



MEMORANDUM

TO: City Planning Commission, Committee of the Whole
FROM: [Becca Farrar- Hughes](#), Senior City Planner, (612) 673-3594
DATE: January 29, 2015
SUBJECT: 701 7th Street North & 618 7th Avenue North - Lockup Self Storage

The applicant proposes to construct a new 5-story or 56 foot tall, 100,135 square foot, self-service storage facility that includes 11 off-street parking spaces on the properties located at 701 7th Street North and 618 7th Avenue North. The properties are both zoned I2 (Medium Industrial) District and are located in the DP (Downtown Parking) Overlay District.

The subject parcels are partially occupied by a vacant single-story industrial building that has an entrance along 7th Street North at the intersection with Oak Lake Avenue. The building would be razed in order to construct the proposed building should it be approved. The proposed use as a self-service storage facility is permitted in all industrial districts. The 11-space accessory surface parking lot requires a conditional use permit in the DP Overlay District.

The exterior materials proposed on the building include precast concrete panels, precast brick panels, various types of metal panels, metal elements, overhead doors as well as clear and spandrel glass.

The applicant has not submitted plans for Preliminary Development Review. Land use applications have been submitted and are currently being reviewed for completeness. Based on a cursory review of the submitted plans, the following land use applications appear necessary:

- (1) Conditional Use Permit to allow an increase in height from 4 stories or 56 feet to 5 stories or 56 feet.
- (2) Conditional Use Permit to allow an 11-space accessory surface parking lot in the DP Overlay District;
- (3) A variance of the off-street parking requirement from 24 spaces to 11 spaces;
- (4) A variance to allow a wall sign at a height taller than 28 feet on the west elevation of the building;
- (5) A variance to allow signage on a non-primary building wall (west) where no signage is permitted;
- (6) Site plan review.

The project was originally discussed at a Planning Commission Committee of the Whole meeting in December of 2014. The applicant was encouraged to completely redesign the site. While slight improvements have been made, CPED Staff still has strong concerns regarding the overall design and placement of the proposed building.

The building does not meet Chapter 530 design standards regarding window requirements including required percentages as the only windows with clear glass that allow views into and out of the building are located on a portion of the ground level of the north and east elevations of the building. All other windows in the building are either spandrel glass or are clear glass that look into display windows, which does not meet the requirements of the site plan review ordinance. The windows that allow views into and out of the building are not evenly spaced. The building is massive, blocky and not well-articulated; the level of detail provided makes it difficult to discern whether the elevations meet the blank wall provision. The building does not reinforce the street wall along 7th Street North and the ground-level of the building facing 7th Avenue North is devoid of windows that allow views into and out of the building. While the corner of the building which faces 7th Street North and Oak Lake Avenue now includes clear glazing and an entrance it is also indicated as a display area.

As a reminder, the only Chapter 530 standards that are relaxed given the proposed industrial use are as follows:

- Industrial uses in Table 550-I, Principal Uses in the Industrial Districts, may provide less than thirty (30) percent windows on the walls that face an on-site parking lot, provided the parking lot is not located between the building and a public street, public sidewalk or public pathway.
- *Ground floor active functions.* Except for industrial uses in Table 550-I, Principal Industrial Uses in the Industrial Districts, the first floor or ground level of buildings shall be designed to accommodate active functions by ensuring that parking, loading, storage, or mechanical equipment rooms are limited to no more than thirty (30) percent of the linear building frontage along each wall facing a public street, public sidewalk, or public pathway.

**PROPOSED DEVELOPMENT OF 701 N. 7th STREET
MINNEAPOLIS, MINNESOTA**

**SUBMITTED TO:
COMMITTEE OF THE WHOLE
PLANNING COMMISSION
MINNEAPOLIS, MINNESOTA**

**SUBMITTED BY:

BRB DEVELOPMENT, LLC
THE LOCK UP SELF STORAGE CENTERS
800 FRONTAGE ROAD
NORTHFIELD IL 60093
847.446.7872
JANUARY 8, 2014**

CITY OF MINNEAPOLIS, MINNESOTA

PROPOSED DEVELOPMENT OF THE LOCK UP SELF STORAGE CENTER AT 701 N. 7th STREET, MINNEAPOLIS, MINNESOTA

COMPANY HISTORY AND INTRODUCTION

The Lock Up Self Storage Centers were started in 1976 by two friends and entrepreneurs, Robert Soudan Sr. and Charles Sample Sr. From their initial project on Willow Road in Northbrook, IL, the company has steadily grown to be a leader in the self storage industry. Renowned nationally for building award winning projects, The Lock Up specializes in building interior-access, climate-controlled facilities in high-end communities nationwide.

The Lock Up Self Storage Centers (and its development arm, BRB Development) currently owns and operates 30 storage facilities located in 8 states. Since 2007, we also have owned and operated a self storage platform in Europe.

In 2005 we formed a long term investment partnership with Evergreen Real Estate Partners, a controlled affiliate of the Washington State Investment Board (WSIB). WSIB represents and manages the pension and retirement contributions for all state employees in the Washington State system.

Product Attributes:

We prefer to locate in dense, affluent communities where our target real estate has:

- Good visibility
- Good traffic flow and access
- Our current property portfolio is located near or adjacent to:
 - Major Regional Malls
 - Grocery Anchored Community Centers
 - Professional Office Parks
 - Medical Office Buildings
 - Entertaining and Dining
 - Residential Neighborhoods
 - We do not locate in industrial parks, as it is negatively viewed by our customers

Customer Profile:

Across our portfolio nationally, roughly 75% of our customers are residential users, 20% are commercial users and the remaining 5% are college students and military personnel.

Customer Profile (continued):

The majority of our customers are women. They are the decision makers and they base their storage decisions on several key criteria:

- Safety and Security
 - Large glass enclosed offices with a professional staff
 - Enclosed loading and unloading areas
 - High Tech Security
 - Motion sensor lighting

- An attractive and comfortable facility that has:
 - Architecturally attractive building design
 - A climate controlled environment for the safety of their goods (both heated and air conditioned)
 - Fully carpeted hallways and storage units, to cut down on noise and dirt
 - Hallway intercoms, to communicate at all times with the property manager

Typically, over 90% of our customers come from within a 5 mile radius of our project location. In effect, our customers are our neighbors. As a result, we pride ourselves on working with the communities that we operate within. We strive to be an asset within the community.

THE PROJECT

We propose a 5-story, fully-enclosed, climate-controlled, investment grade self storage facility. The architectural style is illustrated in the attached drawings and renderings, as well as our existing facilities in other high-end communities around the U.S. Examples of current facilities we have built in Illinois, Minnesota and Florida can be found on our website at www.thelockup.com. Specific examples of Twin City facilities are:

- Minneapolis – 1355 Industrial Boulevard
- Bloomington – 221 American Boulevard
- Plymouth – 2960 Empire Lane
- Eden Prairie – 12995 Valley View Road
- Golden Valley – 6250 Olson Memorial Highway (under construction)

The building is sited to respect N. 7th Street to the northeast, Oak Lake Avenue to the east and 7th Avenue N. to the south. A 0' setback is used to the south, but an increased setback with a southeast cut away is used on the other streets to provide additional room for a landscaped plaza as a public amenity. Lock Up customers will enter the property via a curb cut off of N. 7th Street and an entrance door also facing the street. The glass enclosed office will wrap around the east end of the building with additional space for seating and product display. In the future (when the neighborhood has developed and can support it), this east end of the building is available to be retrofitted to accommodate a café, coffee shop or other small business that could make use of the plaza area for outdoor seating. Adjacent to the west side of the office area will be an enclosed drive-in loading and unloading area for Lock Up customers. An access-code activated elevator is immediately off of the loading area. Energy efficient lighting is controlled by strategically

placed motion sensors. Customer movement within the facility is tracked and recorded via a high tech digital security system. The building is also climate controlled using energy efficient HVAC units. The Lock Up is one of the few self storage operators in the U.S. that has carpeted hallways and storage units.

The Project will be professionally staffed and open to customers:

Monday – Friday	8:00 AM to 6:00 PM
Saturday	8:00 AM to 6:00 PM
Sunday	9:00 AM to 5:00 PM

We are closed for major holidays.

If a customer needs to access their storage unit before or after our normal operating hours, they can only access the facility via an individual access code which also monitors their movements. The only hours that they can independently access their unit would be:

Mornings:	6:00 AM to 8:00 AM
Evenings:	6:00 PM to 8:00 PM

701 N. 7th Street is currently occupied by a vacant single story industrial building. This building will be removed and an entirely new building developed.

The proposed building will be a 5 story, 100,135 square foot facility constructed of painted exterior precast concrete walls with a brick formliner and metal panels (on upper floors of the building only). The facility will include display windows on all sides and signage as shown, subject to approval of variances by the City.

Building Height	Proposed	56'-0"
	Allowed	56'-0"
Building Area/F.A.R.	Proposed	100,135 sf/ 2.7
	Allowed	100,137 sf/ 2.7
Parking	Proposed	11 spaces

COMPREHENSIVE PLAN AND ZONING CONSISTENCY

Comprehensive Plan:

The property is designated by the Comprehensive Plan for Transitional Industrial Uses and is in the “Lower Mix” Land Use District in the North Loop Small Area Plan (the “Plan”). The Plan states, with respect to the Lower Mix District:

The Lower Mix District currently is an eclectic mix of public works properties, the Minneapolis Farmers Market, large warehouses, private industrial and commercial businesses, and social service housing providers. This Plan proposes to continue this diversity of uses.

The Plan also places the property in Development Intensity District B. The Plan calls for the following in Development Intensity District B:

Appropriate building types include housing, commercial, and industrial structures of two (2) to ten (10) stories. This type is generally consistent with the bulk and height of historic warehouse structures in the neighborhood.

The Project is a 5-story, 100,135 square foot commercial warehouse building, which is exactly what the North Loop Small Area Plan calls for in this location. The project also provides the opportunity for a mixed use component with the future retail/coffee shop tenant space.

Zoning:

The property is located in the I-2, Medium Industrial Zoning District. Pursuant to Section 550.30 and Table 550-1 of the Zoning Ordinance, “self service storage” is an “industrial use” and a “permitted use” in the I-2 Zoning District.

As a nonresidential building of 20,000 or more square feet, the building requires site plan review. Pursuant to Section 530.70 of the Zoning Ordinance, the Planning Commission shall approve the site plan if:

- (1) The site plan conforms to all applicable standards of this Chapter.
- (2) The site plan conforms to all applicable regulations of this Zoning Ordinance and is consistent with the applicable policies of the Comprehensive Plan and applicable small area plans adopted by the City Council.

The building has been located and designed to comply with the standards set forth in Sections 530.110 and 530.120 (with some minor deviations), which regulate building placement and building design, as follows:

