



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #5
 January 12, 2015
 BZZ-6956

LAND USE APPLICATION SUMMARY

Property Location: 401 Hennepin Avenue
Project Name: AC Hotel Minneapolis
Prepared By: [Kimberly Holien](#), Senior Planner, (612) 673-2402
Applicant: Charles Murphy, Interpark
Project Contact: Dan Lessor, Mortenson Construction
Request: To construct a 9-story hotel with 244 guest rooms.

Required Applications:

Conditional Use Permit	Conditional use permit to allow surface parking in the DP, Downtown Parking Overlay district.
Conditional Use Permit	Conditional use permit to allow two wall signs at the top of the building, notwithstanding the height and area limits for signs in the Downtown Districts.
Variance	Variance to allow wall signs to be placed on non-primary building walls and to increase the height and area of said wall signs.
Site Plan Review	Site Plan Review for a new 9-story hotel with 244 guest rooms and 130,959 square feet of floor area.

SITE DATA

Existing Zoning	B4-2 Downtown Business district DP, Downtown Parking Overlay district
Lot Area	23,239 square feet / 0.53 acres
Ward(s)	3
Neighborhood(s)	Downtown Minneapolis Neighborhood Association
Designated Future Land Use	Commercial
Land Use Features	Activity Center, Growth Center
Small Area Plan(s)	N/A

Date Application Deemed Complete	December 16, 2014	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	February 14, 2015	End of 120-Day Decision Period	N/A

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The site is located at the corner of Hennepin Avenue and 4th Street S. The subject property consists of a surface parking lot with curb cuts from Hennepin Avenue and 4th Street S. This commercial parking lot has been located on the site since approximately 1986. Prior to that, the site contained a ten-story hotel, the Hotel Andrews.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is located in the Downtown core. The property to the east contains a parking ramp that is under common ownership. The historic Lumber Exchange building is located south of the site. The Central Library is located across 4th Street S to the north and the Gay 90's is located across Hennepin Avenue to the west.

PROJECT DESCRIPTION. The applicant is proposing to construct a 9-story hotel with 244 guest rooms and 130,959 square feet of gross floor area. The hotel will be an AC Hotel by Marriot. The ground floor of the building will include a lobby, breakfast area, bar and lounge, a library and a multi-media sitting area to activate the space. Other guest amenities include a fitness center and meeting space, both on the second floor. The main entrance is located on Hennepin Avenue. Vehicles will enter the site from Hennepin Avenue to access the grade level parking and valet area behind the building. There is a second pedestrian entrance in this location.

The adjacent parking ramp is currently under common ownership with the subject site. Guest parking will be accommodated in this ramp. As such, vehicles entering the site from Hennepin Avenue will be able to drive under the building and access the parking ramp through the site. The hotel will offer valet parking and self-park options. The surface parking stalls behind the building are intended as short-term and valet parking only.

Surface parking in the DP, Downtown Parking overlay district is a conditional use. The applicant has applied for a conditional use permit to allow eight surface parking stalls behind the building. These stalls will be screened by the building and not visible from the Hennepin Avenue or 4th Street S.

The applicant is proposing signage at the top of the building on what they are referring to as a marquee element that is incorporated into the building wall. Specifically, three signs are proposed, each bearing "AC Hotels Marriot." The proposed signs are 144 square feet each and face the north, south, and west. The maximum height for wall signage is 28 feet in the B4-2 Downtown Business District. All three signs exceed the maximum height for signage permitted in the B4-2 District. The zoning code authorizes a conditional use permit to increase the maximum height of signs for structures exceeding 6 stories or 84 feet, subject to section 543.470(b) which states:

543.470. (b) *Exception.* Recognizing that certain buildings or uses may have unique identification needs, notwithstanding the height and area limits of Tables 543-2, Specific Standards for Signs in the OR2, OR3 and Commercial Districts, 543-3, Specific Standards for Signs in the Downtown Districts, and 543-4, Specific Standards for Signs in the Industrial Districts, a conditional use permit may be applied for, as provided in Chapter 525, Administration and Enforcement, to allow not more than two (2) additional wall signs identifying the name or logo of a building or use in a building that exceeds six (6) stories or eighty-four (84) feet in height, subject to the following:

- (1) Signs shall be limited to individual letters or elements permanently affixed to the building wall.

- (2) Signs shall not exceed three (3) square feet of sign area for each one (1) foot of building wall to which such sign is attached or three hundred (300) square feet, whichever is less.
- (3) Not more than one (1) sign shall be located on a building wall.
- (4) The vertical dimension of such sign shall not exceed fourteen (14) feet.

The applicant has applied for a conditional use permit for the north-facing and west-facing signs. The south-facing sign is located on a non-primary building wall and additional applications are required for this particular sign.

A primary building wall is an exterior building wall that faces a street or an exterior building wall that faces an accessory parking area. When the exterior building walls are not parallel to a street, they shall be assigned to the street frontage to which they are most oriented. The south elevation, while visible from Hennepin Avenue, is not facing a street or an accessory parking area. Further, the zoning code regulates the size of a sign based on the length of the primary building. The proposed sign is not located on a primary building wall, therefore, no sign allotment is granted. Therefore, the applicant has requested variances to allow for a sign located on a non-primary building wall, to increase the maximum area of said sign from 0 square feet to approximately 144 square feet and to increase the maximum height to approximately 120 feet.

The applicant is proposing three other signs on non-primary building walls. As noted above, the entrance into the parking is from Hennepin Avenue and goes under the building. The applicant is proposing a wall sign on each side of this covered entrance that face the interior. While visible from Hennepin Avenue, these are non-primary building walls. Variances are requested to increase the area of said signs from zero square feet to 38 square feet each. A sign is also proposed on the east elevation, which is a non-primary building wall. This sign is proposed at 60 square feet. A variance to increase the size of this sign from zero square feet to 60 square feet is requested.

PUBLIC COMMENTS. Staff received a letter from the Downtown Minneapolis Neighborhood Association dated November 10, 2014, expressing support for the project. Said letter has been attached for reference.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application for a conditional use permit to allow surface parking stalls in the DP, Downtown Parking Overlay district, based on the following [findings](#):

- I. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The establishment of eight surface parking stalls behind the proposed building will not be detrimental to or endanger the public health, safety, comfort or general welfare. The applicant is proposing eight surface parking stalls on the east side of the building that will be completely screened by the building and not visible from Hennepin Avenue or 4th Street S. These stalls will primarily be used as short-term parking and for valet drop-off.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

Surface parking completely to the interior of the site will not impede the normal or orderly development of the surrounding area nor will it be injurious to the use and enjoyment of other property in the vicinity. The surrounding area is fully developed with adjacent uses including a parking ramp, the Lumber Exchange, the Central Library and the Gay 90's. Providing parking in this location will allow for valet functions to occur entirely on site without impacting the adjacent public streets. The fact that the parking will be completely screened from the public street further limits any potential impact on surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The utilities, access, drainage, and other measures are existing and adequate. Eight surface parking stalls to the rear of the building will have no impact on these items. The applicant will be required to work closely with the Public Works Department, the Plan Review Section of the CPED and the various utility companies during the duration of the development should the plan be approved. This would be required to ensure that all procedures are followed in order to comply with city and other applicable requirements.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

As noted above, the proposed surface parking stalls will primarily be used for valet drop-off. Accommodating this function entirely on-site will limit the impact on adjacent public streets and minimize traffic congestion by allowing vehicles to queue behind the building. Parking for the hotel will be accommodated in the parking ramp directly east of the site and self-park and valet parking options will be available. The site is also less than one block from the LRT station at Hennepin Avenue and 5th Street S. The statement prepared by the applicant cites that, given the alternative modes of transportation available in the immediate area, parking demand is expected to be approximately 40 percent of the room count.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The following policies of the Minneapolis Plan for Sustainable Growth address parking: identifies the site as commercial on the future land use map. The site is within the boundaries of an Activity Center and downtown is a designated Growth Center. The following policies of the comprehensive plan apply:

Policy I.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- I.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide "eyes on the street".

Land Use Policy 1.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.

- 1.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- 1.12.2 Encourage mixed use buildings, with commercial uses located on the ground floor and secure entrances for residential uses.
- 1.12.5 Encourage a height of at least two stories for new buildings in Activity Centers, in keeping with neighborhood character.
- 1.12.6 Encourage the development of high- to very-high density housing within the boundaries of Activity Centers.

Transportation Policy 2.8: Balance the demand for parking with objectives for improving the environment for transit, walking and bicycling, while supporting the city's business community.

- 2.8.1 Implement off-street parking regulations which provide a certain number of parking spaces for nearby uses, while still maintaining an environment that encourages bicycle, pedestrian, and transit travel.
- 2.8.5 Continue to prohibit new commercial surface parking lots and to restrict the size of accessory surface parking lots in Downtown.

Urban Design Policy 10.11: Seek new commercial development that is attractive, functional and adds value to the physical environment.

- 10.11.3 Continue to curb the inefficient use of land by regulating minimum height, setbacks, build-to lines and parking through master planning methods and zoning code regulations.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.
- 10.18.3 Locate parking lots to the rear or interior of the site.
- 10.18.4 Provide walkways within parking lots in order to guide pedestrians through the site.
- 10.18.6 The ground floor of parking structures should be designed with active uses along the street walls except where frontage is needed to provide for vehicular and pedestrian access.

- 10.18.17 Minimize the width of ingress and egress lanes along the public right of way in order to provide safe pedestrian access across large driveways.
- 10.18.18 Encourage appropriate land uses to share parking lots to reduce the size and visual impact of parking facilities.

The proposed parking lot design is consistent with the applicable policies of the comprehensive plan. The proposed surface parking lot is located on the interior of the site and screened from the adjacent streets with the proposed building. The applicant is limiting the size of the surface parking to eight spaces and providing guest parking in the adjacent parking ramp.

- 6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With the approval of the requested conditional use permits and variances, the proposal will comply with all application regulations of the B4-2, Downtown Business district. The other applications are evaluated below.

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow two wall signs at the top of the building, notwithstanding the height and area limits for signs in the Downtown Districts, based on the following findings:

- 1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The proposed signs will not be detrimental to or endanger the public health, safety, comfort or general welfare. The applicant is proposing signage at the top of the building on what they are referring to as a marquee element incorporated into the building wall. Specifically, three signs are proposed, each bearing “AC Hotels Marriot.” Two of these three signs are covered under the conditional use permit. The proposed signs are 144 square feet each and face the north and west. The signs are each approximately 120 feet in height. The maximum height for wall signage is 28 feet in the B4-2 Downtown Business District. The zoning code recognizes that certain buildings have unique identification needs and authorizes a conditional use permit to increase the maximum height for structures exceeding 6 stories or 84 feet. The proposed nine story building qualifies for this exception. Section 543.470 of the zoning code allows these taller buildings to have two wall identification signs that exceed the normal height limitations of the district in which they are located, subject to the following standards:

- (1) Signs shall be limited to individual letters or elements permanently affixed to the building wall.

Staff comment: The sign will include individual letters affixed to a colored background that is part of the building wall.

- (2) Signs shall not exceed three (3) square feet of sign area for each one (1) foot of building wall to which such sign is attached or three hundred (300) square feet, whichever is less.

Staff comment: The wall to which the sign at the north elevation is affixed is 130 feet in length, allowing a sign up to 300 square feet in area. The sign proposed in this location is 144 square feet in area. The west-facing wall to which the second sign is affixed is 140 feet in length, permitting a sign up to 300 square feet in area. The sign proposed on this wall is also 144 square feet in area. The third sign (south-facing) on this building element is requested via a variance evaluated below.

(3) Not more than one (1) sign shall be located on a building wall.

Staff comment: This condition is met. The marquee element that extends above the building will have one sign on each wall.

(4) The vertical dimension of such sign shall not exceed fourteen (14) feet.

Staff comment: The vertical dimension of each sign is 12 feet.

The proposed signs meet all of the standards required per Section 543.470. The height of the signs is intended for wayfinding and identification purposes, which is especially important for a hotel use catering to out of town guests. This design element is also intended to emulate the theater marquees along Hennepin Avenue.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The proposed signage will not impede the normal or orderly development of the surrounding area nor will it be injurious to the use and enjoyment of other property in the vicinity. The surrounding area is fully developed with adjacent uses including a parking ramp, the Lumber Exchange, the Central Library and the Gay 90's. Staff finds that the proposed signage is in scale with the building and surrounding development. The height of the signs is not out of character with the surrounding area or the proposed building itself. Further, the sign should not affect the ability to improve adjacent properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The utilities, access, drainage, and other measures are existing and adequate. The addition of two wall signs will have no impact on these items. The applicant will be required to work closely with the Public Works Department, the Plan Review Section of the CPED and the various utility companies during the duration of the development should the plan be approved. This would be required to ensure that all procedures are followed in order to comply with city and other applicable requirements.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The proposed use is not expected to contribute to traffic congestion in the adjacent public streets. Parking for the hotel will be accommodated in the parking ramp directly east of the site. Eight surface parking stalls are proposed behind the building for short-term parking and valet activities. The site is also less than one block from the LRT station at Hennepin Avenue and 5th Street S. The statement

prepared by the applicant cites that, given the alternative modes of transportation available in the immediate area, parking demand is expected to be approximately 40 percent of the room count.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The Minneapolis Plan for Sustainable Growth states the following about signs. “Sign design needs to balance the desire to convey information with a need to maintain visual aesthetics so signage is not intrusive. The scale of signage should be geared toward the pedestrian and less to the automobile. Unique signage that incorporates unusual materials or designs is encouraged.”

The Minneapolis Plan for Sustainable Growth has the following policies for signs:

Urban Design Policy 10.20: Promote an attractive environment by minimizing visual clutter and confusion caused by a proliferation of signage.

10.20.1 Location, size, height and spacing of off-premise advertising signs and billboards shall be regulated to minimize their visual blighting effects.

10.20.2 Master sign plans shall be submitted for multi-tenant buildings to ensure a complementary relationship between signage and the architecture of a building.

10.20.3 Develop incentives for exceptional sign design and style, including a special review process to ensure appropriate location, size, height and compatible design to the architecture of the building and other signage.

10.20.4 Develop a consistent, city-wide wayfinding signage design and maintenance plan for neighborhoods, trails, etc.

Urban Design Policy 10.21: Unique areas and neighborhoods within the city should have a special set of sign standards to allow for effective signage appropriate to the planned character of each area/neighborhood.

10.21.1 Supporting the regional draw of Downtown entertainment areas, larger scale signage shall be allowed in appropriate places (such as the Hennepin Avenue Downtown Entertainment Area and Nicollet Mall Overlay District).

10.21.2 To promote street life and activity, signs should be located and sized to be viewed by people on foot (not vehicles) in order to preserve and encourage the pedestrian character of commercial areas that have traditional urban form.

10.21.3 Encourage effective signage that is appropriate to the character of the city’s historic districts and landmarks, and preserves the integrity of historic structures.

The proposed signs meet the location, type, area and the specific standards for wall identification signs on buildings over six stories or 84 feet in height. The signs are not out of scale with the building, site, or area. The proposed signs are in conformance with the above policies of the comprehensive plan.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With the approval of the requested conditional use permits and variances, the proposal will comply with all application regulations of the B4-2, Downtown Business district. The other applications are evaluated below.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to allow wall signs to be placed on non-primary building walls and to increase the height and area of said wall signs. based on the following [findings](#):

- I. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is proposing four signs on non-primary building walls. Specifically, the signs are as follows:

- **Signs 1 and 2:** Two signs facing the interior of the covered driveway from Hennepin Avenue. These signs are 38 square feet each.
- **Sign 3:** A third sign on the marquee element at the top of the building, facing south. This sign is 144 square feet in area. Required applications include a variance to increase the size of the sign from 0 square feet to 144 square feet and a variance to increase the height of the sign from 28 feet to 120 feet.
- **Sign 4:** A 60 square-foot sign on the east elevation. This sign is 28 feet in height.

Practical difficulties exist in complying with the sign ordinance due to circumstances unique to the property. Each sign has its own practical difficulty, as evaluated below:

Signs 1 and 2 (within the covered driveway): The applicant is proposing a wall sign on each side of this covered entrance that face the interior driveway. As noted above, the entrance into the parking is from Hennepin Avenue and goes under the building. While visible from Hennepin Avenue, these are non-primary building walls. The parking behind the building is not visible from the street. As such, the applicant has proposed these two signs to direct vehicles off Hennepin Avenue to the off-street parking area. In addition to the parking area not being visible, the identification needs of the use are unique. These signs are intended for wayfinding and to minimize traffic congestion at the corner of 4th and Hennepin by directing vehicles into the site.

Sign 3 (top of the building): Practical difficulties exist in complying with the ordinance due to the unique identification needs for a hotel. Hotels are predominantly frequented by out-of-town guests that are unfamiliar with the area. The sign at the top of the building is needed for wayfinding.

Sign 4 (east wall): Practical difficulties exist in complying with the ordinance due to the location of the off-site parking. The parking for the proposed use will be located in the parking ramp to the east of the site. Therefore, the applicant is proposing a sign on the east side of the building to provide building identification for guests coming from the ramp. This is the only sign that is proposed on the east wall to identify the hotel for pedestrians walking to the site.

For all signs, the set of circumstances leading to practical difficulties are unique to the property and have not been created by the present owner.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The regulations governing on-premise signs were established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property and to protect the public health safety and welfare. The subject property is zoned B4-2 and is located just outside the downtown core. The proposed signage would be in keeping with the spirit and intent of the ordinance. Two of the wall signs face the interior driveway and have limited visibility from Hennepin Avenue. These signs are small in scale and intended for wayfinding. The sign at the top of the building is in scale with the size of the building and will not contribute to visual clutter. The height of this sign is identical to the other two signs proposed at the top of the building per the conditional use permit. The final sign on the east elevation, facing the parking ramp, is proposed as a wayfinding tool for hotel guests who use the adjacent parking ramp. This sign is appropriately scaled at 60 square feet. If this wall were a primary building wall, up to 167 square feet of signage would be allowed. The proposed sign locations and sizes are reasonable, appropriately scaled and in keeping with the spirit and intent of the ordinance.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Staff finds that the granting of the variances for signage would not negatively alter the essential character or be injurious to the use or enjoyment of other property in the area. The proposed signs are appropriately scaled for the building, will not contribute to visual clutter and will be in keeping with the character of the surrounding area.

Findings Required by the Minneapolis Zoning Code for a sign adjustment:

- 1. The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.**

All signs: The applicant has provided a sign plan that includes the proposed signage for the structure, which will be occupied by one tenant. The proposed signs are scaled appropriately for the building. The signs within the driveway will have limited visibility from Hennepin Avenue and are limited in size. The sign on the east elevation is relatively small and the only sign that will be visible when looking at the building from the east. The sign at the top of the building is part of a larger building element that includes two other identical signs covered under a conditional use permit. The proposed signs will not lead to sign clutter nor will they be inconsistent with signage on other buildings in the downtown districts.

