner, (612) 673-3156  
*Applicant:* Elizabeth and Kenneth MacCaskie  
*Project Contact:* Mary Jane Heinen, Whole Builders  
*Request:* An accessible ramp, retaining wall, and wrap around porch addition to a single-family dwelling.

*Required Applications:*

<b>Variance</b>	To increase the maximum height of a fence/retaining wall not retaining natural grade from 3 feet up to 8 feet in the required front yard adjacent to Pierce Street Northeast.
<b>Variance</b>	To reduce the minimum interior side yard requirement adjacent to the north lot line from 5 feet to 4 feet to allow an open covered porch.
<b>Variance</b>	To reduce the minimum interior side yard requirement adjacent to the north lot line from 5 feet to 3.5 feet to allow an open covered porch.

**SITE DATA**

<b>Existing Zoning</b>	RIA Single-Family District
<b>Lot Area</b>	5,012 square feet
<b>Ward(s)</b>	I
<b>Neighborhood(s)</b>	Waite Park Community Council
<b>Designated Future Land Use</b>	Urban Neighborhood
<b>Land Use Features</b>	Not applicable.
<b>Small Area Plan(s)</b>	Not applicable.

<b>Date Application Deemed Complete</b>	December 22, 2014	<b>Date Extension Letter Sent</b>	Not applicable
<b>End of 60-Day Decision Period</b>	February 20, 2015	<b>End of 120-Day Decision Period</b>	Not applicable

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The existing use, a single-family dwelling, was permitted for construction in 1955.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The surrounding properties are predominately single-family dwellings.

**PROJECT DESCRIPTION.** The applicants are proposing to construct an accessible ramp, fence/retaining wall, and wrap around porch addition to the single-family and reduce the slope in the front yard. The project is intended allow the owners to stay in their home by addressing mobility challenges of one of the owners. Effects of impairment include difficulty in negotiating stairs, steep slopes, and other uneven surfaces.

The ramp would connect the street to the new front porch without the need to climb stairs. There is an 8 foot grade separation between the Pierce Street public sidewalk and the first floor elevation of the dwelling. The ramp would be 3 feet wide with a 1:8 slope. Retaining walls with guard rails on top would be constructed to support the ramp. The retaining walls and ramp would be constructed of concrete. The railings would be constructed of wood and would be 3 feet tall. Some of the ramp and retaining walls would be located in the public right-of-way. The applicant has already obtained an encroachment permit from Public Works to allow them. A handicap accessible ramp is a permitted use in all required yards provided the ramp does not exceed a width of 4 feet and the handrails do not exceed 3 feet in height and are not more than 50 percent opaque. Retaining walls are permitted obstructions provided they retain natural grade. Because much of the walls will not retain natural grade, they are more akin to a fence. A guard rail is not required by the building code on the retaining wall on the inside of the ramp. Therefore it is also considered a fence. Fences are also permitted obstructions provided they do not exceed 3 feet in height in the required front yard. The height of the walls not retaining natural grade with the guard rails or railings would be up to 8 feet in height. A variance is required to increase the maximum height.

A wrap around porch is proposed to provide shelter at the front and side doors of the dwelling. It would extend along the front and south side of the dwelling where a deck is currently located. Most of the deck is proposed to remain, with the exception of the area to the north of the front entrance. In that area, the porch floor will have a 1:8 slope to tie into the ramp. Support columns (6-inch by 6-inch posts) for the porch roof would be located at the edge of the existing deck on the west and south sides. The deck in the front yard is 6 feet deep and the deck on the south side is 4 feet 4 inches deep. The side porch columns would be located 3.5 feet from the side lot line and the eave and gutter would be located 2.5 feet from the side lot line. An open porch projecting not more than 8 feet from the building and complying with the following standards is a permitted obstruction in a required front yard.

- The porch shall be covered and may extend the width of the dwelling, provided it shall be no closer than 3 feet from an interior side lot line and no closer than 6 feet from a dwelling on an adjacent property.
- Such porch shall be no closer than 10 feet from the front lot line and no closer than 5 feet from the corner side lot line.
- The porch shall not be enclosed with windows, screens or walls, but may include handrails not more than 3 feet in height and not more than 50 percent opaque.
- The finish of the porch shall match the finish of the dwelling or the trim on the dwelling. Raw or unfinished lumber shall not be permitted on an open porch.

The front porch would not comply with the first standard because it would extend beyond the width of the house on the north side. A variance is required to allow the porch to extend 9 inches beyond the north wall of the house. Porches are not permitted obstructions in interior side yards. The minimum interior side yard requirement is 5 feet. Therefore a variance is required to reduce the south side yard requirement as well.

**PUBLIC COMMENTS.** As of the writing of this report, staff has not received any correspondence from the neighborhood group. Any correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration.

## ANALYSIS

### VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum height of a fence/retaining wall not retaining natural grade from 3 feet up to 8 feet in the required front yard adjacent to Pierce Street Northeast, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. Significant grade changes exist on the site. In front of the dwelling, there is an 8 foot grade separation between the Pierce Street public sidewalk and the first floor elevation of the dwelling. To the rear of the house, the first floor is 12 feet below the alley. The applicants would like to age in place, but the property needs to be more accessible and easier to maintain to do so. Accessible ramps, retaining walls and fences can all be allowed as permitted obstructions, but with restrictions as described above. The applicant has explored other options to work within the confines of the code, but could not find a solution that did not result in other adverse effects. To ensure that the ramp is negotiable, the slope cannot be too steep, which means that the length of the ramp cannot be shortened. If the ramp were reoriented or reconfigured, it would injure the mature tree in the required front yard. If it were constructed along the south lot line, the stability of the neighbors tuck-under garage would likely be impacted, which directly abuts the shared lot line. Setting the ramp in a couple of feet from the south lot line would also interfere with the access needed for the existing side entrance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Fence regulations are established to promote the public health, safety and welfare, encourage an aesthetic environment and allow for privacy, while maintaining access to light and air. The policies of the comprehensive plan are consistent with the fence regulations, but also promote accessible housing designs to support persons with disabilities and the elderly. The applicants would like to age in place, but the property needs to be more accessible and easier to maintain to do so. The ramp and porch additions would allow access to all areas of the property. A guard rail is required by the building code for the ramp where it is adjacent to lower grades, but on the retaining wall on the inside of the ramp a guardrail is not required. The applicant is proposing to add a guardrail for

the safety of the owners and anyone else using the front yard. Although the height of the walls not retaining natural grade with the guard rails or railings would be up to 8 feet in height, the applicant is proposing railings that will allow views through it. This helps to reduce the massing of the wall. To ensure the opacity is limited, staff is recommending that railings are not more than 50 percent opaque. With the condition of approval, the request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

To lessen the impact on the character of the area and surrounding properties, the applicant lowered the height of the wall from what was originally proposed. The proposed railing design is also compatible with the proposed porch, where the existing railings will remain. To ensure the opacity of the railings is limited, staff is recommending that railings are not more than 50 percent opaque. To ensure that the design remains compatible, staff is also recommending a condition that the railings shall be compatible with the railings on the porch and that raw or unfinished lumber shall not be permitted. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the public or those utilizing the property provided the proposed addition is constructed to current building codes.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum interior side yard requirement adjacent to the north lot line from 5 feet to 4 feet to allow an open covered porch, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. The porch is a permitted obstruction except in that area that extends 9 inches past the north wall of the dwelling. The porch is proposed to extend past the north wall because it will connect to the proposed ramp.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The porch would abut the proposed ramp. The porch extension would be located under the eave edge of the porch roof and would not be discernable to a passerby. As described in the findings above, there isn't a suitable alternate location for the ramp. The request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. The porch extension would be located under the porch eave edge. To ensure the design of the porch is compatible with the dwelling, staff is recommending that the finish of the porch shall match the finish of the dwelling or the trim on the dwelling and that raw or unfinished lumber shall not be permitted. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the public or those utilizing the property provided the proposed addition is constructed to current building codes.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum interior side yard requirement adjacent to the south lot line from 5 feet to 3.5 feet to allow an open covered porch, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. There is an existing deck on the south side of the house that will be incorporated into the proposed porch. It is 4.3 feet from the side lot line. The side porch columns would abut the deck and would be located 3.5 feet from the side lot line. The eave and gutter of the porch roof would be located 2.5 feet from the side lot line. The porch will provide a sheltered area to access the existing side entrance and is part of an accessible route through the property, making it more accessible to the owners who would like to age in place.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The policies of the comprehensive plan are consistent with the yard regulations, but also promote accessible housing designs to support persons with disabilities and the elderly. The porch will provide a sheltered area to access the existing side entrance and is part of an accessible route through the property, making it more accessible for the owners who would like to age in place. The dwelling to the south is set back 5 feet from the shared lot line. Because the subject property is to the north, the side porch would not have any effect on surrounding properties access to light and air. The porch should also have no more impact than the existing deck. The request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. The dwelling to the south is set back 5 feet from the shared lot line. Because the subject property is to the north, the side porch would not have any effect on surrounding properties access to light and air. The porch should also have no more impact than the existing deck. To ensure the design of the porch is compatible with the dwelling, staff is recommending that the finish of the porch shall match the finish of the dwelling or the trim on the dwelling and that raw or unfinished lumber shall not be permitted. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the public or those utilizing the property provided the proposed addition is constructed to current building codes.