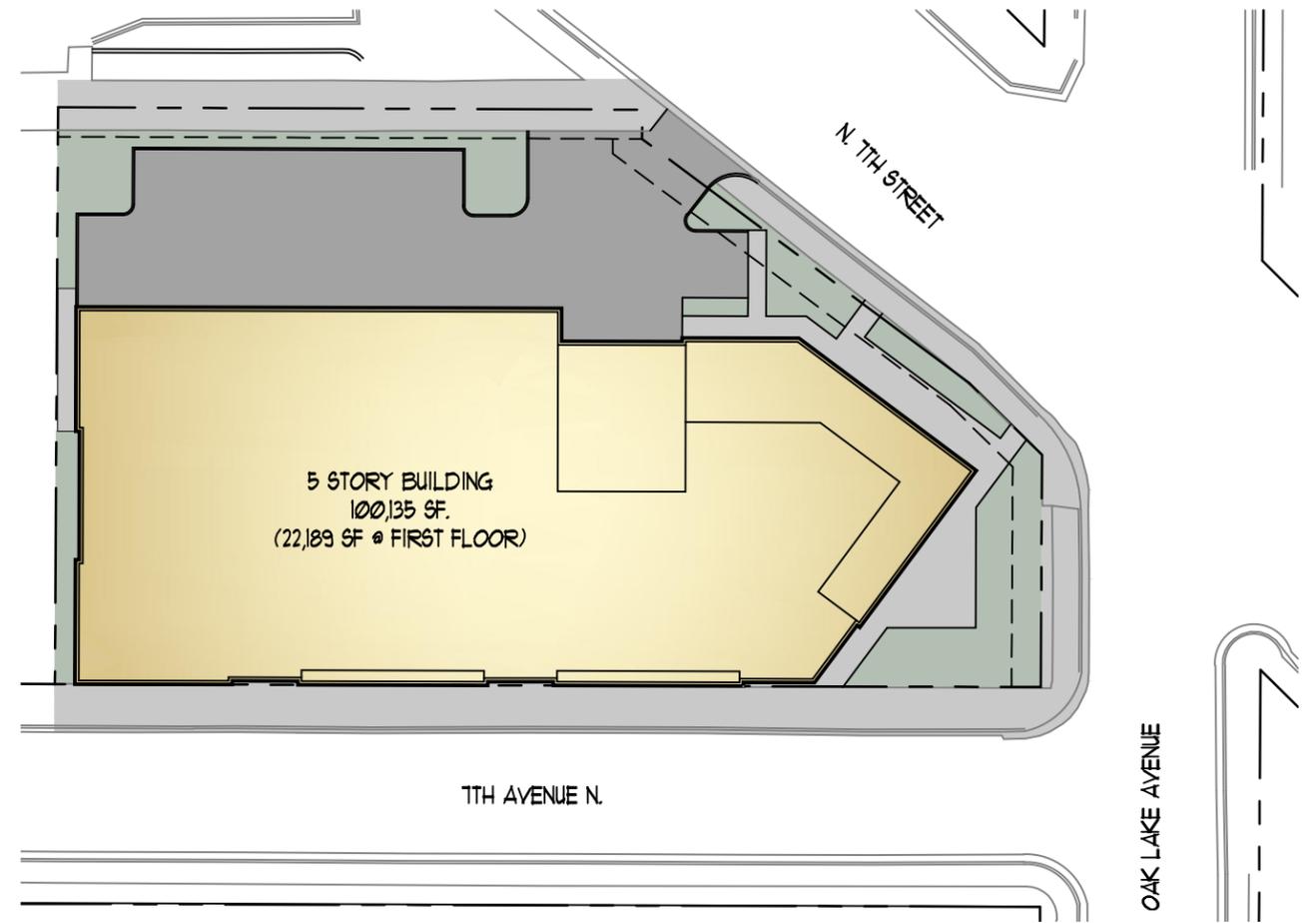
- The first floor of the building is located within 8 feet of the front lot line on the adjacent public street to the south. We are proposing to increase the setbacks along the adjacent streets to the northeast and east in order to provide a public amenity of a landscaped plaza which can in the future also accommodate outdoor seating. Since this setback area would reduce our building area, we are requesting that the alternative compliance allow us to construct a fifth floor (still within the building height limit) in order to maintain our leasable area;
- The principal entry of the building faces the front lot line;
- The building walls include architectural detail, recesses and projections, windows and entries to divide the building into twenty-five (25) foot or shorter sections;
- The building includes no plain face concrete block as an exterior material and all exterior materials comply with the requirements;
- The primary entrance is clearly defined and emphasized through the use of architectural features, including storefront glazing and canopies;
- The walls that face public streets (and parking lot for upper floors) include a total of over forty one percent (41%) window area on the first floor (30% per elevation

required), and thirteen percent (13%) window area on the floors above (10% per elevation on each floor required). The first floor windows allow views into and out of the building at eye level. We are proposing deviations from the strict floor by floor, façade by façade requirements and propose the alternative compliance of increased window space on some facades and floors to allow the fenestration indicated on the elevations (detailed tabulation is provided) as follows:

- We fall slightly short of the 30% at the first floor on the south wall, but we are providing 50% glazing and 75% glazing on the southeast and northeast walls respectively, resulting in nearly 40% more first floor glazing than required on the combined three applicable elevations.
- We are not providing any windows on the second or fifth floors, but we are consolidating the required glazing area to the third and fourth floors. This is a design choice on our part. We feel that having windows on all 5 levels in a building with only a 10' floor to floor dimension creates aesthetically awkward proportions and that what we are providing is a more appropriate design solution.

The proposed self-storage use is primarily a warehouse and, as such, inherently does not have a great deal of active uses on the ground floor, except at the office and interior loading areas. However, Section 550.120(b)(3) specifically exempts Industrial Uses in Table 550-1 from the requirement for ground floor active functions. The Project is identified in Table 550-1 as a permitted industrial use and, as such, is not subject to the requirement for active functions on the ground floor. All active areas on the ground floor, including the office and the internal loading and unloading areas, do have a high percentage of windows.

The plans submitted have been designed to and do generally comply with the site plan review standards, with the alternative compliance exceptions noted above.



THE LOCKUP SELF STORAGE

701 North 7th Street, Minneapolis, Minnesota





THE LOCKUP SELF STORAGE - BLOOMINGTON



THE LOCKUP SELF STORAGE - EDEN PRAIRIE



THE LOCKUP SELF STORAGE - INDUSTRIAL BOULEVARD



THE LOCKUP SELF STORAGE - PLYMOUTH

EXISTING LOCKUP FACILITIES

701 North 7th Street, Minneapolis, Minnesota

COMPLETED MINNESOTA PROJECTS

01.08.15



262.652.2800
Kenosha, WI

847.940.0300
Riverwoods, IL



AERIAL CONTEXT

701 North 7th Street, Minneapolis, Minnesota

SITE CONTEXT AERIAL

01.08.15



Partners in Design
ARCHITECTS

262.652.2800
Kenosha, WI

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Riverwoods, IL



1A. LOOKING TOWARD SITE FROM NORTHWEST - NORTH 7TH ST.



1B. LOOKING TOWARD SITE FROM NORTHWEST - NORTH 7TH ST.



1C. METRO TRANSIT BUILDING - LOOKING SOUTHEAST



1D. METRO TRANSIT BUILDING - LOOKING SOUTHEAST

DEVELOPMENT CONTEXT PHOTOS

701 North 7th Street, Minneapolis, Minnesota

APPROACHING/PASSING SITE LOOKING SOUTHEAST





2A. METRO TRANSIT BUILDING LOOKING NORTHWEST - NORTH 7TH ST.



2B. LOOKING TOWARD SITE FROM SOUTHEAST - NORTH 7TH ST.



2C. METRO TRANSIT BUILDING LOOKING NORTHWEST - NORTH 7TH ST.



2D. LOOKING TOWARD SITE FROM EAST - NORTH 7TH ST.

DEVELOPMENT CONTEXT PHOTOS

701 North 7th Street, Minneapolis, Minnesota

APPROACHING SITE LOOKING NORTHWEST





3A. LOOKING NORTHEAST FROM SITE



3B. LOOKING EAST FROM SITE



3C. LOOKING NORTH FROM EAST SIDE OF SITE



3D. LOOKING TOWARD SITE FROM NORTH - OAK LAKE AVE.

DEVELOPMENT CONTEXT PHOTOS

701 North 7th Street, Minneapolis, Minnesota

IMMEDIATE NORTH EAST OF SITE





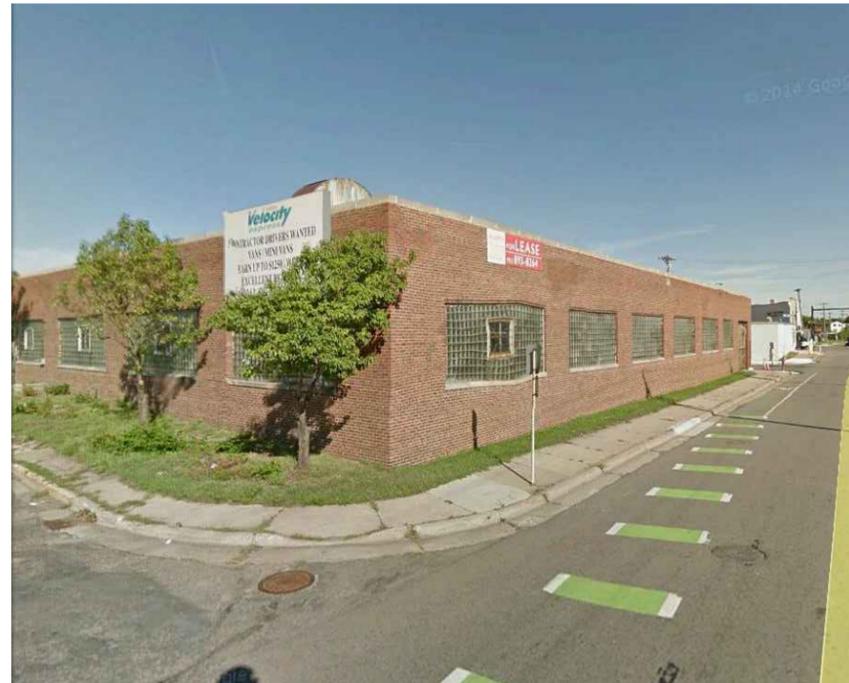
4A. LOOKING NORTH, WEST OF SITE - LYNDALE AVE. NORTH



4B. LOOKING TOWARD SITE FROM WEST - 7TH AVENUE NORTH



4C. LOOKING TOWARD SITE FROM WEST - 7TH AVENUE NORTH



4D. LOOKING TOWARD SITE FROM SOUTH - OAK LAKE AVE.

DEVELOPMENT CONTEXT PHOTOS

701 North 7th Street, Minneapolis, Minnesota

IMMEDIATE WEST & SOUTH OF SITE





5A. LOOKING NORTHWEST - NORTH 7TH ST.



5B. LOOKING SOUTH - NORTH 7TH ST.



5C. LOOKING SOUTHEAST - NORTH 7TH ST.



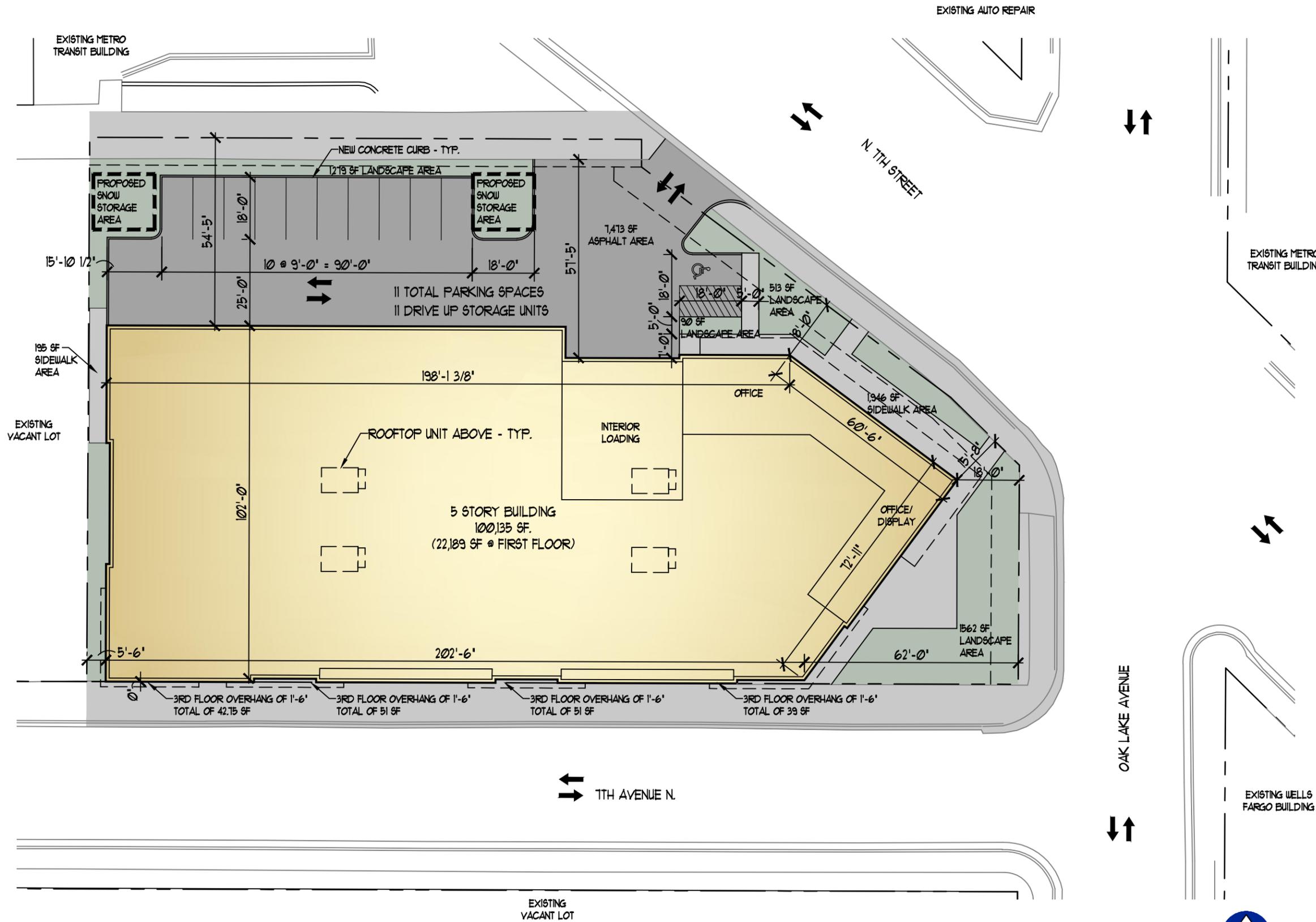
5D. LOOKING NORTHEAST - OAK LAKE AVE.

