



CPED STAFF REPORT
 Prepared for the Board of Adjustment

BOA Agenda Item #3
 December 11, 2014
 BZZ-6919

LAND USE APPLICATION SUMMARY

Property Location: 3933-3935 Thomas Avenue South
Project Name: 3933-3935 Thomas Avenue South Lot Division
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: PDW Investments
Project Contact: Dan Rheineck
Request: To allow a lot split to create two separate parcels in the RI district. The northerly parcel would be 39.1 feet wide and 4,506 square feet in area. The southerly parcel would be 41.2 feet wide and 4,728 square feet in area.

Required Applications:

Variance	To reduce the minimum lot area requirement from 6,000 square feet to 4,506 and 4,728 square feet.
Variance	To reduce the minimum lot width requirement from 50 feet to 39.1 and 41.2 feet.

SITE DATA

Existing Zoning	RI Single-Family District
Lot Area	9,234 square feet
Ward(s)	13
Neighborhood(s)	Linden Hills Neighborhood Council
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not applicable
Small Area Plan(s)	Not applicable

Date Application Deemed Complete	November 3, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	January 2, 2015	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property is approximately 80 feet by 115 feet (9,234 square feet). There is an existing side-by-side two-family dwelling on the property, which was permitted for construction in 1951.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties are zoned R1 Single-Family District, except two that are zoned R2B Two-Family District. The surrounding uses are predominately single-family dwellings. There are also 10 two-family dwellings, including the subject property, and a 4-unit and a 5-unit multiple-family dwelling within 350 feet of the property. The average lot width of all parcels within 350 feet of the subject property is 53 feet wide. The average lot area of all parcels within 350 feet of the subject property is 6,032 square feet.

PROJECT DESCRIPTION. The applicant is proposing to divide the subject property into two parcels to allow for the future construction of two new single-family dwellings. The new lot line would align with the existing party wall split of the existing duplex. A party wall split in a duplex is only authorized to allow separate ownership of the units. It does not create two separate developable lots. The R1 District requires a minimum lot width of 50 feet and minimum lot area of 6,000 square feet per parcel. The northerly parcel would be 39.1 feet wide and 4,506 square feet in area. The southerly parcel would be 41.2 feet wide and 4,728 square feet in area. Variances are required to reduce these requirements. If approved, the new single-family dwellings will require administrative site plan review as well.

PUBLIC COMMENTS. A letter from the Linden Hills Neighborhood Council was received and is attached to this report. Any additional correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration.

ANALYSIS

VARIANCES

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum lot area requirement from 6,000 square feet to 4,506 and 4,728 square feet and a variance to reduce the minimum lot width requirement from 50 feet to 39.1 and 41.2 feet to allow a lot division based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The circumstances for which the variances are sought have been created by the applicant. The existing use is a legal nonconforming two-family dwelling, which allows more density than permitted by the existing zoning. The two-family dwelling is allowed to remain as long as the use is not discontinued or destroyed. The applicant is proposing to demolish the existing building to construct two new single-family homes. The property is one parcel with three platted lots. However, the underlying platting is not characteristic of the development in the surrounding area. The average lot area and lot width of the parcels within 350 feet of the subject property is 6,032 square feet and 53 feet. Although there are a variety of lot sizes in the area, all but 4 of the 17 properties facing

Thomas Avenue between 39th Street and 40th Street are at least 50 feet in width. The proposed lot sizes are not consistent with the character of the immediate area.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The R1 Single-Family District is established to provide for an environment of predominantly low density, single-family dwellings and cluster developments with a minimum of 6,000 square feet of lot area per dwelling unit. The lot size standards are intended to reinforce the predominant character of the City's lowest density residence district. The average lot area and lot width of the parcels within 350 feet of the subject property is 6,032 square feet and 53 feet. Lot area requirements are established to ensure compatibility with surrounding uses. For single-family dwellings, the minimum lot size requirements also ensure that the lot is sufficient in size to allow a dwelling with off-street parking that meets the minimum setbacks, gross floor area and additional zoning requirements. The applicant has demonstrated that the two proposed parcels would be sufficient to allow for the future construction of two new single-family dwellings with detached garages that would not require additional variances. However, the proposed parcels would be inconsistent with the predominant lot sizes in the area. Therefore, the proposed variances are not a reasonable request consistent with the spirit and intent of the ordinance.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variances would alter the essential character of the locality, which could negatively affect surrounding properties. The average lot area and lot width of the parcels within 350 feet of the subject property is 6,032 square feet and 53 feet. Although there are a variety of lot sizes in the area, all but 4 of the 17 properties facing Thomas Avenue between 39th Street and 40th Street are at least 50 feet in width. The proposed lot sizes are not consistent with the character of the immediate area. However, both parcels would be sufficient in size to allow for the future construction of two new single-family dwellings with detached garages, without the need for additional variances. If granted, the proposed variances will not be detrimental to the health, safety or welfare of the general public. The future construction of a single-family dwelling will require administrative site plan review and a building permit to ensure compliance with the applicable building codes and life safety ordinances.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt the above findings and **deny** the application for a variance to reduce the minimum lot area requirement from 6,000 square feet to 4,506 square feet and 4,728 square feet to allow a lot division at the property of 3933-3935 Thomas Avenue South.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt the above findings and **deny** the application for a variance to reduce the minimum lot width requirement from 50 feet to 39.1 feet and 41.2 feet to allow a lot division at the property of 3933-3935 Thomas Avenue South.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Hennepin County plat map
4. Photos
5. Site survey
6. Site plans
7. New single-family dwelling plans
8. Correspondence

Application for Lot Area Variance at 3933 & 3935 Thomas Ave. S., Minneapolis, MN 55410

Owner and Applicant: PDW Investments, LLC

Statement of proposed use and description of project:

We propose to tear down the existing duplex at 3933 & 3935 Thomas Ave. S., in Minneapolis, and re-build as two independent new single-family homes. Our project will comply with all relevant codes and regulations relating to residential development in Minneapolis, and will fit within the existing character of the neighborhood, while improving the overall value of the properties in question and adjacent to them. The lot sizes of 3933 and 3935 would be 4506 square feet and 4728 square feet, respectively. They have lot widths of 39.19 feet and 41.21 feet, respectively. Therefore, our project requires a variance to allow for the two lots which would be of slightly smaller area than the standard for this R1-zoned district.

Variance Required Findings:

1. The proposed lot split and two homes require a variance to reduce the minimum lot width and overall area. Practical difficulties exist in complying with the lot designation, because of the unique circumstances surrounding the originally platted lots for this subdivision. This lot was originally part of the Cottage City subdivision, which had 25' wide lots. Since platting the area, this lot (among others) was split and combined, resulting in a conglomeration of lots of differing sizes; many not reflecting the current minimum standard for R1 zoning.
2. The proposed use of the property will be used in a reasonable manner, and will be consistent with the zoning ordinance and comprehensive plan. The proposed use as two independent single-family dwellings, is within the restrictions of the R1 district. The proposed homes meet all other requirements for bulk, height, and site plan review. All measures to control erosion during construction will be taken, and rules will be followed.
3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of the other properties in the vicinity; it will improve the feel of the neighborhood, by bringing two new homes in to replace the older, dilapidated duplex. Importantly, both home designs are appropriate in scale for the proposed lot sizes, and fit in nicely with other single family homes in the vicinity. In reality, if NOT approved, the result would inadvertently be injurious to the character and context of the neighborhood, as any future development on the site would consist of either (a) a rehabilitation and renovation of the existing duplex which would almost certainly include an addition to the current structure, resulting in additional bulk and height OR (b) a reversion back to a massive single family lot of over 9,000 square feet, which could result in a nearly 7,000 square foot monstrosity. Neither of these alternatives are as desirable or fitting as the two single family home alternative being proposed.

The proposed variance will not be detrimental to the health, safety, or welfare of the general public, or those using the property or nearby properties. The designs of the two new structures will comply with the City of Minneapolis urban design guidelines, maintaining features of the surrounding area, while providing conveniences of the modern lifestyle.

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

3933-3935 Thomas Ave S

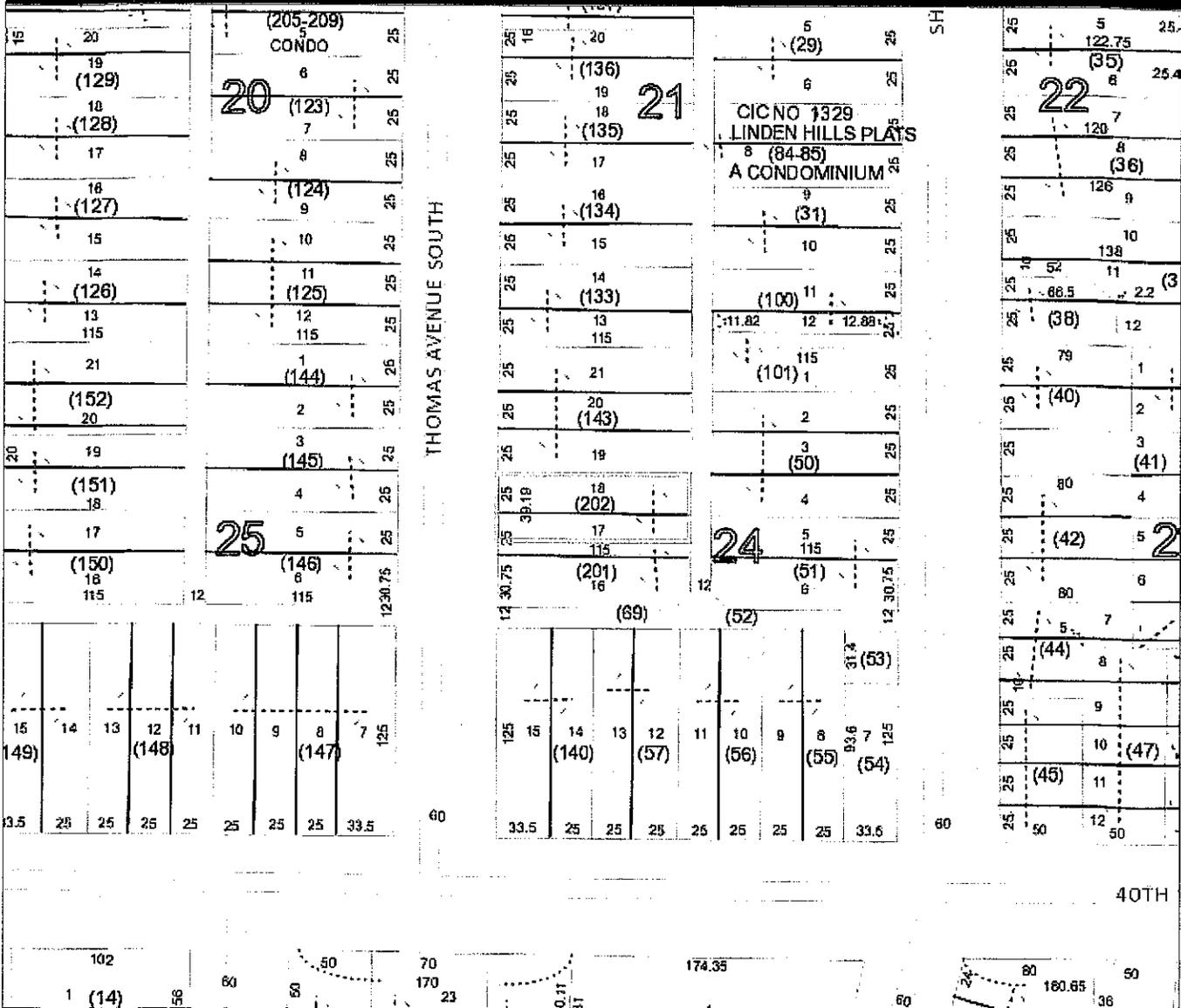
FILE NUMBER

BZZ-6919



Interactive Maps

Property Map



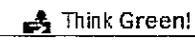
Parcel ID:	08-028-24-12-0202	A-T-B:	Torrens
Owner Name:	Pdw Investments Llc	Market Total:	\$263,500
Parcel Address:	3933 Thomas Ave S Minneapolis, MN 55410	Tax Total:	\$4,699.76 (Payable: 2014)
Property Type:	Residential-Zero Lot Line	Sale Price:	
Home-stead:	Homestead	Sale Date:	
Parcel Area:	0.1 acres 4,547 sq ft	Sale Code:	

Map Scale: 1" ≈ 100 ft.
Print Date: 12/3/2014



This map is a compilation of data from various sources and is furnished "AS IS" with no representation or warranty expressed or implied, including fitness of any particular purpose, merchantability, or the accuracy and completeness of the information shown.

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CERTIFICATE OF SURVEY: EXISTING CONDITIONS

*Lots 16, 17 and 18, Block 24, COTTAGE CITY
3933-3935 Thomas Avenue South, Minneapolis, MN*

LEGEND

- ☐ GAS METER
- IRON MONUMENT FOUND
- IRON PIPE MONUMENT SET
- x 921.0 . . . EXISTING ELEVATION
- (922.0) . . . PROPOSED ELEVATION
- ⊗ CS CURB STOP
- MANHOLE
- ▨ CATCH BASIN
- ∅ POWERPOLE
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- ⊙ BUSH
- ⊙ PROPOSED TREE REMOVAL
- DENOTES TREE PRESERVATION FENCE
- DENOTES SILT FENCE

LEGAL DESCRIPTION:

Lots 16, 17 and 18, Block 24, COTTAGE CITY, according to plat thereof, on file and of record in the Office of the Hennepin County Registrar of Titles.

Surveyor :

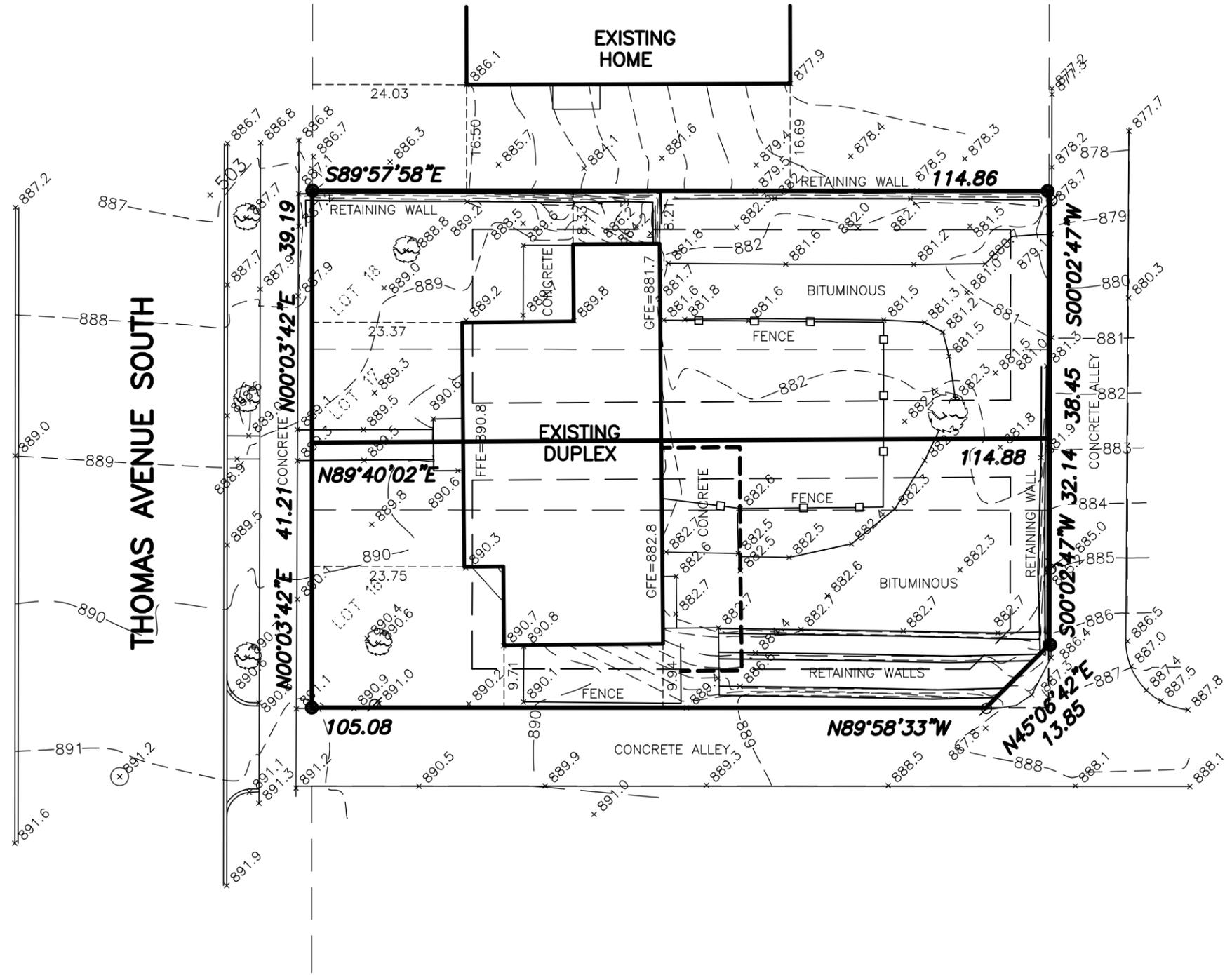
PTS Land Services, Inc.
826 NW 30th Street
Faribault, MN 55021
Phone: 507-291-1137
Fax: 507-334-9472
www.ptsland.com

PROPOSED ELEVATIONS:

TOP OF BLOCK = XX
BASEMENT FLOOR = XX
DETACHED GARAGE = XX

SET BACK REQUIREMENTS:

25' FRONT BUILDING TO ROW
6' REAR BUILDING TO PROP LINE
6' SIDE BUILDING TO PROP LINE
PER CITY OF MINNEAPOLIS MUNICIPAL CODE



FILE: PTS 14002.7
07-23-14
PLOT DATE:

REV. NO.	DATE	BY	CHK	DESCRIPTION



I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Timothy S. Peterson
NAME Timothy S. Peterson LIC. NO. 45332 DATE 07-21-2014

DESIGNED
TSP
DRAWN
TSP
CHECKED
TSP

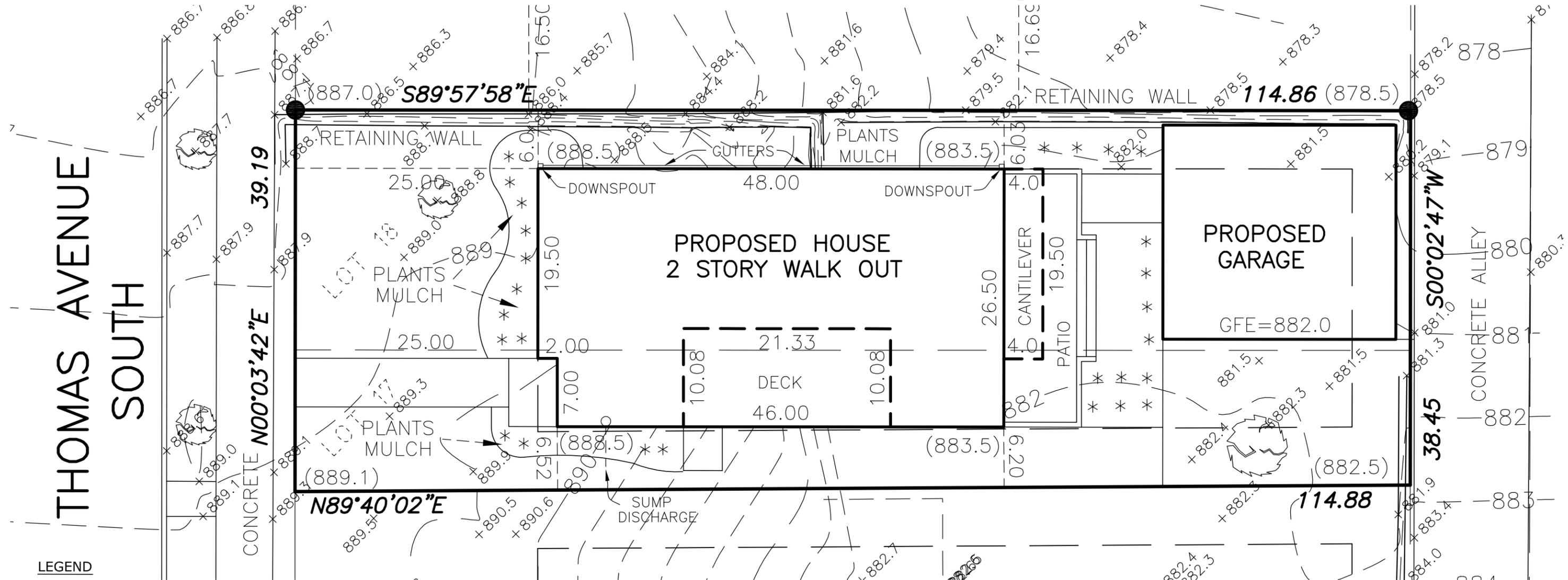
PTS LAND SERVICES, INC.
COMPLETE LAND SURVEYING SERVICES