## RECOMMENDATIONS

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt the above findings and **approve** the application for a variance to increase the maximum height of a fence/retaining wall not retaining natural grade from 3 feet up to 8 feet in the required front yard adjacent to Pierce Street Northeast located at 3331 Pierce Street Northeast, subject to the following conditions:

1. The opacity of the railings shall not be more than 50 percent.
2. The railings on the walls shall be compatible with the railings on the porch. Raw or unfinished lumber shall not be permitted.
3. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
4. All site improvements shall be completed by February 5, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt the above findings and **approve** the application for a variance to reduce the minimum interior side yard requirement adjacent to the north lot line from 5 feet to 4 feet to allow an open covered porch located at 3331 Pierce Street Northeast, subject to the following conditions:

1. The finish of the porch shall match the finish of the dwelling or the trim on the dwelling. Raw or unfinished lumber shall not be permitted.
2. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
3. All site improvements shall be completed by February 5, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt the above findings and **approve** the application for a variance to reduce the minimum interior side yard requirements adjacent to the south lot line from 5 feet to 3.5 feet to allow an open covered porch located at 3331 Pierce Street Northeast, subject to the following conditions:

1. The finish of the porch shall match the finish of the dwelling or the trim on the dwelling. Raw or unfinished lumber shall not be permitted.
2. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
3. All site improvements shall be completed by February 5, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

**ATTACHMENTS**

1. Written description and findings submitted by applicant
2. Zoning map
3. Site survey
4. Site plan
5. Floor plans
6. Building elevations
7. Photos

RE: 3331 Pierce St. NE, Minneapolis, MN 55418

Owned by Elizabeth and Kenneth MacCaskie,

**Statement of proposed use**

The property is zoned R1A Single Family and will remain so. The existing first floor elevation of the home is approximately 8 ft. above the front sidewalk elevation, and approximately 12 ft. below the alley. The grade of the adjacent property to the north is at the sidewalk elevation.

One of the owners, Ken MacCaskie, has a permanent disability due to diabetic neuropathy, which affects his balance. He has previously been confined to a wheelchair, and now has impaired mobility. It is difficult for him to negotiate stairs or steep slopes of grade, or walk on uneven surfaces.

During a past health episode, emergency responders had difficulty accessing the home. Mr. MacCaskie hospital stay was extended because he was unable to climb the exterior stairs.

The proposed projects will meet/improve the MacCaskie s accessibility needs, and allow them to remain in the home for the long term. It will also make it safer for visitors — adults and children — to travel to the front door and safely move about the front yard.

**Description of the project**

A Handi-cap Access Ramp and Concrete Retaining Wall is proposed at the front of the lot from the sidewalk to the deck at the front of the house. The ramp and retaining walls will be constructed in the right-of-way along the sidewalk at the front/west, and along the north property line. The interior retaining walls will allow the slope of the front yard to be more level, so that it will provide a safer yard for the Owners use. A wood ramp will connect the top landing to the deck at the front door.

An Encroachment Permit was approved on Oct. 15, 2014, and the Owners have submitted the required Acceptance of Encroachment Permit Terms to the City.

A continuous roof is proposed over the existing decks along the front/west and south side of the house, to provide shelter at the front and side doors, and allow easier maneuvering for access to the back yard and garage when a wheel chair or walker is needed. The roof will help minimize snow accumulation, freezing rain/ice build up, and provide a more effective access in the winter. It will also provide shade in summer, for a more comfortable use of the outdoors.

### Variance Statement

#### (1) Practical difficulties

The property currently slopes sharply down to the front sidewalk and the adjacent property to the north. The grade change of the site and the slope requirements of a handi-cap ramp require that the entire length of the west and north side of the front yard be used for the ramp. Locating concrete retaining walls on the property line will allow the best access.

A wood ramp would be required to be set back one foot from the property line. The area around a wood ramp would be much more difficult to maintain because of the spaced posts, and the sloping grade under it. It would also limit the ability to retain the grade at the interior side of the ramp, as it moves up the hill.

A concrete ramp is the more durable, easier to maintain, and is better for snow removal than a wood ramp. Concrete retaining walls are proposed to be along the north property line — they are allowed where natural grade is retained. The grade difference between the front yard and the neighbor to the north is approximately 6 ft. The grade along the property line at the front yard varies from 2 ft. to 5 ft. above the sidewalk. The elevation of the interior yard is higher, so interior retaining walls will also be required.

We considered other options for the ramp, and feel the proposed configuration is the best option. Reversing the ramp to start at the NW corner and continue along the south property line would have killed the only tree in the front yard, and could have compromised the neighbors garage. In addition the length would have had to extend into the side yard, or double back to achieve the required length.

After reviewing with staff, we reduced the height of the interior retaining wall to 4 inches above the NW landing and above the north ramp.

The front/west side of the house is 27 ft. 1.2 in. from the property line. The existing deck is 6 ft. wide, and 21 ft. 1.2 in. from the front property line. The roof posts will be installed outside of the deck structure. These will comply with the 20 ft. setback requirement for the R1A zoning.

The north side of the existing home and the south deck already encroach on the 5 ft. setback. The north side of the existing house is 4 ft. 9.6 in. from the property line, less that the 5 ft. setback required. The new roof structure over the existing deck at the front of the house will match the width of the house, and not encroach any further. Doing so will maintain the exterior character of the house, without introducing an unusual element at the side of the roof.

The posts for the proposed south roof structure will also be within the 5 ft. setback requirement. The south side of the house is 8 ft. 7.2 in. from the property line. The existing 4 ft. wide deck, built in 1996, already encroaches on the 5 ft. setback. The post supports for the new roof over the deck will be just outside of the deck, or approximately 3 ft. 8 in. from the property line. With this approach the existing deck will not have to be disassembled, and can remain in place to maintain access to the garage while the roof is constructed. The roof overhang will be 2 ft. or more from the property line.

#### (2) Use of property

The property will continue to be used as it has been, a single family residence. The proposed projects will provide improvements that will make the front and back yards more accessible, and allow the family to remain in their home as they age. The roof structures will allow a sheltered area for the Owners to access the front and back yard. Improvements will be consistent with other retaining walls and houses in the area. The changes are in keeping with the intent of local ordinances and the comprehensive plan.

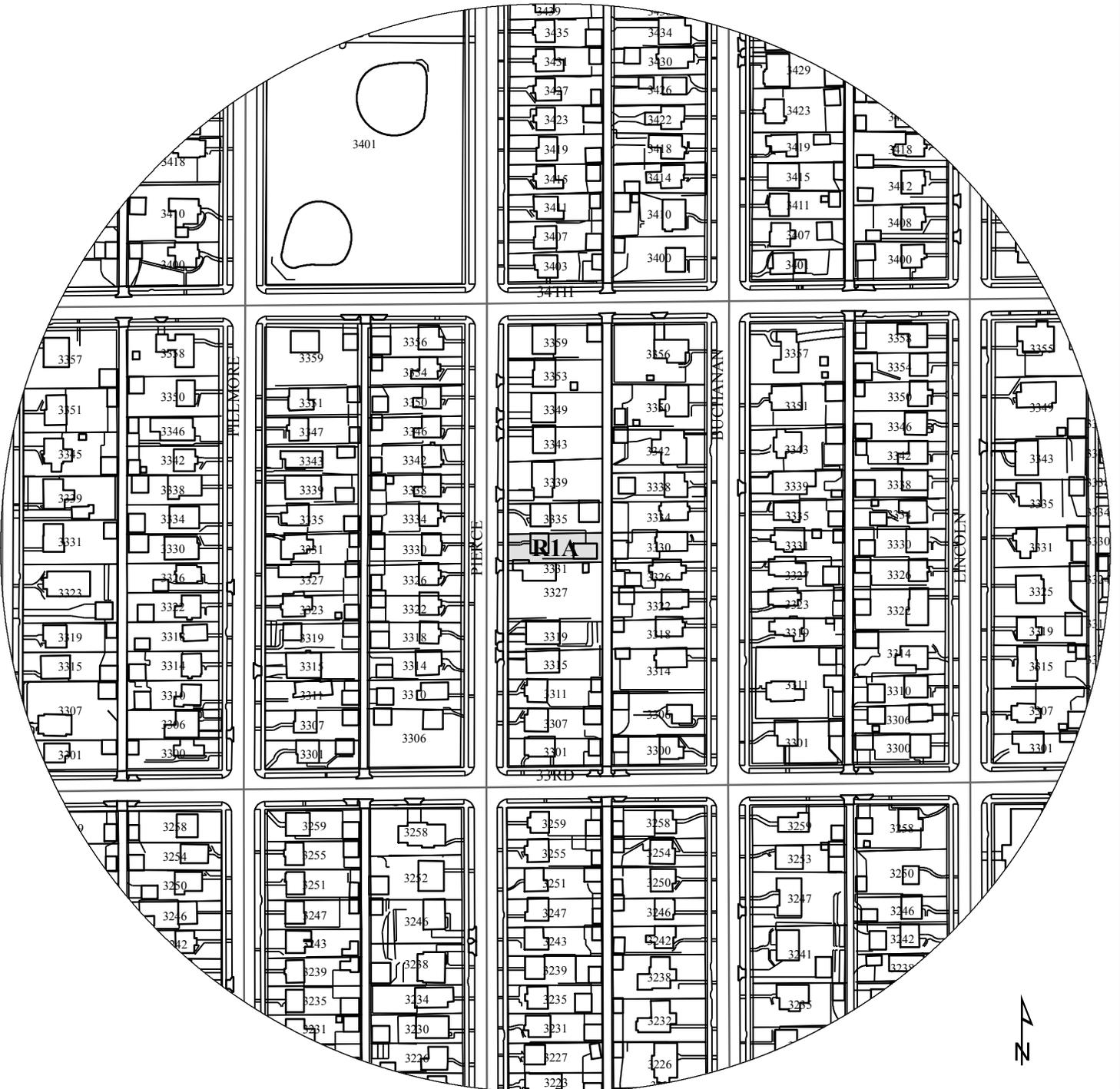
(3) The proposed changes to the site will maintain and enhance the character of the home, will create a safer access to the front door by eliminating exterior steps, and will improve the ability to use the front yard without the hazards created by a steep grade. The grade changes significantly from the street to the alley, and from 33rd to 34th. The relationship of the homes to the street varies along Pierce Street to accommodate these elevation changes. Improvements will be consistent with other retaining walls and houses in the area.