DEVELOPMENT CONTEXT PHOTOS

701 North 7th Street, Minneapolis, Minnesota

WELLS FARGO BANK - SOUTHEAST OF SITE





DEVELOPMENT DATA:

SITE AREA:	37,088 SF.
ZONING CLASSIFICATION:	1-2
ALLOWED F.A.R.	2.7 MAX
ALLOWED HEIGHT	56'-0"
PROPOSED DEVELOPMENT:	
BUILDING AREA:	100,135 SF.
FIRST FLOOR:	22,189 SF.
SECOND FLOOR:	22,189 SF.
THIRD FLOOR:	21,580 SF.
FOURTH FLOOR:	20,482 SF.
FIFTH FLOOR:	13,695 SF.
F.A.R.	2.7
MAX HEIGHT	56'-0"
PROVIDED PARKING	11 SPACES
TOTAL ASPHALT AREA:	7,473 SF.
TOTAL SIDEWALK AREA:	2,141 SF.
TOTAL IMPERVIOUS AREA:	31,803 SF.
TOTAL GREENSPACE AREA:	5,285 SF.

SITE SURFACE LEGEND

	BUILDING FOOTPRINT
	PARKING LOT ASPHALT
	SIDEWALK
	LANDSCAPING AND GRASS

THE LOCKUP SELF STORAGE
 701 North 7th Street, Minneapolis, Minnesota

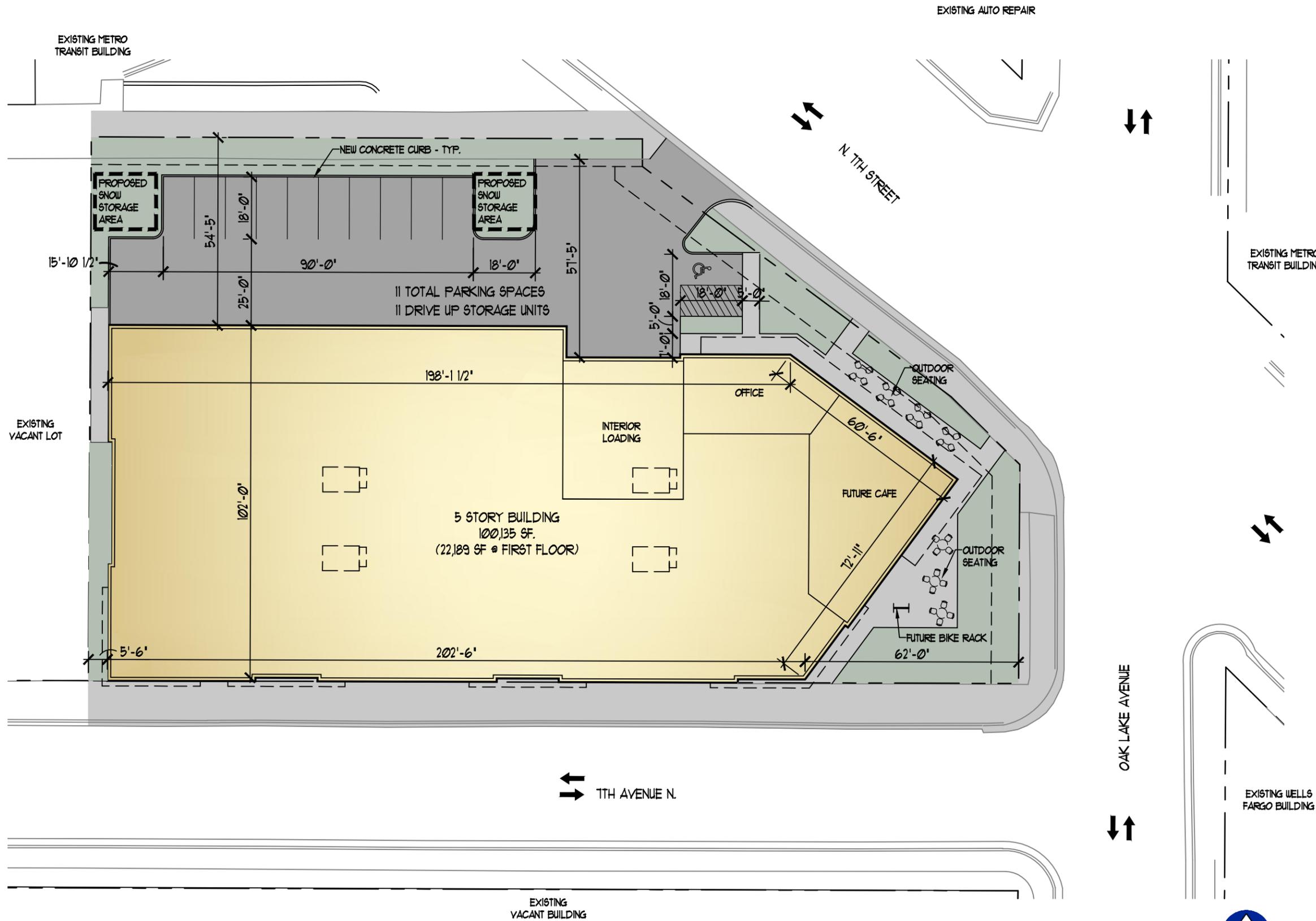
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SITE PLAN
 1" = 30'-0"
 01.08.15

Partners in Design
ARCHITECTS

262.652.2800
 Kenosha, WI

847.940.0300
 Riverwoods, IL



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THE LOCKUP SELF STORAGE
 701 North 7th Street, Minneapolis, Minnesota

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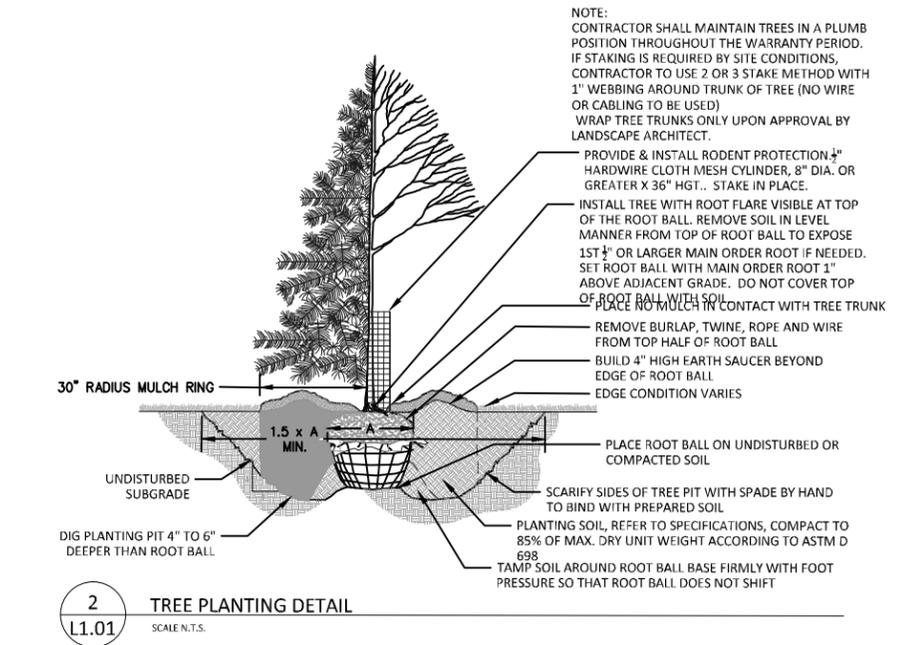
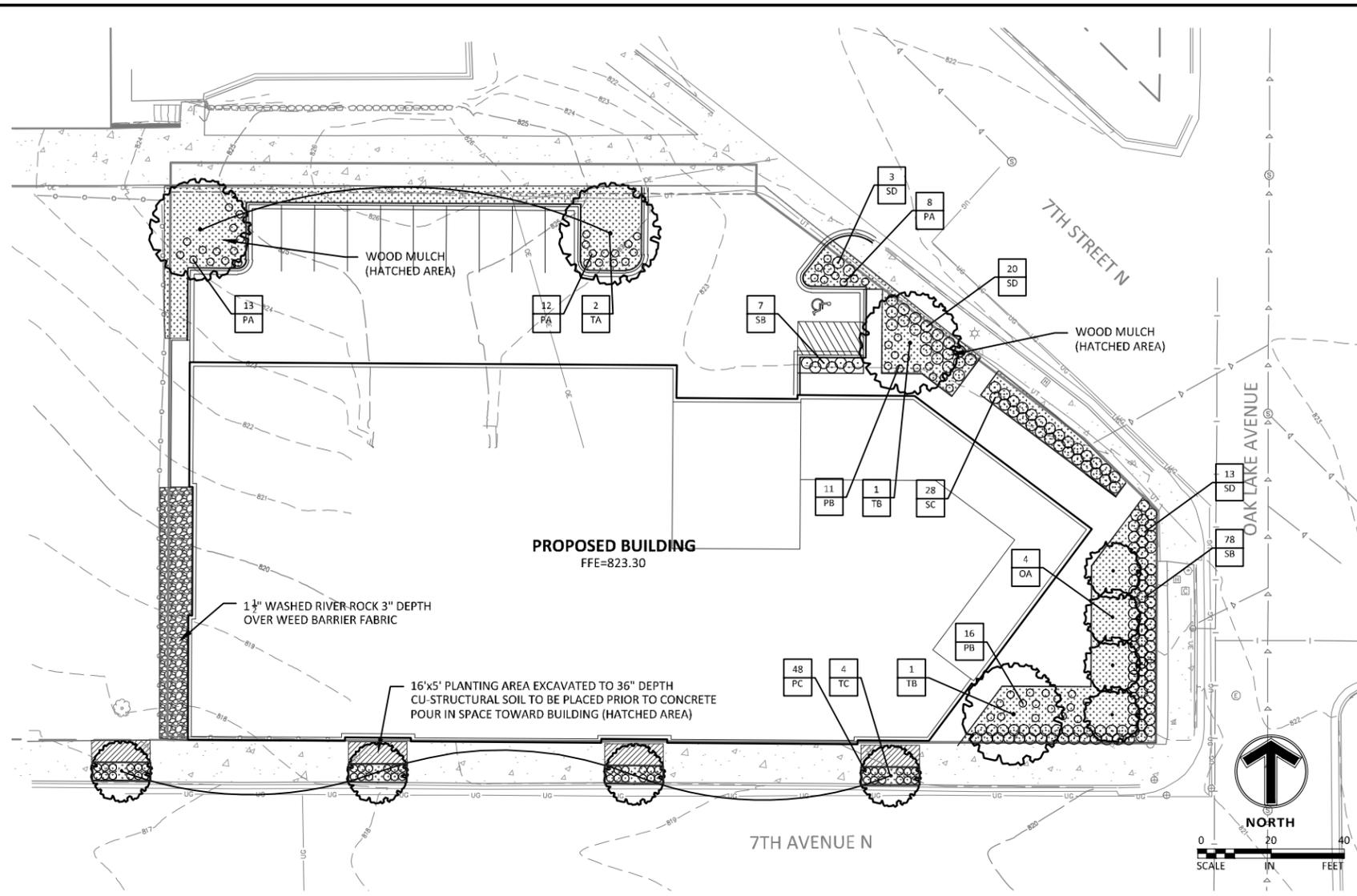
FUTURE SITE PLAN
 1" = 30'-0"
 01.08.15

BRB
THE LOCKUP
Self Storage

Partners in Design
 ARCHITECTS

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1 LANDSCAPE PLAN
L1.01 1"=20'

NOTES

GENERAL NOTES:

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND Gopher State ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- THE CONTRACT SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4" HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6" O.C. MAXIMUM SPACING.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE

- CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 4" FOR SHRUB BEDS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
- USE ANTI-DESICCANT (WILT-PROOF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED BY ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO WITH EXISTING SOIL.
- ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE REELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK. DECIDUOUS
- POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1

