



# CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #3  
 January 12, 2015  
 BZZ-6945

## LAND USE APPLICATION SUMMARY

**Property Location:** 1611 East 46<sup>th</sup> Street  
**Project Name:** Hiawatha College Prep - Northrop  
**Prepared By:** [Mei-Ling Anderson](#), City Planner, (612) 673-5342  
**Applicant:** Charter Schools Development Corporation  
**Project Contact:** Dan Peterson, Edie Sebesta, & Mark Burgess, U+B Architecture and Design, Inc.  
**Request:** To allow a new, 45,429 square-foot building.  
**Required Applications:**

<b>Conditional Use Permit</b>	To allow a new school for students in grades 5 through 8 in the R3 Multiple-Family District.
<b>Variance</b>	To increase the maximum allowed floor area ratio from 0.5 to approximately 0.62.
<b>Variance</b>	To allow a parking area to be located between a principal structure in a residence district and the front lot line adjacent to 16 <sup>th</sup> Avenue South.
<b>Site Plan Review</b>	For a new, 45,429 square-foot building.

## SITE DATA

<b>Existing Zoning</b>	R3 Multiple-Family District AP Airport Overlay District
<b>Lot Area</b>	155,071 square feet / 3.56 acres
<b>Ward(s)</b>	11
<b>Neighborhood(s)</b>	Field, Regina, Northrop Neighborhood Group
<b>Designated Future Land Use</b>	Urban Neighborhood
<b>Land Use Features</b>	n/a
<b>Small Area Plan(s)</b>	n/a

<b>Date Application Deemed Complete</b>	December 19, 2014	<b>Date Extension Letter Sent</b>	Not applicable
<b>End of 60-Day Decision Period</b>	February 17, 2015	<b>End of 120-Day Decision Period</b>	Not applicable

**BACKGROUND**

**SITE DESCRIPTION AND PRESENT USE.** The site is the former Minneapolis Public School’s Northrop campus and occupies the entire block bounded by 46th Street East, 17th Avenue South, 47th Street East, and 16th Avenue South. There is currently one, two-story building on the northern portion of the property. The original building was constructed in 1924 and an addition was constructed in 1949. The site was used as a grade school by Minneapolis Public Schools until it closed in 2005. The applicant purchased the property in 2013 and completed renovations, site improvements, and an addition to the existing two-story building in the fall of 2014. The existing building and new addition are now being used for an elementary school.

The grade of the site slopes down north to south, from 46<sup>th</sup> Street to 47<sup>th</sup> Street. There are retaining walls located on the south sides of the property to keep the existing playground and parking areas at-grade with the existing school building.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The site is located less than a mile west of Lake Hiawatha, and Minnehaha Creek is two blocks to the south. The neighborhood contains primarily low-density residential uses, there is a higher concentration of nonresidential uses located on Cedar Avenue (two blocks east of the site) and on Bloomington Avenue (one block west of the site). The site is separated from adjacent uses by public streets on all four sides.

**PROJECT DESCRIPTION.** The applicant is proposing to build a new, two-story building on the south side of the site. The building would contain 45,429 square feet in gross floor area. The applicant is proposing to use the building for a middle school with students in grades 5 through 8. The exterior materials of the building will consist of red brick and metal panel, as consistent with the existing building on-site. The new building will contain 20 classes which will eventually hold up to 336 students in grades 5 through 8, as well as a cafeteria and a gym. The applicant is proposing to add 26 parking spaces in a new parking area that would be adjacent to East 47<sup>th</sup> Street. The project also would include removing the existing retaining walls and fences along the east and south property lines and re-grading this portion of the site in order to make the site more accessible to pedestrians and bicycles.

A conditional use permit application is required to establish or expand a school use in the R3 Multiple-Family District. This would be an amendment to the conditional use permit that the applicant obtained to establish the elementary school use in the existing building. The applicant is requesting two variances as part of this project; one to increase the maximum floor area ratio allowed in the R3 district from 0.5 to 0.62, and the other to allow the proposed parking lot to be located between a building and front lot line, which is adjacent to 16<sup>th</sup> Avenue South. Site plan review applies to the entire site and is triggered by the establishment of a new, 45,429 square-foot building.

**RELATED APPROVALS.** In January 2014, the applicant received Planning Commission approvals to use the existing building on the northwest portion of the side as an elementary school, and to construct an addition to the school. This project was completed and kindergarten and first grade classes were enrolled as of August 2014.

<b>Planning Case #</b>	<b>Application</b>	<b>Description</b>	<b>Action</b>
BZZ-6297	CUP to allow a grade school; site plan review for a 15,380 square foot addition.	Renovation of and addition to the existing school building	CPC approved on January 3, 2014

**PUBLIC COMMENTS.** As of the writing of this report, staff has not received any public comments or correspondence from the neighborhood group. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow a new school for students in grades 5 through 8 in the R3 Multiple-Family District, based on the following [findings](#):

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The existing building on the site is currently being used for an elementary school. The new middle school would not be detrimental to public health, safety, comfort or general welfare provided that the development complies with all applicable building codes, life safety ordinances, site plan review requirements as well as Public Works Department standards.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The proposal to expand the existing school use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property. The site is located in a primarily low-density residential neighborhood and is separated from surrounding properties by public streets. The existing building was originally constructed as a school and was used as one since 1924. The scale and character of the proposed building is in keeping with the existing building and will not create adverse effects on surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Utilities and access roads are existing and adequate. The applicant has proposed a new parking area that would be accessed from 16<sup>th</sup> Avenue South. The Public Works Department has reviewed the preliminary plan and will review the final plan for compliance with standards related to access and circulation, drainage, and sewer/water connections. In addition, the applicant will be required to continue to work closely with the Public Works Department, the Plan Review Section of CPED, and the various utility companies during the duration of the development, should the applications be approved. The applicant is aware that the final plans are expected to incorporate any applicable comments or modifications as required by the Public Works Department.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Adequate measures have been provided to minimize traffic congestion in the public streets. All required vehicle parking (38 spaces) would be provided on-site. These spaces would be available to staff only, as there would be no students of driving age at the school. The applicant is proposing to remove the curb cut and parking lot located on 17<sup>th</sup> Avenue South, where the new building would be located. There are currently 35 parking spaces on the site, and a net increase of three spaces would be added through the relocation of the parking area from 17<sup>th</sup> Avenue South to 47<sup>th</sup> Street

East. Students and employees would have options for alternate modes of transportation, as there are four nearby bus routes that travel on Bloomington Avenue, Cedar Avenue and 46th Street, and the applicant is also proposing 89 bicycle parking spaces on the property, which exceeds the minimum requirement of 84 spaces for the school use. All loading and refuse collection would occur on-site.

The school program attempts to minimize vehicle drop-offs and traffic by providing free busing for all students who reside in South Minneapolis, and by requiring all students to be escorted into the building if they do not arrive by bus. The applicant states that most of the students would arrive by bus and all bus loading and unloading for the middle school would take place on 17<sup>th</sup> Avenue South and 47<sup>th</sup> Street East before 7:50 a.m. and after 4:15 p.m. (Monday-Thursday) and after 1:30 p.m. on Friday. A Travel Demand Management Plan (TDMP) has not been completed as of the printing of this report.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The future land use designation of the site is Urban Neighborhood in *The Minneapolis Plan for Sustainable Growth*. One block west of the site, Bloomington Avenue is designated as a community corridor. A designated neighborhood commercial node is also located at Bloomington Avenue and 46th Street East. Two blocks east of the site, Cedar Avenue is designated as a community corridor. The area between 47th Street and 48th Street East on Cedar Avenue is designated as a neighborhood commercial node as well. The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

**Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.**

- 1.1.4 Support context-sensitive regulations for development and land use, such as overlay districts, in order to promote additional land use objectives.
- 1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

**Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.**

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

**Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.**

- 1.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.

**Public Services and Facilities Policy 5.2: Support the efforts of public and private institutions to provide a wide range of educational choices for Minneapolis students and residents throughout the city.**

5.2.1 Work with institutions to ensure that school facilities are safe, accessible, and functionally appropriate for a diverse array of educational programs.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of the R3 Multiple-Family Residential District.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum allowed floor area ratio from 0.5 to approximately 0.62 based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The maximum floor area ratio (FAR) allowed in the R3 zoning district for a school, K-12 is 0.5. The proposed FAR is 0.62 (the existing FAR is 0.33). In the R3 zoning district, the minimum lot size requirement for a school, K-12 is 20,000 square feet. The school's lot size is 3.56 acres. The perceived scale and massing of a building with a 0.5 FAR on a 20,000 square foot lot versus a 155,071 square foot (3.56 acre) site is much different. Given the size of the site and the scale of the existing building, the proposed building is proportional to the size of the lot.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The variance request is reasonable and in keeping with the spirit and intent of the ordinance and the comprehensive plan. In general, building bulk regulations are established in order to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area. The site is 3.56 acres in size and is separated from surrounding development by public streets on all four sides. The total proposed gross floor area of 96,524 square feet is distributed throughout the site across two separate buildings, which are separated from the public right-of-way through landscaped yards on all sides. The scale of the proposed building is proportional to the size of the lot.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The site is 3.65 acres in size and is separated from surrounding development by public streets on all sides. The scale of the building and the addition is proportional to the size of the lot. Granting the variance would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to allow a parking area to be located between a principal structure in a residence district and the front lot line adjacent to 16<sup>th</sup> Avenue South based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The property is unique in that it has two front lot lines adjacent to 16<sup>th</sup> Avenue South and 17<sup>th</sup> Avenue South, respectively. The proposed parking area would be located to the rear of the proposed building, which faces 17<sup>th</sup> Avenue South. Therefore, the proposed surface parking area would not be located between the primary building entrance and adjacent front lot line, but it would be located between the building and the opposite front lot line that is adjacent to 16<sup>th</sup> Avenue South. The zoning code does not allow parking areas to be located between the principal building and front lot line in residential districts. Based on the configuration of the site and the fact that the property has two designated front yards, practical difficulties exist in complying with the ordinance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that is in keeping with the spirit and intent of the ordinance and comprehensive plan. By restricting the placement of parking areas between principal buildings and front lot lines, the intent of the ordinance is to maintain the residential character and active building frontages in residential areas. The new building would be adjacent to the front (17<sup>th</sup> Avenue South) and corner side (East 47<sup>th</sup> Street) property lines without any parking areas between the building and lot lines. In addition, the applicant is proposing a parking area with 26 spaces, for a total of 38 spaces on-site, which is one above the minimum requirement with the bicycle parking reduction. By keeping the number of surface parking spaces to a minimum and providing landscaping and screening on parking lot frontage areas, the applicant is attempting to offset the potential negative impacts of the proposed surface parking area to the extent possible.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Staff finds that allowing the parking area to be located between the building and the front lot line along 16<sup>th</sup> Avenue South will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The parking area is not expected to interrupt the orderly development of surrounding land and would not create conflicts between adjacent land uses. CPED and Public Works staff strongly recommends that the proposed parking area be redesigned with access off of 47<sup>th</sup> Street East (a corner side yard) rather than 16<sup>th</sup> Avenue South (a front yard) to minimize the impact of traffic entering and exiting the parking area on neighboring residential uses. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

## SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

## **I. Conformance to all applicable standards of Chapter 530, Site Plan Review.**

### **Building Placement and Design** – *Requires alternative compliance and a variance*

- The placement of the building would reinforce the street wall along 17<sup>th</sup> Avenue South on the east side of the property, which will also serve as the location for the building's primary entrance. The design and placement of the building would facilitate pedestrian access, and maximize natural surveillance.
- The first floor of the addition will be located 20 feet from the eastern front lot line along 17<sup>th</sup> Avenue S and would be built to the district setback requirement.
- The area between the building addition and the front lot line contains amenities, including bicycle racks, landscaping, stairways, and accessible walkways.
- The building is oriented toward the front lot line adjacent to 17<sup>th</sup> Avenue South and contains the building's main entrance and two other entryways. There is also one building entrance facing 47<sup>th</sup> Street East, which is adjacent to one of the property's corner side lot lines.
- As proposed, the property would contain two accessory parking areas. An existing parking area that is located along the north portion of the site (next to 46<sup>th</sup> Street East) contains 12 parking spaces, including two accessible parking spots. The applicant is also proposing a second parking area with 26 parking spaces to serve the proposed middle school. The new parking area, as proposed, would have frontage on the west (16<sup>th</sup> Avenue South) and southern (47<sup>th</sup> Street East) sides of the property and would not be to the rear or interior of the site, as 16<sup>th</sup> Avenue South is a front lot line. The applicant is requesting alternative compliance and a variance for the location of the accessory parking area.
- The walls of the building provide architectural detail and contain windows to create visual interest, increase security of adjacent outdoor spaces, and to divide the building into smaller, identifiable sections.
- While the exterior walls provide architectural details and windows to create visual interest and divide the building into smaller identifiable sections, the northern side of the east elevation would contain a blank wall exceeding 25 feet in length, which requires alternative compliance.
- The exterior materials that the applicant is proposing for the new building would be durable and compatible with the existing building. The primary exterior materials would be brick, metal panel, and aluminum storefront windows. The rear and side walls of the building are similar and compatible with the front. Plain face concrete block is not proposed. It is important to note that changes to the exterior materials at a later date would require review by the Planning Commission and an amendment to the site plan review.
- The windows are evenly distributed and vertical in nature.
- The building elevations facing the public street or on-site parking are required to contain 30 percent eye-level windows on the first floor and 10 percent windows on each level above the first floor. The new building faces either a public street or a surface parking area on all four sides. As shown in **Table I**, the applicant is meeting this requirement on some of the levels of the building elevations, but is requesting alternative compliance for the window requirement on the first floor east elevation facing 17<sup>th</sup> Avenue South, the first floor south elevation facing 47<sup>th</sup> Street East, and the first and second floor levels on the north elevation facing the on-site parking area adjacent to 46<sup>th</sup> Street East.
- The ground floor of the addition will contain more than 70 percent active functions on all street-facing sides.
- The roof line of the addition will be flat to match the existing building. However, most of the buildings in the vicinity are residential structures that have pitched roofs.

**Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking**

	Code Requirement		Proposed	
<b>17<sup>th</sup> Avenue S (East)</b>				
1 <sup>st</sup> Floor (2,648 sq. ft.)	30% minimum	794 sq. ft.	<u>8.7%</u>	230 sq. ft.
2 <sup>nd</sup> Floor (5,296 sq. ft.)	10% minimum	530 sq. ft.	23%	1,208 sq. ft.
<b>16<sup>th</sup> Avenue S (West)</b>				
1 <sup>st</sup> Floor (2,192 sq. ft.)	30% minimum	658 sq. ft.	43%	942 sq. ft.
2 <sup>nd</sup> Floor (4,384 sq. ft.)	10% minimum	438 sq. ft.	22%	960 sq. ft.
<b>46<sup>th</sup> Street E (North)</b>				
1 <sup>st</sup> Floor (294 sq. ft.)	30% minimum	88 sq. ft.	<u>0%</u>	<u>0 sq. ft.</u>
2 <sup>nd</sup> Floor (1,176 sq. ft.)	10% minimum	118 sq. ft.	<u>0%</u>	<u>0 sq. ft.</u>
<b>47<sup>th</sup> Street E (South)</b>				
1 <sup>st</sup> Floor (644 sq. ft.)	30% minimum	193 sq. ft.	<u>20%</u>	<u>126 sq. ft.</u>
2 <sup>nd</sup> Floor (1,288 sq. ft.)	10% minimum	129 sq. ft.	15%	189 sq. ft.

**Access and Circulation – Meets requirements**

- All of the entrances leading into the building are directly connected to a public sidewalk or to on-site parking via walkways that exceed four feet in width. Staff is recommending a condition that would require the proposed walkway along the north side of the parking lot to be extended for the entire length of the parking lot from east to west. In addition, staff recommends that the walkway be placed adjacent to the north side of the parking area.
- There are no transit shelters proposed as part of this development.
- Vehicular access and circulation has been designed to minimize conflicts with pedestrians and surrounding residential uses. The two existing curb cuts on the northeast portion of the site would not be altered as part of the project. A curb cut and parking area adjacent to 17<sup>th</sup> Avenue South would be removed, and a new curb cut and parking area off of 16<sup>th</sup> Avenue South would be added. Staff recommends a condition that the applicant shall work with staff to explore the option of relocating the parking access from 16<sup>th</sup> Avenue South, which is adjacent to a front property line, to 47<sup>th</sup> Street East, a corner side yard.
- There are no public alleys adjacent to this property.
- The maximum impervious surface requirement in the R3 Multiple-Family District is 60 percent. The proposed addition would increase the impervious surfaces to 53 percent of the site (82,764 square feet).

**Landscaping and Screening – Requires alternative compliance**

- The applicant’s submitted plans do not clarify that all areas not occupied by buildings, parking, and loading areas contain landscaping. Staff recommends a condition of approval that requires that all areas on the property that are not covered by buildings, parking areas, or loading areas must be labeled with landscaping materials.
- The composition and location of the landscaped areas complement the scale of the development and of the surrounding area.
- The zoning code requires that at least 20 percent of the site not occupied by buildings be landscaped. The lot area of the site is 155,071 square feet and the building footprint is 54,240 square feet. The difference is 100,831 square feet, and 20 percent of this number is 20,166 square feet. The applicant is proposing approximately 72,310 square feet of landscaped area on the site, or approximately 72 percent of the site not occupied by the building, which exceeds site plan review minimum standards.

- The zoning code requires that the site contain at least one canopy tree per 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space. The tree requirement for this site is 41 and the shrub requirement is 202. There are 27 existing canopy trees. Six will be removed and 14 will be planted as part of the project, for a net increase of 8 and a total of 35. Alternative compliance is being requested for the minimum tree requirement, as six additional trees would be required.
- There are 255 existing shrubs and 174 are proposed, for a total of 429 shrubs, as well as a variety of grasses and perennials. As proposed, the site would exceed the minimum shrub requirement.
- The site would contain two surface parking areas that are subject to the landscaped yard, trees, and screening requirements. A landscaped yard of eight feet is required between the parking areas and adjacent public pathways. A three-foot screen that is at least 60 percent opaque is required between the parking area and public right-of-way in these locations. In addition, these parking frontage areas are required to have one tree per 25 linear feet. The existing parking and loading areas with frontage on 46<sup>th</sup> Street East and 17<sup>th</sup> Avenue South meet the landscaping, screening, and linear tree requirements or have been granted alternative compliance through the previous Planning Commission conditions of approval. Therefore, the landscaping, linear tree, and screening requirements apply to the proposed parking area with frontages on 47<sup>th</sup> Street East and 16<sup>th</sup> Avenue South.
- *47<sup>th</sup> Street East:* The width of the proposed landscaped yard between the parking area and property line is twelve feet, with approximately nine feet containing landscaping materials on the plans. Five on-site canopy trees are required along this parking lot frontage and two are provided. The proposed Karl Forester and Stella D'Oro Daylily plantings do not meet the year-round screening requirements, but the three-foot screen is met elsewhere along this frontage. Alternative compliance is requested for the screening and linear tree requirements along 47<sup>th</sup> Street East.
- *16<sup>th</sup> Avenue South:* The width of the proposed landscaped yard is 20 feet, which meets the minimum requirement. Two canopy trees are required and two are provided. The proposed Karl Forester and Stella D'Oro Daylily plantings do not meet the year-round screening requirements, but the three-foot screen is met elsewhere along this frontage. Alternative compliance is requested for the screening requirement along 16<sup>th</sup> Avenue South.
- The corners of the surface parking area contain landscaping.
- The proposed parking area would contain 26 spaces and is subject to the requirement that no parking space be located more than 50 feet from an on-site deciduous tree. The proposed parking area meets this requirement.