3933-3935 Thomas Avenue South
Lots 16, 17 and 18, Block 24, COTTAGE CITY
Minneapolis, MN

SHEET
1
OF
1

SITE AND LANDSCAPE PLAN

*Lots 18 and Part of Lot 17, Block 24, COTTAGE CITY
3933 Thomas Avenue South, Minneapolis, MN*



LEGEND

- ☐ GAS METER
- IRON MONUMENT FOUND
- IRON PIPE MONUMENT SET
- * 921.0 EXISTING ELEVATION
- (922.0) PROPOSED ELEVATION
- ⊗ CS CURB STOP
- MANHOLE
- ▣ CATCH BASIN
- ⊘ POWERPOLE
- 🌳 DECIDUOUS TREE

LEGAL DESCRIPTION:

Lot 18, and That part of Lot 17, Block 24, COTTAGE CITY, lying Northerly of a line bearing North 89 degrees 40 minutes 02 seconds East from a point on the West line of said Lot 17 distant 39.19 feet from the Northwest corner of Lot 18, All in Block 24, COTTAGE CITY, according to plat thereof, on file and of record in the Office of the Hennepin County Registrar of Titles. Torrens Property Certificate Number 1218050

PROPOSED ELEVATIONS:

TOP OF BLOCK = 889.0
BASEMENT FLOOR = 880.9
DETACHED GARAGE = 882.0

SET BACK REQUIREMENTS:

25' FRONT BUILDING TO ROW
6' REAR BUILDING TO PROP LINE
6' SIDE BUILDING TO PROP LINE
PER CITY OF MINNEAPOLIS MUNICIPAL CODE



FILE: PLS 14402.7
PLOT DATE: 07-23-14

REV. NO.	DATE	BY	CHK	DESCRIPTION
1	9-10-14	TSP		GUTTERS, DOWNSPOUT, SUMP

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Timothy S. Peterson

NAME Timothy S. Peterson LIC. NO. 45332 DATE 09-06-2014

DESIGNED	TSP
DRAWN	TSP
CHECKED	TSP

PTS LAND SERVICES, INC.
COMPLETE LAND SURVEYING SERVICES

3933-3935 Thomas Avenue South
Lots 16, 17 and 18, Block 24, COTTAGE CITY
Minneapolis, MN

SHEET
1
OF
1

GREENVIEW



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CLIENT:
PDW INVESTMENTS

3933 THOMAS AVE SOUTH
MINNEAPOLIS, MN

NO.	DATE	REVISIONS
6	9/10/14	PERMIT SET
7	9/15/14	REV 1
8	9/19/14	REV 2

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: _____

Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

TITLE SHEET / GENERAL INFO

Date: 9/19/14

Scale: AS NOTED

Drawn By: C.G.

Job No.: 1412

Sheet:

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MINNEAPOLIS VICINITY MAP



PROJECT AREA

LOWER LEVEL (LL) -	1258 SF
MAIN LEVEL (ML) -	1043 SF
UPPER LEVEL (UL) -	1190 SF
TOTAL GROSS SF -	3491 SF
GARAGE -	528 SF

SCOPE OF WORK

NEW HOME ON EXISTING LOT IN LINDEN HILLS, MINNEAPOLIS

SHEET INDEX

A.01	TITLE SHEET / GENERAL INFO
A.02	SITE PLAN
A.03	FOUNDATION PLAN
A.04	LL FLOOR PLANS
A.05	ML FLOOR PLANS
A.06	UL FLOOR PLANS
A.07	FRAMING PLANS
A.08	ROOF FRAMING
A.09	BUILDING ELEVATION
A.10	BUILDING ELEVATION
A.11	BUILDING ELEVATION
A.12	GARAGE ELEVATIONS
A.13	BUILDING SECTION
A.14	BUILDING SECTION
A.15	WALL SECTION
A.16	INTERIOR ELEVATIONS
A.17	INTERIOR ELEVATIONS



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CLIENT:
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3933 THOMAS AVE SOUTH
MINNEAPOLIS, MN

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6	9/10/14	PERMIT SET
7	9/15/14	REV 1
8	9/19/14	REV 2

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Signature: _____

Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

SITE PLAN

Date: 9/19/14

Scale: AS NOTED

Drawn By: C.G.

Job No.: 1412

Sheet:

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GENERAL NOTES:

LOT SIZE - S.F. = 4,459 S.F.

LOT COVERAGE = ALLOWABLE = 50%

-PROPOSED BUILDING ONLY = 1,605 S.F. OR 34%

IMPERVIOUS - S.F. = ALLOWABLE = 65%

-FRONT WALK/STOOP - 142 S.F.

-M. HOUSE - 1,263 S.F.

-PATIO - 238 S.F.

-GARAGE - 528 S.F.

-DRIVEWAY - 368 S.F.

-PROPOSED TOTAL = 2,539 S.F. OR 57%

MAX HEIGHT (MIDLINE OF ROOF) = 30' ALLOWABLE

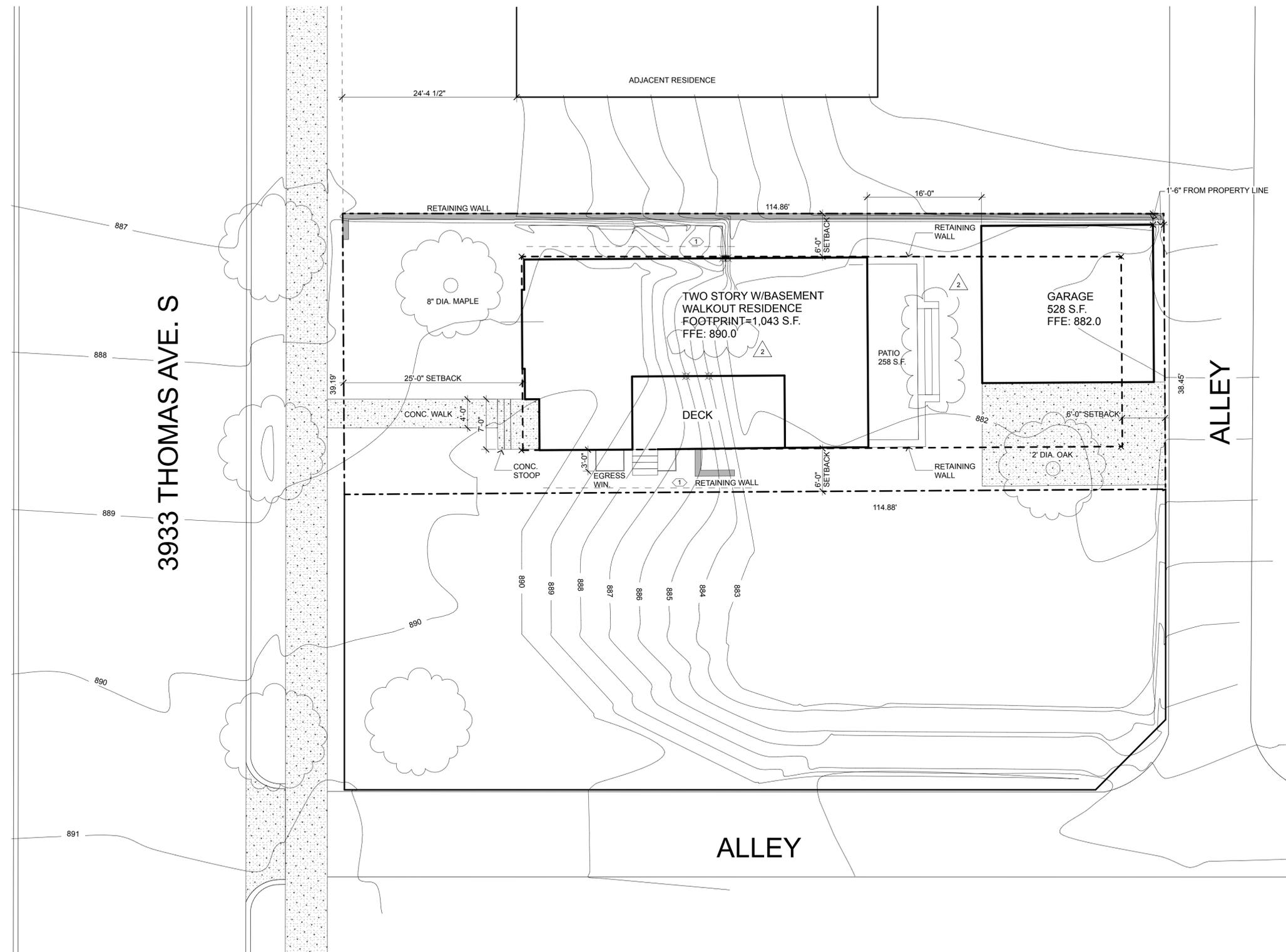
-PROPOSED DESIGN = 23'-6"

MAX HEIGHT (MAX RIDGE HEIGHT) = 35' ALLOWABLE

-PROPOSED DESIGN = 28'-0"

KEY NOTES:

① DRAIN TILE TO DAYLIGHT



1 SITE PLAN
SCALE: 11X17 SIZE DWGS, 1/16" = 1'-0", 22X34 SIZE DWGS, 1/8" = 1'-0"





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8	9/19/14	REV 2

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Signature: _____

Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

LL FLOOR PLANS

Date: 9/19/14
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LEGEND:
NEW 2X4 WALL @ 16" O.C., U.O.N.

NEW 8" CONC. WALL W/ 2X4 FURR WALL @ 16" O.C., U.O.N.

GENERAL NOTES:

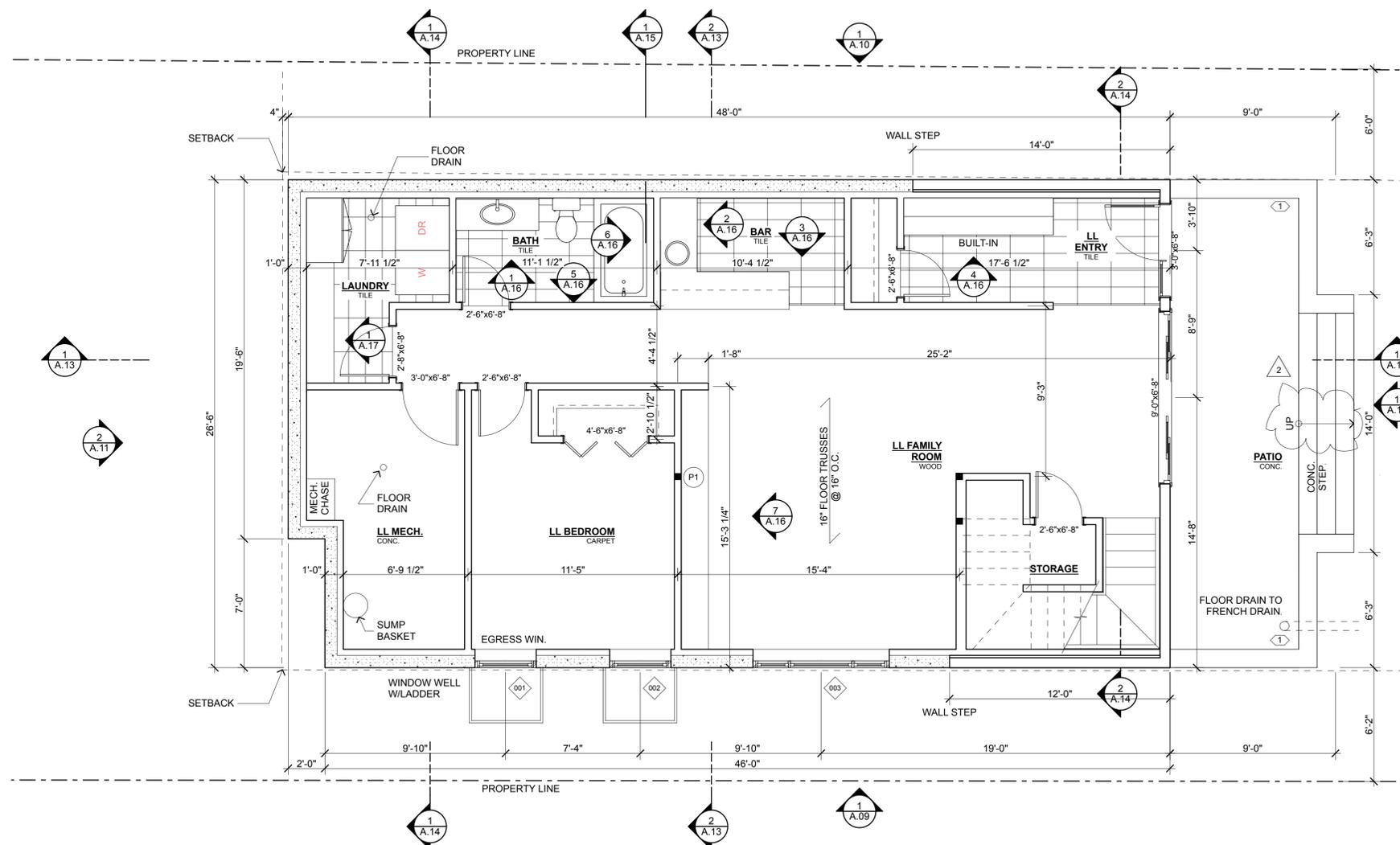
- CONTRACTOR TO VERIFY IN FIELD AND NOTIFY THE ARCHITECT IN WRITING IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN.
- INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALL. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
- CABINET DIMENSIONS ARE TO FACE OF CABINETS UNLESS NOTED OTHERWISE.

GENERAL NOTES:

- ALL NEW INTERIOR WALLS TO 2X4 AT 16" O.C., U.O.N.
- ALL WINDOW JAMBS TO BE 6 9/16".
- ALL DOORS TO BE 4" FOR CORNER, UNLESS OTHERWISE NOTED.

KEY NOTES:

- CONC. BLOCK RETAINING WALL APPROXIMATELY 12" TALL. VERIFY W/ FINAL GRADE



1 LL FLOOR PLAN
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0"; 22X34 SIZE DWGS, 1/4" = 1'-0"



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Signature: _____

Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

ML FLOOR PLANS

Date: 9/19/14
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Job No.: 1412
Sheet:

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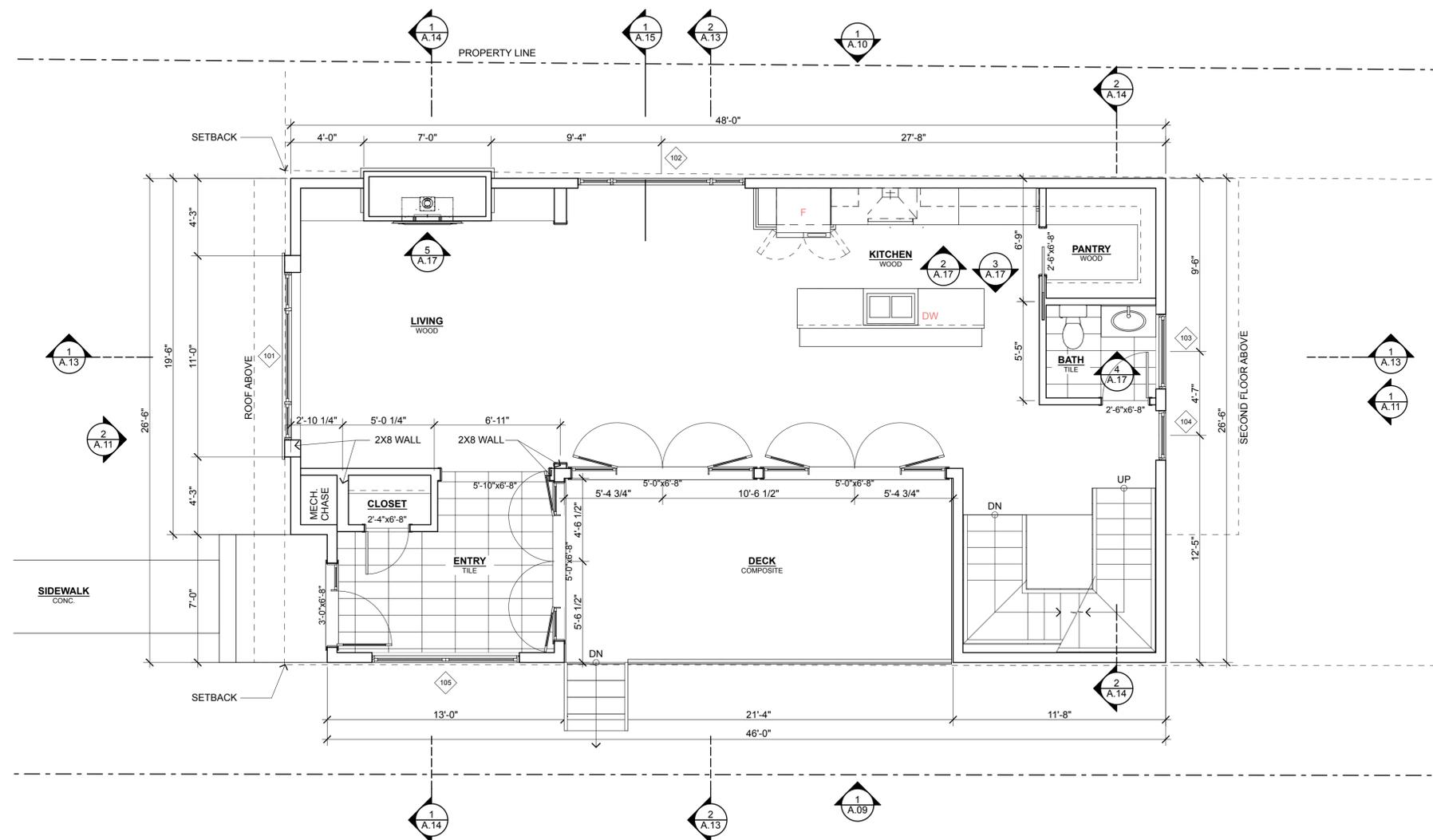
LEGEND:
NEW 2X4 WALL @ 16" O.C., U.O.N.

GENERAL NOTES:

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- INTERIOR DIMENSIONS ARE TO CENTERLINE OF WALL. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
- CABINET DIMENSIONS ARE TO FACE OF CABINETS UNLESS NOTED OTHERWISE.

- GENERAL NOTES:**
- ALL NEW INTERIOR WALLS TO 2X4 AT 16" O.C., U.O.N.
 - ALL WINDOW JAMBS TO BE 6 9/16".
 - ALL DOORS TO BE 4" FOR CORNER, UNLESS OTHERWISE NOTED.

