



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #6

October 27, 2014

BZZ-6843

LAND USE APPLICATION SUMMARY

Property Location: 935 2nd Street South
Project Name: The Encore
Prepared By: [Hilary Dvorak](#), Principal Planner, (612) 673-2639
Applicant: Sherman Associates
Project Contact: Tony Kuechle with Sherman Associates
Request: Amendment to an existing Planned Unit Development to construct a new 12-story, approximately 176,657 square foot, 124-unit residential building (this was noticed as 122 units)

Required Applications:

Conditional Use Permit	To amend an existing Planned Unit Development to construct a new 12-story, approximately 176,657 square foot, 124-unit residential building.
Variance	To increase the floor area ratio (FAR) of the building from 4.8 to 5.62.
Site Plan Review	For a new 12-story, 176,657 square foot, 124-unit residential building.

SITE DATA

Existing Zoning	C3A Community Activity Center District DP Downtown Parking Overlay District and DH Downtown Height Overlay District
Lot Area	Lot = 31,427 sq. ft. / .72 acres PUD Site = 102,894 sq. ft. / 2.36 acres
Ward(s)	3
Neighborhood(s)	Downtown East
Designated Future Land Use	Mixed Use
Land Use Features	Commercial Corridor (Washington Avenue half-block to the south and Chicago Avenue two blocks to the west) Activity Center (Mill District) Growth Center (Downtown)
Small Area Plan(s)	Update to the Historic Mills District Master Plan

Date Application Deemed Complete	September 15, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	November 14, 2014	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The property is located on the southwest corner of 2nd Street South and 10th Avenue South. The site is currently undeveloped.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is surrounded by residential developments of varying densities, a hotel, commercial businesses, offices, cultural destinations, parking ramps and a park. The site is located in the Downtown East neighborhood.

PROJECT DESCRIPTION. The applicant is proposing to construct a 124-unit multiple-family residential building on the site. This development will modify an existing Planned Unit Development (PUD) that occupies the entire block. The existing uses on the block include a 155-room Aloft Hotel with ground floor commercial space and the 64-unit Zenith Condominium building. There is underground parking below the condominium building which connects to the hotel via a tunnel. The tunnel provides access to the hotel pool and fitness center for the Zenith residents. The first phase of the PUD was developed in 2007. At the time of the original approvals, a high-density residential building was approved on the site in question. This building was never developed.

The proposed development will be a 12-story multiple-family residential building. The main entrance to the building will be located along 10th Avenue South and the ground floor units on both 2nd Street South and 10th Avenue South will have individual entrances at street level. There will also be a community room located on the ground floor of the building. On the twelfth floor of the building there will be an additional community room with an outdoor terrace. Parking for the proposed development will be accommodated in three levels of underground parking. Access to the parking ramp will be provided along 10th Avenue South. There will be a total of 182 parking spaces provided on site.

RELATED APPROVALS. The original PUD was approved in July of 2006 (BZZ-3091). As mentioned above, only two of the three buildings that were approved in 2006 were constructed.

PUBLIC COMMENTS. The public comments that have been submitted regarding the project are included in the attachments. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to amend an existing Planned Unit Development to construct a new 12-story, approximately 176,657 square foot, 124-unit residential building based on the following findings:

- I. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

Amending an existing Planned Unit Development to add a 124-unit multiple-family residential building would not be detrimental to or endanger the public health, safety, comfort or general welfare. The proposed development will be constructed on what is currently undeveloped land. The development will activate the street walls along 2nd Street South and 10th Avenue South and will provide more “eyes on the street” and the park across 2nd Street South from the site.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

Amending an existing Planned Unit Development to add a 124-unit multiple-family residential building would not be injurious to the use and enjoyment of other property in the vicinity or impede the normal or orderly development and improvement of surrounding property for uses permitted in the district. Adjacent uses include a mixture of residential developments of varying densities, a hotel, commercial businesses, offices, cultural destinations, parking ramps and a park. The proposed development will complement the existing uses in the area.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The applicant will be working closely with the Public Works Department, the Plan Review Section of CPED and the various utility companies during the duration of the development to ensure that all procedures are followed in order to comply with city and other applicable requirements.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

In the C3A zoning district the zoning code requires 1.0 parking space per dwelling unit. For 124 dwelling units the parking requirement would be 124 parking spaces. However, in the DP Downtown Parking Overlay District the parking requirement for residential uses is .9 spaces per dwelling unit. For 124 dwelling units the parking requirement would be 112 parking spaces.

The maximum parking requirement in the DP Downtown Parking Overlay District is 1.7 parking spaces per dwelling unit. For 124 dwelling units the maximum parking requirement would be 210 parking spaces.

The DP Downtown Parking Overlay District also requires that one visitor parking space be provided for every 50 dwelling units within the building. The visitor parking space requirement for this development is two spaces. CPED is recommending that there be a minimum of two visitor parking spaces designated on site.

The applicant is providing 182 parking spaces in three levels of underground parking.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

1.1.3 Encourage the use of flexible regulatory options that promote high quality development, such as the Planned Unit Development (PUD) tool.

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.

1.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.

1.12.3 Encourage active uses on the ground floor of buildings in Activity Centers.

1.12.5 Encourage a height of at least two stories for new buildings in Activity Centers, in keeping with neighborhood character.

1.12.6 Encourage the development of high- to very-high density housing within the boundaries of Activity Centers.

1.12.9 Encourage architectural design, building massing and site plans to create or improve public and semi-public spaces in Activity Centers.

Land Use Policy 1.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.

1.15.3 Encourage the development of high- to very high-density housing within Growth Centers.

Housing Policy 3.1: Grow by increasing the supply of housing.

3.1.1 Support the development of new medium- and high-density housing in appropriate locations throughout the city.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With the approval of the conditional use permit, variance and site plan review applications this development will meet the applicable regulations of the C3A Community Activity Center District, the DP Downtown Parking Overlay District and the DH Downtown Height Overlay District.

Findings Required for Planned Unit Developments:

- A. The planned unit development conforms to the applicable standards for [alternatives and amenities](#).

Alternatives requested:

Placement and number of principal residential structures.

The proposed building will be constructed on its own lot.

Bulk regulations.

Maximum Floor Area: The maximum FAR in the C3A zoning district is 2.7. However, the maximum FAR allowed in the DH Downtown Height Overlay District is 4.0. The lot size is 31,427 square feet in area. The proposed building will be 176,657 square feet in size. This yields an FAR of 5.62. Amenities totaling five points are required to exceed the maximum FAR. The maximum floor area increase that can be authorized through the conditional use permit application for the PUD is 20 percent or an FAR of 4.8.

Building Height: Building height in the C3A zoning district is limited to four stories or 56 feet. However, the building height in the DH Downtown Height Overlay District is eight stories or 112 feet. The applicant is proposing to construct a building that is 12 stories or 132 feet. Amenities totaling five points are required to exceed the maximum height.

In addition to the conditional use standards and planned unit development standards, the city planning commission shall consider, but not be limited to, the following factors when determining maximum height:

1. Access to light and air of surrounding properties.

Increasing the height of the proposed building should have a minimal impact on the amount of light and air that surrounding properties receive. The proposed building has been oriented on the lot in such a way so as to create as much separation between it and the existing buildings within the PUD. There will be over 70 feet of open space between the proposed building and the existing Zenith Condominium building and over 50 feet of open space between the proposed building and the existing Aloft Hotel. In addition, the ninth floor of the building will step back from the north property line and the twelfth floor of the building will step back from all property lines. All other surrounding development is separated from the site by public streets.

2. Shadowing of residential properties or significant public spaces.

Shadow studies have been included as an attachment to the staff report and include shadowing impacts at three different times of the day during the spring, summer, fall and winter. The shadow studies indicate that the proposed building will cast shadows on the residential properties to the east and west and on the park to the north; however, the shadowing impacts do not appear to be significant given the context of the area. The shadow study indicates that due to the fact that the neighborhood is densely built-out, that during the periods of peak shadowing, much of the surrounding vicinity is currently shadowed by existing buildings.

3. The scale and character of surrounding uses.

The height of the proposed building will be compatible with buildings in the surrounding area which range between one story and 12 stories. The adjacent Zenith Condominium building is nine stories in height and the Bridgewater Condominium building, located across 10th Avenue South from the site, ranges in height from seven to ten stories. The recently finished Stonebridge Condominiums building, located on 2nd Street South just east of 11th Avenue South, is 12 stories in height. As noted above, the ninth floor of the building will step back from the north property line and the twelfth floor of the building will step back from all property lines.

There has been a considerable amount of development in the surrounding area over the last decade. Many of the new buildings are contemporary in design and have a modern material palette including brick, metal and glass.

4. Preservation of views of landmark buildings, significant open spaces or water bodies.

The development site is not located in an historic district. However, the St. Anthony Falls Historic District is located across 2nd Street South from the site. Also across 2nd Street South from the site is Gold Medal Park and beyond that is the Mississippi River. Given the fact that the area is densely built-out, whether the proposed building was eight stories or 12 stories in height, the only views of these buildings and/or open spaces that would be blocked would be from the Aloft Hotel rooms. It should be noted that the intent of the standard is to preserve public view corridors, not to preserve individual views from private developments.

Lot area requirements.

The minimum lot area for a Planned Unit Development is one acre. The overall size of the PUD is 102,894 square feet or 2.36 acres.

Yards.

The front yard setback requirement along 2nd Street South is 10.5 feet for the first 25 feet east of the west interior property line. The building and all other site elements will be constructed outside of this required yard. The corner side yard setback along 10th Avenue South is zero feet. The building will be constructed between seven and 15 feet from the corner side property line. The setback requirement along both the west interior property line and the rear property line is $5+2x$, where x equals the number of stories above the first floor, not to exceed 15 feet. The resulting setback for a 12 story building is 15 feet. The building will be constructed between 1.5 and 62 feet from the west interior property line and 25.5 feet from the rear property line. Amenities totaling five points are required to reduce the west interior side yard setback.

On-premise signs.

Signs are subject to the requirements of Chapter 543, On-premise Signs. In the C3A zoning district one can have one-and-a-half square feet of signage for every one foot of primary building wall. However, if there is a freestanding sign on the zoning lot then there can only be one square foot of signage for every one foot of primary building wall. Wall signs are limited to 180 square feet in size. Projecting signs are limited to 48 square feet in size. There is no sign height limitation for either wall signs or projecting signs in the C3A zoning district. Freestanding signs are limited to 80 square feet and can be no taller than 8 feet. The zoning code also limits the number of freestanding signs on a zoning lot to one. The applicant is proposing to have two signs located on the property. One is a sign attached to a fence facing 2nd Street South and the other is a sign over the entrance canopy facing 10th Avenue South. Both of the signs meet the sign requirements of Chapter 543, On-Premise Signs.

Off-street parking and loading.

In the C3A zoning district the zoning code requires a minimum of one parking space per dwelling unit. For 124 dwelling units the minimum parking requirement would be 124 parking spaces. However, in the DP Downtown Parking Overlay District the minimum parking requirement for residential uses is reduced to .9 spaces per dwelling unit. For 124 dwelling units the minimum parking requirement would be 112 parking spaces.

The maximum parking requirement in the DP Downtown Parking Overlay District is 1.7 parking spaces per dwelling unit. For 124 dwelling units the maximum parking requirement would be 210 parking spaces.

The DP Downtown Parking Overlay District also requires that one visitor parking space be provided for every 50 dwelling units within the building. The visitor parking space requirement for this development is two spaces. CPED is recommending that there be a minimum of two visitor parking spaces designated on site.

The applicant is providing 182 parking spaces in three levels of underground parking. All of the parking will be accessed from 10th Avenue South.

The minimum loading requirement for a multiple-family development of 100 to 250 units is one small loading space. There is one existing large loading space on the site. No additional loading space will be added to the site as part of the proposed development. No amenities are required to reduce the off-street parking and loading requirements.

Points required:

- Bulk regulations, FAR – **5 points.**
- Bulk regulations, height – **5 points.**
- Yards, required yards within the Planned Unit Development– **5 points.**

Total – 15 points.

Phasing plan. This development will modify an existing Planned Unit Development. The original Planned Unit Development was approved in 2006. The proposed building will be constructed on the last vacant parcel of the land within the Planned Unit Development.

Amenities provided:

The applicant proposes the following amenities from Table 527-1, Amenities:

Underground parking – **All parking shall be located underground. Where the grade of the site slopes significantly, all parking shall be enclosed in a floor level of the building that does not meet the definition of a story. Further, exterior parking garage walls adjacent to the public street shall not extend more than three (3) feet above the adjacent grade measured from the finished floor of the first level.** All of the parking is located underground. The uppermost level of parking does not extend more than three feet above grade. This amenity is worth 10 points.

Outdoor open space - **Contiguous ground level outdoor open space that is related to and proportional with the bulk of the building and landscaped with trees and shrubs. Rain gardens, where appropriate, are encouraged. Walkways and pathways shall be surfaced with pervious pavers, pervious concrete, decorative pavers, stamped concrete, colored concrete, brick or other decorative and durable materials. A minimum of thirty (30) percent of the site not occupied by buildings shall be landscaped outdoor open space. A minimum of fifty (50) percent of the provided open space shall be contiguous. The open space must be immediately accessible from the principal structure. Areas should be designed for winter use and relate to the built form with consideration given to elements such as providing shelter from wind, utilizing seasonally appropriate materials, maximizing access to sunlight and providing for snow and ice removal.** There will be a concentrated ground level outdoor open space on the northwest corner of the site. The space will contain seating areas, the pet exercise area and landscaping. The space will be connected to the building, the public sidewalk on 2nd Street South and the open space on the Zenith Condominium portion of the PUD via a series of walkways made out of colored, stamped concrete. In total, 39 percent of the site, not occupied by the building will be landscaped. Besides the concentrated outdoor open space there is generous landscaping around the perimeter of the building interspersed between private terraces with open lawns. This amenity is worth 5 points.

Decorative fencing – **Install high-quality decorative metal fencing where visible from the public street, public sidewalk or public pathway. The point for decorative fencing may be obtained when it is included as part of another amenity if it is also provided in other areas on the site. In no case shall chain-link fencing be considered decorative fencing.** The pet exercise area and all of the private terraces on the site will be screened with decorative metal fencing. In total there is 347 linear fencing on the site. This amenity is worth 1 point.

Enhanced exterior lighting – **Lighting plan that highlights significant areas of the site or architectural features of the building(s), subject to the standards of Chapter 535, Regulations of General Applicability.** Pedestrian scaled lighting will be located throughout the site highlighting the walkways and gathering spaces. There will also be lighting located throughout

the landscape beds. Light sconces will be attached to the brick piers on the ground floor of the building which will illuminate the private terraces. This amenity is worth 1 point.

Enhanced landscaping – **A landscaping plan of exceptional design that has a variety of native tree, shrub, and plant types that provide seasonal interest and that exceed the requirements of Chapter 530, Site Plan Review. The landscaped areas shall have a resource efficient irrigation system. The landscaping plan shall be prepared by a licensed landscape architect.** A landscaping plan with a variety of trees and shrubs that provide seasonal interest was provided. However, the canopy tree requirement in Chapter 530, Site Plan Review is six trees. The applicant is not proposing to plant canopy trees on the site. Given this, zero points can be awarded for this amenity.

Pet exercise area - **A pet exercise area shall have a minimum dimension of twelve (12) feet by sixty (60) feet. It shall be enclosed with decorative fencing, include lighting in compliance with Chapter 535, Regulations of General Applicability and provide accommodations for proper disposal of animal waste. The pet exercise area shall not be located in a required yard.** The pet exercise area is 18 feet wide by 56 feet long (1,008 square feet). The pet exercise area is enclosed with decorative metal fencing and there are six bollard-style lights located around the perimeter. The ground surface of the pet exercise area will be covered with artificial turf for easy clean-up. There will be a waste receptacle located within the perimeter of the pet exercise area. This amenity is worth 1 point.

Recycling storage area – **Provide an easily accessible area that serves the entire building and is dedicated to the collection and storage of non-hazardous materials for recycling, including but not limited to paper, corrugated cardboard, glass, plastics and metals. The recycling storage area shall be located entirely below grade or entirely enclosed within the building.** There will be a recycling storage area provided on each floor of the building. The recyclable materials will be collected in bins designated for mixed paper, glass, plastic, metal and cardboard. Building staff will collect the recyclables from each floor and store them in the main trash and recycling room on the ground floor of the building. This amenity is worth 1 point.

Points Summary

Amenity		Points Requested by Applicant	Points Recommended by Staff
Amenities from Table 527-1	Underground parking	10 points	10 points
	Outdoor open space	5 point	5 point
	Decorative fencing	1 point	1 point
	Enhanced exterior lighting	1 point	1 point
	Enhanced landscaping	1 point	0 points
	Pet exercise area	1 point	1 point
	Recycling Storage Area	1 point	1 point
Total		20 points	19 points

B. The planned unit development conforms to the [required findings](#) for a planned unit development:

(1) *That the planned unit development complies with all of the requirements and the intent and purpose of this chapter. In making such determination, the following shall be given primary consideration:*

- a. *The character of the uses in the proposed planned unit development, including in the case of residential uses, the variety of housing types and their relationship to other site elements and to surrounding development.*

A multiple-family residential development with 124 dwelling units is proposed. The existing uses within the PUD include a 155-room Aloft Hotel with ground floor commercial space and the 64-unit Zenith Condominium building. The proposed building will be rental apartments. Surrounding uses include a mixture of residential developments of varying densities, a hotel, commercial businesses, offices, cultural destinations, parking ramps and a park. The proposed development will complement the uses in the area.

- b. *The traffic generation characteristics of the proposed planned unit development in relation to street capacity, provision of vehicle access, parking and loading areas, pedestrian access, bicycle facilities and availability of transit alternatives.*

The minimum parking requirement for the development is 114 spaces. The applicant is providing 182 parking spaces in three levels of underground parking. All of the parking will be accessed from 10th Avenue South. There is one large loading space on the block that is shared amongst all of the uses within the PUD.

There will be a bicycle storage room on each level of the parking garage. The applicant has indicated that there will be a minimum of one bicycle parking space per dwelling unit provided. The applicant has not identified any bicycle parking spaces for visitors. There isn't a zoning code requirement for bicycle parking spaces for visitor. However, CPED believes that given this location there will be a demand for them on site. Therefore, CPED is recommending that the applicant consider providing a minimum of ten bicycle parking spaces for visitors on the site.

As for transit alternatives the Downtown East Light Rail Transit stop is located five blocks from the site, there are numerous bus routes that run through the immediate area, there is direct access to the bicycle network and there are Nice Ride bicycle stations provide nearby.

- c. *The site amenities of the proposed planned unit development, including the location and functions of open space, the preservation or restoration of the natural environment or historic features, sustainability and urban design.*

The site amenities include underground parking, outdoor open space, decorative fencing, enhanced exterior lighting, a pet exercise area and a recycling storage area. The outdoor open space provided on the site blends in with the outdoor open space that was created when the Zenith Condominium building was constructed. Collectively, the two areas create one large open space that can be used by all occupants of the PUD.

- d. *The appearance and compatibility of individual buildings and parking areas in the proposed planned unit development to other site elements and to surrounding development, including but not limited to building scale and massing, microclimate effects of the development, and protection of views and corridors.*

The proposed development will be a 12-story multiple-family residential building. The main entrance to the building will be located along 10th Avenue South and the ground floor units on both 2nd Street South and 10th Avenue South will have individual entrances at street level. On the twelfth floor of the building there will be a community room with

an outdoor terrace. The exterior materials include brick and metal. Parking for the proposed development will be accommodated in three levels of underground parking. There has been a considerable amount of development in the surrounding area over the last decade. Many of the new buildings are contemporary in design and have a modern material pallet including brick, metal and glass. The appearance of the proposed building will complement the two existing buildings within the PUD and other surrounding developments.

The height of the proposed building will be compatible with buildings in the surrounding area which range between one story and 12 stories. The adjacent Zenith Condominium building is nine stories in height and the Bridgewater Condominium building, located across 10th Avenue South from the site, ranges in height from seven to ten stories. The recently finished Stonebridge Condominiums building, located on 2nd Street South just east of 11th Avenue South, is 12 stories in height. The ninth floor of the building will step back from the north property line and the twelfth floor of the building will step back from all property lines.

The building has been situated on the lot in order to maximize light, air and views within and through the site. The placement of the outdoor open space blends in with the outdoor open space that was created when the Zenith Condominium building was constructed. Collectively, the two areas create one large open space that can be used by all occupants of the PUD. The open space is surrounded by buildings on three sides which will help protect it from the elements.

- e. *An appropriate transition area shall be provided between the planned unit development and adjacent residential uses or residential zoning that considers landscaping, screening, access to light and air, building massing, and applicable policies of the comprehensive plan and adopted small area plans.*

There is over 70 feet of open space between the proposed building and the existing Zenith Condominium building to the west and over 50 feet of open space between the proposed building and the existing Aloft Hotel to the south. The area between the two residential buildings is occupied by outdoor open space.

- f. *The relation of the proposed planned unit development to existing and proposed public facilities, including but not limited to provision for stormwater runoff and storage, and temporary and permanent erosion control.*

The applicant will be working closely with the Public Works Department, the Plan Review Section of CPED and the various utility companies during the duration of the development to ensure that all procedures are followed in order to comply with city and other applicable requirements. The City of Minneapolis will review and approve the applicant's stormwater management plan and erosion control plan.

- g. *The consideration, where possible, of sustainable building practices during the construction phases and the use of deconstruction services and recycling of materials for the demolition phase.*

The proposed development will replace an undeveloped lot so there will be no deconstruction of existing buildings. During construction waste generated during construction will be recycled.

- (2) *That the planned unit development complies with all of the applicable requirements contained in Chapter 598, Land Subdivision Regulations.*

The platting of the site is in compliance with Chapter 598, Land Subdivision Regulations.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application to increase the floor area ratio (FAR) of the building from 4.8 to 5.62 based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The maximum FAR in the C3A zoning district is 2.7. However, the maximum FAR allowed in the DH Downtown Height Overlay District is 4.0. The lot size is 31,427 square feet in area. The proposed building will be 176,657 square feet in size. This yields an FAR of 5.62. Five points worth of amenities were provided through the conditional use permit application for the PUD. However, the maximum floor area increase that can be authorized through the conditional use permit application for the PUD is 20 percent so a variance to increase the FAR from 4.8 to 5.62 is required.