- 2. The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.**

All signs: The proposed signs will relate in size, shape, material, color, illumination and character of the proposed building on the property. The signs will be professionally applied to the building with quality materials, permanently affixed to the building wall. The signs will be acrylic and internally illuminated.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – *Requires alternative compliance*

- The building will be located up to the north and west property lines, reinforcing the street wall along Hennepin Avenue and 4th Street S.
- The principal entrance is in the center of the building, facing Hennepin Avenue. The entrance will open directly to the public sidewalk.
- The accessory parking area is located to the rear of the building and is screened by the building from Hennepin Avenue and 4th Street S.
- The proposed building walls will contain architectural details and windows to create visual interest and to increase the security of the adjacent outdoor spaces by maximizing natural surveillance and visibility.
- The building is designed as an L-shape with two different façade expressions to divide it into smaller, identifiable sections.
- The south and east elevations each contain sections of blank wall that exceed 25 feet in length. Alternative compliance is requested.
- The primary exterior materials include stone, granite, stucco and metal panel. These are all durable materials. The masonry materials are proposed on the first floor with stucco and metal panel comprising the upper floors. The first floor of the north elevation will have polished black granite at the base with stucco and metal panel above. The first floor of the remaining elevations will have stone at the base with stucco and metal panel on the upper floors.
- While the façade expressions differ, all sides of the building would be compatible and similar to each other in terms of materials and vertical expression.
- Plain face concrete block is not proposed as an exterior material.
- To emphasize its importance, the principal entrance is defined by fritted glass, a wood surround and a canopy. The rear entrance is also emphasized with fritted glass and a wood surround.
- The proposed amount of window area on the street facing building elevations exceeds the minimum window area requirements, as shown in **Table I** below. The windows are vertically proportioned and distributed in an even manner. The bottom of the ground floor windows would all be within 4 feet of the adjacent grade.
- First floor or ground floor windows are required to have clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. The plans do not indicate any tinting on the proposed windows. To ensure that this requirement is met, a condition of approval will be added to the site plan. Fritted glass at the building entrances has not been counted toward the minimum window requirements.

- The entire north- and west-facing elevations, facing the public street, contains active functions.
- The proposed roofline is flat, consistent with other buildings in the area.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
	1 st Floor (North)	30% minimum	173 sq. ft.	64.5%
2 nd Floor and Above (North)	10% minimum	96 sq. ft.	33%	324 sq. ft.
1 st Floor (West)	30% minimum	268 sq. ft.	42.8%	384 sq. ft.
2 nd Floor and Above (West)	10% minimum	112 sq. ft.	23.1%	259 sq. ft.
1 st Floor (East)	30% minimum	178 sq. ft.	0.0%	0 sq. ft.
2 nd Floor and Above (East)	10% minimum	96 sq. ft.	23.3%	224 sq. ft.

Access and Circulation – Meets requirements

- The principal entrance opens directly to the public sidewalk along Hennepin Avenue. The second entrance on the back side of the building opens onto a sidewalk that is 10-feet in width. This sidewalk connects to the public sidewalk along 4th Street S, maintaining the 10-foot width for the length of the site.
- The site is not adjacent to a transit stop.
- The site currently has two curb cuts; one from Hennepin Avenue and one from 4th Street S that is shared with the adjacent parking ramp. The applicant is proposing to retain the curb cut from Hennepin Avenue with the construction of the hotel and shift the curb cut on 4th Street to the west. This curb cut will serve the hotel only. Vehicles will enter the site from Hennepin Avenue and have the opportunity to drop-off their vehicle behind the building for valet parking or continue through the site to the adjacent parking ramp and self-park. Access through the site into the adjacent ramp is an existing condition. Vehicles will exit the site onto 4th Street S. The applicant is proposing a connection between the hotel and the adjacent parking ramp on the second floor. This interior pedestrian connection will limit conflicts between vehicle and pedestrian traffic between the site and the parking ramp.
- The applicant is not proposing any modifications to the amount of impervious surface on site. With the current surface lot the site is 100 percent impervious. It will remain 100 percent impervious after the construction of the proposed hotel.

Landscaping and Screening – Requires alternative compliance

- Any building containing fifty thousand (50,000) square feet or more of gross floor area located in the Downtown districts shall be exempt from the general landscaping and screening requirements. The proposed building is 139,959 square feet in area and therefore not subject to the landscaping requirements. The parking and loading landscaping and screening requirements shall apply.
- The parking lot has fewer than 10 spaces and does not abut a public street, residence or office-residence district or any permitted or conditional residential uses.
- The corners of parking lots where rows of parking spaces leave areas unavailable for parking or vehicular circulation shall be landscaped as specified for a required landscaped yard. The applicant is not proposing any landscaping in the southeast corner of the site. According to the shadow studies submitted as part of the project, this area of the site will not receive any sunlight and as such, it is unlikely that any vegetation would survive in this location. The applicant is proposing 1.5-inch slate trap rock in this location. Alternative compliance is requested.

- Four street trees are proposed along Hennepin Avenue. No trees are proposed along 4th Street S due to the requirement of a vault for Xcel Energy.

Additional Standards – Meets requirements

- Curbing is proposed around the parking area. Given the limited size of the parking lot, on-site retention of stormwater may not be practical in this instance.
- The building should not impede any views of important elements of the city. While the building is nine stories in height, it is consistent with the height of other buildings in downtown. The building directly east of the site is eight stories in height and adjacent Lumber Exchange building is 12 stories. There are no city designated landmarks or important views of the City that would be impacted by the proposed building height, as the Lumber Exchange is taller than the proposed building.
- A shadow study was submitted as part of the application. The proposed building will produce shadowing. However, it is not inconsistent with the shadowing effects of other buildings in the immediate area.
- The angles of the building should minimize the effects of wind currents at ground level.
- The site includes crime prevention design elements. The ground floor contains significant glazing to provide opportunities for people to observe adjacent spaces. Walkways guide people through the site and to the adjacent public sidewalks. The applicant is proposing a three-foot setback from the south property line, leaving a narrow vacant space between the proposed hotel and the Lumber Exchange. A decorative metal fence is proposed in this location to prevent access. Said fence will be six feet in height.
- No buildings are proposed to be demolished and the site is not within a locally designated historic district. However, the adjacent Lumber Exchange is a locally designated individual historic landmark. The applicant is proposing to construct the building within three feet of the north wall of the Lumber Exchange. The Lumber Exchange is built up to the shared property line and has non-conforming window openings on this elevation. The construction of the proposed building will obstruct views from these windows and affect access to natural light for these non-conforming openings. However, there is no required setback for the proposed building in this location and the setback proposed by the applicant is allowed as of right.

2. Conformance with all applicable regulations of the zoning ordinance.

A hotel is a permitted use in the B4-2 District.

Off-street Parking and Loading – Meets requirements

- *Parking:* There is no off-street parking requirement for hotel uses in the downtown districts. The applicant is proposing 8 surface stalls on-site and all guest parking will be accommodated in the adjacent parking ramp.
- *Loading:* Hotels have a medium loading requirement. The applicant discussed loading needs for this limited service hotel with Public Works, and the result of those conversations is that the required loading is proposed in the existing loading zone along 4th Street S. This loading space is subject to final approval by Public Works.

Building Bulk and Height – Meets requirements

- The proposed hotel meets the building bulk and height requirements, as illustrated below.

Table 4. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	23,239 square feet (.53 acres)
Gross Floor Area (GFA)	--	130,959 sq. ft.
Minimum Floor Area Ratio (GFA/Lot Area)	--	5.6
Maximum FAR	16	
Maximum Building Height	--	9 stories and 97 ft.

Lot Requirements – *Not applicable*

Yard Requirements – *Meets requirements*

- Residential uses and hotels in the downtown districts with windows facing the rear or interior side property lines are subject to a setback requirement of 5+2x where “x” equals the number of stories above the first floor, with a maximum setback requirement of 15 feet. This requirement applies to the east property line, as illustrated below.

Table 7. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Interior Side (East)	15 ft.	--	15 ft.	34.5 ft.

Signs – *Variances requested*

- The applicant has requested a conditional use permit and variances for signage, as evaluated above. In addition to those signs, wall signage is proposing along Hennepin Avenue and 4th Street S. Only those signs not covered by variance or conditional use permit applications are listed below:

Table 8. Signage Summary

	Number Allowed Per Zoning Lot	Proposed Number	Maximum Size Allocation	Maximum Area Per Sign	Proposed Area	Maximum Allowed Height	Proposed Height
Wall (North)	--	1	300 sq. ft.	120 sq. ft.	28 sq. ft.	28 ft.	16.5 ft.
Wall (West)	--	3	500 sq. ft.	120 sq. ft.	139 sq. ft.	28 feet	20 ft. max
Wall (East)	--	3	300 sq. ft.	120 sq. ft.	36 sq. ft.	28 feet	16.5 ft max
Projecting	--	1	48 sq. ft.	48 sq. ft.	11 sq. ft.	28 ft.	17 ft.

Refuse Screening – *Meets requirements*

- Refuse and recycling storage containers are required to be enclosed on all four sides by screening compatible with the principal structure not less than two feet higher than the refuse container or

shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. The refuse containers are located within the building.

Screening of Mechanical Equipment – *Meets requirements*

- All mechanical equipment is required to be arranged so as to minimize visual impact by using screening and must comply with Chapter [535](#) and district requirements. All roof-top mechanical equipment is proposed to be screened appropriately. The transformer is proposed on the back side of the building, screened from the adjacent public streets.

Lighting – *Meets requirements*

- Lighting must comply with Chapter [535](#) and Chapter [541](#) of the zoning code. No additional lighting is proposed at this time. The applicant is proposing decorative lighting in the parking area behind the building that will be downcast. Other building-mounted lighting will also be downcast to minimize glare.

Impervious Surface Area – *Not applicable*

Specific Development Standards – *Not applicable*

- There are no specific development standards for hotels in downtown districts.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as commercial on the future land use map. The site is within the boundaries of an Activity Center and downtown is a designated Growth Center. The following policies of the comprehensive plan apply:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

1.1.4 Support context-sensitive regulations for development and land use, such as overlay districts, in order to promote additional land use objectives.

1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- I.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.
- I.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.

Policy I.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- I.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.
- I.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy I.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.

- I.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- I.12.2 Encourage mixed use buildings, with commercial uses located on the ground floor and secure entrances for residential uses.
- I.12.5 Encourage a height of at least two stories for new buildings in Activity Centers, in keeping with neighborhood character.
- I.12.6 Encourage the development of high- to very-high density housing within the boundaries of Activity Centers.

Land Use Policy I.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.

- I.15.3 Encourage the development of high- to very high-density housing within Growth Centers.

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

- 10.1.1 Concentrate the tallest buildings in the Downtown core.
- 10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.
- 10.1.3 Building placement should allow light and air into the site and surrounding properties.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

- 10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.
- 10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.
- 10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.
- 10.2.4 Integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street.
- 10.2.5 Locate access to and egress from parking ramps mid-block and at right angles to minimize disruptions to pedestrian flow at the street level.
- 10.2.6 Arrange buildings within a site in order to minimize the generation of wind currents at ground level.
- 10.2.7 Locate buildings so that shadowing on public spaces and adjacent properties is minimized.
- 10.2.8 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

4. Conformance with applicable development plans or objectives adopted by the City Council.

- Not applicable.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Blank walls.** Blank walls in excess of 25 feet in length are proposed on the first floor of the east elevation, facing the parking lot, and the south elevation, facing the Lumber Exchange. The south elevation will only be visible from windows within the Lumber Exchange building as this

wall is setback 3 feet from the south property line. Due to the limited visibility, staff recommends granting alternative compliance to allow blank walls in this location. On the east elevation, the applicant is proposing a blank wall that is 40 feet in length on the ground floor, facing the parking lot. This wall is proposed to be constructed of Kasota stone and breaking it up with a material change or recess may detract from the overall design of the building. As such, staff recommends granting alternative compliance.

- **Windows.** The east elevation, facing the parking area, is required to have windows for 30 percent of ground floor. In this case, 30 percent equates to 178 square feet of glazing. The applicant is proposing 68 square feet of fritted glass in the entrance on this elevation and no additional glazing. The fritted glass is not entirely clear and would not count toward meeting the window requirements. This entire side of the building includes back of house operations, such as mechanical, storage, bathrooms and the like. Excess glazing is provided on the upper floors of this elevation and on the street-facing elevations. Therefore, staff recommends granting alternative compliance for the window requirement.
- **Landscaping.** The only applicable landscaping requirement for the 8-space surface parking lot applies to the southeast corner of the site. No landscaping is proposed in this area. The applicant is proposing large rock mulch in lieu of plantings. The shadow studies provided by the applicant illustrate that this area of the site will not receive any sunlight and thus, it is unlikely that any vegetation would survive. Staff recommends granting alternative compliance accordingly.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to allow eight surface parking stalls in the DP, Downtown Parking Overlay district for the property at 401 Hennepin Avenue, subject to the following condition:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to allow two wall signs at the top of the building, notwithstanding the height and area limits for signs in the Downtown Districts, for the property located at 401 Hennepin Avenue, subject to the following condition:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn.

Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to allow wall signs to be placed on non-primary building walls and to increase the height and area of said wall signs for the property located at 401 Hennepin Avenue.

Recommendation of the Department of Community Planning and Economic Development for the site plan review:

The Department of Community Planning and Economic Development recommends that the City Planning Commission **approve** the site plan review application for a nine-story hotel with 244 rooms on the property at 401 Hennepin Avenue, subject to the following conditions:

1. All site improvements shall be completed by January 12, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED Staff shall review and approve the final site, elevation, landscaping and lighting plans before building permits may be issued.
3. No shelving, signage, merchandise, newspaper racks or other similar fixtures shall be placed in front of the required ground level transparent windows.
4. All required ground floor windows shall have clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher, in compliance with 530.120 of the zoning code.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. Correspondence
3. Zoning map
4. Site plan
5. Floor Plans
6. Elevations
7. Color renderings
8. Shadow studies
9. Photos

Dec 5, 2014

AC Hotel by Marriott, 4th and Hennepin: Project Description

The AC Hotel is a nine story lifestyle hotel with 244 guestrooms. Street level amenities will include several active hotel retail uses including the AC Bar and Lounge which will serve craft beers, signature cocktails and specialty wines, a 1,200 SF dining area, a library and multimedia sitting area and a 24/7 lobby and registration area. These active spaces will create a dynamic atmosphere and will be curated with sculptural artwork and a unique lighting design. The second level public space amenities include an 1,100 SF fitness center and 1,500 SF of meeting space including breakout media salons with advanced technology. A pedestrian lobby entrance is located on Hennepin Avenue with a vehicular entrance and drop-off area mid-block in the outdoor courtyard area, accessed by driving under the building.

The architectural design and massing of the AC Hotel is based on guidance from urban and architectural design principles developed in the City's land use plans and timeless city building strategies. Between 1911 and 1984 this location was the site of the nine story Andrews Hotel. The proposed design and massing re-establishes the historic street definition along Hennepin Avenue and 4th Street at a location which is currently an open surface parking lot. The height fits well with its immediate neighbors, the 12 story Lumber Exchange and the 8 story Excel Energy headquarters building. The L-shaped massing of the proposed design allows the middle of the site to remain open to the sky.

The architectural expression of the AC Hotel is contemporary in design. The gridded Hennepin facade is derivative of early warehouse buildings in this area, muted so as not to detract from the neighboring historic Lumber Exchange building. The complimentary 4th Street facade is lighter in feeling and more playful, taking cues from the Central Public Library across the street. Materials on both these elevations consist of stucco, metal panel and glass.

Near the corner of 4th and Hennepin, the building facade breaks to turn the corner, and this is the location of the tower marquee. This signage element is inspired by other marquees

up and down the Hennepin Avenue Theater District. Beginning at the base of this marquee, a canopy will extend above the first floor along the Hennepin Avenue face of the building to provide protection from the elements along the sidewalk. The main entrance to the lobby will receive further special material treatment to emphasize its location.

The first floor articulation is composed of deep set piers between large windows, providing greater texture at street level and giving a nod to the Lumber Exchange first floor. Public areas wrap the Hennepin and 4th street facades with active uses. Cast stone and glass are the primary materials at this level of the building. The vehicular drop off drive is set discreetly under the building adjacent to the Lumber Exchange and will allow for drop off and service behind the building.

The hotel will be less than one block away from the Warehouse District Light Rail Transit Station. Given this urban location and close proximity to mass transit, the anticipated parking demand for the proposed hotel is approximately 40% of the room count. This parking demand will be accommodated in the adjacent privately owned parking ramp behind the building. This facility is accessed from both 4th street and directly from the interior of the site. The hotel will offer both valet parking services as well as a self-park option at this location.

The approvals requested for this project include the following:

1. Site Plan Review
2. Conditional Use Permit for surface parking in the Downtown Parking Overlay District
3. Conditional Use Permit for increased sign height
4. Variances for signs

Department of Community Planning and Economic Development – Planning Division
Conditional Use Permit and Variance

Date: December 16, 2014

Applicant: Mortenson Development, Inc.

Addresses of Property: 401 Hennepin Avenue

Project Name: AC by Marriott

Proposed Use: Hotel

Concurrent Review:

Conditional use permit: Surface parking in the Downtown Parking Overlay District, to increase sign height

Variance: To allow a sign on a non-primary building wall (south elevation).

CONDITIONAL USE PERMIT: Parking

Findings as required by the Minneapolis Zoning Code:

- 1. Will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property for uses permitted in the district.**

The surrounding area is developed and consists of high-density office, hotel, commercial and entertainment uses and will be unaffected by the conditional use.

The interior parking is being created to allow for queuing of valet drop-offs in order to bring traffic off of Hennepin Avenue and to prevent the potential stopping that would occur with street side drop offs.

- 2. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.**

The applicant will be working closely with the Plan Review Section of the Inspections Department and the various utility companies during the construction of the onsite parking to ensure that all procedures are followed in order to comply with City and other applicable requirements.

- 3. Adequate measures have been or will be provided to minimize traffic congestion in the public streets.**

The site is located on the corner of 4th Street and Hennepin Avenue. After initial conversations with City staff, the hotel drop off area was moved internally to bring traffic off of Hennepin and avoid potential stacking and conflicts with buses and other traffic. The onsite parking provides stalls for the queuing of valet drop offs and localizes the guest vehicles to internal portion of the site, thus minimizing traffic congestion in the public streets.

- 4. Is consistent with the applicable policies of the comprehensive plan.**

The proposed parking is consistent with the comprehensive plan while having an intent to minimize traffic congestion in the public streets.