KEY NOTES:



1 FIRST FLOOR PLAN
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"

NORTH





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Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

FRAMING PLANS

Date: 9/19/14

Scale: AS NOTED

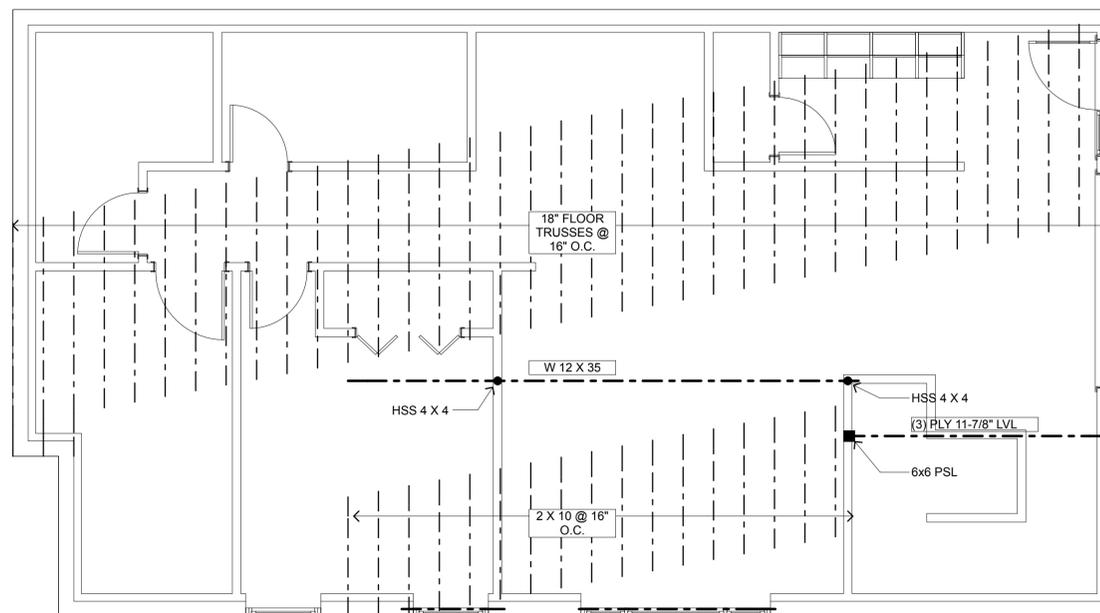
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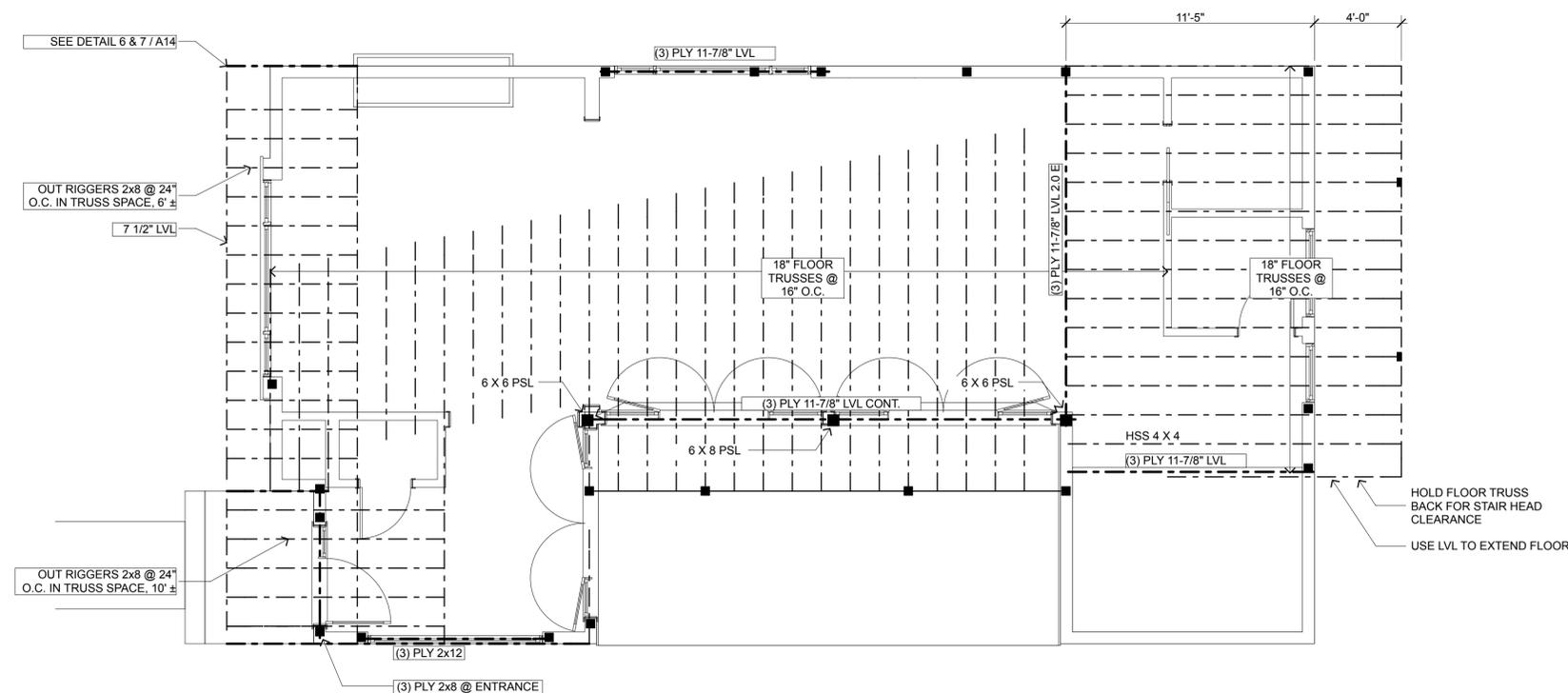
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1 ML FRAMING PLAN
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"



2 UL FRAMING PLAN
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"

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Signature: _____

Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

ROOF FRAMING

Date: 9/19/14
Scale: AS NOTED
Drawn By: C.G.
Job No.: 1412
Sheet:

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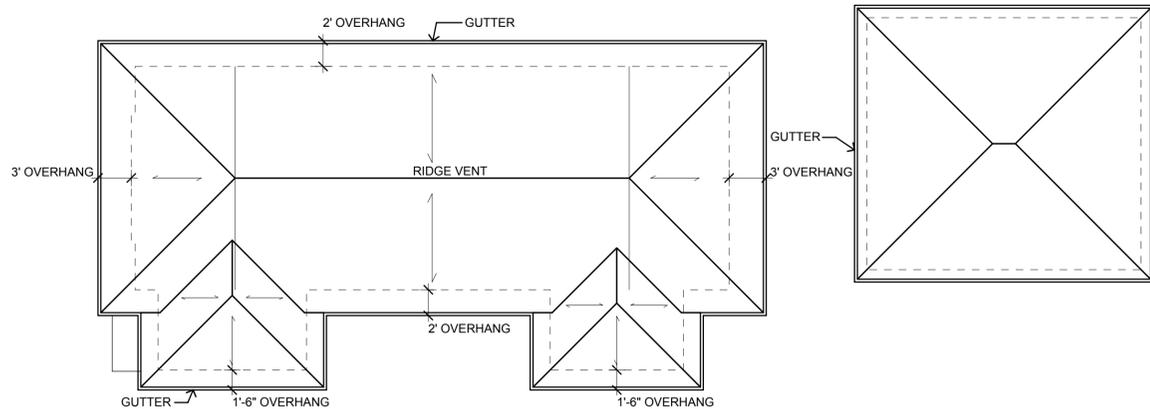
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WINDOW SCHEDULE

ID	PRODUCT CODE	TYPE	R.O. WIDTH	R.O. HEIGHT	MATL	JAMB SIZE	REMARKS
001	CXW145	CASEMENT	3'-0 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
002	CXW145	CASEMENT	3'-0 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
003	CW345	CASEMENT	7'-1 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
004	AW41	AWNING	4'-0 1/2"	2'-5"	WOOD/CLAD	6 9/16"	
101	C145-P5045-C145	CASE-PIC-CASE	9'-1 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
102	C145-P5045-C145	CASE-PIC-CASE	9'-1 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
103	AW41	AWNING	4'-0 1/2"	2'-5"	WOOD/CLAD	6 9/16"	
104	CX145	CASEMENT	2'-8"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
105	AW41-AW41	AWNING	8'-0 1/2"	2'-5"	WOOD/CLAD	6 9/16"	
201	CW145-P4545-CW145	CASE-PIC-CASE	9'-2 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
202	CX145	CASEMENT	2'-8"	4'-5 1/2"	WOOD/CLAD	6 9/16"	TEMPER
203	CW145-P4545-CW145	CASE-PIC-CASE	9'-2 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
204	CX145	CASEMENT	2'-8"	4'-5 1/2"	WOOD/CLAD	6 9/16"	TEMPER
205	CXW245	CASEMENT	6'-0 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
206	CN345	CASEMENT	5'-1 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
207	CW145-P4545-CW145	CASE-PIC-CASE	9'-2 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
208	CN345	CASEMENT	5'-1 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
209	AW41	AWNING	4'-0 1/2"	2'-5"	WOOD/CLAD	6 9/16"	
210	AW41	AWNING	4'-0 1/2"	2'-5"	WOOD/CLAD	6 9/16"	
211	CN345	CASEMENT	5'-1 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
212	CW145-P4545-CW145	CASE-PIC-CASE	9'-2 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
213	CN345	CASEMENT	5'-1 1/2"	4'-5 1/2"	WOOD/CLAD	6 9/16"	
214	CX145	CASEMENT	2'-8"	4'-5 1/2"	WOOD/CLAD	6 9/16"	

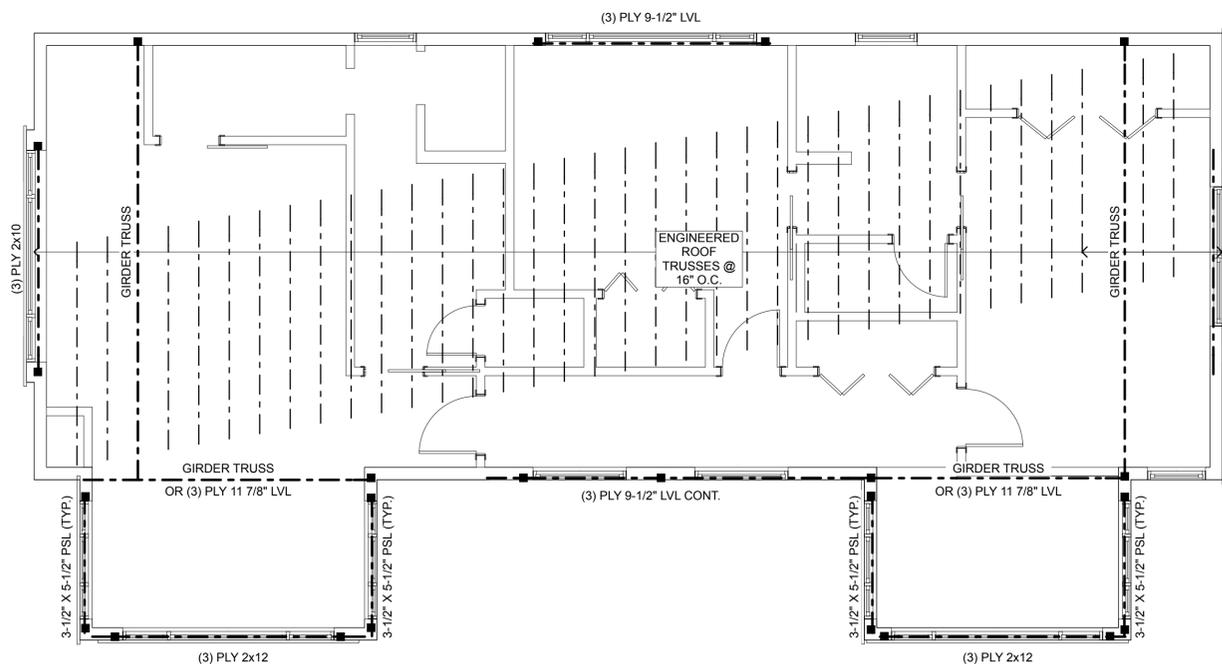
WINDOW MFG. TO BE ANDERSON, 400 SERIES

- EXTERIOR CLAD COLOR TO BE DETERMINED
- INTERIOR WOOD TO BE PINE
- GLASS TO BE CLEAR
- HARDWARE TO BE DETERMINED
- SCREEN TO BE HIGH TRANSPARENCY WITH HALF SCREEN



1 ROOF PLAN

SCALE: 11X17 SIZE DWGS, 1/16" = 1'-0", 22X34 SIZE DWGS, 1/8" = 1'-0"



2 ROOF FRAMING PLAN

SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"



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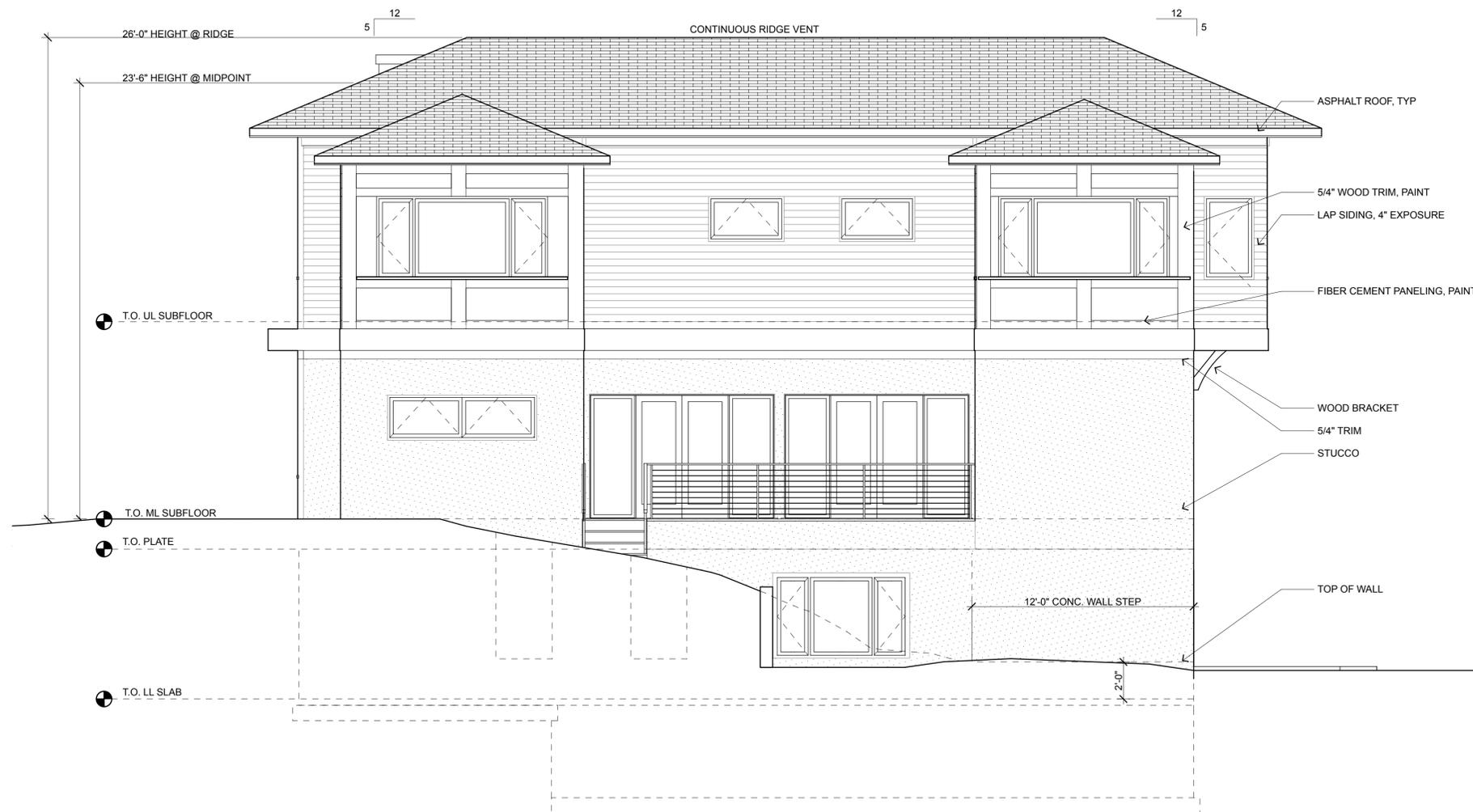
2637 27th Ave. S., #220A
Minneapolis, MN 55406
612.789.9287 f.612.728.9287
tan@nguyenarchitects.com

CLIENT:
PDW INVESTMENTS

3933 THOMAS AVE SOUTH
MINNEAPOLIS, MN

WINDOW REQUIREMENTS

-UPPER -TOTAL = 22%
-MAIN -TOTAL = 20%



NO.	DATE	REVISIONS
6	9/10/14	PERMIT SET
7	9/15/14	REV 1
8	9/19/14	REV 2

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: _____

Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

BUILDING ELEVATION

Date: 9/19/14

Scale: AS NOTED

Drawn By: C.G.

Job No.: 1412

Sheet:

A.09

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2
1 SOUTH BUILDING ELEVATION
 SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"



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ARCHITECTS

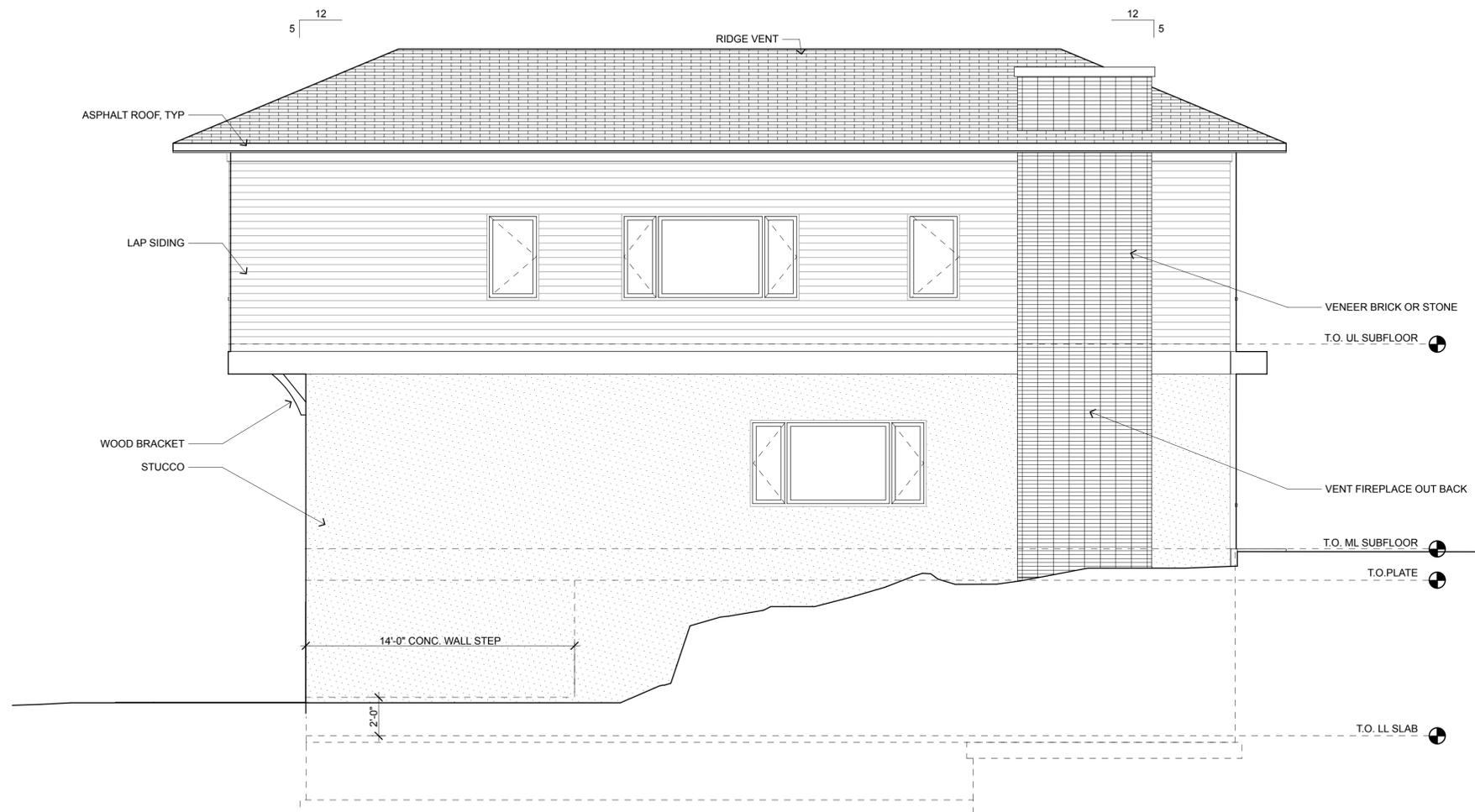
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Minneapolis, MN 55406
612.789.9287 f.612.728.9287
tan@nguyenarchitects.com

CLIENT:
PDW INVESTMENTS

3933 THOMAS AVE SOUTH
MINNEAPOLIS, MN

WINDOW REQUIREMENTS

-UPPER -TOTAL = 11%
-MAIN -TOTAL = 8%



1 NORTH BUILDING ELEVATION
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"

NO.	DATE	REVISIONS
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7	9/15/14	REV 1
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Signature: _____

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Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

BUILDING ELEVATION

Date: 9/19/14

Scale: AS NOTED

Drawn By: C.G.