**Table 2. Landscaping and Screening Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	155,071 sq. ft.
<b>Building footprint</b>	--	54,240 sq. ft.
<b>Remaining Lot Area</b>	--	100,831 sq. ft.
<b>Landscaping Required</b>	20,166 sq. ft.	72,310 sq. ft.
<b>Canopy Trees (1: 500 sq. ft.)</b>	41 trees	35 trees
<b>Shrubs (1: 100 sq. ft.)</b>	202 shrubs	429 shrubs

**Additional Standards – Meets requirements**

- The existing parking area is defined by continuous concrete curbing and would not be altered. The new parking area along 47<sup>th</sup> Street East would have continuous concrete curbing and a subsurface infiltration basin to provide on-site retention and filtration of stormwater as it drains to the east in the surface parking area.
- The proposed building will not block views of important elements of the city.
- The proposed building is not expected to create shadowing on public spaces and adjacent properties, nor is it expected to generate wind currents at ground level.
- The site plan complies with crime prevention design elements. There are walkways that direct people to building entrances, the building wall would be located along the front setback on 17<sup>th</sup> Avenue South, and the addition will contain large windows facing the public street to increase surveillance.
- The existing school on-site was rehabilitated through a previous project.

**2. Conformance with all applicable regulations of the zoning ordinance.**

The proposed use is *conditional* in the R3 District.

**Off-street Parking and Loading – Meets requirements with Conditions of Approval**

- The parking requirement for the school is based on the total number of classrooms proposed (42) and the number students of legal driving age enrolled at the school (0). Since there are no students of legal driving age, the minimum requirement is one space per classroom (42), while the maximum allowed is two per classroom (84). In addition, the applicant is providing 89 bicycle spaces, which exceeds 25 percent of the minimum parking requirement, so the development qualifies for the 10 percent bicycle incentive reduction under section 541.220. Therefore, the minimum vehicle parking requirement is 37 spaces.
- The applicant is proposing 38 surface parking spaces, of which four would be accessible. The proposed number of parking spaces falls within the minimum and maximum parking requirement. The parking area serving the middle school would be located in the southwest portion of the site and accessible via a new curb cut off of 16<sup>th</sup> Avenue South. Staff recommends a condition that the applicant shall work with staff to explore the option of relocating the parking access from 16<sup>th</sup> Avenue South, which is adjacent to a front property line, to 47<sup>th</sup> Street East, a corner side yard.
- The applicant is proposing to add 65 bicycle parking spaces to the site, for a total of 89 bicycle parking spaces. The zoning code requirement is three per classroom, with at least 50 percent meeting the standards for short-term bicycle parking. The applicant is required to provide a minimum of 84 spaces based on the existing number of bicycle spaces (24) plus the increase in

classrooms from 22 to 42 (60 spaces required). Of the 84 parking spaces required, at least 42 must meet the standards for short-term bicycle parking.

- The school use has “Low” loading requirement. The school is required to provide two small loading spaces based on its square footage, and three are proposed in the site plan.

**Table 3. Vehicle Parking Requirements Per Use (Chapter 541)**

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
School, grades K-12	42	Bicycle Incentive (5)	37	84	--

**Table 4. Bicycle Parking and Loading Requirements (Chapter 541)**

	Minimum Bicycle Parking	Minimum Short-Term	Proposed	Loading Requirement	Proposed
School, grades K-12	84	Not less than 50% (42)	89	2 small	3 small

**Building Bulk and Height – Requires variance(s)**

- After the 45,429 square foot building is constructed, the buildings on the site will have a total of 96,524 square feet in gross floor area. The existing floor area ratio (FAR) of the site is 0.32, and the addition would result in an FAR of 0.62, which exceeds the 0.5 district maximum and requires a variance.
- The height of the proposed building would be two stories, or 28 feet, 8 inches, which is within the 2.5 stories (or 35 feet, whichever is less) that is allowed in the R3 district.

**Table 5. Building Bulk and Height Requirements**

	Code Requirement	Proposed
Lot Area	--	155,071 sq. ft. / 3.56 acres
Gross Floor Area (GFA)	--	96,524 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	0.5	0.62
Maximum Building Height	2.5 stories or 35 feet, whichever is less	2 stories / 28 feet, 8 inches

**Residential Lot Requirements – Not applicable**

**Yard Requirements – Requires variance(s)**

- The property has two front lot lines along the east and west sides of the property. The front yard setback for this use in the R3 district is 20 feet. The property has two corner side lot lines that abut E 46<sup>th</sup> Street to the north and E 47<sup>th</sup> Street to the south. The corner yard requirement along the property lines adjacent to 46<sup>th</sup> Street and 47<sup>th</sup> Street is ten feet, or 8+2x where “x” is the number of floors above the first floor. In this case, there is one floor above the ground floor

of the proposed building, so the building setback requirement is ten feet. The zoning code also requires that there be a minimum eight-foot landscaped yard between the parking area and property line. The applicant is proposing to meet or exceed the minimum required yards on all four sides.

**Table 6. Minimum Yard Requirements**

	<b>Zoning District</b>	<b>Proposed</b>
<b>Front (17th<sup>st</sup> Ave S) - East</b>	20 ft.	20 ft.
<b>Front (16th<sup>nd</sup> Ave S) - West</b>	20 ft.	20 ft.
<b>Corner Side (E 46<sup>th</sup> St) - North</b>	10 ft. (building) 8 ft. (parking area)	240 ft. (proposed building) 9 ft. (existing parking area)
<b>Corner Side (E 47<sup>th</sup> St) - South</b>	10 ft. (building) 8 ft. (parking area)	12 ft.

**Signs** – *Meets requirements with Conditions of Approval*

- Signs are subject to Chapter 543 of the Zoning Code. The applicant is proposing two new signs as part of the project. The applicant must submit separate, detailed plans for the new signage that is in compliance with Chapter 543 of the zoning code. The signage plans shall also include a summary of the existing signage on the property.
- The applicant is proposing an attached sign of 31.5 square feet in area (10 feet, six inches by three feet) that would be 14 feet tall on the east elevation facing 17<sup>th</sup> Avenue. The applicant is also proposing a monument sign that is 32 square feet in area and seven feet tall. One monument sign is allowed on the lot, while freestanding signs are not allowed in the residential districts.

**Table 7. Signage Summary**

	<b>Number Allowed Per Zoning Lot</b>	<b>Proposed Number</b>	<b>Maximum Area Per Sign</b>	<b>Proposed Area</b>	<b>Maximum Allowed Height</b>	<b>Proposed Height</b>
Monument	1	1	32 sq. ft.	32 sq. ft.	8 ft.	7 ft.
Attached	1 per block face	1	32 sq. ft.	31.5 sq. ft.	14 ft.	14 ft.
<b>Total</b>		<b>2</b>		<b>63.5 sq. ft.</b>		

**Refuse Screening** – *Meets requirements*

- Refuse and recycling storage containers are required to be enclosed on all four sides by screening compatible with the principal structure not less than two feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. There is an eight-foot tall wood trash enclosure next to the existing parking and loading area off of 46<sup>th</sup> Street East. No additional external trash enclosures are proposed on the site and floor plans for the new building.

**Screening of Mechanical Equipment** – *Meets requirements*

- The new building would have rooftop mechanical units. The elevations show that the units would be fully screened on all four sides, as required in section 535.70 of the zoning code.

**Lighting** – *Meets requirements*

- A lighting plan showing footcandles surrounding the new building was submitted by the applicant. Existing and proposed lighting must comply with Chapter 535 of the zoning code, including:

**535.590. Lighting.** (a) *In general.* No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.

(b) *Specific standards.* All uses shall comply with the following standards except as otherwise provided in this section:

- (1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
- (2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
- (3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
- (4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
- (5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.

**Impervious Surface Area** – *Meets requirements*

- The maximum amount of impervious surfaces allowed in the R3 district is 60 percent (equivalent to 93,167 square feet on this site). The applicant is proposing 82,794 square feet of impervious surfaces on the 155,071 square-foot site, or 53 percent, which is below the maximum allowed impervious surface area.

**Specific Development Standards** – *Meets requirements*

- The specific development standards for schools, grades K—12 are:
  - (1) The use shall include a regular course of study accredited by the State of Minnesota.
  - (2) To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings, and exterior building materials shall be harmonious with other buildings in the neighborhood.
  - (3) An appropriate transition area between the facility and adjacent property shall be provided by landscaping, screening and other site improvements consistent with the character of the neighborhood.

**AP Airport Overlay District Standards – Meets requirements**

- The proposal is in compliance with the AP Airport Overlay District requirements. The school is located outside of the portion of the district that prohibits school uses unless granted by the Board of Adjustment.

**3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.**

*The Minneapolis Plan for Sustainable Growth* identifies the site as Urban Neighborhood on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

**Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.**

- 10.8.8 Appropriate non-residential land uses, such as institutional, public and suitable commercial uses, should be integrated into low density residential areas through proper building location and design, landscaping, and other site improvements.

**Urban Design Policy 10.13: Work with institutional and public partners to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area.**

- 10.13.1 Concentrate the greatest density and height in the interior of institutional campuses with stepped-down building design as it transitions to the neighborhood.
- 10.13.2 Develop building forms on the edges of institutional property which are most reflective of neighboring properties as the preferred option, while recognizing that in certain circumstances greater bulk and density may be preferable to expansion beyond existing campus boundaries.
- 10.13.3 Encourage institutional uses and public buildings and facilities to incorporate architectural and site design that is reflective of their civic importance and that identifies their role as focal points for the community.
- 10.13.4 Promote active uses at the ground floor level.

**Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.**

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.17 Minimize the width of ingress and egress lanes along the public right of way in order to provide safe pedestrian access across large driveways.

The proposed use is consistent with the policies of the comprehensive plan. The site is in close proximity to public transit and bicycle parking will be provided on-site. The scale, character, and exterior materials of the proposed building are in keeping with the existing building and reflect the building's civic importance. The development will comply with all yard requirements, and landscaping will be installed between the parking areas and the adjacent public streets to reduce their visual impacts.

#### **4. Conformance with applicable development plans or objectives adopted by the City Council.**

There are no adopted small area plans that apply to this particular parcel at this time.

#### **5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Parking area location.** As proposed, the property would contain two accessory parking areas. An existing parking area that is located along the north portion of the site (next to 46th Street East) contains 12 parking spaces, including two accessible parking spots. The applicant is also proposing a second parking area with 26 parking spaces to serve the proposed middle school. The new parking area would have frontage on the west (16th Avenue South) and southern (47th Street East) sides of the property and would not be to the rear or interior of the site, as 16th Avenue South is a front lot line, and requires alternative compliance as well as a variance. As the property has two front lot lines, strict adherence with the parking area location requirement would be impractical. With staff's recommendation for additional landscaping between the parking area and public walkway, staff recommends that the Planning Commission grant alternative compliance for this standard.
- **Blank wall.** While the exterior walls provide architectural details and windows to create visual interest and divide the building into smaller identifiable sections, the northern side of the east elevation would contain a blank wall exceeding 25 feet in length, which requires alternative compliance. This portion of the building would serve as the school's gymnasium, and the 32-foot blank wall would be opposite a storage area. As an alternative, the applicant is proposing extensive landscaping improvements on this side of the building to offset the impact of the blank wall. Staff recommends granting alternative compliance.
- **Windows.** The building elevations facing the public street or on-site parking are required to contain 30 percent eye-level windows on the first floor and 10 percent windows on each level above the first floor. The new building faces either a public street or a surface parking area on all four sides. As shown in **Table I**, the applicant is meeting this requirement on some of the levels of the building elevations, but is requesting alternative compliance for the window requirement on the first floor east elevation facing 17<sup>th</sup> Avenue South, the first floor south elevation facing 47<sup>th</sup> Street East, and the first and second floor levels on the north elevation facing the on-site parking area adjacent to 46<sup>th</sup> Street East.
  - *17<sup>th</sup> Ave S, first floor (East):* As an alternative, the applicant has proposed a variety of trees and shrubs along this elevation to offset the lack of windows on ground level. Staff recommends granting alternative compliance, provided that the applicant complies with the recommendation to increase the window area on the south elevation of the building.
  - *47<sup>th</sup> Street East, first floor (South):* The south elevation contains a building entrance and serves classrooms on both levels. As proposed, the first floor of the building would contain 20 percent windows and the second floor would contain 15 percent windows. Staff recommends that the Planning Commission require the applicant to increase the windows on the first floor of the south elevation facing 47<sup>th</sup> Street East to comply with the minimum requirement of section 530.120 of the zoning code, which is 30 percent or 193 square feet.
  - *46<sup>th</sup> Street East, first and second floors (North):* The applicant states that adding windows to this elevation is possible, but the windows would look into mezzanine-level storage spaces. The applicant has proposed six evergreens, as well as shrubs, along the North

elevation to reduce the visual impacts of the blank wall on this side. In addition, there are existing trees and shrubs between this elevation and 46<sup>th</sup> Street East that were installed as part of the previous land use approval process. Staff recommends granting alternative compliance, provided that the applicant complies with the recommendation to increase the window area on the south elevation of the building.

- **All areas not covered by buildings and parking shall be landscaped.** The applicant's submitted plans do not clarify that all areas not occupied by buildings, parking, and loading areas contain landscaping. Staff recommends a condition of approval that requires that all areas on the property that are not covered by buildings, parking areas, or loading areas must be labeled with landscaping materials.
- **Minimum number of canopy trees.** The zoning code requires that the site contain at least one canopy tree per 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space. The tree requirement for this site is 41 and the shrub requirement is 202. There are 27 existing canopy trees. Six will be removed and 14 will be planted as part of the project, for a net increase of 8 and a total of 35. Alternative compliance is being requested for the minimum tree requirement, as six additional trees would be required. Staff recommends granting alternative compliance for the minimum canopy tree requirement based on the applicant's proposal to provide an on-site athletic field and to maintain the existing boulevard trees.
- **Landscaping requirements along 47<sup>th</sup> Street East.** Five on-site canopy trees are required along this parking lot frontage and two are provided. The proposed Karl Forester and Stella D'Oro Daylily plantings do not meet the year-round screening requirements, but the three-foot screen is met elsewhere along this frontage. Alternative compliance is requested for the screening and linear tree requirements along 47<sup>th</sup> Street East. Staff finds that it would be reasonable to require the applicant to comply with the minimum landscaped yard, screening and linear tree requirements along the 47<sup>th</sup> Street East parking lot frontage.
- **Landscaping requirements along 16<sup>th</sup> Avenue South.** The width of the proposed landscaped yard is 20 feet, which meets the minimum requirement. Two canopy trees are required and two are provided. The proposed Karl Forester and Stella D'Oro Daylily plantings do not meet the year-round screening requirements, but the three-foot screen is met elsewhere along this frontage. Alternative compliance is requested for the screening requirement along 16<sup>th</sup> Avenue South. Staff finds that it would be reasonable to require the applicant to comply with the screening requirements along the parking area on 16<sup>th</sup> Avenue South. In addition, staff is recommending a condition that requires the landscaping and screening materials on the northwest side of the proposed parking area be extended to the north to decrease the visibility of the parking area from the public sidewalk and surrounding residential uses.

## RECOMMENDATIONS

### Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to allow a new school for students in grades 5 through 8 in the R3 Multiple-Family District at the property located at 1611 East 46<sup>th</sup> Street, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning

administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase the maximum allowed floor area ratio from 0.5 to approximately 0.62 at the property located at 1611 East 46<sup>th</sup> Street.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to allow a parking area to be located between a principal structure in a residence district and the front lot line adjacent to 16th Avenue South at the property located at 1611 East 46<sup>th</sup> Street.

**Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a new, 45,429 square foot building at the property located at 1611 East 46<sup>th</sup> Street, subject to the following conditions:

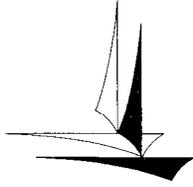
1. Approval of the final site plan, landscaping plan, and elevations, by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by January 12, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. All signs shall comply with Chapter 543 of the zoning code. All signage requires a separate permit from CPED.
4. The applicant shall increase the window area on the first floor of the south elevation facing 47<sup>th</sup> Street East to comply with the minimum requirements of section 530.120 of the zoning code.
5. The landscaping plan shall be consolidated into a single plan and plant schedule, and indicating that all areas of the property not covered by buildings, parking areas, or loading shall contain landscaping materials.
6. The landscaping plan shall demonstrate compliance with the minimum screening and linear tree requirements along the parking frontage areas on both 47<sup>th</sup> Street East and 16<sup>th</sup> Avenue South.
7. The landscaping and screening materials should be extended to cover the northwest corner of the proposed parking area.
8. The proposed walkway along the north side of the new surface parking lot shall be located adjacent to the parking area and shall extend along the entire length of the parking lot from

east to west.

9. The applicant shall work with staff to explore the relocation of the parking area access from 16<sup>th</sup> Avenue South to 47<sup>th</sup> Street East.

## ATTACHMENTS

1. PDR Report
2. Written description and findings submitted by applicant
3. Zoning map
4. Site survey
5. Plans
6. Building elevations
7. Renderings
8. Photos
9. Oblique aerials



Minneapolis Development Review  
 250 South 4<sup>th</sup> Street  
 Room 300  
 Minneapolis, MN 55415

## Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**  
**(612) 673-2726**  
**don.zart@minneapolismn.gov**

<b>Status *</b>
<b>RESUBMISSION REQUIRED</b>

<b>Tracking Number:</b>	PDR 1001263
<b>Applicant:</b>	CHARTER SCHOOL DEVELOPMENT CORPORATION 7272 PARK CIRCLE DRIVE, SUITE 265 HANOVER, MD 21076
<b>Site Address:</b>	1611 46TH ST E
<b>Date Submitted:</b>	02-DEC-2014
<b>Date Reviewed:</b>	12-DEC-2014

### Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: [http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions\\_home.asp](http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp).

**DISCLAIMER:** *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

### Project Scope

Proposed 43,800 sq foot school building on south side of Northrop site.