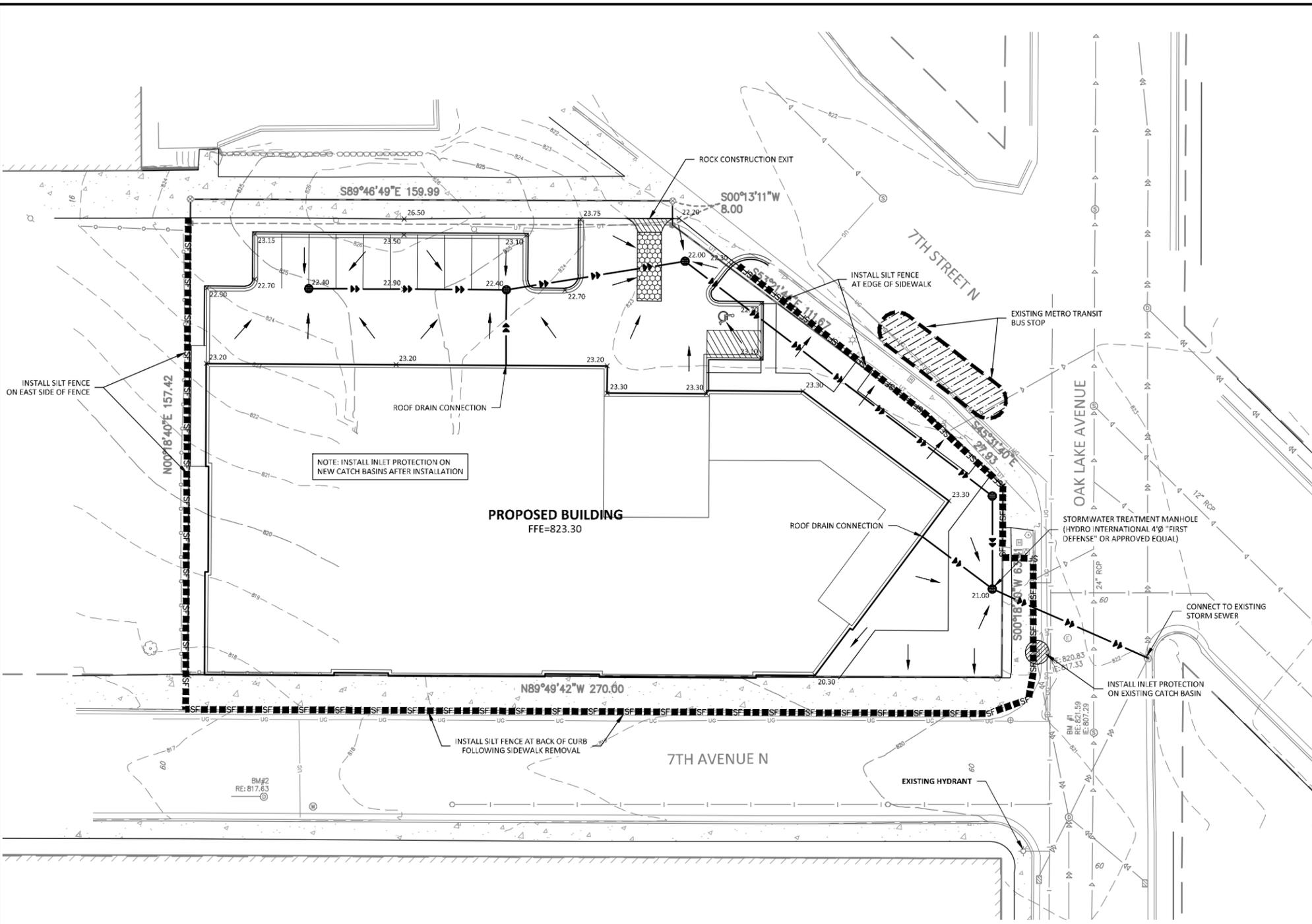
- DECIDUOUS /B&B: 4/1 - 6/1; 9/21 - 11/1
- EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
- EVERGREEN B&B: 4/1 - 5/1; 9/21 - 11/1
- TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20
- NATIVE MIX SEEDING: 4/1 - 7/20; 9/20-10/20
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

IRRIGATION NOTES:

- IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
- ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION, WITH A MINIMUM DESIGN OF .5" IRRIGATION PER WEEK.
- CONTRACTOR TO INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY. A 2.5" TYPE K SOURCE PIPE IS PROVIDED BY MECHANICAL.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT CONT.	SIZE
8 DECIDUOUS SHADE TREES					
TA	2	GLEDTISIA TRIACANTHOS VAR. INERMIS 'SKYCOLE'	HONEYLOCUST, SKYLINE	B&B	2.5" CAL.
TB	2	QUERCUS BICOLOR	OAK, SWAMP WHITE	B&B	2.5" CAL.
TC	4	QUERCUS X WAREI 'LONG'	OAK, REGAL PRINCE	B&B	2.5" CAL.
4 DECIDUOUS ORNAMENTAL TREES					
OA	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	SERVICEBERRY, AUTUMN BRILLIANCE	B&B	2.0" CAL. OR CLUMP
149 DECIDUOUS SHRUBS					
SA	0	NOT USED	X	X	X
SB	85	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	CONT.	#5
SC	28	HYDRANGEA PANICULATA 'JANE'	HYDRANGEA, LITTLE LIME	CONT.	#5
SD	36	ROSA 'RADTKO'	KNOCK OUT DOUBLE RED ROSE	CONT.	#2
SE	0	NOT USED	X	X	X
SF	0	NOT USED	X	X	X
108 PERENNIALS					
PA	33	HEMEROCALLIS 'ROSY RETURNS'	DAYLILLY, 'ROSY RETURNS'	CONT.	#1
PB	27	SEDUM X 'AUTUMN FIRE'	SEDUM, 'AUTUMN FIRE'	CONT.	#1
PC	48	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	CONT.	#1



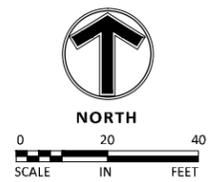
LEGEND

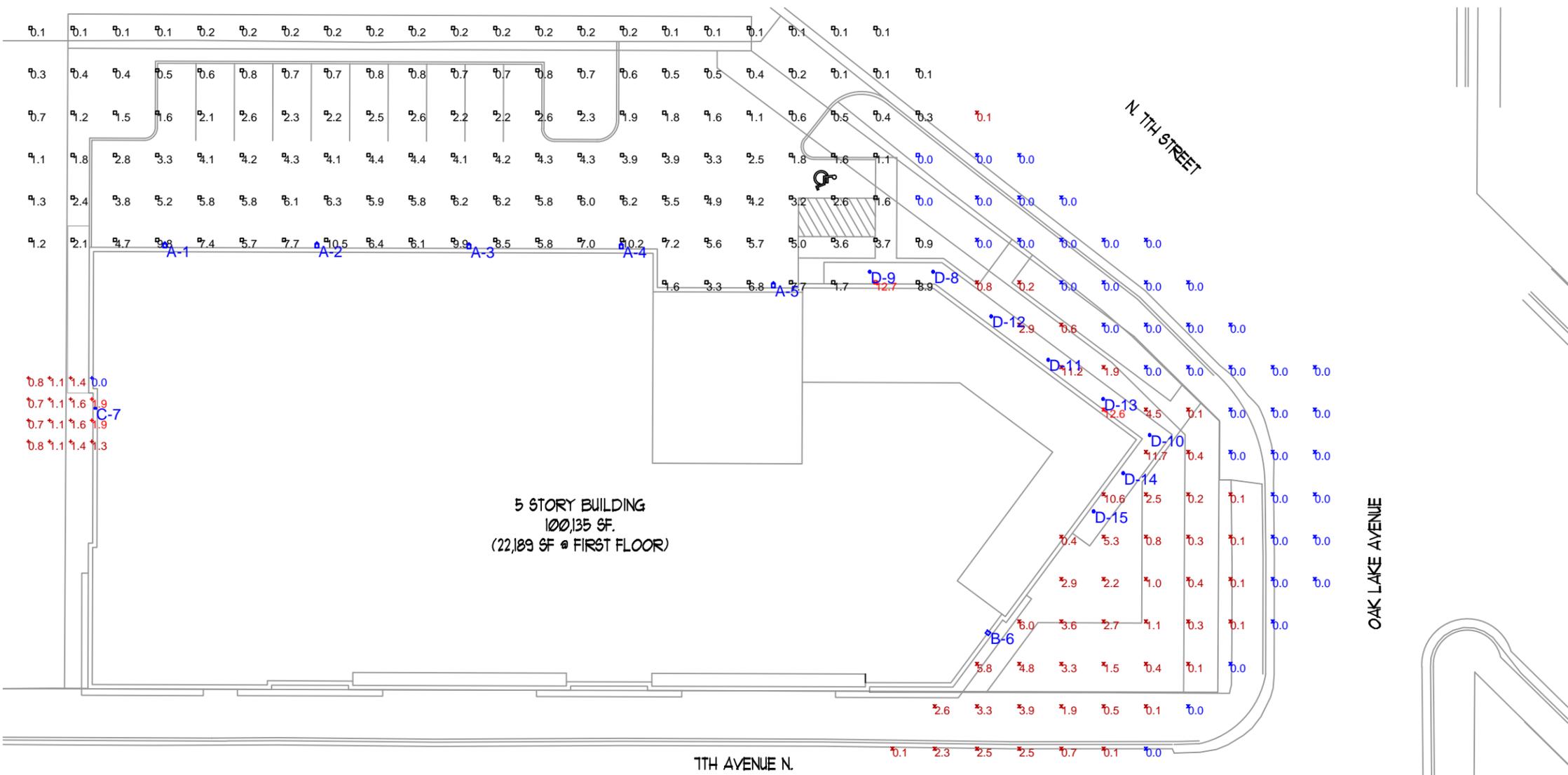
	PROPOSED	EXISTING
PROPERTY LIMIT	--- --	--- --
CURB & GUTTER	--- --	--- --
STORM SEWER	--- --	--- --
DRAINTILE	--- --	--- --
BUILDING	--- --	--- --
RETAINING WALL	--- --	--- --
WETLAND LIMITS	--- --	--- --
TREELINE	--- --	--- --
SPOT ELEVATION	962.5	962.5
CONTOUR	902	902
RIP RAP	902.5	902.5
OVERFLOW ELEV.	902.5	902.5
SOIL BORINGS	902.5	902.5

- GRADING NOTES**
- PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
 - ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT.
 - THE CONTRACTOR IS CAUTIONED THAT "THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02 TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA AT 1-800-252-1166). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 - SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
 - THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
 - PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
 - REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - RETAINING WALL(S) SHALL BE CONSTRUCTED OF MODULAR BLOCK MATERIAL. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND LOCAL AUTHORITY CERTIFIED ENGINEERING DRAWINGS, DESIGN CALCULATIONS AND SOIL BORINGS. THE CERTIFIED ENGINEER FOR THE RETAINING WALL(S) SHALL PROVIDE CONSTRUCTION OBSERVATIONS OF THE RETAINING WALL IMPROVEMENT, AND A LETTER CERTIFYING THE INSTALLATION OF THE WALL(S) WAS CONSTRUCTED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO ACTIVE DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.