Job No.: 1412

Sheet:

A.10



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8	9/19/14	REV 2

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Signature: _____

Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

BUILDING ELEVATION

Date: 9/19/14
Scale: AS NOTED
Drawn By: C.G.
Job No.: 1412
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WINDOW REQUIREMENTS

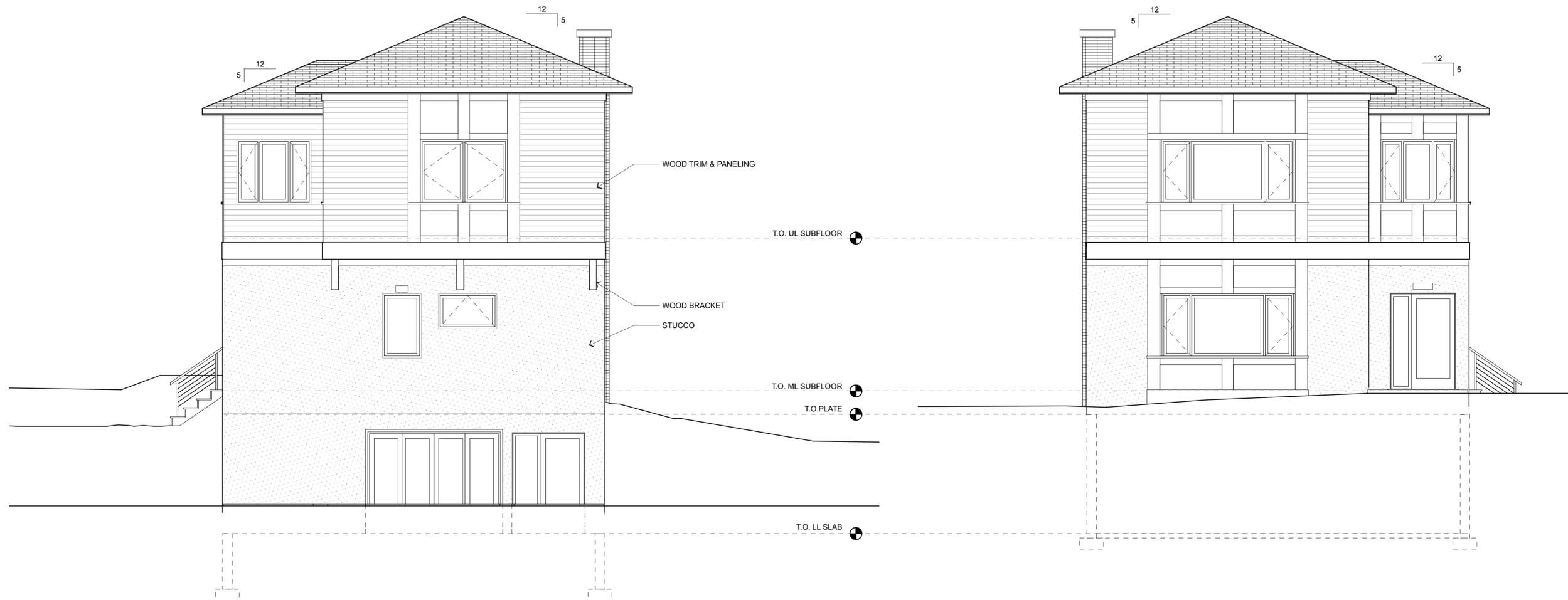
-UPPER -TOTAL = 22%

-MAIN -TOTAL = 22%

WINDOW REQUIREMENTS

-UPPER -TOTAL = 28%

-MAIN -TOTAL = 14%



1 **EAST BUILDING ELEVATION**
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"

2 **WEST BUILDING ELEVATION**
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"

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PDW INVESTMENTS

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MINNEAPOLIS, MN

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7	9/15/14	REV 1
8	9/19/14	REV 2

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Signature: _____

Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

GARAGE ELEVATIONS

Date: 9/19/14

Scale: AS NOTED

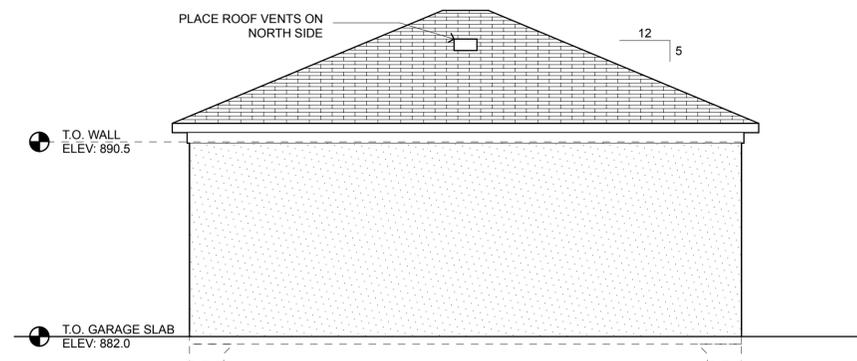
Drawn By: C.G.

Job No.: 1412

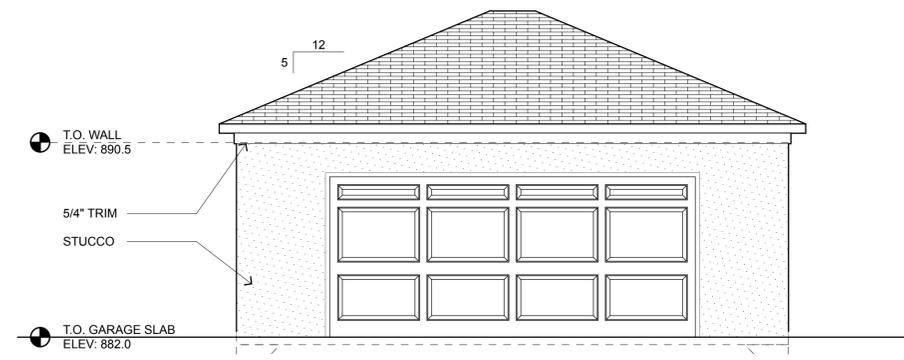
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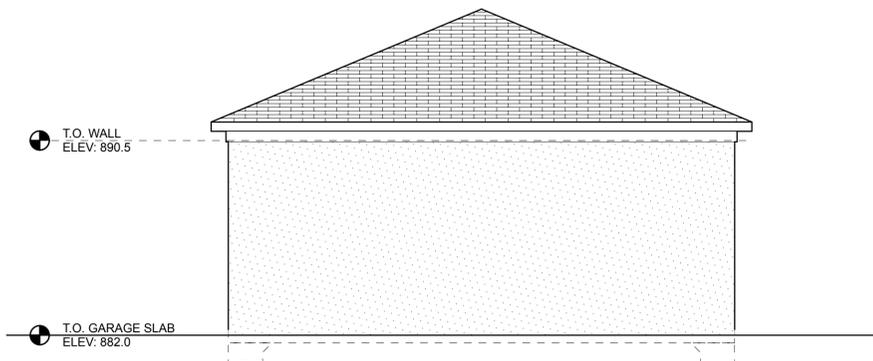
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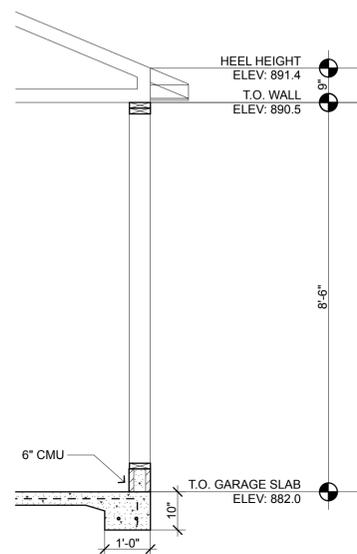
4 NORTH GARAGE ELEVATION
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"



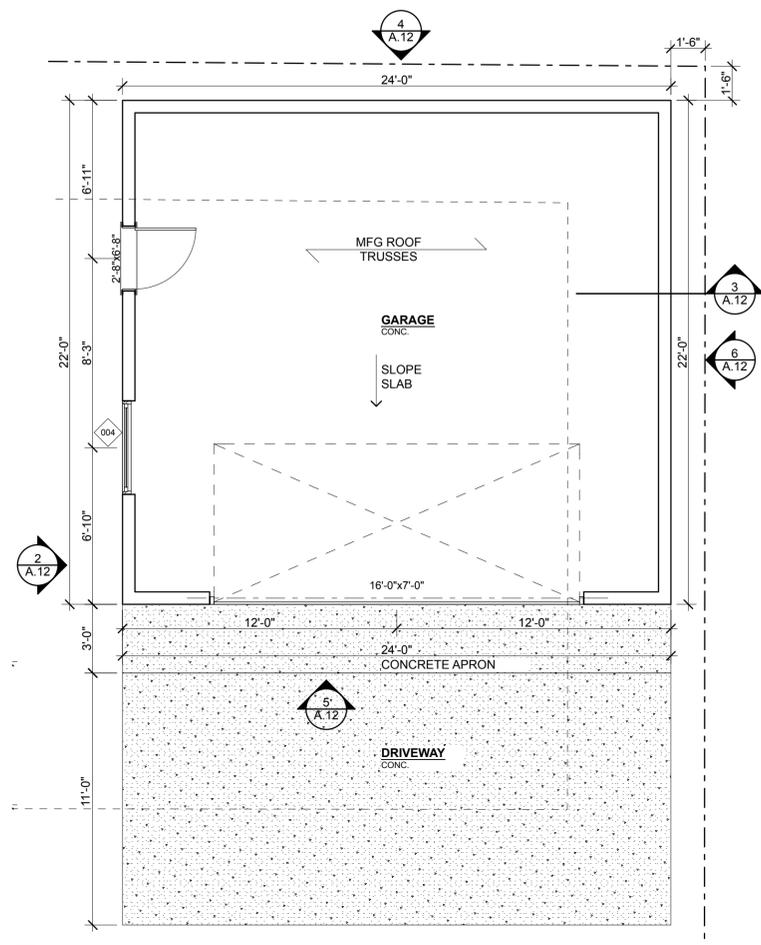
5 SOUTH GARAGE ELEVATION
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"



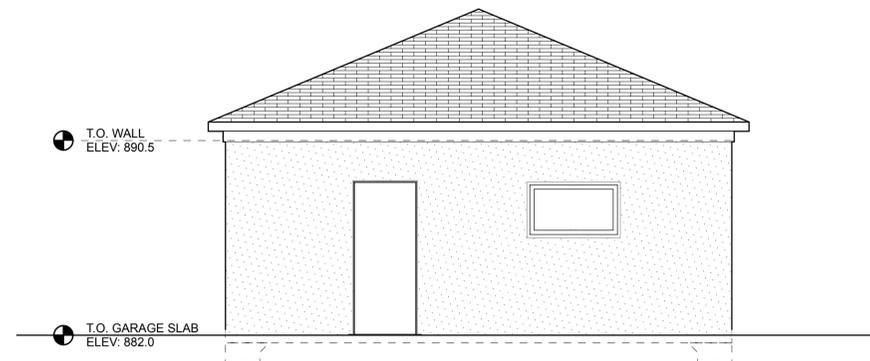
6 EAST GARAGE ELEVATION
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"



3 GARAGE WALL SECTION
SCALE: 11X17 SIZE DWGS, 1/4" = 1'-0", 22X34 SIZE DWGS, 1/2" = 1'-0"



1 GARAGE FLOOR PLAN
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"



2 WEST GARAGE ELEVATION
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"

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NO.	DATE	REVISIONS
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Signature: _____

Typed or Printed Name: *** ARCHITECT ***

Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

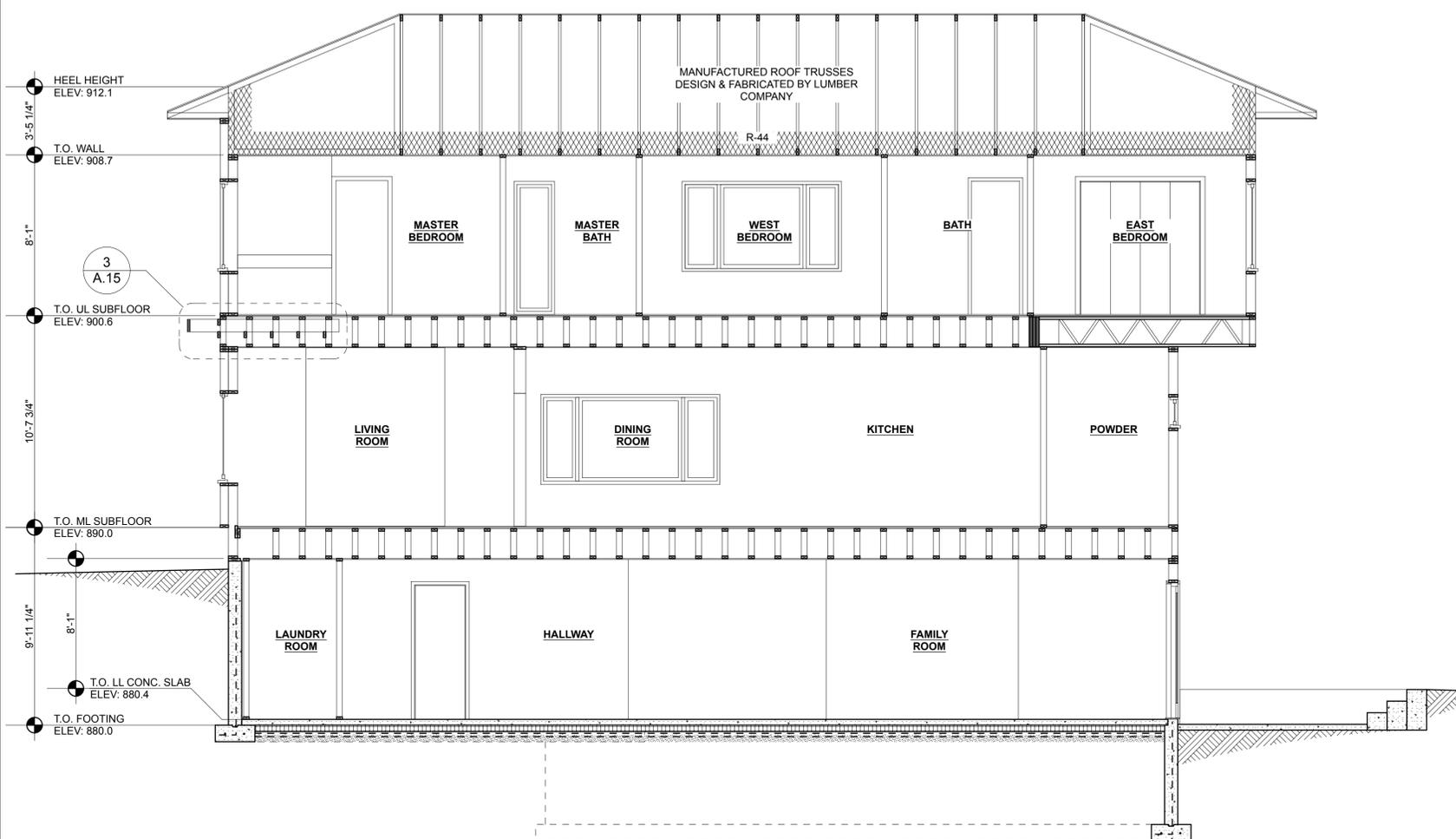
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BUILDING SECTION

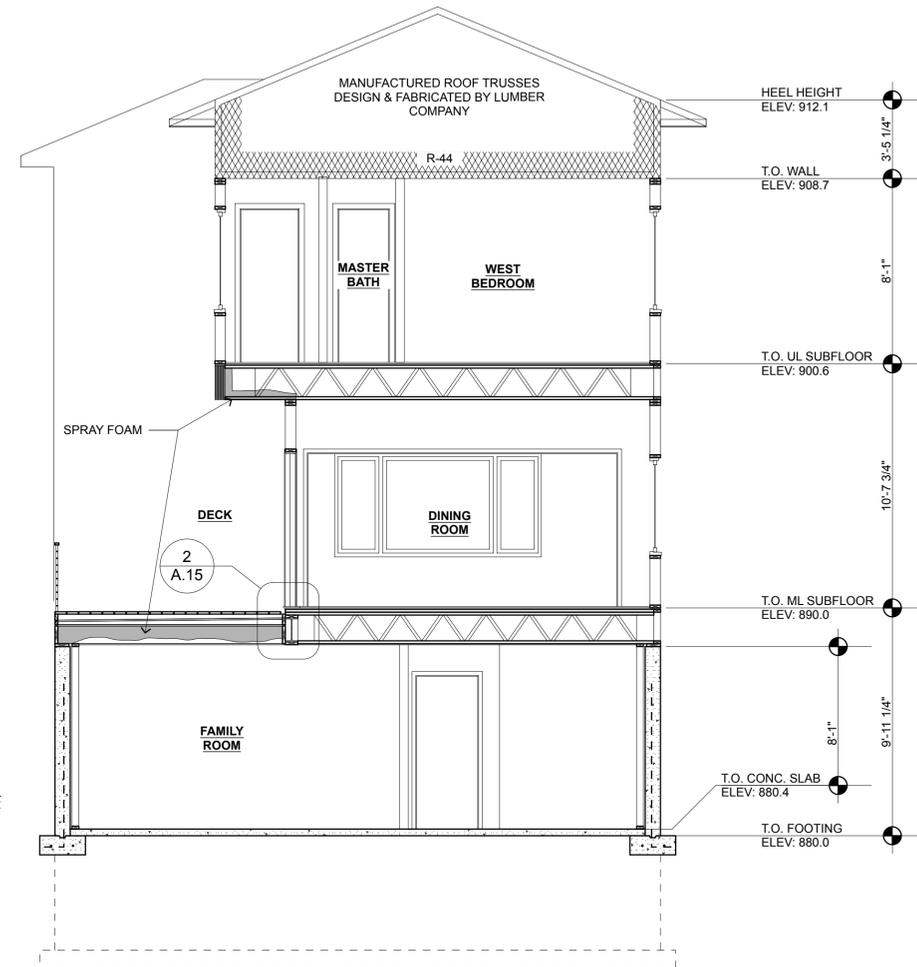
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Drawn By: C.G.
Job No.: 1412
Sheet:

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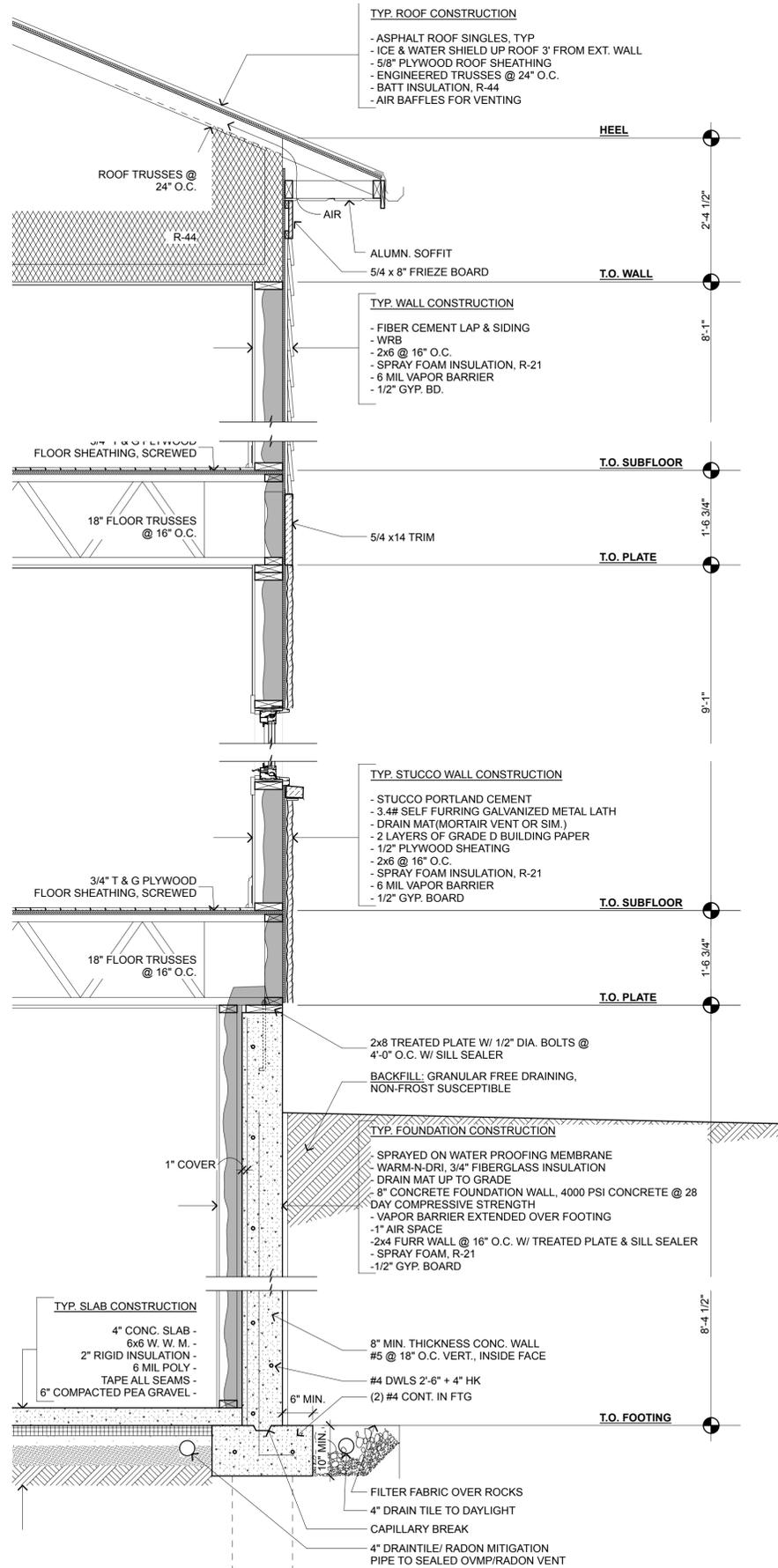


