



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #9
 September 29, 2014
 BZZ-6622

LAND USE APPLICATION SUMMARY

Property Location: 525 3rd Street North and 345 6th Avenue North
Project Name: Steelcase/506 4th Street North (proposed address)
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: The Neat Pig Group LLC
Project Contact: Mary Springer, Snow Kreilich Architects
Request: To allow a new 4-story, nonresidential building with a plaza.
Required Applications:

| | |
|-------------------------------|---|
| Conditional Use Permit | Amendment to allow a third phase of a planned unit development (PUD). |
| Variance | To reduce the minimum floor area ratio (FAR) from 2.0 to 1.27. |
| Variance | Of the plaza design standards to allow 33.3 percent of the plaza to be covered. |
| Site Plan Review | To allow a new 4-story, nonresidential building. |

SITE DATA

| | |
|-----------------------------------|--|
| Existing Zoning | B4N Downtown Neighborhood District DP Downtown Parking Overlay District |
| Lot Area | 18,142 square feet / 0.42 acres for this phase of the PUD |
| Ward(s) | 3 |
| Neighborhood(s) | North Loop Neighborhood |
| Designated Future Land Use | Mixed use |
| Land Use Features | Transit Station Area (Target Field) Growth Center (Downtown) |
| Small Area Plan(s) | North Loop Small Area Plan Downtown East/North Loop Master Plan |

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|---|------------------|---------------------------------------|----------------|
| Date Application Deemed Complete | August 28, 2014 | Date Extension Letter Sent | Not applicable |
| End of 60-Day Decision Period | October 27, 2014 | End of 120-Day Decision Period | Not applicable |

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site also includes 345 6th Avenue North because these properties were included in a planned unit development (PUD) that was approved by the City Planning Commission (CPC) in 2003. The PUD consists of two residential condominium buildings, the Bookmen Lofts and the Bookmen Stacks, and a vacant parcel. The PUD is subdivided by a registered land survey (RLS), which is defined both horizontally and vertically. The location of the proposed building is adjacent to the corner of 4th Street North and 5th Avenue North on Tract G of the RLS (where the roof of the below-grade parking garage of the Bookmen Stacks building is exposed and turf covers the remainder of the parcel). The Bookmen Lofts development is located within Minneapolis Warehouse Historic District. However, the Bookmen Stacks and the proposed Steelcase development are not located in a historic district.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. There is a mix of uses in the surrounding area including high density residential, restaurants, principal parking facilities, offices and industrial uses. The I-94 viaduct is also located directly west of the site. Many of the surrounding properties are also located in the [Minneapolis Warehouse Historic District](#).

PROJECT DESCRIPTION. A new 4-story, approximately 23,000 square foot nonresidential building is proposed on the undeveloped part of the property of 525 3rd Street North. Most of the building would be occupied by offices. On the ground floor, a café/restaurant is also proposed. A plaza would extend along the street sides of the property. The NiceRide MN kiosk that is currently located under the I-94 viaduct is proposed to be relocated to the plaza adjacent to the café/restaurant entrance.

A PUD is a conditional use in the B4N district. For this phase of development, an amendment to the conditional use permit is required. If the amendment is approved, the action must be recorded with Hennepin County as required by state law. In the B4N District, the minimum floor area ratio (FAR) requirement is 2.0. The proposed FAR is 1.27. Therefore, a variance is required to reduce the minimum FAR. Plazas are subject to design standards, including limitations on the amount of area that a plaza may be covered. Up to 30 percent of a plaza may be covered. Because the building is proposed to extend over part of the plaza, 33.3 percent of the plaza area would be covered. To allow the increased coverage, a variance is required. Any new non-residential building requires site plan review. Also, any major changes to a previously approved site plan require an amendment.

This project was reviewed at the March 27, 2014, Planning Commission Committee of the Whole meeting. Since that meeting, no significant changes have been made to the building design. Some additional details have been provided for the plaza.

RELATED APPROVALS. In 2004, a one-story sit-down restaurant was proposed as the final phase of the PUD where this project is now proposed. The City Planning Commission adopted the staff findings and denied the restaurant proposal; however, the City Council overturned most of the City Planning Commission actions upon appeal. Ultimately the restaurant proposal was not constructed, but certain aspects of that proposal may be useful as background information. At 9,300 square feet, the proposed restaurant building only had an FAR of 0.4 (please note that a minimum FAR requirement did not apply at that time). It was also proposed to be set back 85 feet from 5th Avenue (the same setback as the existing below-grade parking garage). An outdoor garden/seating area was proposed on the remainder of the site. The principal entrance faced the interior of the site and no entrance faced the adjacent streets.