The entire PUD site is 102,894 square feet or 2.36 acres in size. Including the proposed building, there will be 389,157 square feet of development on the PUD site. This yields an overall FAR of 3.78 which is less than what is allowed collectively within the boundaries of the PUD. Given the context of the area and the overall size of the PUD site, the scale of the proposed building is proportional to the size of the lot.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The variance request is reasonable and in keeping with the spirit and intent of the ordinance and the comprehensive plan. In general, building bulk regulations are established in order to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area. The overall PUD site is 2.36 acres in size and is separated from surrounding development by public streets. The scale of the proposed building is proportional to the size of the lot.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The site is 2.36 acres in size and is separated from surrounding development by public streets. The scale of the proposed building is proportional to the size of the lot. Granting the variance would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – *Requires alternative compliance*

- The building reinforces the street wall, facilitates pedestrian access and maximizes natural surveillance. The building will be set close to the front property line along 2nd Street South and the corner side property line along 10th Avenue South, there will be entrances and exits at street level that can be accessed by residents and guests and there will be large windows and balconies on all sides of the development that maximize the opportunities for people to observe adjacent spaces. In addition, there will be a ground level outdoor open space on the northwest corner of the site where residents and their guests can gather. The pet exercise area is also located in this space. The space will be connected to the building, the public sidewalk on 2nd Street South and the open space on the Zenith Condominium portion of the PUD via a series of walkways.
- The building will be set back between 10.5 and 131 feet from 2nd Street South and between seven and 15 feet from 10th Avenue South. Alternative compliance is required.
- Where the building is set back from the property lines there are private terraces with open lawns and landscaping.
- The main entrance to the building will be located along 10th Avenue South; however, it can also be accessed via a walkway from 2nd Street South that intersects the outdoor open space. In addition, the ground floor units on both 2nd Street South and 10th Avenue South will have individual entrances at street level.
- Parking for the proposed development will be accommodated in three levels of underground parking. All of the parking will be accessed from 10th Avenue South.
- The building is articulated with recesses and projections, setbacks at the ninth and twelfth floors, varying window patterns, projecting balconies and different materials.
- There are portions of the first floor of the building facing the south property line and portions of the east and south sides of the twelfth floor of the building that are over 25 feet in length and void of windows, entries, recesses or projections, or other architectural elements. Alternative compliance is required.
- The exterior materials include brick and metal. There will be two colors of brick and three colors of metal used on the building. All of the colors are different variations of gray. The sides and rear of the building are similar to and compatible with the front of the building.
- Plain face concrete block is not being proposed as an exterior building material.
- The development meets the minimum window percentages required by the zoning code. The windows in the development are vertical in nature and are evenly distributed along the building walls. See **Table I**.
- The entire building frontage along 2nd Street South contains active functions and approximately 87 percent of the building frontage along 10th Avenue South contains active functions.
- The principal roof line of the building will be flat. The majority of the buildings in the area have flat roofs.
- Parking for the proposed development will be accommodated in three levels of underground parking.

Table 1. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

Residential Uses	Code Requirement		Proposed	
	1 st Floor facing 2 nd Street South	20% minimum	202 sq. ft.	39%
2 nd Floor and Above facing 2 nd Street South	10% minimum	132 sq. ft.	Greater than 10%	
1 st Floor facing 10 th Avenue South	20% minimum	307 sq. ft.	31%	472.5 sq. ft.
2 nd Floor and Above facing 10 th Avenue South	10% minimum	202 sq. ft.	Greater than 10%	

Access and Circulation – Meets requirements

- All of the entrances leading into the building are directly connected to a public sidewalk.
- No transit shelters are proposed as part of this development.
- Parking for the proposed development will be accommodated in three levels of underground parking.
- There is no public alley on this block.
- There is no maximum impervious surface requirement in the C3A zoning district. According to the materials submitted by the applicant 82 percent of the site will be impervious.

Landscaping and Screening – Requires alternative compliance

- The zoning code requires that at least 20 percent of the site not occupied by the building be landscaped. According to the applicant’s landscaping plan there is 5,624 square feet of landscaping on the site or approximately 39 percent of the site not occupied by the building.
- The zoning code requires at least 1 canopy tree for each 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space be planted on the site. The tree and shrub requirement for this site is six and 29 respectfully. The applicant is proposing to have zero canopy trees and 207 shrubs on the site. Alternative compliance is required.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	31,427 sq. ft.
Building footprint	--	17,100 sq. ft.
Remaining Lot Area	--	14,327 sq. ft.
Landscaping Required	2,865 sq. ft.	5,624 sq. ft.
Canopy Trees (1: 500 sq. ft.)	6 trees	0 trees
Shrubs (1: 100 sq. ft.)	29 shrubs	207 shrubs

Additional Standards – Meets requirements

- Parking for the proposed development will be accommodated in three levels of underground parking.

- The site is located across 2nd Street South from Gold Medal Park and beyond that is the Mississippi River. Given the fact that the area is densely built-out, whether the proposed building was eight stories or 12 stories in height, the only views of these buildings and/or open spaces that would be blocked would be from the Aloft Hotel rooms. It should be noted that the intent of the standard is to preserve public view corridors, not to preserve individual views from private developments.
- Shadow studies have been included as an attachment to the staff report and include shadowing impacts at three different times of the day during the spring, summer, fall and winter. The shadow studies indicate that the proposed building will cast shadows on the residential properties to the east and west and on the park to the north; however, the shadowing impacts do not appear to be significant given the context of the area. The shadow study indicates that due to the fact that the neighborhood is densely built-out, that during the periods of peak shadowing, much of the surrounding vicinity is currently shadowed by existing buildings.
- The building has been designed with recesses and projections, setbacks at the ninth and twelfth floors and projecting balconies which should help minimize wind effects on the surrounding area.
- The site plan complies with crime prevention design elements as there are walkways that direct people to the building entrances, there are large windows and balconies on all sides of the building that maximize the opportunities for people to observe adjacent spaces and the public sidewalks and there are lights located near all of the pedestrian entrances and throughout the site.
- The site is neither historically designated nor located in a historic district. However, the St. Anthony Falls Historic District is located across 2nd Street South from the site.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *conditional* in the C3A District.

Off-street Parking and Loading – Meets requirements

Table 3. Vehicle Parking Requirements Per Use (Chapter 541)

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Dwellings	124	.9 spaces per dwelling unit in the DP Downtown Parking Overlay District	112 Plus 2 visitor parking spaces	210 1.7 spaces per dwelling unit in the DP Downtown Parking Overlay District	182

Table 4. Bicycle Parking and Loading Requirements (Chapter 54I)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
School, grades K-12	62	--	Not less than 90%	124	1 small space	1 large space

Building Bulk and Height – Requires conditional use permit

- An alternative through the conditional use permit for the Planned Unit Development is required to increase the bulk and height of the building.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed Lot	Proposed PUD
Lot Area	--	31,427 sq. ft. / .72 acres	102,894 sq. ft. / 2.36 acres
Gross Floor Area (GFA)	--	176,657 sq. ft.	389,157 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	4.0	5.62	3.78
Maximum Building Height	8 stories or 112 feet, whichever is less	12 stories or 132 ft.	--

Residential Lot Requirements – Meets requirements

Table 6. Residential Lot Summary

	Code Requirement	Proposed Lot	Proposed PUD
Dwelling Units (DU)	--	124 DUs	188 DUs
Density (DU/acre)	--	172 DU/acre	80 DU/acre
Minimum Lot Area	Not less than one acre	31,427 sq. ft. / .72 acres	102,894 sq. ft. / 2.36 acres
Minimum Lot Width	-- ft.	138 ft.	331 ft.

Yard Requirements – Requires conditional use permit

- An alternative through the conditional use permit for the Planned Unit Development is required to reduce the interior side setback for the building.

Table 7. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front along 2 nd Street South	10.5 ft. for the first 25 feet east of the west property line	--	10.5 ft. for the first 25 feet east of the west property line	Between 10.5 and 131 feet.
Corner side along 10 th Avenue South	0 ft.	--	0 ft.	Between 7 and 15 ft.

Interior Side (West)	15 ft.	--	15 ft.	Between 1.5 and 62 ft.
Rear (South)	15 ft.	--	15 ft.	25.5 ft.

Signs – Meets requirements

- Signs are subject to the requirements of Chapter 543, On-premise Signs. In the C3A zoning district one can have one-and-a-half square feet of signage for every one foot of primary building wall. However, if there is a freestanding sign on the zoning lot then there can only be one square foot of signage for every one foot of primary building wall. Wall signs are limited to 180 square feet in size. Projecting signs are limited to 48 square feet in size. There is no sign height limitation for either wall signs or projecting signs in the C3A zoning district. Freestanding signs are limited to 80 square feet and can be no taller than 8 feet. The zoning code also limits the number of freestanding signs on a zoning lot to one. The applicant is proposing to have two signs located on the property. One is a sign attached to a fence facing 2nd Street South and the other is a sign over the entrance canopy facing 10th Avenue South. Both of the signs meet the sign requirements of Chapter 543, On-Premise Signs.

Dumpster Screening – Meets requirements

- There will be a trash and recycling storage area provided on the first floor of the building.

Screening of Mechanical Equipment – Meets requirements

- There will be a transformer located in an enclosure along 2nd Street South. The enclosure will also house the garage air intake area well. These two pieces of mechanical equipment will be enclosed with a board form concrete retaining wall. This type of retaining wall will be use throughout the site. There is an existing transformer located along 10th Avenue South. It is located in the southeast corner of the site. The applicant has indicated that it was going to be shifted to fit between the existing driveway along 10th Avenue South and the proposed driveway for the building and between the building and the sidewalk. CPED is recommending that the applicant work with the utility company to try and locate the transformer to the south side of the building and screen it with landscaping. The rooftop mechanical equipment will be screened with a metal screen – that will blend in with the building.

Lighting – Meets requirements with Conditions of Approval

- A lighting plan showing footcandles was not submitted as part of the application materials. CPED is recommending that a lighting plan that meets the requirements of Chapter [535](#) of the Zoning Code be met.

Impervious Surface Area – Meets requirements

- There is no maximum impervious surface requirement in the C3A zoning district. According to the materials submitted by the applicant 82 percent of the site will be impervious.

Specific Development Standards – Not applicable

DP Downtown Parking Overlay District– *Meets requirements*

DH Downtown Height Overlay District– *Requires conditional use permit*

- An alternative through the conditional use permit for the Planned Unit Development is required to increase the bulk and height of the building.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as Mixed Use on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.

10.1.3 Building placement should allow light and air into the site and surrounding properties.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.

10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.

10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.

10.2.4 Integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street.

10.2.5 Locate access to and egress from parking ramps mid-block and at right angles to minimize disruptions to pedestrian flow at the street level.

10.2.6 Arrange buildings within a site in order to minimize the generation of wind currents at ground level.

10.2.7 Locate buildings so that shadowing on public spaces and adjacent properties is minimized.

10.2.8 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.

10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city's existing housing stock.

Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.

10.6.2 Promote the preservation and enhancement of view corridors that focus attention on natural or built features, such as the Downtown skyline, landmark buildings, significant open spaces or bodies of water.

10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.

10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.

10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

Urban Design Policy 10.14: Encourage development that provides functional and attractive gathering spaces.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The City of Minneapolis adopted the [Update to the Historic Mills District Master Plan](#) in September of 2001. This plan identifies the site as Mixed Use on the future land use map. The plan calls for buildings that are primarily residential in nature and up to eight or nine stories or 112 feet in height. The plan also calls for underground parking. The proposed development, with the exception of the increased height, meets the goals of the *Update to the Historic Mills District Master Plan*. Although the height of the building is approximately 20 feet taller than what is recommended in the plan, it is similar in height to other buildings in the area and staff finds that the proposal meets the criteria for granting a conditional use permit to increase the maximum allowed height.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Building Setback.** The building will be set back between 10.5 and 131 feet from 2nd Street South and between seven and 15 feet from 10th Avenue South. It is reasonable to set the building back more than eight feet from the front and corner side property lines given the overall height of the building. It is also reasonable to set the building back more than eight feet from these property lines given the residential nature of the building. The ground floor units

have private terraces with open lawns located between the building and the property lines along both street frontages. In addition, there will be a ground level outdoor open space on the northwest corner of the site where residents and their guests can gather. The pet exercise area is also located in this space. CPED is recommending that alternative compliance be granted.

- **Blank Walls.** There are portions of the first floor of the building facing the south property line and portions of the east and south sides of the twelfth floor of the building that are over 25 feet in length and void of windows, entries, recesses or projections, or other architectural elements. The blank wall on the first floor of the building is located adjacent to the ramp leading to the underground parking garage and the blank walls on the twelfth floor of the building are located adjacent to the mechanical area and the community room. CPED is recommending that alternative compliance be granted for the blank wall adjacent to the mechanical area as the metal screen wall will be textured. However, CPED is recommending that the applicant design the east side of the twelfth floor and the south side of the first floor so as not to have any expanse of wall that is over 25 feet in length and blank.
- **Tree and Shrub Requirement.** The zoning code requires at least 1 canopy tree for each 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space be planted on the site. The tree and shrub requirement for this site is six and 29 respectfully. The applicant is proposing to have zero canopy trees and 207 shrubs on the site. In addition, there will be 12 ornamental trees and 117 perennials and grasses planted on the site. The applicant is also proposing to plant six canopy trees in the right-of-way. Although the canopy tree requirement is not being met on site there will be 12 ornamental trees planted on the site and six canopy trees planted in the right-of-way. CPED is recommending that alternative compliance be granted to not require any canopy trees on the site.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to amend an existing Planned Unit Development to construct a new 12-story, approximately 176,657 square foot, 124-unit residential building at the property located at 935 2nd Street South, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.
2. As required by section 527.120 of the zoning code, the development shall comply with the standards for some combination of the following amenities from Table 527-1, Amenities and those proposed by the applicant totaling a minimum of 15 points: underground parking, outdoor open space, decorative fencing, enhanced exterior lighting, pet exercise area and recycling storage area.
3. There shall be a minimum of two visitor parking spaces designated on site.
4. There shall be a minimum of one bicycle parking space per dwelling unit provided within the building.

5. The applicant shall consider providing a minimum of ten bicycle parking spaces for visitors on the site.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase the floor area ratio (FAR) of the building from 4.8 to 5.62 located at 935 2nd Street South.

Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a new 12-story, approximately 176,657 square foot, 124-unit residential building at the property located at 935 2nd Street South, subject to the following conditions:

1. Approval of the final site plan, elevations, floor plan, landscaping plan and lighting plan by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by October 27, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. The applicant shall work with the utility company to try and locate the transformer along 10th Avenue South to the south side of the building and then screen it with landscaping.
4. The applicant shall design the east side of the twelfth floor and the south side of the first floor so as to not have any expanse of wall that is over 25 feet in length and blank.
5. No less than six canopy trees or 12 ornamental trees shall be provided on the site.

ATTACHMENTS

1. Statement of proposed use, project description and proposed findings
2. Zoning map
3. Civil plans
4. Photos
5. Renderings
6. Shadow study
7. View shed plans
8. Architectural plans
9. Correspondence

**STATEMENT OF PROPOSED USE,
PROJECT DESCRIPTION, AND PROPOSED FINDINGS**

**Submitted in Support of Land Use Applications
For a Multiple Family Dwelling
935 S 2nd Street**

Revised 10/1/2014

Sherman Associates, Applicant

The Applicant, Sherman Associates, submits this Statement of Proposed Use, Project Description, and Proposed Findings, in support of its application for the following land use approvals for a proposed 122 unit multiple family project:

- **Conditional use permit:** to amend an existing Planned Unit Development to construct a new 122-unit residential building.
- **Site Plan Review.**

Zoning: C3A, Downtown Height Overlay District, Downtown Parking Overlay District
Ward: Ward 3; Council Member Jacob Frey; Downtown Minneapolis Neighborhood Organization

I. GENERAL LAND USE APPLICATION

A. Statement of Proposed Use and Project Description.

Proposed Use. Sherman Associates proposes to develop a multi-family dwelling with 122 dwelling units with below grade parking on Lot 2 of the Zenith Addition. The Project will have outdoor common areas at street level and roof top.

Project Site. The Project site is bounded by South 2nd Street, 9th Avenue S, 10th Avenue S, and Washington Avenue S. Washington Avenue South is a designated Commercial Corridor and the entire block lies within the Mill District Activity Center. Three lots exist on the block and are covered within a PUD that was established in 2007. Two lots were developed with buildings in 2007. The remaining lot is vacant and is the site of the proposed Encore development:

- Lot 1: 34,377 sf (0.789 ac)
 - Developed in 2007 as Zenith Condominiums
- Lot 2: 31,427 sf (0.721 ac)
 - Vacant; future site of the Encore
- Lot 3: 37,090 sf (0.851 ac)
 - Developed in 2007 as the Aloft Hotel

Site History. The Project site is currently vacant. The remainder of the block was developed in 2007 as a PUD. At that time, the site in question was targeted for high density residential development, similar to the current proposed development. Two buildings were developed in 2007 and remain: Zenith Condominiums, a 64-unit multifamily development that includes a clinic at street level and; Aloft Hotel, a 155-room hotel building that includes two small retail spaces. An underground tunnel between Zenith and Aloft gives Zenith residents access to the hotel pool and fitness center. A private drive runs through the site connecting 9th Ave S and 10th Ave S.

Design and Construction. As described in more detail in the description of the project incorporated in the architectural submittals, the project consists of an L-shaped building constructed over three levels of underground parking. The proposed orientation of the building has changed from the original PUD. The original PUD design for the site showed the short leg of the L along 2nd St S, and the long leg along 10th Ave S. The new design moves the short leg of the L to the south of the site in order to open up the site to the north (toward Gold Medal Park and the Mississippi River). The proposed configuration improves views of these features for Encore residents as well as residents of adjacent residential developments. The original PUD anticipated two levels of underground parking at the Encore site that would be accessed through the Zenith garage. Since Encore will now contain three levels of underground parking and will not be part of the Zenith homeowners association, a separate entrance to the underground parking has been designed with access from 10th Avenue S. The main entrance will be on 10th Avenue South with an additional “park” entrance facing S 2nd St. Both entrances are ADA accessible.

Encore will be 12 stories in height and includes significant setbacks at levels nine and 12 that mitigate the building’s bulk and help preserve access to river and park views for some Zenith residents. At each setback, roof space will be captured as private and common terraces. Level 12 will also contain a community room that will afford expansive views of the river and downtown to all residents. The height of the building is comparable to recent residential developments in the area including Zenith, Bridgewater and Stonebridge.

The building will be concrete “Type-1” construction, with an exterior of high quality glass, brick and prefinished metal panels. The lower three levels of parking will be constructed completely below grade. The first two above grade levels of the building will be clad primarily in brick and glass; the levels above will be clad in metal and glass.

Sustainability. The site is the key sustainable element of the Project. Located within ½ mile of the Downtown East LRT station and just steps from several bus lines that run on Washington Avenue, residents will have excellent access to public transit. Numerous off road bicycle trails are also located near the site. Walk Score designates the address as “Paradise” for walkers, transit riders and bicyclists.

Energy- and Resource-Efficient strategies that will be employed include:

- 50% - 75% recycling of construction waste
- High efficiency central boilers and air handler
- High efficiency cladding with continuous exterior insulation
- High-performance low-E glazing
- Energy Star appliances
- Dedicated space for recycling.
- Landscaped roofs

B. Site Characteristics

Ward:	Ward 3; Council Member Jacob Frey
Neighborhood:	Downtown Minneapolis Neighborhood Organization http://www.thedmna.org
Zoning District:	C3A (Plate 14—Downtown Height, Downtown Parking)
Guidance:	The Comprehensive Plan guides the Property for high-density mixed use development (retail, office and housing).
Lot Area	Project area=31,427 s.f. or 0.721 acres

	PUD area=102,894 s.f. or 2.362 acres
Permitted uses:	Multiple-family dwelling with 5 or more units.
Allowable height	112 feet or 8 stories (130'-4" and 12 stories proposed)
Allowable FAR	4.0
Allowable GSF	4.0 x 31,427 sf = 125,708 GSF (excluding parking)
Allowable parking	0.9 to 1.7 spaces per dwelling unit = 110 to 207 required (182 proposed)
Bicycle Parking	1 space per 2 dwelling units = 61 required (at least 122 proposed)
Setbacks (548-3)	Front yard = 0 (no more than 8 feet) Side yard = 15 feet Rear yard = 15 feet

C. Zoning Analysis

1. **Proposed Zoning.** The Applicant does not propose to rezone the property from the current C3A.

2. **Building Height.** The Downtown Height Overlay District amends C3A height limits to 112 feet or 8 stories, whichever is less. The proposed building is 132'-0" and 12 stories. Amenities are proposed within the PUD in exchange for an increase in height.

3. **Calculations.**

a. **Gross Floor Area.** The Downtown Height Overlay supersedes the C3A zoning for FAR and establishes the maximum FAR as 4.0. The allowable gross floor area is 125,708 gsf. The proposed gross floor area exceeds this limit by 40%. A density bonus of 20% is requested in exchange for amenities within the PUD. A variance is requested for the remaining increase in density.

b. **Parking.** 0.9 to 1.7 stalls per unit required; 1.5 stalls per unit provided (182); 1 enclosed bicycle space per two units required; 1 bicycle per unit provided.

c. **Maximum lot coverage.** Not applicable in Commercial Districts

d. **Impervious surface.** Not applicable in Commercial Districts

e. **Yard requirements.**

<i>Required:</i>	<i>Provided:</i>
Front yard 0 to 8 feet max.	10'-5" to 15'-5" (2 nd Ave S) 10'-10" (10 th Ave S)
Side yard 15 feet min.	<i>Alternative compliance is requested.</i> 1'-7"
Rear yard 15 feet min.	<i>PUD amenities are proposed</i> 25'-6"

f. **Yard obstructions.** The Project includes no obstructions that project into required yards.

g. Off-street loading. One small loading space required for multiple-family dwellings between 100 and 250 units. In the original PUD, one large loading space, south of Zenith, was provided for the entire PUD; no additional loading spaces are proposed.

PROPOSED FINDINGS

A. Conditional Use Permit to amend an existing PUD to allow a 122-unit residential building (525.340)

- 1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The site is surrounded by a mix of uses including high-rise, high-density residential, retail and a hotel. A new 122-unit residential building will complement the existing uses, transforming a vacant piece of land into a piece of a vibrant neighborhood. The added residents will provide additional eyes on the street, enhancing the safety of the neighborhood.

- 2. The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

The proposed development is similar to the building that was proposed for this site in the original PUD. The size of the building footprint of the proposed development is nearly identical to the original proposal. The current proposal adds height and density and provides additional setbacks. The orientation of the proposed building improves views toward the Mississippi River for some existing residents of Zenith and Bridgewater, while not diminishing these views for any resident. Additionally, the pet exercise area will be made available to Zenith residents, adding to their use and enjoyment of their property.

- 3. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.**

The development team will be working closely with the Public Works Department and various private utilities during the development of the project to ensure that all procedures are followed in order to comply with city and other applicable requirements. Phase 1 development of the PUD included infrastructure to manage storm water for all future phases of development. The development team intends to utilize this existing on-site infrastructure.

- 4. Adequate measures have been or will be taken to minimize traffic congestion in the public streets.**

Parking for residents and guests will be provided on site conforming to zoning minimums and maximums. All parking stalls will be accessed from a single curb cut. Additionally, the site is well situated in relation to transit and bicycle facilities, affording residents non-auto means of transportation. The development team understands that the city may request an update to the original TDMP.

- 5. The conditional use is consistent with the applicable policies of the comprehensive plan.**

The site falls within the boundaries of the Historic Mills District Master Plan. Last updated in 2001, the plan was written before the transformation of the area into a residential and cultural

neighborhood. As such, the Minneapolis Plan for Sustainable Growth provides more appropriate guidance.

The city block that comprises the PUD is located on Washington Avenue South, a designated Commercial Corridor and falls within the Historic Mills District Activity Center. High density (50-120 du/acre) is recommended for Commercial Corridors while high density or very high density (120-200 du/acre) is recommended for Activity Centers. The proposed development falls within the range of very high density at 169 du/acre. The PUD contains a mix of uses including residential, retail, hotel and neighborhood services. While the proposed development contains residential use exclusively, when taken as a whole with the rest of the PUD, this use contributes to and takes advantage of the mix of uses within the PUD. Specific policies that the proposed development will support include:

- a. 1.8: Preserve the stability of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.
- b. 1.8.1: Promote a range of housing types and residential densities, with the highest density development concentrated in and along appropriate land use features.
- c. 1.10.5: Encourage the development high-density housing on Commercial Corridors
- d. 1.12.1: Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- e. 1.12.3: Encourage active uses on the ground floor of buildings in Activity Centers
- f. 1.12.5: Encourage the development of high- to very-high density housing within the boundaries of Activity Centers.
- g. 1.12.9: Encourage architectural design, building massing and site plans to create or improve public and semi-public spaces in Activity Centers.

6. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

With the approval of the conditional use permit and site plan review, the proposed development will meet all applicable regulations of the C3A zoning district, Downtown Height Overlay district and Downtown Parking Overlay district.

B. Conformance with Required Findings for Planned Unit Developments:

That the planned unit development complies with all of the requirements and the intent and purpose of this chapter. In making such determination, the following shall be given primary consideration (527.260):

- 1. The character of the uses in the proposed planned unit development, including in the case of residential uses, the variety of housing types and their relationship to other site elements and to surrounding development.**

A multiple-family residential development with 122 dwelling units is proposed on Lot 2 to complete the Planned Unit Development established in 2007. The mix of units includes studios, one-, two- and three-bedroom apartments. Lining the lower two levels of the buildings will be two-story townhome-style units, with direct access to the street. Existing adjacent uses within the PUD include residential, hotel, retail and a medical clinic. The proposed development will complement the surrounding development. The uses adjacent to the PUD include a large public

park, additional residential developments, several cultural facilities and a wide variety of retail and restaurants. The proposed residential building will complement the adjacent uses.

2. The traffic generation characteristics of the proposed planned unit development in relation to street capacity, provision of vehicle access, parking and loading areas, pedestrian access, bicycle facilities and availability of transit alternatives.

A TDMP was written for the original PUD. The street capacity was found to be sufficient for the development proposed at that time. In the TDMP, Lot 2, the future site of The Encore, was anticipated to consist of 103 large condominium units and 120 below grade parking stalls accessed through the Zenith underground garage and a curb cut on 9th Avenue South. The current, revised proposal for Lot 2 includes 122 apartments and 182 underground parking stalls accessed from a new curb cut on 10th Avenue South. Should the City determine that the increase in density and relocation of the parking entrance warrants an updating of the original TDMP, the development team will comply.

3. The site amenities of the proposed planned unit development, including the location and functions of open space, the preservation or restoration of the natural environment or historic features, sustainability and urban design.

The site amenities of the PUD include active uses on all street frontages. The PUD includes a large plaza, accessible to the public, in the center of the block; and a private drive running east-west through the site connecting 9th Ave S and 10th Ave S. All storm water is captured and retained on site. The proposed new residential building on Lot 2 will include active uses on all sides of the building; private terraces and green space adjacent to each street level unit; multiple building entrances distributed along each side of the building; a large outdoor common amenity terrace facing Gold Medal Park; a large pet exercise area, available to Zenith residents as well as Encore residents; a rooftop club room including a common rooftop terrace with superior views; high-efficiency central cooling and heating systems; generous, high-performance windows distributed evenly across the facades; durable, high-quality materials; proximity to numerous transit routes; proximity to public parks and open space.

4. The appearance and compatibility of individual buildings and parking areas in the proposed planned unit development to other site elements and to surrounding development, including but not limited to building scale and massing, microclimate effects of the development, and protection of views and corridors.

The Encore has been located on the site, like the other two existing buildings, in order to maximize light, air and views within and through the site. The massing and materiality of the building will complement the adjacent buildings on the block; masonry, metal panels and large windows comprise the exterior palette. All parking will be underground, similar to the adjacent buildings within the PUD. A large outdoor terrace will be located adjacent to the existing outdoor terrace on Lot 1, creating a single, large, unified outdoor space providing ample light, air and views to the center of the block.

5. An appropriate transition area shall be provided between the planned unit development and adjacent residential uses or residential zoning that considers landscaping, screening, access to light and air, building massing, and applicable policies of the comprehensive plan and adopted small area plans.

The proposed Encore building is oriented toward S 2nd St and 10th Ave S in order to reinforce the street wall. The building will complete a consistent street wall along 2nd Street South that will frame the southern edge of Gold Medal Park. Between the building and the streets will be generously-landscaped semi-private spaces, elevated slightly above street level; these spaces are designed to be large enough and well-appointed enough to comfortably be used as outdoor rooms, helping to provide natural surveillance of the street by residents. These spaces will, in turn, provide visual interest, helping enliven the streets.

6. The relation of the proposed planned unit development to existing and proposed public facilities, including but not limited to provision for storm water runoff and storage, and temporary and permanent erosion control.

The proposed development is well-situated to take advantage of nearby cultural and recreational facilities. All necessary public utilities are available under S 2nd St. All storm water will be handled on-site in existing tanks installed in 2007 designed to handle storm water capacity for the entire site. Temporary erosion control measures can be referenced on the civil engineering drawings.

7. The consideration, where possible, of sustainable building practices during the construction phases and the use of deconstruction services and recycling of materials for the demolition phase.

Lot 2 has already been cleared of buildings; no deconstruction will be required. During construction, waste will be recycled off-site to the greatest extent feasible. Based on recent project experience, the development team anticipates recycling between 50% and 75% of construction waste.

8. That the planned unit development complies with all of the applicable requirements contained in Chapter 598, Land Subdivision Regulations.

The preliminary and final plats were completed in phase 1.

C. Authorized Alternatives and Amenities Provided:

Because the PUD has already been established, the (10) points required for establishment of the PUD is not required.

Alternatives Requested and Points Required:

- **Bulk Regulations: building height:** 5 points
- **Bulk Regulations: density** 5 points
- **Yards:** 5 points

- **Total** 15 Points

Amenities Provided:

- **Underground Parking:** 10 points
- **Outdoor Open Space** 5 points
- **Pet Exercise Area:** 1 point
- **Decorative Fencing:** 1 point
- **Enhanced Landscape** 1 point
- **Enhanced Lighting** 1 point
- **Recycling Area** 1 point

- **Total** 20 points

Amenity Narratives:

- **Underground parking:**
All parking for the project is below grade.
- **Outdoor Open Space:**
The project provides both a single, contiguous area occupying the northwest of the site and, ringed around the building, private outdoor terraces directly accessible from the townhome units and from the street. The outdoor resident lounge will feature a gas-fired fire pit to help extend the usability of the space into the shoulder seasons. Pathways will be delineated from gathering areas by means of paving; pathways will be paved with colored, stamped concrete while gathering areas will be paved with plain, saw-cut concrete. In addition to paved areas, extensive planted areas are distributed throughout the outdoor spaces and are designed for year-round interest. In addition to these at-grade spaces, a roof terrace adjacent to the rooftop club room will afford residents panoramic views of the river and downtown skyline and will feature an outdoor kitchen with a grill, sink and counter space.
- **Pet Exercise Area:** A pet exercise area will be enclosed with decorative fencing and perimeter plantings. An artificial turf surface will hold up well to abuse and will be easy to clean. The area will be lit with bollards at the perimeter.
- **Decorative Fencing:** A total of 347 linear feet of decorative metal picket fencing will be employed around the pet exercise area and around each private terrace.

- **Enhanced Landscaping:** The plantings have been chosen to provide year-round interest. The walkway from 2nd Street will be lined with fragrant, spring-flowering Japanese Lilac trees; evergreen Yew and tall ornamental grasses will provide visual interest in winter. Summer-flowering Hydrangea is employed in the southern portion of the plaza where sufficient sunlight exists and Hostas are specified in areas with limited sunlight. Spring-flowering Serviceberry trees, hostas and bush honeysuckle line the southern portion of the building. The main entrance on 10th St will be planted seasonally with flowering annuals. The retaining walls along 2nd St and 10th Ave will be planted with a mix of evergreen Arborvitae, deciduous shrubs, Hosta and ornamental grasses. All plantings will be subtly lit to maximize enjoyment in summer evenings and the shorter days of winter. Finally, townhome residents will be able to enjoy their own private patch of lawn.
- **Enhanced Exterior Lighting:** All lighting will be pedestrian-scaled; no pole-mounted fixtures will be used. Outdoor paths and gathering spaces will be lit with a combination of decorative bollards and feature lighting of the plantings. Sconces will be distributed around the perimeter of the building in order to light the private terraces and highlight the brick piers between windows.
- **Recycling Area:** Dedicated areas for recycling will be located within the trash rooms on each floor, adjacent to elevator lobbies. Recyclables will be collected periodically by building staff and stored in the main trash/recycling room at street level to await collection.

D. Increase in Allowable Height:

The height limitations of principal structures located in the commercial districts, except single and two-family dwellings, may be increased by conditional use permit, as provided in Chapter 525, Administration and Enforcement. In addition to the conditional use standards, the city planning commission shall consider, but not be limited to, the following factors when determining the maximum height (548.110):

1. Access to light and air of surrounding properties.

The allowable height is 112 feet. The proposed height of The Encore is 132'-0". Any potential negative effects on neighboring properties due to the additional 20'-0" of height, is mitigated due to the location of the Encore relative to adjacent properties, and the reduction in the building's bulk at its upper floors. The Zenith Condominiums' access to light and air is not affected by the additional height of the Encore due to the fact The Encore's bulk is oriented toward the east and south of the site, in a direction away from Zenith, mitigating shadowing. The shadowing of the proposed building will be less than a fictional 112-foot building located closer to the north and west of the site. Furthermore, a significant setback from the north at Level 9 and setbacks on all sides of the building at Level 12 further reduce the effects of shadowing. Access to light and air for The Bridgewater, across 10th Avenue South, is not affected by the extra 20'-0" of height. Due to the skew in the urban grid, The Bridgewater is located significantly south of the Encore, minimizing the effect of shadowing. Furthermore, the building setbacks described above further mitigate the effect of shadowing.

2. Shadowing of residential properties, significant public spaces, or existing solar energy systems.

Shadowing of residential properties is described above. The significant public space to the north of The Encore, Gold Medal Park, is not affected by The Encore's additional height due to the significant building setback at Level 9. The accompanying shadow studies demonstrate that the shadow cast by The Encore does not extend as far as the shadows created by Zenith or Bridgewater. No existing solar energy systems exist adjacent to the site.

3. The scale and character of surrounding uses.

The additional height of the Project is consistent with the scale and character of surrounding uses. The additional height is mitigated by setbacks at Levels 9 and 12. It is also mitigated by the fact that the mechanical penthouse is located at the highest level, not on the roof above the highest level. Both Zenith and Bridgewater include significant mechanical penthouses that are not counted as contributing to the building height. Because the upper-most level of The Encore is substantially set back on all sides, mechanical spaces are able to be accommodate on that uppermost level, not on the roof. The recently completed Stonebridge development was approved for a height of 12 stories and 132 feet (BZZ-4917 & PL-246), though the maximum allowable zoning height for that site is six stories or 84 feet, whichever is less.

4. Preservation of views of landmark buildings, significant open spaces or water bodies

The extra height of the building is mitigated by setbacks. The location of the building was chosen expressly to create more open space and better views between Zenith and The Encore, affording improved views toward Gold Medal Park and the Mississippi River for Zenith residents. The resulting building affords better views through and around the site than a less sensitively-sited building of 112 feet might have.

E. Increase in Building Bulk

The following findings pertain to both the variance and the requested alternative within the PUD:

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

The proposed development is phase 2 of a PUD. At the time the PUD was established, the properties were replatted into three sites for three separate buildings. The location of the property lines between the three parcels was designed to accommodate the construction of an interconnected underground parking facility on lots 1 and 2, and a shared private drive occupying portions of all three lots. Though the interior courtyard, interior drive and turnaround serve all three sites, they are located disproportionately on Lot 1 and Lot 3, effectively decreasing the lot size of Lot 2. With respect to allowable gross floor area within the zoning district, when taken as a whole, the completed two-phase development has a FAR of 3.78. The original PUD was submitted with a total FAR of 3.6. This represents a modest increase in density from the original PUD and falls within the district zoning limit FAR of 4.0:

- Lot 1 (Zenith): 34,377 sf lot area 126,100 sf gross floor area
- Lot 2 (Encore): 31,427 sf lot area 175,991 sf gross floor area
- Lot 3 (Aloft): 37,090 sf lot area 86,400 sf gross floor area

- Total: 102,894 sf lot area 388,491 sf gross floor area

- FAR = $388,491 / 102,894 = 3.78$

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

The intent of the ordinance is to protect surrounding properties from the ill effects of excessive building bulk. Due to the orientation of the building on its site and its massing including setbacks at levels 9 and 12, the effects of its bulk are greatly mitigated. For conformance with the comprehensive plan, see finding 5 under the required findings for the conditional use permit to modify a PUD.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

The proposed increase in development density will not alter the character of the locality. The site is surrounded by buildings of similar height and bulk. The Bridgewater PUD, occupying the entire city block to the east has an FAR of 5.7 (BZZ-2837), in excess of the proposed 5.6 FAR of Encore, and far in excess of the proposed Zenith/Aloft/Encore block-wide PUD FAR of 3.78. Furthermore, the building bulk of Encore is designed to maximize access to light, air and views and includes significant setbacks on levels 9 and 12.

F. Decrease in Interior yard Setback:

A variance may be granted from the regulations of the zoning code only when the applicable board, commission, or council makes each of the following findings based upon the evidence presented to it in each specific case (525.500):

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

At the time of the creation of the PUD, a series of reciprocal easements were created between the three properties on the block in order to establish permanent building limits and permanent reciprocal access. While the above-grade structures for Zenith and the future Lot 2 residential development (now being developed as The Encore) are spaced well apart from each other, the original PUD provided for their below-grade parking structures to abut one-another in a zero lot line arrangement. The western boundary of the above-grade portion of the future Lot 2 development was anticipated to abut the property line. To allow for windows on this façade, a 30-foot-wide “No build” easement (provided as an attachment to this application) was created on the eastern edge of the Zenith property. The original Lot 2 design featured one leg of the L-shaped residential structure adjacent to the property line at the north end of the site; the revised Encore proposal reorients the building with a similarly-sized leg of the building against the western property line along the south of the site. The proposed change is not based on economic considerations but on the practical desire to shift the building bulk to the south of the site, thereby opening up the northern part of the site for views toward the Mississippi River.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

As stated above, the property line between Lots 1 and 2 was established based on the size of the underground parking structure of Lot 1. A no-build easement was created on Lot 1 specifically to allow the above-grade portion of the Lot 2 structure to abut the property line. The intended practical result of the 30-foot “No-build” easement (which is irrevocable without consent of the local building official) was to establish a public way, similar to a street or alley. For the purposes of code analysis, this public way establishes an imaginary property line 15 feet to west of the legal property line, thus allowing for windows in that face of the building, with respect to analysis of the prevailing building code. For conformance with the comprehensive plan, see finding 5 under the required findings for the conditional use permit to modify a PUD.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

Following the build-out of Lot 2, the completed PUD will feature three buildings with appropriately generous spaces between them. The northern, above-grade portions of the Lot 1 and Lot 2 buildings will be separated by approximately 140 feet; the southern, above-grade portions of the Lot 1 and Lot 2 buildings will be separated by approximately 110 feet. Such separations between buildings provide ample light and air between the buildings. The 30-foot “No-build” easement allows windows to be placed on the western façade of The Encore where it abuts the property line by guaranteeing that any future structure on Lot 1 will be located at least 30 feet from the property line.

SITE PLAN REVIEW

The Applicant respectfully requests approval of Site Plan Review on the basis of the following findings, as required by Section 530.70:

(1) Conformance to all applicable standards of chapter 530.

The placement of the building will reinforce the street wall. The building is set back from the street more than 8 feet in order to provide a nominal landscaped buffer between the sidewalk and the 7’ to 8’ deep private yards and terraces, enhancing privacy and usability of the terraces. In addition, low concrete retaining walls located from 3’ to 4’ from the lot line help define the street wall while giving elevation to the private terraces, enhancing privacy and surveillance. The area between the building and the lot line includes amenities such as landscaping, planters and private terraces, enhancing surveillance and visibility. The building is oriented so the principal entrance faces 10th Avenue S. A second building entrance opens to an exterior courtyard adjacent to 2nd Ave S. The courtyard can be readily accessed from the street and includes a pet exercise area adjacent to the street, enhancing surveillance.

The facades on all sides of the building are articulated with balconies, entry trellises and ground level patios with private entrances to the residential units. Entrances are clearly defined. Each façade meets or exceeds the minimum requirements for clear glazing. Lighting in the open space, courtyards and along the street front will provide a safe and comfortable environment for pedestrians.

The proposed exterior materials are durable, including brick, and metal panels. Windows are vertical in proportion and are distributed evenly across the facades.

Window quantities exceed the required minimums with the exception of the south elevation at Level 1 adjacent to the sloping ramp to the parking garage, where windows would not provide much benefit; alternative compliance is requested in the form of closely spaced trees that form a hedge.

The parking garage entrance and exit is located on 10th Avenue S, approximately at mid-block. While this entrance is close to the existing curb cut for the private drive through the block, the location of the entrance at the far south of the building allows the primary building wall along 10th Avenue S to be uninterrupted with curb cuts.

One hundred percent of the site that is not covered by buildings will be developed as landscaped open space. The courtyard and rooftop patios will also be developed with green roof planting materials and larger plants in planters. The parking will be one hundred percent enclosed, so there will be no required screening. The Project will have decorative fences around the private terraces to provide privacy and safety while allowing for surveillance of the street.

The electrical transformer facing 2nd Ave S is screened from view behind concrete walls and a decorative metal fence. No other screening is required.

(2) Conformance to all applicable regulations of this zoning ordinance and is consistent with the applicable policies of the comprehensive plan and applicable small area plans adopted by the city council.

The proposed use (multifamily residential) is permitted in the C3A zoning district. The Site Plan is designed in accordance with all requirements of the Minneapolis Code of Ordinances, the Minnesota State Building Code and other applicable law. See Finding A for a discussion of consistency with the comprehensive plan.

PLANNED UNIT DEVELOPMENT APPLICATION

**Submitted in Support of Land Use Applications
For a Multiple Family Dwelling
935 S 2nd Street**

Sherman Associates, Applicant

Statement of Proposed Use of all Portions of Land:

The PUD consists of three lots within a phased development. Lots 1 and 3 were developed as part of phase 1 and completed in 2007. Lot 2 is proposed to be developed as phase 2 with construction commencing in Spring 2015. Lot 2 was cleared of existing structures as part of phase 1. Following the completion of phase 1, Lot 2 was graded level and covered with turf, the condition in which it remains to this day.

- Lot 1 was developed as a 9-story mixed use building with multifamily residential as the primary use. The development is called Zenith Condominiums. The street level contains a retail/commercial space currently occupied by a medical clinic. Two underground levels contain parking for condominium residents and guests of the adjacent hotel. Levels 2 through 9 contain 64 residential condominiums.
- Lot 3 was developed as a 5-story, 155-room hotel and also includes two small retail spaces on the street level. The development includes a small surface parking lot on the interior of the block, serving the retail uses, and a private drive connecting 9th Ave S and 10th Ave S.
- Lot 2 will be developed as a 12-story multifamily residential with 122 apartments. Parking for residents will be provided in a three-level underground garage.

Master sign plan:

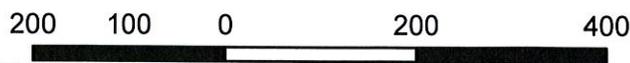
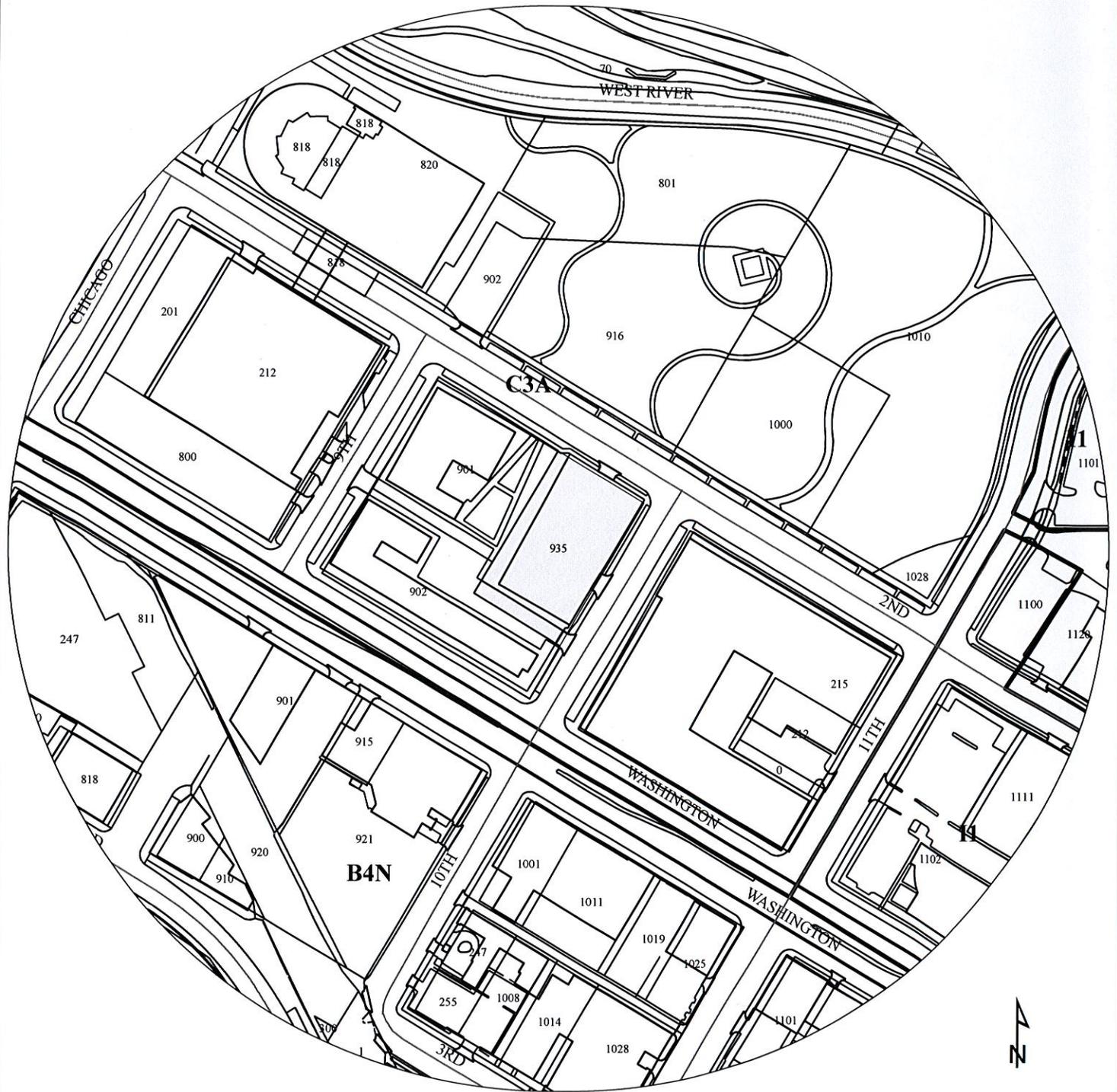
The architectural site plan A1.0 indicates locations and dimensions of all existing signs installed on Lots 1 and 3 as part of phase 1, and two proposed signs on Lot 2 as part of phase 2. A table of these signs can also be found on the architectural site plan. It appears that some approved signs for phase 1 were never installed; the site plan includes only signs currently existing on Lots 1 & 3 and proposed on Lot 2.