- 5. And, does in all other respects conform to the applicable regulations of the district in which it is located, with the approval of this conditional use permit.**

With the approval of the conditional use permit the proposed parking will conform to the applicable district regulations.

The proposed sign meets the location, area, height, and the specific standards for wall identification signs on buildings that exceed six stories or 84 feet, except for signage on a non-primary building wall. The applicant has requested a variance of non-primary building wall signage. The overall sign plan is also in conformance with all zoning code regulations and does not exceed the applicable standards. The addition of this sign will not lead to sign clutter or be inconsistent with taller buildings located in the zoning district. The addition of the AC Logo Signs at the drive lane off of Hennepin will help reduce congestion on Hennepin by getting traffic off Hennepin and to the guest drop-off location at the back of the hotel.

- 2. The sign adjustment will allow a sign that relates in size shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.**

The signs will be professionally constructed and installed. The signs are not out of scale with the size or design of the building, site, or surrounding area.



M. A. Mortenson Company
700 Meadow Lane North
Minneapolis, MN 55422

main 763.522.2100
fax 763.287.5430
www.mortenson.com

December 5, 2014

Mr. Jacob Frey
Minneapolis City Council – Ward 3
350 S 5th Street Room 307
Minneapolis, MN 55415

RE: 401 Hennepin Ave

Dear Mr. Frey,

As a follow up to our meeting on November 10, 2014 Mortenson Development is pleased to submit a Land Use Application for the property located at 4th St and Hennepin Ave that is currently a surface parking lot. Mortenson plans to build the first AC Marriott hotel in Minnesota on this site.

The AC Hotel is a nine story lifestyle hotel with 244 guestrooms. Street level amenities will include several active hotel retail uses including the AC Bar and Lounge which will serve craft beers, signature cocktails and specialty wines, a 1,200 SF dining area, a library and multimedia sitting area and a 24/7 lobby and registration area. These active spaces will create a dynamic atmosphere and will be curated with sculptural artwork and a unique lighting design. The second level public space amenities include an 1,100 SF fitness center and 1,500 SF of meeting space including breakout media salons with advanced technology. A pedestrian lobby entrance is located on Hennepin Avenue with a vehicular entrance and drop-off area mid-block in the outdoor courtyard area, accessed by driving under the building.

We welcome the opportunity to discuss this project further with you and appreciate your support on our efforts to improve this important part of downtown Minneapolis.

If you have any questions or would like additional information please feel free to contact Mortenson.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Lessor", written over a horizontal line.

Dan Lessor
Senior Development Manager
Dan.lessor@mortenson.com

cc: Downtown Minneapolis Neighborhood Association – Christie Rock



40 S. 7th Street
Suite 212, PMB 172
Minneapolis, MN 55402
Phone: (612) 659-1279
Online: www.thedmna.org

November 10, 2014

Ms. Kimberly Holien
City of Minneapolis - CPED
250 S. 4th Street, Room 300
Minneapolis, MN 55415

Re: Mortenson – AC Hotel by Marriott

Dear Kimberly:

I am writing to you on behalf of the Downtown Minneapolis Neighborhood Association (DMNA) Board of Directors regarding Mortenson AC Hotel by Marriott project proposed for the surface parking lot located at the intersection of 4th Street and Hennepin Avenue. Dan Lesser from Mortenson, along with Burt Coffin and Trace Jacques from ESG Architects met with the DMNA Board on Thursday, November 6.

Lessor explained to the board that AC Hotel is a European brand hotel that is a new concept to the US; however, he indicated there are similar projects in the works in Miami, New Orleans and Portland. Lessor stated that the project is nine (9) stories in height and includes 244 rooms. He noted the price point is less than \$200 per night. Lessor concluded by stating they hope to start construction in April of 2015, with a grand opening planned for the spring of 2016.

Coffin and Jacques used display boards and handouts to present the site plan and design for the hotel. They also reviewed the various land use applications that Mortenson Construction is submitting to the City, including the following:

1. Site Plan Review.
2. CUP to allow 9 surface parking stalls in the Downtown Parking overlay district.
3. CUP to allow signs that exceed 28 feet in height on a building that is greater than 6 stories in height.
4. A variance to allow signage on a non-primary building wall.
5. Variances to allow the 2 projecting signs that exceed 28' in height (these are the 2 self-park blade signs)
6. A variance to allow signage on a non-primary building wall (the signs on level one where cars pull under the building)

After some questions and discussion, the DMNA Board passed a motion in support of the site plan, as well as the two CUP's and three variance applications for Mortenson's AC Hotel project. The DMNA Board is happy to see development activity taking place on a vacant surface parking lot.

If you have any questions regarding this letter, please feel free to contact me at christie@hantge.com, or 320-583-4573. You may also contact DMNA Board Chair, Chad DiDonato, at Chad.DiDonato@gmail.com.

Sincerely,

Christie Rock
DMNA Neighborhood Coordinator

Cc. Burt Coffin, ESG Architects
Chad DiDonato, DMNA Board Chair
Ward 3 Council Member Jacob Frey

From: [Holien, Kimberly](#)
To: [Holien, Kimberly](#)
Subject: FW: Mortenson AC hotel design
Date: Thursday, November 13, 2014 11:02:58 AM

From: Samuelson, Lowell (MPAU) [<mailto:lowell.samuelson@smiths-medical.com>]
Sent: Monday, November 10, 2014 12:00 PM
To: Frey, Jacob
Subject: Mortenson AC hotel design

Councilman Frey:

I am dismayed by the proposal that has surfaced for the hotel on the Andrews Site in downtown Minneapolis, 401 Hennepin. This is a high profile site and I was hoping for a tall, slender tower to help bookend this end of our entertainment district. It seems our local developers are having a very hard time thinking outside of the box and coming up with iconic designs fitting for our burgeoning downtown. I am sure we are both aware of the design that had been proposed for this site. To see what has come about is very disheartening.

I posted this on a forum about development and would like to share it:

It would be very easy, and make sense, to make this a taller and more handsome building. First, have the lobby and restaurant on the first floor with a drop off/check in driveway in the back. Having a restaurant on the first floor makes it easier for people to meet their friends without bothering the other hotel guests. For the second floor, have a setback and only have a pool/business room/exercise room/etc. for that floor. Then, have another setback and begin the floors with rooms. Build a slender building with only 12 rooms per floor/three per side. The rooms could be wider rather than deeper to allow more window views. The elevator shaft would have two for guests/one for workers on the opposite side.

You could have the top floor house only 8 rooms for larger suites. This would give you approximately 22 - 23 stories. Throw a small spire on top, lit up for a nice finishing touch. First advantage to this is you would get more revenue. The upper floors would all have "city view" rooms which you can charge more for. This is standard practice in any hotel. Best views get the premium price. The lower floors could be cheaper for more budget travelers. Make the exterior in brick to match the surrounding buildings. It would drive up the construction price some, but I don't think it would be prohibitive.

I would think it would be in Mortenson's benefit to build a taller, slender building to give them a larger ROI. I would think they could surely sell it for more money.

Sincerely,
Lowell

PROPRIETARY: This e-mail contains proprietary information some or all of which may be

legally privileged. It is intended for the recipient only. If an addressing or transmission error has misdirected this e-mail, please notify the authority by replying to this e-mail. If you are not the intended recipient you must not use, disclose, distribute, copy, print, or rely on this e-mail.

From: [Holien, Kimberly](#)
To: [Holien, Kimberly](#)
Subject: FW: AC Hotel Proposal
Date: Thursday, November 13, 2014 11:02:17 AM

From: Jeff Schultz [<mailto:jschultz1695@gmail.com>]
Sent: Monday, November 10, 2014 10:42 AM
To: Frey, Jacob
Subject: AC Hotel Proposal

Mr Frey

Let me start by saying that I think you are doing a great job with Downtown Minneapolis planning. It seems like you really "get it" when it comes to urban planning. I love Minneapolis and love the direction it is going. We are on the verge of really becoming an international destination city. I know there are MANY projects coming up in the next 5-10 years that could either make us the city that we want to be or if not done correctly.....Minneapolis will just remain a kinda cool city.

That being said....there is a project being proposed by Mortensen for an AC Marriott at 401 Hennepin. That is an incredibly important parcel of land downtown and needs a development worthy of that address. I am actually shocked that The AC Marriott brand approved such a cheap looking, suburban design. It basically looks like a duplicate of the Hampton Inn several blocks away. I have actually seen other proposals for that address and can't believe that the very slender 50 story hotel wasn't approved and developed.....maybe the numbers didn't work....but it was SEXY.

I am BEGGING you to make them go back and redesign this development.....currently it is maybe fitting for a hotel in Chaska but certainly not at 401 Hennepin!!! Please continue to enforce the vision that you have been exhibiting thus far.....I think you are doing a great job!!!

Jeffrey Schultz
4949 2nd Ave S
Minneapolis, MN 55419
612-221-5174

From: [Ritchie, Heidi](#)
To: [Hollen, Kimberly](#)
Subject: FW: AC Hotel Proposal
Date: Monday, November 10, 2014 4:04:57 PM

For the record

Heidi Ritchie

Aide to [Council Member Jacob Frey, 3rd Ward](#)
350 South 5th Street – Room 307 | Minneapolis, MN 55415-1382
612.673.2203 | heidi.ritchie@minneapolismn.gov

From: Grant Simons [<mailto:grant1simons2@gmail.com>]
Sent: Saturday, November 08, 2014 4:52 PM
To: Frey, Jacob
Subject: AC Hotel Proposal
Hello Mr. Frey,

I would like to talk to you about the new proposal that has appeared on the Committee of the Whole agenda. The proposal is for a [9 story 244 room hotel on 401 Hennepin](#). The link is to the .PDF of the proposal. In short I believe this project is wrong for the area and cheap for the City of Minneapolis. But let me explain why; there have been a lot of talks with developers about this land and what should go here, it would've been great if the Andrews Hotel never went away, but that's what we have to live with. There was one developer in particular that wanted to build a 615-625 ft. tall hotel that would be a very similar to what was recently built at [99 Washington](#) in NYC (but probably not in an aqua color). The base on the 4th St. side was going to be several levels for retail & hotel amenities. The developer was out-bid by Mortenson on the site. They knew that his group wanted to build a 50 story economy hotel. If the developers group wants to release the renders of their hotel proposal, I promise to send them right to you. Wouldn't a sleeker taller hotel like 99 Wash. look much better here than a 9 story mid-rise? The proposal doesn't fit next to the library and is shorter than its neighbor that was build in 1885.. I realize not everything has to be tall in the city, but this just doesn't look or feel correct.. A lot of people I know would not have as much of a problem with this project if the architecture or design of this hotel wasn't so bland. It looks similar to Nic on Fifth which is very good for density and T.O.D., but definitely nothing that will be winning a design award anytime soon. Hopefully you will be hearing from others that I know that are against this project. The more people who are finding out about it, the more people don't want it to be done.

On a positive note; I really love the T3 building by Hines! It's unique and will be a really cool build. The architect, Michael Green, just finished the tallest lumber structure project in North America recently in Vancouver. This building along with the shipping container building, is proof that innovation is the North Loop is inspiring some innovative designs!

All the best,
Grant Simons

From: [Ritchie, Heidi](#) on behalf of [Frey, Jacob](#)
To: [Hollen, Kimberly](#)
Subject: FW: 401 Hennepin development
Date: Monday, November 10, 2014 4:04:21 PM

For the record

Heidi Ritchie
Aide to Council Member Jacob Frey, 3rd Ward
350 South 5th Street – Room 307 | Minneapolis, MN 55415-1382
612.673.2203 | heidi.ritchie@minneapolismn.gov

-----Original Message-----

From: Joseph Zwolski [<mailto:zwolski@wisc.edu>]
Sent: Monday, November 10, 2014 3:48 PM
To: Frey, Jacob
Subject: 401 Hennepin development

Hello Mr Frey, my name is Joseph Zwolski. I'm a minneapolis-area native, and currently am a student at UW Madison studying Real Estate & Geography in the hopes of going into urban development in the future. Because of this, I follow downtown Minneapolis development news somewhat religiously. Upon hearing about a new development along Hennepin at 4th, I was excited, especially following the news about the RFP for the Nicollet hotel block. But upon seeing the vision of what Mortenson and ESG envision, I was perplexed at what I personally see as a project severely lacking context, and an understanding of both site significance and architectural context. I believe LPM Apartments, Latitude 45, and the prospects of Alatus' tower plans for Washburn-McReavy site have set a standard for what development should mean and look like within the downtown area. To build a hotel that appears more fitting for a suburban interstate interchange than a prime downtown lot, seems to be extremely contradictory to what the City Council envisions within the Downtown 2025 Plan. On top of this, it is being proposed by a local developer, who are the exact people who should take the greatest pride and effort in developing a lot that could come to define the incredible city they call home. In sum, I wanted to relay that I know I am not at all alone in believing that Minneapolis has potential that is not being understood or seen by some local developers. I see the Capella, Wells Fargo, and IDS towers as three beautiful towers, that top off a skyline that can contend with any other city in the nation. For others to see this as well, and demonstrate that comprehension in the proposals they plan, is what I hope for. Thank you for reading, and thank you for being a city council member who understands just how much this downtown means for the state.

From: [Ritchie, Heidi](#) on behalf of [Frey, Jacob](#)
To: [Hollen, Kimberly](#)
Subject: FW: AC Marriott Hotel Design
Date: Monday, November 10, 2014 4:03:49 PM

For the record

Heidi Ritchie

Aide to [Council Member Jacob Frey, 3rd Ward](#)
350 South 5th Street – Room 307 | Minneapolis, MN 55415-1382
612.673.2203 | heidi.ritchie@minneapolismn.gov

From: Thomas Kaiser [mailto:trkaiser@hotmail.com]
Sent: Monday, November 10, 2014 3:04 PM
To: Ritchie, Heidi; Frey, Jacob
Subject: AC Marriott Hotel Design

Hello Jacob and Heidi,

I know you've received other emails on the topic, but I wanted to echo my disappointment at the design as proposed for the Andrews Hotel site downtown.

As a frequent work traveler, I've seen similar designs in many less desirable locations throughout the country. This design seems shocking out of step with the beautiful old Lumber Exchange building next door, and is far too short for such a close-in location within the CBD. Its design screams suburbia, and there is nothing special about this building. That is a shame...

I realize the limits to what the city can do to influence this proposal, but I am disappointed that Mortenson would put forth such an anemic one for our downtown district. This mirrors a common feeling among many urbanists that local developers are being far too cautious. I am all for filling in parking lots, and realize everything can't be a mirror of the IDS Center, but such boring, low, and poorly interacting (with the street) designs should not be built on our highest value parcels.

Please consider my feedback, and feel free to share it with anyone.

Thank you for your GREAT work standing up for great design and development in our fair city!

Tom Kaiser
1520 Adams Street NE

From: [Ritchie, Heidi](#)
To: [Hollen, Kimberly](#)
Subject: FW: AC Marriott Hotel Design
Date: Monday, November 10, 2014 3:44:20 PM

For the record

From: Thomas Kaiser [<mailto:trkaiser@hotmail.com>]
Sent: Monday, November 10, 2014 3:04 PM
To: Ritchie, Heidi; Frey, Jacob
Subject: AC Marriott Hotel Design

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Please consider my feedback, and feel free to share it with anyone.

Thank you for your GREAT work standing up for great design and development in our fair city!

Tom Kaiser
1520 Adams Street NE



EXISTING CONDITIONS

BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY SUNDE LAND SURVEYING, BLOOMINGTON, MN, SEPTEMBER 17, 2014, EXPRESSLY FOR THIS PROJECT; CITY OF MINNEAPOLIS, MN RECORD DRAWINGS; AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

AC Hotel

Minneapolis MN



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**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

**LAND USE APPLICATION
 DEC 5, 2014**

ORIGINAL ISSUE:
 REVISIONS

NO.	Description	Date
	Land Use	12/05/14

ESG14125
 PROJECT NUMBER

NJL
 DRAWN BY

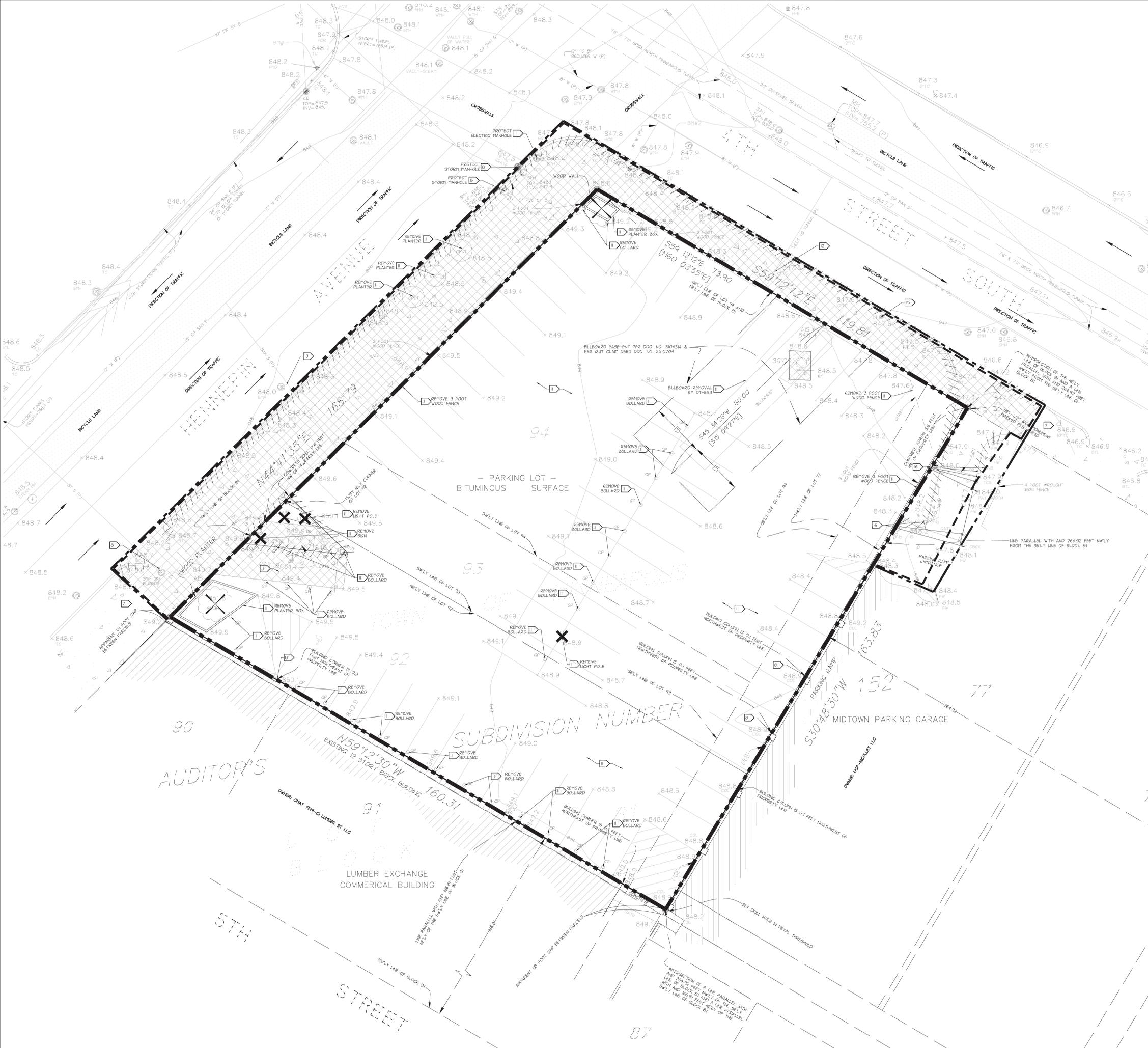
CNC
 CHECKED BY

KEY PLAN

AC Hotel

EXISTING CONDITIONS

C1.1



DEMOLITION AND CLEARING NOTES

- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO FAMILIARIZE WITH SITE CONDITIONS.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
- COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
- REFER TO DETAIL 3 ON SHEET C7.1 FOR CURB AND GUTTER SAW CUT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
- SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT SHALL BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
- COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.
- PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
- PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOIL, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
- HAIL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR DEMOLITION DEBRIS UNLESS NOTED OTHERWISE.
- REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH LANDSCAPE ARCHITECT TO MARK TREES TO BE SAVED OR TRANSPLANTED PRIOR TO CLEARING.
- REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, FENCING, CURBING, WALKING FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STARWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
- REFER TO CONSTRUCTION CONTINGENCY PLAN, PREPARED BY BRAUN INTERTEC CORPORATION, FOR DESCRIPTION OF METHODS THAT WILL BE USED TO IDENTIFY, EVALUATE AND MANAGE UNEXPECTED CONTAMINATION, SHOULD IT BE ENCOUNTERED DURING CONSTRUCTION.
- SALVAGE LIGHT POLE FOR REINSTALLATION. SEE SHEET C2.1 FOR NEW LOCATION.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE PARKING STRUCTURE SERVICES AND APPURTENANCES WITH THE ADJACENT LAND OWNER.