# Elizabeth and Kenneth MacCaskie

1

NAME OF APPLICANT

WARD



PROPERTY ADDRESS  
**3331 Pierce St NE**

FILE NUMBER  
**BZZ-6976**

# ADVANCE SURVEYING & ENGINEERING CO.

5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474-7964 Fax (952) 474-8267

SURVEY FOR: **KEN MACCASKIE**

SURVEYED: April, 2004

DRAFTED: April 8, 2004

### LEGAL DESCRIPTION:

Lot 23, Block 14, Arlington Heights, Hennepin County, Minnesota.

### LIMITATIONS & NOTES:

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.
4. Showing elevations on the site at selected locations to give some indication of the topography of the site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the map when determining other elevations for use on this site.

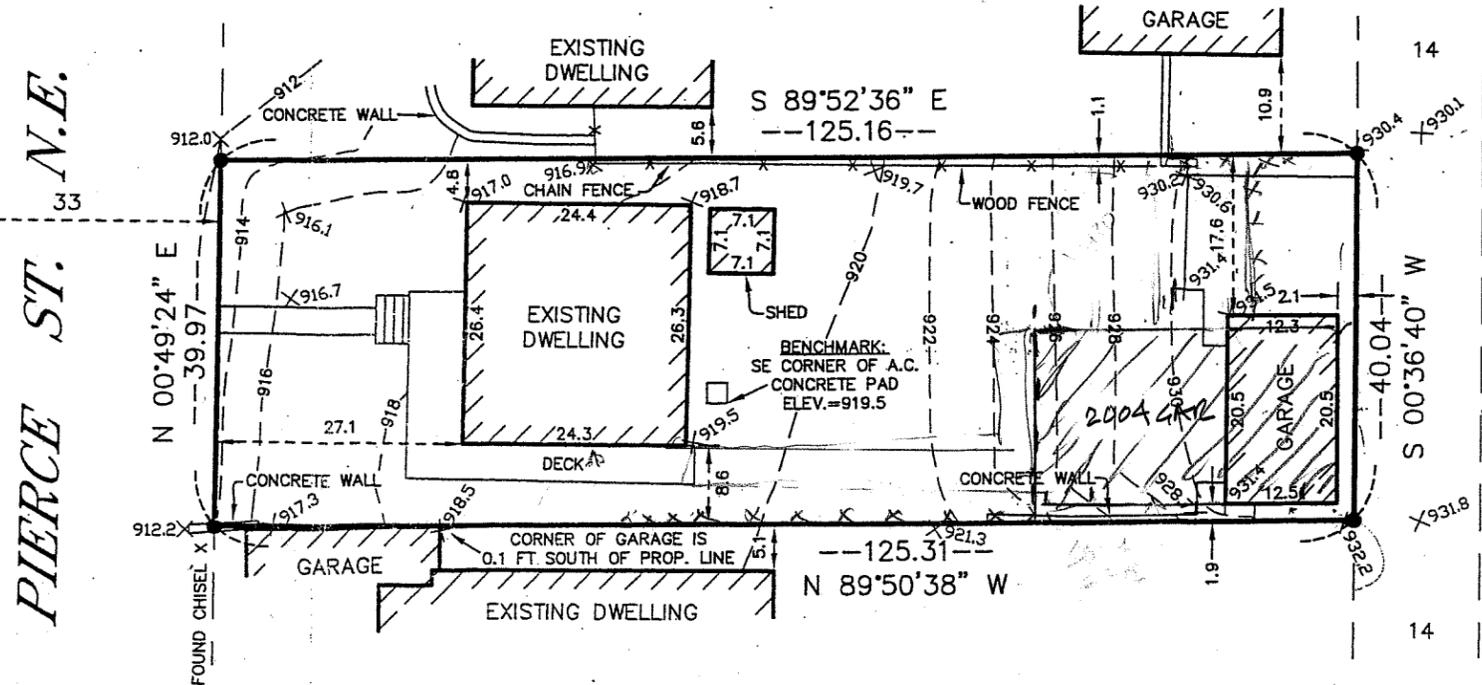
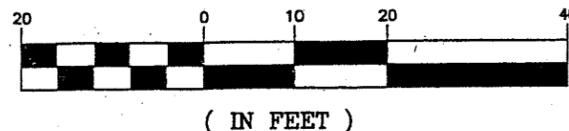
### STANDARD SYMBOLS & CONVENTIONS:

"●" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, unless otherwise noted.

I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a licensed Professional Engineer and Professional Surveyor under the laws of the State of Minnesota.