Sherman Associates - The Encore

3rd

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
935 2nd Street South

FILE NUMBER
BZZ-6843

The Encore

Minneapolis, MN

The Encore (Zenith Phase II)
Minneapolis, MN



alex swenson graham architects
500 Washington Avenue South
Minneapolis, Minnesota 55415
P: 612.339.5188
F: 612.339.5189
WWW.ASGARCHITECTS.COM



SYMBOLS LEGEND

	SECTION AND ELEVATION REF		EXTERNAL ELEVATION NOTE REF
	ELEVATION REF		ROOM NAME AND NUMBER
	DETAIL REF		SUGAR NUMBER
	WALL TYPE (SEE SHEET A101)		SECTION REFERENCE REF
	ALIGNMENT TYPE (SEE SHEET A102)		REVISION NUMBER
	ELEVATION REF		FINAL CUT/TOGETHER
	SPLIT ELEVATION REF		FIRE EXIT/DOORWAY WALL MOUNTED
	FLOOR FINISH (SEE SHEET A103)		

SHEET INDEX

SHEET NUMBER	SHEET NAME	STATUS
T1.1	TITLE SHEET	C
T1.2	PROJECT DESCRIPTION AND SITE PLAN	C
MINUS 3	MINUS 3 FLOOR PLAN	C
MINUS 2	MINUS 2 FLOOR PLAN	C
MINUS 1	MINUS 1 FLOOR PLAN	C
LEVEL 1	LEVEL 1 FLOOR PLAN	C
LEVEL 2	LEVEL 2 FLOOR PLAN	C
LEVEL 3	LEVEL 3 FLOOR PLAN	C
LEVEL 4	LEVEL 4 FLOOR PLAN	C
LEVEL 5	LEVEL 5 FLOOR PLAN	C
LEVEL 6	LEVEL 6 FLOOR PLAN	C
LEVEL 7	LEVEL 7 FLOOR PLAN	C
LEVEL 8	LEVEL 8 FLOOR PLAN	C
LEVEL 9	LEVEL 9 FLOOR PLAN	C
LEVEL 10	LEVEL 10 FLOOR PLAN	C
LEVEL 11	LEVEL 11 FLOOR PLAN	C
LEVEL 12	LEVEL 12 FLOOR PLAN	C
LEVEL 13	LEVEL 13 FLOOR PLAN	C
LEVEL 14	LEVEL 14 FLOOR PLAN	C
LEVEL 15	LEVEL 15 FLOOR PLAN	C
LEVEL 16	LEVEL 16 FLOOR PLAN	C
LEVEL 17	LEVEL 17 FLOOR PLAN	C
LEVEL 18	LEVEL 18 FLOOR PLAN	C

UNIT MIX & SQUARE FOOTAGES

Level	AREA	Comments
LEVEL 1	15,240 SF	NOT INCLUDING 1,850 GSF PARKING
LEVEL 2	15,543 SF	
LEVEL 3	15,526 SF	
LEVEL 4	15,526 SF	
LEVEL 5	15,526 SF	
LEVEL 6	15,526 SF	
LEVEL 7	15,526 SF	
LEVEL 8	15,526 SF	
LEVEL 9	14,112 SF	
LEVEL 10	14,112 SF	
LEVEL 11	14,112 SF	
LEVEL 12	3,382 SF	NOT INCLUDING MECHANICAL ROOMS
176,657 SF		

Level	AREA	Comments
MINUS 3	23,238 SF	
MINUS 2	23,238 SF	
MINUS 1	89,713 SF	

PARKING SCHEDULE			BIICYCLE SCHEDULE		
Description	Count		DESCRIPTION	COUNT	
MINUS 3			MINUS 3		
COMPACT STALL	17		GROUP RACK	20	
STANDARD STALL	46		MINUS 2		
	63		GROUP RACK	40	
MINUS 2			MINUS 1		
COMPACT STALL	15		GROUP RACK	40	
STANDARD STALL	46		Grand total	120	
	61				
MINUS 1					
ACCESSIBLE STALL	6				
COMPACT STALL	15				
STANDARD STALL	37				
	58				
Grand total	182				

PROJECT LOCATION

Vicinity

Site Location

PROJECT TEAM

Owner/Developer: Sherman Associates
233 Park Ave South
Minneapolis, MN 55415

Architect: Elness Swenson Graham Architects Inc.
500 Washington Ave, Suite 1080
Minneapolis, MN 55415
Ph: 612.339.5188
Fx: 612.339.5382

Structural Engineer: BKBM Engineers
5920 Brooklyn Boulevard
Minneapolis, MN 55426

Landscape/Civil: Alliant Engineering, Inc.
255 Park Ave South
Minneapolis, MN 55415

Contractor: T.B.D.

Mechanical, Electrical, Plumbing Engineer: T.B.D.

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature: _____
Date: _____

NOT FOR CONSTRUCTION

9/12/2014
LAND USE APPLICATION

ORIGINAL ISSUE

REVISIONS

No.	Description	Date

Project Number: _____
Sheet Number: _____

ENC. ENC.
DRAWING: 10-110-01

The Encore (Zenith Phase II)

TITLE SHEET
T1.1



Project Purpose and Vision

The site of The Encore is the most significant remaining undeveloped parcel in the Minneapolis Mills District. Its future residents will enjoy panoramic views of the Mississippi River and Downtown Minneapolis; immediate access to Gold Medal Park and the Grand Rounds; and proximity to world-class cultural institutions and a typically urban variety of restaurants, shops and services. Walk Score rates the site as "Paradise" for walkers, transit riders and bicyclists alike. Located on a designated Commercial Corridor and within an Activity Center, it is an ideal location for high-density residential development, helping to further to goals described in the Minneapolis Plan for Sustainable Growth.

Architectural and Urban Design Vision

The 12-story post-tensioned concrete structure will be dressed with a restrained palette of durable, high-quality materials that will complement both its historic and more recent modern neighbors: brick, metal panels and large windows of high-performance glass. The subtly sculpted rectilinear building has a traditional urban form but is unmistakably modern in feel. The two-story brick-clad base will contain two-story walk-up townhomes, each with a private patio elevated slightly from the street. Each patio will feature a paved terrace large enough to be generously furnished, and a patch of lawn for lounging. With direct access to the street, these outdoor living spaces will help enliven the streetscape while providing for natural surveillance, making the street safer for everyone.

While the base of the building is oriented to the street, the saw-toothed L-shaped plan is designed to maximize river views for residents on the upper floors. A large outdoor plaza facing Gold Medal Park opens the site to panoramic river views. Each unit facing this plaza has a corner balcony large enough to be furnished as an outdoor room. Like box seats in an opera house, these balconies will look down on the stage where the history of the city of Minneapolis began.

Sustainable Features

The primary sustainability concept for the Encore is its ideal urban site. Located within a half mile of the Downtown East LRT station; steps away from numerous bus routes; and within reasonable walking or biking distance of downtown's 165,000 jobs. For many residents, riding, cycling or walking will be more convenient than driving and parking. Beyond its sustainable site, the building's design will seek to minimize energy use and waste generation. Buildings account for 40% of our nation's energy use and their construction accounts for 40% of waste in landfills. During construction, 50% to 75% of waste will be diverted from landfills and recycled. High-efficiency central heating and cooling systems, high-performance glazing, continuous exterior insulation, and high-efficiency lighting will all contribute to the building's energy efficiency. Participation in Xcel Energy's Design Assistance Program will incentivize further energy-reduction measures.



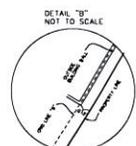
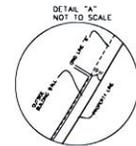
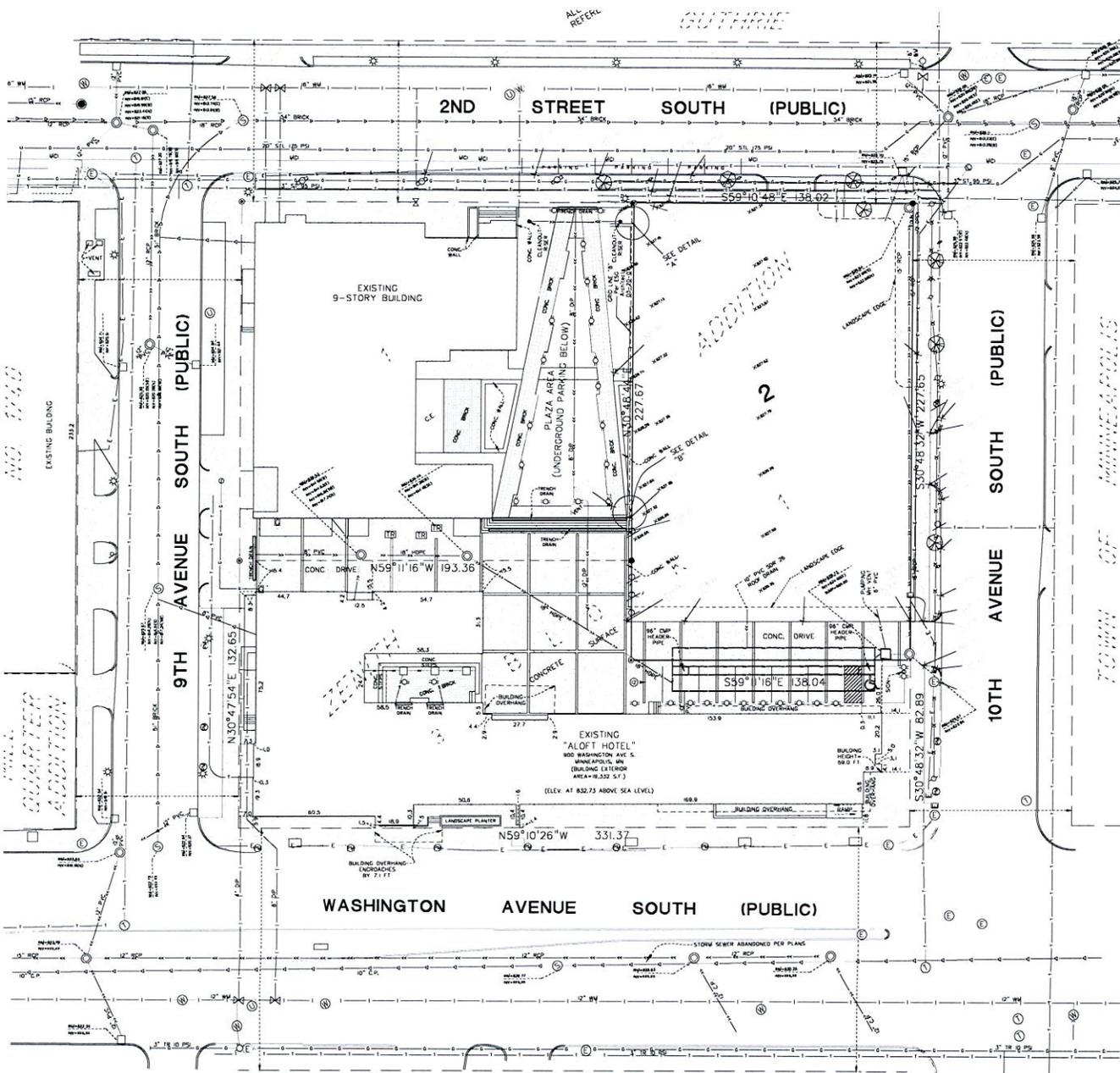
esg architects
500 Washington Avenue South
Minneapolis, Minnesota 55401
P. 612.338.5588
F. 612.338.5589
www.esgarchitect.com

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.
Signature: _____
Project: The Encore
Date: _____

NOT FOR CONSTRUCTION

9/12/2014 LAND USE APPLICATION		
ORIGINAL DATE	09/12/14	
REVISIONS		
No.	Description	Date
Project Number		
Author	Checked	
The Encore (Zenith Phase II)		
PROJECT DESCRIPTION AND STATEMENT OF PURPOSE		
T1.2		

NOT FOR CONSTRUCTION



NOTE: OUTSIDE WALL LOCATION IS DEPICTED BASED ON GRID "B" PER ALLIANT RECORDS AND OUTSIDE WALL "D" IN RELATION TO GRID "B" AS REFERENCED ON ASI 1, DATED 3-20-07 PER ESG.

PROPERTY DESCRIPTION

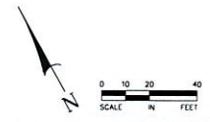
Lot 2, Block 1, Zenith Addition, according to the recorded plat thereof, Hennepin County, Minnesota. Together with the benefit of the easement contained in Reciprocal Maintenance, Use and Easement Agreement filed as Document No. 440104. Being Registered land as is evidenced by Certificate of Title No. 1215046 Hennepin County, Minnesota.

NOTES

- The locations of underground utilities are depicted based on City of Minneapolis One Call Ticket No. 14000276, available city maps, records and field locations and may not be exact. Verify utility locations prior to construction or design.
 - The bases of lot corners is assumed.
 - All dimensions are in feet.
 - The area of the above described property is 21,427 square feet or 0.72 acres.
 - Survey Mark.
- Top Not of hydrant located on the northeast corner of 2nd Street South and 10th Avenue South has an elevation of 848.07 feet NGVD 1929.

LEGEND

- | | |
|-------------------------|-------------------------|
| ● FOUND BRASS DISC | ⊙ ELECTRIC MANHOLE |
| ○ HYDRANT | ⊙ PARKING METER |
| ⊙ WATER VALVE | ⊙ TELEPHONE MANHOLE |
| ⊙ SIGN | ⊙ GAS VALVE |
| ⊙ CATCH BASIN | — UNDERGROUND GAS |
| ⊙ ELECTRIC BOX | — SANITARY SEWER |
| ⊙ LIGHT | — STORM SEWER |
| ⊙ WATER MANHOLE | — WATER MAIN |
| ⊙ SANITARY MANHOLE | — UNDERGROUND ELECTRIC |
| ⊙ GROUND LIGHT | — UNDERGROUND TELEPHONE |
| ⊙ POWER POLE | — OVERHEAD ELECTRIC |
| ⊙ WATER MANHOLE | — CONCRETE |
| ⊙ UNKNOWN MANHOLE | — CONCRETE BRICK |
| ⊙ TRANSFORMER | — CONCRETE BRICK |
| ⊙ BOLLARD | |
| ⊙ GAS METER | |
| ⊙ POWER POLE/LIGHT POLE | |
- X 827.22 SPOT ELEVATION TAKEN 8-7-14
SPOT ELEVATION TAKEN 02-26-09



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9/12/2014
LAND USE
APPLICATION

ORIGINAL ISSUE 08/22/14

REVISIONS

No. Description Date

214-0100
PROJECT NUMBER

ESG MK
DRAWN BY CHECKED BY

612 PLAN

The Encore (Zenith Phase II)

Existing Conditions
C-0.0

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed LAND SURVEYOR under the laws of the State of Minnesota.

Signature _____

TITLE OR FIRM NAME _____

DATE _____

NOT FOR
CONSTRUCTION

- SECTION, MATERIAL, USE, AND EASEMENT ABBREVIATION FOR ALL EXISTING AND PROPOSED AREAS
- EXHIBIT C: COURTYARD DEFINITION
 - EXHIBIT D-1: HOTEL PARKING ACCESS (SURFACE PARKING)
 - EXHIBIT D-2: HOTEL PARKING SPACES (SURFACE PARKING)
 - EXHIBIT E: NO-BUILD COURTYARD
 - EXHIBIT F: POOL AND FITNESS
 - EXHIBIT G-1: SURFACE DRIVE
 - EXHIBIT G-2: SURFACE DRIVE EASEMENT
 - EXHIBIT H: TUNNEL, TUNNEL ELEVATOR AND LOBBY

9/12/2014
LAND USE
APPLICATION

ORIGINAL FILED 08/22/14

REVISIONS

No.	Description	Date

214-0100

PROJECT NUMBER

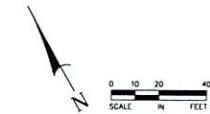
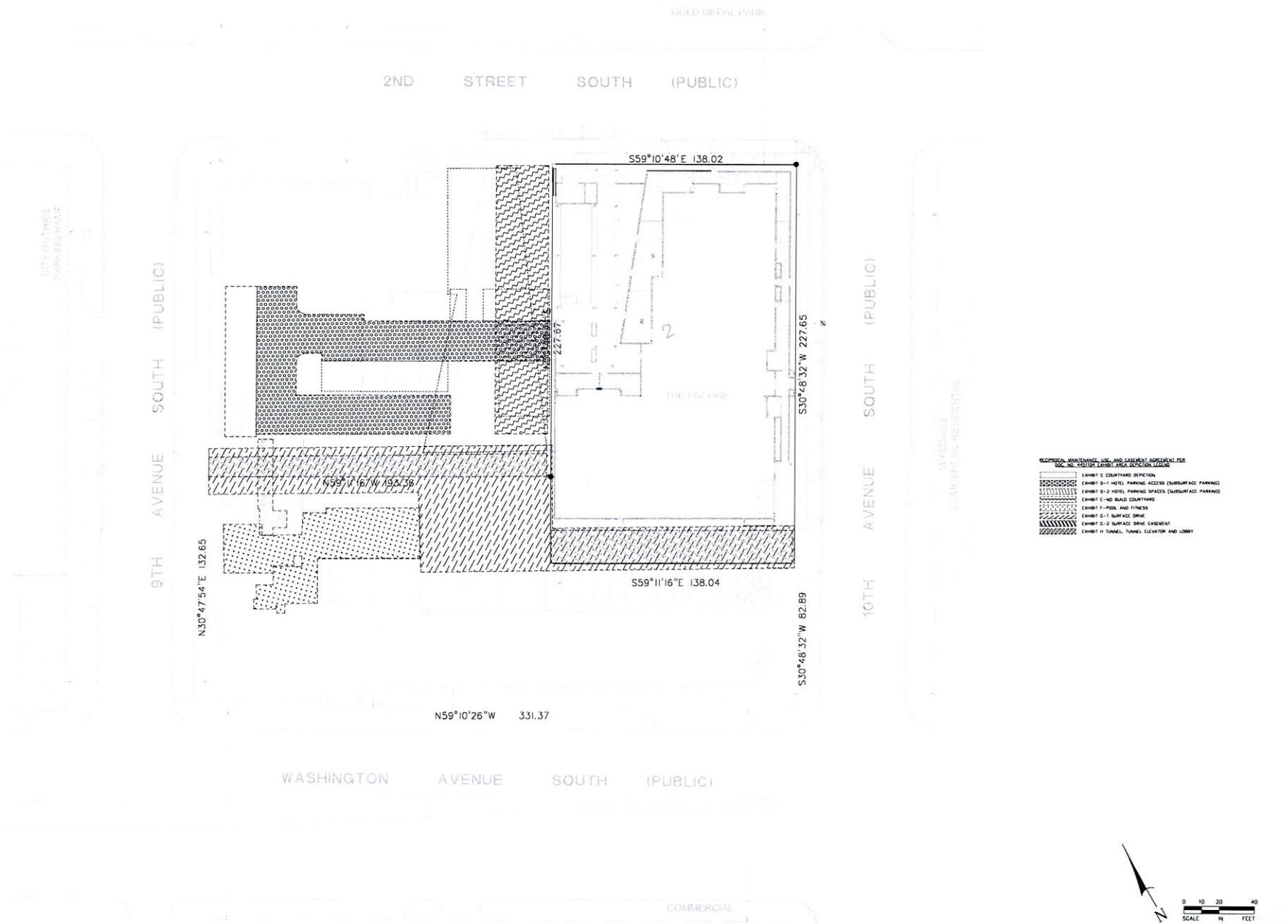
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SIT PLAN

The Encore (Zenith Phase II)

Existing Easement Exhibit
C-0.1

Plotting name: X:\2014\140100\plan_sheets\2014\140100-encore2.dwg Sep 12, 2014 - 10:30am



GOLD MEDAL PARK

GENERAL NOTES:

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. ALL WORK WITHIN THE RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS AND STANDARDS OF THE CITY OF MINNEAPOLIS.
4. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
5. CONCRETE SIDEWALK AND CURB & GUTTER SHALL BE REMOVED TO THE NEAREST CONSTRUCTION JOINT OUTSIDE THE REDLINES LIMITS.
6. ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTER OF STRUCTURE, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING.
8. ALL CONCRETE SIDEWALK ADJACENT TO BUILDING SHALL BE SEPARATED BY A 1/2" EXPANSION JOINT.
9. PROTECT EXISTING CONCRETE SIDEWALKS DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY CRACKED OR BROKEN PANELS CAUSED BY SITE CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF THE EXISTING BITUMINOUS BITUMINOUS SHALL BE SAW CUT OR JACK HAMMERED FOR STRAIGHT EDGES. JACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO FINISHING. MATCH EXISTING GRADES.
11. CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES & STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES & SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES & STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
12. CONTRACTOR SHALL NOT IMPIDE EXISTING TRAFFIC CIRCULATION TO ADJACENT PROPERTIES.
13. CONTRACTOR SHALL PERFORM SWEEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED.
14. CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST/NOISE OCCASIONED BY AND DURING CONSTRUCTION. THE PRODUCT HAS BEEN COMPLETED AND ACCEPTED. SUCH DUST CONTROL MEASURES MAY INCLUDE SWEEEPING, WATER SPRINKLING, CALCIUM CHLORIDE APPLICATIONS, TREATMENT WITH BITUMINOUS MATERIALS OR ANY OTHER METHODS, WHICH WILL PROVIDE AND MAINTAIN DUST-FREE CONDITIONS ON THE PROJECT.
15. ALL DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB.
16. REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE WALLS AND CONCRETE STUOPS ADJACENT TO PROPOSED BUILDING.
17. ALL EXISTING CURB CUTS TO BE REPLACED WITH CONCRETE CURB AND GUTTER EQUIVALENT TO THAT WHICH CURRENTLY EXISTS.
18. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF VARIATIONS FROM THE PLANS.