LUMINAIRE LOCATIONS						
No.	Label	Location		MH	Orientation	Tilt
		X	Y			
1	A	17.2	103.5	12.0	0.0	0.0
2	A	53.2	103.5	12.0	0.0	0.0
3	A	89.2	103.3	12.0	0.0	0.0
4	A	125.2	103.3	12.0	0.0	0.0
5	A	161.2	94.1	12.0	0.0	0.0
6	B	212.0	12.2	12.0	128.0	0.0
7	C	0.7	65.1	10.0	270.0	0.0
8	D	199.0	97.3	10.0	0.0	0.0
9	D	184.0	97.3	10.0	0.0	0.0
10	D	250.3	58.8	10.0	0.0	0.0
11	D	226.3	76.6	10.0	0.0	0.0
12	D	212.8	86.8	10.0	0.0	0.0
13	D	239.3	67.3	10.0	0.0	0.0
14	D	244.0	49.8	10.0	0.0	0.0
15	D	237.0	40.8	10.0	0.0	0.0

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
	A	5	DSX1 LED 30C 1000 40K T4M MVOLT	DSX1 LED WITH (1) 30 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1050mA	LED	DSX1_LED_30 C_1000_40K_T4M_MVOLT.i	Absolute 0.95 105
	B	1	DSX1 LED 30C 1000 40K T3M MVOLT	DSX1 LED WITH (1) 30 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1050mA	LED	DSX1_LED_30 C_1000_40K_T3M_MVOLT.i	Absolute 0.95 105
	C	1	DSXW1 LED 10C 530 40K T3M MVOLT	DSXW1 LED WITH 1 LIGHT ENGINE, 10 LED's, 530mA DRIVER, 4000K LED, TYPE 3 MEDIUM OPTIC	LED	DSXW1_LED_10C_530_40K_T3M_MVOLT.i	Absolute 0.95 20
	D	8	EVO 30/14 6AR 120	6" LED DOWNLIGHT, 3000K, 1400LUMENS, STANDARD DISTRIBUTION WITH CLEAR SEMI SPECULAR REFLECTOR	LED	EVO_30_14_6 AR_120.ies	Absolute 0.95 24.6

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone Parking Area		2.9 fc	12.7 fc	0.0 fc	N / A	N / A
Calc Zone Right Side of Building		1.4 fc	12.6 fc	0.0 fc	N / A	N / A
Calc Zone Entry Door		1.2 fc	1.9 fc	0.0 fc	N / A	N / A

THE LOCKUP SELF STORAGE

701 North 7th Street, Minneapolis, Minnesota



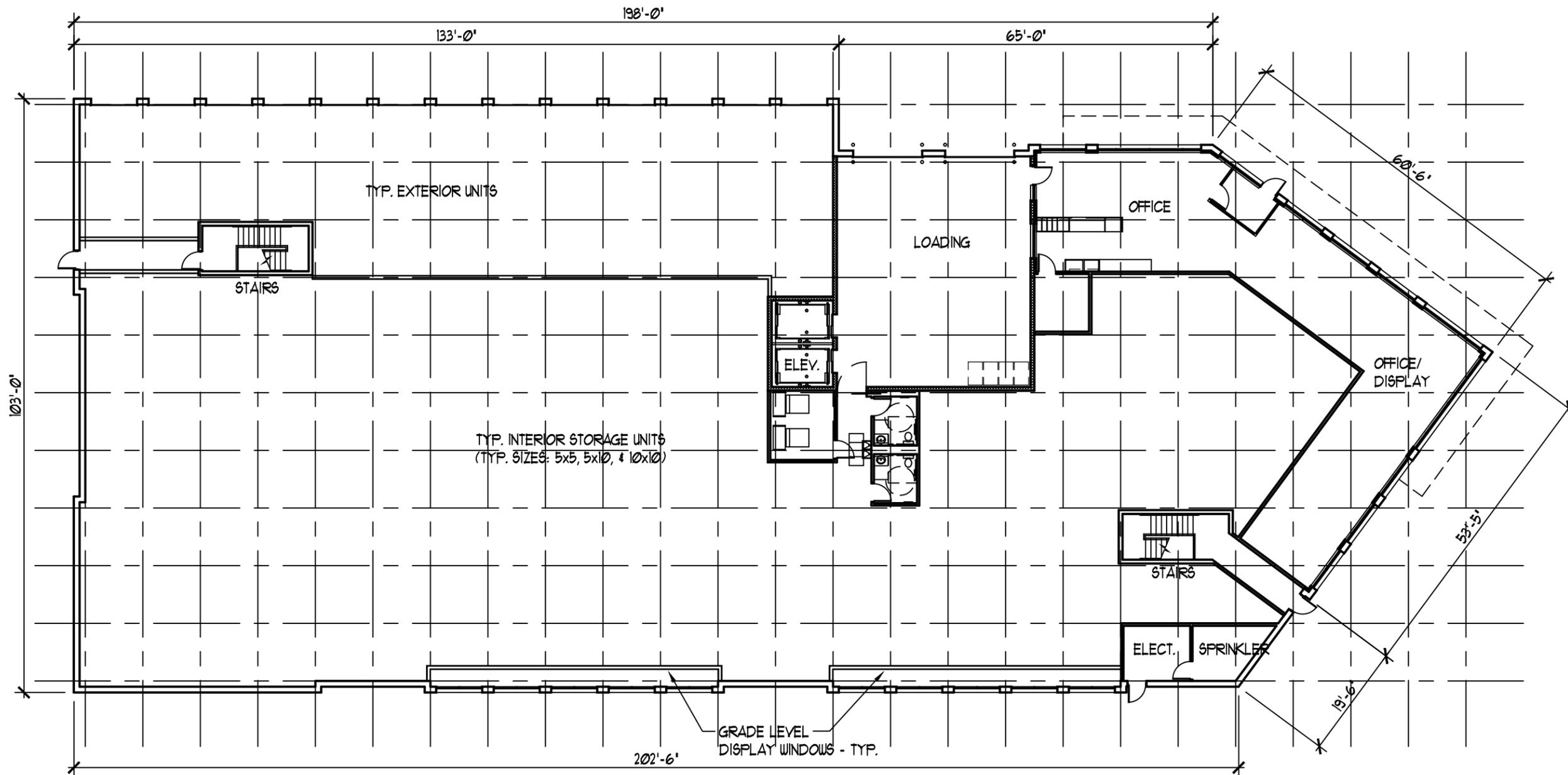
SITE LIGHTING PLAN

1" = 30'-0"

01.08.15



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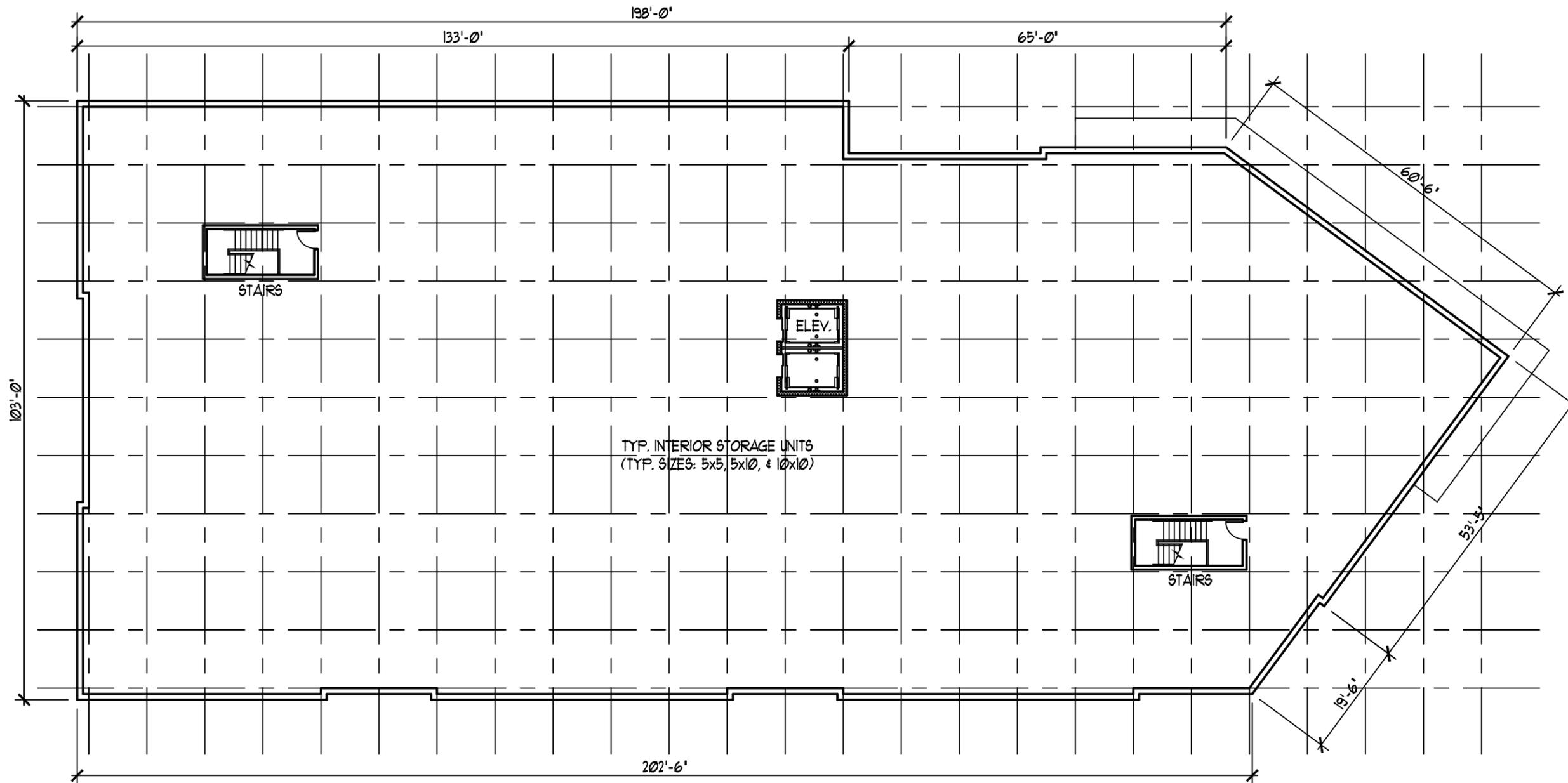
FIRST FLOOR PLAN

1" = 20'-0"

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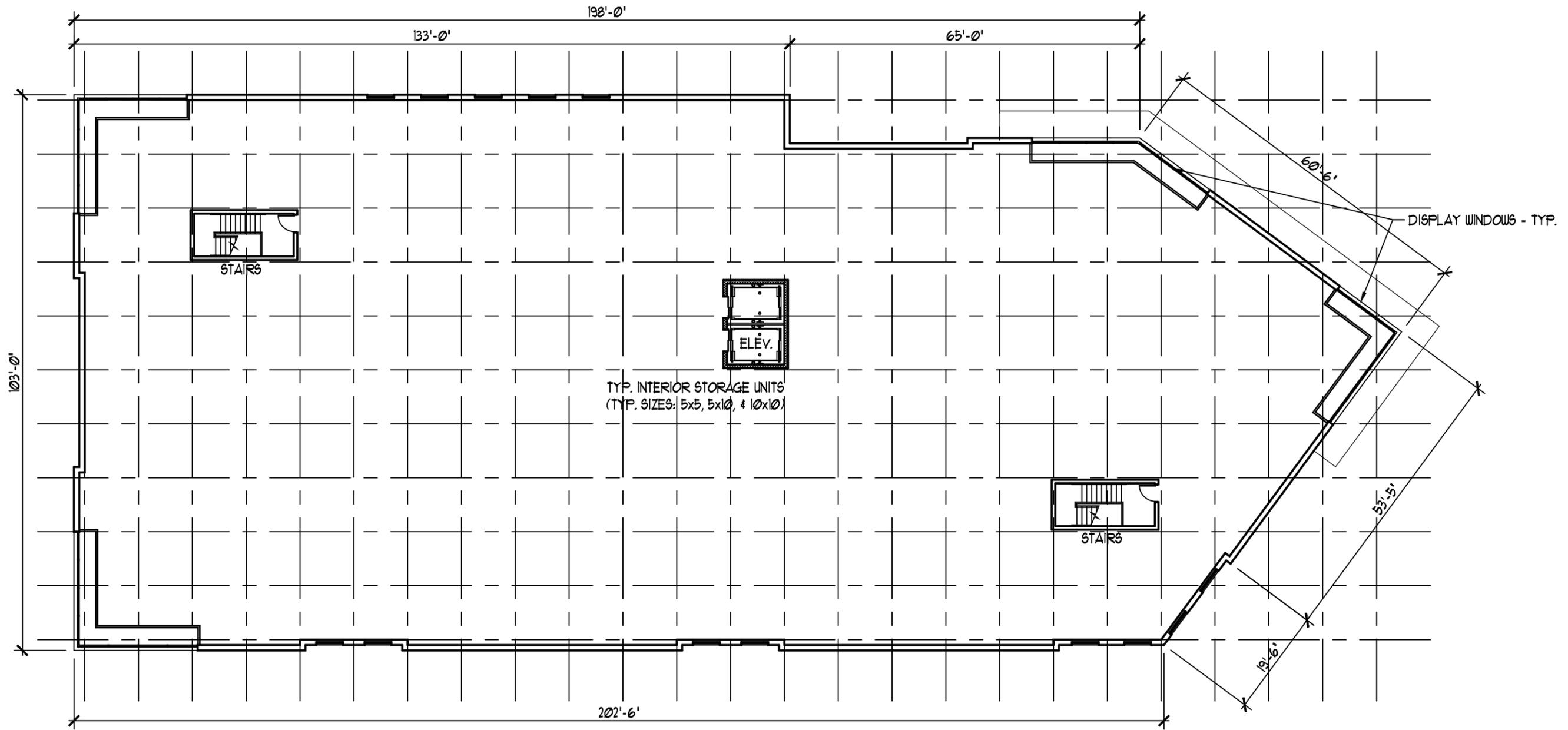
SECOND FLOOR PLAN

1" = 20'-0"