### Review Findings (by Discipline)

#### Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.
- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Contact Paul Miller (612)673-3603 regarding finding out contact for relocation of Hennepin County emergency siren.

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\*Approved: You may continue to the next phase of developing your project.

\*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

**□ Zoning - Planning**

- The following land use applications have been identified for this proposal. Additional (or fewer) applications may be required based on additional information or changes in future versions of the plans.
  - Conditional use permit to allow a new school for students in grades 5 through 8 in the R3 Multiple-family Residential District.
  - Variance to increase the minimum floor area ratio (FAR) from 0.5 to approximately 0.62.
  - Variance to allow a parking area to be located between a principal structure in a residence district and the front lot line adjacent to 16th Avenue South.
  - Site plan review for a new 45,429 square-foot building.
- Additional notes:
  - Sign - the plans show a freestanding sign, which is not allowed in the R3 district. All signs must comply with Chapter 543 and sign variances are not allowed in residential districts.
  - The corner side yard setback is 10 feet along E. 46th Street and E. 47th Street.
  - Has Public Works required a TDMP? If so, what is the status?
- The applicant has submitted a land use application but a public hearing has not yet been scheduled.

**□ Addressing**

- The proposed address for the new structure will be 4640 17th Ave S.

**□ Parks - Forestry**

- Contact Craig Pinkalla ([cpinkalla@minneapolisparcs.org](mailto:cpinkalla@minneapolisparcs.org)), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project (insert project name), the calculated dedication fee is as follows:
 

• 43,800 sq ft School	=	\$13,200
• 5% of \$13,200	=	\$ 660
• Total	=	\$13,860
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at 612-673-2726

**□ Street Design**

- The plan as submitted meets the requirements of the Public Works Street Design Division.

**□ Sidewalk**

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.

**□ Traffic and Parking**

- A Travel Demand Management Plan (TDMP)/school operation safety review will be required, contact Allan Klugman at 612-673-5750 to discuss.

**❑ Water**

- The water service connections to 17th Ave. S. should be designed to avoid angled connections into the proposed building; rather it is recommended to run water service lines straight from the main into the proposed building to the meter location. Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

**❑ Fire Safety**

- Provide required fire suppression system throughout building
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant
- Provide required fire alarm system throughout building
- Provide and maintain fire apparatus access at all times

**❑ Business Licensing**

- Contact Becky Anger (612)673-2690 for what is required for a Health Food Plan Review for any commercial kitchen that may be on site.

**❑ Environmental Health**

- If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- New site work cannot restrict access for maintenance and surface to the existing 2,000 gallon underground storage tank that contains heating fuel oil.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

**❑ Historical Preservation Committee**

- There is not a preservation flag on the property. No preservation review required.

**❑ Construction Code Services**

- The plan was reviewed under the 2007 MN State Building Code provisions. If the design does not show full compliance with anticipated adoption of the 2012 IBC and State Amendments and the permit is applied for after adoption, approval by the Building Official to select the present code will be required.
- Section 1105.1 provisions for a min of 60% of entrances for the new structure will need to be accessible.
- Informational. When full building plans are prepared, a code analysis including existing structures on the lot will need to show compliance with property lines or assumed property lines between structures and required types of construction, fire separation, opening protection etc. Design assumptions should be included.
- Contact the Met Council for a SAC Determination

## ❑ Sewer Design

### **Stormwater Management:**

- One 12" perforated pipe within the subsurface infiltration basin is likely insufficient to properly distribute the stormwater through the system. The perforations and/or movement of runoff through the storage rock will likely limit the efficiency of the system and prevent the entire volume below the outlet from being utilized before runoff is discharged. Please evaluate this and/or provide a better method to distribute the stormwater to the infiltration system.
- The invert elevation of the infiltration system is identified as 824.8 on Sheet C3 and the HydroCAD model, but 824.7 on the detail on Sheet C4. Please revise to match.
- Please provide a copy of any geotechnical reports for the site. In the absence of field measured infiltration rates, the design infiltration rates from the MN Stormwater Manual ([http://stormwater.pca.state.mn.us/index.php/Design\\_infiltration\\_rates](http://stormwater.pca.state.mn.us/index.php/Design_infiltration_rates)) should be used for the design of the infiltration practice.
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or [paul.chellsen@minneapolismn.gov](mailto:paul.chellsen@minneapolismn.gov)).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- The proposed project is located within the Minnehaha Creek Watershed District, which has a separate review process from that of the City. Please note it may be necessary to obtain approvals or permits from Minnehaha Creek Watershed District.

### **Utility Connections:**

- It is preferred that the proposed sanitary sewer connection occur at the existing sanitary sewer manhole on the City main, just downstream of where the connection is currently proposed. Please evaluate if this is feasible, if it is not, please contact Jeremy Strehlo, 612-673-3973, for additional connection requirements. A new manhole on the City main will likely not be permitted.
- The size of the existing storm sewer connection from the property must be verified and identified on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov)

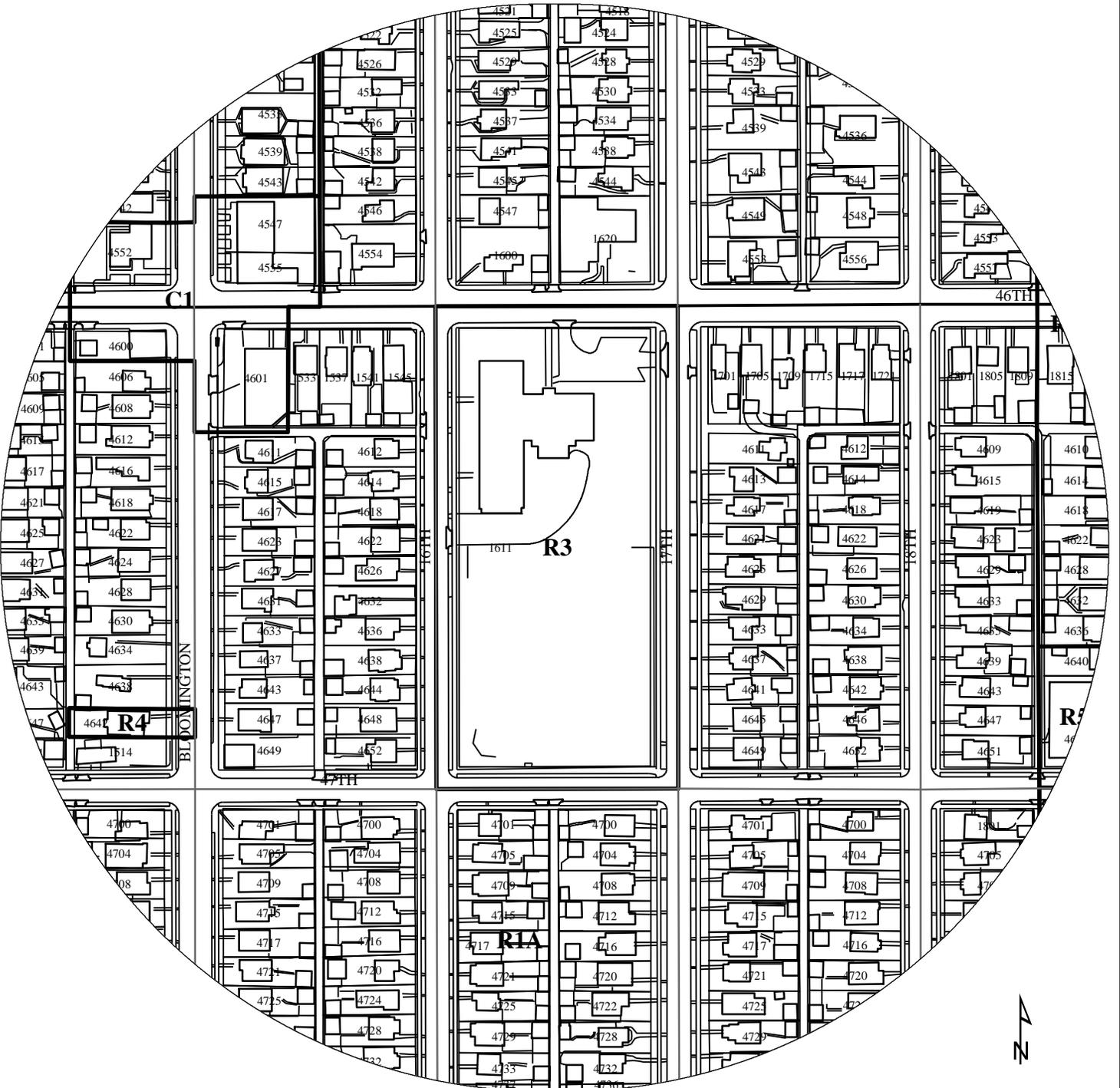
END OF REPORT

# Hiawatha College Prep - Northrop

11th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS  
**1611 E. 46th Street**

FILE NUMBER  
**BZZ-6945**

## statement of proposed use

**project:** Hiawatha Academies – Hiawatha College Prep – Northrop Middle School

**address:** 1611 46th Street East, Minneapolis, MN 55407

**date:** 11/21/2014

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Originally constructed in 1924, the Northrop School is from an era when institutional buildings provided an identity for the neighborhood and served as an anchor for the community. In 1949, an addition was completed on the north side of the original building, sensitive to the original building's construction type and character. Having been closed by Minneapolis Public Schools in 2005, the existing facility and grounds were left vacant and fell into disrepair.

Charter School Development Corporation purchased the building in September 2013, to bring a new Hiawatha Academies K-4 elementary charter school program to the site beginning August 2014. Construction of a full renovation, remodel and an addition was completed in fall of 2014 for the program. Kindergarten and first grade classes occupied the building in August 2014, and will be followed by a new class each year until the building houses approximately 400 students over all K-4<sup>th</sup> grade levels.

Hiawatha Academies' successful program hopes to expand their ability to serve 5th thru 8th grade students with a new 43,800 square foot Middle School on the south side of the Northrop site. In keeping with the material quality of the original building, exterior materials for the proposed Middle School will include coordinated brick at the main classroom building and precast wall panels for the gymnasium providing a unique identity to the new Middle School students. The completed facility will offer a regulation size basketball court, catering facilities for lunch service, an independent administration office and classroom facilities that can accommodate modern educational techniques from arts to science curriculums. Construction for the project is slated to begin in Spring of 2015, and the program expects to realize its full potential of 336 students by 2020.

On the site, the landscaping will be upgraded with additional trees and shrubs to meet current zoning requirements. Tall retaining walls and chain-link fences on the east and south sides of the property will be removed and re-graded in favor of pedestrian-friendly sidewalks and landscaping. The main entrance to the new building will be off 17<sup>th</sup> Street closer to 47<sup>th</sup> Avenue. Additional bike parking and softened landscape near the entrance will also support 17<sup>th</sup> Avenue's recent upgrades as a bicycle boulevard. A new curb cut off of 16th Avenue to a new landscape-screened parking lot will be added. Overall, the parking on the site must include 38 spaces using the bicycle incentive towards parking. This requirement is fully met with the curb cut off of 16<sup>th</sup> Avenue, but if the curb cut is required to be relocated, a variance for reduced parking on the site would be needed.

## amendment to conditional use permit – written statement

**project:** Hiawatha Academies – Hiawatha College Prep – Northrop Middle School

**address:** 1611 46th Street East, Minneapolis, MN 55407

**date:** 11/21/2014

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On behalf of the property owner (Charter Schools Development Corporation) and their tenant (Hiawatha Academies) we respectfully request that the Planning Commission allows an amendment to the existing conditional use permit for the property at 1611 46<sup>th</sup> Street East used as a K-12 Educational Facility. The property had been continuously used by Minneapolis Public Schools as an elementary school between 1924 and 2005. From 2005 to 2013, the building was left vacant and the property fell into disrepair. In 2013 the property was purchased and completely rehabilitated by our client. This fall, it was re-opened as a K-4 Elementary School with a re-instated CUP. In the coming spring, it is the owner's intent to build a new Middle School building serving students in 5<sup>th</sup> through 8<sup>th</sup> grade on the vacant south side of the site.

As stated, the property had been used as an elementary school for over 80 years and no modifications have been made to the property or building for any other use. In regards to the required findings that the Planning Commission must make before amending the conditional use:

*1) The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

Given its current state as a maintained and occupied school, the continued use of the property as a school with a new facility to serve 5<sup>th</sup> through 8<sup>th</sup> grade students will serve to increase the public health, safety, comfort and general welfare of the surrounding neighborhood. The expanded facilities will allow families in this community to attend a cohesive and safe school campus that can span the range in ages of their young children from Kindergarten to 8<sup>th</sup> Grade in lieu of only serving students through 4<sup>th</sup> grade and requiring families to coordinate activities and education beyond 4<sup>th</sup> grade on separate sites.

*2) The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The property consists of an entire city block surrounded by city streets. Improvements on the property will have no effect on the use and potential development of properties across these streets. The proposed Middle School facility will improve the streetscape through the removal of deteriorating and unsightly concrete retaining walls and an existing 6-foot-high chain-link fence on the east and south property lines and re-grading and landscaping for a more pedestrian-friendly streetscape.

*3) Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Please see the attached site plans and supporting drawings for information on how improvements to the site will affect these issues including storm-water management and utilities, and operational

necessities including a loading zone and access to the existing trash enclosure area built during the previous construction phase for the elementary school addition.

*4) Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Traffic around the site will increase slightly from pre-2005 levels. Modifications to the site include the removal of a curb cut on 17<sup>th</sup> Avenue and the addition of a curb cut on 16<sup>th</sup> Avenue. Bus loading and unloading will occur in the same locations as they do currently for the Elementary School with additional locations along 17<sup>th</sup> and 47<sup>th</sup> for the Middle School. The proposed curb cut on 16<sup>th</sup> safely separates school-related passenger vehicle traffic from school bus drop-off and pick-up locations. The number of existing parking spots on the site will be increased by 3 stalls, provided the parking plan is acceptable utilizing the bicycle incentive for reduced parking, and a variance for additional spots on the North side. Currently there are 35 parking spaces; the new site plan proposes a total of 38 parking spaces. This incorporates the bicycle incentive with bike parking along 17<sup>th</sup> Avenue (a Minneapolis bicycle boulevard) for the school and community.

The school provides free busing for all students residing in South Minneapolis, so passenger vehicle traffic associated with the school's operations is limited. To discourage parent drop off, Hiawatha Academies requires all students to be escorted into the building by an adult who are not arriving by bus.

The program strongly supports of the use of alternate modes of transportation for its staff and will also do so for older students.

All loading area and trash/recycling operations are handled on site with no truck maneuvering occurring on city streets.

*5) The conditional use is consistent with the applicable policies of the comprehensive plan.*

The comprehensive plan identifies the adjacent intersection at Bloomington and 46<sup>th</sup> Street as a neighborhood commercial node. It is appropriate then to maintain the property as a neighborhood focal point adjacent to this designated use.

The continued use of the property as a school with the expanded ability to serve students through 8<sup>th</sup> grade also supports the comprehensive plan's goal of increasing community livability by increasing access to local education in a dense R3 residential neighborhood.

*6) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

Please see the attached worksheets, site plans, floor plans, and elevations for additional information concerning how improvements to the property will comply with the applicable regulations of the zoning district with approval of the CUP, variances and the site plan review. The exceptions being requested are done so for the net effect of a better site plan for the community and school program that confines parking to the edges of the site in an effort to maximize cohesive green space areas shared with the community. Variance requests include the following:

1. Increased Floor Area Ratio to 0.62. The current zoning regulation for FAR is 0.50 in the R3 district. This is largely driven by the primary permitted use for residential zoning districts. In districts allowing education facilities as permitted rather than a conditional use, the reasonable FAR is 5 times this amount or 2.5. This variance request is minimal by comparison.
2. Variance for providing less than 30% windows on the first floor at the south elevation of the classroom wing only. 26% of the first floor area from 2' – 10' above adjacent grade is proposed to be

windows or glazed doors and sidelights. The wall expanses between the windows are needed for teaching surfaces within the classrooms. Adjacent east-facing classroom wing facade includes 56% windows – well above the minimum requirement. Adjacent west-facing classroom wing facade includes 47% windows – both well above the minimum requirement.

3. Variance for providing less than 30% windows on the first floor for the north, east and a portion of the west elevations, at the gymnasium wing only. Clerestory windows are provided to bring natural light into the gymnasium at the east elevation, but at-grade windows are not practical for this function. The north, and east elevation of the gymnasium is intended to be screened with landscaping where exposed to view and properly illuminated for nighttime safety. Adding windows to the north elevation is possible, but these windows would occur in unoccupied mezzanine-level storage spaces. The majority of the west elevation of the gymnasium is not visible from the street on account of its proximity to the elementary school. It is also nearly 200 feet from the center of 16<sup>th</sup> Avenue. The direct adjacency to the elementary school prohibits windows for fire safety also. 56% of the east and 47% of the west elevations of the classroom portion of the building are windows – above and beyond the required minimum.

## statement of variance requests (revised 12/15/2014)

**project:** Hiawatha Academies – Hiawatha College Prep – Northrop Middle School

**address:** 1611 46th Street East, Minneapolis, MN 55407

**date:** 11/21/2014

---

On behalf of the property owner (Charter Schools Development Corporation) and their tenant (Hiawatha Academies) we respectfully request that the Planning Commission considers granting approval for the variance requests outlined below for the property at 1611 46<sup>th</sup> Street East. The existing buildings and site are currently used for Hiawatha Academies' elementary school program. In the coming spring, it is the owner's intent to build a new Middle School building serving students in 5<sup>th</sup> through 8<sup>th</sup> grade on the vacant south side of the site for a combined elementary and middle school campus.

Each potential variance is listed below with consideration of the required findings that the Planning Commission must make when considering each request:

1. Increased Floor Area Ratio to 0.62. The current zoning regulation for FAR is 0.50 in the R3 district.

*a) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The ordinance is largely driven by the primary permitted use for residential zoning districts and not reasonable with respect to the existing Conditional Use as a K-12 facility with the proposed modifications. In districts allowing education facilities as permitted rather than a conditional use, the reasonable FAR is 5 times this amount or 2.5. This variance request is minimal by comparison to the permitted FAR for Educational uses in other districts that take the nature of the facility into consideration.

*b) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed middle school offers the community expanded options for their children as a public charter school. It also grants consistency for families with multiple children of varying ages to allow children from K through 8<sup>th</sup> grade the safety and consistency of a familiar school campus that has been in this location for 80 years.

*c) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The character of the building proposed will offer a unique identity to the middle school program while embracing the established characteristics of the existing facilities that have occupied the site for over 80 years. A brick blend corresponding to the existing colors in the elementary school brick will offer material consistency, but with a more subtle texture proposed for the Middle School.