LEGEND

- CONSTRUCTION LIMITS WITHIN PROPERTY LINE UNLESS NOTED OTHERWISE.
- TREE REMOVAL
- REMOVE LIGHT POLE
- CURB REMOVAL
- INLET PROTECTION (REFER TO SHEET C7.1, DETAIL #2)
- PAVEMENT SAWCUT (REFER TO SHEET C7.1, DETAIL #3)
- SILT FENCE (REFER TO SHEET C7.1, DETAIL #1)
- EXISTING CONCRETE TO BE REMOVED
- SOIL BORING

CITY OF MINNEAPOLIS STANDARD EROSION CONTROL NOTES

- CONTRACTOR MUST CALL FOR A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO ANY LAND DISTURBANCES AT 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
- INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.
- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROAD FROM BELOW.
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY TRAFFIC INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CATCH BASIN INSERTS OR OTHER APPROVED PRODUCT ARE REQUIRED IN UNDISTURBED AREAS THAT MAY RECEIVE RUNOFF FROM THE PROJECT AREA. HAY BALES OR FILTER FABRIC WRAPPED COATES ARE NOT ALLOWED FOR INLET PROTECTION.
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR SOTTED EROSION CONTROL DEVICES IMMEDIATELY.
- TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH EROSION CONTROL MATING AND/OR SOODING AND STAKING IN GREEN SPACE AREAS. AN EARLY APPLICATION OF GRANUL BASE ON AREAS TO BE PAVED RECOMMENDED FINISHING EROSION POTENTIAL.
- REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENULDED AREA.
- READY MIXED CONCRETE AND CONCRETE BATCH PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
- CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.

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 Minneapolis MN

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**PRELIMINARY
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**LAND USE
 APPLICATION
 DEC 5, 2014**

ORIGINAL ISSUE:

REVISIONS

NO.	Description	Date
	Land Use	12/05/14

ESG14125
 PROJECT NUMBER

NJL DRAWN BY
 CNC CHECKED BY

KEY PLAN

811
 Know what's Below.
 Call before you dig.

AC Hotel
 DEMOLITION
C1.2



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**PRELIMINARY
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SITE PLAN NOTES

- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN OR USE OF, PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
- BUILDING LAYOUT ANGLES ARE PARALLEL WITH OR PERPENDICULAR TO THE PROPERTY LINE AT THE LOCATION INDICATED.
- DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- TRASH/RECYCLING AREAS: SEE ARCHITECTURAL DRAWINGS.
- TEMPORARY STREET SIGNS, LIGHTING AND ADDRESSES SHALL BE PROVIDED DURING CONSTRUCTION.

GREEN SPACE (LANDSCAPE AREA)

AREA SUMMARY

EXISTING:		
PERVIOUS	162 S.F.	0.7%
IMPERVIOUS	22,785 S.F.	99.3%
TOTAL (0.53 AC)	22,947 S.F.	100.0%
PROPOSED:		
PERVIOUS	126 S.F.	4.9%
IMPERVIOUS	21,821 S.F.	95.1%
TOTAL (0.53 AC)	22,947 S.F.	100.0%

PARKING SUMMARY

REQUIRED PARKING:
 NO MIN PARKING REQUIREMENTS (TABLE 541-2)

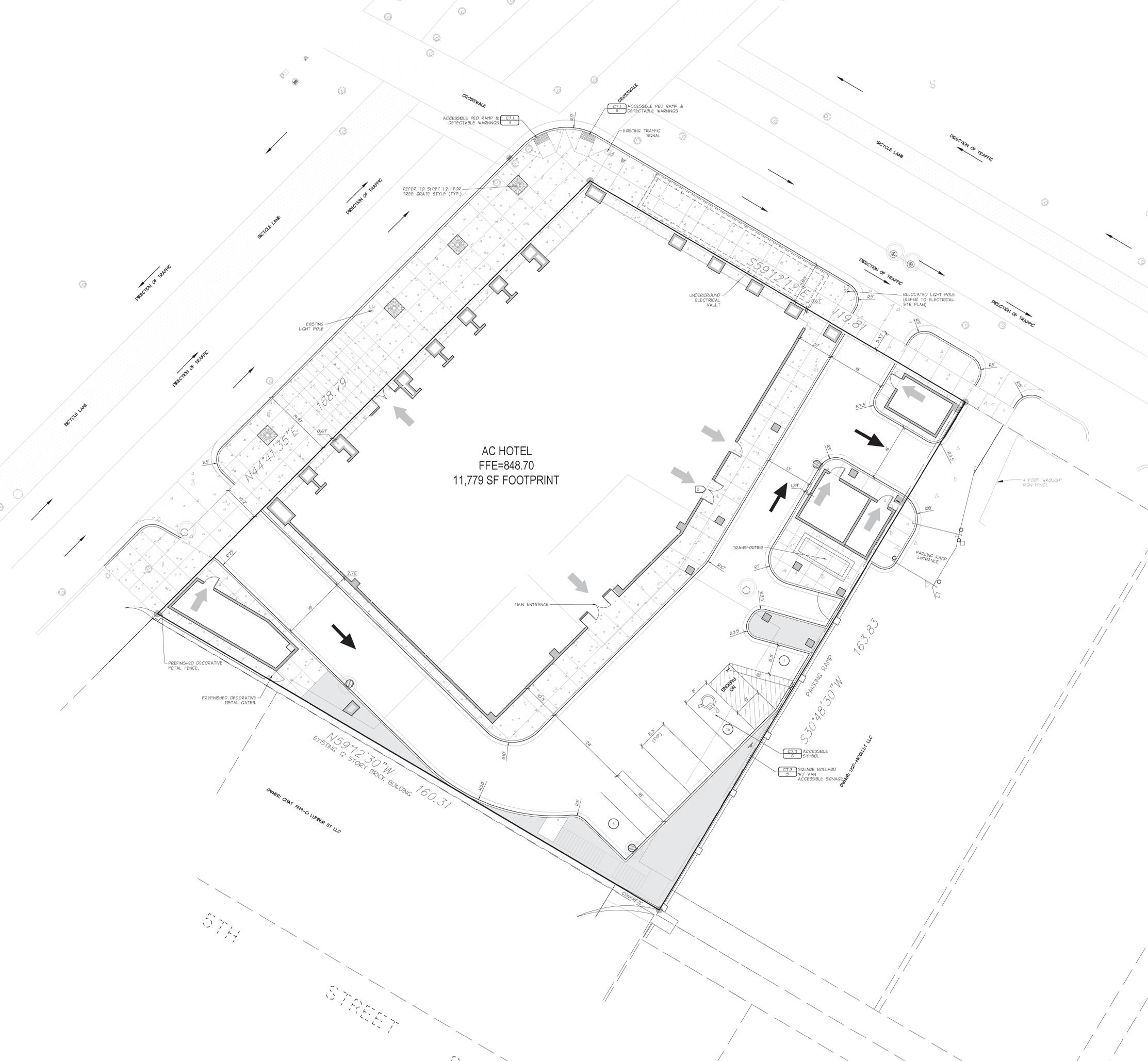
PROVIDED PARKING:

STANDARD STALLS (8.5'x18')	5 EA.
ANGLED STALLS (8.5'x18')	2 EA.
ACCESSIBLE VAN STALLS (8'x18')	1 EA.
TOTAL PARKING STALLS PROVIDED	8 EA.

ZONING AND PARKING SUMMARY

THE PROPERTY IS ZONED DOWNTOWN BUSINESS DISTRICT ZONE (B4-2) 541.020 (c) DOWNTOWN DISTRICTS SHALL NOT BE SUBJECT TO MINIMUM YARD REQUIREMENTS

AC HOTEL
 FFE=848.70
 11,779 SF FOOTPRINT



LAND USE
 APPLICATION
 DEC 5, 2014

ORIGINAL ISSUE:

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NO.	Description	Date
	Land Use	12/05/14

ESG14125
 PROJECT NUMBER

NJL
 DRAWN BY

CNC
 CHECKED BY

AC Hotel

SITE PLAN

C2.1



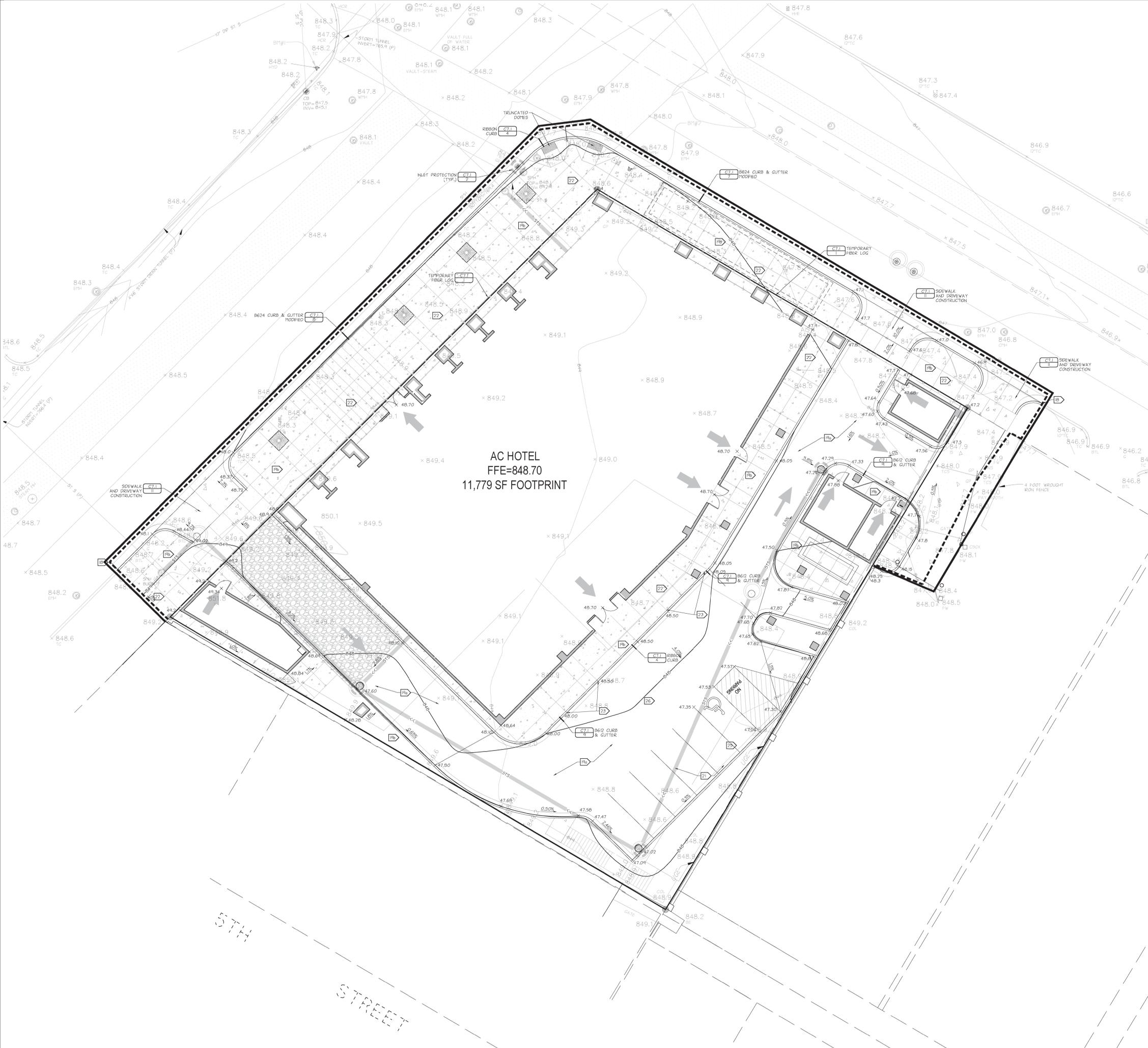


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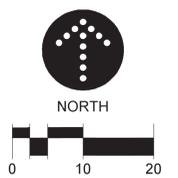


AC HOTEL
FFE=848.70
11,779 SF FOOTPRINT

- GRADING NOTES**
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
 - REFER TO THE GEOTECHNICAL REPORT PREPARED BY **XX** DATED **XX/XX/XX** FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
 - REMOVE ORGANIC MATERIAL FROM GRADING AREAS.
 - REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL. EXPOSED SOILS ARE WET AND UNSTABLE.
 - ROUGH GRADE BUILDING PAD TO **X** INCHES BELOW FINISHED FLOOR ELEVATION (FFE).
 - REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PAD.
 - AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
 - PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
 - COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.
 - COORDINATE WITH ARCHITECTURAL FOR BUILDING STAIR LOCATIONS. SLOPES SHOWN ON ADJACENT WALKS AND PAVEMENTS SHOULD CONTINUE OVER STAIRS.
- EROSION PREVENTION AND SEDIMENT CONTROL NOTES**
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
 - LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
 - MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CAUSED BY WIND OR WATER.
 - ALL EXPOSED SOIL AREAS MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA.
 - SWEEP ADJACENT STREETS CLEAN DAILY.
- PAVING NOTES**
- SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C41 FOR SPOT ELEVATIONS OF CATCH BASINS.
 - GRADES BETWEEN PROPOSED SPOT ELEVATIONS SHALL BE CONTINUOUS AND NON-VARIABLE. SPOT ELEVATIONS SHALL GOVERN OVER CONTOUR LINES.
 - MEET AND MATCH EXISTING CURB. PROVIDE 10 FOOT TRANSITION.
 - PAVING SECTIONS (REFER TO GEOTECHNICAL REPORT BY **XX**, DATED **XX-XX-20XX**)
 - PAVING REFER TO DETAIL FOR SECTION
 - CONCRETE WALKWAYS
4-INCH CONCRETE WALK, 4000 PSI, 5%-EX AIR ENTRAINED, MAX. 4" SLIP[®] (INDOT 230)
4-INCH AGGREGATE BASE (INDOT 318S)
COMPACTED SUBSOL
 - CONCRETE JOINTS
INSTALL JOINTS AS SHOWN AND ALIGN ACROSS SIDEWALKS, CURBS, AND PAVEMENT. PAYING ATTENTION TO SPACING OF EXPANSION JOINTS. JOINT SPACING SHALL BE AS FOLLOWS:
 - TOOLED JOINTS: SWDE PANELS INTO NOMINALLY EQUAL AREAS UNLESS SHOWN OTHERWISE.
 - EXPANSION JOINTS: SIDEWALKS - 40 FEET MAX.; CURBS - 60 FEET MAX.; PAVEMENT: 80 FEET MAX.; ADJACENT TO BUILDING FOUNDATIONS AND STAIRS.
 - CONTRACTION JOINTS: SIDEWALKS - 8 TO 10 FEET; CURBS AND APRONS - 12 TO 15 FEET.
 - ACCESSIBLE PARKING STALLS AND ADJACENT ACCESSIBLES SHALL NOT EXCEED A 2.00% SLOPE IN ANY DIRECTION.
 - ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM RUNNING SLOPE OF 5.00%.
 - CURB TRANSITION FROM B612 CURB AND GUTTER TO REBBON CURB

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	INLET PROTECTION	4 EACH
	TEMPORARY FIBER LOG	338 FEET
	VEHICLE TRACKING PAD	1 EACH
	TP OUT CURB	
	PAVEMENT SAWCUT	
	CONSTRUCTION LIMITS	



LAND USE APPLICATION
DEC 5, 2014

ORIGINAL ISSUE:

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NO.	Description	Date
	Land Use	12/05/14