1 EAST WEST BUILDING ELEVATION
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"

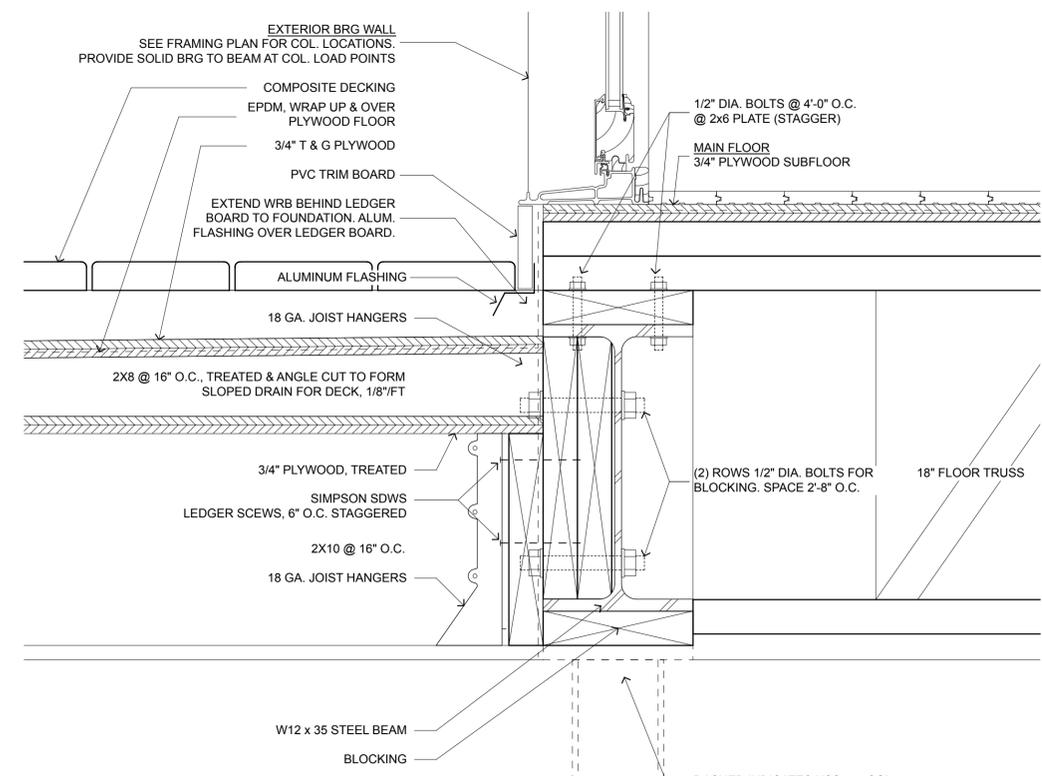


2 NORTH SOUTH BUILDING ELEVATION
SCALE: 11X17 SIZE DWGS, 1/8" = 1'-0", 22X34 SIZE DWGS, 1/4" = 1'-0"

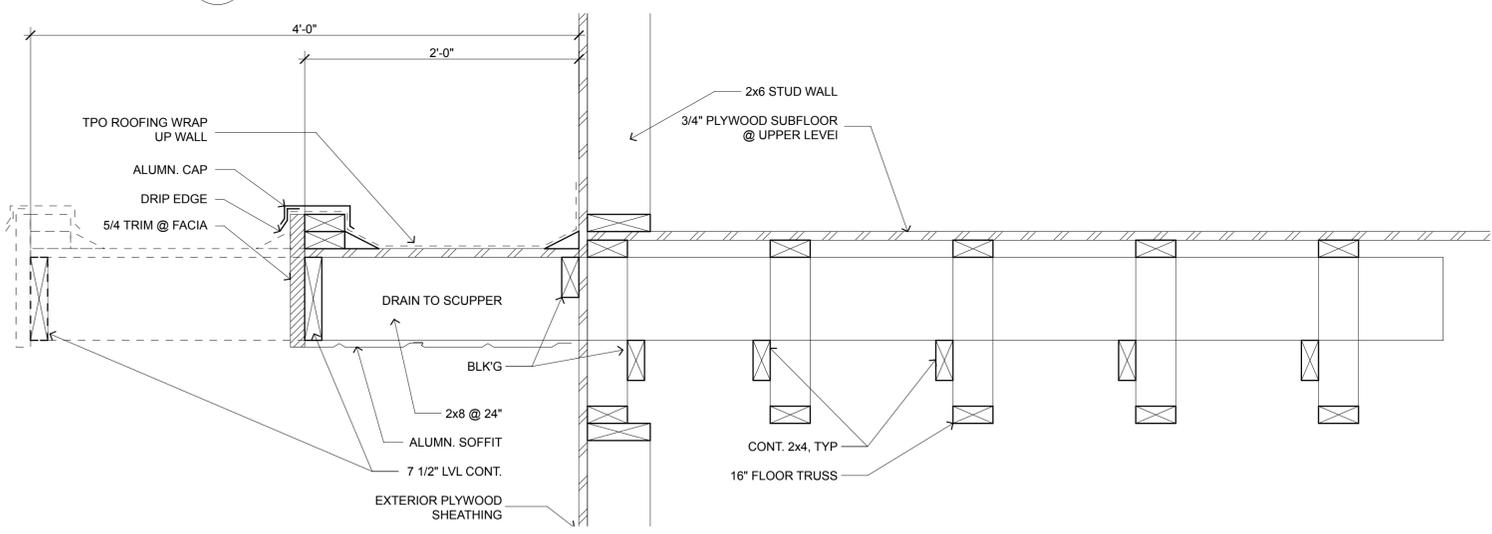
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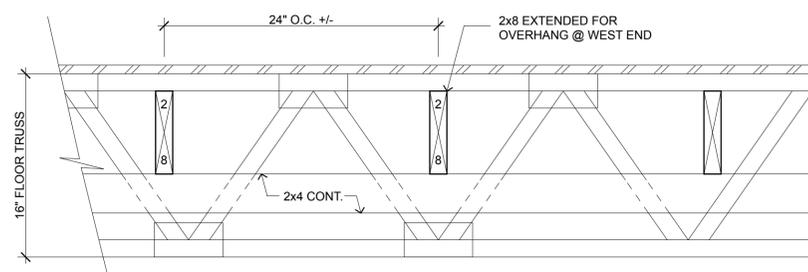
1 TYP. WALLS SECTION
SCALE: 11X17 SIZE DWGS, 3/8" = 1'-0", 22X34 SIZE DWGS, 3/4" = 1'-0"



2 DECK CONNECTION DTL
SCALE: 11X17 SIZE DWGS, 1 1/2" = 1'-0", 22X34 SIZE DWGS, 3" = 1'-0"



3 WEST WALLS SECTION @ ROOF
SCALE: 11X17 SIZE DWGS, 3/4" = 1'-0", 22X34 SIZE DWGS, 1 1/2" = 1'-0"



4 CANTILEVER TRUSS ELEVATION @ WEST WALL
SCALE: 11X17 SIZE DWGS, 3/4" = 1'-0", 22X34 SIZE DWGS, 1 1/2" = 1'-0"

CLIENT: **PDW INVESTMENTS**

3933 THOMAS AVE SOUTH
MINNEAPOLIS, MN

NO.	DATE	REVISIONS
6	9/10/14	PERMIT SET
7	9/15/14	REV 1
8	9/19/14	REV 2

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: _____
Typed or Printed Name: *** ARCHITECT ***
Date: _____ Reg. No.: 44730

PROJECT NAME:

NEW HOME

LAYOUT NAME:

WALL SECTION

Date: 9/19/14
Scale: AS NOTED
Drawn By: C.G.
Job No.: 1412
Sheet:

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SITE AND LANDSCAPE PLAN

Lots 16 and Part of Lot 17, Block 24, COTTAGE CITY
3935 Thomas Avenue South, Minneapolis, MN

LEGEND

- ☐ GAS METER
- IRON MONUMENT FOUND
- IRON PIPE MONUMENT SET
- + 921.0 EXISTING ELEVATION
- (922.0) PROPOSED ELEVATION
- ⊗ CS CURB STOP
- MANHOLE
- ▨ CATCH BASIN
- ⊘ POWERPOLE
- ⊕ DECIDUOUS TREE

LEGAL DESCRIPTION:

Lot 16, and That part of Lot 17, Block 24, COTTAGE CITY, lying Southerly of a line bearing North 89 degrees 02 minutes 02 seconds East from a point on the West line of said Lot 17 distant 39.19 feet from the Northwest corner of Lot 18, All in Block 24, COTTAGE CITY, according to plat thereof, on file and of record in the Office of the Hennepin County Registrar of Titles. Torrens Property

PROPOSED ELEVATIONS:

TOP OF BLOCK = 891.60
BASEMENT FLOOR = 882.60
DETACHED GARAGE = 883.0

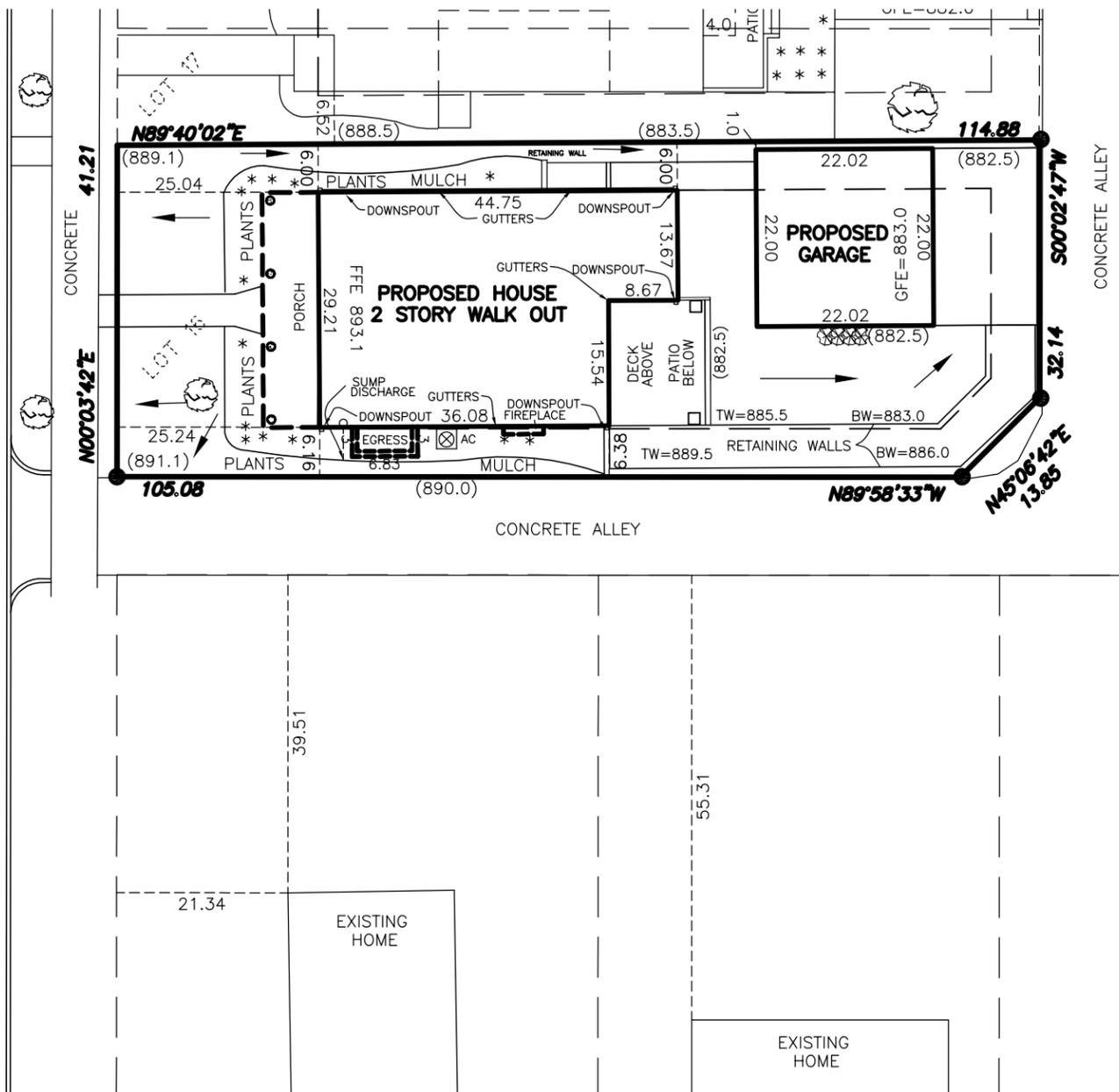
SET BACK REQUIREMENTS:

25' FRONT BUILDING TO ROW
6' REAR BUILDING TO PROP LINE
6' SIDE BUILDING TO PROP LINE
PER CITY OF MINNEAPOLIS MUNICIPAL CODE

AREA CALCULATIONS:

LOT AREA=4,728 SQUARE FEET +/-
PERVIOUS SURFACE=2249 SQUARE FEET +/-

THOMAS AVENUE SOUTH



I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Timothy S. Peterson

NAME Timothy S. Peterson LIC. NO. 45332 DATE 09-10-2014

DESIGNED TSP
DRAWN TSP
CHECKED TSP

PTS LAND SERVICES, INC.
COMPLETE LAND SURVEYING SERVICES

3935 Thomas Avenue South
Lots 16 and PO Lot 17, Block 24, COTTAGE CITY
Minneapolis, MN

SHEET 1 OF 1

FILE: PTS 14082.7
DATE: 09-29-14

GENERAL NOTES

- ALL NECESSARY PERMITS FOR SITE DEMOLITION AND CONSTRUCTION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK.
- GENERAL CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIAL AS REQUIRED BY THE DRAWINGS AND SPECIFICATION IN FULL ACCORDANCE WITH ALL CODES AND ORDINANCES.
- CONTRACTOR SHALL PROTECT ALL ADJACENT LANDS AND PROPERTIES FROM DAMAGE DURING DEMOLITION WORK AND CONSTRUCTION. ANY OFF-SITE AREAS DISTURBED SHALL BE RETURNED TO A CONDITION EQUAL OR BETTER THAN THE EXISTING CONDITION.
- NO DEMOLITION MATERIAL SHALL BE DISPOSED OF ON-SITE. ALL DEBRIS SHALL BE HAULED OFF SITE TO A RECYCLING AREA APPROVED BY THE LOCAL JURISDICTION FOR THE HANDLING OF DEMOLITION DEBRIS.
- ALL STRUCTURES NOT LABELED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- ANY DAMAGED STRUCTURES THAT ARE TO REMAIN SHALL BE REPAIRED BY THE CONTRACTOR TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION AT NO ADDITIONAL COST.
- CONTRACTOR SHALL NOTIFY THE DESIGNER OF DISCREPANCIES THAT AFFECT DESIGN BETWEEN PLANS AND FIELD CONDITIONS.
- GENERAL CONTRACTOR MUST SUBMIT CONSTRUCTION DOCUMENTS FOR DESIGN BUILD MECHANICAL, ELECTRICAL AND FIRE PROTECTION FOR APPROVAL OF DESIGN TEAM PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO COORDINATE ALL UTILITY RELOCATION WITH THE APPROPRIATE UTILITY COMPANIES. THE LOCATION, SIZES AND TYPES OF ALL EXISTING UTILITIES, SUCH AS WATERMANS, SEWERS, ETC. AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE DESIGNER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION AND HAVE THEIR FACILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK BEING DONE.
- EXISTING MATERIALS ARE TO BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL REQUIREMENTS. ANY MATERIAL DETERMINED BY THE ENVIRONMENTAL ENGINEER TO BE HAZARDOUS ARE TO BE REMOVED IN ACCORDANCE WITH THEIR RECOMMENDATION.
- FIELD VERIFY ALL MILLWORK ITEMS PRIOR TO FABRICATION OR INSTALLATION. INFORM DESIGNER OF ANY DIMENSIONAL DISCREPANCIES. PROVIDE ALL SHOP DRAWINGS AND SAMPLES AS SPECIFIED.

ZONING INFORMATION

ZONING DESIGNATION: R1

SETBACK REQUIREMENTS:

25' FRONT
6' REAR BUILDING TO PROPERTY LINE
6' SIDE BUILDING TO PROPERTY LINE

ACCESSORY STRUCTURE SETBACK REQUIREMENTS:
GARAGE

1' SIDE
1' ALLEY/REAR

LOT SIZE:

IRREGULAR

114.88' X 32.14' X 13.85' X 105.08' X 41.21' = 4,689 SQ.FT

FLOOR AREA RATIO (FAR) MAX. (4,689 X .5 = 2,344.5 SQ. FT.)

PROPOSED FAR:

BUILDING FOOTPRINT BASEMENT 1,172 SQ. FT. (NOT INCLUDED)
SEE ELEVATIONS/BASEMENT PLAN FOR 4' PERIMETER EXPOSURE

BUILDING FOOTPRINT FIRST FLOOR: 1,172 SQ. FT.
BUILDING SECOND FLOOR: 1,172 SQ. FT.
TOTAL 2,344 SQ. FT.

TOTAL BUILDING = 3,516 SQ. FT.