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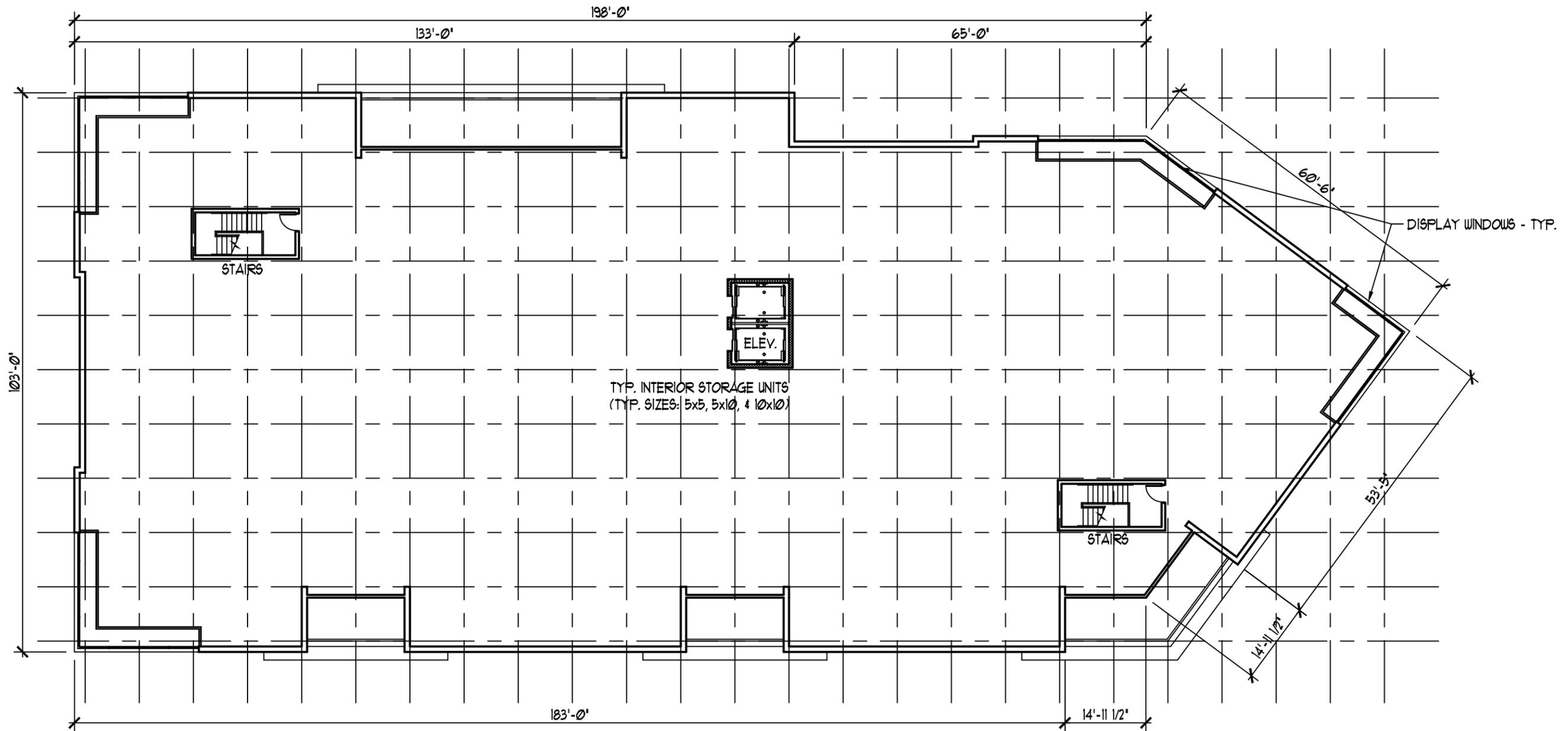


THIRD FLOOR PLAN

1" = 20'-0"

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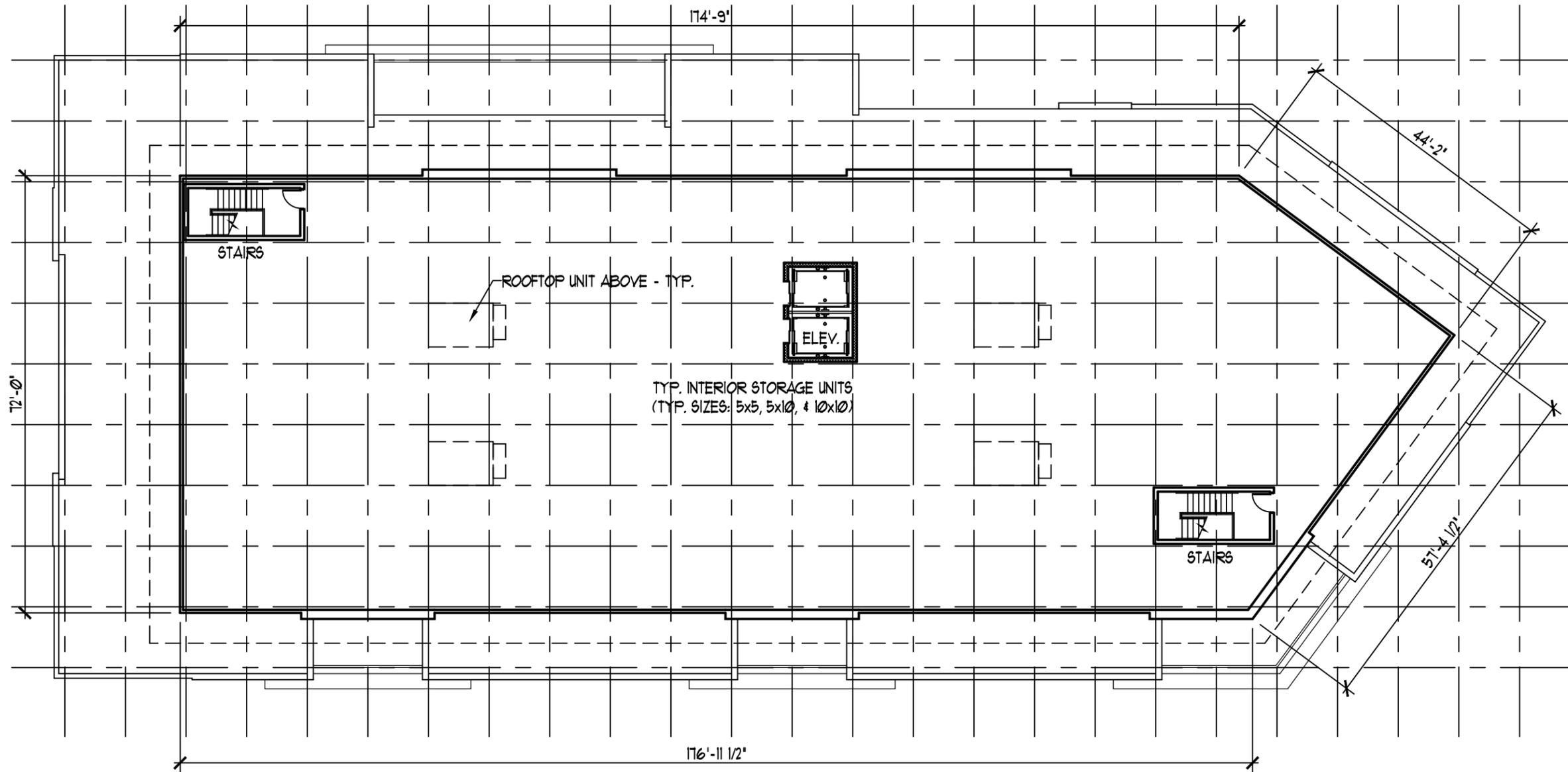
FOURTH FLOOR PLAN

1" = 20'-0"

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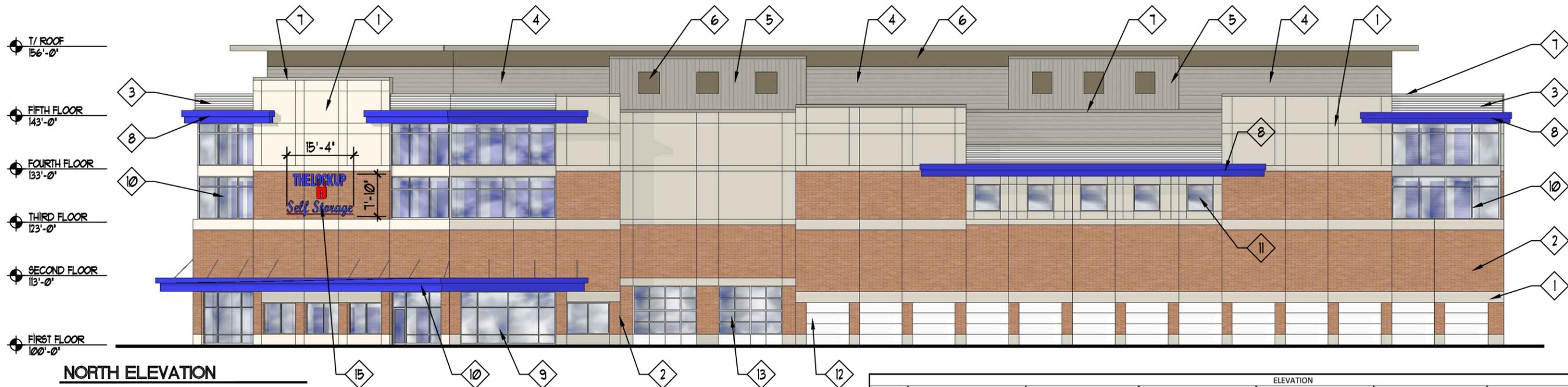
FIFTH FLOOR PLAN

1" = 20'-0"

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NORTH ELEVATION

WINDOW AREA REQUIREMENTS:

FLOOR	REQ'D	PROVIDED
FIRST (0%)	0 SF	378 SF (30% NOT REQUIRED IN INDUSTRIAL USES FACING A PARKING LOT)
SECOND (10%)	207 SF	0 SF
THIRD (10%)	207 SF	474 SF
FOURTH (10%)	228 SF	323 SF
FIFTH (10%)	176 SF	0 SF

FLOOR	ELEVATION																																		
	NORTH				NORTHEAST				SOUTHEAST				SOUTH				WEST				TOTAL			TOTAL (REQUIRED WALLS ONLY)*											
	wall area	required glazing	provided glazing	% SF	wall area	required glazing	provided glazing	% SF	wall area	required glazing	provided glazing	% SF	wall area	required glazing	provided glazing	% SF	wall area	required glazing	provided glazing	% SF	wall area	reqd. glaz.	prov. glaz.	wall area	required glazing	provided glazing	% SF	% SF							
1	1656	0%	0	29%	378	480.7	30%	144.2	75%	362	575.3	30%	172.6	50%	288.3	1620	30%	486	29%	470	816	0%	0	0%	0	5148	803	1498	2676	30%	802.8	41.9%	1120		
2	2070	10%	207	0%	0	600.8	10%	60.1	0%	0	719.2	10%	71.9	0%	0.0	2025	10%	203	0%	0	1020	0%	0	0%	0	6435	542	0	5415	10%	541.5	0%	0		
3	2075.4	10%	207.5	23%	474	601.7	10%	60.2	36%	216	723.3	10%	72.3	30%	219.2	2035	10%	203.5	19%	396	1019.7	0%	0	34%	342	6455.1	543.5	1647.0	5435.4	10%	543.5	24.0%	1305.0		
4	2275.4	10%	228	14%	323	601.7	10%	60.2	36%	216	756.5	10%	75.6	21%	158.7	2491.7	10%	249.2	7%	179	1019.7	0%	0	34%	342	7144.9	612.5	1218.7	6125.2	10%	612.5	14.3%	876.7		
5	1763.3	10%	176.3	0%	0	434.2	10%	43.4	0%	0	566.7	10%	56.7	0%	0.0	1782.5	10%	178.3	0%	0	710	0%	0	0%	0	4546.7	10%	454.7	0%	0	4546.7	10%	454.7	0%	0
total 2-5																																			
total 1-5	9840.1		818		1175	2719		368		794	3341		449.2		666.2	9954		1319		1045	4585		0	684	30440	2955	4364	24198	12.2%	2955	13.6%	3302			

*Totals in this column relate to total applicable wall area facing public streets or parking lot only (public street only for first floor) since this is what is required by the code.
 = areas not in strict compliance



WEST ELEVATION

WINDOW AREA REQUIREMENTS:

FLOOR	REQ'D	PROVIDED
FIRST (0%)	0 SF	0 SF
SECOND (0%)	0 SF	0 SF
THIRD (0%)	0 SF	342 SF
FOURTH (0%)	0 SF	342 SF
FIFTH (0%)	0 SF	0 SF

MATERIALS LEGEND:

- ① PRECAST CONCRETE PANEL - SMOOTH FINISH
COLOR 1: SHERWIN WILLIAMS, SW 1036 ACCESSIBLE BEIGE
- ② PRECAST CONCRETE PANEL - BRICK FORMLINER
COLOR 2: SHERWIN WILLIAMS, SW 2803 ROCKWOOD TERRA COTTA
- ③ RIBBED PREFINISHED METAL PANEL, COLOR 3: PAC-CLAD, BONE WHITE
- ④ RIBBED PREFINISHED METAL PANEL, COLOR 4: PAC-CLAD, SANDSTONE
- ⑤ RIBBED PREFINISHED METAL PANEL, COLOR 5: PAC-CLAD, SANDSTONE
- ⑥ SMOOTH PREFINISH METAL PANEL, COLOR 6: PAC-CLAD, SIERRA TAN
- ⑦ PREFINISHED MTL. COPING, COLOR: PAC-CLAD, SANDSTONE
- ⑧ PREFINISHED METAL OVERHANG
COLOR: MATCH FIRESTONE, KYNAR 'ELECTRIC BLUE'
- ⑨ PREFINISHED METAL CANOPY
COLOR: MATCH FIRESTONE, KYNAR 'ELECTRIC BLUE'
- ⑩ CLEAR ANODIZED ALUM. FRAMING W/ CLEAR INSULATED GLAZING
- ⑪ CLEAR ANODIZED ALUM. FRAMING W/ INSULATED SPANDREL GLAZING
COLOR: GRAY
- ⑫ INSULATED MTL. OVERHEAD SECTIONAL DOOR
COLOR: WHITE
- ⑬ INSULATED MTL. OVERHEAD SECTIONAL DOOR W/ GLASS LITES
COLOR: CLEAR ANODIZED ALUMINUM
- ⑭ PAINTED HOLLOW METAL DOOR & FRAME
COLOR: SHERWIN WILLIAMS, SW 1036 ACCESSIBLE BEIGE
- ⑮ INTERNALLY ILLUMINATED LED SIGN - SEE SIGNAGE DETAILS



THE LOCKUP SELF STORAGE

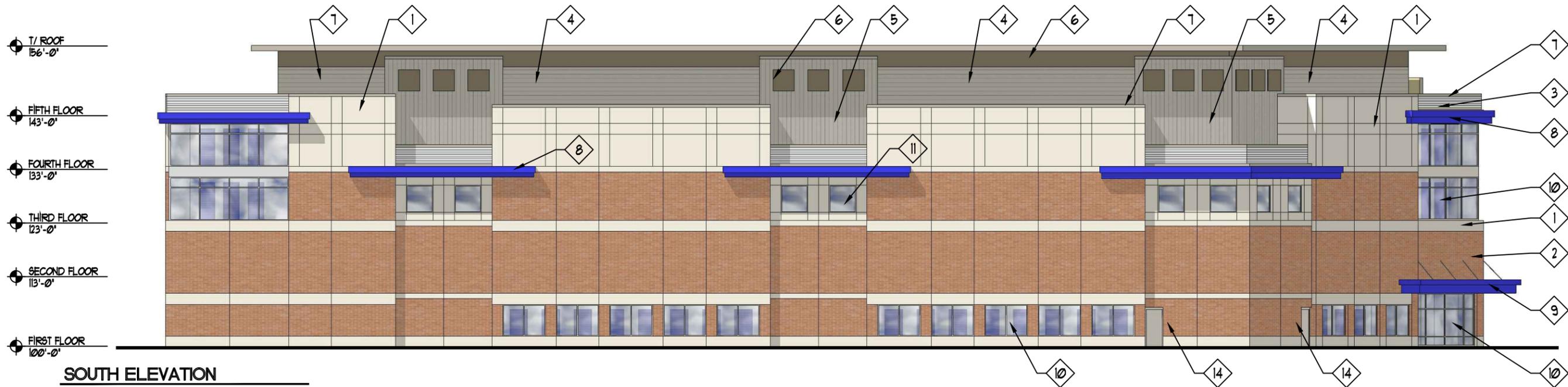
701 North 7th Street, Minneapolis, Minnesota

BUILDING ELEVATIONS

1" = 20'-0"

01.08.15

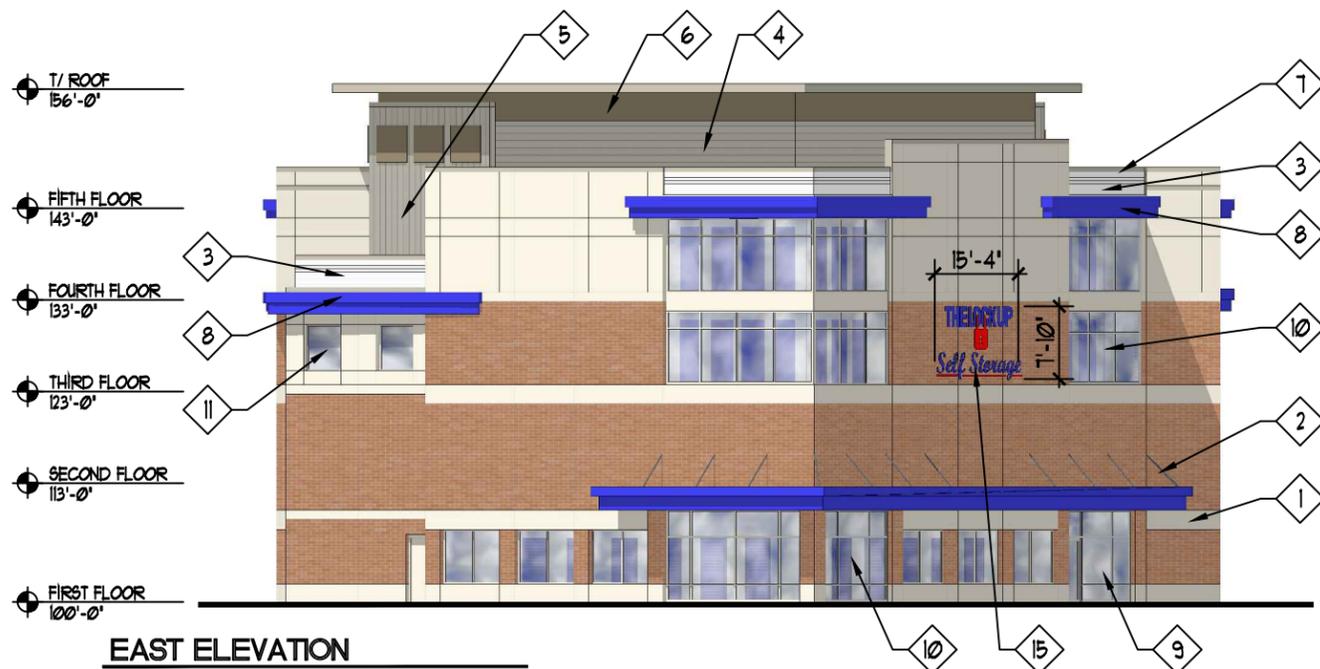




SOUTH ELEVATION

WINDOW AREA REQUIREMENTS:

FLOOR	REQ'D	PROVIDED
FIRST (30%)	486 SF	470 SF
SECOND (10%)	203 SF	0 SF
THIRD (10%)	203 SF	396 SF
FOURTH (10%)	249 SF	179 SF
FIFTH (10%)	178 SF	0 SF



EAST ELEVATION

SOUTHEAST WINDOW AREA REQUIREMENTS:

FLOOR	REQ'D	PROVIDED
FIRST (30%)	173 SF	288 SF
SECOND (10%)	72 SF	0 SF
THIRD (10%)	72 SF	219 SF
FOURTH (10%)	76 SF	159 SF
FIFTH (10%)	51 SF	0 SF

NORTHEAST WINDOW AREA REQUIREMENTS:

FLOOR	REQ'D	PROVIDED
FIRST (30%)	144 SF	362 SF
SECOND (10%)	60 SF	0 SF
THIRD (10%)	60 SF	216 SF
FOURTH (10%)	60 SF	216 SF
FIFTH (10%)	43 SF	0 SF

MATERIALS LEGEND:

- ① PRECAST CONCRETE PANEL - SMOOTH FINISH
COLOR 1: SHERWIN WILLIAMS, SW 7036 ACCESSIBLE BEIGE
- ② PRECAST CONCRETE PANEL - BRICK FORMLINER
COLOR 2: SHERWIN WILLIAMS, SW 2803 ROCKWOOD TERRA COTTA
- ③ RIBBED PREFINISHED METAL PANEL, COLOR 3: PAC-CLAD, BONE WHITE
- ④ RIBBED PREFINISHED METAL PANEL, COLOR 4: PAC-CLAD, SANDSTONE
- ⑤ RIBBED PREFINISHED METAL PANEL, COLOR 5: PAC-CLAD, SANDSTONE
- ⑥ SMOOTH PREFINISH METAL PANEL, COLOR 6: PAC-CLAD, SIERRA TAN
- ⑦ PREFINISHED MTL. COPING, COLOR: PAC-CLAD, SANDSTONE
- ⑧ PREFINISHED METAL OVERHANG
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- ⑨ PREFINISHED METAL CANOPY
COLOR: MATCH FIRESTONE, KYNAR 'ELECTRIC BLUE'
- ⑩ CLEAR ANODIZED ALUM. FRAMING W/ CLEAR INSULATED GLAZING
- ⑪ CLEAR ANODIZED ALUM. FRAMING W/ INSULATED SPANDREL GLAZING
COLOR: GRAY
- ⑫ INSULATED MTL. OVERHEAD SECTIONAL DOOR
COLOR: WHITE
- ⑬ INSULATED MTL. OVERHEAD SECTIONAL DOOR W/ GLASS LITES
COLOR: CLEAR ANODIZED ALUMINUM
- ⑭ PAINTED HOLLOW METAL DOOR & FRAME
COLOR: SHERWIN WILLIAMS, SW 7036 ACCESSIBLE BEIGE
- ⑮ INTERNALLY ILLUMINATED LED SIGN - SEE SIGNAGE DETAILS



THE LOCKUP SELF STORAGE

701 North 7th Street, Minneapolis, Minnesota

BUILDING ELEVATIONS

1" = 20'-0"

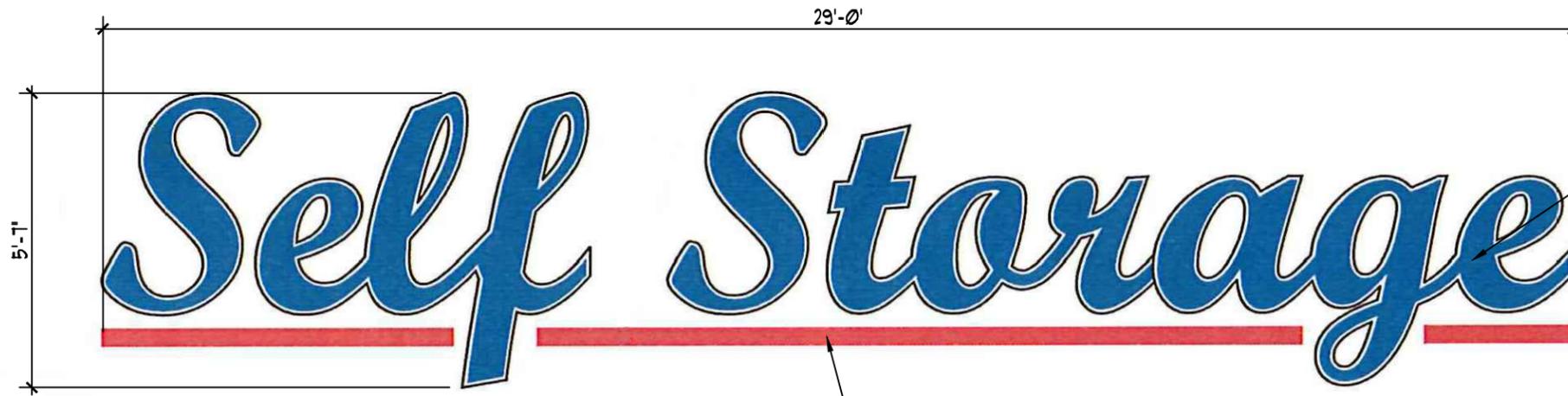
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262.652.2800
Kenosha, WI