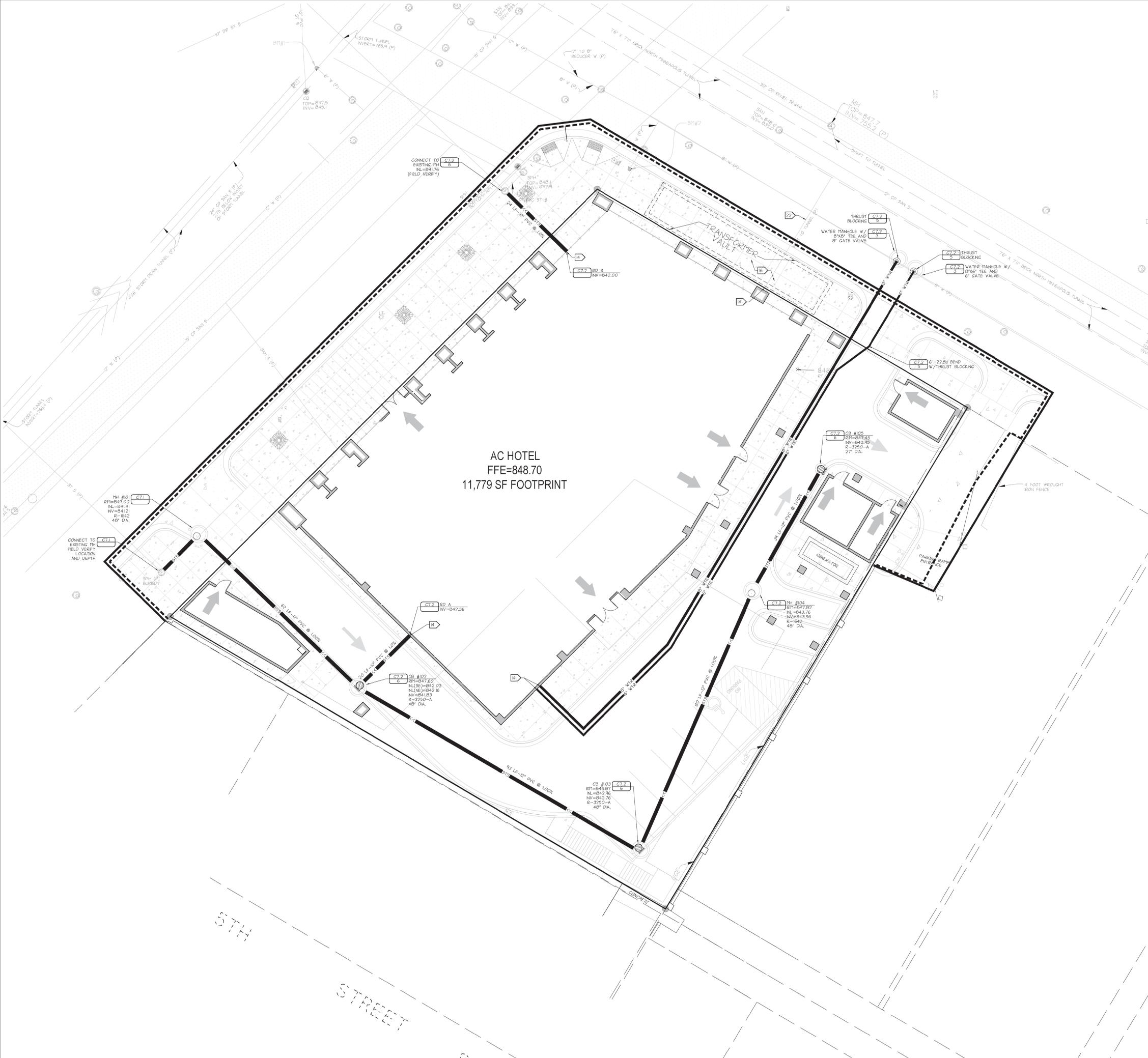
ESG14125
PROJECT NUMBER

NJL DRAWN BY
CNC CHECKED BY
KEY PLAN

AC Hotel

GRADING, DRAINAGE, PAVING & EROSION CONTROL

C3.1



AC HOTEL
FFE=848.70
11,779 SF FOOTPRINT

5TH STREET

UTILITY NOTES

1. PIPE MATERIALS:
WATERMAN DP CLASS 53 (AWWA C91, ANSI 2151)
SANITARY SEWER PVC SCHEDULE 40 (ASTM D2665, D3034)
STORM SEWER PVC SCHEDULE 40 (ASTM D2665, D3034)
2. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
3. COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
4. PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
5. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
6. ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
7. INSTALL TRACER WIRE WITH UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENTS.
8. CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF MINNEAPOLIS STANDARDS.
9. CONTACT CITY OF MINNEAPOLIS PUBLIC WORKS FOR WET TAP INSPECTION.
10. MAINTAIN 7.5 FEET OF COVER ON WATER.
11. DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM OUTSIDE SEPARATION AT SEWER CROSSINGS. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
12. CONTACT CITY OF MINNEAPOLIS BUILDING DEPARTMENT FOR FLUORINATION AND PRESSURE TEST RESTRICTIONS.
13. PROVIDE 4-INCH RIGID FOAM INSULATION ON SANITARY SEWER LESS THAN 6 FEET DEEP.
14. BRING WATER AND SEWER SERVICES INTO BUILDING PER MECHANICAL DRAWINGS. COORDINATE W/ MECHANICAL FOR STORM SEWER ADJACENT UNDER BUILDING PAD. JOIN AND ROUTE BUILDING STORM DRAINS AND CONNECT TO PUBLIC STORM SEWER.
15. INSTALL IRRIGATION SLEEVES FURNISHED BY IRRIGATION CONTRACTOR.
16. COORDINATE WITH XCEL ENERGY FOR DETAILED REQUIREMENTS FOR CONSTRUCTION OF UNDERGROUND UTILITY VAULT. THE SECONDARY ELECTRIC AND CONDUITS SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
17. SEE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION.
18. CENTERPOINT ENERGY WILL FURNISH AND INSTALL GAS SERVICE PIPING FROM THE MAINLINE TO THE METER AND THE METER. GAS SERVICE FROM THE METER SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR.
19. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF SERVICE CONNECTIONS AND CONTINUATION OF SERVICES WITHIN BUILDING.
20. PROVIDE TWO 4-INCH PVC CONDUITS WITH PULL-STRING FROM EXISTING TELEPHONE SERVICE TO BUILDING. PROVIDE CONDUITS FOR CABLE TELEVISION AND OTHER ELECTRONIC COMMUNICATION.
21. ANY ADDITIONAL CONDUITS AND ELECTRICAL WIRING NECESSARY FOR EXISTING AND PROPOSED LIGHTING TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
22. CONTRACTOR TO TELETYPE EXISTING SANITARY SEWER SERVICE TO ENSURE SUITABILITY FOR USE WITH THIS PROJECT.

AC Hotel

Minneapolis MN



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Tel: 612-252-8070
Fax: 612-252-8077
Web: landform.net

PRELIMINARY
NOT FOR
CONSTRUCTION

LAND USE
APPLICATION
DEC 5, 2014

ORIGINAL ISSUE:		
REVISIONS		
NO.	Description	Date
	Land Use	12/05/14

ESG14125
PROJECT NUMBER

NJL
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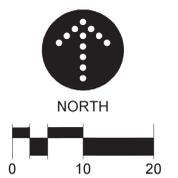
CNC
CHECKED BY

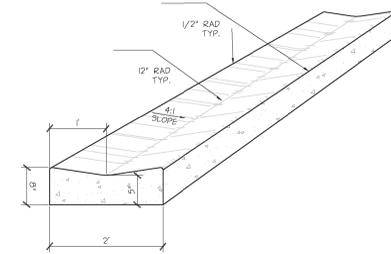
KEY PLAN

AC Hotel

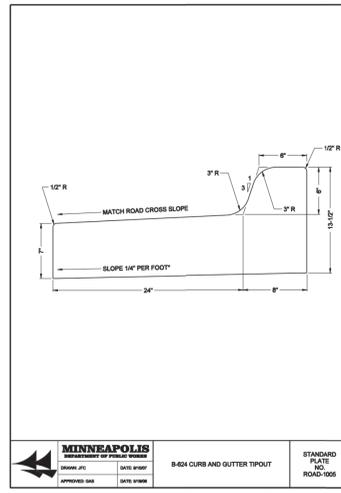
UTILITIES

C4.1

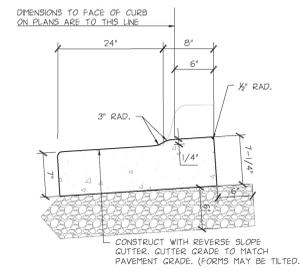




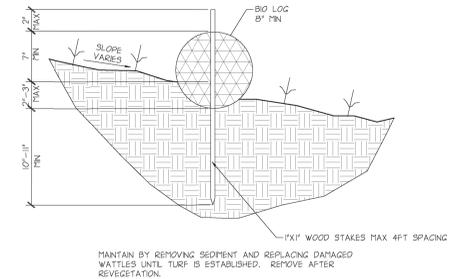
10 CONCRETE VALLEY GUTTER NO SCALE



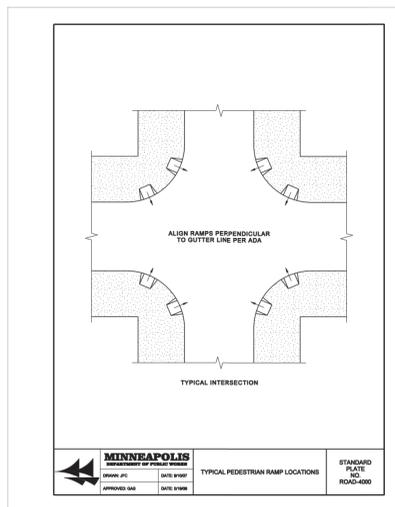
7 B624 CURB & GUTTER TIPOUT NO SCALE



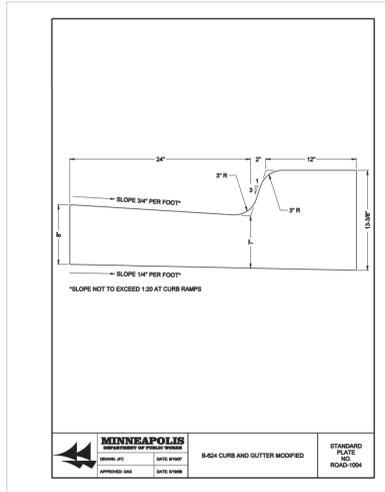
4 CONCRETE RIBBON CURB NO SCALE



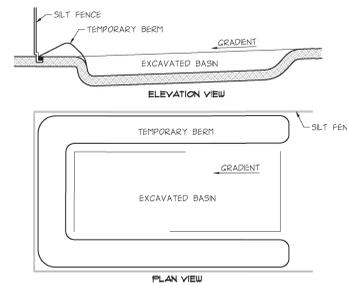
1 TEMPORARY FIBER LOG NO SCALE



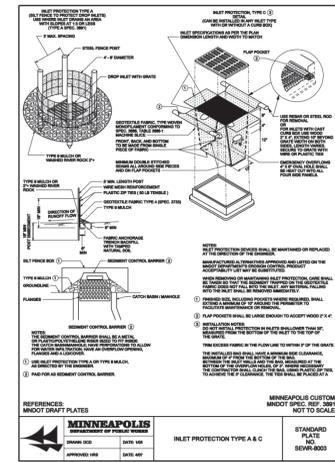
11 PEDESTRIAN RAMP LOCATIONS NO SCALE



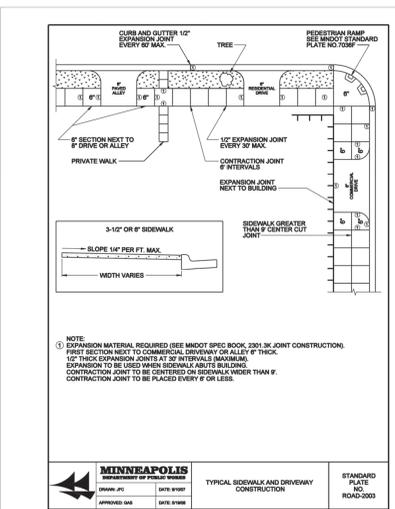
8 B624 CURB & GUTTER MODIFIED NO SCALE



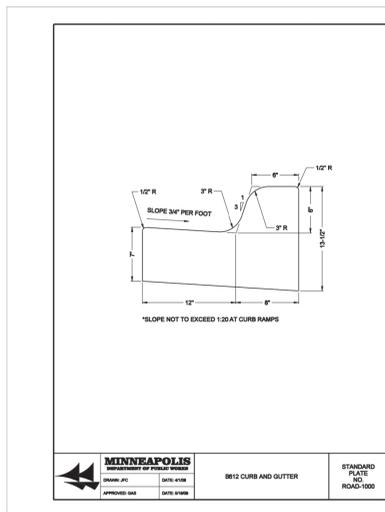
5 CONCRETE WASHOUT AREA NO SCALE



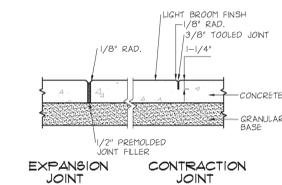
2 INLET PROTECTION NO SCALE



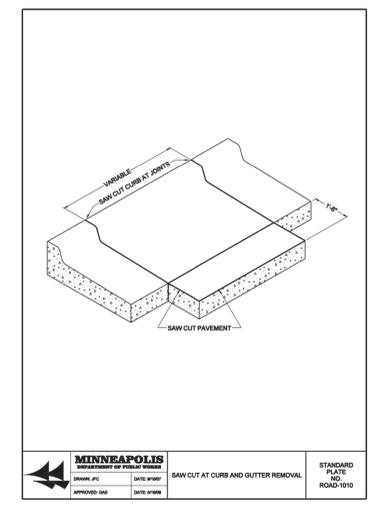
12 SIDEWALK AND DRIVEWAY CONSTRUCTION NO SCALE



9 B612 CURB & GUTTER NO SCALE



6 CONCRETE SIDEWALK AND SIDEWALK JOINTING NO SCALE



3 SAW CUT AT CURB & GUTTER REMOVAL NO SCALE



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www.esgar.ch.com

LANDFORM
From Site to Finish

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LAND USE
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DEC 5, 2014

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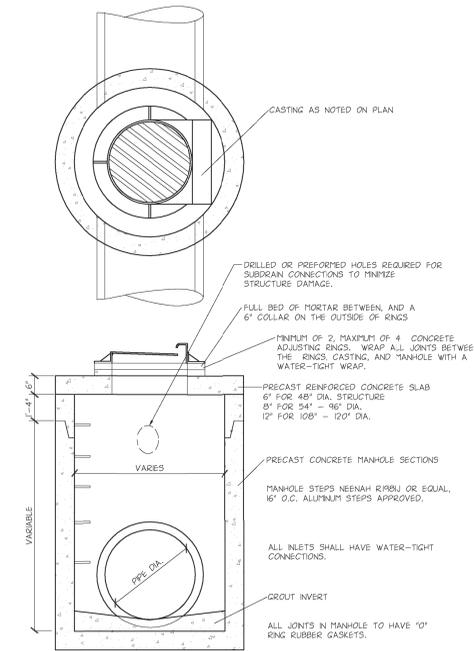
CHECKED BY

KEY PLAN

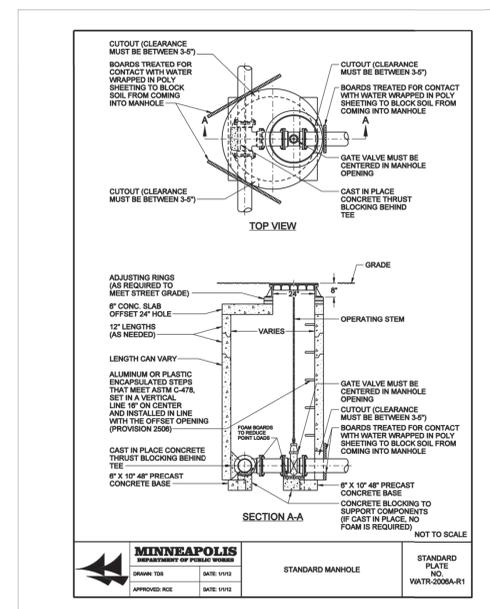
AC Hotel

CIVIL CONSTRUCTION
DETAILS

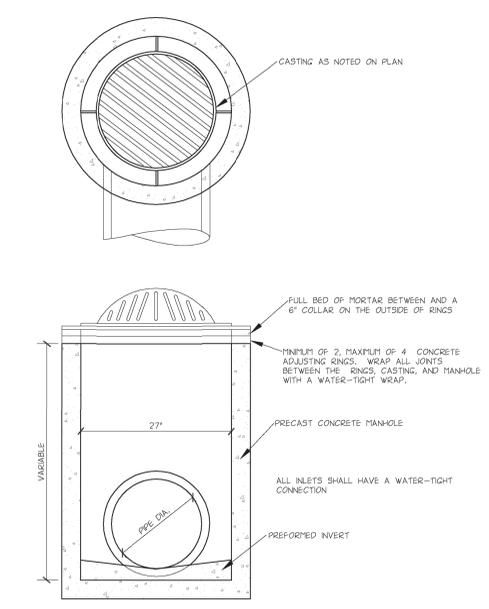
C7.1



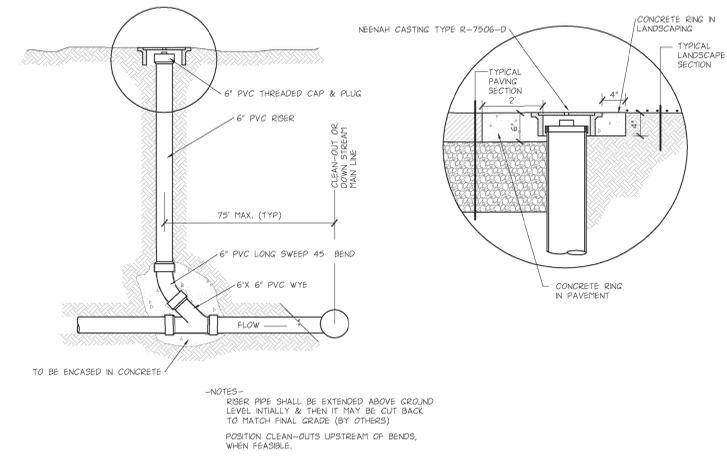
6 STORM SEWER CATCH BASIN MANHOLE NO SCALE



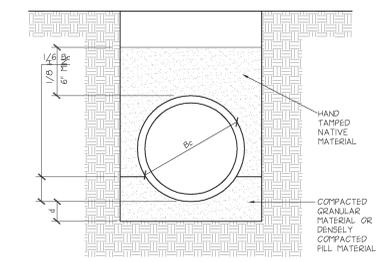
3 WATER MANHOLE W/ GATE VALVE NO SCALE



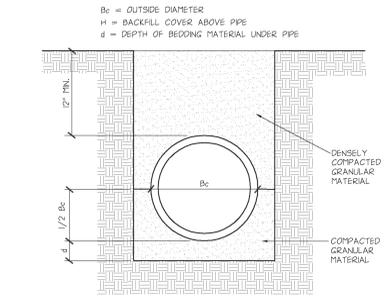
1 STORM SEWER CATCH BASIN NO SCALE



4 CLEAN-OUT STRUCTURE NO SCALE

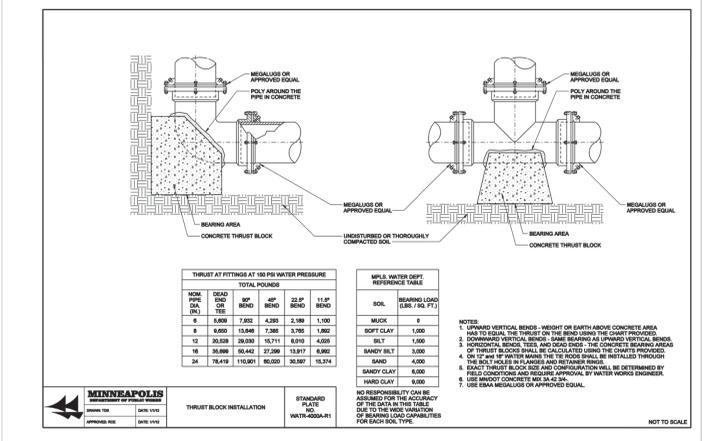


CLASS C BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL OR DENSELY COMPACTED FILL MATERIAL UP TO A HEIGHT EQUAL TO ONE-SIXTH THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE BEDDING MATERIAL BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE REMAINING SIDEFILL AND BACKFILL MATERIAL IS COMPACTED NATIVE SOILS.