IMPERVIOUS MAX. ALLOWED (4,689 X 65% = 3,047.85 SQ. FT)

IMPERVIOUS PROPOSED:

BUILDING: 1,172 SQ. FT.
GARAGE: 484 SQ. FT.
DRIVEWAY: 291 SQ. FT.
BACK PATIO & STEPS 187 SQ. FT.
NORTH WALKWAY 91 SQ.FT
FRONT PORCH 200 SQ. FT.
FRONT WALK & STEPS 86 SQ. FT.
TOTAL 2,511 SQ. FT. (53%)

FOR GLAZING CALCULATIONS SEE EXTERIOR ELEVATIONS



RESIDENCE
3935 THOMAS AVENUE SOUTH
MINNEAPOLIS, MN 55410

VICINITY MAP



3935 THOMAS AVE SO
MINNEAPOLIS, MN



PROPERTY DESCRIPTION

PROPERTY I D # 08-028-24-12-0201
WATERSHED 3
LOTS 16 & 17, BLOCK 24, COTTAGE CITY, 3935 THOMAS AVENUE SOUTH, MINNEAPOLIS, MN

PROJECT DIRECTORY

OWNER:	CONTRACTOR:	DESIGNER:
LJG INVESTMENTS, LLC 3617 KIPLING AVENUE SOUTH ST. LOUIS PARK, MN 55416	PDW INVESTMENTS, LLC 7822 EGAN DRIVE SAVAGE, MN 55378	CHAPMAN DESIGN 4222 ABBOTT AVENUE SOUTH MINNEAPOLIS, MN 55410
CONTACT: ALEX GESE EMAIL: ALEX@LJGINVESTMENTS.COM PHONE: 347-645-7391	CONTACT: PAUL WHITEMAN EMAIL: WHITEMANP@GMAIL.COM PHONE: 612-501-5224	CONTACT: DAWN CHAPMAN EMAIL: DAWNBREKKENCHAPMAN@GMAIL.COM PHONE: 612-308-5097

SHEET INDEX

- | | |
|-------|------------------------------------|
| T-1 | TITLE SHEET |
| SP-1 | SITE PLAN |
| A-1.0 | FOUNDATION & BASEMENT PLAN |
| A-1.1 | FIRST AND SECOND FLOOR PLAN |
| A-1.2 | ROOF PLAN |
| A-2.1 | EXTERIOR ELEVATIONS - EAST & SOUTH |
| A-2.2 | EXTERIOR ELEVATIONS - WEST & NORTH |
| A-2.3 | EXTERIOR ELEVATIONS - GARAGE |
| A-3.1 | BUILDING SECTIONS |
| A-3.2 | WALL SECTIONS & DETAILS |



**CHAPMAN
DESIGN**

4222 Abbott Avenue So.
Minneapolis, MN 55410
612-308-5097
dawnbrekkenchapman@gmail.com

LJG INVESTMENTS, LLC

3935 Thomas Avenue South

Minneapolis, MN 55410

Project Number 3935 CD
Drawn by Author
Checked by Checker

ISSUE / DATE
PERMIT / 09-29-14

TITLESHEET

T-1

ZONING DESIGNATION: R1

SETBACK REQUIREMENTS:

25' FRONT
6' REAR BUILDING TO PROPERTY LINE
6' SIDE BUILDING TO PROPERTY LINE

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GARAGE

1' SIDE
1' ALLEY/REAR

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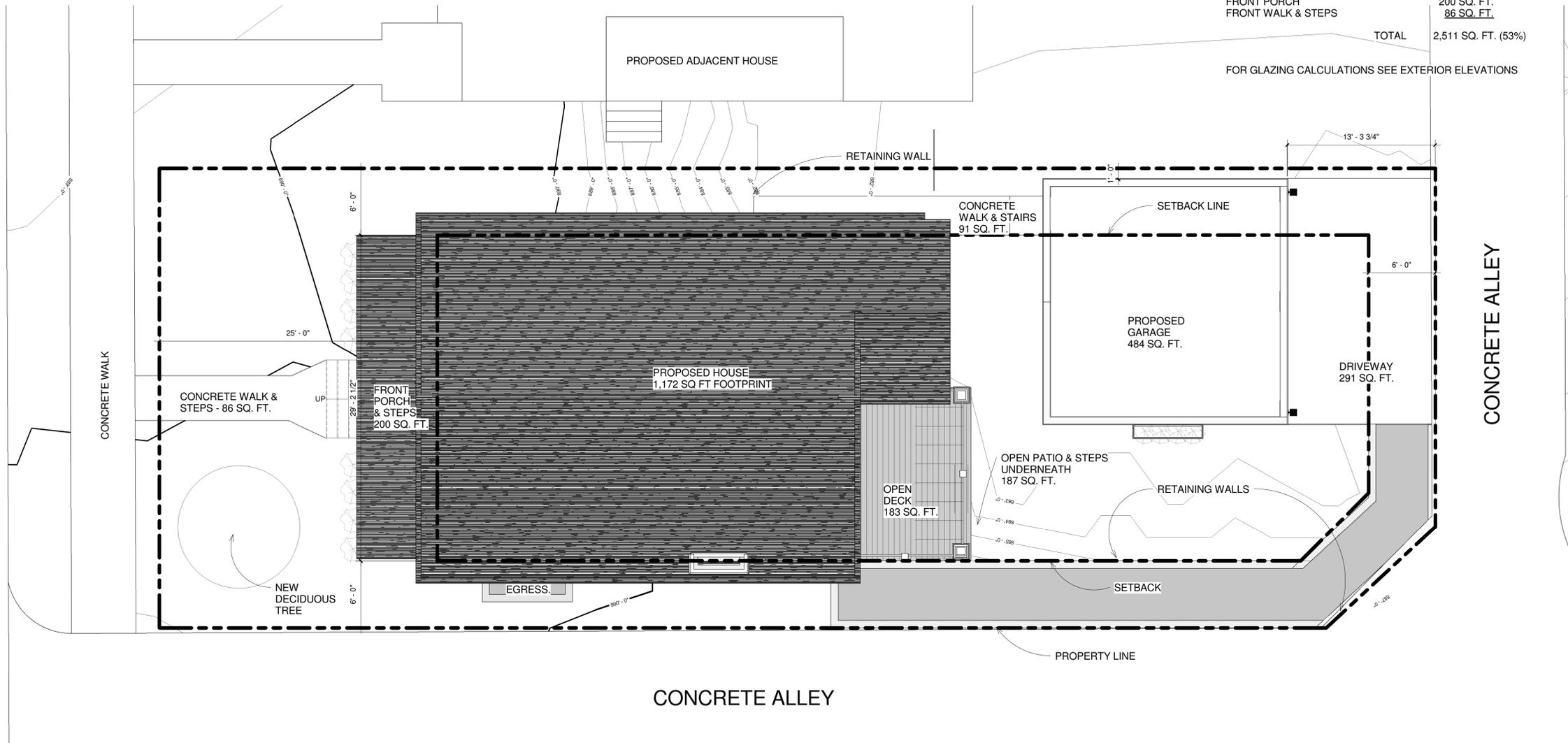
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BUILDING: 1,172 SQ. FT.
GARAGE: 484 SQ. FT.
DRIVEWAY: 291 SQ. FT.
BACK PATIO & STEPS 187 SQ. FT.
NORTH WALKWAY 91 SQ. FT.
FRONT PORCH 200 SQ. FT.
FRONT WALK & STEPS 86 SQ. FT.
TOTAL 2,511 SQ. FT. (53%)

FOR GLAZING CALCULATIONS SEE EXTERIOR ELEVATIONS

THOMAS AVENUE SOUTH



CONCRETE ALLEY

CONCRETE ALLEY

1 SITE PLAN

scale: 3/16" = 1'-0"



CHAPMAN DESIGN

4222 Abbott Avenue So.
Minneapolis, MN 55410
612-308-5097

dawnbrekkenchapman@gmail.com

LJG INVESTMENTS, LLC

3935 Thomas Avenue South

Minneapolis, MN 55410

Project Number 3935 CD
Drawn by DBC
Checked by DBC

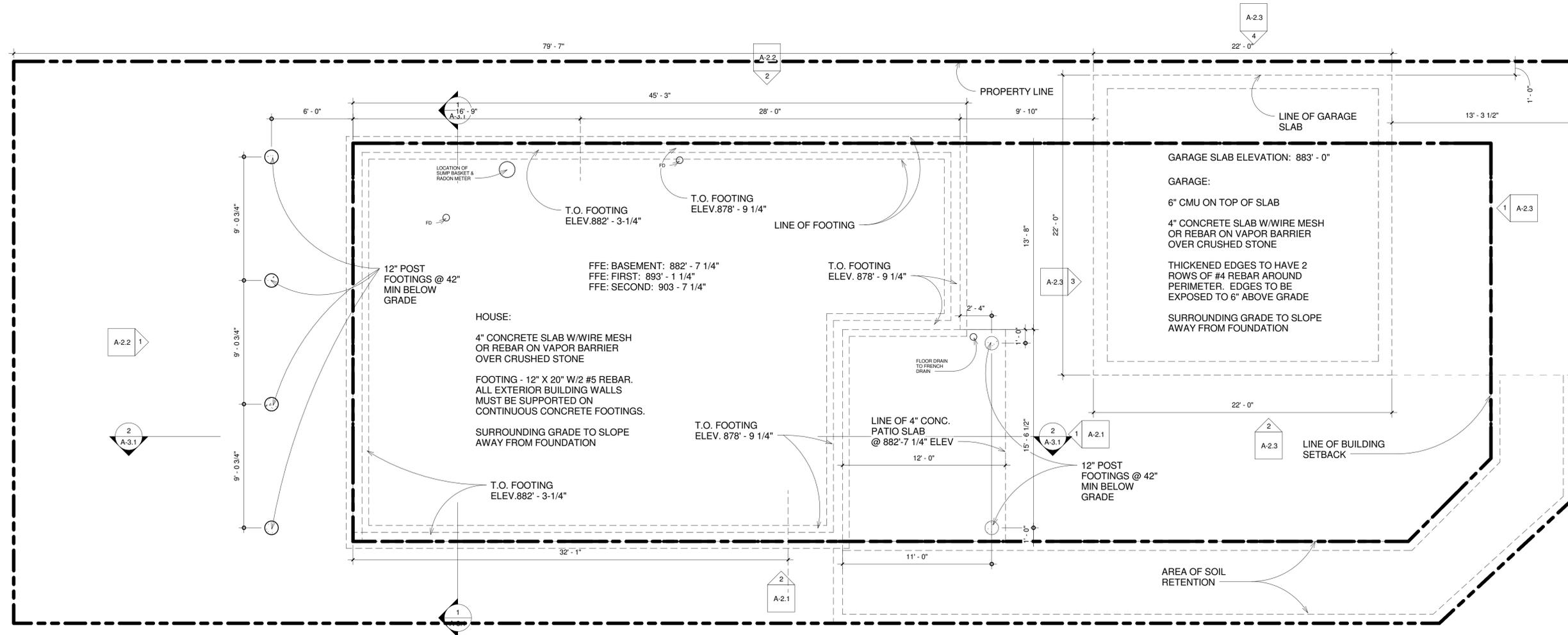
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SITE PLAN

SP-1

FOUNDATION PLAN NOTES

1. ALL EXTERIOR WALLS MUST BE SUPPORTED ON CONTINUOUS CONCRETE FOOTINGS.
2. EXCEPT FOR DETACHED GARAGES, SHED OR OTHER ACCESSORY STRUCTURES, THE BOTTOM OF FOUNDATIONS SHALL EXTEND A MINIMUM OF 42 INCHES BELOW FINISHED GRADE. ALL EXTERIOR FOOTINGS MUST EXTEND 12 INCHES BELOW UNDISTURBED GROUND.
3. FULL BASEMENT FLOOR SHALL BE A 4 INCH THICK CONCRETE SLAB POURED TIGHT AGAINST THE BOTTOM OF THE FOUNDATION WALL.
4. CONCRETE STRENGTH SHALL BE 4000 PSI @ 28 DAYS.
5. STAGGER SPLICES WHERE POSSIBLE:
USE 2'-6" LAP FOR #5 REBAR
USE 2'-0" LAP FOR #4 REBAR



1 FOUNDATION

scale: 1/4" = 1'-0"



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**FOUNDATION
PLAN**

A-1.0



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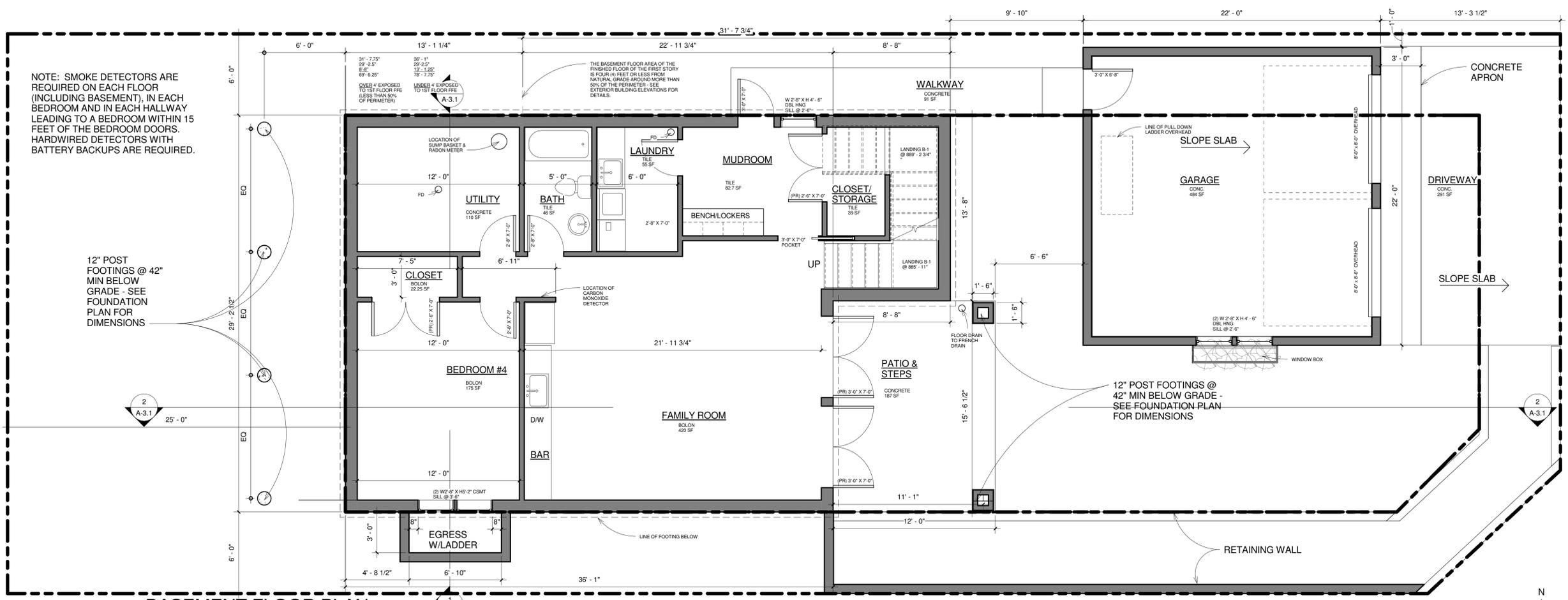
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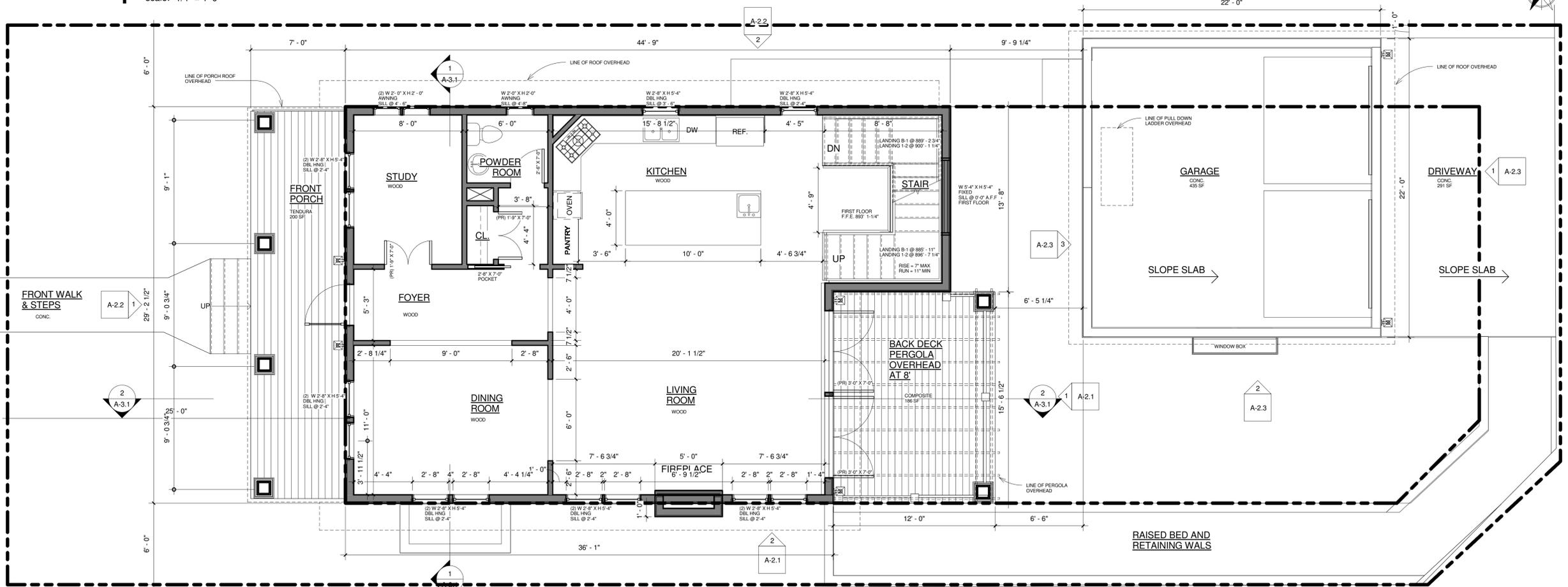
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**FLOOR PLANS
BASEMENT &
FIRST**

A-1.1



1 BASEMENT FLOOR PLAN
scale: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
scale: 1/4" = 1'-0"



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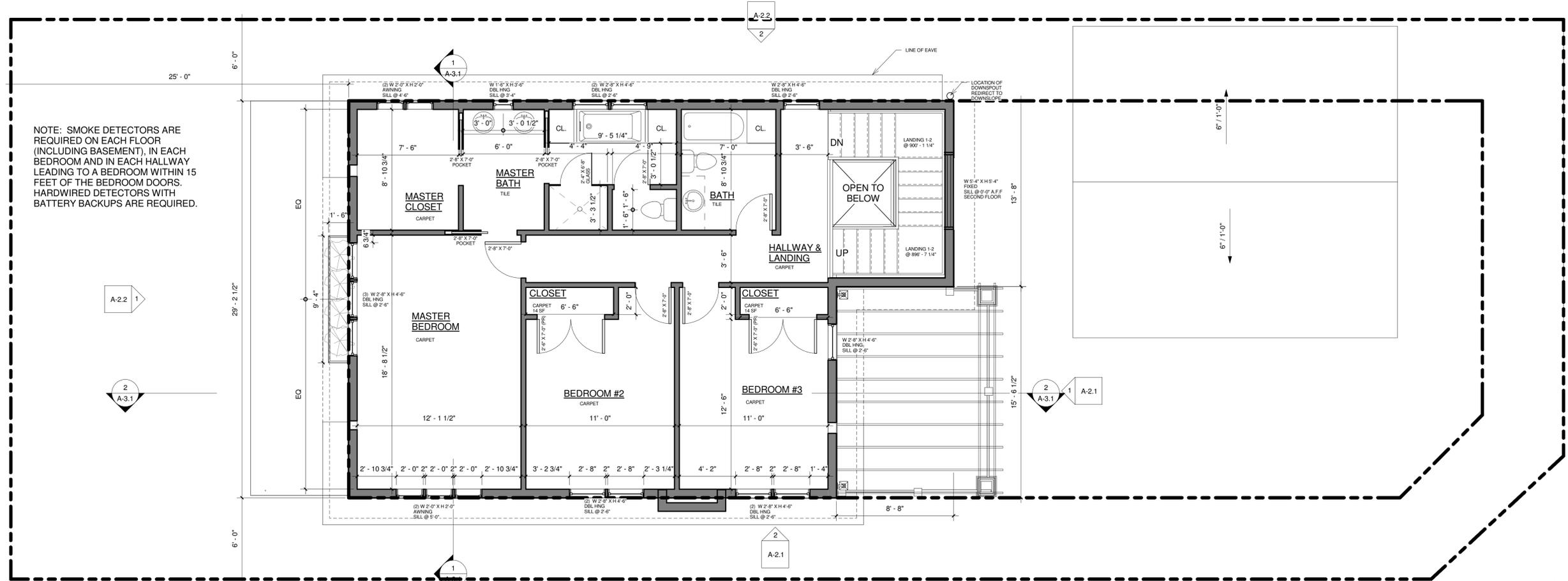
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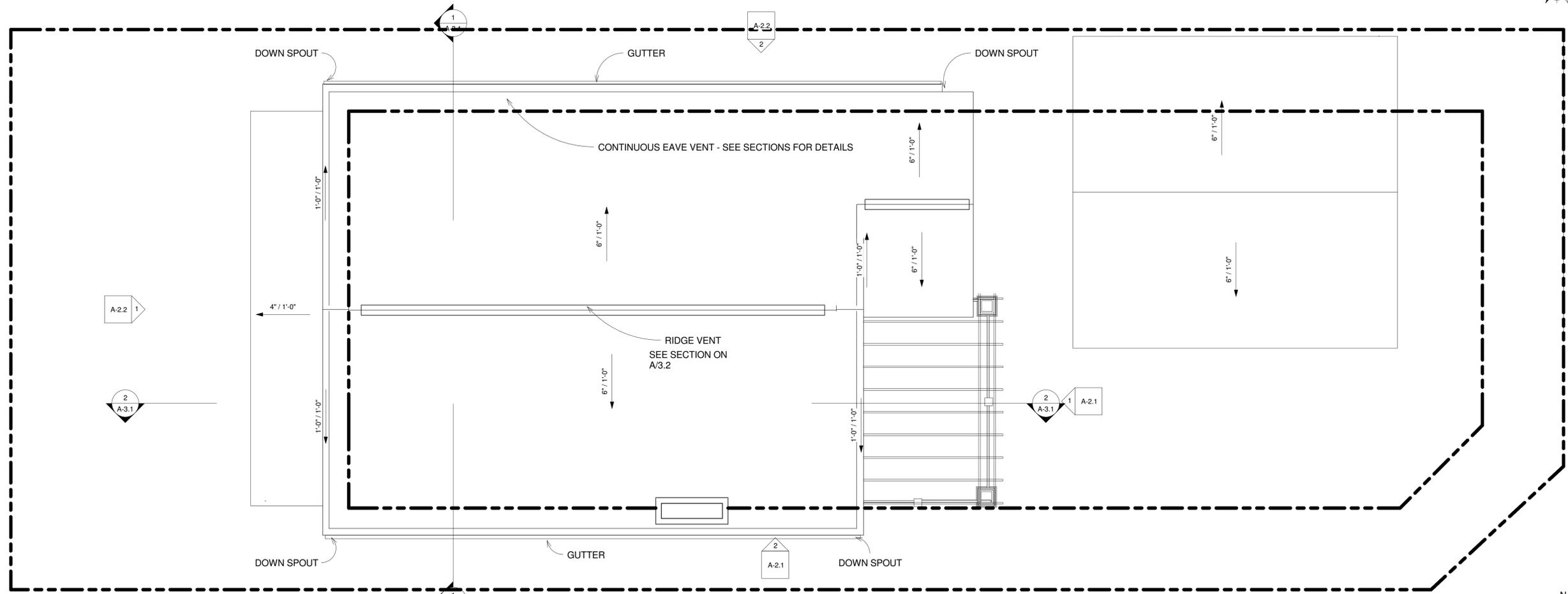
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**FLOOR PLANS
SECOND AND
ROOF**