In all respects, the proposed middle school will benefit the health safety and welfare of the surrounding community. The program embraces the shared community use of the green space and playground facilities on the property and looks forward to sharing the use of the new gymnasium for community events.

2. Variance to allow a surface parking area located between the building and the front lot line along 16<sup>th</sup> Avenue South.

*a) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

This request addresses the practical difficulties of providing parking spaces on a site where the Zoning Code does not allow parking in any of the yards for non-residential uses. The project site consists of two front yards (facing South 16<sup>th</sup> and 17<sup>th</sup> Avenues) and a corner side yard (facing 47<sup>th</sup> Street East). Article IV, Section 541.260 does not allow parking areas to be located in either a front yard or corner side yard.

*b) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed parking area has been reduced to the smallest size possible for the Middle School program by providing the minimum parking capacity allowed on the site, and reducing this number an additional 10% through use of the bicycle incentive. As the School supports and encourages staff and other users to utilize alternative modes of transportation, it is anticipated that the proposed parking capacity will be sufficient to meet demand.

*c) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance for a parking lot between the building and the front lot line along 16<sup>th</sup> Avenue South minimizes the impact of this code-required feature by providing the smallest parking lot possible, and screening the lot with landscaping as typically required. Alternative locations for the lot would require an essentially identical variance be requested. By placing the lot in this location, maximum green space is maintained on the site. School staff will be the primary users of this lot, and as such, the majority of the traffic going in and out of this lot will be limited to the beginning and the end of school day. The outbound traffic lane from the lot is positioned such that headlights will not shine directly into the neighboring houses across 16<sup>th</sup> Avenue South as the alignment of the vehicular path of travel is between the houses.

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Dan Peterson  
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**Consultant**

**ALTA/ACSM  
LAND TITLE SURVEY  
FOR: TenSquare, LLC**

**LEGAL DESCRIPTION:**

All of Block 2, Harriet - Minnehaha Parkway Addition to Minneapolis together with the vacated alley which accrued thereto by reason of the vacation thereof, Hennepin County, Minnesota.  
(Abstract Property)

**NOTES:**

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-98 Adj.).
- The total area of the property described hereon is 155,071 square feet or 3.5599 acres.
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by Old Republic National Title Insurance Company, Commitment No. 58432 dated February 21, 2013 at 7:00 am.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 130955014. However, locating excavation, the exact location of underground features cannot be accurately completed and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- No zoning report or letter was received from the insurer pursuant to Optional Table A Item 6(a) & 6(b) of Table A, as set forth in the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys.
- The property described hereon lies within Flood Zone X (area determined to be outside the 0.2% annual chance flood plain) per Federal Insurance Rate Map No. 27053 C 0367 E & 27053 C 0366 E, dated September 2, 2004.
- BENCHMARK:** Top of City of Minneapolis Control Monument "215" at the intersection of 46th Street East and Cedar Avenue South.  
Elevation = 841.47 feet. (City of Minneapolis Datum - NGVD 29)
- As of the date of this survey the property described hereon contains a total of 33 parking spaces of which 31 are standard spaces and 2 handicapped spaces.
- As of the date of this survey there is no observable evidence of current earth moving work, building construction or building additions on the property described hereon.
- As of the date of this survey and according to the City of Minneapolis Engineering Department there are no completed or proposed changes in street right-of-way lines. As of the date of this survey there is no observable evidence of recent street or sidewalk construction or repairs that affect the property described hereon.
- As of the date of this survey there is no observable evidence that the property described hereon is being used as a solid waste dump, sump or sanitary landfill.
- Pursuant to the U.S. Fish & Wildlife Service, National Wetlands Inventory there are no wetlands on subject property.

**SURVEY ITEMS PER SCHEDULE B:**

There are no pertinent items listed in the Commitment for Title Insurance prepared by Old Republic National Title Insurance Company, Commitment No. 58432 Schedule B II to be listed on survey.

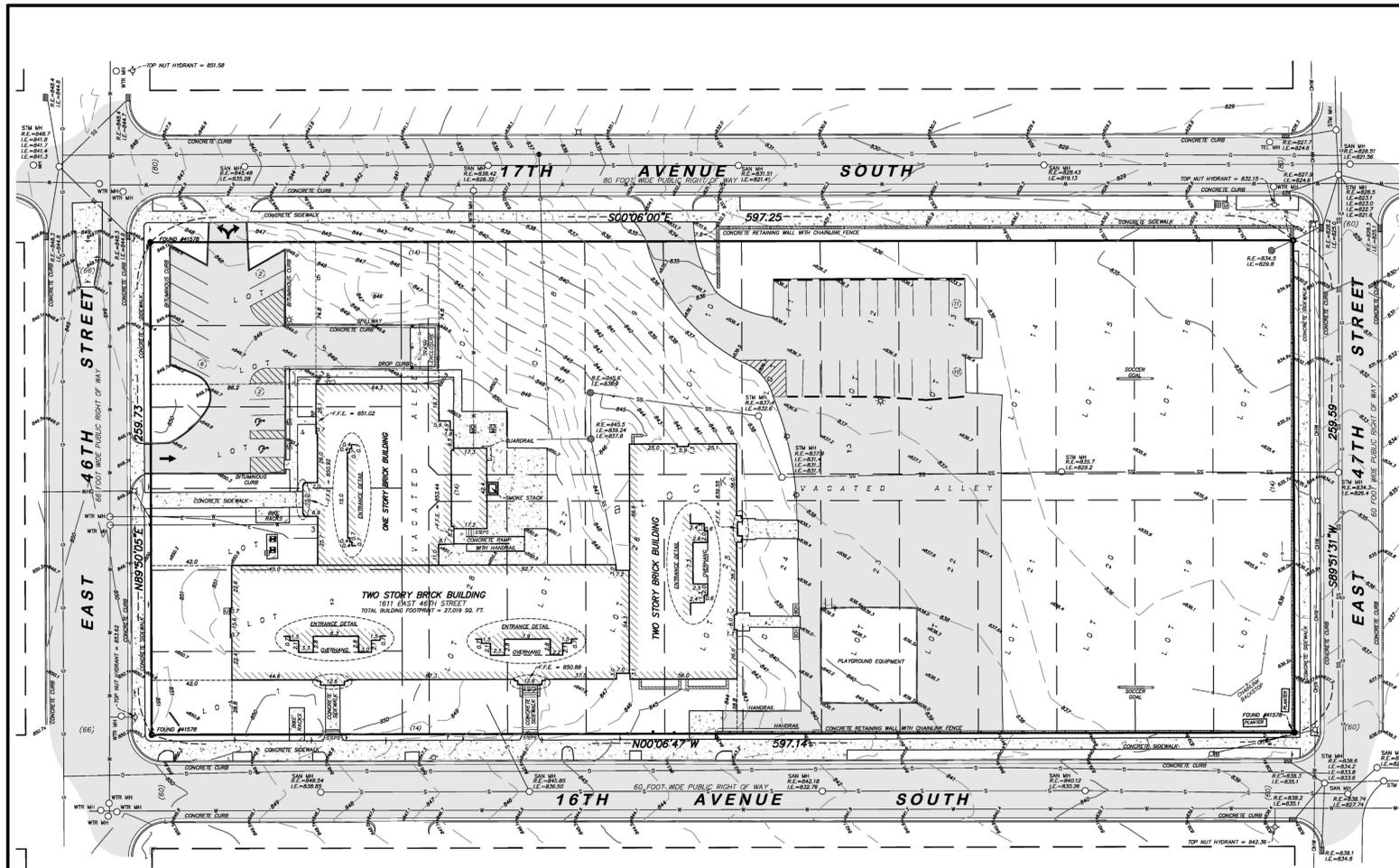
**CERTIFICATION:**

To: TenSquare, LLC and Old Republic National Title Insurance Company

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 8, 9, 11(d), 13, 16, 17, 18 & 19 of Table A thereof. The field work was completed on October 24, 2014.

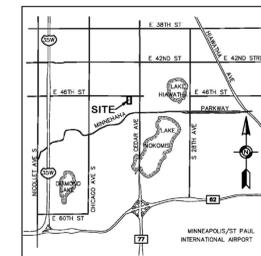
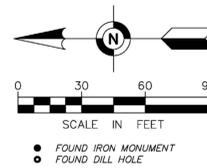
Date of Plot or Map: October 27, 2014

*Brant R. Peters*  
Brant R. Peters  
Minnesota License No. 44123



**LEGEND:**

- |   |  |   |
|---|--|---|
| <ul style="list-style-type: none"> <li>○ SAN MANHOLE</li> <li>○ STORM MANHOLE</li> <li>○ MANHOLE</li> <li>○ CATCH BASIN</li> <li>○ WATER MANHOLE</li> <li>○ AUTO SPRINKLER</li> <li>○ HYDRANT</li> <li>○ ELECTRIC BOX</li> <li>○ ELECTRIC METER</li> <li>○ UTILITY POLE</li> <li>○ POWER POLE WITH LIGHT</li> </ul> | <ul style="list-style-type: none"> <li>○ GAS VALVE</li> <li>○ TELEPHONE MANHOLE</li> <li>○ COMMUNICATION BOX</li> <li>○ SIGN</li> <li>○ BENCH</li> <li>○ BOLLARD</li> <li>○ HANDICAPPED PARKING SPACE</li> <li>○ HANDICAPPED PARKING SIGN</li> <li>○ BASKETBALL HOOP</li> <li>○ METAL COVER</li> <li>○ VENT PIPE</li> <li>○ PARKING COUNT</li> <li>○ TREE STUMP</li> </ul> | <ul style="list-style-type: none"> <li>— CHAIN LINK FENCE</li> <li>— SANITARY SEWER</li> <li>— STORM SEWER</li> <li>— WATERMAIN</li> <li>— UNDERGROUND ELECTRIC</li> <li>— OVERHEAD WIRE</li> <li>— UNDERGROUND GAS</li> <li>○ SPOT ELEVATION</li> <li>— EXISTING CONTOUR LINE</li> <li>○ TREE</li> <li>○ BITUMINOUS SURFACE</li> <li>○ CONCRETE SURFACE</li> </ul> |
|---|--|---|



**VICINITY MAP**  
NOT TO SCALE

FIELD BOOK	PAGE	FIELDWORK CHIEF:	NO.	DATE	REVISIONS DESCRIPTION
2590	56	SW_LS			
2874	19				
DRAWING NAME:		DRAWN BY:			
36067.dwg		PMD			
JOB NO. 36067		CHECKED BY:			
FILE NO. 3212		BRP			

**ALTA/ACSM  
LAND TITLE SURVEY**

**SURVEY FOR:**  
**TenSquare, LLC**

**PROPERTY ADDRESS:**  
**1611 46th Street East  
Minneapolis, Minnesota 55407**



1229 Tyler Street NE, Suite 100  
Minneapolis, Minnesota 55413  
PHONE: (612) 466-3300  
FAX: (612) 466-3383  
WWW.EFNSURVEY.COM  
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**EXISTING CONDITIONS  
PLAN**

**C0**

**Project Contacts**

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**Consultant**

**Rehder & Associates, Inc.**  
Civil Engineers, Planners and Land Surveyors  
4449 Federal Drive, Suite 110 • Eden Prairie, Minnesota 55322  
651-432-0031 • Fax: 651-432-0797 • email: info@rehder.com  
PROJECT NO: 2780010 DRAWING FILE: 2780010.DWG



**Land Use Application**

November 21, 2014

**Hiawatha College Prep - Northrop Middle School**

1611 46th Street East  
Minneapolis, MN  
Project: 2014026 NRTP-3

**Drawings Issued**

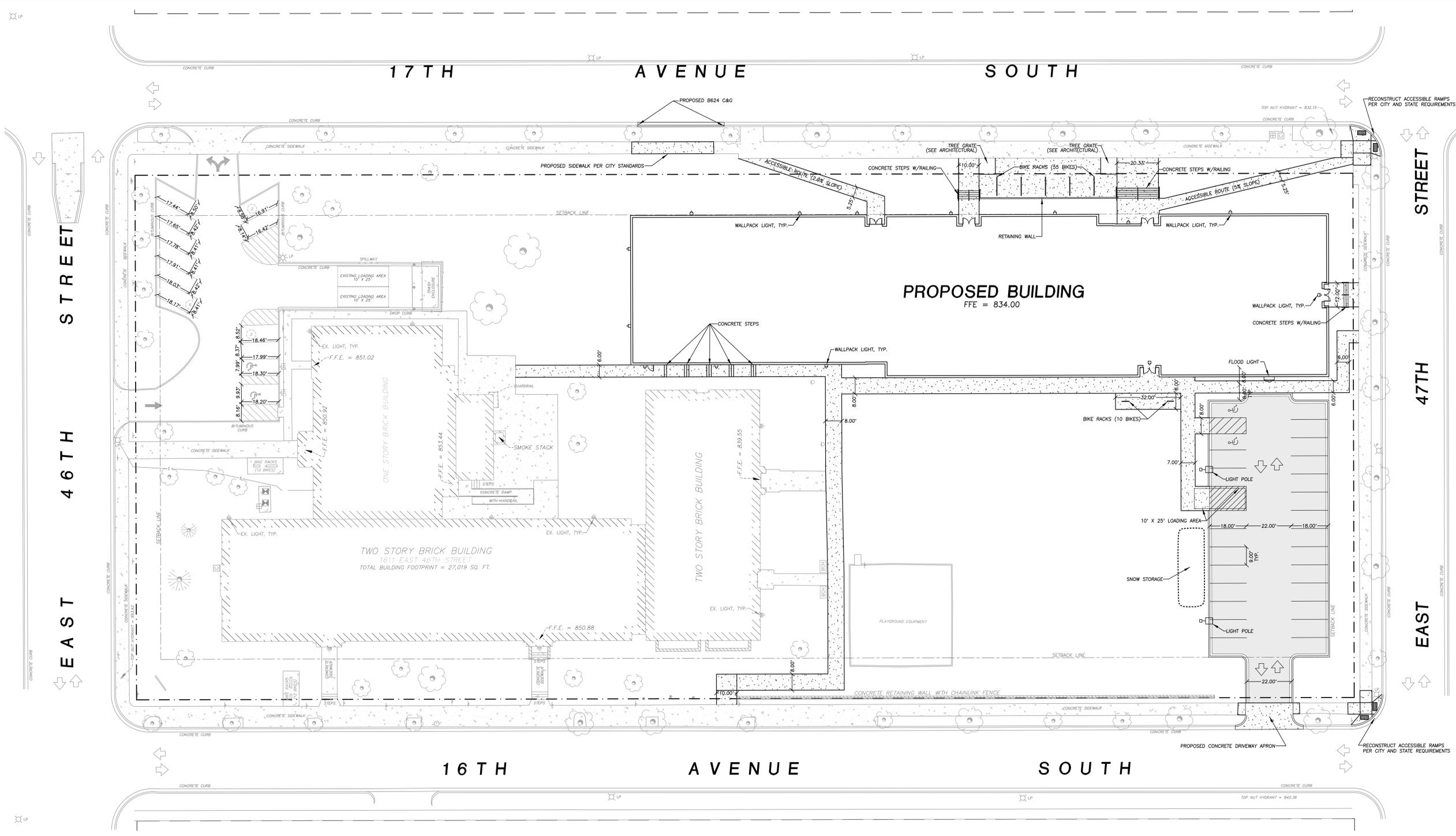
Drawings Issued	Date
REVISED SUBMITTAL	12/15/2014

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Signature  
Printed Name  
Registration Number

**SITE PLAN**

**C2**



**PARKING REQUIREMENTS**

Classrooms: 22 existing + 20 new = 42 total

Minimum number of required spaces (1 per classroom) = 42  
Maximum number of allowed spaces (2 per classroom) = 84  
Accessible spaces required = 2

Bicycle parking incentive: Minimum parking capacity may be reduced by 10%, where bicycle parking spaces are provided equal to or greater than 25% of the number of required automobile spaces.

Bicycle parking spaces provided (3 per classroom) = 60 (total is greater than 25% of 42 required automobile spaces)  
Reduction in required automobile parking spaces, as allowed by bicycle parking incentive = 4 automobile parking spaces

Minimum number of required spaces, after taking allowed 10% bicycle parking incentive credit = 38  
Parking spaces provided = 38

Accessible spaces required = 2  
Accessible spaces provided = 4

Loading area requirements: (1) 10'x25' loading space required. (3) 10'x25' loading spaces provided.  
Trash/recycling area requirements: (1) screened trash/recycling enclosure required. (1) provided.

**BICYCLE STALLS REQUIRED**

CLASSROOMS	STALLS
20	20 X 3 STALLS/CLASSROOM = 60

BICYCLE STALLS PROVIDED = 65 STALLS (5) 11-BIKE RACKS & (2) 5-BIKE RACKS  
EXISTING BICYCLE STALLS PROVIDED = 24 STALLS

TOTAL BICYCLE STALLS PROVIDED = 24 + 65 = 89 STALLS  
REQUIRED BICYCLE STALLS WITHIN 50' OF BUILDING ENTRANCES = 50% OF 60 STALLS REQUIRED = 30 STALLS  
PROVIDED BICYCLE STALLS WITHIN 50' OF BUILDING ENTRANCES "SHORT TERM BICYCLE PARKING" = 34 STALLS  
ADDITIONAL STALLS PROVIDED = 10% REDUCTION IN PARKING STALLS

**PARKING STALLS REQUIRED**

CLASSROOMS (22 EXISTING + 20 NEW)	STALLS
42	42 X 1 STALL/CLASSROOM = 42

10% REDUCTION = 42 X 10% = 4 STALLS  
TOTAL STALLS REQUIRED = 42 - 4 = 38

**PARKING STALLS PROVIDED**

STANDARD STALLS	ACCESSIBLE STALLS	TOTAL STALLS
34	4	38

**SITE DATA**

SITE AREA = 3.56 ACRES  
IMPERVIOUS AREA = 1.90 ACRES (53.4%)  
PERVIOUS AREA = 1.66 ACRES (46.6%)  
DISTURBED AREA = 1.8 ACRES (50.6%)

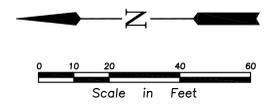
**SITE NOTES**

- ① - All dimensions between curbing and to radius points are to face of curb.
- ② - All dimensions abutting curbs are to back of curb.

NOTE: REQUIRED DEMOLITION ITEMS NOT SHOWN

Boundary & Topographical information was prepared by Egan, Field & Nowak, Inc. This information has not been verified as to its accuracy or completeness by Rehder & Associates, Inc.

- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED CONCRETE
- PROPOSED STD. DUTY BITUMINOUS
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- BOUNDARY/ROW/BLOCK LINE
- DRAINAGE ARROW
- W EXISTING WATERMAIN
- S EXISTING SANITARY SEWER
- SS EXISTING STORM SEWER
- G EXISTING BURIED GAS LINE
- 980 EXISTING CONTOUR
- × 995.50 EXISTING ELEVATION



**Project Contacts**

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PROJECT NO: 2780010 DRAWING FILE: 2780010.DWG



**Land Use Application**

November 21, 2014

**Hiawatha College Prep - Northrop Middle School**

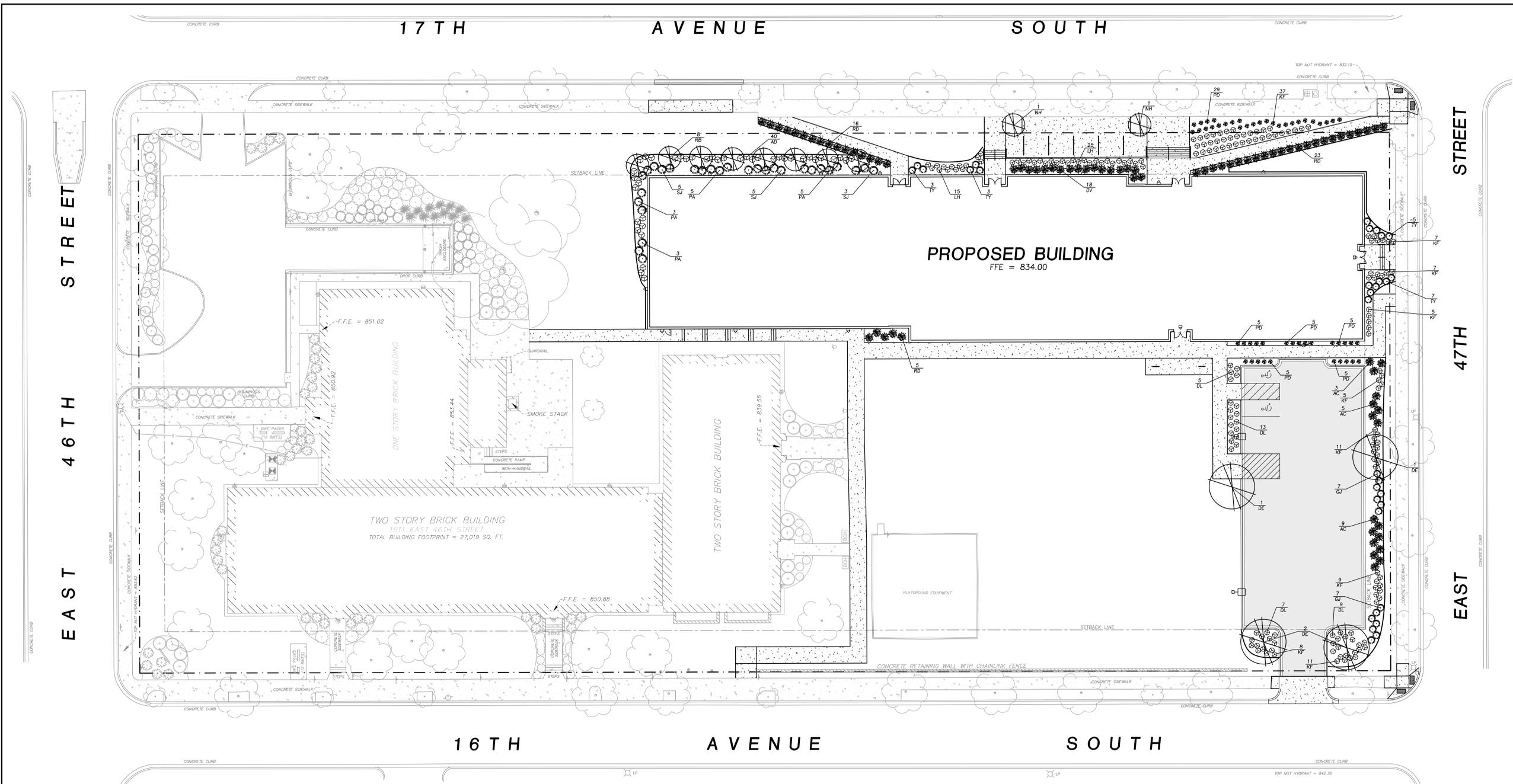
1611 46th Street East  
Minneapolis, MN  
Project: 2014026 NRTP-3

**Drawings Issued**

REVISED SUBMITTAL 12/15/2014

**LANDSCAPE PLAN**

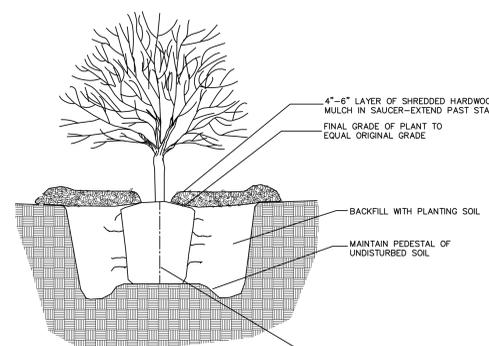
**L1**



**PLANT AND TREE LIST**

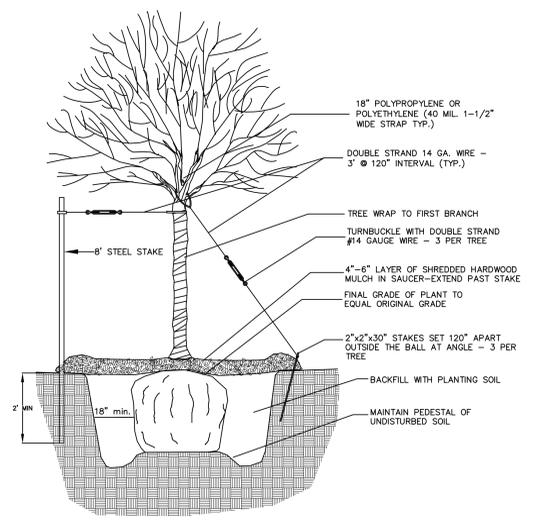
PLANTS				
SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
DV	18	Viburnum opulus 'Nanum'	Dwarf European Viburnum	#2 Pot
AC	17	Viburnum trilobum 'Bailey Compact'	American Cranberry Bush	#2 Pot
RD	44	Cornus alba sibirica 'Red Gnome'	Red Gnome Dogwood	#2 Pot
AD	40	Cornus sanguinea 'Cato'	Arctic Sun Dogwood	#2 Pot
GJ	14	Juniperus x pfitzeriana 'Sea of Gold'	Sea of Gold Juniper	#5 Pot
SJ	13	Juniperus chinensis 'Spartan'	Spartan Juniper	#15 Pot
PA	10	Thuja occidentalis 'Pyramidalis'	Pyramidal Arborvitae	#20 Pot
TY	18	Taxus x media 'Tauntonii'	Taunton Yew	#5 Pot
LH	40	Hosta 'Blueberry Muffin'	Large Hosta	#1 Pot
DL	34	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot
KF	100	Calamagrostis acutiflora	Karl Forester	#2 Pot
PD	54	Sporobolus heterolepis	Prairie Dropseed	#1 Pot
TREES				
SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
NH	2	Gleditsia triacanthos var. inermis 'Harve'	Northern Acclaim Honeylocust	2 - 1/2" B & B
DE	4	Ulmus davidiana var. japonica 'Discovery'	Discovery Elm	2 - 1/2" B & B
RB	8	Betula nigra	River Birch (1-Stem)	2 - 1/2" B & B

Landscaping material shown include the required screening of the parking lot adjacent to residential uses and additional softening/screening of the gymnasium. Other proposed landscaping material shown, in conjunction with the materials installed with the previous phase, exceed the standard landscaping requirements of City of Minneapolis.



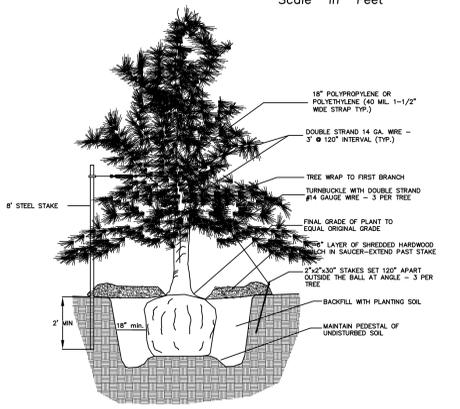
NOTES:  
HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYP.).  
SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

SHRUB PLANTING DETAIL



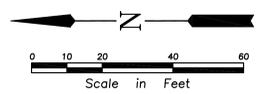
NOTES:  
TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.  
IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.  
SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

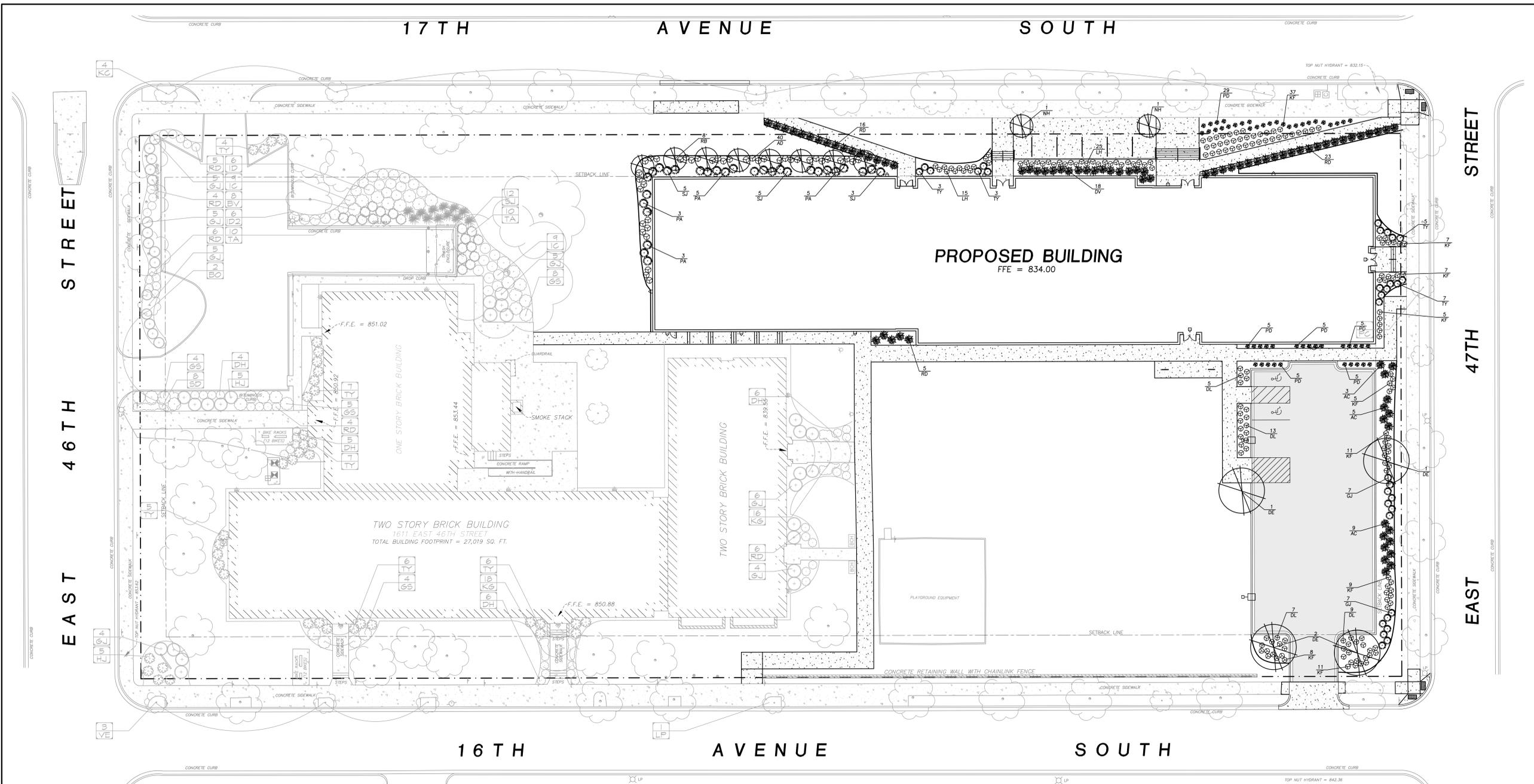
DECIDUOUS TREE PLANTING DETAIL



NOTES:  
TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.  
IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.  
SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.  
CONIFER TO HAVE SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.  
NO MULCH TO BE IN CONTACT WITH TRUNK.

CONIFEROUS TREE PLANTING DETAIL





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 PROJECT NO: 2780010 DRAWING FILE: 2780010.DWG



**Land Use Application**  
 November 21, 2014

**Hiawatha College Prep - Northrop Middle School**

1611 46th Street East  
 Minneapolis, MN  
 Project: 2014026 NRTP-3

Drawings Issued	Date
REVISED SUBMITTAL	12/15/2014

**PLANT AND TREE LIST (EXISTING/NORTHROP SCHOOL ADDITION)**

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	MINIMUM SIZE	CONT	COMMENTS
<b>PLANT SCHEDULE:</b>						
<b>DECIDUOUS TREES</b>						
RB	2	RIVER BIRCH	Betula nigra	8" HGT	B&B	CLUMP
BO	4	BICOLOR OAK	Quercus bicolor	2.5" CAL	B&B	SINGLE STEM
KC	4	KENTUCKY COFFEETREE	Gymnocladus dioica	2" CAL	B&B	SINGLE STEM
LP	3	LONDON PLANETREE	Platanus x acerifolia	2" CAL	B&B	SINGLE STEM
VE	2	VALLEY FORGE ELM	Ulmus americana 'Valley Forge'	2" CAL	B&B	SINGLE STEM
<b>DECIDUOUS SHRUBS</b>						
IC	18	IROQUOIS BEAUTY CHOKEBERRY	Aronia melanocarpa 'Morton'	18" HGT	POT	PLANT 5' O.C.
ID	6	IVORY HALO DOGWOOD	Cornus alba 'Bailhala'	18" HGT	POT	PLANT 5' O.C.
ID2	6	IVORY HALO DOGWOOD	Cornus alba 'Bailhala'	36" HGT	POT	PLANT 5' O.C.
RD	38	RED GNOME DOGWOOD	Cornus alba sibirica 'Red Gnome'	24" HGT	POT	PLANT 4' O.C.
DH	21	DWARF BUSH HONEYSUCKLE	Diervilla lonicera	18" HGT	POT	PLANT 4' O.C.
GS	27	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	18" SPRD	POT	PLANT 6' O.C.
NW	11	NANA WILLOW	Salix purpurea 'Nana'	24" HGT	POT	PLANT 5' O.C.
BV	8	BLUE MUFFIN VIBURNUM	Viburnum dentatum 'Blue Muffin'	18" HGT	POT	PLANT 6' O.C.
<b>CONIFEROUS SHRUBS</b>						
GJ	43	GREY OWL JUNIPER	Juniperus virginiana 'Grey Owl'	18" SPRD	POT	PLANT 6' O.C.
HJ	10	HUGHES JUNIPER	Juniperus horizontalis 'Hughes'	18" SPRD	POT	PLANT 6' O.C.
SJ	12	SPARTAN JUNIPER	Juniperus chinensis 'Spartan'	8" HGT	POT	PLANT 5' O.C.
TY	35	TAUNTON YEW	Taxus x media 'Taunton'	18" SPRD	POT	PLANT 5' O.C.
TA	20	TECHNY ARBORVITAE	Thuja occidentalis 'Techny'	8" HGT	POT	PLANT 5' O.C.
<b>PERENNIALS</b>						
KG	34	KARL FOERSTER GRASS	Calamagrostis acutiflora 'Karl Foerster'	1 QT	POT	PLANT 2' O.C.
SD	8	STELLA D'ORO DAYLILY	Hemerocallis x 'Stella D'Oro'	1 QT	POT	PLANT 2' O.C.

EXISTING TREES = 25 TREES  
 TREES PROPOSED = 15 (9 TREES ARE PROPOSED TO BE PLANTED IN THE RIGHT-OF-WAY IN LIEU OF ON-SITE)  
 TOTAL TREES = 40 (31 ON-SITE TREES)

EXISTING SHRUBS = 0  
 SHRUBS PROPOSED = 255

**PLANT AND TREE LIST (PROPOSED)**

PLANTS	SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
DV	18	Viburnum opulus 'Nanum'	Dwarf European Viburnum	#2 Pot	
AC	17	Viburnum trilobum 'Bailey Compact'	American Cranberry Bush	#2 Pot	
RD	44	Cornus alba sibirica 'Red Gnome'	Red Gnome Dogwood	#2 Pot	
AD	40	Cornus sanguinea 'Coto'	Arctic Sun Dogwood	#2 Pot	
GJ	14	Juniperus x pfitzeriana 'Sea of Gold'	Sea of Gold Juniper	#5 Pot	
SJ	13	Juniperus chinensis 'Spartan'	Spartan Juniper	#15 Pot	
PA	10	Thuja occidentalis 'Pyramidalis'	Pyramidal Arborvitae	#20 Pot	
TY	18	Taxus x media 'Tauntonii'	Taunton Yew	#5 Pot	
LH	40	Hosta 'Blueberry Muffin'	Large Hosta	#1 Pot	
DL	34	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	
KF	100	Calamagrostis acutiflora	Karl Forester	#2 Pot	
PD	54	Sporobolus heterolepis	Prairie Dropseed	#1 Pot	
TOTAL SHRUBS = 402					
<b>TREES</b>					
SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT	
NH	2	Gleditsia triacanthos var. inermis 'Harve'	Northern Acclaim Honeylocust	2 - 1/2" B & B	
DE	4	Ulmus davidiana var. japonica 'Discovery'	Discovery Elm	2 - 1/2" B & B	
RB	8	Betula nigra	River Birch (1-Stem)	2 - 1/2" B & B	
TOTAL TREES = 14					

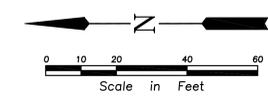
**LANDSCAPE REQUIREMENTS (EXISTING & PROPOSED)**  
 20 PERCENT OF THE SITE NOT OCCUPIED BY BUILDINGS SHALL BE LANDSCAPED WITH 1 CANOPY TREE PER 500 SF. AND 1 SHRUB PER 100 SF.