CLASS B BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL PLACED UP TO A HEIGHT EQUAL TO ONE-HALF THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE GRANULAR BEDDING BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" DIAMETER AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE INITIAL FILL MATERIAL SHALL BE DENSELY COMPACTED GRANULAR UP TO A HEIGHT OF 12" OVER THE TOP OF THE PIPE.

2 PIPE BEDDING NO SCALE



5 THRUST BLOCKING NO SCALE



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ESG14125
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KEY PLAN

AC Hotel

CIVIL CONSTRUCTION DETAILS

C7.2



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LANDFORM

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ESG14125

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KEY PLAN

AC Hotel

LANDSCAPE PLAN

L2.1

SITE PLAN NOTES

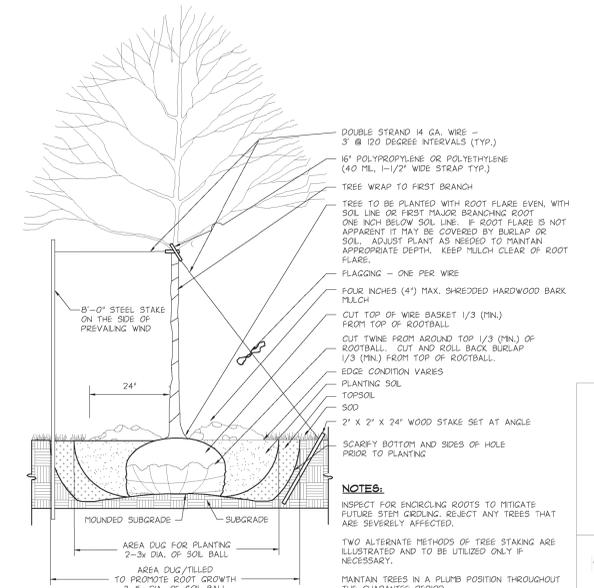
- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES LOCATED TO HOURS PRIOR TO ANY DIGGING. THE LANDSCAPE CONTRACTOR SHALL COORDINATE INSTALLATION WITH GENERAL CONTRACTOR AND/OR ANY OTHER CONTRACTORS PERFORMING RELATED WORK.
- ALL PLANT MATERIALS SHALL CONFORM WITH THE MOST CURRENT EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM PESTICATION, DISEASE, DAMAGE AND DISFIGURATION. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE LIST AND THE NUMBER SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- PLANTS SHALL BE PLACED ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING.
- SHREDED HARDWOOD BARK MULCH.
- QUANTITIES LISTED ON PLANT SCHEDULE ARE TOTAL QUANTITIES FOR DESIGN. CONTRACTOR IS TO PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER SPACING. THE AREA INDICATED AND THE SPACING OF PLANTS SHALL GOVERN FINAL QUANTITIES OVER QUANTITY IN PLANT SCHEDULE.
- PLANTING SOIL FOR BACK FILLING PLANTING PITS SHALL CONSIST ONE CUBIC YARD OF TOPSOIL TO WHICH HAS BEEN ADDED THREE (3) POUNDS OF COMMERCIAL FERTILIZER AND 1/5 YARD OF PEAT HORTUS.
- PLACE 18" MINIMUM DEPTH OF PLANTING SOIL IN ALL PERENNIAL BED AREAS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR IS TO COORDINATE WITH GENERAL CONTRACTOR THAT REGION GRADES ARE MET AS SPECIFIED ON GRADING PLAN. SEE SHEET G01.
- THE LANDSCAPE CONTRACTOR IS TO FOLLOW ALL LANDSCAPE DETAILS AS SHOWN, UNLESS OTHERWISE NOTED ON PLANS.
- LANDSCAPE ROCK SHALL BE 1-1/2" SLATE TRAP ROCK; COLOR TO BE DETERMINED BY CONSTRUCTION MANAGER.
- IRRIGATE AREAS WHERE INDICATED BY CONSTRUCTION WITH AN UNDERGROUND IRRIGATION SYSTEM. THE IRRIGATION CONTRACTOR SHALL DESIGN SYSTEM AND SUBMIT SHOP DRAWING OF IRRIGATION DESIGN AND CALCULATIONS FOR REVIEW AND APPROVAL BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION, MEETING ALL CITY PLUMBING CODES AND REQUIREMENTS.
- A TWO (2) YEAR MAINTENANCE GUARANTEE IS REQUIRED ON ALL LANDSCAPING AFTER INITIAL ACCEPTANCE BY THE CITY.

LANDSCAPE LEGEND

1-1/2" SLATE TRAP ROCK

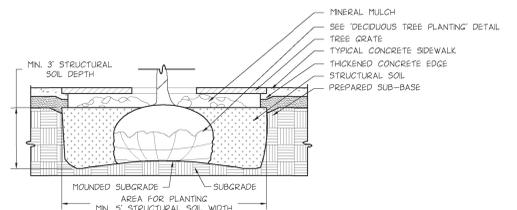
LANDSCAPE REQUIREMENTS

NOT LESS THAN TWENTY (20) PERCENT OF THE SITE NOT OCCUPIED BY BUILDINGS SHALL BE LANDSCAPE AREA
 REQUIRED LANDSCAPE AREA: 1,06 SF
 PROVIDED LANDSCAPE AREA: 1,06 SF



DECIDUOUS TREE PLANTING

NO SCALE



STRUCTURAL SOIL PIT SECTIONS

NO SCALE

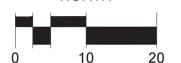
Name	Count	KEY	COMMON NAME	SCIENTIFIC NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
DECIDUOUS TREES	2	QUB	SWAMP WHITE OAK	QUERCUS BICOLOR	60'H x 50'W	2.5' CAL	B & B
DECIDUOUS TREES	2	CYD	KENTUCKY COFFEETREE	CYTHOCALADUS DOICA	65'H x 50'W	2.5' CAL	B & B



Know what's Below.
 Call before you dig.



NORTH



AC HOTEL
 FFE=848.70
 11,779 SF FOOTPRINT

DECIDUOUS TREE PLANTING (TYP.)

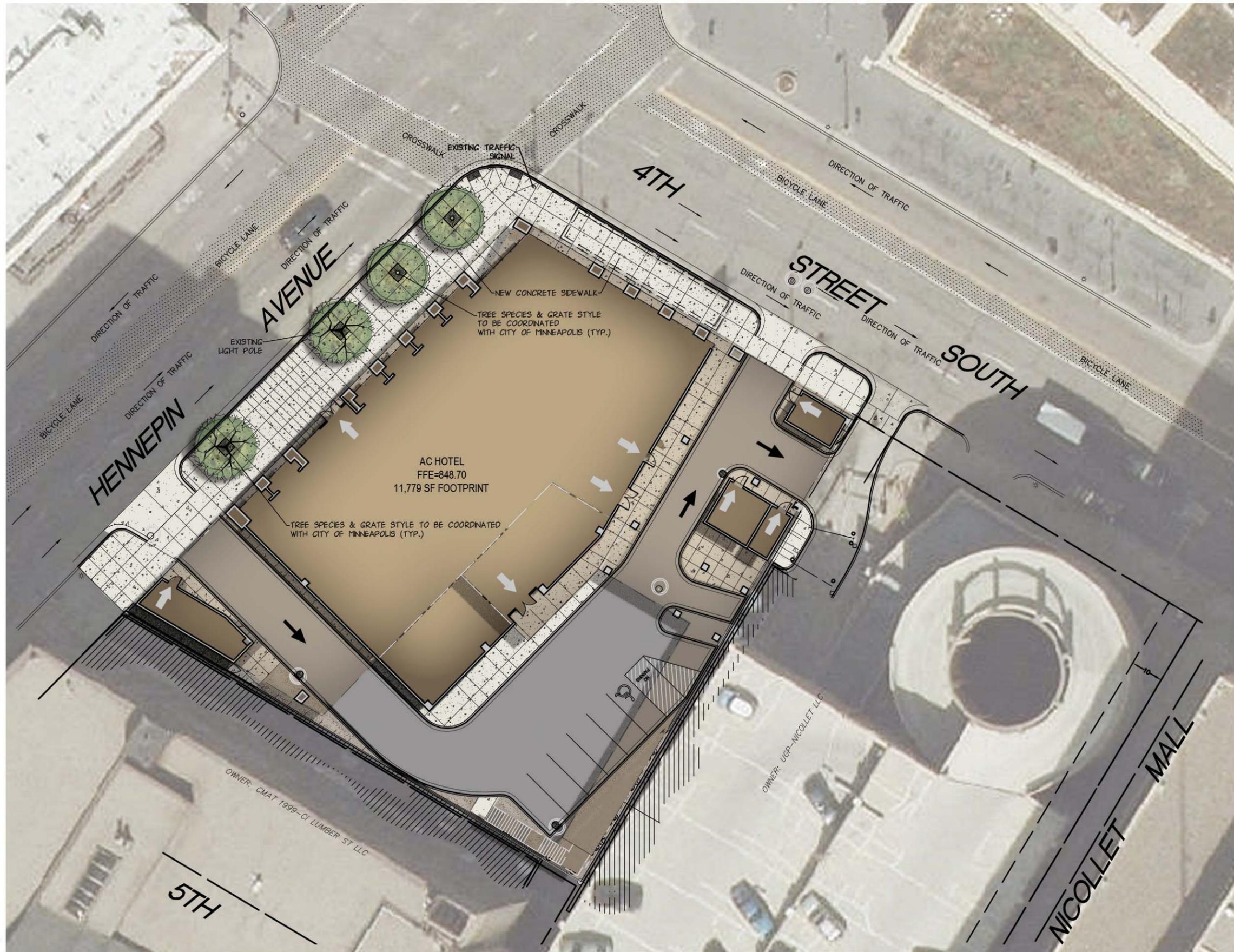
5TH

5TH

SHOW ON

PARKING GARAGE ENTRANCE

CONCRETE



12-05-14

AC Hotel by Marriott

AC Hotel

Minneapolis MN



einess swenson graham architects
 500 WASHINGTON AVENUE SOUTH
 MINNEAPOLIS, MINNESOTA 55415
 P. 612.339.5508
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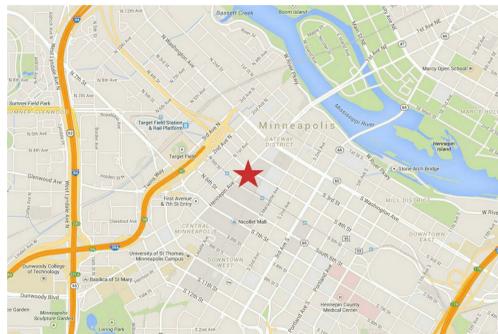


Hennepin Avenue at 4th Street South Minneapolis, MN

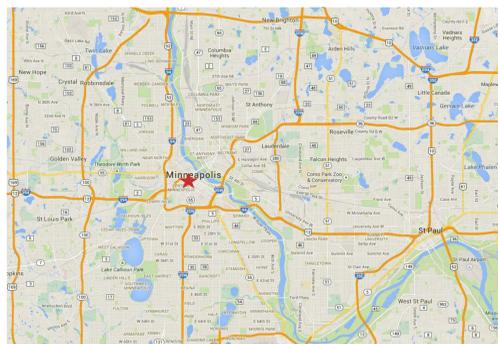
METRICS

Level	Use	Total GSF	Hotel GSF	Amenity	Keys	Parking
Level 1	Hotel	11,779	11,779			8
Level 2	Hotel	15,615	9,150	6,465	20	
Level 3	Hotel	14,795	14,795		32	
Level 4	Hotel	14,795	14,795		32	
Level 5	Hotel	14,795	14,795		32	
Level 6	Hotel	14,795	14,795		32	
Level 7	Hotel	14,795	14,795		32	
Level 8	Hotel	14,795	14,795		32	
Level 9	Hotel	14,795	14,795		32	
		130,959	124,494	6,465	244	8

PROJECT LOCATION



Vicinity



Site Location

PROJECT TEAM

Owner/Developer: Charles Murphy - Interpark
 200 N. LaSalle Street, Suite 1400
 Chicago, IL 60601
 312.935.2978

Architect: Einess Swenson Graham Architects Inc.
 500 Washington Ave. South, Suite 1080
 Minneapolis, MN 55415
 Ph: 612.339.5508
 Fx: 612.339.5382

Landscape: Landform, contact: Steve Sabraski
 105 S. 5th Avenue
 Minneapolis, MN 55401
 612.252.9070

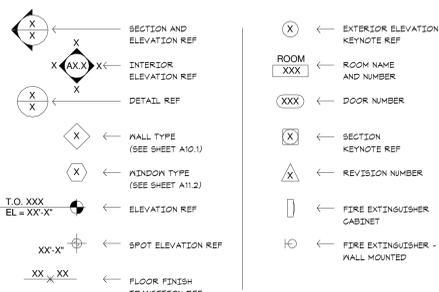
Contractor: Mortenson Construction, contact: Kelly Mansell
 700 Meadow Lane North
 Minneapolis, MN 55422
 763.287.5915

Civil: Landform, contact: Steve Sabraski
 105 S. 5th Avenue
 Minneapolis, MN 55401
 612.252.9070

Structural Engineer: T.B.D.

Mechanical, Electrical, Plumbing Engineers: T.B.D.

SYMBOLS LEGEND



ARCHITECTURAL DESCRIPTION

The AC Hotel is a nine story lifestyle hotel with 244 guestrooms. Street level amenities will include several active hotel retail uses including the AC Bar and Lounge which will serve craft beers, signature cocktails and specialty wines, a dining area, a library and multimedia sitting area and a 24/7 lobby and registration area. These active spaces will create a dynamic atmosphere and will be curated with sculptural artwork and a unique lighting design. The second level public space amenities include a fitness center and 1,500 SF of meeting space including breakout media salons with advanced technology. A pedestrian lobby entrance is located on Hennepin Avenue with a vehicular entrance and drop-off area mid-block in the outdoor courtyard area, accessed by driving under the building.

The architectural design and massing of the AC Hotel is based on guidance from urban and architectural design principles developed in the City's land use plans and timeless city building strategies. Between 1911 and 1984 this location was the site of the nine story Andrews Hotel. The proposed design and massing re-establishes the historic street definition along Hennepin Avenue and 4th Street at a location which is currently an open surface parking lot. The height fits well with its immediate neighbors, the 12 story Lumber Exchange and the 8 story Excel Energy headquarters building. The L-shaped massing of the proposed design allows the middle of the site to remain open to the sky.

The architectural expression of the AC Hotel is contemporary in design. The gridded Hennepin facade is derivative of early warehouse buildings in this area, muted so as not to detract from the neighboring historic Lumber Exchange building. The complimentary 4th Street facade is lighter in feeling and more playful, taking cues from the Central Public Library across the street. Materials on both these elevations consist of stucco, metal panel and glass.

Near the corner of 4th and Hennepin, the building facade breaks to turn the corner, and this is the location of the tower marquee. This signage element is inspired by other marquees up and down the Hennepin Avenue Theater District. Beginning at the base of this marquee, a canopy will extend above the first floor along the Hennepin Avenue face of the building to provide protection from the elements along the sidewalk. The main entrance to the lobby will receive further special material treatment to emphasize its location.

The first floor articulation is composed of deep set piers between large windows, providing greater texture at street level. Public areas wrap the Hennepin and 4th street facades with active uses. Cast stone and glass are the primary materials at this level of the building.

The hotel will be less than one block away from the Warehouse District Light Rail Transit Station. Given this urban location and close proximity to mass transit, the anticipated parking demand for the proposed hotel is approximately 40% of the room count. This parking demand will be accommodated in the adjacent privately owned parking ramp behind the building. This facility is accessed from both 4th street and directly from the interior of the site. The hotel will offer both valet parking services as well as a self-park option at this location.