*James H. Parker*  
 James H. Parker P.E. & P.S. No. 9235

### GRAPHIC SCALE



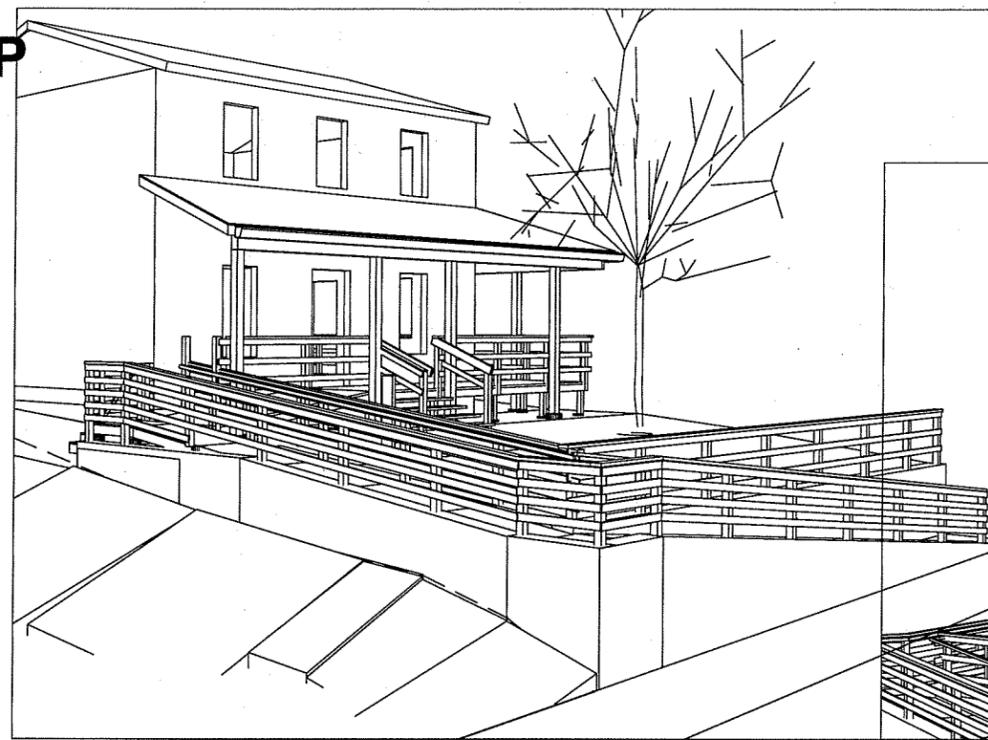
# MacCASKIE PORCH & RAMP

## 3331 PIERCE STREET NE

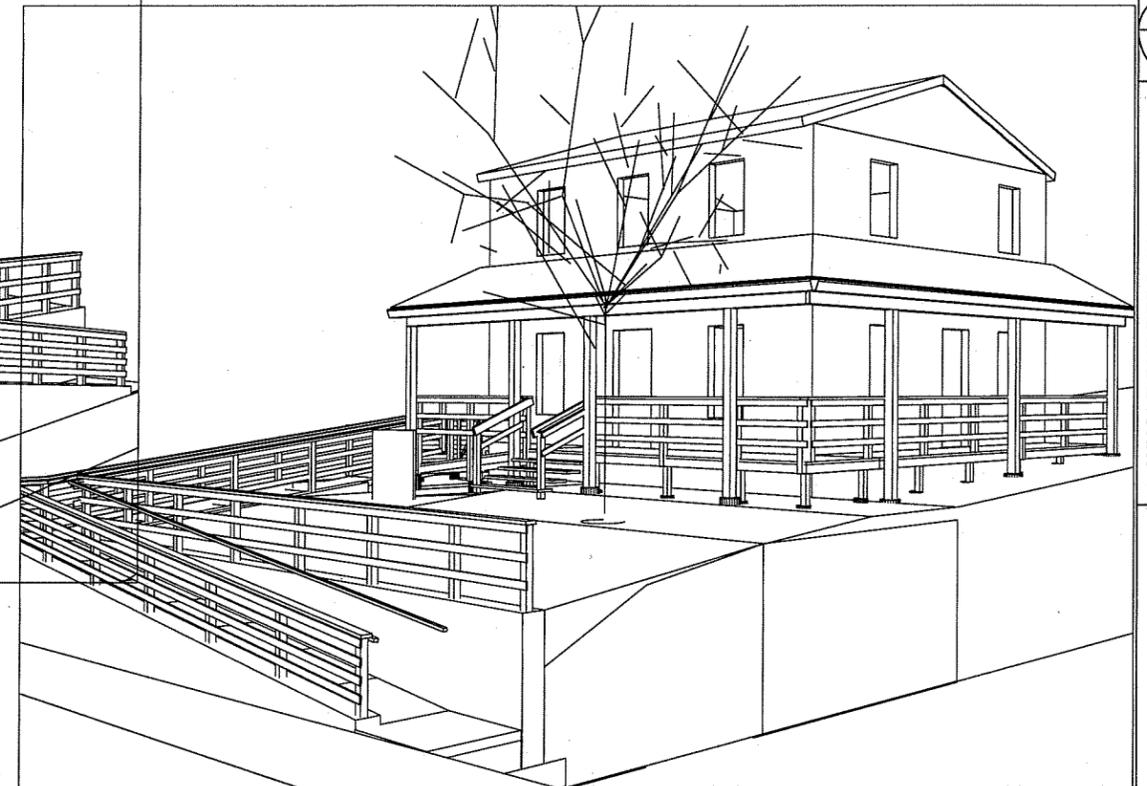
## MINNEAPOLIS, MN 55418

### PROJECT SHEET INDEX

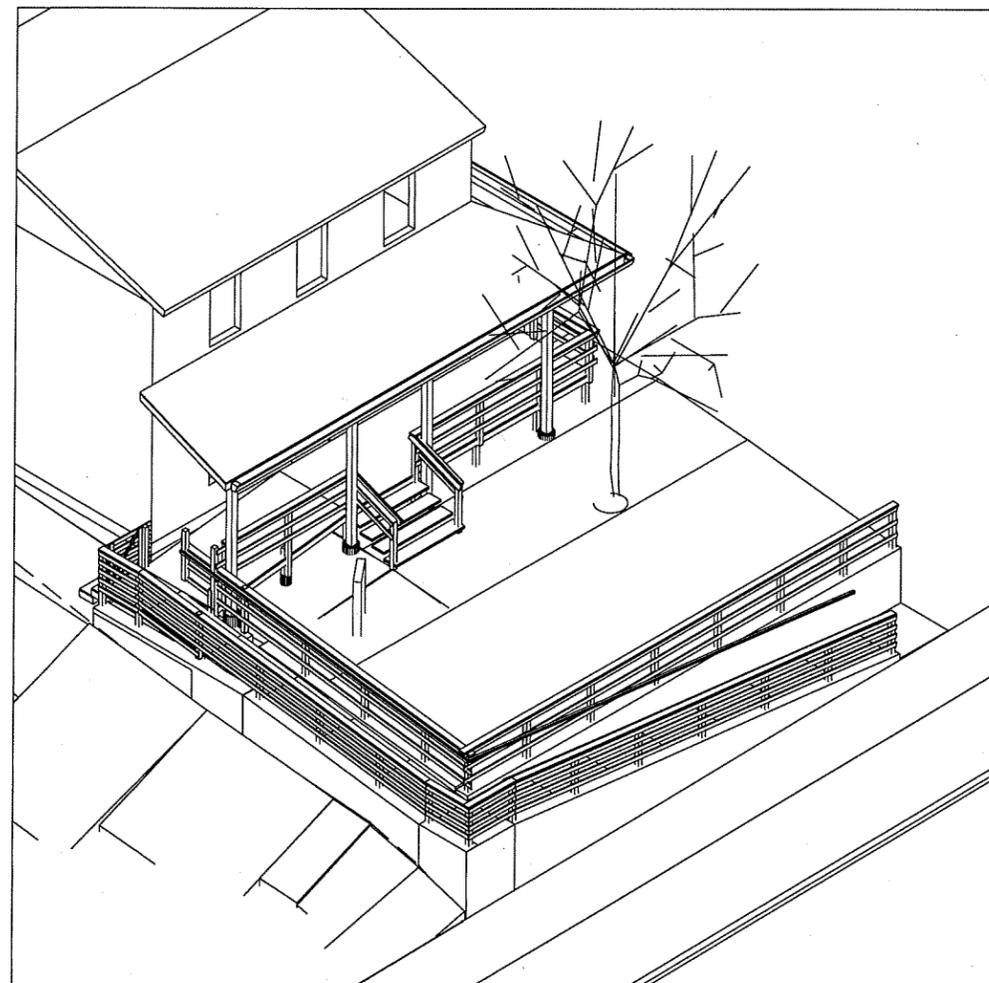
- A-1 TITLE SHEET  
PERSPECTIVES  
SITE PLAN
- A-2 FOUNDATION PLAN
- A-3 FIRST FLOOR PLAN
- A-4 WEST ELEVATION
- A-5 SOUTH ELEVATION
- A-6 NORTH ELEVATION
- A-7 SECTION - WOOD RAMP
- A-8 SECTION - WEST - EAST  
SECTION - SOUTH - NORTH