SITE AREA = 155,071 SF  
 BUILDING AREA = 27,760 SF (EXISTING) + 26,480 SF (PROPOSED) = 54,240 SF  
 20% OF NON-BUILDING AREA = 20,166 SF

TREES REQUIRED = 40  
 EXISTING TREES = 31 - 4 (REMOVED PER CURRENT PLAN) = 27 TREES  
 TREES PROPOSED = 14  
 TOTAL TREES = 27 + 14 = 41

SHRUBS REQUIRED = 202  
 EXISTING SHRUBS = 255 - 39 (REMOVED PER CURRENT PLAN) = 216 SHRUBS  
 SHRUBS PROPOSED = 402  
 TOTAL SHRUBS = 216 + 402 = 618

NOTE: 9 TREES WERE PLANTED IN THE RIGHT-OF-WAY AS PART OF THE PREVIOUS BUILDING ADDITION PLANS AND WERE NOT COUNTED IN THE ABOVE EXISTING TREES



LANDSCAPE CALCULATIONS (FOR REFERENCE ONLY)

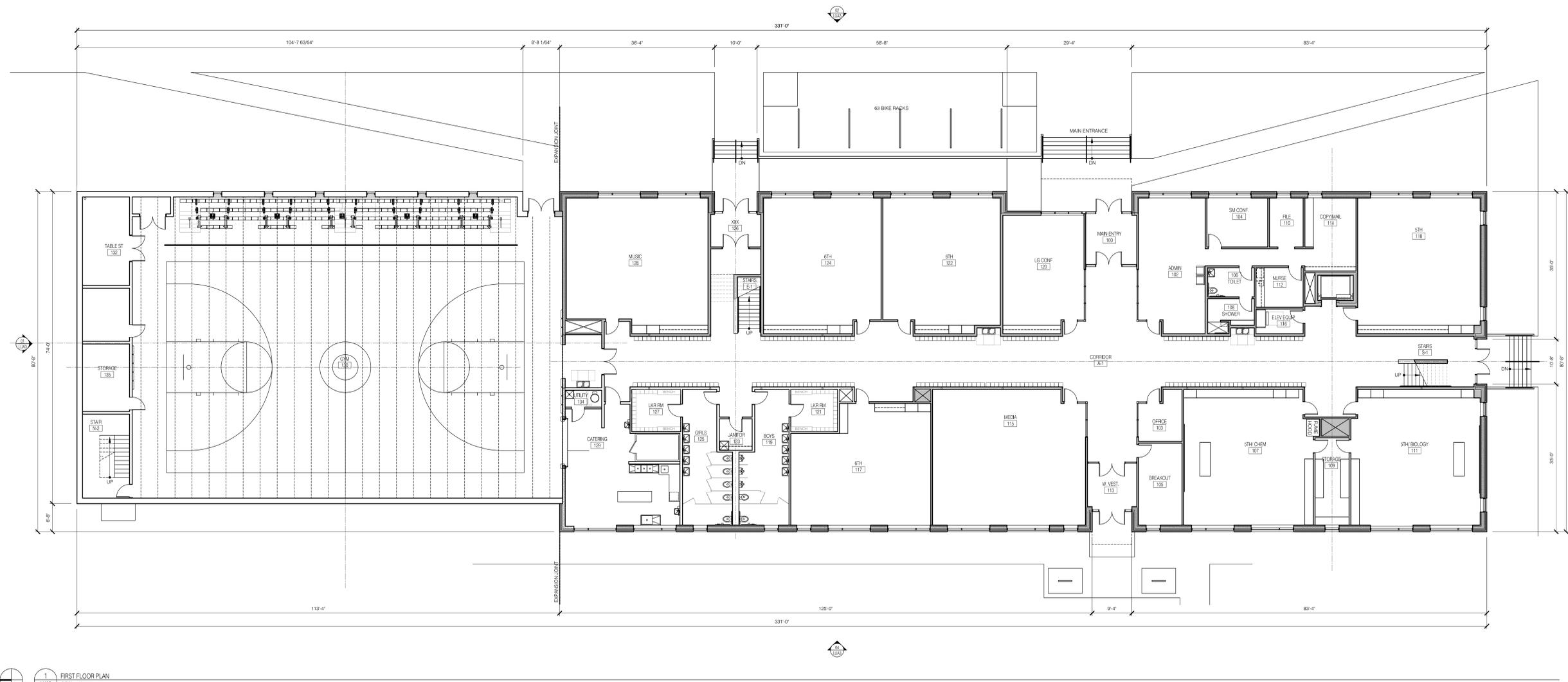
**L2**

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1 FIRST FLOOR PLAN  
LUA5 3/28" = 1"



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Revised Submittal	December 15, 2014

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature  
Printed Name  
Registration Number

FIRST FLOOR PLAN

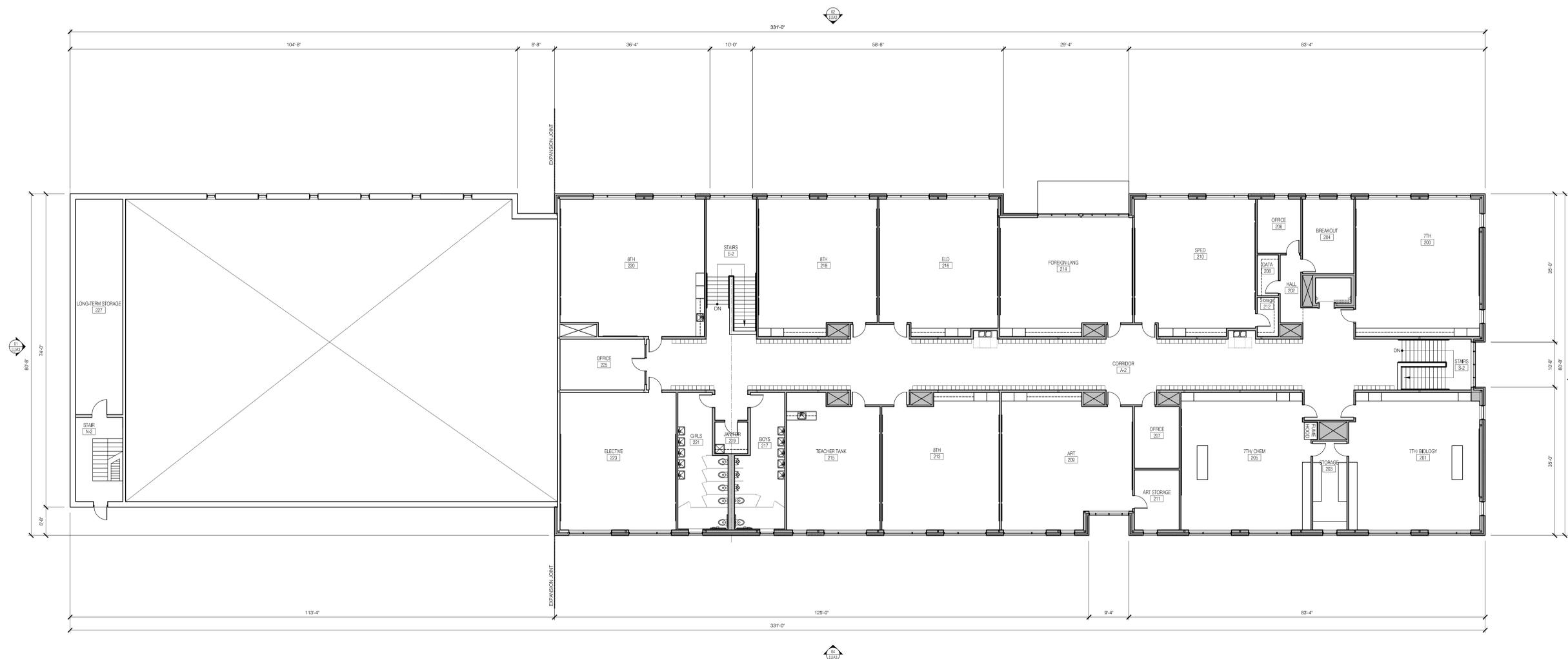
**LUA5**

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1 FIRST FLOOR PLAN  
LUA6 3/2" = 1"



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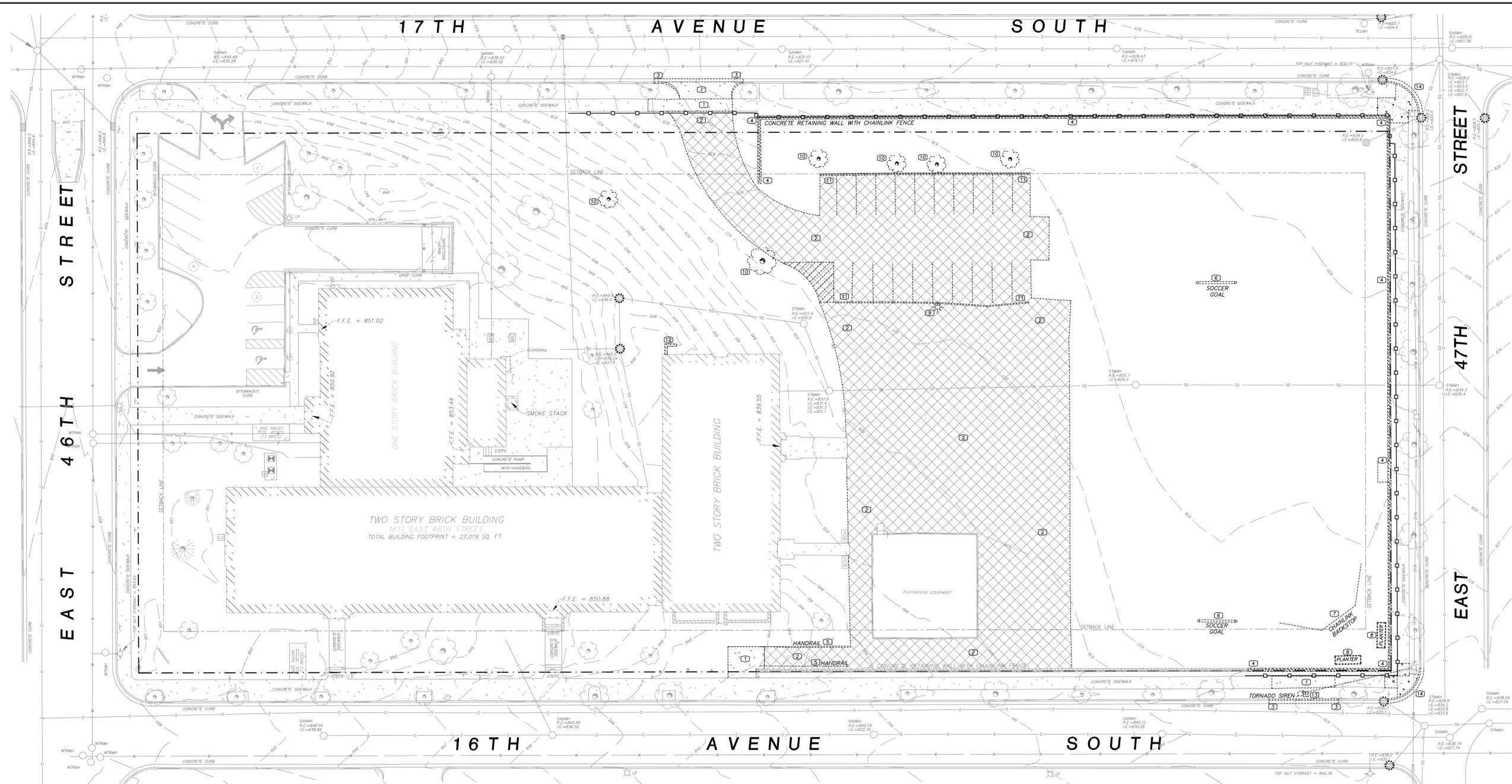
Signature

Printed Name

Registration Number

**SECOND FLOOR PLAN**

**LUA6**



**GENERAL PLAN NOTES**

- State law: 48 hours before excavating, call gopher one-call, 651-454-0002, for field location of underground utility lines. This is a free service which locates utility company lines but does not locate private lines. Contractors excavating on site shall provide for locating of private lines, including privately owned lines, by contractor service or other suitable means. Hence company is familiar with the chs campus.
- Contractor is responsible for providing all O.S.H.A. Safety measures during underground work. This includes providing and maintaining barricades and warning signs, and maintaining appropriate angle of repose on all exposed trenches to protect person and property. Provide shoring and sheeting as required.
- Contractor shall be responsible for locating and protection of existing structures and utilities as required during excavation and underground work.
- Contractor shall be responsible for disposal of all excavated material not suitable for backfill and all excess material remaining after backfilling has been completed.
- Contractor shall be responsible for establishing existing site conditions including elevations, grades, finished surfaces and existing utilities. All areas affected during construction shall be returned to their original condition upon completion of underground work.
- Contractor shall be responsible for obtaining and paying for all permits required prior to beginning work.
- Field verify all elevations, dimensions and distances.
- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at 612-673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roadway.net/> for a permit.
- Contact Tim Drew at 612-673-2152 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
- Contact Bill Prince at 612-673-3901 regarding impacts to the existing street lighting system.
- Contact Doug Maddy at 612-673-5755 prior to construction for the removal of any City of Minneapolis right-of-way signs that may be in the way of construction.
- Permits and approval are required from Environmental Services for the following activities: After hours work, temporary storage of impacted soils on site prior to disposal or reuse, remediation of contaminated soil and groundwater, dewatering and discharge of accumulated storm water or ground water to City sewers, flammable waste traps, underground or above ground tank installation or removal, well construction or sealing, or on-site rock crushing. Contact Tom Frame at [tom.frame@ci.minneapolis.mn.us](mailto:tom.frame@ci.minneapolis.mn.us) for permit applications and approvals.
- No construction, demolition or commercial power maintenance equipment shall be operated within the City between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.

**MINNEAPOLIS STANDARD EROSION CONTROL NOTES**

- Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
- Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
- Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer of at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
- Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped grates are not allowed for inlet protection.
- Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
- Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
- Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated concrete mixing/washout locations as shown in the erosion control plan. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
- Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
- If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.

**DEMOLITION NOTES**

- Remove concrete pavement.
- Remove bituminous pavement.
- Remove concrete curb & gutter.
- Remove concrete retaining wall with chainlink fence.
- Remove handrail.
- Remove soccer goal.
- Remove chainlink backstop.
- Remove planter.
- Remove light pole (salvage for Owner).
- Remove tree.
- Remove portable concrete curb stops (salvage for Owner).
- Remove retaining wall.
- Coordinate relocation of tornado siren (By Others).
- Remove walk and curb in preparation for new ADA ramp.

NOTE: SEE SHEET C3 FOR UTILITY REMOVALS

**CONSTRUCTION SEQUENCE SCHEDULE**

- INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCE & INLET PROTECTION AS SHOWN ON THE PLANS.
- PERFORM DEMOLITION OF SITE ITEMS.
- REMOVE TOPSOIL FROM THE SITE AND PLACE IN TEMPORARY STOCKPILE LOCATION OR HAUL OFF-SITE.
- ROUGH GRADE THE SITE.
- INSTALL SITE UTILITIES & SUBSURFACE INFILTRATION BASIN.
- TEMPORARY SEED AND MULCH DISTURBED AREAS ON SITE.
- CONSTRUCT BUILDING, PARKING LOT AND SIDEWALKS.
- FINAL GRADE SITE.
- STABILIZE SITE WITH SOG, SEED OR HARD SURFACE.
- REMOVE SILT FENCE, INLET PROTECTION AND ROCK CONSTRUCTION ENTRANCE.

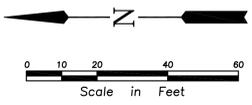
A PORTABLE CONCRETE WASHOUT BASIN SHALL BE PROVIDED DURING CONSTRUCTION FOR CONCRETE WASHOUT OPERATIONS.

PARTY RESPONSIBLE FOR MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN

OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 DEVELOPER \_\_\_\_\_ DATE \_\_\_\_\_  
 CONTRACTOR \_\_\_\_\_ DATE \_\_\_\_\_

**LEGEND**



Boundary & Topographical information was prepared by Egan, Field & Nowak, Inc. This information has not been verified as to its accuracy or completeness by Rehder & Associates, Inc.

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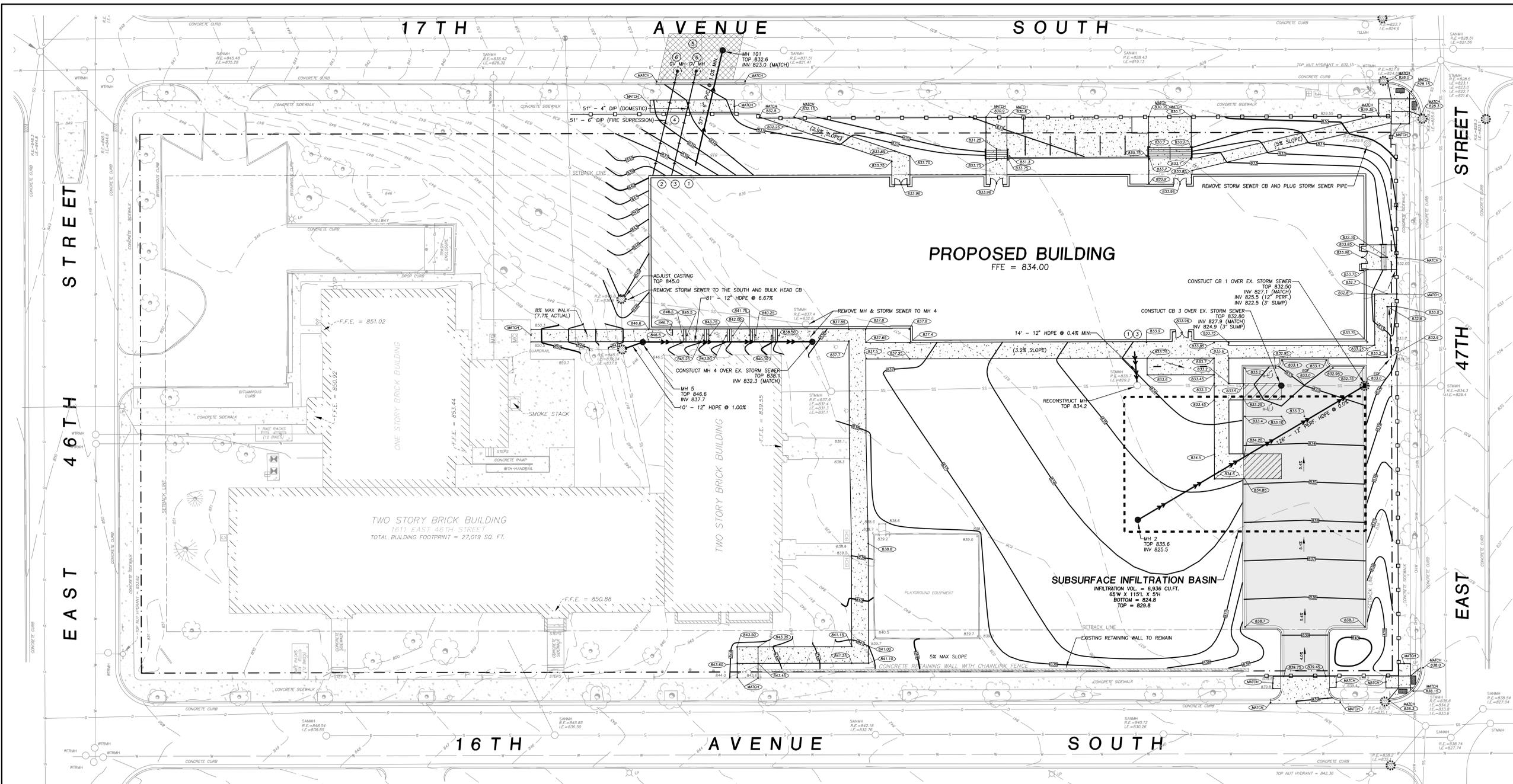
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Signature \_\_\_\_\_  
 Printed Name \_\_\_\_\_  
 Registration Number \_\_\_\_\_

**DEMOLITION & EROSION CONTROL PLAN**

**C1**



**PROPOSED BUILDING**  
FFE = 834.00

**TWO STORY BRICK BUILDING**  
1611 EAST 46TH STREET  
TOTAL BUILDING FOOTPRINT = 27,019 SQ. FT.

**SUBSURFACE INFILTRATION BASIN**  
INFILTRATION VOL. = 6,536 CU.FT.  
65'W X 115'L X 5'H  
BOTTOM = 824.8  
TOP = 829.8

**GRADING NOTES**

- 1 - All elevations shown are to final surfaces.
- 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

**UTILITY NOTES**

- 1 - All sewer services to extend to a point 5' from proposed building.
- 2 - Bring water main into proposed building and cap at the floor.
- 3 - Verify all service locations and inverts with mechanical engineer before construction.
- 4 - All watermain to have a minimum of 7.5' of cover.
- 5 - Restore street, walk, alley and curb/gutter matching existing pavement sections.
- 6 - Construct standard gate valve manhole over existing water main per City Plate.
- 7 - Coordinate removal/abandonment of existing water services at the main per City standards.
- 8 - Cap/remove sanitary sewer service per City standards.