Last year, the CPC granted approvals for a 3-story nonresidential building on this site. The approvals included granting a variance of the minimum FAR requirement.

| Planning Case # | Application | Description | Action |
|--------------------------|---|---------------------------------|--|
| BZZ-6012 | CUP amendment for third phase of PUD; minimum FAR variance; site plan review | 3-story nonresidential building | Approved at May 20, 2013, meeting of the CPC |
| BZZ-1941 | CUP amendment for third phase of PUD; fence height variance; site plan review; preliminary registered land survey | 1-story restaurant | Denied at September 27, 2004, meeting of the CPC; City Council approved building on November 4, 2004 |

PUBLIC COMMENTS. Correspondence from the neighborhood group, North Loop Neighborhood, was received and is attached to this report. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT - PLANNED UNIT DEVELOPMENT

The Department of Community Planning and Economic Development has analyzed the application to allow a third phase of a planned unit development based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

A nonresidential building should not prove detrimental to public health, safety, comfort or general welfare provided the development complies with all applicable building codes and life safety ordinances as well as Public Works Department standards.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

Two multiple-family residences, the Bookmen Lofts and the Bookmen Stacks, and a nonresidential building share the block with the subject site. The I-94 overpass and parking lots are located across 4th Street North. A parking ramp is located across 5th Avenue North. A nonresidential building with office and a café/restaurant should have a positive effect on the surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site is served by existing infrastructure. The Public Works Department will review the project for appropriate drainage and stormwater management as well as to ensure the safety of the position and design of improvements in or over the public right of way.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

No on-site parking will be provided for the proposed uses. Because the site is zoned B4N, a minimum parking requirement does not apply. The proposed building will not affect any of the existing parking for the residential uses within the PUD. Six bicycle parking spaces are proposed, all

of which are needed to meet the minimum bicycle parking requirement. The close proximity to the central business district and multiple transit options will help to minimize traffic congestion.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- 1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.
- 1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.
- 1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.13: Support high density development near transit stations in ways that encourage transit use and contribute to interesting and vibrant places.

- 1.13.1 Encourage pedestrian-oriented services and retail uses as part of higher density development near transit stations.

Land Use Policy 1.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.

- 1.15.2 Support the intensification of jobs in Growth Centers through employment generating development.

Economic Development Policy 4.13: Downtown will continue to be the most sustainable place to do business in the metro area.

- 4.13.1 Support the development of a variety of businesses of all sizes within Downtown.

The subject site is located within the boundaries of the *Downtown East/North Loop Master Plan* that was adopted by the City Council in 2003. This plan calls for transit oriented development and mixed use development on the subject site. Street level retail is encouraged along 5th Avenue North in order to connect the Target Field Transit Station and Washington Avenue North.

The property is also located within the boundaries of the *North Loop Small Area Plan* that was adopted by the City Council in 2010 and is an update to the *Downtown East/North Loop Master Plan*. The recommended land use for the site is high density mixed use in the area referred to as Warehouse West. In this area, the plan calls for the removal of surface parking lots and other

underdeveloped sites to continue the eclectic mix of commercial, residential, and industrial uses. It does not emphasize orienting street level retail along 5th Avenue as the Downtown East/North Loop Master Plan does. According to the principles and polices outlined in the plan, the following guidance applies to this proposal:

- Land uses in the North Loop that support the strength and character of the Downtown Core instead of competing with it.
- Preference for mid- to high-density mixed-use developments that combine residential, commercial, and retail (where appropriate) uses.
- Service-oriented commercial uses are appropriate in areas off the designated Commercial Corridors.
- Land uses organized to encourage and support public transit, cycling, and walking as viable alternatives to the private automobile.

The following principles and policies apply to the proposed building scale and placement:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.