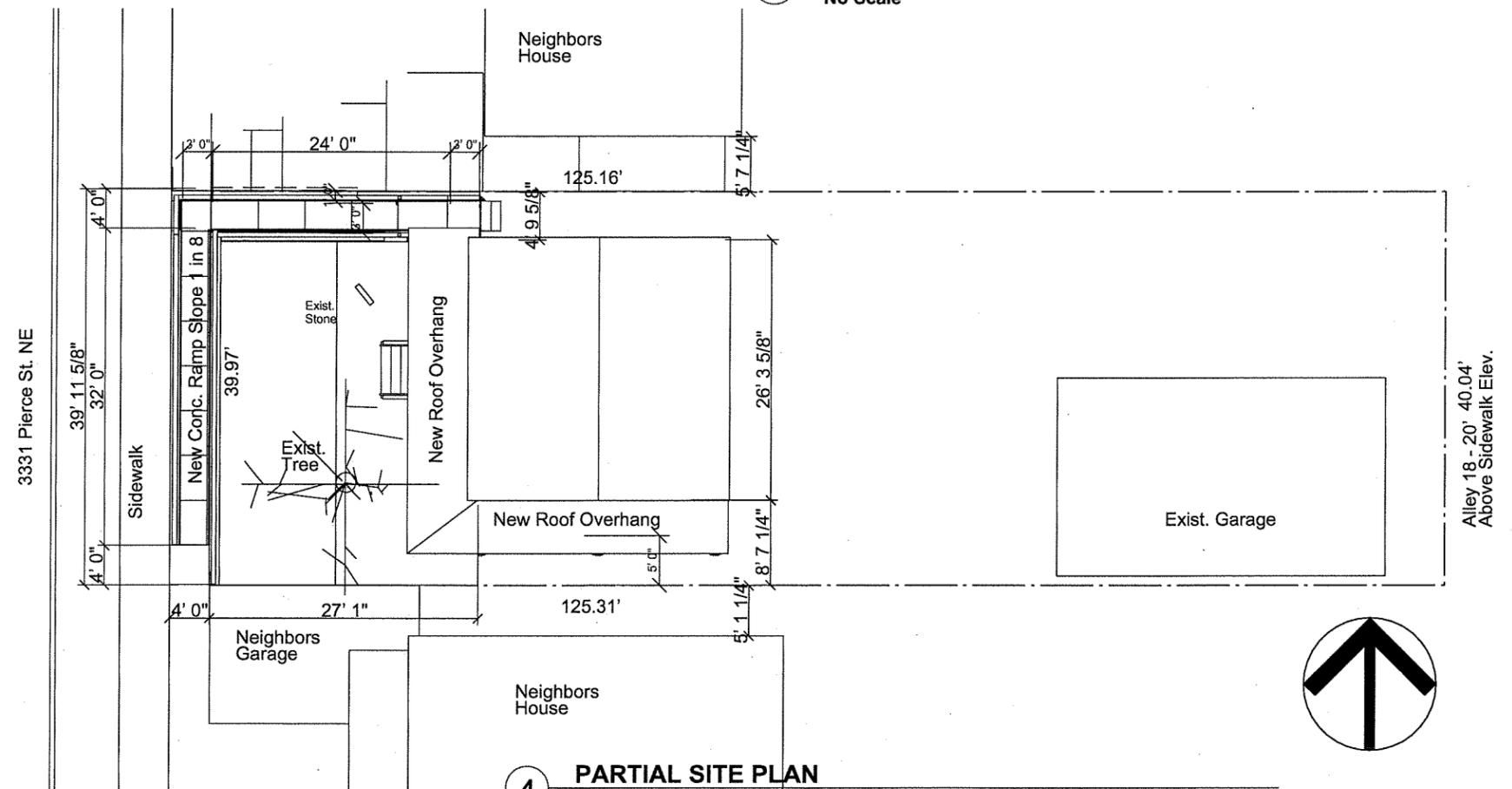
**1 PERSPECTIVE NW**  
No Scale



**2 PERSPECTIVE SW**  
No Scale



**3 AXO NW**  
No Scale



**4 PARTIAL SITE PLAN**  
1/16" = 1'-0"

WHOLE BUILDERS COOPERATIVE  
2928 FIFTH AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA 55408  
Architects General Contractors Cabinetmakers  
612-824-6567 / FAX 612-824-9387 Mn. Lic. No. 3093

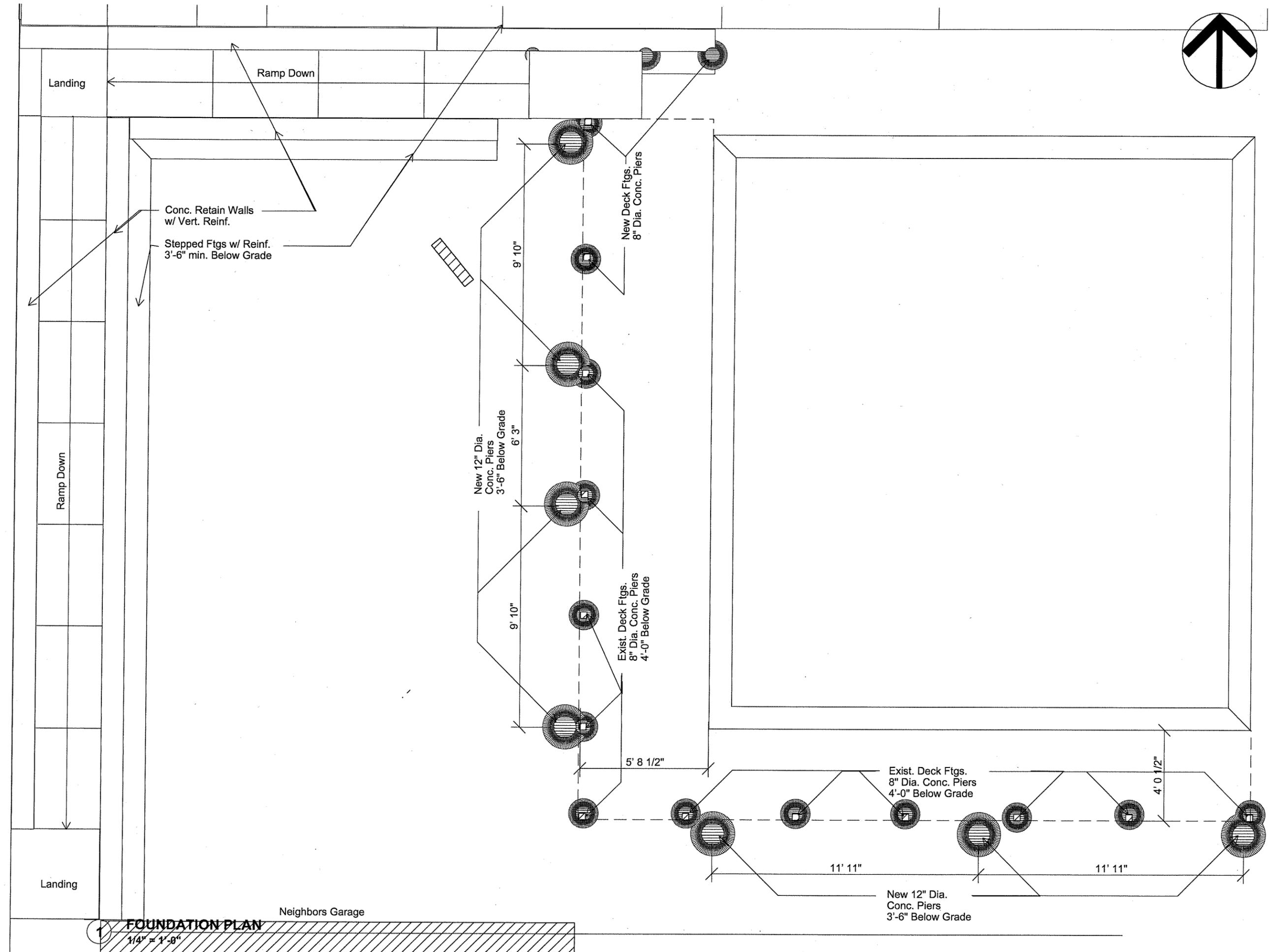
06-16-2014  
01-25-2015

Title Sheet  
Perspectives  
Site Plan

Liz & Ken MacCaskie  
3331 Pierce Street NE  
Minneapolis, MN 55418  
Ph: 612-769-4541 Email: liz@lizshomeservices.com

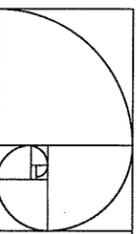
A1

Exist. Sidewalk



**FOUNDATION PLAN**

1/4" = 1'-0"



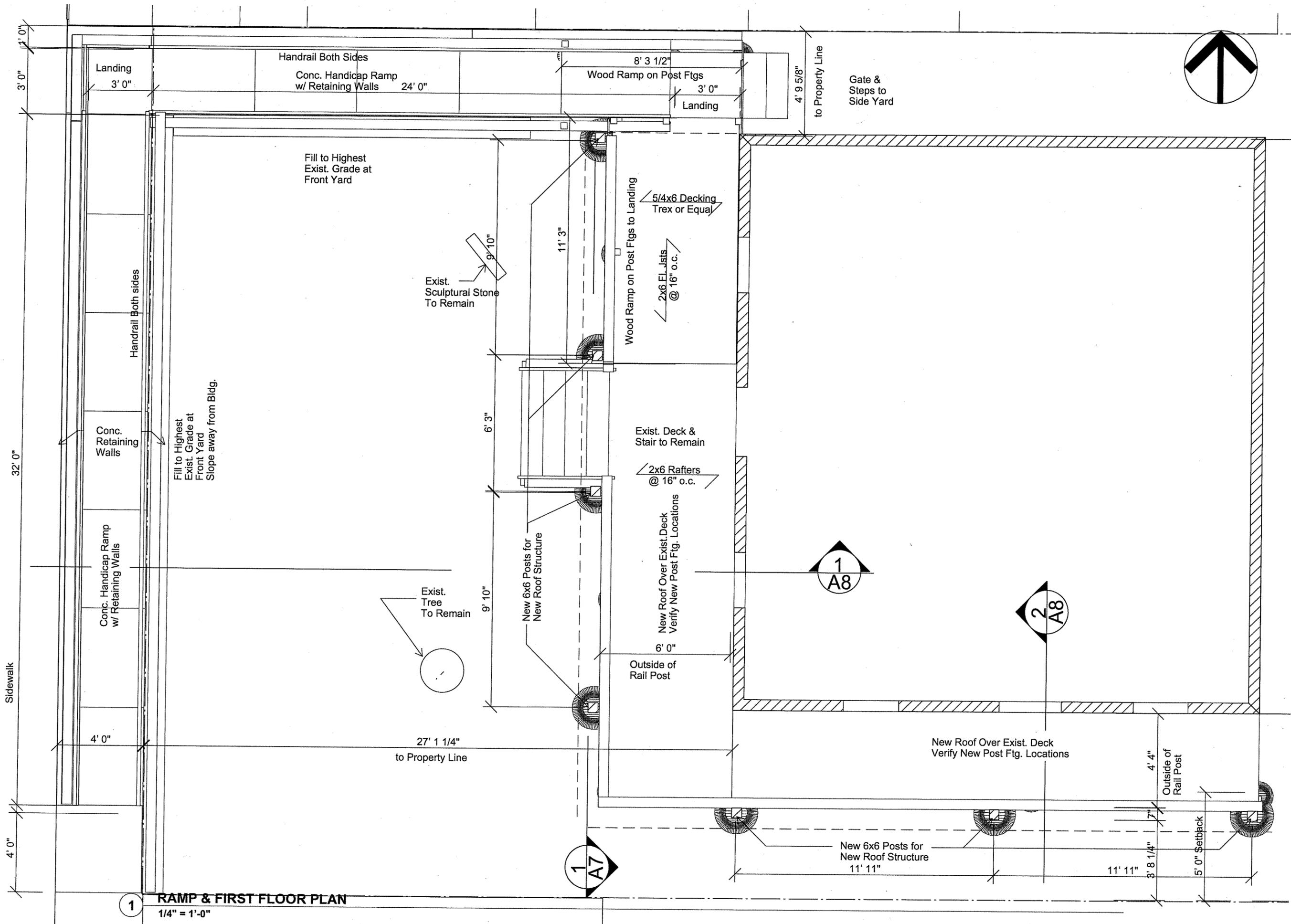
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 Architects, General Contractors, Cabinemakers  
 612-824-6567 / FAX 612-824-9387 Mr. Lic. No. 3093