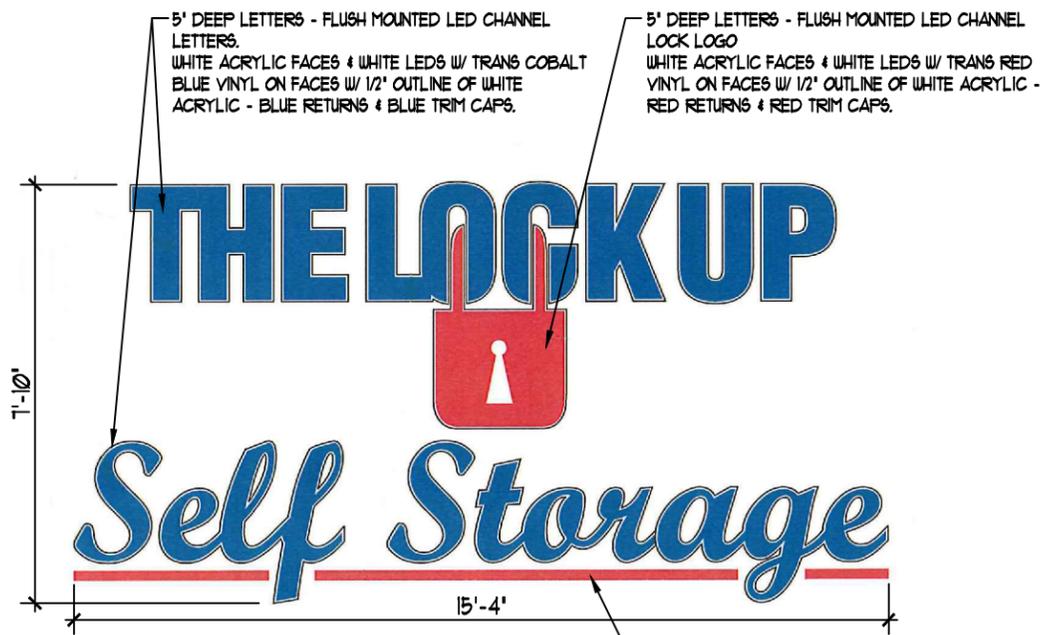
847.940.0300
Riverwoods, IL



5' DEEP LETTERS - FLUSH MOUNTED LED CHANNEL LETTERS.
 WHITE ACRYLIC FACES & WHITE LEDS W/ TRANS COBALT
 BLUE VINYL ON FACES W/ 1/2" OUTLINE OF WHITE
 ACRYLIC - BLUE RETURNS & BLUE TRIM CAPS.

WALL SIGN ELEVATION
 NOT TO SCALE

5' DEEP LETTERS - FLUSH MOUNTED LED CHANNEL
 UNDERLINE LOGO ELEMENT
 WHITE ACRYLIC FACES & WHITE LEDS W/ TRANS RED
 VINYL ON FACES - RED RETURNS & RED TRIM CAPS.



5' DEEP LETTERS - FLUSH MOUNTED LED CHANNEL
 LETTERS.
 WHITE ACRYLIC FACES & WHITE LEDS W/ TRANS COBALT
 BLUE VINYL ON FACES W/ 1/2" OUTLINE OF WHITE
 ACRYLIC - BLUE RETURNS & BLUE TRIM CAPS.

5' DEEP LETTERS - FLUSH MOUNTED LED CHANNEL
 LOCK LOGO
 WHITE ACRYLIC FACES & WHITE LEDS W/ TRANS RED
 VINYL ON FACES W/ 1/2" OUTLINE OF WHITE ACRYLIC -
 RED RETURNS & RED TRIM CAPS.

5' DEEP LETTERS - FLUSH MOUNTED LED CHANNEL
 UNDERLINE LOGO ELEMENT
 WHITE ACRYLIC FACES & WHITE LEDS W/ TRANS RED
 VINYL ON FACES - RED RETURNS & RED TRIM CAPS.

WALL SIGN ELEVATION
 NOT TO SCALE



THE LOCKUP SELF STORAGE

701 North 7th Street, Minneapolis, Minnesota

BUILDING SIGNAGE





THE LOCKUP SELF STORAGE

701 North 7th Street, Minneapolis, Minnesota

NORTHEAST VIEW





THE LOCKUP SELF STORAGE

701 North 7th Street, Minneapolis, Minnesota

SOUTHEAST VIEW



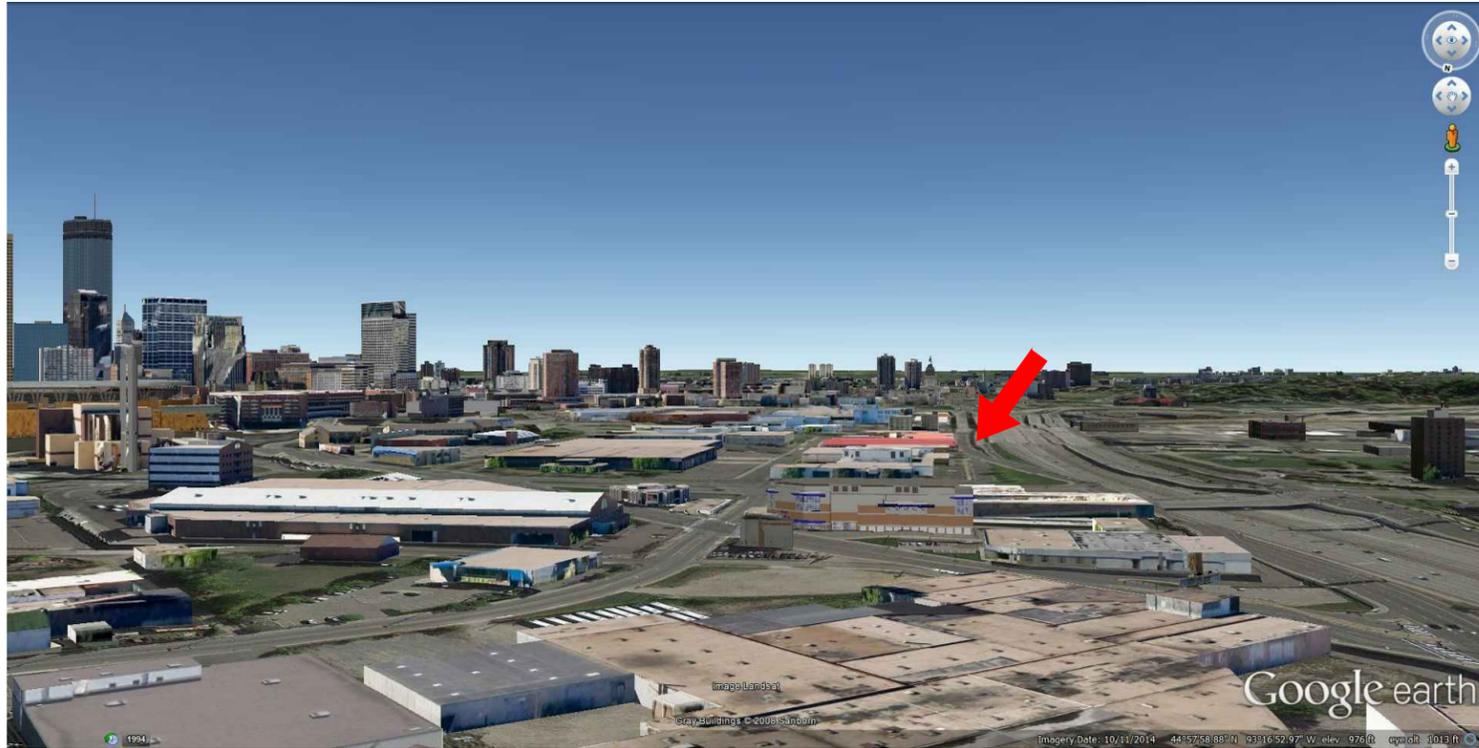


THE LOCKUP SELF STORAGE

701 North 7th Street, Minneapolis, Minnesota

SOUTHWEST VIEW





OBLIQUE VIEW LOOKING SOUTH



OBLIQUE VIEW LOOKING NORTHWEST

NOTE:
 IMAGES SHOWN ARE FROM A GOOGLE EARTH PREVIEW. EXISTING BUILDINGS SHOWN ARE PER THE CURRENT GOOGLE EARTH DATABASE. ALSO NOTE THAT THE EXISTING BUILDING ON THE PROJECT SITE IS SHOWN. GOOGLE EARTH PREVIEW DOES NOT ALLOW THE EXISTING BUILDING MASSES TO BE REMOVED.



THE LOCKUP SELF STORAGE

701 North 7th Street, Minneapolis, Minnesota

DEVELOPMENT CONTEXT STUDIES

01.08.15



262.652.2800
 Kenosha, WI

847.940.0300
 Riverwoods, IL



LOOKING SOUTHEAST ON N. 7TH STREET TOWARD SITE



LOOKING NORTHWEST ON N. 7TH STREET TOWARD SITE

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LOOKING SOUTH ON OAK LANE AVENUE TOWARD SITE



LOOKING NORTH ON OAK LANE AVENUE TOWARD SITE

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THE LOCKUP SELF STORAGE

701 North 7th Street, Minneapolis, Minnesota

DEVELOPMENT CONTEXT STUDIES



Quality self storage



in quality communities

www.TheLockUp.com





company overview

Family Owned – Family Managed

BRB Development, LLC is a family owned and operated company that has been in the self storage business since 1976. Continuing to be one of the most active and well-respected private companies in the industry, The Lock Up was started by Robert Soudan Sr. and Charles Sample Sr. who built his first facility in Glenview, Illinois. With the help of his son and son-in-law, Bob Soudan Jr. and Rick Hielscher, Mr. Soudan has significantly increased both the number and quality of facilities.

Currently, The Lock Up is in seven states. We own and manage over 2 million square feet of self storage. Additionally, we have recently partnered with a major pension fund that controls tens of billions of dollars.

Industry Leaders

We take pride in being leaders in our industry. The Lock Up has been cited as industry leaders and innovators in *The Wall Street Journal*, *Urban Land Institute*, and *Business 2.0*.

Lock Up's President, Bob Soudan Sr., is a past National President of the Self Storage Association (SSA). Bob Soudan, Jr. has served as a National Director of the SSA as well as Regional President. Additionally, all of the Lock Up principals have spoken as experts at SSA national conventions and seminars.

our product

Target Market and Location

The upscale design of our facilities cater to established, high end communities that demand the highest quality of building design, aesthetics, amenities, and services. The communities in which we build tend to be established, dense, high-income areas with high barriers to entry. Our upscale product is designed to attract customers who are looking for the best product, at competitive prices.

Our product has an extremely low impact on the communities in which we build. We generate less traffic per square foot than almost any other use. For example: We draw only six percent of the traffic of a similarly sized retail development. Additionally, we do not generate noise or pollution. Our burden on community services and infrastructure is as low as a single family home.

Because of our low impact and tasteful design, we have been able to build in many different zoning classifications. These include Commercial, Retail, Business, Industrial, and even Office Research. Because our use is so new and different, we work very closely with both the appropriate staff and zoning authority to familiarize them with our unique product and its effects on the community.

Continued on the far right panel





our product

Continued from the far left panel

Building Design

Architecturally, Lock Up facilities differ from traditional facilities. They are designed to have a retail or hotel-like appearance. Amenities include:

- Concrete, architectural block, pre-cast or EIFS exterior.
- Full climate control.
- Most units interior accessed.
- Large glass offices.
- 24-hour video surveillance system.
- Fully enclosed climate controlled drive-in unloading areas.
- Lighting triggered by motion detectors.
- Carpeted hallways and storage units.
- Large passenger elevators.

Our facilities are designed to be very bright with extra lighting throughout. Signage is always tastefully done to blend with the community. The typical Lock Up differs from a traditional storage facility in that almost all of the units are accessible only from the inside of the facility through a large, heated unloading area. From here customers unload their goods onto carts before proceeding to their unit.

The unloading areas are generally designed to accommodate two to three vehicles at one time through large overhead doors. Cars, pickups, vans, and rental trucks will fit easily inside the unloading areas. Doors are then closed for complete weather protection.

Security – Strong Yet Customer Friendly

We take pride in making our facilities safe for our customers, their goods, and the community. The Lock Up maintains a tenant/landlord relationship with our customers, much like that of an apartment or office building. Hazardous and explosive materials are not permitted under any circumstances. We even maintain the right to enter a customer's unit for inspection or maintenance purposes. Each door is equipped with a unique tamper-proof locking system.





services and community benefits

Our customers are people whose homes are on the market, people between homes, and people who need an extra closet or who'd like to reclaim their garage for its intended use. We service students, sales reps, merchants of all types, and businesses storing records. Storing at The Lock Up is like storing in a spare bedroom — a secure, well lit, comfortable atmosphere.



Contact Information

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Quality self storage
in quality communities

secure

THELOCKUP

Self Storage

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For more information on how a Lock Up Storage Center can provide needed benefits in your community, please contact our headquarters:

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