NOTE: REQUIRED DEMOLITION ITEMS NOT SHOWN

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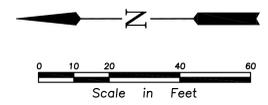
**NON-STORMWATER DISCHARGES**

The proposed structure and associated site improvements should not, to the best of our knowledge, produce any non-stormwater discharges. The soil borings do not reveal that the proposed structure will fall within a zone that produces continuous or regular groundwater discharges.

As typical, the structure will, however, have a foundation dewatering system and an elevator pit tied to a sump pump. When that system does receive intermittent and/or nuisance flow, it is assumed that the flow will be the result of stormwater infiltrating the surface and entering the drain tile system. The sump pump for the system will discharge the stormwater grade, adjacent to the building and, not, into a direct connection to the storm sewer system. Therefore, any flows generated by the drain tile/sump pump should be rare and be fully disconnected from the City's storm water infrastructure.

**LEGEND**

- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- ▭ PROPOSED CONCRETE
- ▭ PROPOSED STD. DUTY BITUMINOUS
- ▭ PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- BOUNDARY/ROW/BLOCK LINE
- DRAINAGE ARROW
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING BURIED GAS LINE
- EXISTING CONTOUR
- × 995.50 EXISTING ELEVATION



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**SM** Schreiber Mullaney Construction  
**Charter Schools** Development Corporation  
**HIAWATHA** ACADEMIES

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Printed Name \_\_\_\_\_  
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**GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN**

**C3**

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**Project Contacts**

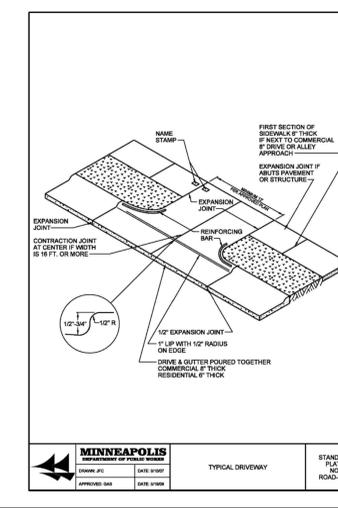
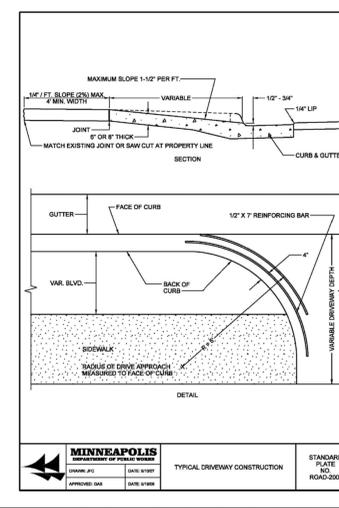
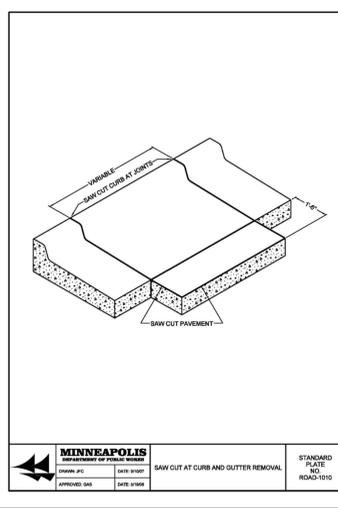
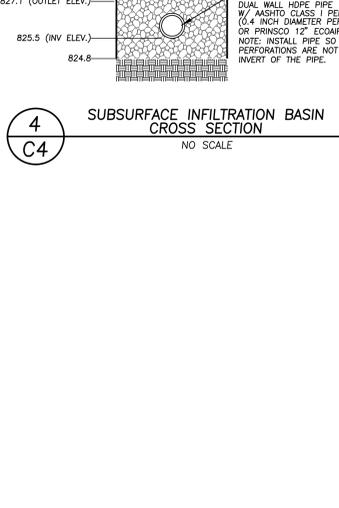
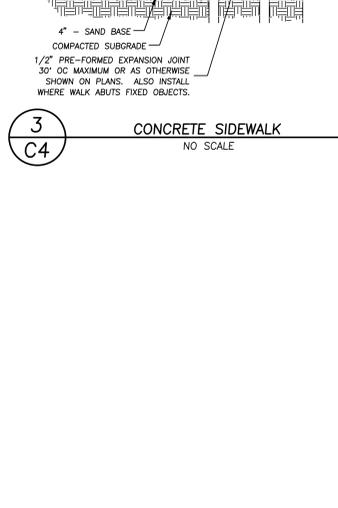
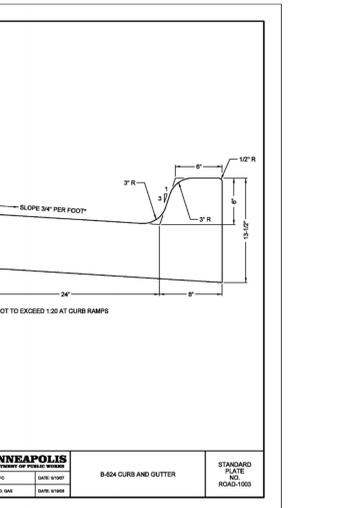
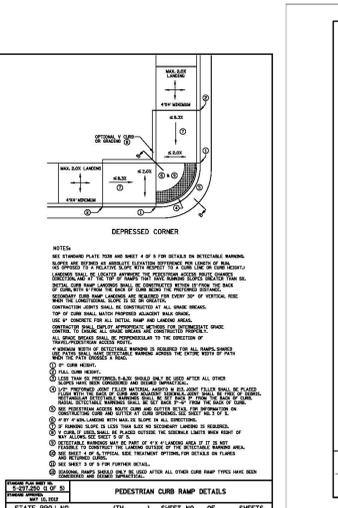
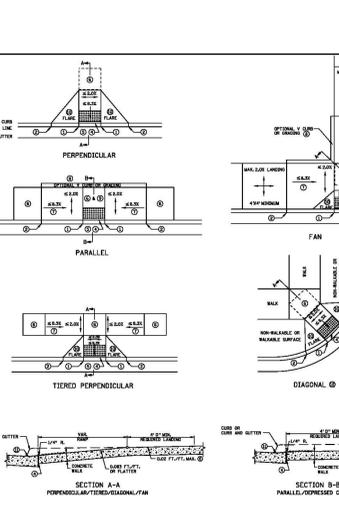
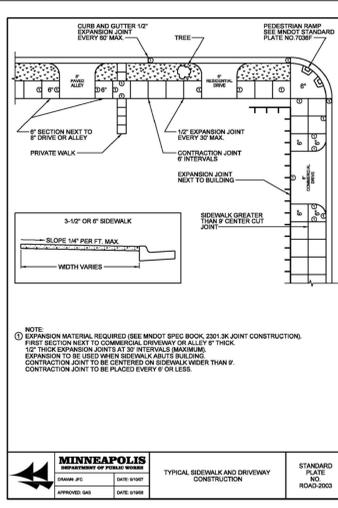
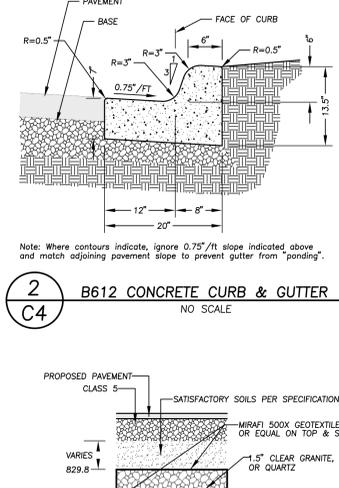
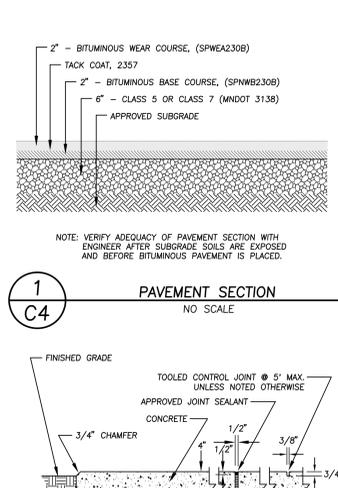
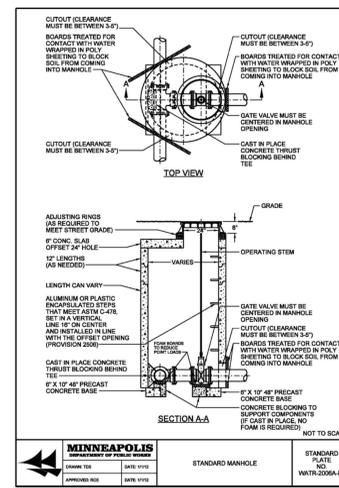
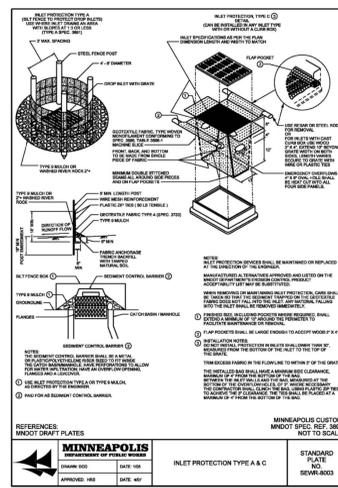
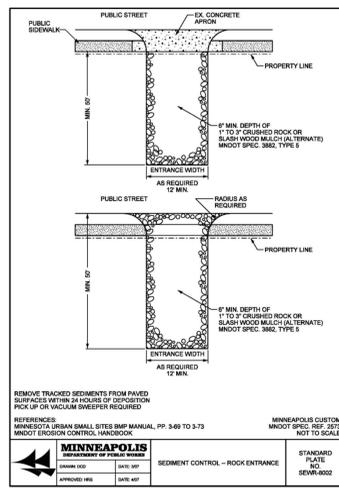
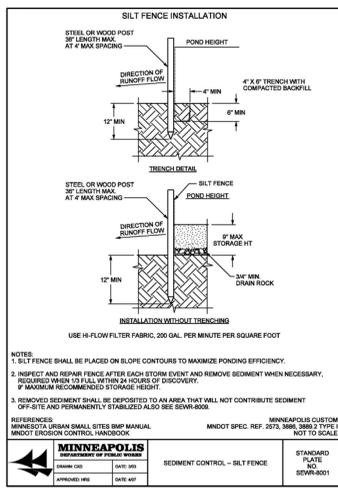
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PROJECT NO: 4780010 DRAWING FILE: 4780010.DWG



**Land Use Application**  
November 21, 2014

**Hiawatha College Prep - Northrop Middle School**  
1611 46th Street East  
Minneapolis, MN  
Project: 2014026 NRTP-3

**Drawings Issued** **Date**

REVISED SUBMITTAL 12/15/2014

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Signature  
Printed Name  
Registration Number

**DETAILS PLAN**

**C4**

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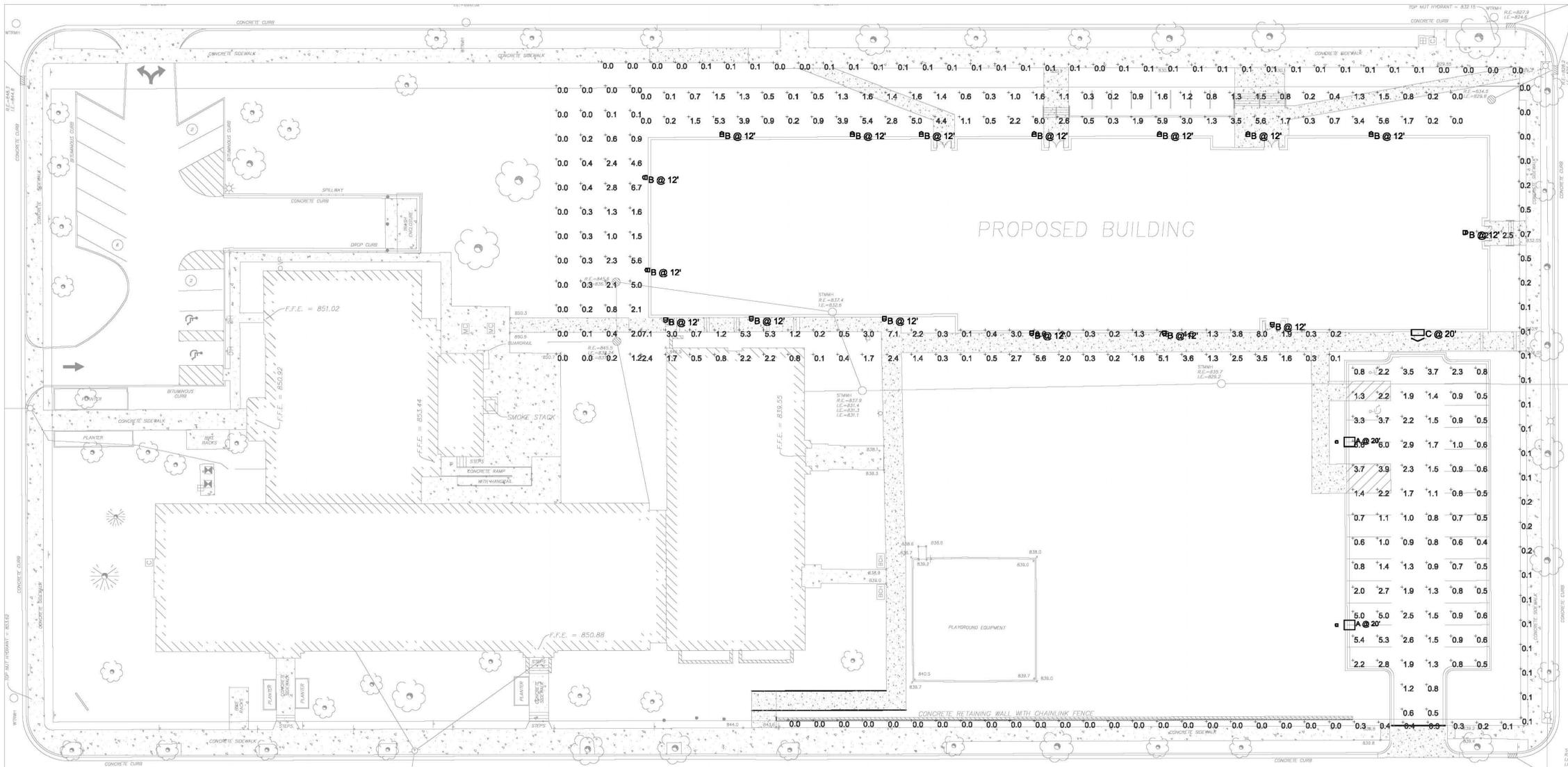
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**PHOTOMETRIC PLAN**



**ALED4T78N/PCS**

Specification Grade Area Light available in RFL Type IV distribution. For use in parking lots, walkways, entryways and general area lighting. Mounts in 4" square steel pipes at 15'-0". Designed to replace 50W Metal Halide Area Light. Rated for long life performance.

LED Info		Driver Info	
Watts:	78W	Type:	Constant Current
Color Temp:	4000K (Neutral)	120V:	0.66A
Color Accuracy:	80	240V:	N/A
L70 Life Expect:	100000	240V:	N/A
L70 Life Expect:	6073	277V:	N/A
Efficiency:	84 LPMW	Input Watts:	78W
		Efficiency:	95%

**Technical Specifications**  
**UL Listing:** 120V General Purpose Incandescent. Photocell is only compatible with 120V.  
**UL Listing:** Suitable for wet locations as a downlight.  
**Lumen Maintenance:** 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

**IES Classification:** The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

**Effective Projected Area:** EPA: 0.75  
**LEDs:** 50 (6) multi-chip, 13W, high-output, long-life LEDs.  
**Driver:** Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%.

**THD:** 4.4% at 120V, 12.8% at 277V  
**Ambient Temperature:** Suitable for use in 40°C ambient temperatures.  
**Surge Protection:** 4kV

**Color Rendering:** Weight: 30.2 lbs  
**Color Consistency:** 3-step MacAdam Ellipse binning to achieve consistent future-to-future color.  
**Color Stability:** LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period.  
**Color Uniformity:** RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standards Institute for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78-377-2008.  
**Reflector:** Spectral vacuum-metallized polycarbonate  
**Gaskets:** High-temperature silicone gaskets.  
**Finish:** Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.  
**Surge Protector:** ALED78 is available with a 6kV surge protector (SP6). SP6's available.



**SLIM26**

High power, wide distribution LED headlight. Replaces 150W MH. High power, wide distribution LED headlight. Replaces 150W MH. High power, wide distribution LED headlight. Replaces 150W MH.

LED Info		Driver Info	
Watts:	26W	Type:	Constant Current
Color Temp:	5100K (Cool)	120V:	0.27A
Color Accuracy:	87	240V:	0.17A
L70 Life Expect:	100000	240V:	0.15A
L70 Life Expect:	2663	277V:	0.13A
Efficiency:	97 LPMW	Input Watts:	26W
		Efficiency:	88%

**Technical Specifications**  
**UL Listing:** Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.  
**IP Rating:** Ingress Protection rating of IP66 for dust and water.  
**LED:** Multi-chip, long-life LED.  
**Lifespan:** 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

**Driver:** Constant Current, Class 2, 100-277V, 50/60 Hz, 6KV surge protection, 750mA, 100-277VAC 0.4 Amps. Power Factor 99%.