06-16-2014  
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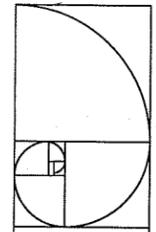
**Foundation Plan**

**Liz & Ken MacCaskie**  
 3331 Pierc Street NE  
 Minneapolis, MN 55418  
 Ph: 612-789-4541 Email: liz@lizshomeservices.com

**A2**



1 RAMP & FIRST FLOOR PLAN  
1/4" = 1'-0"



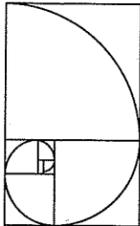
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01-25-2015

Ramp &  
First Floor Plan

Liz & Ken MacCaskie  
3331 Pierc Street NE  
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Ph: 612-789-4541 Email: liz@lizshomeservices.com

A3



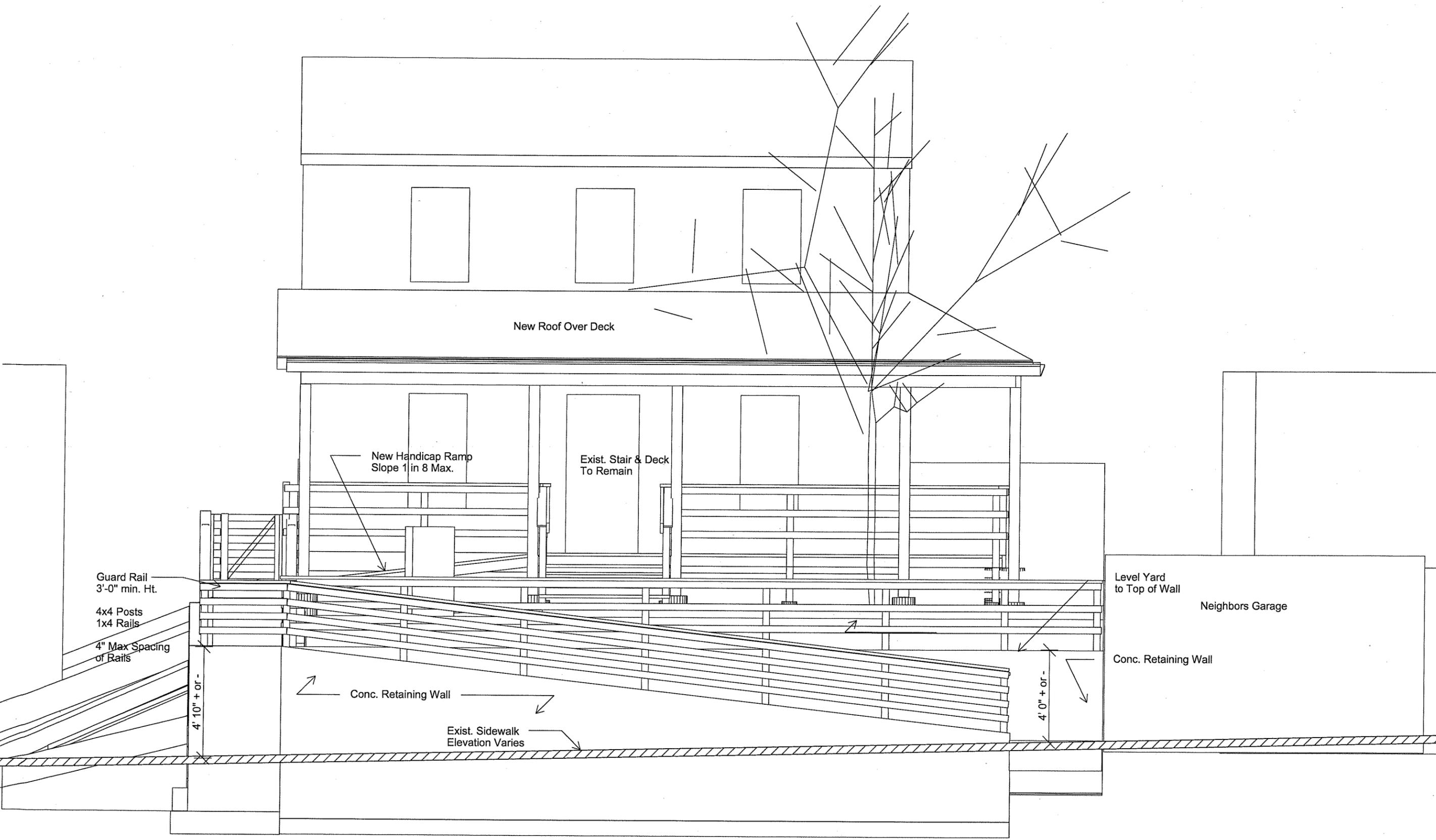
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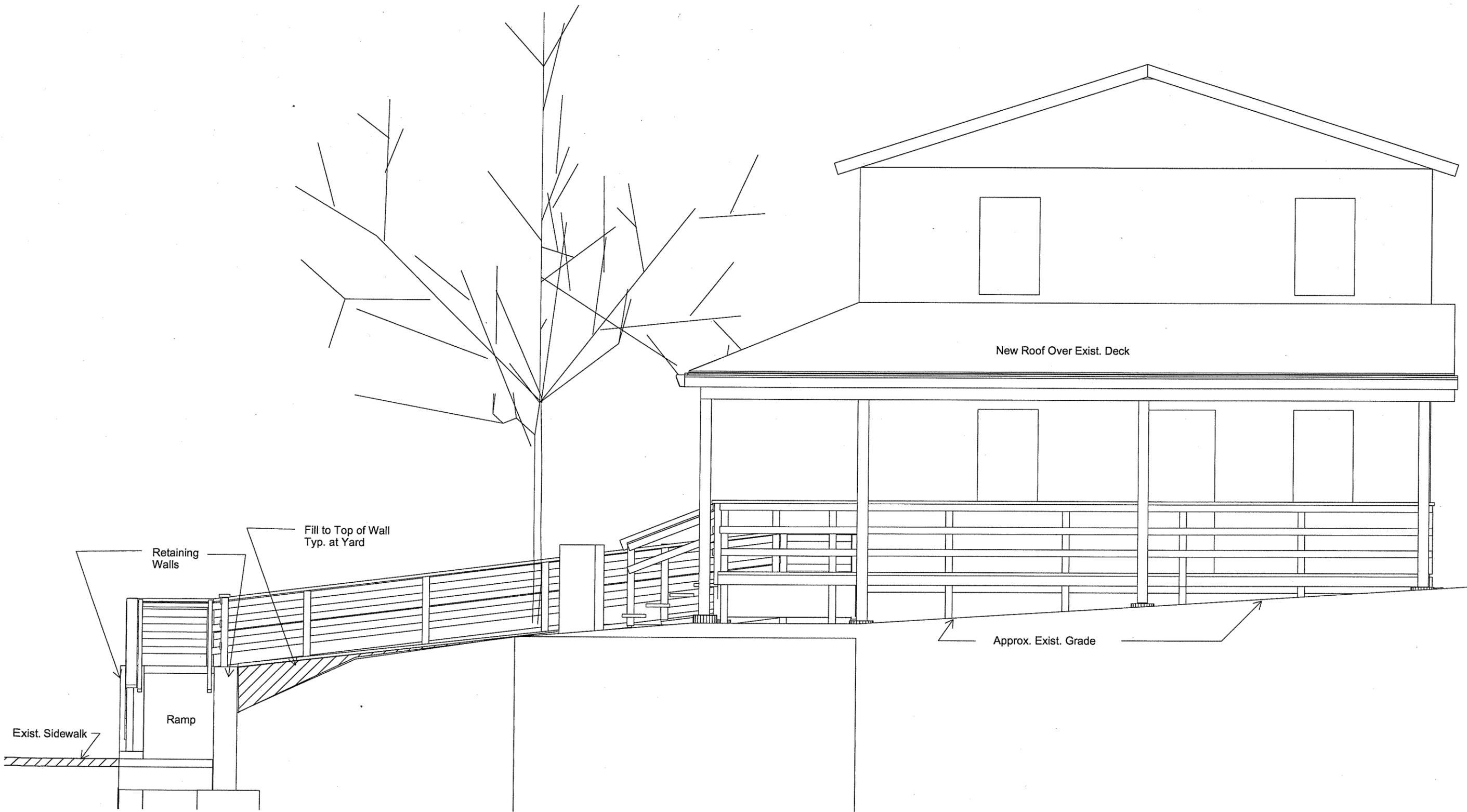
**West Elevation**