SHEET INDEX

SHEET NUMBER	SHEET NAME	LAND USE APPLICATION - 12/5/2014
GENERAL INFORMATION		
TT.1	TITLE SHEET	•
CIVIL		
CO.1	CIVIL TITLE SHEET	•
CI.1	EXISTING CONDITIONS	•
CI.2	DEMOLITION	•
C2.1	SITE PLAN	•
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL	•
C4.1	UTILITIES	•
C7.1	CIVIL CONSTRUCTION DETAILS	•
C7.2	CIVIL CONSTRUCTION DETAILS	•
L2.1	LANDSCAPE PLAN	•
ARCHITECTURAL		
A0.1	REFERENCE IMAGES	•
A0.2	EXTERIOR PERSPECTIVES	•
A0.3	EXTERIOR PERSPECTIVES	•
A1.1	FIRST FLOOR PLAN / SITE PLAN	•
A1.2	SECOND FLOOR PLAN	•
A1.3	TYPICAL GUEST ROOM FLOOR PLAN (3-9)	•
A1.4	ROOF PLAN	•
A3.1	EXTERIOR ELEVATIONS	•
A3.1G	EXTERIOR ELEVATIONS (COLOR)	•
A3.2	EXTERIOR ELEVATIONS	•
A3.2G	EXTERIOR ELEVATIONS (COLOR)	•
A4.1	SHADOW STUDIES	•

LAND USE APPLICATION
DEC 5, 2014

ORIGINAL ISSUE:

REVISIONS

No. Description Date

214310

PROJECT NUMBER

ESG

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ESG

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KEY PLAN

AC Hotel

TITLE SHEET

T1.1



elness swenson graham architects
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MINNEAPOLIS, MINNESOTA 55415
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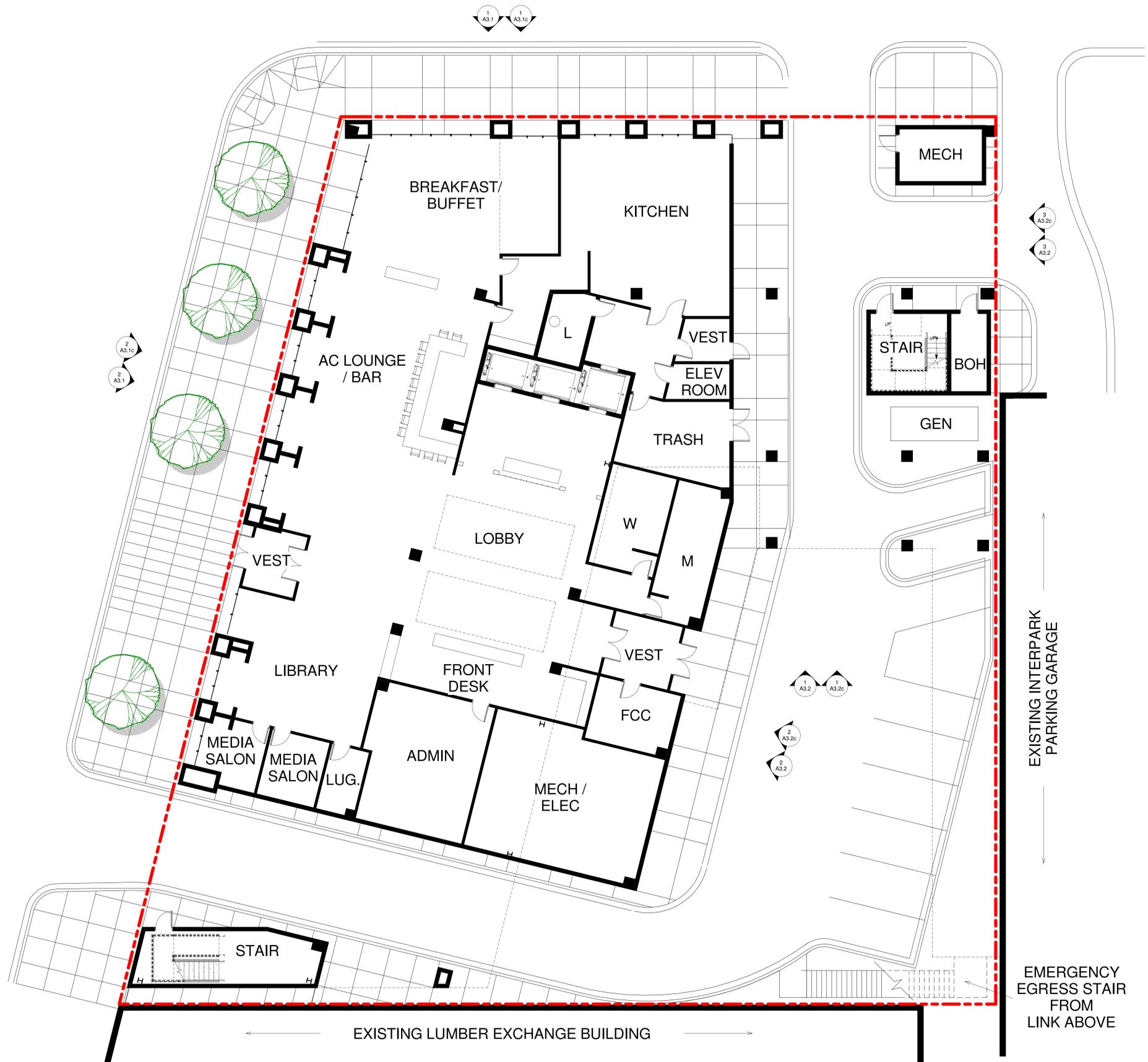
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NOTE: SNOW REMOVAL PLAN: SNOW WILL BE REMOVED FROM THE SITE BY OWNER/OPERATOR AS REQUIRED AFTER SNOW EVENTS TO KEEP SIDEWALKS AND DRIVEWAYS CLEAR

1 FIRST FLOOR PLAN
A1.1 1/8" = 1'-0"

LAND USE APPLICATION
DEC 5, 2014

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ME, LVS, RB BLC
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KEY PLAN

AC Hotel

FIRST FLOOR PLAN / SITE PLAN

A1.1



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1 SECOND FLOOR PLAN
A1.2 1/8" = 1'-0"

LAND USE APPLICATION DEC 5, 2014		
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KEY PLAN		
AC Hotel		
SECOND FLOOR PLAN		
A1.2		



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KEY PLAN

AC Hotel

TYPICAL GUEST ROOM FLOOR PLAN (3-9)

A1.3





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LAND USE APPLICATION
DEC 5, 2014

ORIGINAL ISSUE: 11/24/14

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No.	Description	Date
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214310
PROJECT NUMBER

Author	Checker
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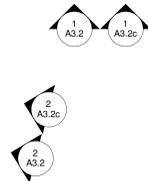
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KEY PLAN

AC Hotel

ROOF PLAN

A1.4





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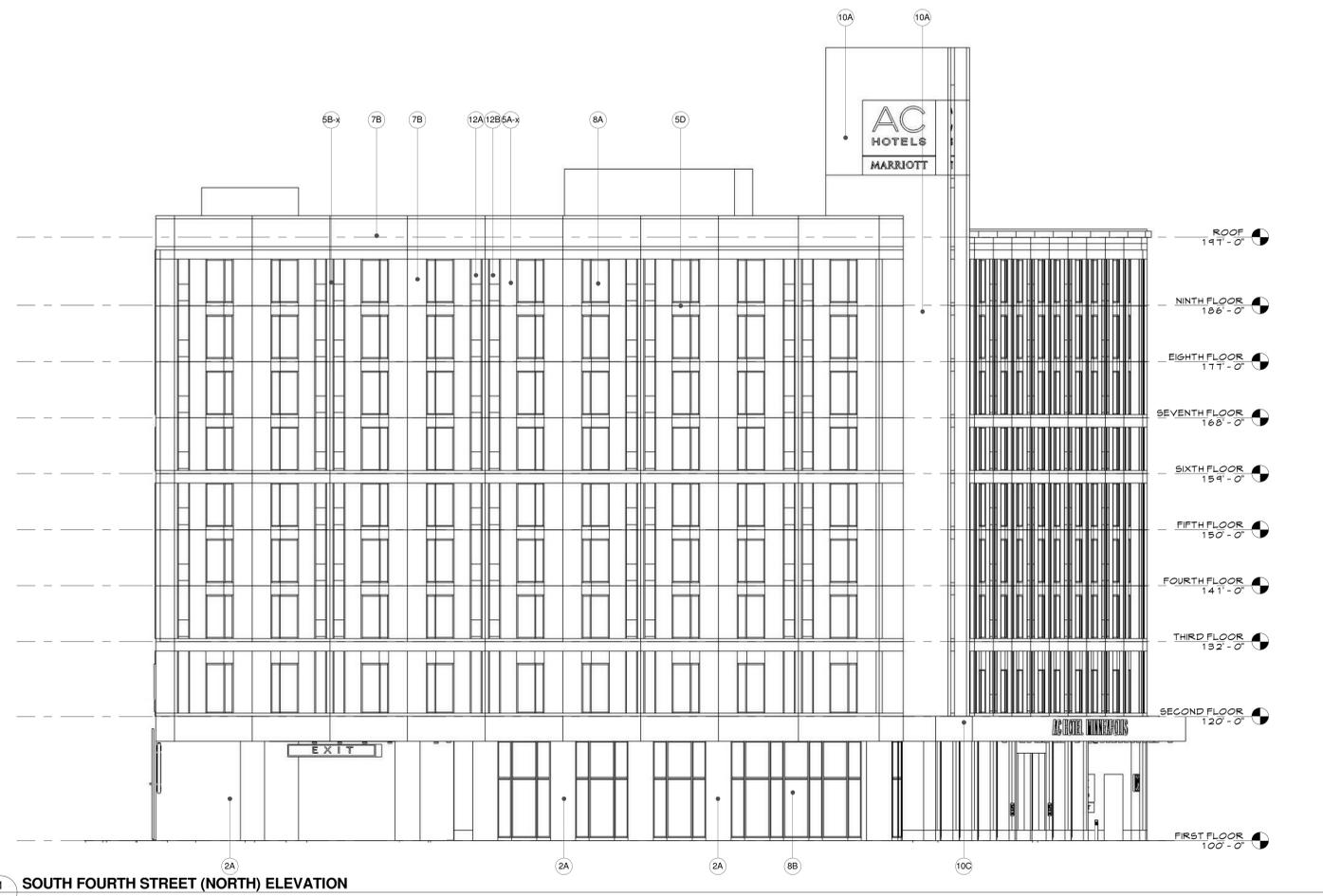
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KEY PLAN

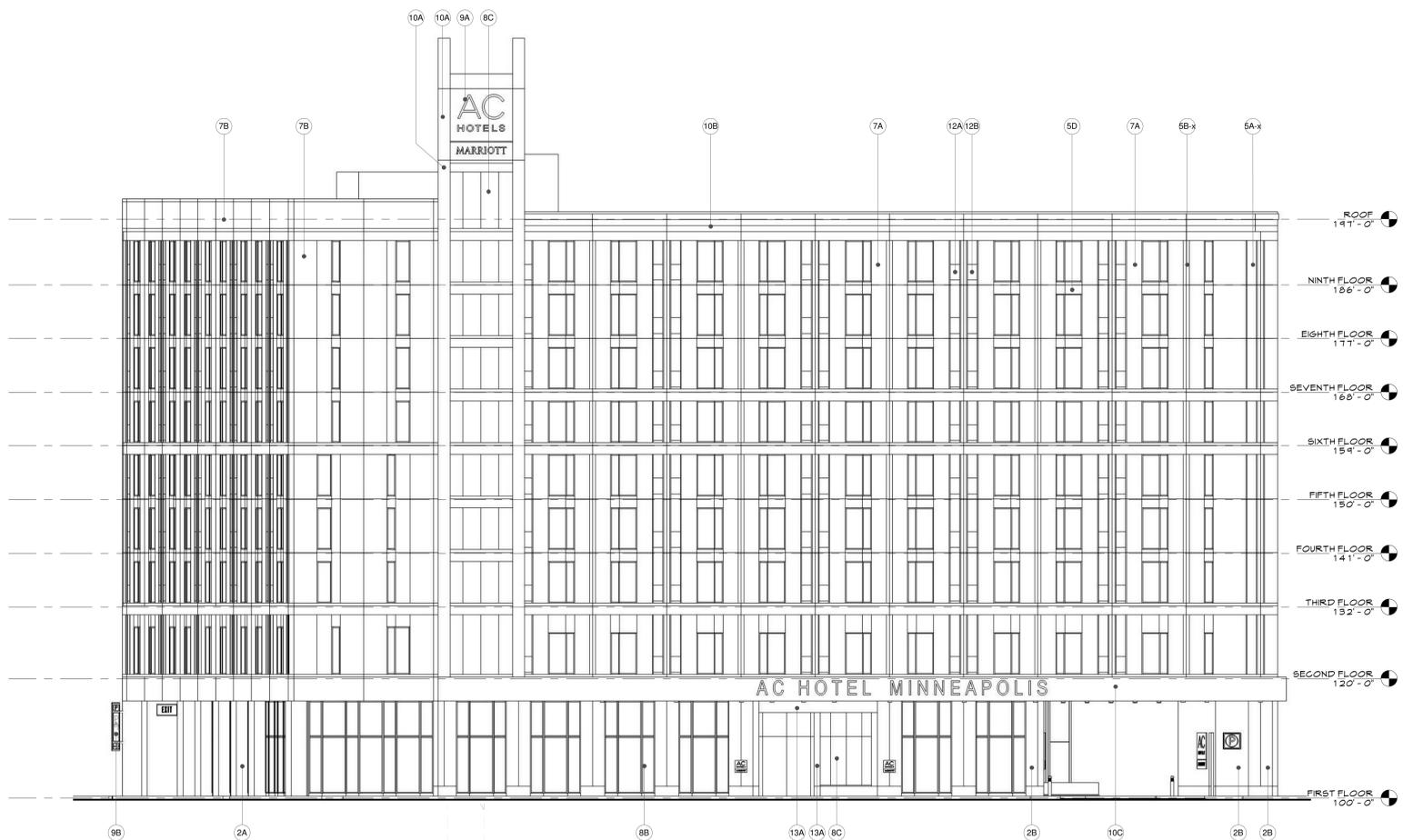
AC Hotel

EXTERIOR ELEVATIONS

A3.1



1 SOUTH FOURTH STREET (NORTH) ELEVATION
A3.1 3/32" = 1'-0"



2 HENNEPIN AVENUE (WEST) ELEVATION
A3.1 3/32" = 1'-0"

EXTERIOR MATERIAL KEYNOTES	
2A	POLISHED BLACK GRANITE
2B	MANKATO STONE - SMOOTH AND ROUGH CUT
5A-x	METAL ACCENT FEATURE COLOR A
5B-x	METAL ACCENT FEATURE COLOR B
5C	METAL PANEL COLOR C
5C-x	METAL ACCENT FEATURE COLOR C
5D	METAL SPANDREL PANEL
7A	STUCCO COLOR #1
7B	STUCCO COLOR #2
7C	STUCCO - BLACK AND SHINY
8A	ALUMINUM WINDOWS - TYP
8B	STOREFRONT ALUMINUM WINDOWS W/ EXTENDED VERTICAL CAPS
8C	FRITTED GLASS WINDOWS
9A	BUILDING SIGNAGE
9B	BLADE SIGN
10A	PREFINISHED COMPOSITE METAL
10B	PREFINISHED COMPOSITE METAL CORNICE
10C	PREFINISHED COMPOSITE METAL CANOPY
10D	PREFINISHED COMPOSITE METAL COLUMN COVER
12A	MECHANICAL LOUVER
12B	SIMULATED MECHANICAL LOUVER - METAL ACCENT STRIP COLOR A
13A	WOOD PORTAL FEATURE
14A	OVERHEAD CABLE-HUNG LIGHTS



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LAND USE APPLICATION
 DEC 5, 2014

ORIGINAL ISSUE: 11/25/14

REVISIONS

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214310
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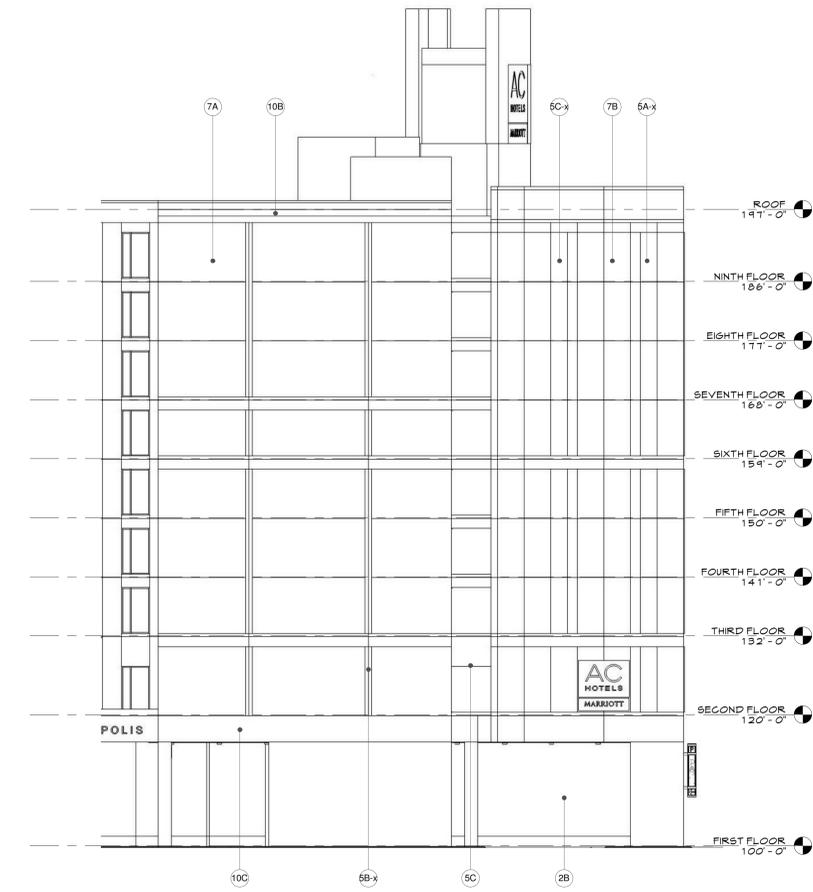
Author	Checker
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KEY PLAN