A-1.2

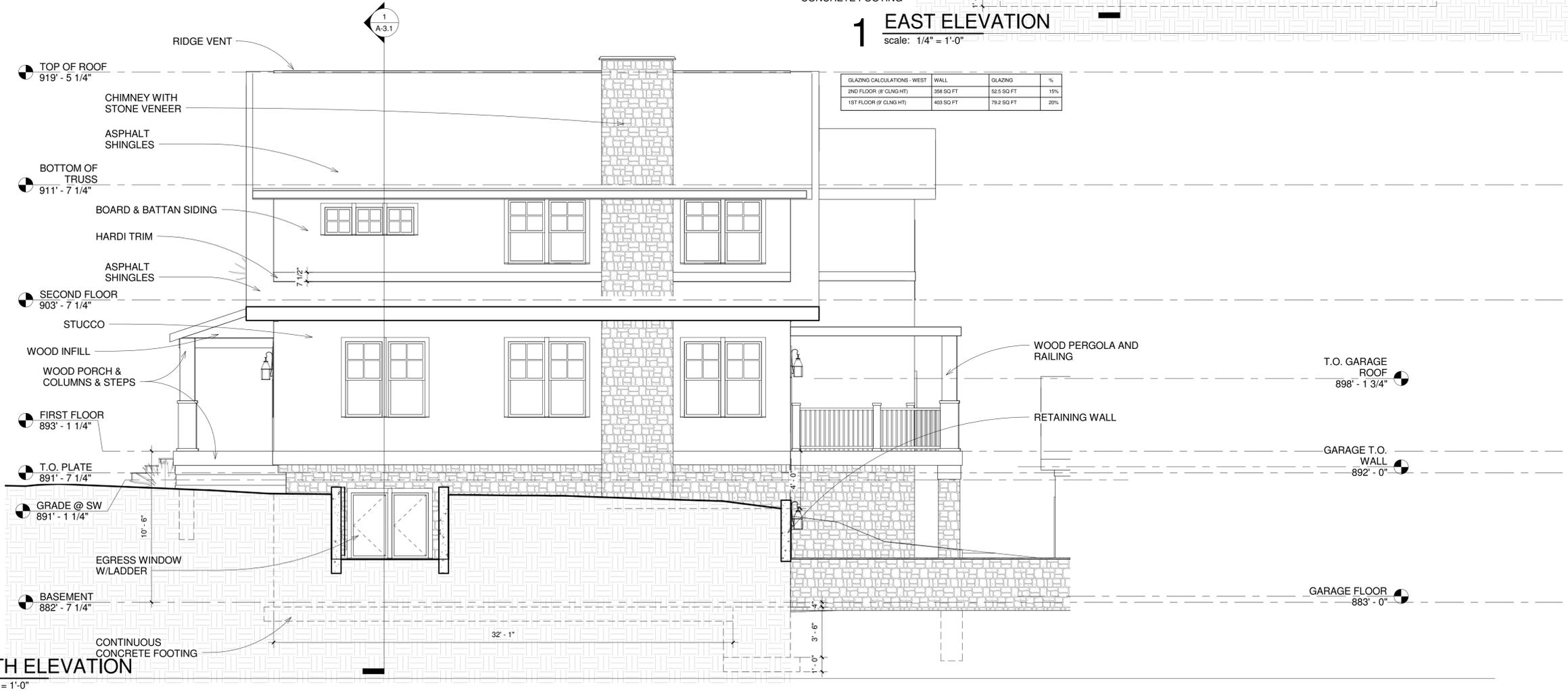
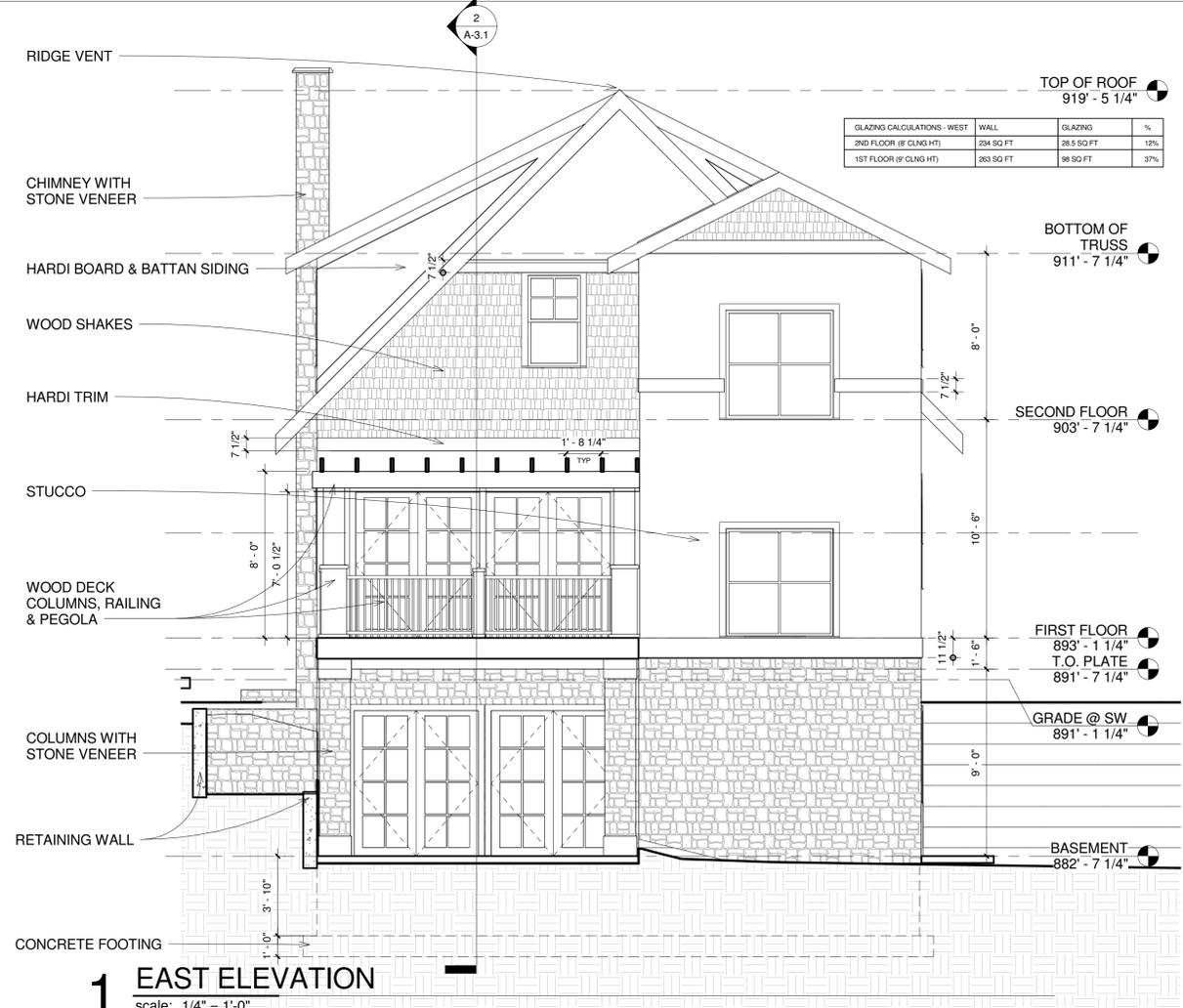


1 SECOND FLOOR PLAN
scale: 1/4" = 1'-0"



2 ROOF PLAN
scale: 1/4" = 1'-0"

NOTE: SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR (INCLUDING BASEMENT), IN EACH BEDROOM AND IN EACH HALLWAY LEADING TO A BEDROOM WITHIN 15 FEET OF THE BEDROOM DOORS. HARDWIRED DETECTORS WITH BATTERY BACKUPS ARE REQUIRED.



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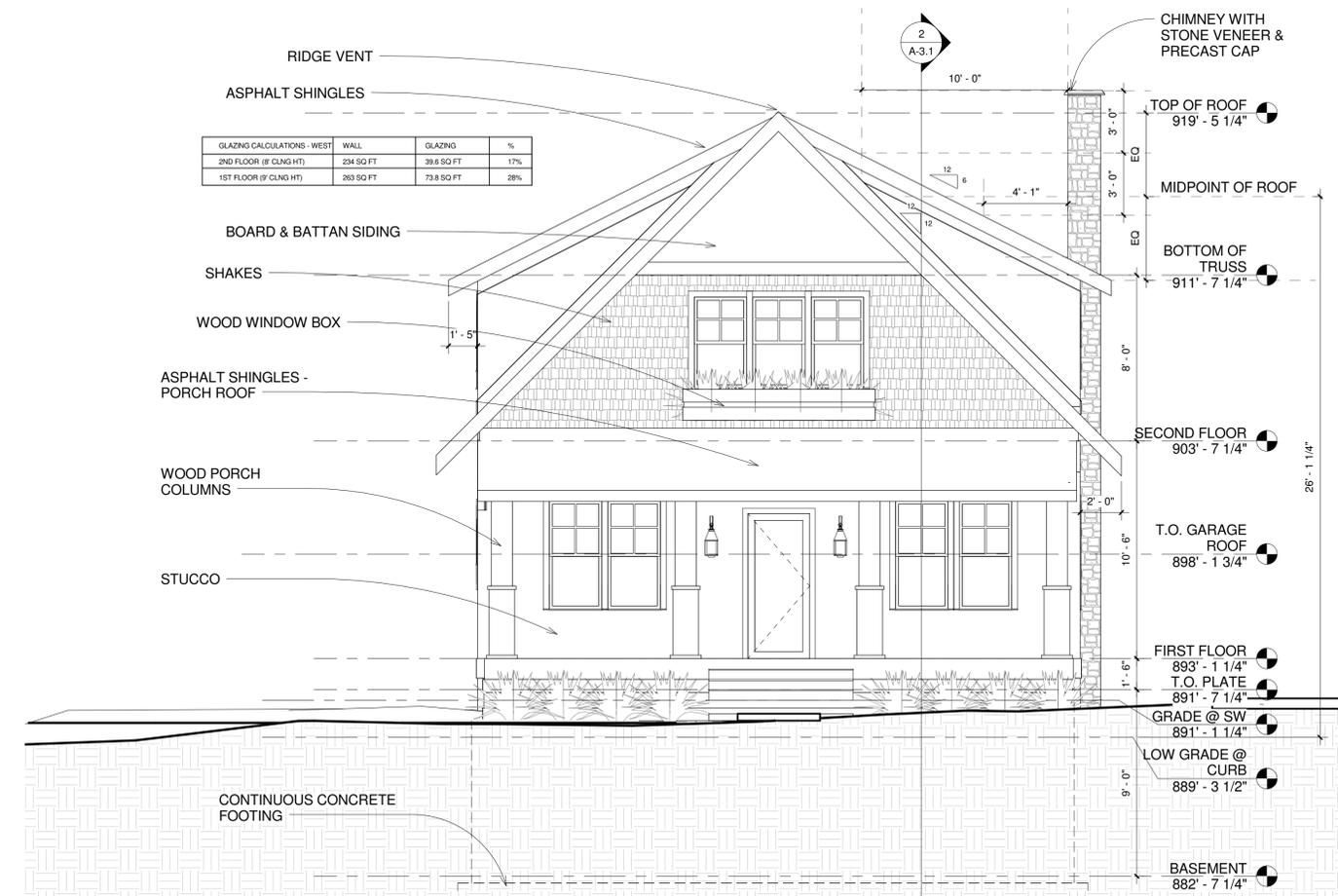
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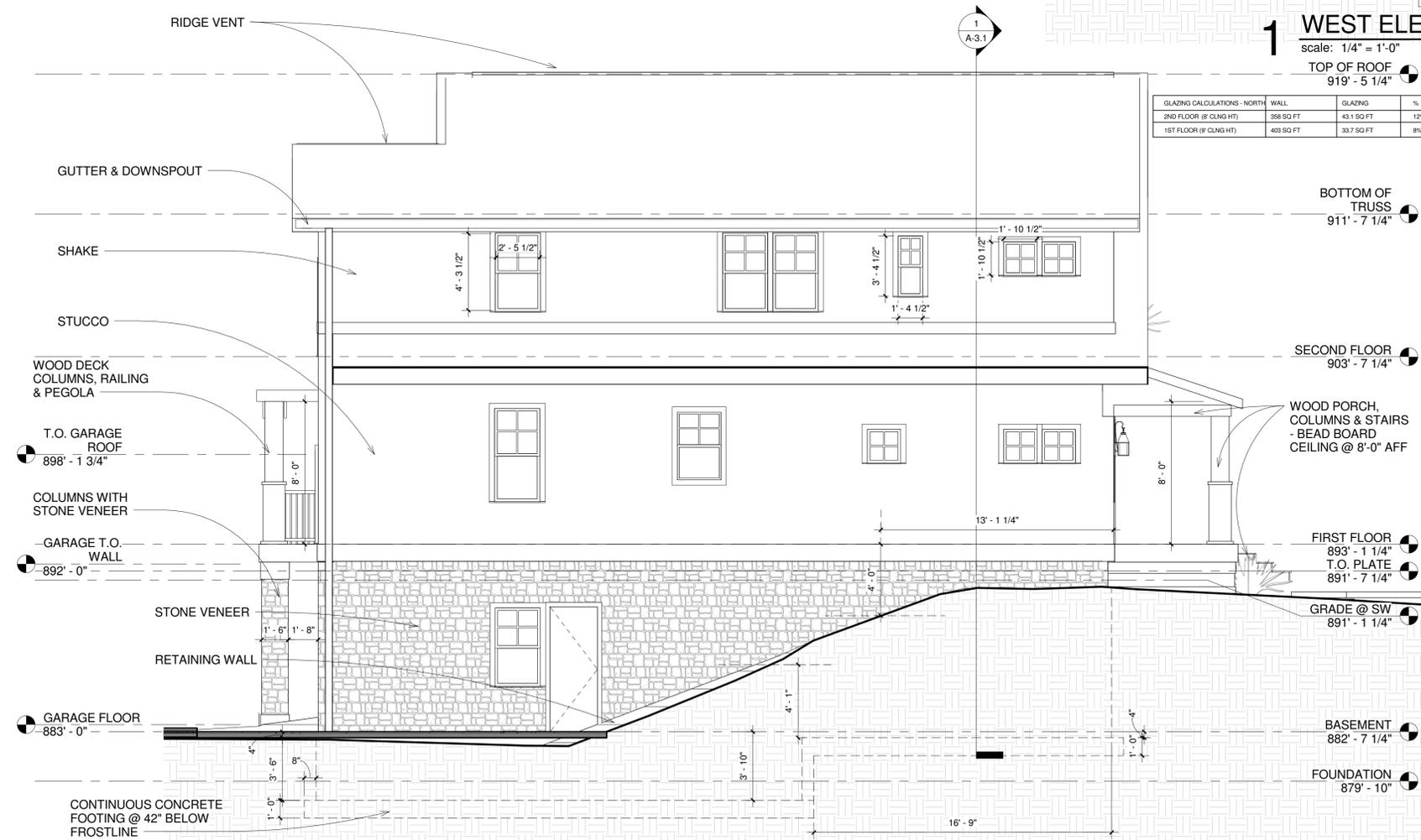
**EXTERIOR
ELEVATIONS
EAST & SOUTH**

A-2.1



GLAZING CALCULATIONS - WEST			
	WALL	GLAZING	%
2ND FLOOR (9' CLNG HT)	234 SQ FT	39.6 SQ FT	17%
1ST FLOOR (9' CLNG HT)	263 SQ FT	73.8 SQ FT	28%

1 WEST ELEVATION
 scale: 1/4" = 1'-0"



GLAZING CALCULATIONS - NORTH			
	WALL	GLAZING	%
2ND FLOOR (9' CLNG HT)	368 SQ FT	43.1 SQ FT	12%
1ST FLOOR (9' CLNG HT)	403 SQ FT	33.7 SQ FT	8%

2 NORTH ELEVATION
 scale: 1/4" = 1'-0"


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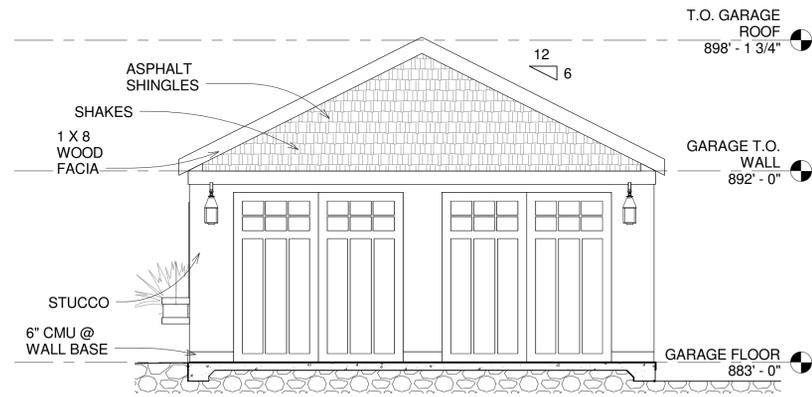
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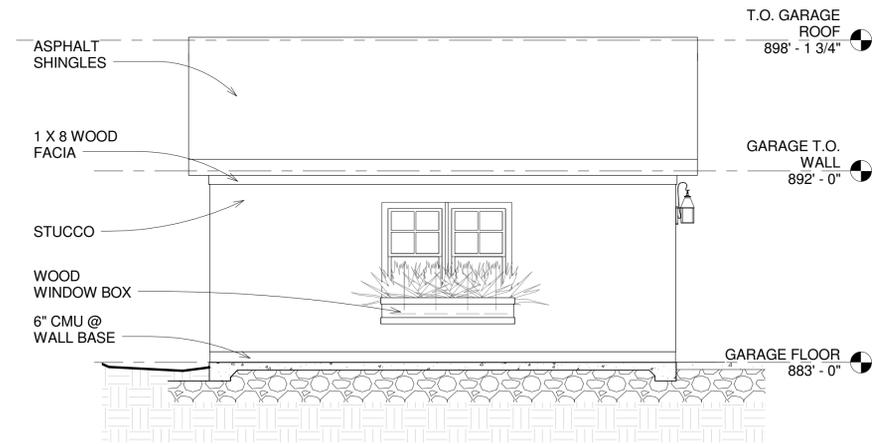
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**EXTERIOR
 ELEVATIONS
 WEST &
 NORTH**