**Liz & Ken MacCaskie**  
 3331 Pierc Street NE  
 Minneapolis, MN 55418  
 Ph: 612-789-4541 Email: liz@lzhomeservices.com

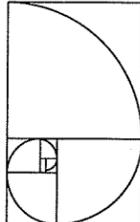
**A4**



**1 WEST ELEVATION**  
 1/4" = 1'-0"



1 SOUTH ELEVATION  
1/4" = 1'-0"



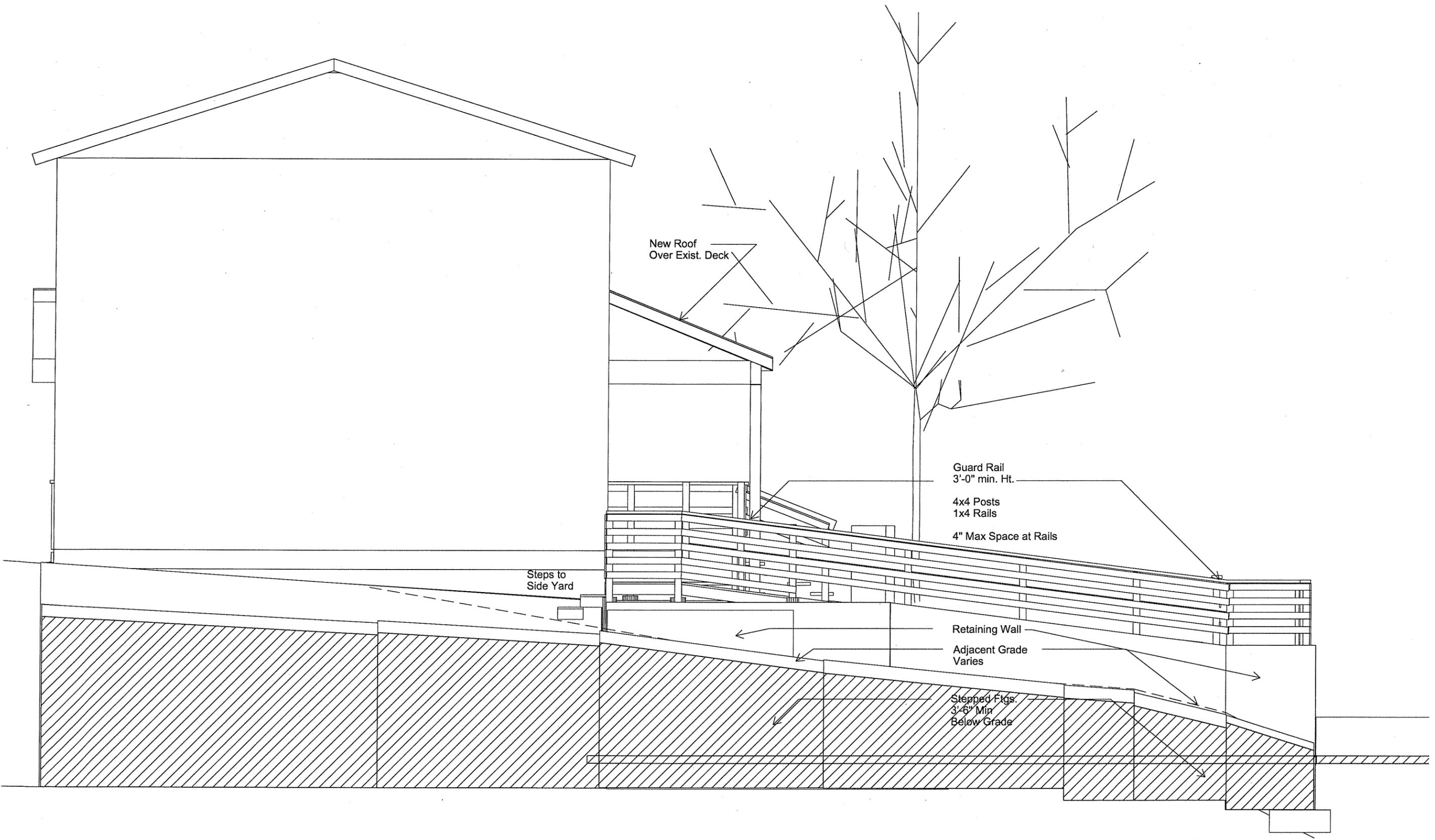
WHOLE BUILDERS COOPERATIVE  
2928 FIFTH AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA 55408  
Architects General Contractors Cabinemakers  
612-824-6367 / FAX 612-824-9387 Min. Lic. No. 3093

06-16-2014  
01-25-2015

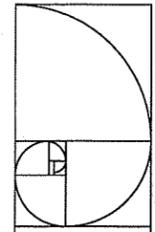
South Elevation

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A5



**1 NORTH ELEVATION**  
 1/4" = 1'-0"



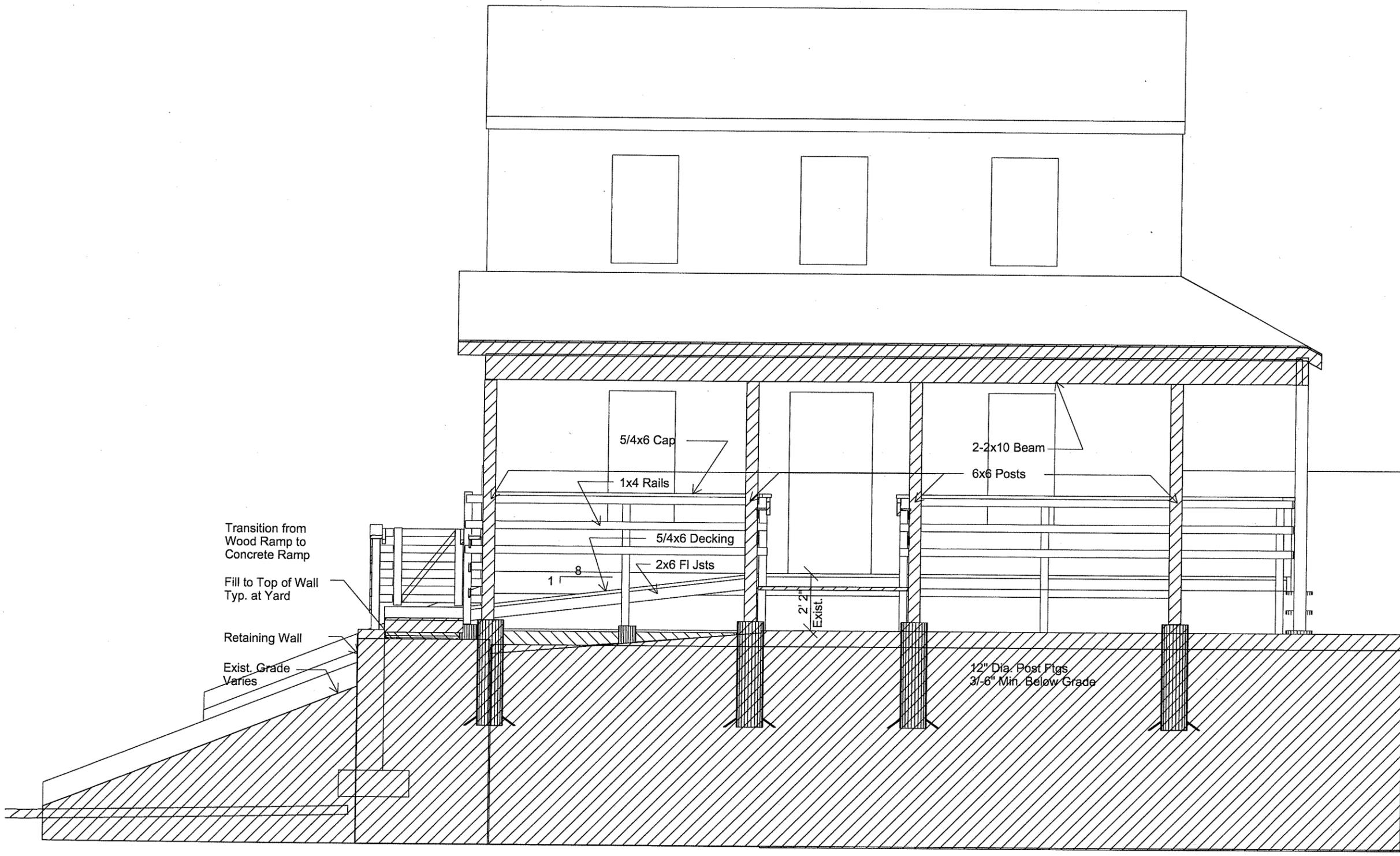
**WHOLE BUILDERS COOPERATIVE**  
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 MINNEAPOLIS, MINNESOTA 55408  
 Architects General Contractors Cabinetmakers  
 612-824-6567 / FAX 612-824-9387 Mn. Lic. No. 3093