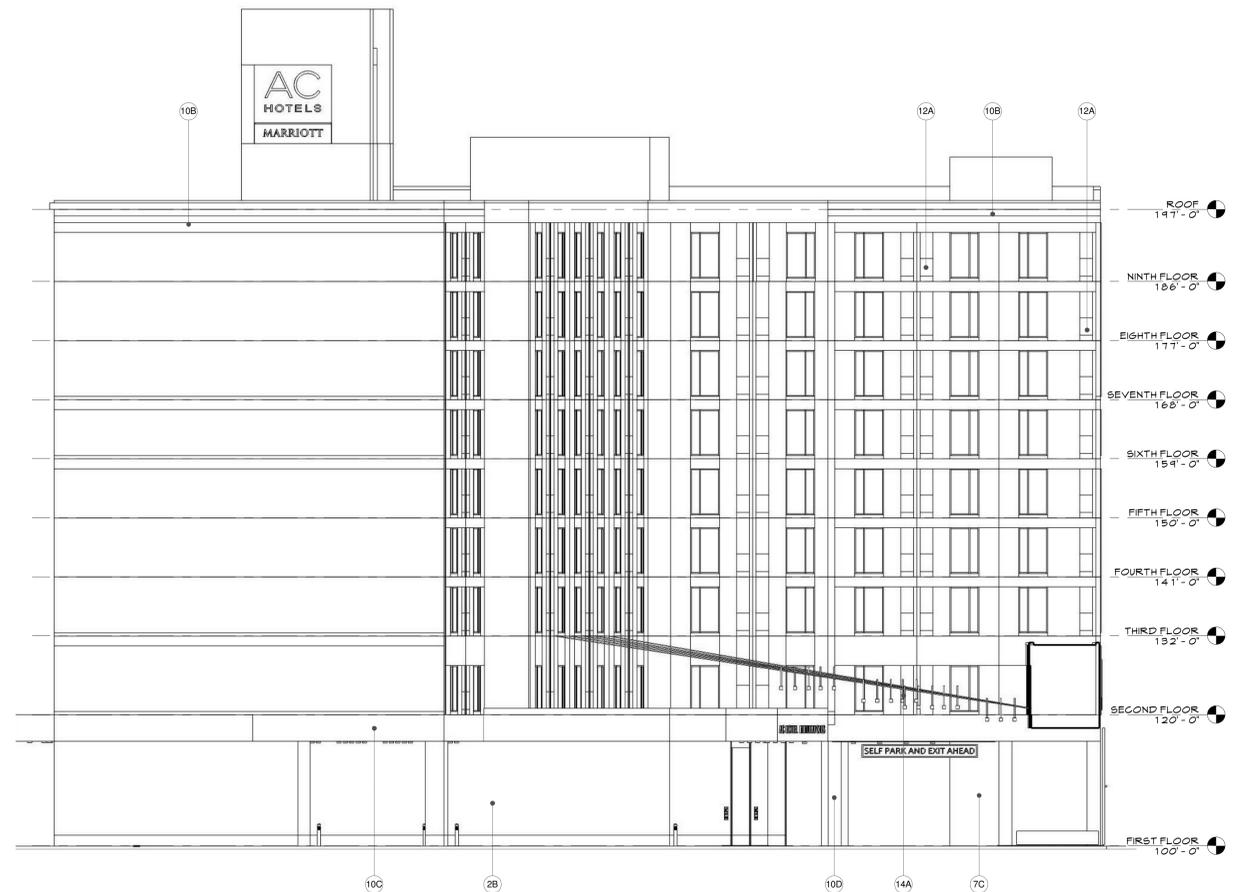
AC Hotel

EXTERIOR ELEVATIONS

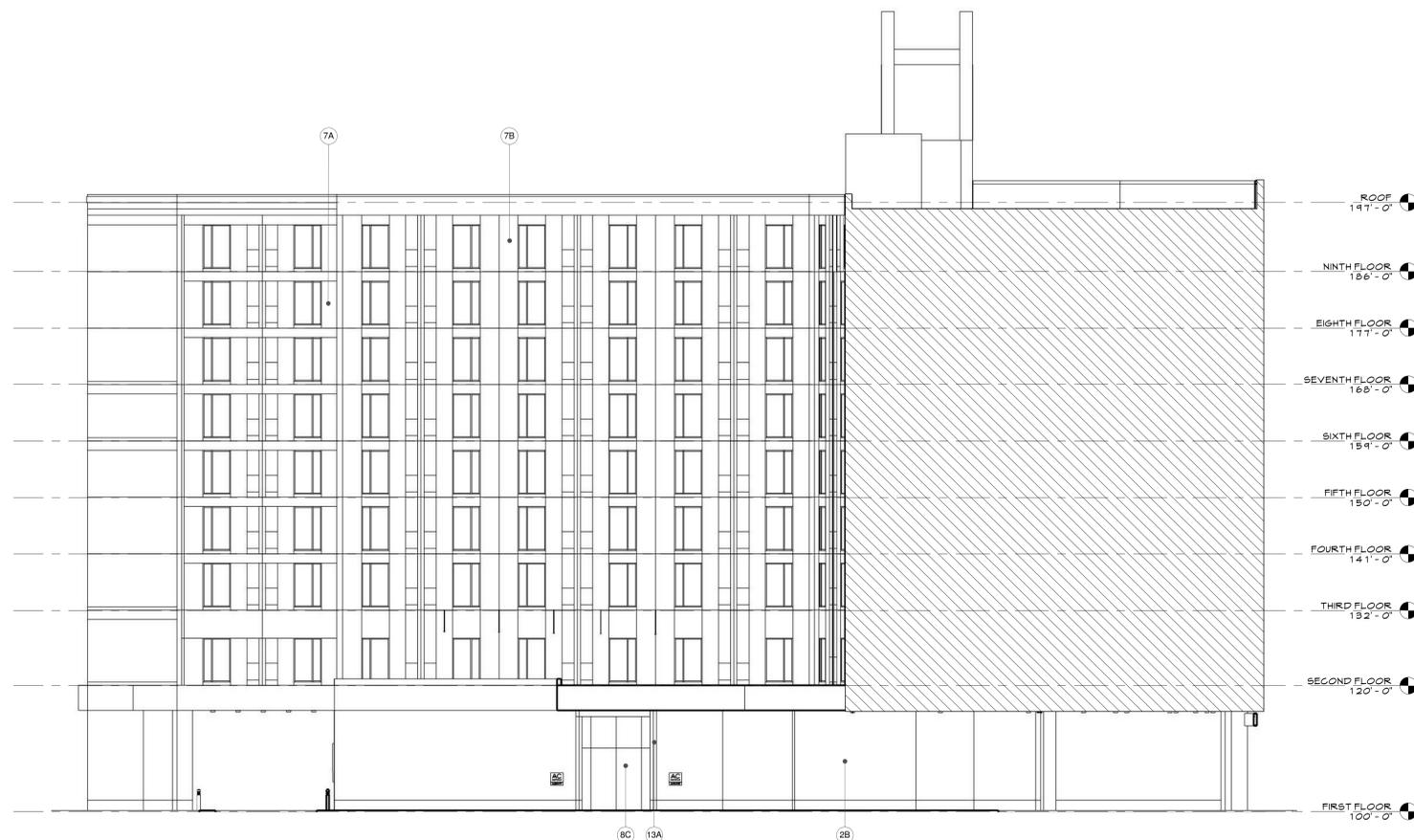
A3.2



2 PARTIAL EAST ELEVATION
 A3.2 3/32" = 1'-0"



1 PARTIAL SOUTH ELEVATION
 A3.2 3/32" = 1'-0"



3 PARTIAL EAST ELEVATION
 A3.2 3/32" = 1'-0"

EXTERIOR MATERIAL KEYNOTES

- 2A POLISHED BLACK GRANITE
- 2B MANKATO STONE - SMOOTH AND ROUGH CUT
- 5A-x METAL ACCENT FEATURE COLOR A
- 5B-x METAL ACCENT FEATURE COLOR B
- 5C METAL PANEL COLOR C
- 5C-x METAL ACCENT FEATURE COLOR C
- 5D METAL SPANDREL PANEL
- 7A STUCCO COLOR #1
- 7B STUCCO COLOR #2
- 7C STUCCO - BLACK AND SHINY
- 8A ALUMINUM WINDOWS - TYP
- 8B STOREFRONT ALUMINUM WINDOWS W/ EXTENDED VERTICAL CAPS
- 8C FRITTED GLASS WINDOWS
- 9A BUILDING SIGNAGE
- 9B BLADE SIGN
- 10A PREFINISHED COMPOSITE METAL
- 10B PREFINISHED COMPOSITE METAL CORNICE
- 10C PREFINISHED COMPOSITE METAL CANOPY
- 10D PREFINISHED COMPOSITE METAL COLUMN COVER
- 12A MECHANICAL LOUVER
- 12B SIMULATED MECHANICAL LOUVER - METAL ACCENT STRIP COLOR A
- 13A WOOD PORTAL FEATURE
- 14A OVERHEAD CABLE-HUNG LIGHTS



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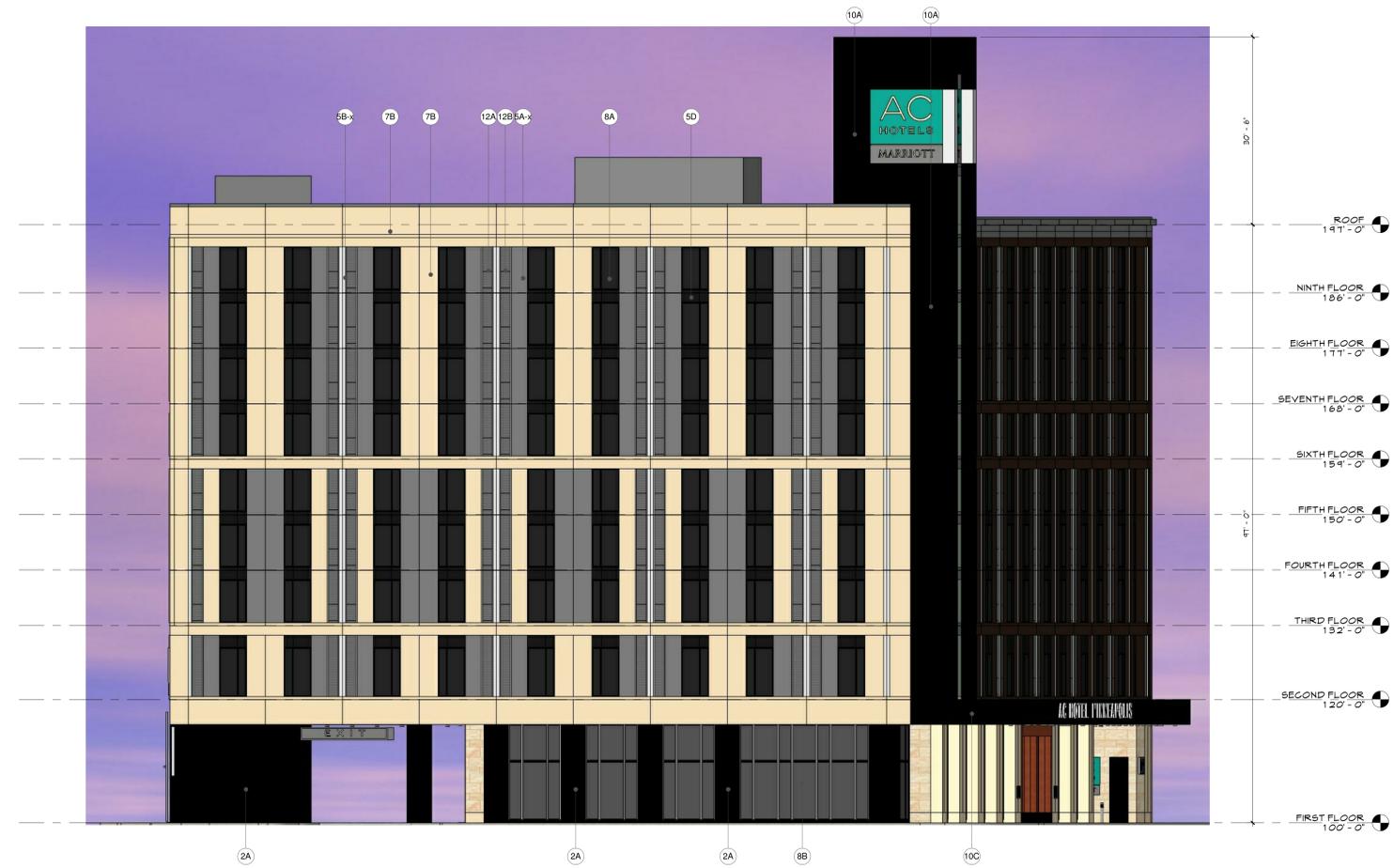
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1 SOUTH FOURTH STREET (NORTH) ELEVATION (COLOR)
 A3.1c 3/32" = 1'-0"



2 HENNEPIN AVENUE (WEST) ELEVATION (COLOR)
 A3.1c 3/32" = 1'-0"

EXTERIOR MATERIAL KEYNOTES

2A	POLISHED BLACK GRANITE
2B	MANKATO STONE - SMOOTH AND ROUGH CUT
5A-x	METAL ACCENT FEATURE COLOR A
5B-x	METAL ACCENT FEATURE COLOR B
5C	METAL PANEL COLOR C
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14A	OVERHEAD CABLE-HUNG LIGHTS

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KEY PLAN

AC Hotel

EXTERIOR ELEVATIONS (COLOR)
A3.1c



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AC Hotel

EXTERIOR ELEVATIONS
 (COLOR)

A3.2c



2 PARTIAL EAST ELEVATION
 A3.2c 3/32" = 1'-0"



1 PARTIAL SOUTH ELEVATION (COLOR)
 A3.2c 3/32" = 1'-0"



3 PARTIAL EAST ELEVATION (COLOR)
 A3.2c 3/32" = 1'-0"

EXTERIOR MATERIAL KEYNOTES	
2A	POLISHED BLACK GRANITE
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5C	METAL PANEL COLOR C
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12A	MECHANICAL LOUVER
12B	SIMULATED MECHANICAL LOUVER - METAL ACCENT STRIP COLOR A
13A	WOOD PORTAL FEATURE
14A	OVERHEAD CABLE-HUNG LIGHTS



AERIAL VIEW FROM NORTHWEST



HENNEPIN AVE LOOKING EAST



AERIAL VIEW FROM NORTH



4TH STREET LOOKING WEST



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KEY PLAN

AC Hotel

EXTERIOR PERSPECTIVES

A0.2



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HENNEPIN LOOKING SOUTH



4TH STREET LOOKING EAST

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INTERIOR DROP OFF



AERIAL VIEW FROM SOUTHEAST

LAND USE APPLICATION
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KEY PLAN

AC Hotel

EXTERIOR PERSPECTIVES

A0.3



MAR/SEPT 9AM



MAR/SEPT NOON



MAR/SEPT 3PM



JUNE 9AM



JUNE NOON



JUNE 3PM



DEC 9AM



DEC NOON



DEC 3PM



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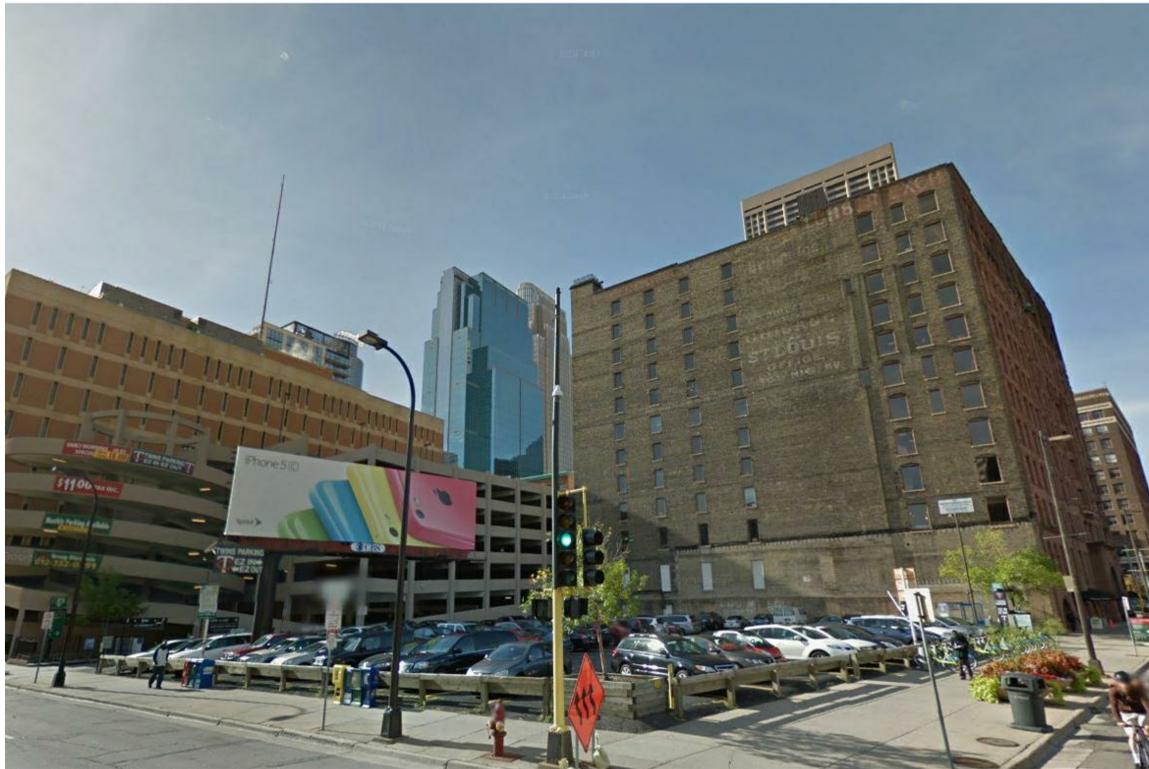
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KEY PLAN

AC Hotel

SHADOW STUDIES

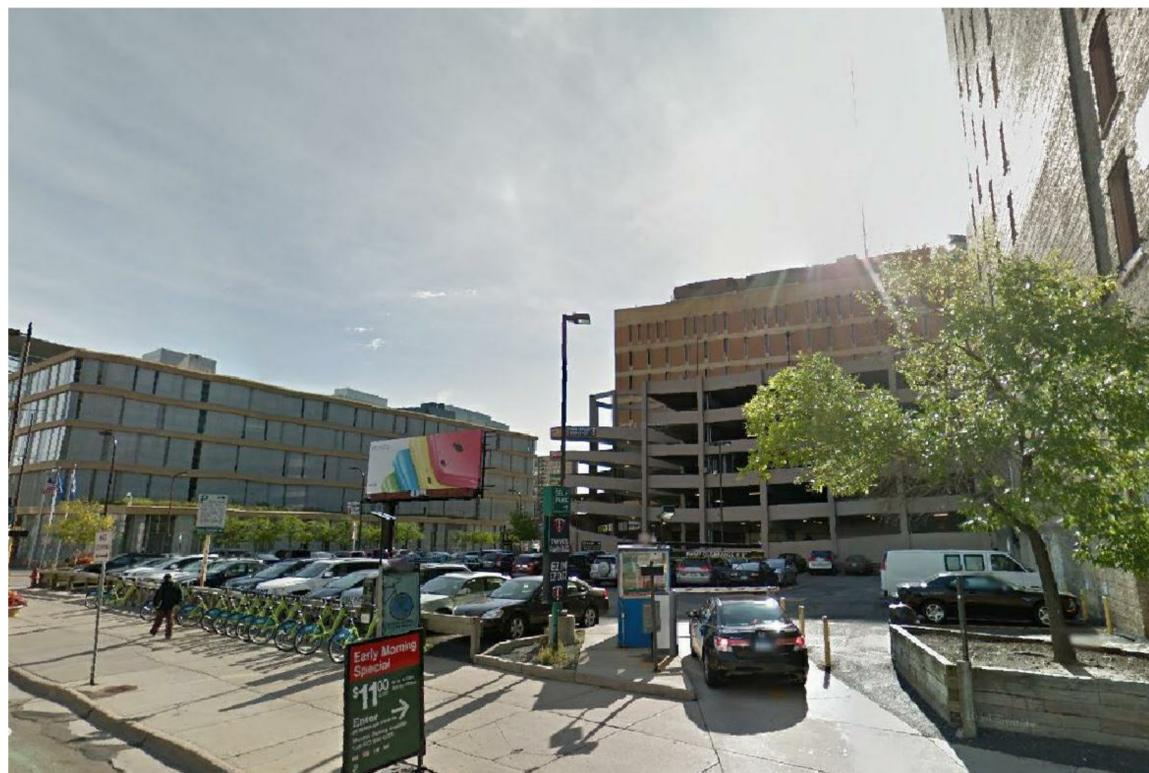
A4.1



HENNEPIN AVE & 4TH STREET LOOKING SOUTH



4TH STREET LOOKING WEST



HENNEPIN AVE LOOKING EAST



AERIAL VIEW FROM NORTH

AC Hotel

Minneapolis MN



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KEY PLAN

AC Hotel

REFERENCE IMAGES

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