10.1.3 Building placement should allow light and air into the site and surrounding properties.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

10.2.7 Locate buildings so that shadowing on public spaces and adjacent properties is minimized.

The *Downtown East/North Loop Master Plan* calls for development 5 to 13 stories tall on this site. However, the North Loop Small Area Plan supports development of 2 to 10 stories on this site in order for new development to be compatible with existing historic warehouse structures. It categorizes the subject site in the Development Intensity District B. District B is intended to support land areas that are developing in a pattern consistent with medium density building types of up to 10 stories. Appropriate building types in this district include housing, commercial, and industrial structures of 2 to 10 stories. This type is generally consistent with the bulk and height of historic warehouse structures in the neighborhood. The plan states: “New

development should offer a mix of development styles, and larger sites should consider site designs that provide a mix of development types within the development.”

The *Downtown East/North Loop Master Plan* indicates that buildings should be located within 5 feet of a property line adjacent to a street to establish a continuous street frontage and as a means to reinforce a pedestrian scaled environment. The exception to this guideline would be in locations where a well-defined open space is provided as a public amenity along the street.

The following principles and policies apply to the rest of the site plan features:

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- 1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.
- 1.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.

Economic Development Policy 4.13: Downtown will continue to be the most sustainable place to do business in the metro area.

- 4.13.2 Encourage existing Downtown buildings to retrofit using sustainable design practices, including energy efficiency, additional green space, and bicycle facilities.
- 4.13.3 Support opportunities for new Downtown development to build to a high standard of sustainability.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

- 10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.
- 10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.
- 10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.

Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.

- 10.9.2 Promote building and site design that delineates between public and private spaces.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private

spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

- 10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.
- 10.19.2 Plant and tree types should complement the surrounding area and should include a variety of species throughout the site that include seasonal interest. Species should be indigenous or proven adaptable to the local climate and should not be invasive on native species.
- 10.19.6 Green roofs, living walls, and porous pavement are encouraged but are not meant to be a substitute for ground-level landscaping of sites as landscaping provides both a natural amenity and aesthetic beauty to the urban landscape.

Urban Design Policy 10.23 Promote climate-sensitive design principles to make the winter environment safe, comfortable and enjoyable.

- 10.23.1 Consider solar access, shelter from wind and snow storage and removal in site design.
- 10.23.2 Locate pedestrian places on the sunny sides of streets and buildings to shelter from the wind and utilize the sun's warmth.

The *North Loop Small Area Plan* provides the following building design guidance:

- Facades should include prominent front entrances and abundant window glass.
- Principal entrances of buildings – commercial, industrial, residential - should face the street. They should be clearly defined and emphasized through the use of architectural design features.
- Storefronts should have an abundance of large display windows with transparent glass in order to improve visibility out and in and therefore improved street safety.

Both small area plans recognize a shortage of green space in the North Loop and encourage landscaping along public sidewalks.

Staff comment: The proposed building size and location as well as the restaurant location deviate from the above policies. A higher density development is preferred. The café/restaurant would be oriented more towards the interior of the site with access to 4th Street North rather than 5th Avenue North as encouraged by the small area plan. Also, the building would not be within 5 feet of the lot lines along the adjacent streets. The proposed building size and location as well as the café/restaurant location were determined by the applicant based on a number of factors:

- Poor soil conditions exist on the site as evidenced in the geotechnical report that was conducted in 2005 for the original restaurant proposal. The worst soil conditions are located at the corner of 4th Street and 5th Avenue.
- The site is part of a condominium association, which is subject to bylaws set by the association. The bylaws include an overall height limit of 40 feet.

- The grade of the site changes by 6 feet along 5th Avenue between the entrance of the below-grade parking garage and the street corner.

Although higher density development would be preferred on the site, the proposed building would result in a mix of building sizes in the PUD. The small area plan also doesn't seem to recognize the undulating grade changes between Washington Avenue and Target Field, which is a detriment to establishing retail along 5th Avenue. Because these existing site conditions have a significant impact on the development of the site, a smaller building, larger setbacks, and locating the restaurant adjacent to 4th Street are proposed. However, the applicant is proposing a site design that meets the intent of these policies. A plaza is proposed along both street frontages to improve the pedestrian realm. The main building entrance is oriented to the street intersection and opens out onto the plaza. The second through fourth floors would also extend up to the street intersection to reinforce the street wall. To the extent practical, the development would be consistent with the adopted policies.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The proposed development will conform to the applicable regulations upon the approval of the conditional use permit, variances and site plan review.