06-16-2014  
 01-25-2015

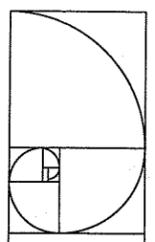
**North Elevation**

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**A6**



**1 SECTION - DECK RAMP NORTH - SOUTH**  
 1/4" = 1'-0"



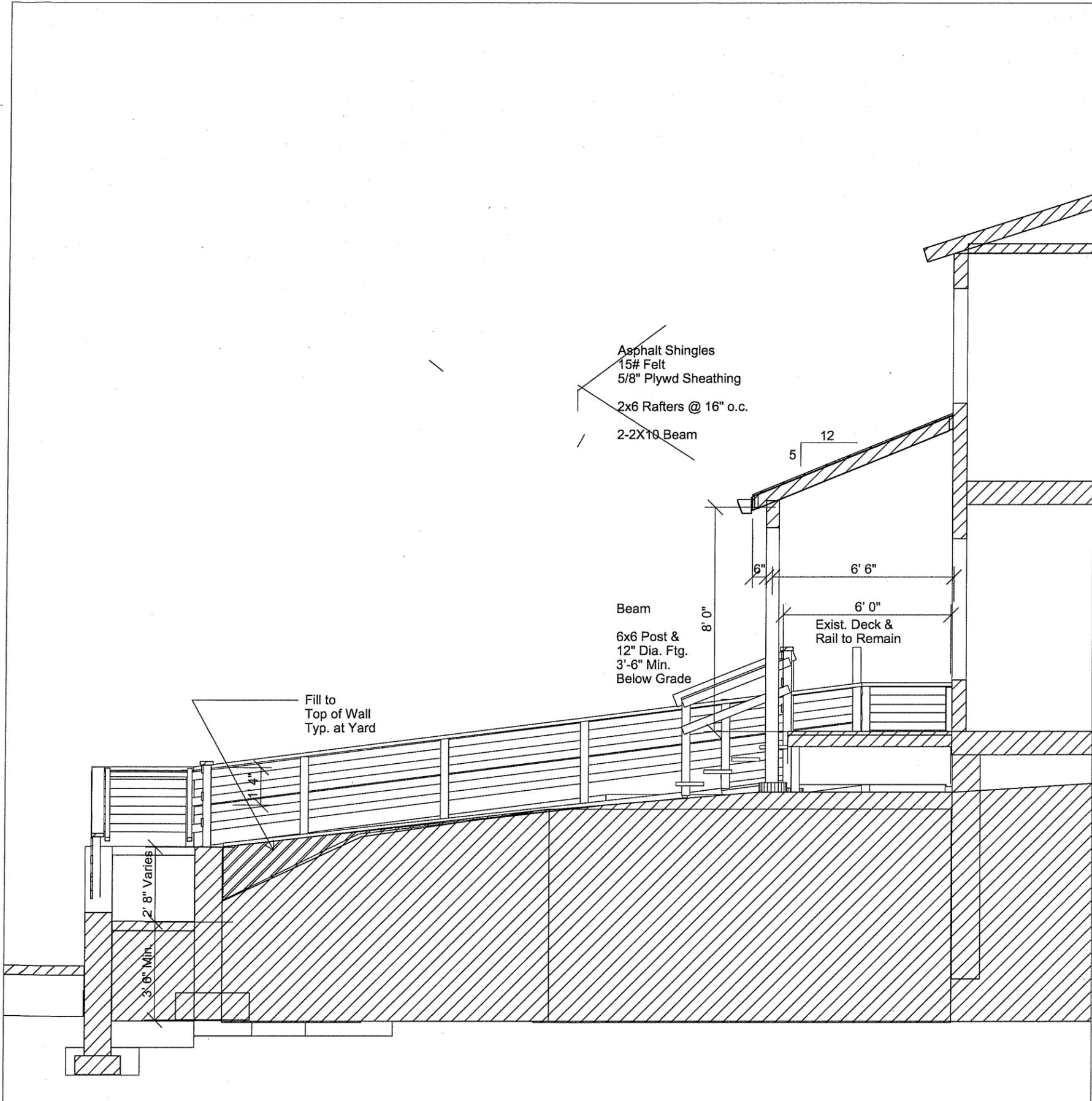
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 Architects General Contractors Cabinetmakers  
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06-16-2014  
 01-25-2015

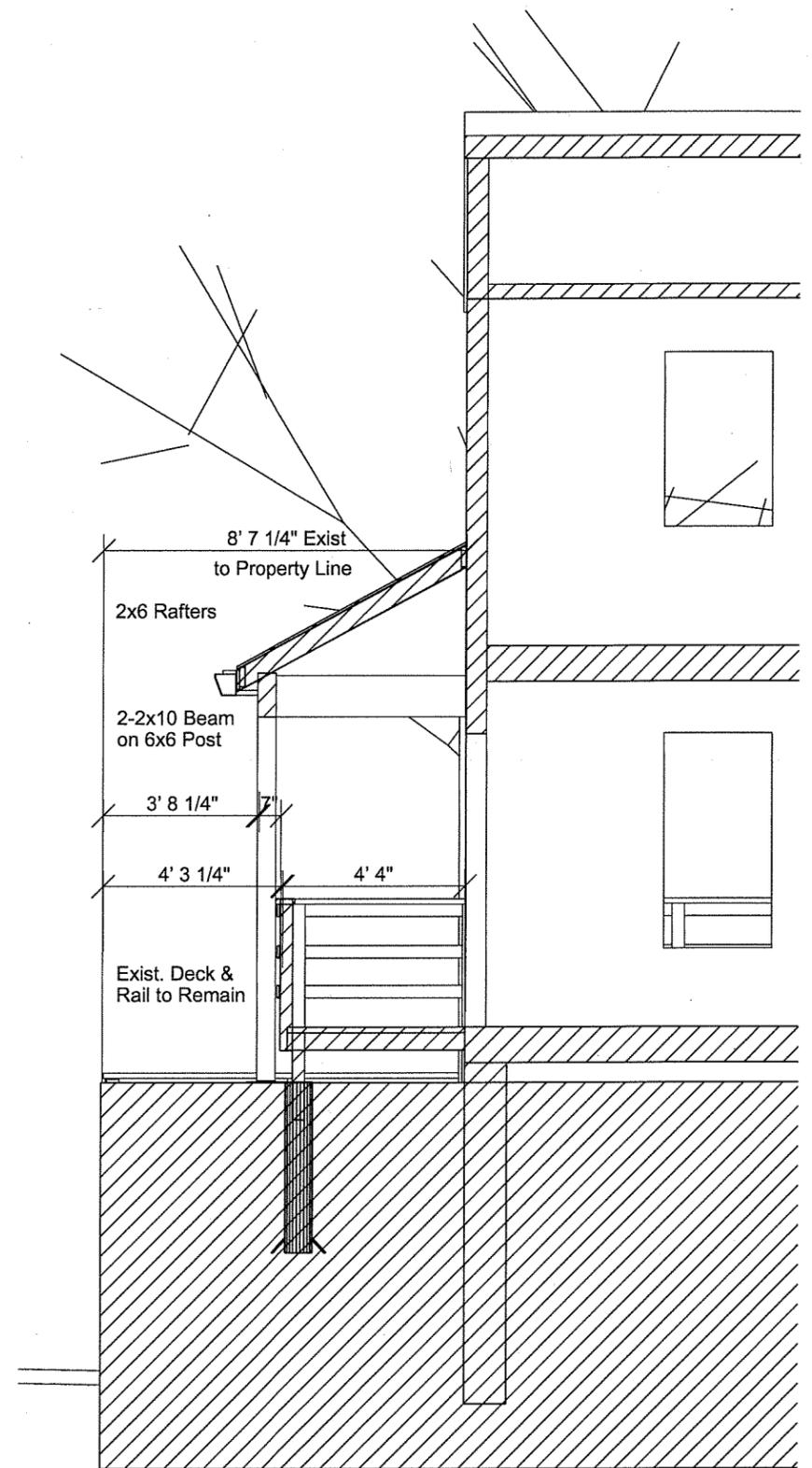
**Section - Deck Ramp  
 - North - South**

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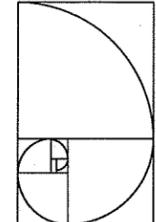
**A7**



**1 SECTION - WEST - EAST**  
1/4" = 1'-0"



**2 SECTION - SOUTH - NORTH**  
1/4" = 1'-0"



**WHOLE BUILDERS COOPERATIVE**  
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06-16-2014  
01-25-2015

**Section - West - East**  
**Section - South - North**

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**A8**









3331