SITE DATA:

EXISTING AND PROPOSED ZONING = IUD
 LOT AREA = 31,427 SF / 0.72 ACRES
 BUILDING FOOTPRINT AREA = 17,100 SF
 NET LOT AREA = 31,427-17,100= 14,327

	EXISTING	PROPOSED
IMPERVIOUS	2,628 SQ. FT.	20,803 SQ. FT.
	8% OF LOT	82% OF NET LOT
PERVIOUS	28,799 SQ. FT.	3,624 SQ. FT.
	92% OF LOT	18% OF NET LOT

SITE LIGHTING:

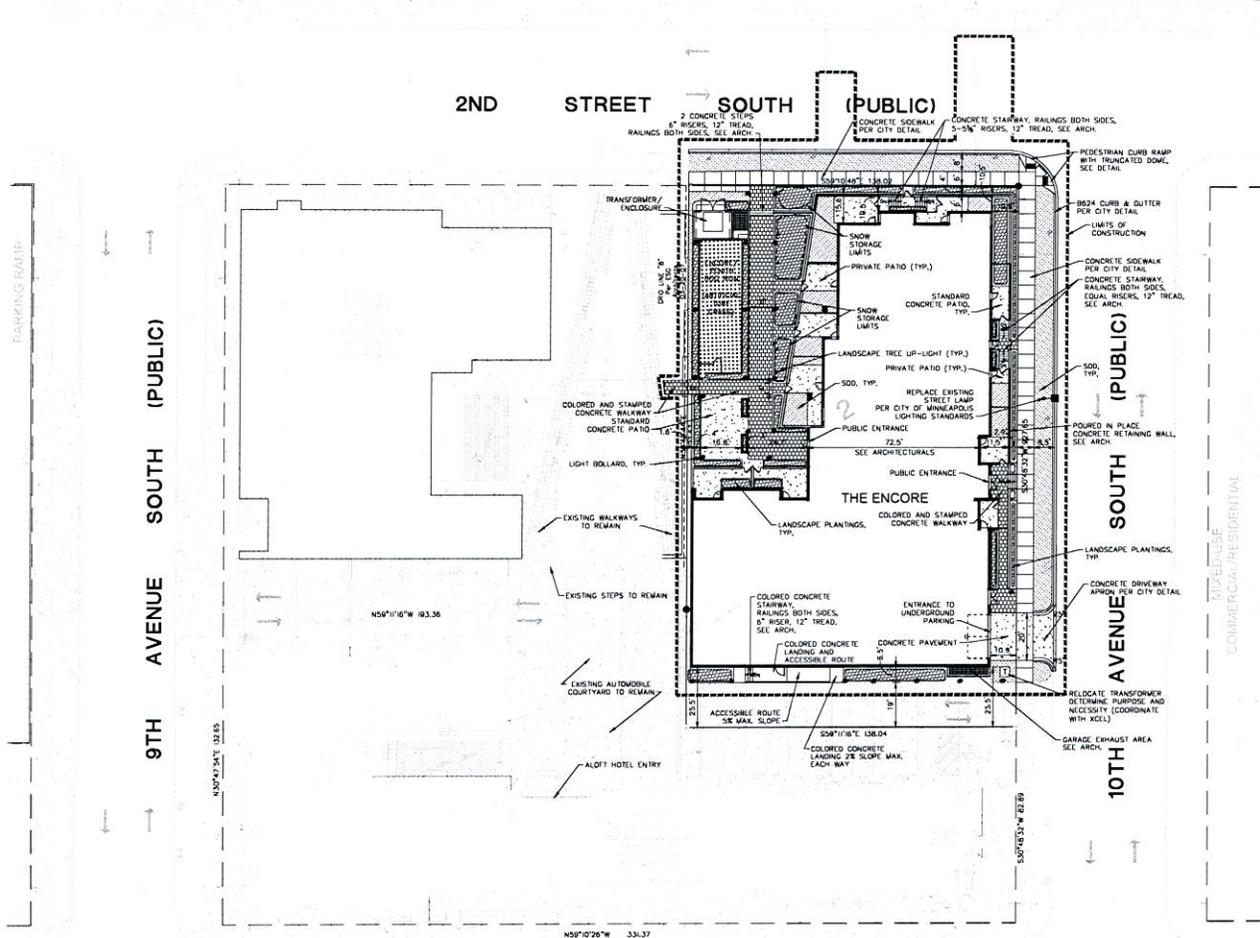
EXTERIOR LIGHTING SHALL MEET CHAPTER 325.290 LIGHTING REQUIREMENTS OF THE MINNEAPOLIS ZONING CODE.

SNOW REMOVAL:

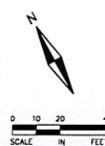
SNOWFALLS OVER 2-3 INCHES SHALL BE HAULED OFF-SITE AND PROPERLY DISPOSED OF.

SITE LEGEND:

- PROPERTY LINE
- BB24 CURB AND GUTTER (IN R.O.W.)
- LIMITS OF CONSTRUCTION
- DIRECTION OF TRAFFIC
- CONCRETE PAVEMENT
- PAVER WALKWAY
- SOD
- ARTIFICIAL TURF GRASS
- LANDSCAPE PLANTINGS
- STREET LIGHT
- LIGHT BOLLARD
- UP-LIGHT FOR LANDSCAPING



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 NOT FOR CONSTRUCTION



The Encore
 (Zenith Phase II)
 Minneapolis, MN

sherman
 ASSOCIATES

esg

erin swenson graham architects
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I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature

CLASS AND LICENSE NO.

EXPIRES OR RENEWAL DATE

License No. / Date

NOT FOR CONSTRUCTION

9/12/2014
 LAND USE
 APPLICATION

ORIGINAL ISSUE 08/27/14

REVISIONS

No. Description Date

214-0100

PROJECT NUMBER

EMK MK

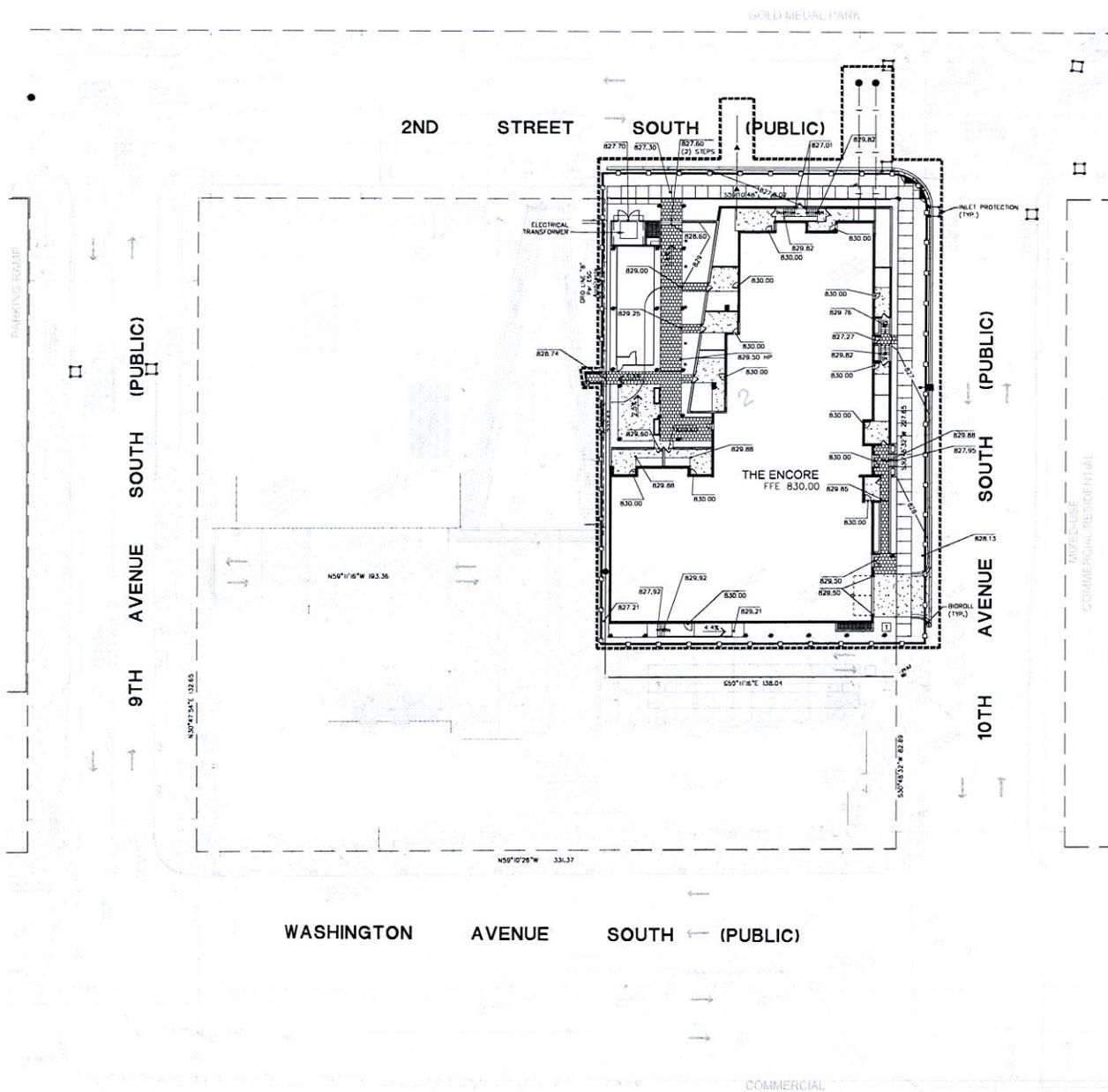
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LIV PLAN

The Encore (Zenith Phase II)

SITE PLAN
 C-1.0

Drawing name: K:\2014\10100\upon\ereas\09\40100-grad.dwg Sep 12, 2014 - 2:20pm



GRADING NOTES:

1. ALL PAVEMENTS SHALL SLOPE AWAY FROM EXISTING AND PROPOSED BUILDINGS.
2. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY.
3. NOTIFY Gopher State One Call, at (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
4. ALL IMPROVEMENTS TO CONFORM WITH CITY AND COUNTY CONSTRUCTION STANDARDS, SPECIFICATION, LATEST EDITION.
5. 50' OF BITUMINOUS OR ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
6. CONTRACTOR TO KEEP A COPY OF THE FINAL DRAINAGE REPORT ON SITE AT ALL TIMES.
7. SURVEYOR TO VERIFY BENCHMARK ELEVATION PRIOR TO START OF CONSTRUCTION.
8. REFER TO GEOTECHNICAL REPORT AND PROJECT MANUAL FOR SOIL CORRECTION REQUIREMENTS AND TESTING REQUIREMENTS.
9. STIP TO/SOIL PRIOR TO ANY CONSTRUCTION, RELEASE STOCKPILE ON SITE.
10. REFER TO SITE DESIGN CRITERIA SECTION OF PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
14. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, AND CONSTRUCTION OR FABRICATION SHALL BEGIN UNLESS THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

- 1) CONTRACTOR MUST NOTIFY CITY OF MINNEAPOLIS ENGINEERING AND DESIGN (612-673-2738) 48 HOURS PRIOR TO ANY LAND DISTURBANCE. FAILURE TO DO SO MAY RESULT IN THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
- 2) Install perimeter erosion control at the locations shown on the plans prior to beginning construction. (Hay Bales are not an acceptable perimeter control)
- 3) Before beginning construction, install a TEMPORARY ROCK CONSTRUCTION ENTRANCE at each point where vehicles exit the construction site. Use 3 inch or greater diameter rock a height of at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone. Use a geotextile fabric beneath the aggregate in order to prevent migration of soil into the rock from below.
- 4) Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs. Stacking may be ordered by at any time if conditions warrant. Stacking shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- 5) Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Catch basin inlets shall be installed in undisturbed areas. Stacked soil fence or other approved BMP in disturbed areas. NOT TOY BARRIERS OR FILTER FABRIC UNDER THE DAMELS ARE NOT EFFECTIVE, OR AN ACCEPTABLE FORM OF INLET PROTECTION.
- 6) Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarp, or other means. Control erosion from all stockpiles by placing soil fence barriers around the pile. Temporary stockpiles located on private surface must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- 7) Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
- 8) Temporarily or permanently stabilize all denuded areas which have been finish-graded, and all denuded areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 14 days. Use seeding and mulching, erosion control matting, and/or sodding and staking in green space areas. Use early application of gravel base on areas to be paved.
- 9) Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization and permanent vegetation has been established. Minimum vegetation establishment is 70% cover, maintain all temporary erosion control devices until 70% establishment cover is achieved.
- 10) Ready mixed concrete and concrete batch plants prohibited within the public right of way, designate concrete mixing/washout locations in the erosion control plan. Locate all discharge areas to avoid water being discharged into the public right of way or into the public storm sewer.

AREA OF DISTURBANCE

DISTURBANCE AREA = 36,300 SF 0.88 ACRES
 (NOTES: PERMIT NOT REQUIRED SINCE LAND DISTURBING ACTIVITIES TO BE LESS THAN ONE ACRE)

GRADING LEGEND:

- EXISTING CONTOUR
- 828 — PROPOSED CONTOUR
- 827.8 PROPOSED SPOT ELEVATION
- 827.0 TOP OF CURB ELEVATION
- 827.0 GUTTER ELEVATION
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- ← 2.00% DIRECTION OF DRAINAGE
- FFE FIRST FLOOR ELEVATION
- BODRILL
- INLET PROTECTION
- PROPERTY LINE

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The Encore
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I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Signature: _____
 Date: _____
 Title: _____

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9/12/2014
LAND USE APPLICATION

ORIGINAL PSHE 08/22/14
 REVISIONS
 No. Description Date

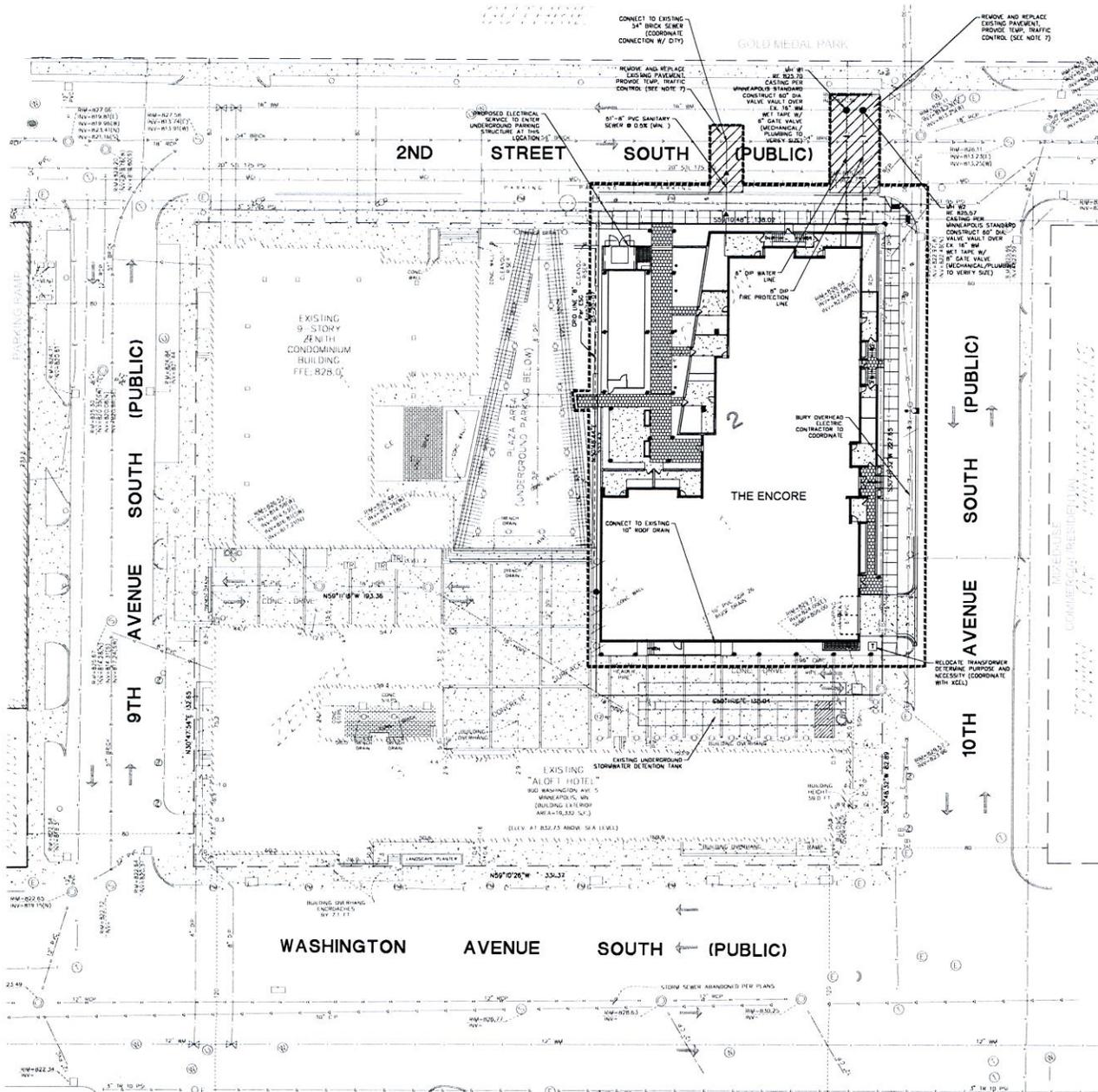
214-0100
 PROJECT NUMBER
 EMK MK
 DESIGNER CHECKER

415 PLAN

The Encore (Zenith Phase II)

GRADING & EROSION CONTROL PLAN
C-2.0

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UTILITY NOTES:

- EXISTING UTILITIES, SERVICE LOCATIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD AND WITH THE CITY OF MINNEAPOLIS PRIOR TO CONSTRUCTION.
- MINIMUM 18" SERVICE SEPARATION AT ALL PIPE CROSSINGS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- UTILITY CONTRACTOR TO PROVIDE POLYURETHANE INSULATION FOR ALL STORM SEWER AND WATERMAIN CROSSINGS WHERE VERTICAL OR HORIZONTAL.
- ALL UTILITY WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY OF MINNEAPOLIS ENGINEERING DESIGN STANDARDS.
- NOTIFY GOMER ONE 48 HOURS IN ADVANCE OF ANY UTILITY WORK.
- PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MADOT TEMPORARY TRAFFIC CONTROL ZONE (ADJUST FIELD MANUAL LATEST VERSION FOR ANY UTILITY CONSTRUCTION WITHIN PUBLIC R.O.W.)
- ALL SANITARY SEWER LINES SHALL HAVE A MINIMUM COVER OF 8.0'
- ALL SEWER SERVICES SHALL BE 8" PVC, SDR 26, ASTM 3034 USE BENDS & FITTINGS AS REQUIRED.
- THURST BLOCKS SHALL BE PLACED AT FITTINGS, TEES, BENDS, CROSSES, PLUGS, ETC.
- EXACT LOCATIONS OF ROOF DRAINS TO BE COORDINATED WITH FINAL ARCHITECTURAL PLANS.
- COORDINATE CONNECTIONS TO EXISTING CITY OF MINNEAPOLIS SANITARY SEWER AND WATERMAIN WITH CITY UTILITY DEPARTMENT.
- WATER SERVICE SIZES FOR DOMESTIC AND FIRE PROTECTION SHALL BE VERIFIED WITH MECHANICAL/PLUMBING.

UTILITY LEGEND:

- S --- PROPOSED STORM SEWER
- S — PROPOSED SANITARY SEWER
- W — PROPOSED WATERMAIN
- CB — PROPOSED CATCH BASIN
- S/W — PROPOSED SANITARY/STORM MANHOLE
- G — PROPOSED GATE VALVE
- H — PROPOSED HYDRANT
- S --- EXISTING STORM SEWER
- S — EXISTING SANITARY SEWER
- W — EXISTING WATERMAIN
- S/W — EXISTING SANITARY MANHOLE
- CB — EXISTING STORM MANHOLE/CATCH BASIN
- H — EXISTING HYDRANT
- --- CONSTRUCTION LIMITS
- — — PROPERTY LINE

The Encore
(Zenith Phase II)
Minneapolis, MN

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Date: _____

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9/12/2014
LAND USE
APPLICATION

ORIGINAL ISSUE 08/22/14
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No. Description Date

214-0100
PROJECT NUMBER
EMC DRAWN BY MK CHECKED BY
617 PLAN

The Encore (Zenith Phase II)

UTILITY AND
STORMWATER
MANAGEMENT PLAN
C-3.0

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QTY	KEY	COMMON NAME / BOTANICAL NAME	SIZE	REMARKS
6	GL	OVERSTORY TREES GREENSPRING LINER <i>Taxus canadensis</i> 'Greenspire'	2.5' CAL BARB	STRAIGHT TRUNK NO V-CROUCH
5	JL	JAPANESE TREE LILAC <i>Syringa reticulata</i>	2' CAL BARB	STRAIGHT TRUNK NO V-CROUCH
7	SB	WINTER BURNING SPICEBERRY <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	6' HT BARB	CLUMP FORM
46	AC	SHRUBS ALPINE CURSBUNT <i>Ribes alpinum</i>	24" HT CONT	MIN. 5 CANES AT HT SPEC.
33	BR	BUSH HONEYBUCKLE <i>Desmodium illinoense</i>	24" HT CONT	MIN. 5 CANES AT HT SPEC.
9	LD	LITTLE LIME HYDRANGEA <i>Hydrangea paniculata</i> 'Little Lime'	24" HT CONT	MIN. 5 CANES AT HT SPEC.
34	SS	SHOWBUND SHIBA <i>Quercus pedunculata</i> 'Showbund'	18" HT CONT	MIN. 5 CANES AT HT SPEC.
38	GO	TECHU GLOBE AMORFALFA <i>Thuja occidentalis</i> 'Tachy Globe'	36" HT BARB	MIN. 5 CANES AT HT SPEC.
47	TR	TRAVERTINE TREES <i>Quercus pedunculata</i> 'Travertine'	24" DIA CONT	MIN. 5 CANES AT HT SPEC.
85	HS	PERENNIALS GUARANTEE HOSTA <i>Hosta 'Guarantee'</i>	1 GAL CONT	
18	BP	PERENNIALS HEALTHY PERENNIALS <i>Helianthus scaberrimus</i> 'Sappho'	1 GAL CONT	
14	FT	FEATHER REED GRASS <i>Calamagrostis canadensis</i> 'Karl Foerster'	3 GAL CONT	

NOTES: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN EVENT OF DISCREPANCY.

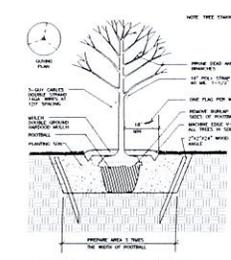
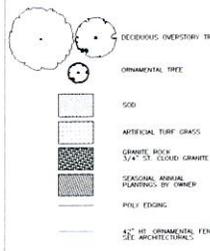
LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- CALL GORMER STATE ONE CALL AT 651-454-0002 FOR LOCATING ALL UNDERGROUND UTILITIES AND AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC. RESULTING FROM LANDSCAPE CONSTRUCTION.
- STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- INSTALL 4" MIN. TOP SOIL TO ALL SOO AND SHRUB AREAS. COORDINATE RESPONSIBLE FOR FINE GRADING ALL SOO AREAS. INSTALL 12" TOP SOIL TO PERENNIAL AREAS.
- ALL SHRUB AREAS UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 3" DEPTH OF SHREDED HARDWOOD MULCH, NATURAL COLOR, OVER FILTER FABRIC.
- ALL PERENNIAL AND ANNUAL BEDS TO BE MULCHED WITH 2" DEPTH OF SHREDED HARDWOOD MULCH, NATURAL COLOR, OVER FILTER FABRIC.
- POLY-EDGED TO BE MULCH W/ BLACK DAMAGED OR APPROVED EDDING.
- PROVIDE 1.5' WIDTH OF ROCK MULCH (3/4" ST CLOUD GRANITE ROCK) ALONG BUILDING.
- INSTALL 4-6" DEPTH SHREDED HARDWOOD MULCH AROUND ROOT SAUCER OF ALL TREES ISOLATED FROM PLANT BEDS.
- PLANTING SOIL SHALL CONSIST OF 1:1:1 OF LOAMY TOPSOIL, PEAT MOSS AND #16 RUN SAND.
- COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERIES STOCK, AMERICAN ASSOCIATION OF NURSEMPHENS.
- ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREEPE TREE WRAP. APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.
- MAINTAIN ALL PLANT MATERIALS AND SOO, INCLUDING WATERING, UNTIL THE TIME OF ACCEPTANCE. ANY MATERIAL WHICH DIES OR DEFOLIATES PRIOR TO THE ACCEPTANCE OF THE WORKS WILL BE PROMPTLY REMOVED AND REPLACED.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO SELECT ANY PLANT MATERIAL, NOT MEETING SPECIFICATIONS.
- COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
- STAKING AND GUNING OF TREES OPTIONAL. MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
- OWNER AND ARCHITECT SHALL SURVEY AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
- OWNER DESIGN AND INSTALLATION OF A WATER EFFICIENT IRRIGATION SYSTEM WITH 100% COVERAGE OF SOO AND PLANTING AREAS. SOO AND SHRUB AREAS TO BE ON SEPARATE ZONES. USE DRIP IRRIGATION IN TREE, SHRUB AND PERENNIAL AREAS. USE BARRIERS OR APPROVED EQUAL. COORDINATE WITH G.C. PROVIDE MAIN DESIGN.