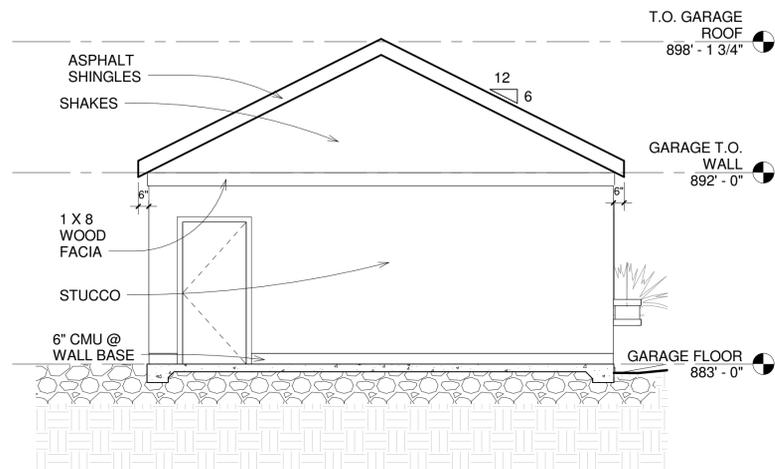
A-2.2



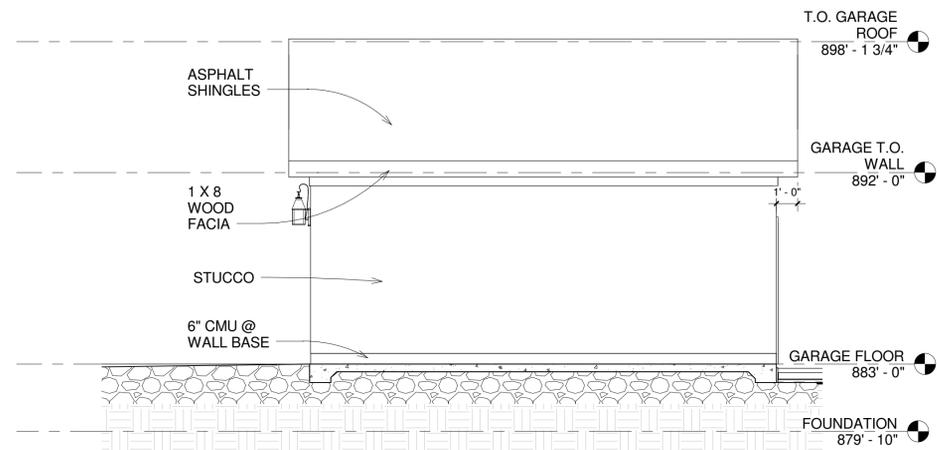
1 GARAGE EAST
scale: 1/4" = 1'-0"



2 GARAGE SOUTH
scale: 1/4" = 1'-0"



3 GARAGE WEST
scale: 1/4" = 1'-0"



4 GARAGE NORTH
scale: 1/4" = 1'-0"



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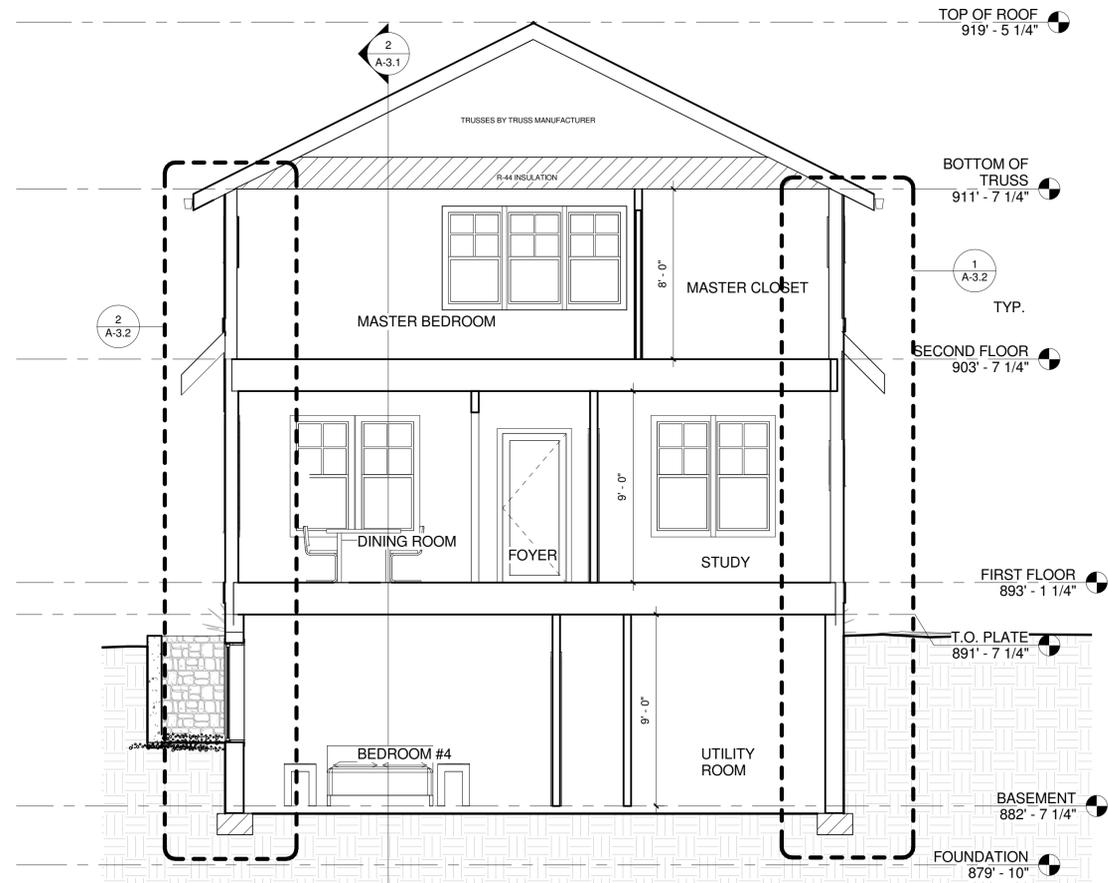
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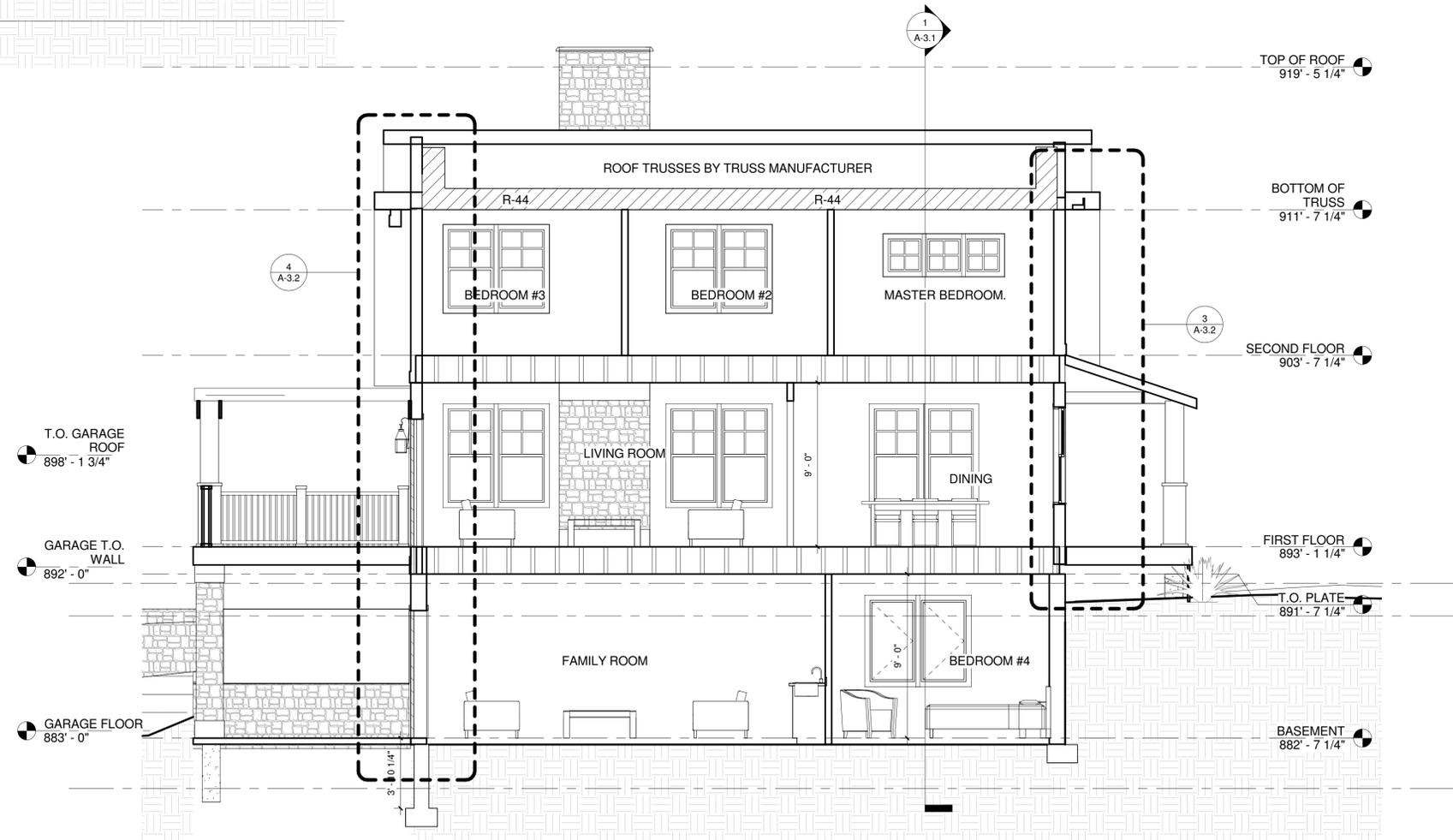
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**EXTERIOR
ELEVATIONS -
GARAGE**

A-2.3



1 BUILDING SECTION NORTH - SOUTH
scale: 1/4" = 1'-0"



2 BUILDING SECTION EAST - WEST
scale: 1/4" = 1'-0"



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**BUILDING
SECTIONS**

A-3.1



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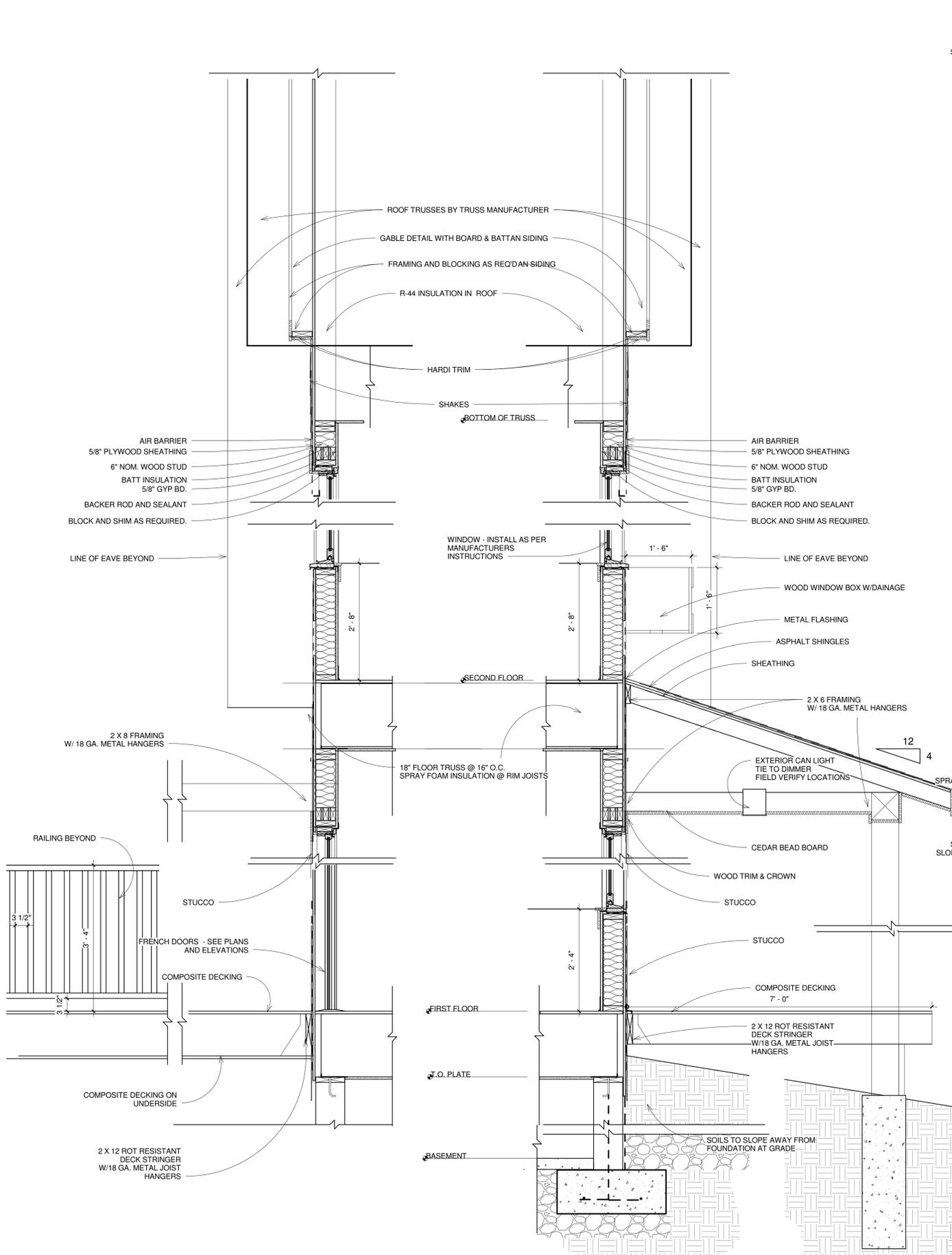
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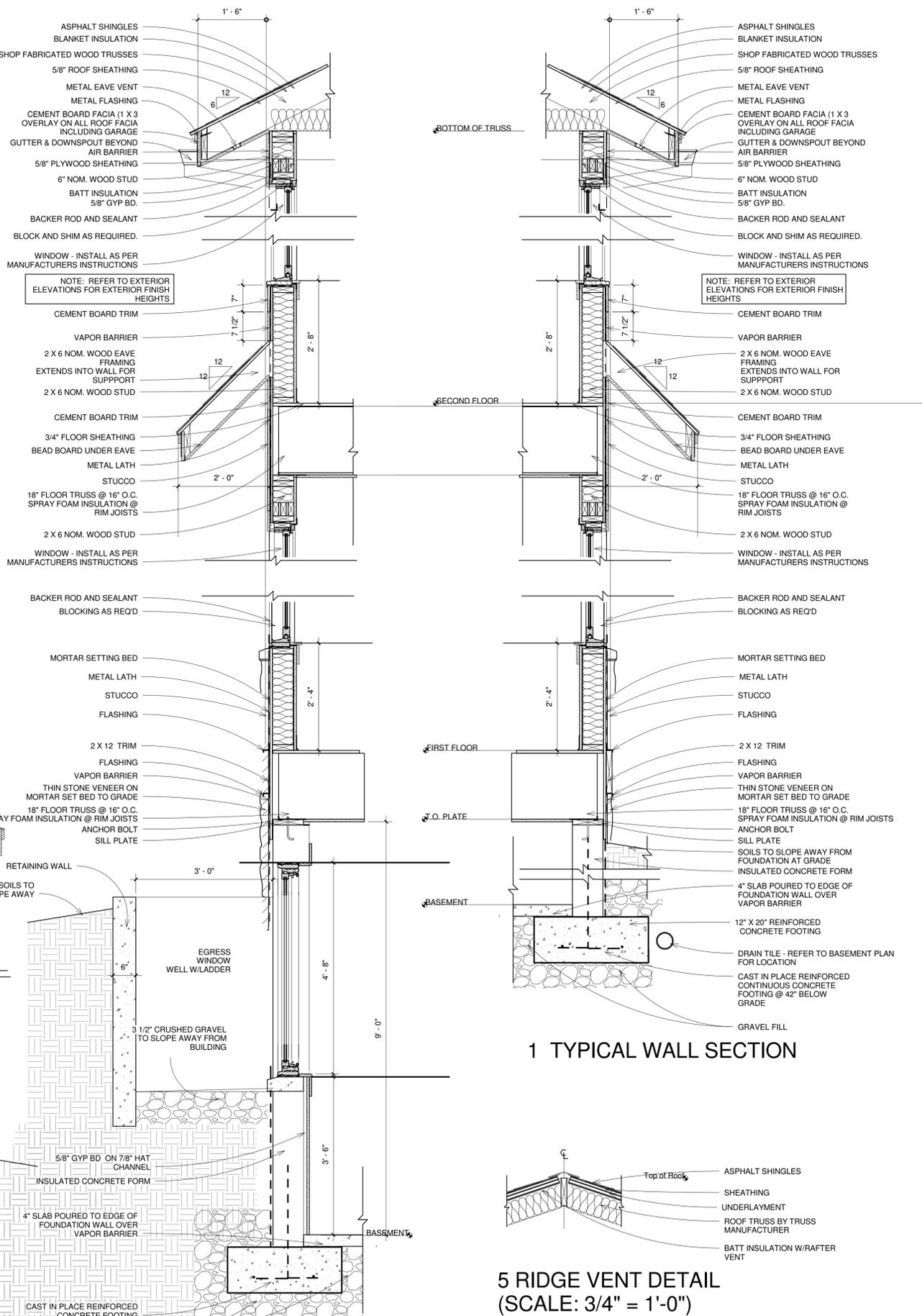
**WALL
SECTIONS &
DETAILS**

A-3.2



4 WALL SECTION @ PERGOLA

3 WALL SECTION @ FRONT PORCH



1 TYPICAL WALL SECTION

5 RIDGE VENT DETAIL
(SCALE: 3/4" = 1'-0")

2 WALL SECTION @ EGRESS



November 19, 2014

Janelle Widmeier, Senior City Planner
Department of Community Planning &
Economic Development - Planning Division
250 S. 4th St. Room 300,
Minneapolis, MN 55415

Re: LHINC Zoning Committee November Meeting: 4452 Zenith Ave S and 3933-35 Thomas Ave S

Dear Ms. Widmeier,

Please be advised of the considerations of the Linden Hills Zoning Committee at its November 17, 2014 meeting, respectfully submitted on behalf of Eric Hansen, Zoning Committee Chair.

The Committee voted unanimously to **Not Oppose** the variance at **4254 Zenith Ave S**, to reduce the side yard setback on 45th St. from 20 feet to approximately 16 feet to allow for the construction of a screen porch.

The Committee voted unanimously to **Not Oppose** the variances at **3933-35 Thomas Ave S**, to decrease the minimum lot width and minimum lot area for the two parcels to allow for the construction of single family homes on each lot.

Please contact me if you have any questions.

Regards,

Christy Prediger
Linden Hills Neighborhood Coordinator
(612) 481-5574

cc: Eric Hansen, Zoning Committee Chair
Pat Mackey, Mackey Malin Architects, 4254 Zenith Ave S
Paul Whiteman, PDW Investments, 3933-35 Thomas Ave S

Widmeier, Janelle A.

From: Pete Lehner <plehner@lindsaygroup.com>
Sent: Monday, December 01, 2014 3:26 PM
To: Widmeier, Janelle A.
Subject: 3933 - 3935 THOMAS AVE. S

To Whom It May Concern:

I am in agreement with the variance request to allow a lot split to create two separate parcels in the R1 district at 3933 – 3935 Thomas Ave. S.

Sincerely,

Pete Lehner
For 2612 w 40TH st.

Timothy W Galligan
3932 Thomas Ave S
Minneapolis MN 55410
612-396-0631
tgalligan1@gmail.com
November 26, 2014

Zoning Board of Adjustments
City Planner
Zoning Administration
250 S 4th Street – Room 300
Minneapolis MN 55415
Attn: Janelle Widmeier

RE: Application for variances for 3933-3935 Thomas Ave S

Dear Zoning Board of Adjustments:

I think that Mr. Whiteman has caused his own problems with this property. He bought the property thinking he could build two houses where the current duplex sits. Unfortunately for him, he did not do enough research and did not realize that because the duplex is split along a party wall that when the duplex is demolished the parcel reverts to a single parcel. Mr. Whiteman was advised of this by a letter from Chris Vrchota on Oct 16, 2014. To correct this mistake, he now wants variances to be able to build two houses on the parcel. The need for the variances is driven totally by economic concerns as his purchase of the duplex was driven by the idea that he could build two homes. The need for variances were created by Mr. Whiteman and his mistake to correctly analyze the property he was buying.

Also, there are no homes built on such small lots on our block. The two homes would look like two townhomes which would be totally out of character for our block.

Thank you,

Timothy W Galligan