**THD:** 13% at 120V, 12.8% at 277V  
**Ambient Temperature:** Suitable for use in 40°C (104°F) ambient temperatures.  
**Thermal Management:** Superior heat sinking with internal Air-Flow fins.  
**Housing:** Precision die-cast aluminum housing.  
**Mounting:** Heavy-duty mounting bracket with hinged housing for easy installation.

**Color Rendering:** Weight: 4.5 lbs  
**Color Consistency:** 7-step MacAdam Ellipse binning to achieve consistent future-to-future color.  
**Color Stability:** LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period.  
**Color Uniformity:** RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standards Institute for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78-377-2008.  
**Reflector:** Spectral vacuum-metallized polycarbonate  
**Gaskets:** High-temperature silicone.  
**Finish:** Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.  
**Surge Protector:** ALED78 is available with a 6kV surge protector (SP6). SP6's available.



**FXLED78T**

High power, wide distribution LED headlight. Replaces 150W MH. High power, wide distribution LED headlight. Replaces 150W MH. High power, wide distribution LED headlight. Replaces 150W MH.

LED Info		Driver Info	
Watts:	78W	Type:	Constant Current
Color Temp:	5100K (Cool)	120V:	0.66A
Color Accuracy:	87	240V:	0.41A
L70 Life Expect:	100000	240V:	0.36A
L70 Life Expect:	7387	277V:	0.36A
Efficiency:	97 LPMW	Input Watts:	78W
		Efficiency:	99%

**Technical Specifications**  
**UL Listing:** Suitable for wet locations. Suitable for ground mounting.  
**Lifespan:** 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.  
**IP Rating:** Ingress Protection rating of IP66 for dust and water.

**Driver:** Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%.

**THD:** 5% at 120V, 13.1% at 277V  
**Ambient Temperature:** Suitable for use in 40°C (104°F) ambient temperatures.  
**Thermal Management:** Superior heat sinking with external Air-Flow fins.  
**Housing:** Precision die-cast aluminum housing and door frame.  
**Mounting:** Heavy-duty Transium mount with stainless steel hardware.

**Color Rendering:** Weight: 24.0 lbs  
**Color Consistency:** 7-step MacAdam Ellipse binning to achieve consistent future-to-future color.  
**Color Stability:** LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period.  
**Color Uniformity:** RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standards Institute for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78-377-2008.  
**Reflector:** Spectral vacuum-metallized polycarbonate  
**Gaskets:** High-temperature silicone gaskets.  
**Finish:** Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.  
**Surge Protector:** ALED78 is available with a 6kV surge protector (SP6). SP6's available.



**Luminaire Schedule**

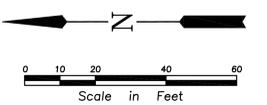
Symbol	Label	Qty	Manufacturer	Coloring	Description	Lamp	Number	Flanare	Lumens Per Lamp	Light Loss Factor	Wattage
A	A	2	RAB LIGHTING, INC.	ALED4T78-RWLED4T78-RWLED4T78-RWLED4T78 (TYPE IV)	SIX FINED METAL HOUSING, 6 CIRCUIT BOARD EACH WITH 1 LED, MOLDED 2 PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 CLEAR GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LED), 2 LEDS FILTERED 18-DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 18-DEGREES FROM STRAIGHT AHEAD. 2 LEDS FILTERED BY 1/8" DEGREES FROM VERTICAL BASE-UP POSITION AND CANTED 18-DEGREES FROM STRAIGHT AHEAD.	6	079611.0e	1258.084	1	78.1
B	B	8	RAB LIGHTING, INC.	SLIM26	CAST BROWN PAINTED FINED METAL HOUSING, 1 CIRCUIT BOARD MOLDED 2 PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 CLEAR GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME.	ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED), 1 LED AT THE HORIZON, 4 LEDS CANTED 15-DEGREES FROM VERTICAL BASE-UP POSITION.	1	081810.0e	264.732	1	26.4
C	C	1	RAB LIGHTING, INC.	FXLED78F-FXLED78T (SP-SPLITTER MOUNT) & (TYPICAL MOUNT)	SIX FINED METAL HOUSING, MOLDED 2 PIECE PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 CLEAR GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME WITH VISOR.	SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LED), 2 LEDS FILTERED 18-DEGREES FROM STRAIGHT AHEAD.	6	079608.0e	1280.768	1	78.7

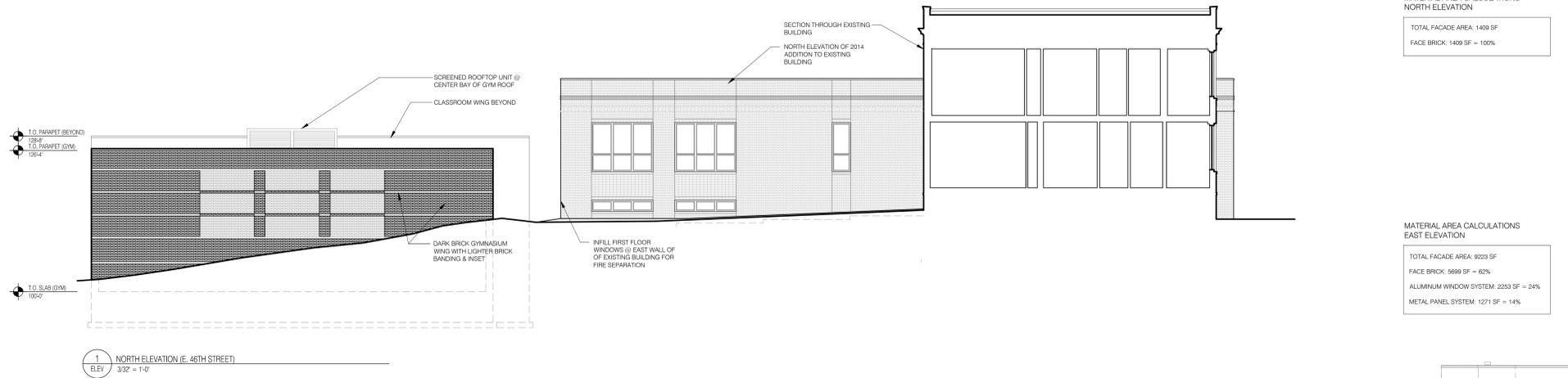
**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
East of Building	+	1.6 f.c.	6.0 f.c.	0.0 f.c.	N/A	N/A	0.3:1
North of Building	+	1.0 f.c.	6.7 f.c.	0.0 f.c.	N/A	N/A	0.1:1
Parking Lot	+	1.7 f.c.	6.6 f.c.	0.4 f.c.	16.5:1	4.3:1	0.3:1
Property Line Spill	+	0.1 f.c.	0.7 f.c.	0.0 f.c.	N/A	N/A	0.1:1
South Building Entrance	+	4.8 f.c.	7.2 f.c.	2.5 f.c.	2.9:1	3.9:1	0.7:1
West of Building	+	2.2 f.c.	8.6 f.c.	0.1 f.c.	86.0:1	22.0:1	0.3:1

**Luminaire Locations**

No.	Label	X	Y	MM	Orientation	Tilt	X	Y	Z
1	A	236.00	310.00	20.00	20.00	00.00	237.30	310.00	0.00
2	A	236.00	235.00	20.00	20.00	00.00	237.30	235.00	0.00
1	B	32.00	361.00	12.00	12.00	180.00	0.00	32.00	361.00
2	B	201.00	359.00	12.00	12.00	180.00	0.00	201.00	359.00
3	B	288.00	396.00	12.00	12.00	00.00	0.00	288.00	396.00
4	B	200.00	436.00	12.00	12.00	0.00	0.00	200.00	436.00
5	B	113.00	436.00	12.00	12.00	0.00	0.00	113.00	436.00
6	B	67.00	436.00	12.00	12.00	0.00	0.00	67.00	436.00
7	B	54.00	419.00	12.00	12.00	270.00	0.00	54.00	419.00
9	B	53.00	381.00	12.00	12.00	270.00	0.00	53.00	381.00
10	B	46.00	361.00	12.00	12.00	180.00	0.00	46.00	361.00
11	B	2.00	361.00	12.00	12.00	180.00	0.00	2.00	361.00
12	B	14.00	436.00	12.00	12.00	0.00	0.00	14.00	436.00
13	B	19.00	436.00	12.00	12.00	0.00	0.00	19.00	436.00
14	B	112.00	355.00	12.00	12.00	180.00	0.00	112.00	355.00
15	B	164.00	436.00	12.00	12.00	0.00	0.00	164.00	436.00
16	B	166.00	355.00	12.00	12.00	180.00	0.00	166.00	355.00
17	B	250.00	436.00	12.00	12.00	0.00	0.00	250.00	436.00
1	C	269.00	355.00	20.00	20.00	180.00	0.00	269.00	355.00



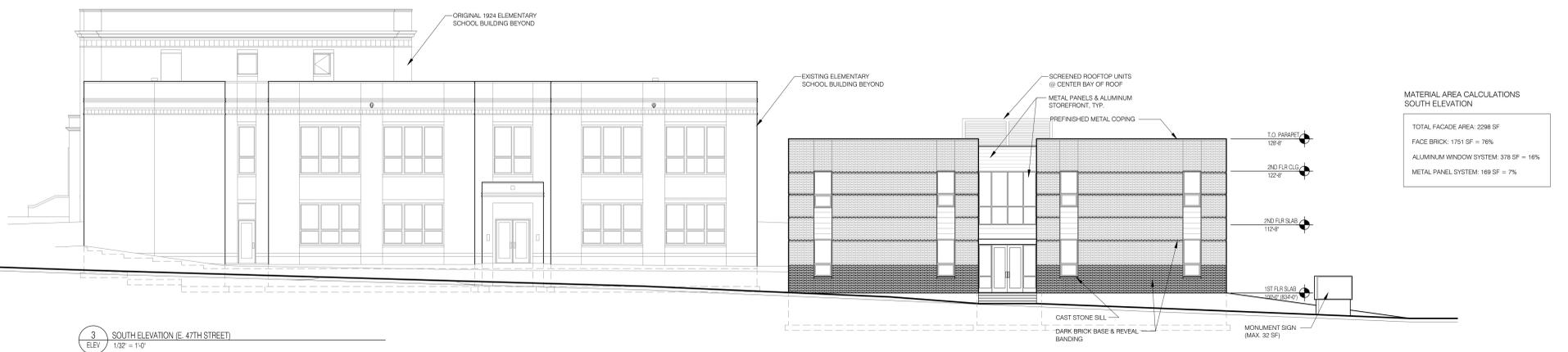
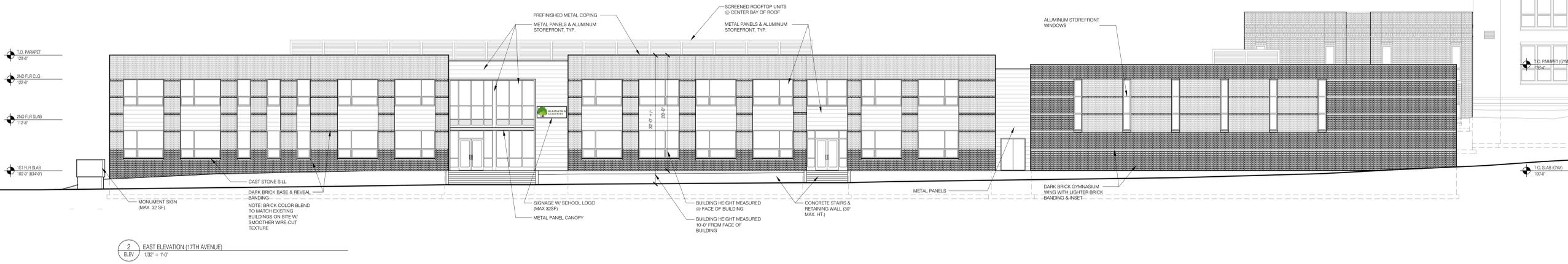


MATERIAL AREA CALCULATIONS  
NORTH ELEVATION

TOTAL FACADE AREA: 1409 SF  
FACE BRICK: 1409 SF = 100%

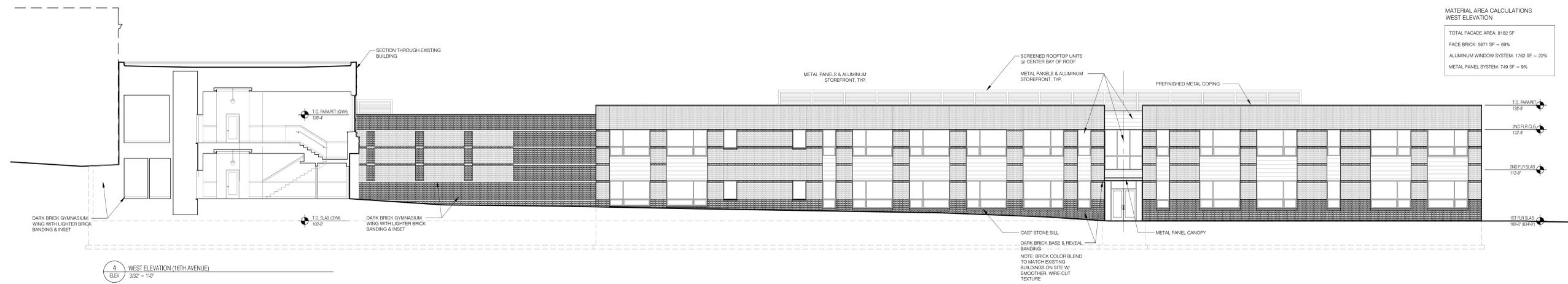
MATERIAL AREA CALCULATIONS  
EAST ELEVATION

TOTAL FACADE AREA: 9233 SF  
FACE BRICK: 5669 SF = 62%  
ALUMINUM WINDOW SYSTEM: 2253 SF = 24%  
METAL PANEL SYSTEM: 1271 SF = 14%



MATERIAL AREA CALCULATIONS  
SOUTH ELEVATION

TOTAL FACADE AREA: 2298 SF  
FACE BRICK: 1751 SF = 76%  
ALUMINUM WINDOW SYSTEM: 378 SF = 16%  
METAL PANEL SYSTEM: 169 SF = 7%



MATERIAL AREA CALCULATIONS  
WEST ELEVATION

TOTAL FACADE AREA: 6182 SF  
FACE BRICK: 5671 SF = 92%  
ALUMINUM WINDOW SYSTEM: 1762 SF = 28%  
METAL PANEL SYSTEM: 749 SF = 12%

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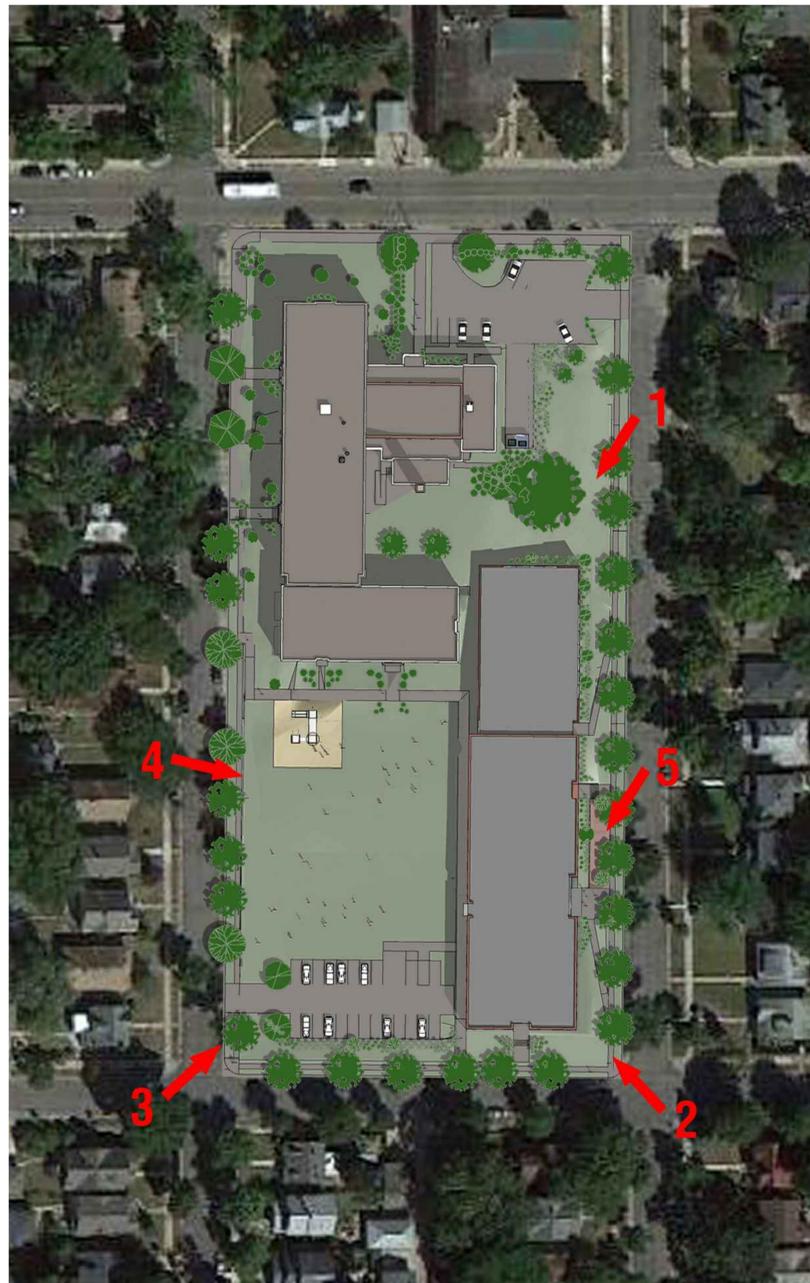
Revised Submittal	December 15, 2014

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Signature  
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Registration Number

**EXTERIOR ELEVATIONS**

**LUA3**



AERIAL VIEW



1. VIEW FROM 17TH AVENUE SOUTH



2. VIEW FROM E. 47TH STREET AND 17TH AVENUE SOUTH



3. VIEW FROM E. 47TH STREET AND 16TH AVENUE SOUTH



4. VIEW FROM 16TH AVENUE SOUTH



5. FRONT ENTRANCE VIEW FROM 17TH AVENUE SOUTH

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PROPOSED MIDDLE SCHOOL  
MODEL RENDERINGS

LUA4





E 46th St

46

E 46

S 16th Ave

S 17th Ave

E 47th St

E 47th