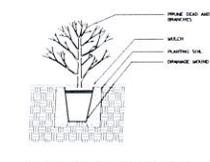
LANDSCAPE REQUIREMENTS

TOTAL LOT AREA: 31,427 SF / 0.72 ACRES
PROPOSED BUILDING: 11,100 SF
NET LOT AREA: 14,327 SF
REQUIRED PERVIOUS AREA (20%): 2,865 SF
PROVIDED PERVIOUS AREA (TREES): 5,614 SF
CANOPY TREES REQUIRED = 6
1 TREE PER 500 SF OF REQUIRED PERVIOUS AREA
2865 SF / 500 = 5.73 = 6 TREES, REQUIRED
CANOPY TREES PROVIDED ON SITE: 11
SHRUBS REQUIRED = 26
5 SHRUBS PER 100 SF OF REQUIRED PERVIOUS AREA
2865 SF / 100 = 28.65 = 29 SHRUBS, REQUIRED
SHRUBS PROVIDED ON SITE: 207

LEGEND

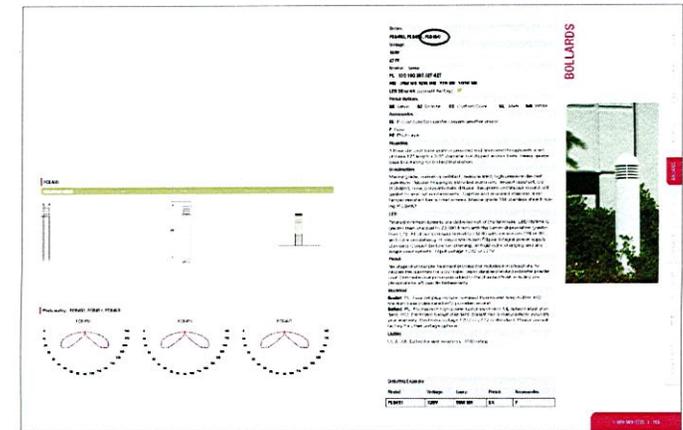
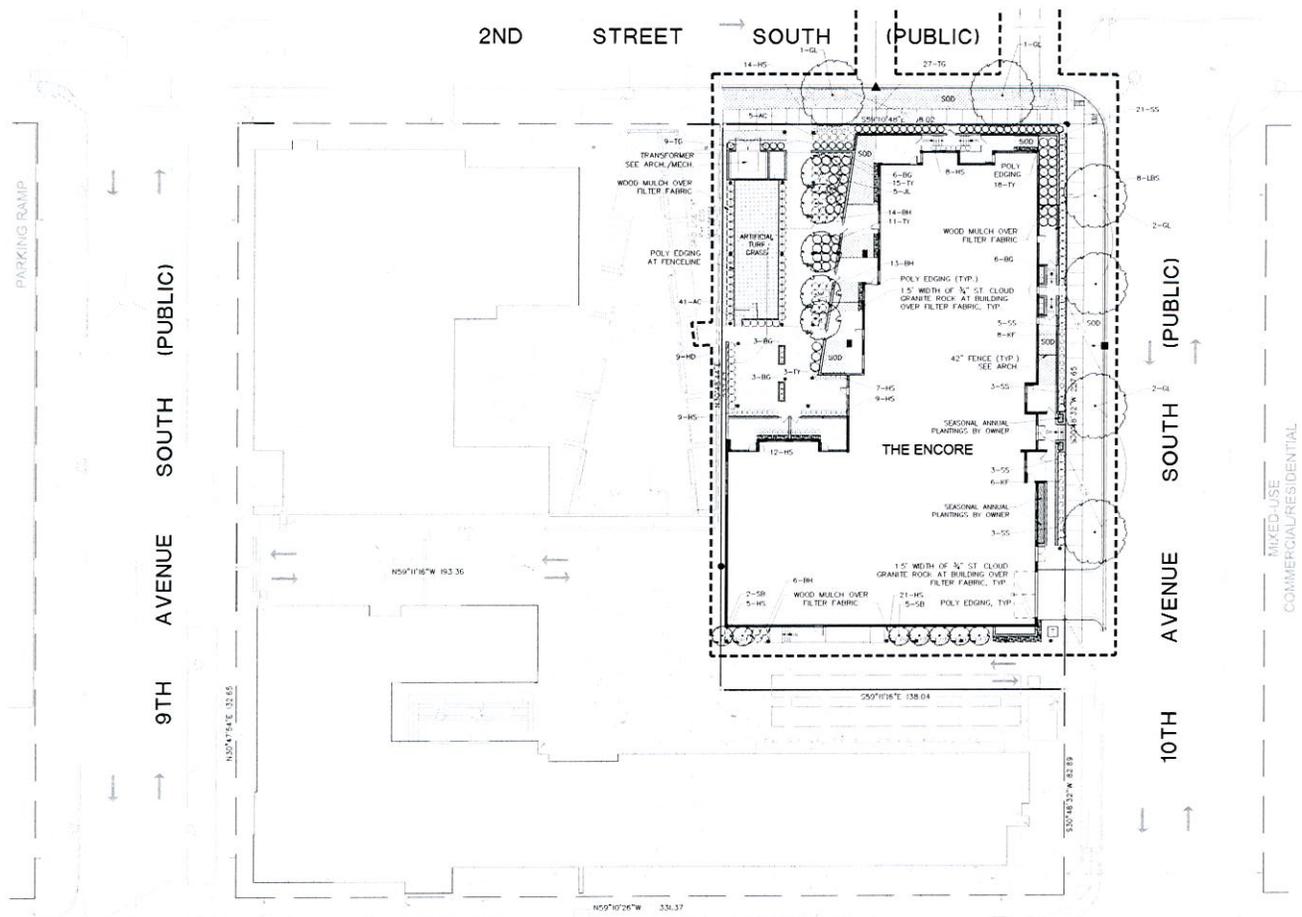


TREE PLANTING DETAIL
NOT TO SCALE

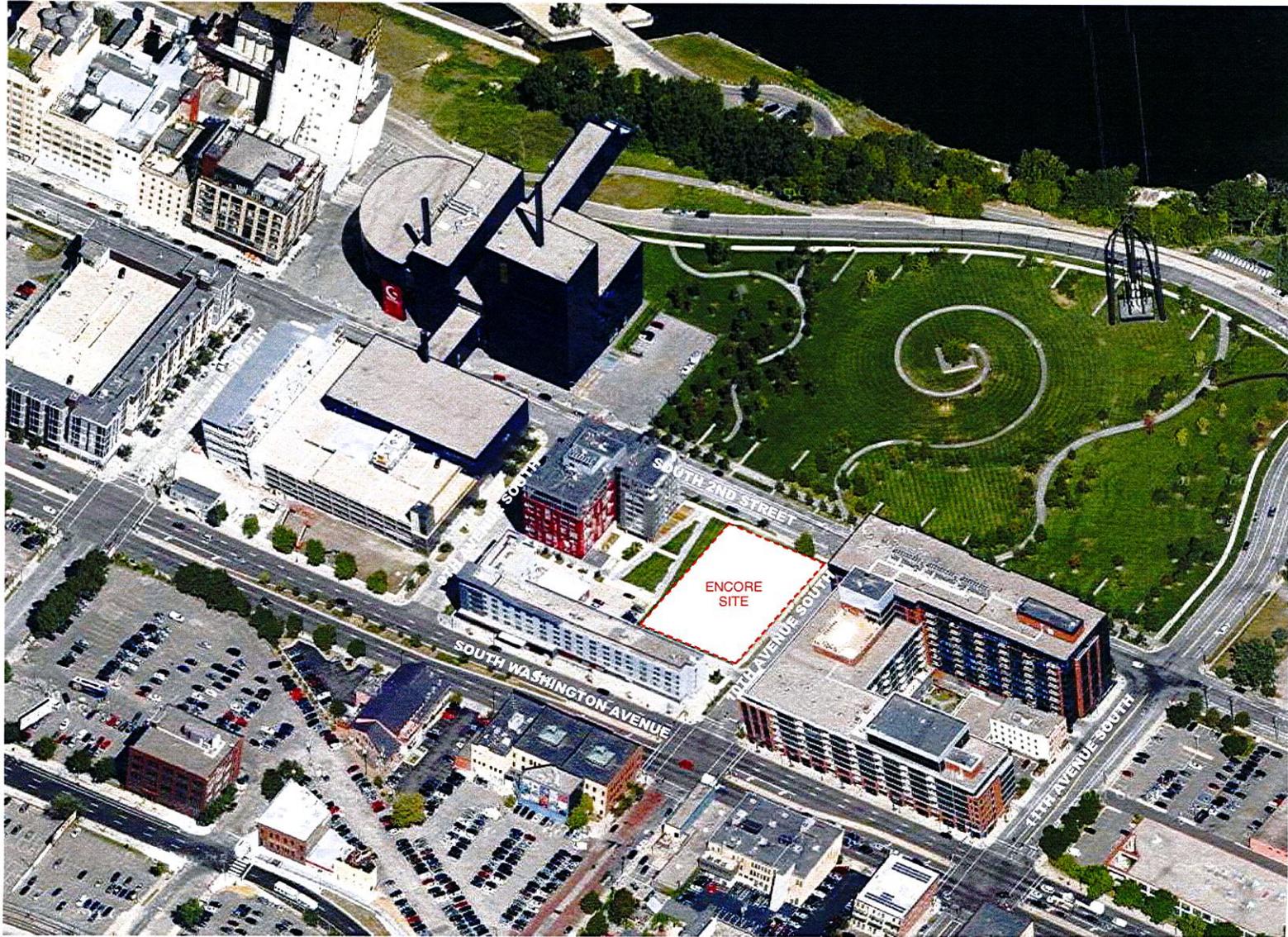


SHRUB PLANTING DETAIL
NOT TO SCALE

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NOT FOR CONSTRUCTION



LIGHT BOLLARD CUT-SHEET



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 500 Washington Avenue South
 Minneapolis Minnesota 55415
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 F 612 338 5382
 W www.rhessswenson.com

Planning, zoning and title documents are prepared by the architect, its agent, consultant and the City of Minneapolis and subject to the laws of the State of Minnesota.

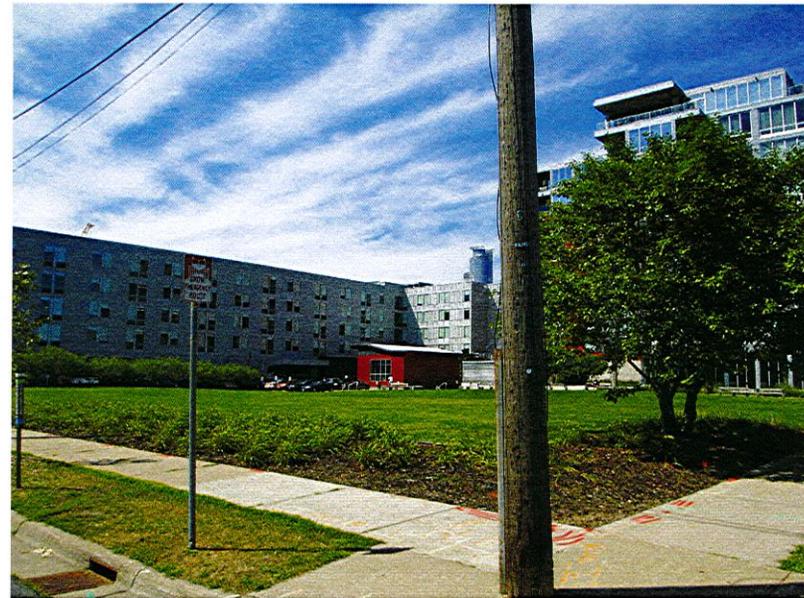
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NOT FOR CONSTRUCTION

9/12/2014 LAND USE APPLICATION		
ORIGINAL DATE	NO. 111-14	
REVISIONS		
No.	Description	Date
Project Number		
Author	Checker	
The Encore (Zenith Phase II)		
CONTEXT SERIAL		
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View from Northwest



View from Northeast



View from Southwest



View from Southeast

The Encore (Zenith Phase II)
Minneapolis, MN



sherman associates architects
100 Washington Avenue South
Minneapolis, Minnesota 55401
P 612-338-5500
F 612-338-5500
www.shermanarch.com

Prepared for the Minnesota State
Department of Transportation
by the City of Minneapolis
and the State of Minnesota
Project No. 100-0000000000000000
Date: 9/12/2014

NOT FOR CONSTRUCTION

9/12/2014
LAND USE APPLICATION

ORIGINAL DATE: 9/12/2014

RUBINSON

No.	Description	Date

Project Number: _____
Project Name: _____

Author: _____
Checked: _____
Date: _____

The Encore (Zenith Phase II)

EXISTING SITE PHOTOGRAPHS
A 0.1



Aerial view from intersection of 2nd St S and 10th Ave S



View from Gold Medal Park

The Encore (Zenith Phase II)
 Minneapolis, MN

sherman ASSOCIATES

esg

sherman sherman sherman architects
 108 Washington Avenue South
 Minneapolis, Minnesota 55401
 P. 612.338.1111
 F. 612.338.1112
 WWW.SHERMANSHERMANS.COM

Prepared by the architect in accordance with the provisions of the Minnesota State Board of Architectural and Engineering Professions, Chapter 223B, Minnesota Statutes, and the rules of the Board of Architectural and Engineering Professions, Chapter 223B, Minnesota Rules.

Project Name: _____
 Date: _____

NOT FOR CONSTRUCTION

9/12/2014 LAND USE APPLICATION		
ORIGINAL ISSUE	No. / Description / Date	
Project Number		
Author	Checked by	Date
The Encore (Zenith Phase II)		
PERSPECTIVE IMAGES		
A0.2		



View from intersection of Washington Ave S and 10th Ave S



Aerial view from the Southwest

The Encore (Zenith Phase II)
Minneapolis, MN



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Prepared by: _____
Checked by: _____
Date: _____

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9/12/2014
LAND USE
APPLICATION

REVISIONS

No.	Description	Date

Project Number: _____
Author: _____
Date: _____

The Encore (Zenith Phase II)

PERSPECTIVE IMAGES
A.0.3



View from 2nd Street South



View toward Gold Medal Park from courtyard

The Encore (Zenith Phase II)
 Minneapolis, MN



sherman associates
 100 Washington Avenue South
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 WWW.SHERMANASSOCIATES.COM

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DATE: 9/12/2014
 TIME: 10:00 AM

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9/12/2014 LAND USE APPLICATION		
ORIGINAL DATE	9/12/2014	
REVISIONS		
No.	Description	Date
Project Number		
Author	Checker	
The Encore (Zenith Phase II)		
PERSPECTIVE IMAGES		
A0.4		



View of main entrance on 10th Avenue South



View of courtyard from Gold Medal Park

The Encore (Zenith Phase II)
Minneapolis, MN



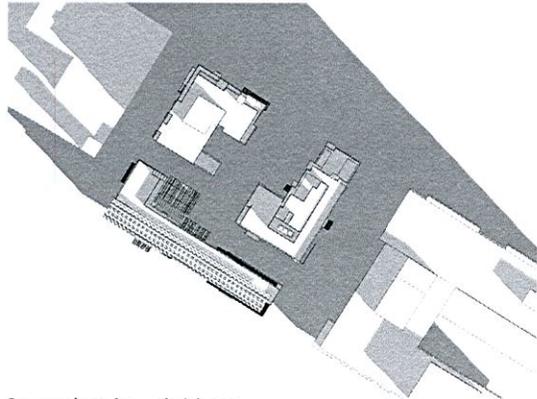
sherman associates
100 Washington Avenue South
Minneapolis, Minnesota 55401
Tel: 612-338-3388
www.shermanassociates.com

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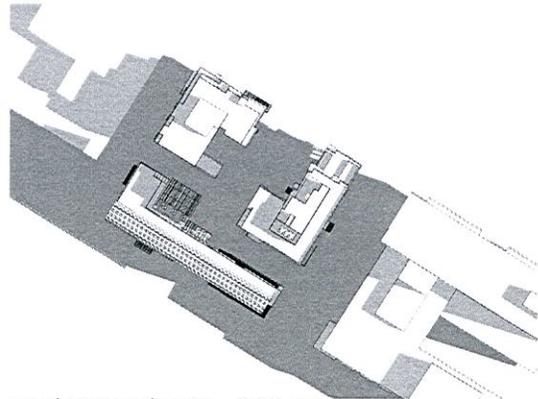
DATE: _____
BY: _____
FOR: _____

NOT FOR CONSTRUCTION

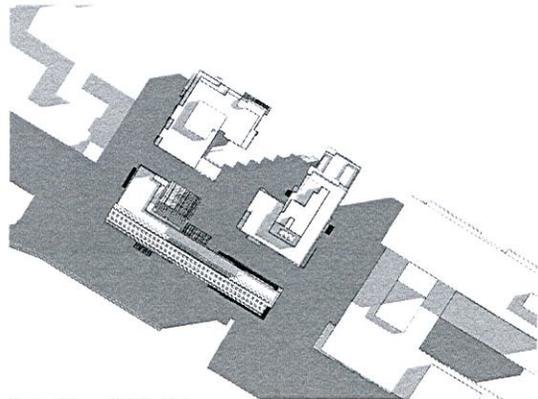
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ORIGINAL DATE	9/12/14	
REVISIONS		
No.	Description	Date
Project Number	7700-10000	
Author	C. Lee	
The Encore (Zenith Phase II)		
PERSPECTIVE IMAGES A0.5		



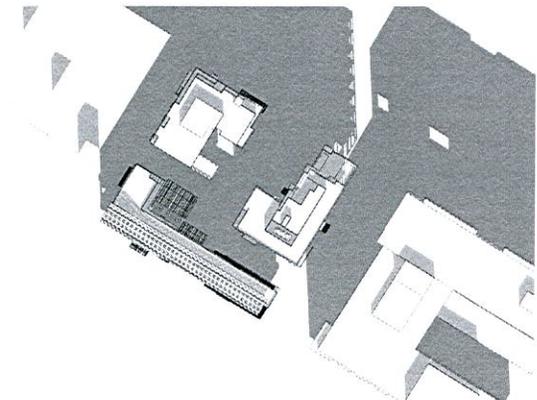
December 21 - 9:00 AM



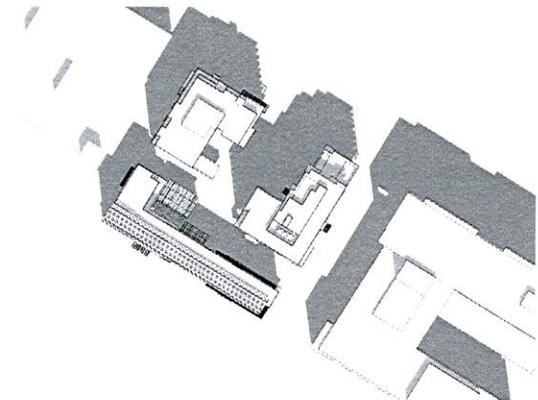
March/September 21 - 8:00 AM



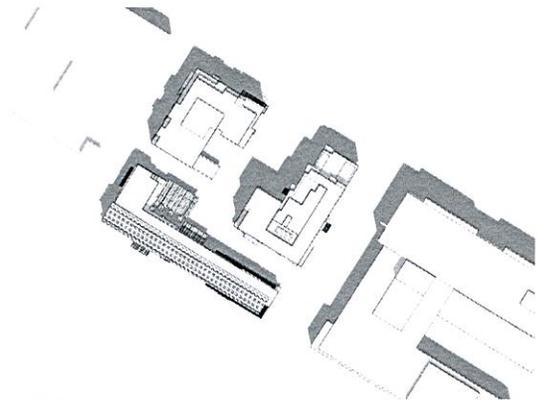
June 21 - 9:00 AM



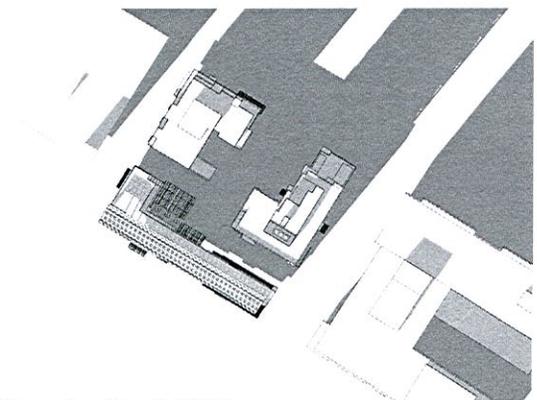
December 21 - Noon



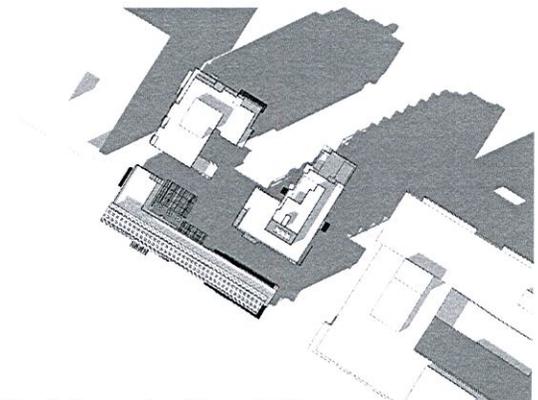
March/September 21 - Noon



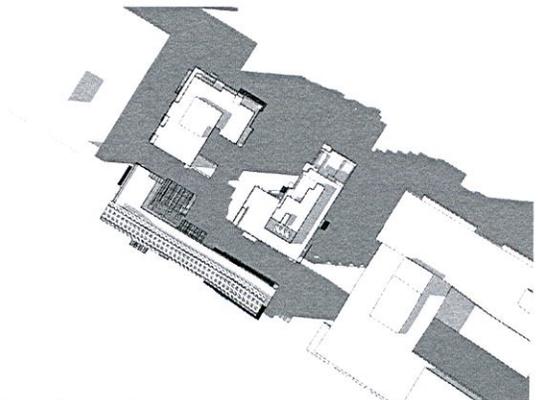
June 21 - Noon



December 21 - 3:00 PM



March/September 21 - 4:00 PM



June 21 - 5:00 PM

The Encore (Zenth Phase II)
Minneapolis, MN

sherman
ASSOCIATES

esg

sherman sherman sherman architects
500 Washington Avenue South
Minneapolis Minnesota 55401
P 612 338-5500
F 612 338-5501
WWW.SHERMANASSOCIATES.COM

Prepared by the Planning Department as
part of a public hearing on the
application for a Public Hearing and
Ordinance of the City of Minneapolis

DATE OF STUDY: _____
DRAWN BY: _____

**NOT FOR
CONSTRUCTION**

9/12/2014 LAND USE APPLICATION		
ORIGINAL ISSUE	NO. 1	DATE 9/12/14
REVISIONS		
No.	Description	Date
Project Number		
Author	Checked	
The Encore (Zenth Phase II)		
SHADOW STUDIES		
A0.6		

	SIGNAGE TABLE				
	ADDRESS SIGN	WALKWAY SIGN	AWAY FROM STREET SIGN	LANDSCAPE SIGN	TOTAL
HOTEL SIGNAGE	(1) 100 SQ FT	(1) 100 SQ FT	(1) 100 SQ FT	(4) 800 SQ FT	(6) 800 SQ FT
COMMERCIAL SIGNAGE	(2) 40 SQ FT	(2) 40 SQ FT	(1) 40 SQ FT	(1) 150 SQ FT	(5) 170 SQ FT
TOTAL	(3) 140 SQ FT	(3) 140 SQ FT	(2) 140 SQ FT	(5) 1100 SQ FT	(8) 550 SQ FT

2 Signage Table

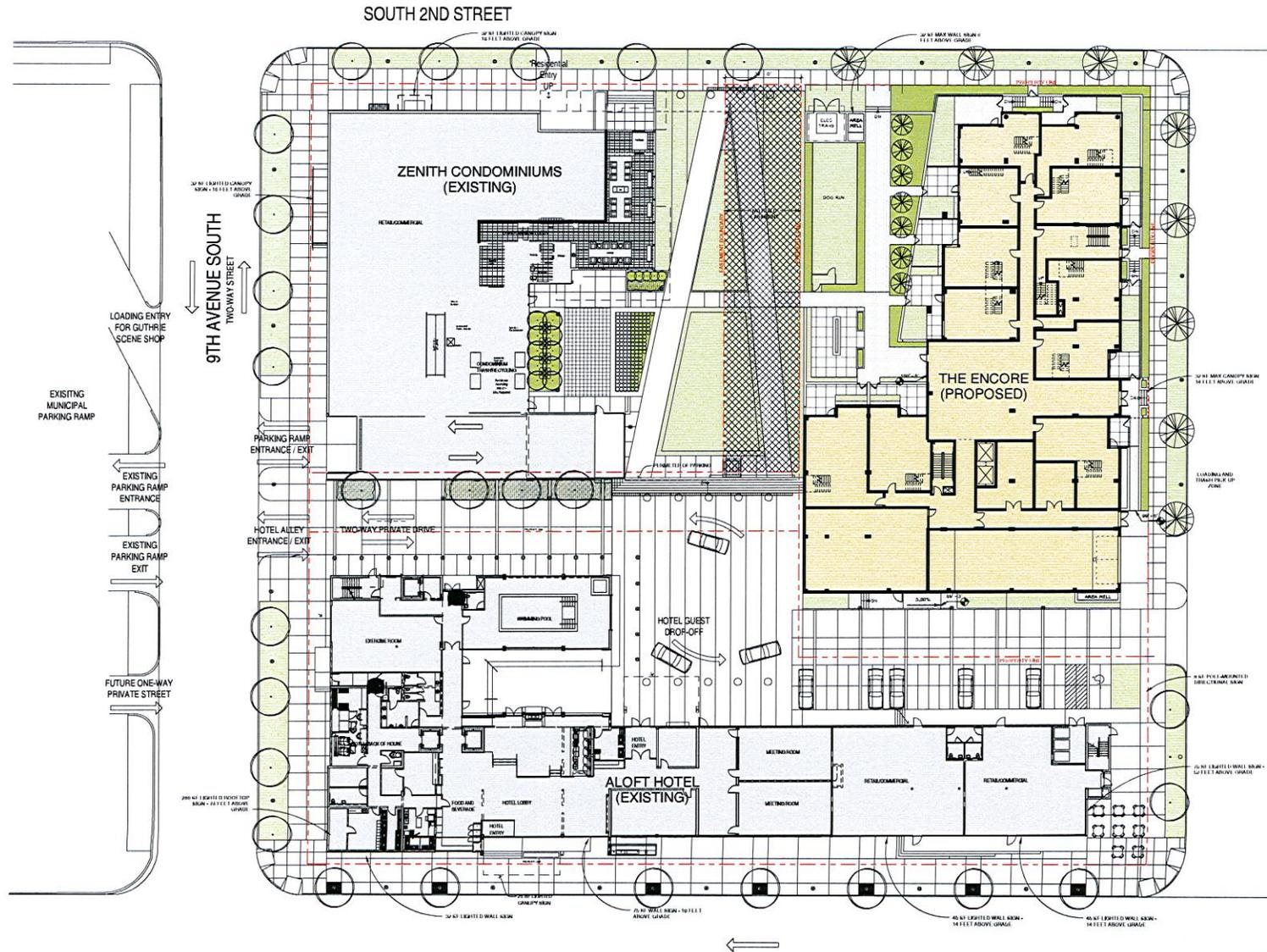
The Encore (Zenith Phase II)
Minneapolis, MN



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Planning, Design, Construction, and
Management Services
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NOT FOR CONSTRUCTION



1 ARCHITECTURAL SITE PLAN

9/12/2014
LAND USE APPLICATION

ORIGINAL DATE

REVISIONS

No.	Description	Date

Project Number _____

DATE: _____

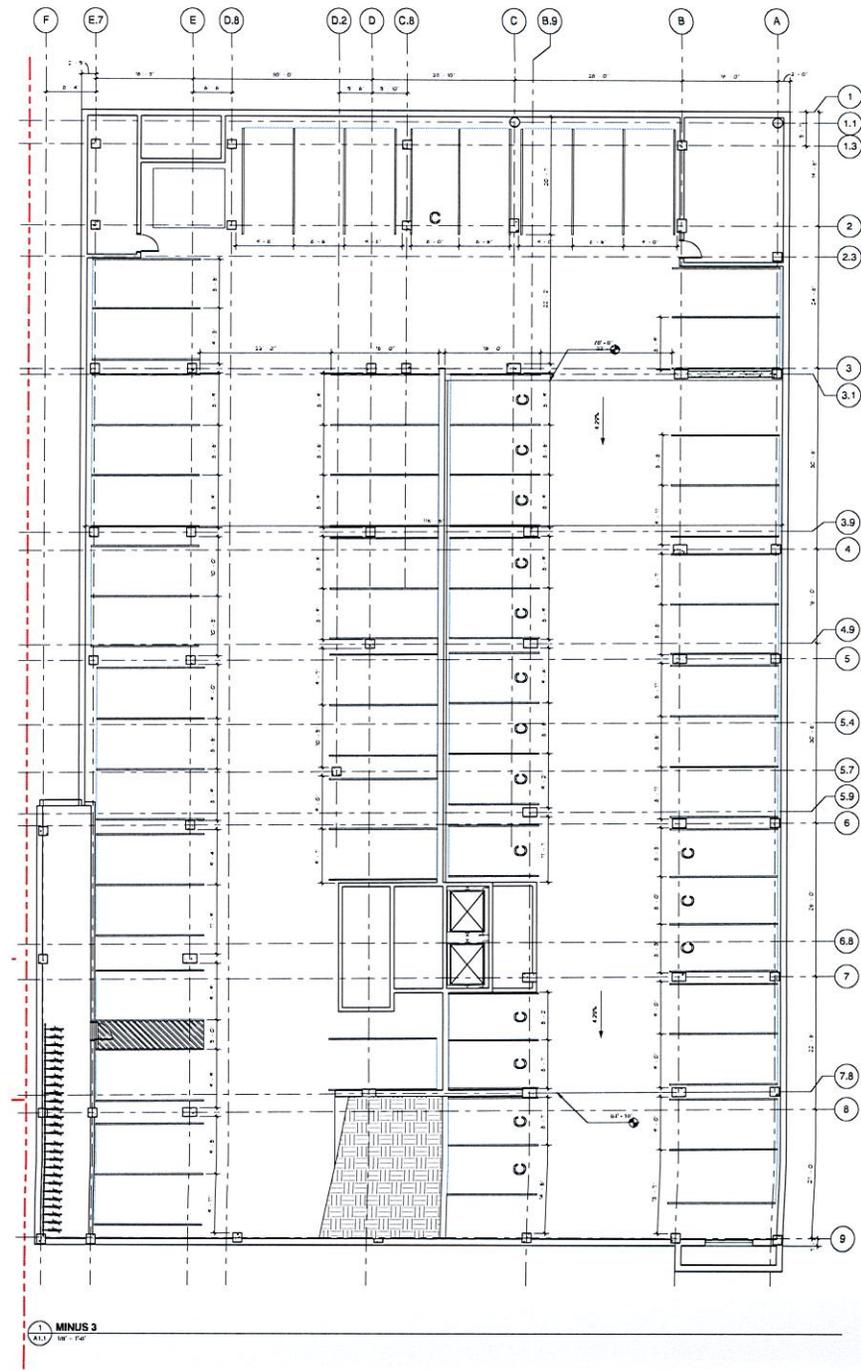
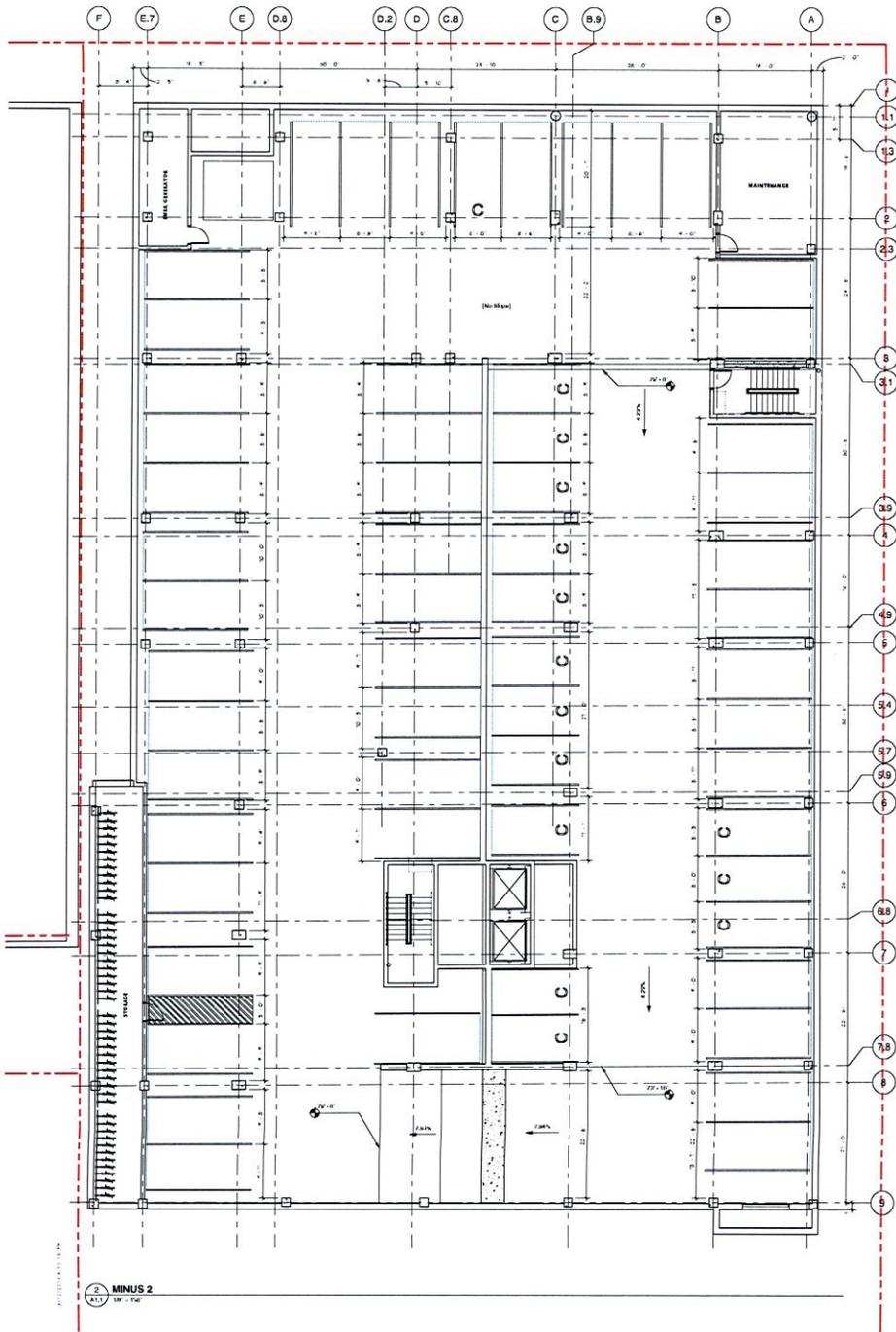
ENG: _____

SCALE: _____

PLAN NORTH

The Encore (Zenith Phase II)

ARCHITECTURAL SITE PLAN
A1.0



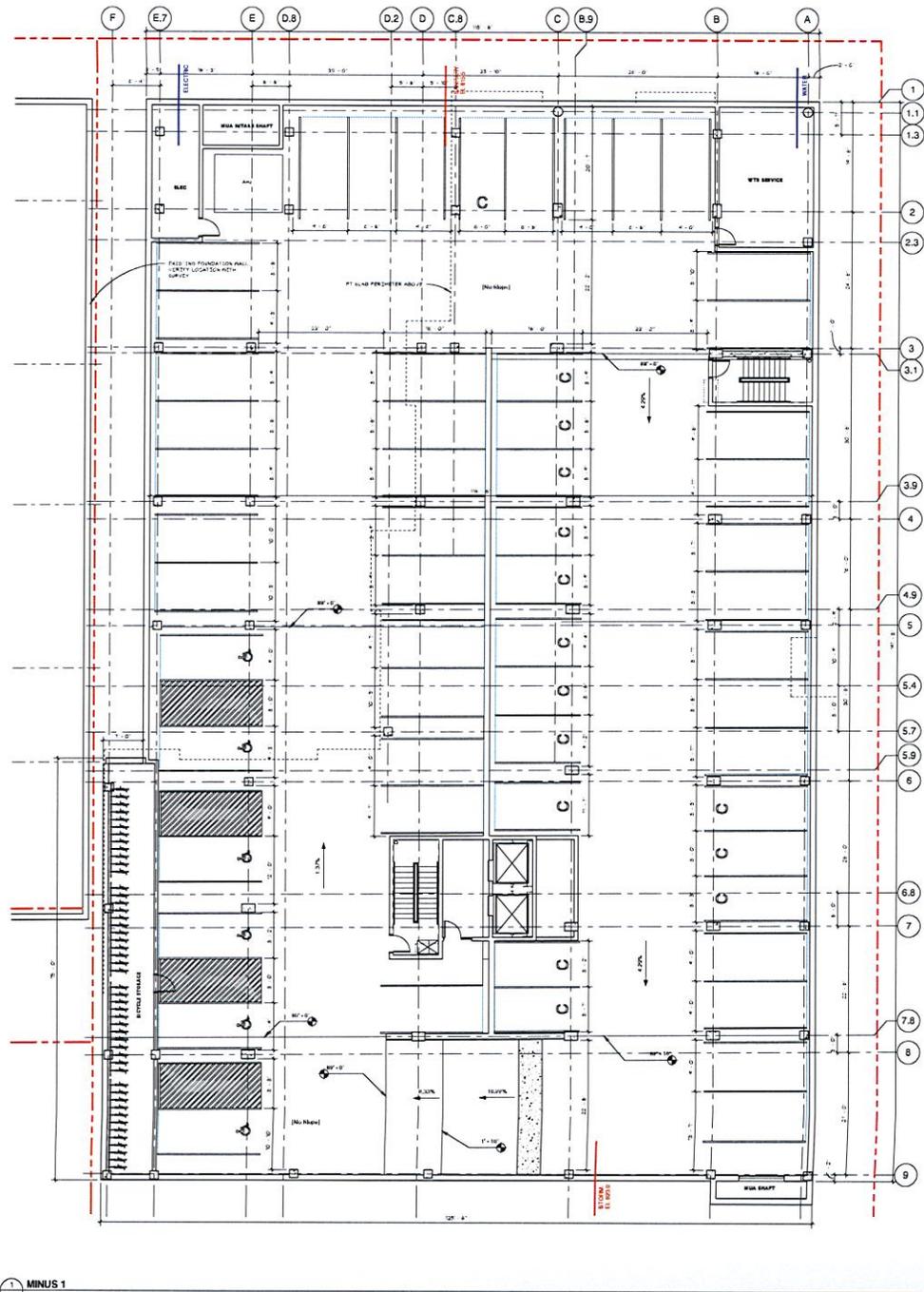
Address: 1000 Hennepin Avenue, Minneapolis, MN 55403
 Phone: 612.224.1100
 Fax: 612.224.1101
 Website: www.shermanassociates.com

I hereby certify that this document was prepared by the engineer, architect, or other professional person named herein and that I am a duly licensed professional under the laws of the State of Minnesota.

Signature: _____
 Title: _____
 License No.: _____

NOT FOR CONSTRUCTION

9/12/2014 LAND USE APPLICATION		
ORIGINAL DATE		
REVISIONS		
No.	Description	Date
Project Number:		
ENC. 1	ENC. 2	
The Encore (Zenith Phase II)		
MINUS 3 & MINUS 2 FLOOR PLANS		
A1.1		



The Encore (Zenith Phase II)
Minneapolis, MN



sherman ASSOCIATES
esg
sherman HOK architects
500 Washington Avenue South
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F: 612-338-5588
WWW.SHERMANHOK.COM

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Project Architect

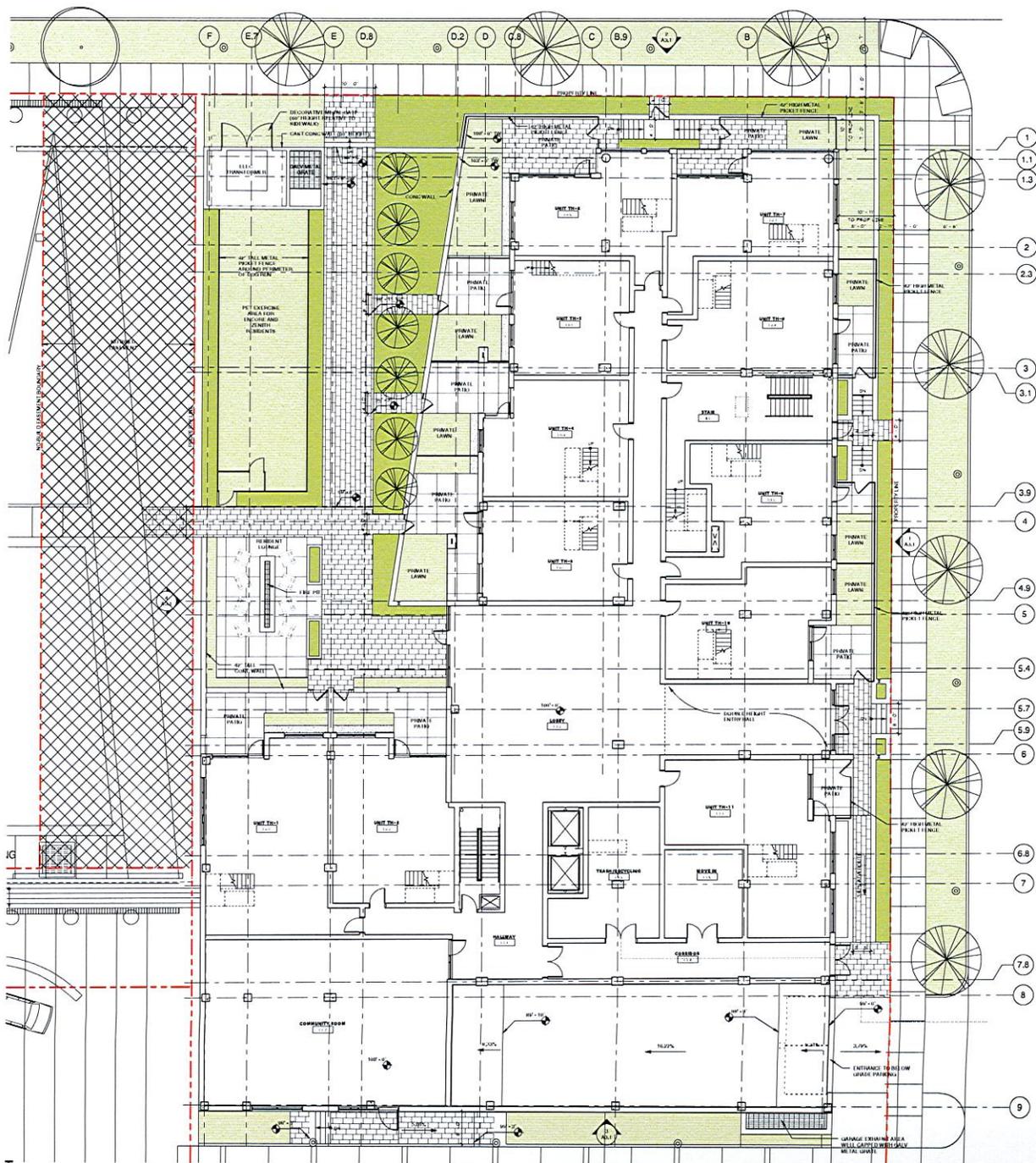
Date

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9/12/2014 LAND USE APPLICATION		
ORIGINAL DATE	9/12/2014	
DIVISION	BUSINESS	
No.	Description	Date
Project Number	714214001	
Author	Checker	Date
The Encore (Zenith Phase II)		
MINUS 1 FLOOR PLAN		
A1.2		

1 MINUS 1
A1.2

PROJECT: 1414



The Encore (Zenith Phase II)
 Minneapolis, MN



sherman associates architects
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9/12/2014
 LAND USE APPLICATION

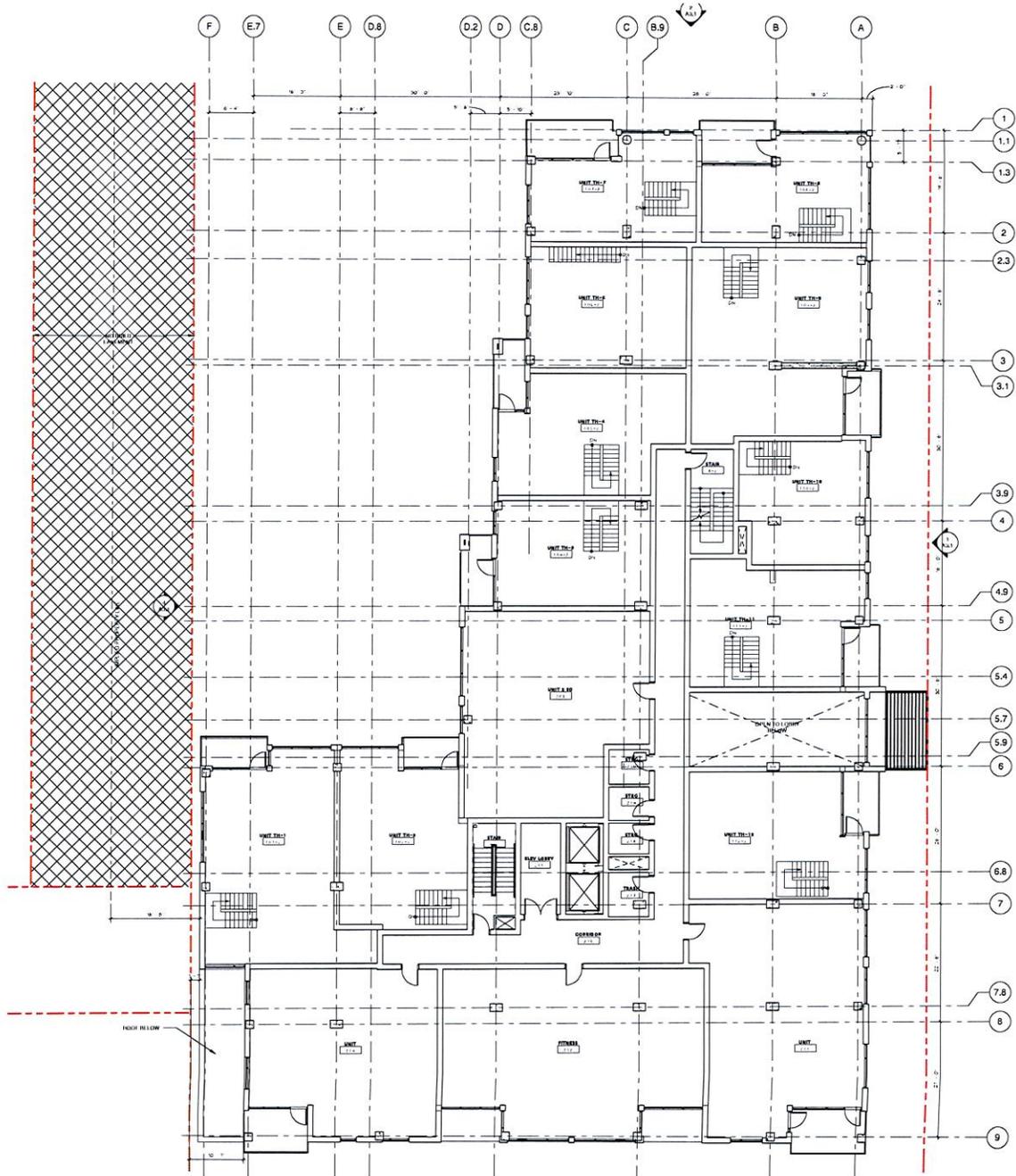
REVISIONS

No.	Description	Date

Project Number _____
 Project Name _____
 Author _____ Checker _____
 Date _____

The Encore (Zenith Phase II)

STREET LEVEL FLOOR PLAN
A1.3



2 LEVEL 2
A1.4

The Encore (Zenith Phase II)
Minneapolis, MN



PHOTO: SHERMAN ASSOCIATES ARCHITECTS
5100 Washington Avenue South
Minneapolis, Minnesota 55415
P: 612.733.1100 F: 612.733.1101
E: info@esg.com W: www.esg.com

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DATE: _____
TYPE OF PROJECT: _____
SCALE: 1/8" = 1'-0"

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9/12/2014
LAND USE APPLICATION

ORIGINAL DATE: 09/12/14
REVISIONS

No.	Description	Date

Project Number: _____
Project Name: _____

Author: _____ Check: _____
Date: _____ Date: _____

The Encore (Zenith Phase II)

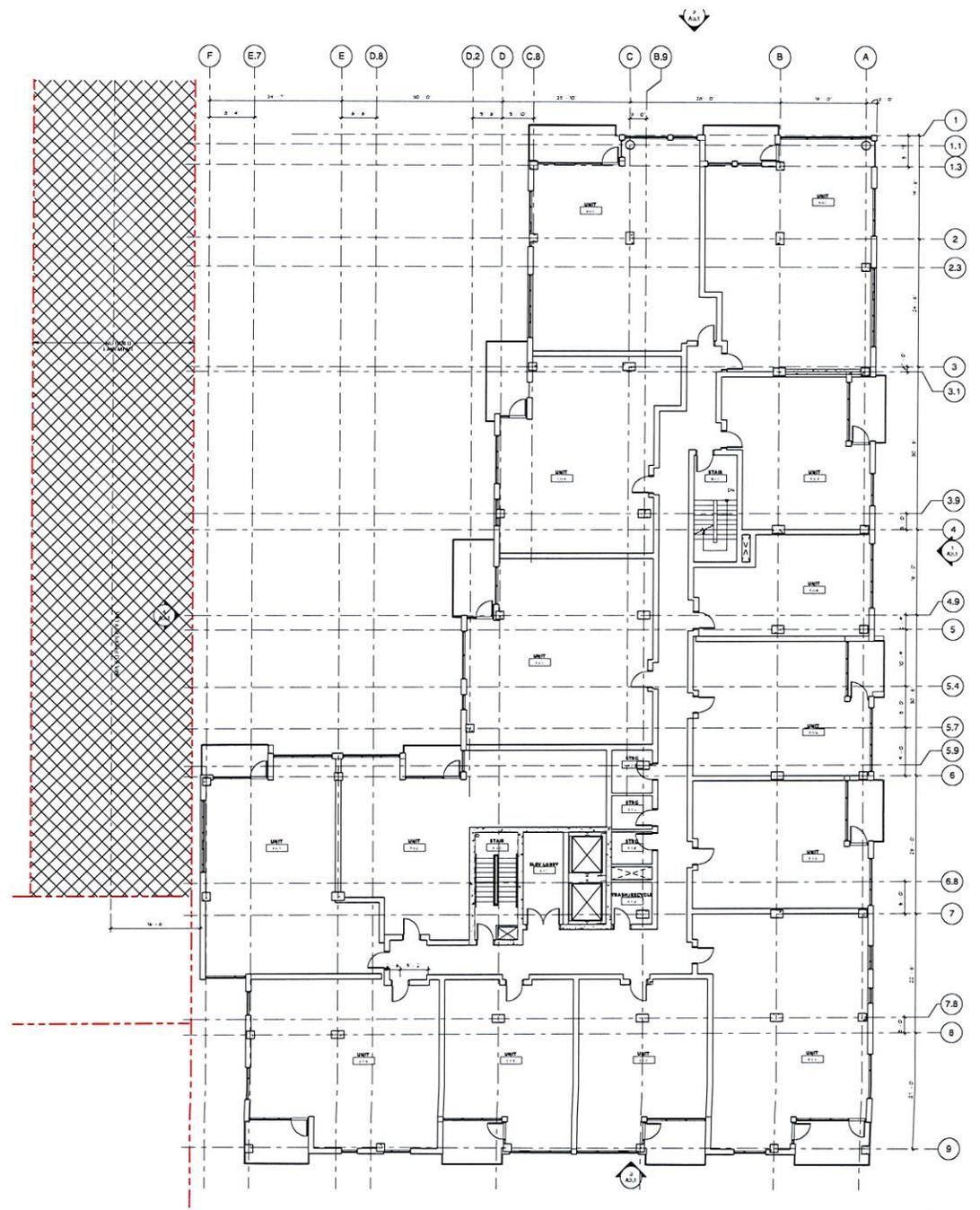
LEVEL 2 FLOOR PLAN
A1.4



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 State of Minnesota
 License No. _____

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9/12/2014
 LAND USE
 APPLICATION

ORIGINAL DATE: 9/12/14
 REVISIONS

No.	Description	Date

Project Numbers: _____
 Author: _____
 Checker: _____
 Date: _____

The Encore (Zenith Phase II)
 LEVEL 3 FLOOR PLAN (LEVELS 4 - 8 SIMILAR)
A1.5



sherman associates
 500 Washington Avenue South
 Minneapolis, Minnesota 55415
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Creating better buildings and communities
 prepared by the architect, direct support
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9/12/2014
 LAND USE
 APPLICATION

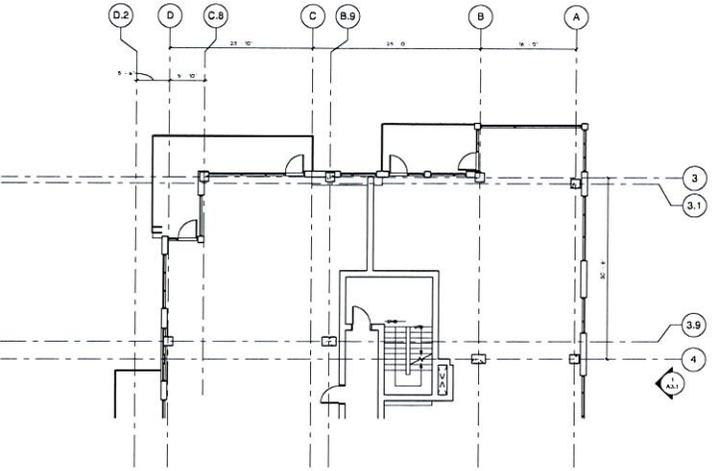
ORIGINAL ISSUE
 REVISIONS

No.	Description	Date

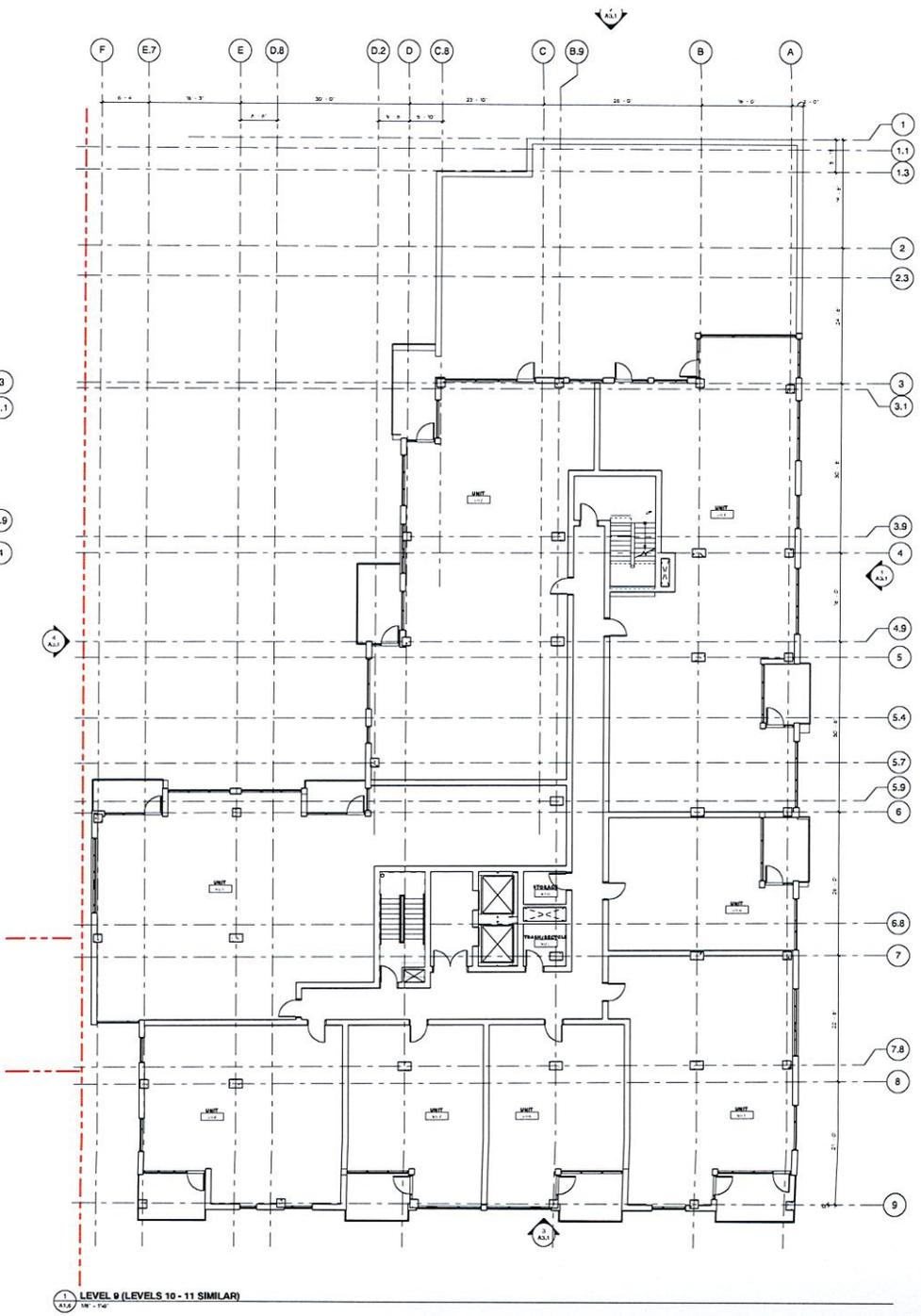
Project Number: _____
 Author: _____ Check/Rev: _____
 Date: _____

The Encore (Zenith Phase II)

LEVEL 9 FLOOR PLAN
A1.6



2 LEVEL 10 PARTIAL (LEVEL 11 SIMILAR)
 A1.6



1 LEVEL 9 (LEVELS 10 - 11 SIMILAR)
 A1.6

- EXTERIOR MATERIAL KEYNOTES**
- 2A BRICK VENEER - NORMAN SANDS - COLOR #1 (BRICK GRAY)
 - 2B BRICK VENEER - NORMAN SANDS - COLOR #2 (BRICK LIGHT GRAY)
 - 2C CONCRETE
 - 2D CONCRETE
 - 2E CONCRETE
 - 2F CONCRETE
 - 2G CONCRETE
 - 2H CONCRETE
 - 2I CONCRETE
 - 2J CONCRETE
 - 2K CONCRETE
 - 2L CONCRETE
 - 2M CONCRETE
 - 2N CONCRETE
 - 2O CONCRETE
 - 2P CONCRETE
 - 2Q CONCRETE
 - 2R CONCRETE
 - 2S CONCRETE
 - 2T CONCRETE
 - 2U CONCRETE
 - 2V CONCRETE
 - 2W CONCRETE
 - 2X CONCRETE
 - 2Y CONCRETE
 - 2Z CONCRETE
 - 3A ALUMINUM WINDOW SYSTEM - FRAME COLOR #1 (COLOR ANODIZED)
 - 3B ALUMINUM WINDOW SYSTEM - FRAME COLOR #2 (COLOR ANODIZED)
 - 3C ALUMINUM WINDOW SYSTEM - FRAME COLOR #3 (COLOR ANODIZED)
 - 3D ALUMINUM WINDOW SYSTEM - FRAME COLOR #4 (COLOR ANODIZED)
 - 3E ALUMINUM WINDOW SYSTEM - FRAME COLOR #5 (COLOR ANODIZED)
 - 3F ALUMINUM WINDOW SYSTEM - FRAME COLOR #6 (COLOR ANODIZED)
 - 3G ALUMINUM WINDOW SYSTEM - FRAME COLOR #7 (COLOR ANODIZED)
 - 3H ALUMINUM WINDOW SYSTEM - FRAME COLOR #8 (COLOR ANODIZED)
 - 3I ALUMINUM WINDOW SYSTEM - FRAME COLOR #9 (COLOR ANODIZED)
 - 3J ALUMINUM WINDOW SYSTEM - FRAME COLOR #10 (COLOR ANODIZED)
 - 3K ALUMINUM WINDOW SYSTEM - FRAME COLOR #11 (COLOR ANODIZED)
 - 3L ALUMINUM WINDOW SYSTEM - FRAME COLOR #12 (COLOR ANODIZED)
 - 3M ALUMINUM WINDOW SYSTEM - FRAME COLOR #13 (COLOR ANODIZED)
 - 3N ALUMINUM WINDOW SYSTEM - FRAME COLOR #14 (COLOR ANODIZED)
 - 3O ALUMINUM WINDOW SYSTEM - FRAME COLOR #15 (COLOR ANODIZED)
 - 3P ALUMINUM WINDOW SYSTEM - FRAME COLOR #16 (COLOR ANODIZED)
 - 3Q ALUMINUM WINDOW SYSTEM - FRAME COLOR #17 (COLOR ANODIZED)
 - 3R ALUMINUM WINDOW SYSTEM - FRAME COLOR #18 (COLOR ANODIZED)
 - 3S ALUMINUM WINDOW SYSTEM - FRAME COLOR #19 (COLOR ANODIZED)
 - 3T ALUMINUM WINDOW SYSTEM - FRAME COLOR #20 (COLOR ANODIZED)
 - 3U ALUMINUM WINDOW SYSTEM - FRAME COLOR #21 (COLOR ANODIZED)
 - 3V ALUMINUM WINDOW SYSTEM - FRAME COLOR #22 (COLOR ANODIZED)
 - 3W ALUMINUM WINDOW SYSTEM - FRAME COLOR #23 (COLOR ANODIZED)
 - 3X ALUMINUM WINDOW SYSTEM - FRAME COLOR #24 (COLOR ANODIZED)
 - 3Y ALUMINUM WINDOW SYSTEM - FRAME COLOR #25 (COLOR ANODIZED)
 - 3Z ALUMINUM WINDOW SYSTEM - FRAME COLOR #26 (COLOR ANODIZED)
 - 4A GLASS CURTAIN WALL
 - 4B GLASS CURTAIN WALL
 - 4C GLASS CURTAIN WALL
 - 4D GLASS CURTAIN WALL
 - 4E GLASS CURTAIN WALL
 - 4F GLASS CURTAIN WALL
 - 4G GLASS CURTAIN WALL
 - 4H GLASS CURTAIN WALL
 - 4I GLASS CURTAIN WALL
 - 4J GLASS CURTAIN WALL
 - 4K GLASS CURTAIN WALL
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 - 4V GLASS CURTAIN WALL
 - 4W GLASS CURTAIN WALL
 - 4X GLASS CURTAIN WALL
 - 4Y GLASS CURTAIN WALL
 - 4Z GLASS CURTAIN WALL



WEST ELEVATION - COLOR



SOUTH ELEVATION - COLOR



EAST ELEVATION - COLOR



NORTH ELEVATION - COLOR

The Encore (Zenith Phase II)
Minneapolis, MN



ross warren graham architects
500 WASHINGTON AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55401
P: 612-488-5100
F: 612-488-5102
WWW.RWGARCHITECTS.COM

I hereby certify that this document was prepared by the architect or their agent(s) and that I am a duly licensed architect under the laws of the State of Minnesota.

DATE: _____
NAME OF PROJECT: _____
DRAWN BY: _____

NOT FOR CONSTRUCTION

9/12/2014
LAND USE APPLICATION

ORIGINAL DATE: _____
REVISED: _____
No. Description Date

Project Number: _____
PROJECT NUMBER: _____
ENC. 1 ML _____
ENC. 2 ML _____
ENC. 3 ML _____

The Encore (Zenith Phase II)

EXTERIOR ELEVATIONS
A3.1



September 9, 2014

Jacob Frey | Council Member
City of Minneapolis
350 S. 5th St., Room 307
Minneapolis, MN 55415
612-673-2203

RE: Notification Letter – The Encore

Council Member Frey,

I am writing to inform you that Sherman Associates intends to develop Phase 2 of the Zenith/Aloft Planned Unit Development. This will be the final phase of the PUD and will finalize development of this block. We propose to construct a 12-story luxury residential building on 935 South 2nd St, which will be called The Encore. The building will contain 122 dwelling units and three levels of underground parking for residents.

The specific land use approvals we are seeking from the City of Minneapolis are:

- Conditional use permit to amend the existing Planned Unit Development to construct a new 122-unit residential building
- Site Plan Review

Should you have any questions I would be happy to discuss this project further. Please contact me at tkuechle@sherman-associates.com or 612-604-0852.

Sincerely,

A handwritten signature in blue ink, appearing to read "TKuechle", with a long horizontal flourish extending to the left.

Tony Kuechle
Senior Vice President of Development



September 9, 2014

Gerry Ewald | Board Chair
Downtown Minneapolis Neighborhood Association
40 South 7th Street STE 212 PMB 172
Minneapolis, MN 55402
(612) 659-1279

RE: Notification Letter – The Encore

Gerry,

I am writing to inform you that Sherman Associates intends to develop Phase 2 of the Zenith/Aloft Planned Unit Development. This will be the final phase of the PUD and will finalize development of this block. We propose to construct a 12-story luxury residential building on 935 South 2nd St, which will be called The Encore. The building will contain 122 dwelling units and three levels of underground parking for residents.

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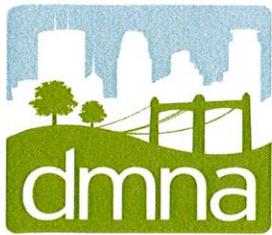
- Conditional use permit to amend the existing Planned Unit Development to construct a new 122-unit residential building
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Should you have any questions I would be happy to discuss this project further. Please contact me at tkuechle@sherman-associates.com or 612-604-0852.

Sincerely,

A handwritten signature in blue ink, appearing to read "Tony Kuechle", with a long horizontal flourish extending to the left.

Tony Kuechle
Senior Vice President of Development



**DOWNTOWN
MINNEAPOLIS
NEIGHBORHOOD
ASSOCIATION**

**40 S. 7th Street
Suite 212, PMB 172
Minneapolis, MN 55402
Phone: (612) 659-1279
Online: www.thedmna.org**

August 18, 2014

Ms. Hilary A. Dvorak
City of Minneapolis - CPED
250 S. 4th Street, Room 300
Minneapolis, MN 55415

Re: The Encore

Dear Hilary:

I am writing to you on behalf of the Downtown Minneapolis Neighborhood Association (DMNA) Board of Directors regarding the site plan for the Encore.

Tony Kuechle from Sherman Associates and Bob Loken from ESG Architects met with the DMNA Board on August 7. They used display boards and handouts to present the site plan and design for the Encore. Kuechle explained that the project is 12 stories in height and includes 121 apartment units with 150 below grade parking spaces.

After some discussion, the DMNA Board passed a motion in support of the site plan for the Encore.

If you have any questions regarding this letter, please feel free to contact me at christie@hantge.com, or 320-583-4573. You may also contact DMNA Board Chair, Nick Cichowicz, at nicholas_paul_cichowicz@live.com.

Sincerely,

Christie Rock
DMNA Neighborhood Coordinator

Cc. Tony Kuechle, Sherman Associates
Nick Cichowicz, DMNA Board Chair
Ward 3 Council Member Jacob Frey

Dvorak, Hilary A.

From: Mark Zimmerman <zimme030@umn.edu>
Sent: Thursday, October 16, 2014 10:48 AM
To: Dvorak, Hilary A.
Cc: elise.audubon@gmail.com
Subject: 935 2nd St S... and...

Dear Ms Dvorak,

Given recent discussions regarding recommendations by the Audubon Society of MN for the new Vikings stadium, it would behoove the City of Minneapolis to take the same considerations into account for any new buildings, especially those in the Mississippi River flyway. The considerations that must now be part of any planning discussion for this area involve the type of glass proposed for these structures. Given the current state of modern architecture, it is not likely that glass will not be a major component of most new buildings in the city. However, that does not mean that the city should simply lay back and allow architects and builders to put up buildings with a lot of glass without consideration for the type of glass they use. That is, the city must require that the glass incorporated into the buildings be both more energy efficient and "bird friendly". These are both desperately needed requirements to one, prevent the continued expansion of the downtown heat island effect and two, the downtown death zone for migratory and other birds. If you ignore these concerns, Minneapolis will quickly go the route of cities like Toronto that are major killing zones for thousands of birds every year. We are rapidly moving toward the "silent spring" and unless city planners change their thinking about uncontrolled expansion of glass clad buildings that day will come sooner than we think.

As you review the plans for 935 2nd St S, and other buildings in downtown Minneapolis, please consider requirements for the use of fritted glass that incorporates both energy conservation and the ability for birds to recognize that it is a solid structure, that doesn't just reflect the sky or trees and park across the street.

Please reply and let me know that this concern will be addressed in your planning meeting.

Thanks, Mark.

Dr Mark E Zimmerman

Rock & Mineral Physics Lab
Department of Earth Sciences
University of Minnesota
Minneapolis, MN 55455

zimme030@umn.edu
612-626-0572

Dvorak, Hilary A.

From: dad olson <dad.dolson@gmail.com>
Sent: Saturday, October 18, 2014 4:49 PM
To: Dvorak, Hilary A.
Subject: Sherman project at 935 2nd st. south

Hello, Hilary,

Thanks for the alert (from the city) on the Sherman project next to Zenith. We'll probably miss the public hearing. We support the project. In fact, we live across the street from it in Bridgewater at 215 10th avenue south, unit 216. Our unit faces the proposed building. I wonder if you can direct me to a Web address that shows a concept for the building? Also, do you know when construction begins? Thanks, all the best.

Dan and Vicki Olson, 612 825 2806 residential land line.