Findings Required for Planned Unit Developments:

- A. The planned unit development conforms to the applicable standards for [alternatives and amenities](#).

Minimum required amenity(ies) of 10 points. – Minimum required amenity(ies) – Per section 527.90(c), planned unit developments approved before August 28, 2009, shall only be required to provide amenities for any alternatives requested as a part of an amendment. Because the original land use applications were approved in 2003, the applicant is only required to provide an amenity(ies) worth five points for any new alternatives that are being requested. No alternatives are requested; therefore no additional amenities are required for this phase.

Placement and number of principal residential structures. – No alternative requested.

Bulk regulations. – No alternative requested.

Lot area requirements. – No alternative requested.

Yards. – No alternative requested.

On-premise signs. – No alternative requested.

Off-street parking and loading. – No alternative requested.

Phasing plan. – The proposed development would be the last phase of this PUD.

Amenities provided:

Although not required for any alternatives to zoning requirements, the applicant is proposing many sustainable features, including bicycle storage and changing rooms, energy efficient building systems such as advanced LED technology, lighting control system, Variable Refrigerant Flow (VRF) system for heating and cooling, low flow plumbing fixtures, and a stormwater retention tank.

- B. The planned unit development conforms to the [required findings](#) for a planned unit development:

(1) *That the planned unit development complies with all of the requirements and the intent and purpose of this chapter. In making such determination, the following shall be given primary consideration:*

- a. *The character of the uses in the proposed planned unit development, including in the case of residential uses, the variety of housing types and their relationship to other site elements and to surrounding development.*

The applicant intends for the proposed development to establish a significant neighborhood presence and to create meaningful public space. Offices and a café/restaurant would occupy the proposed building that would be constructed of shipping containers. A large plaza with both hard-scaping and green space will connect the main entrances of the building to the adjacent streets.

- b. *The traffic generation characteristics of the proposed planned unit development in relation to street capacity, provision of vehicle access, parking and loading areas, pedestrian access, bicycle facilities and availability of transit alternatives.*

The proposed uses are expected to generate minimal amounts of vehicle traffic due to the site's close proximity to the central business district and multiple transit options, including the Target Field Transit Station. No on-site parking will be provided for the proposed uses. Because the site is zoned B4N, a minimum parking requirement does not apply. The proposed building will not affect any of the existing parking for the residential uses within the PUD. Six bicycle parking spaces are proposed, all of which are needed to meet the minimum bicycle parking requirement. A NiceRide MN kiosk is also proposed to be relocated to this site. Pedestrian access to, from and through the site would primarily be from 4th Street via a plaza connection.

- c. *The site amenities of the proposed planned unit development, including the location and functions of open space, the preservation or restoration of the natural environment or historic features, sustainability and urban design.*

No alternatives to any zoning code requirements are required for the project. Many sustainable features are proposed, including bicycle storage and changing rooms, energy efficient building systems such as advanced LED technology, lighting control system, Variable Refrigerant Flow (VRF) system for heating and cooling, low flow plumbing fixtures, and a stormwater retention tank. Although the ground floor of the building would be set back from both streets, a plaza would provide a connection as well as green space.

- d. *The appearance and compatibility of individual buildings and parking areas in the proposed planned unit development to other site elements and to surrounding development, including but not limited to building scale and massing, microclimate effects of the development, and protection of views and corridors.*

The proposed 4-story building would have a modern aesthetic which is compatible with the surrounding buildings and warehouse district. Exterior materials of surrounding development include brick, metal, concrete, and glass. The proposed building materials, metal and glass, would be compatible with the appearance of surrounding development. The scale and massing of the building is limited by existing site conditions and a height limit included in the condominium associations bylaws. The small area plans did not identify any significant views that need to be protected as a result of development of this site. As such, the building would not impede any significant public view corridors that focus attention on natural or built features, including landmark buildings, significant open spaces or water bodies.

- e. *An appropriate transition area shall be provided between the planned unit development and adjacent residential uses or residential zoning that considers landscaping, screening, access to light and air, building massing, and applicable policies of the comprehensive plan and adopted small area plans.*

Outside of the PUD, the site is not adjacent to any residential uses or residential zoning. An 85-foot landscaped courtyard separates the Bookmen Stacks from the development site. If outdoor seating is proposed for the café/restaurant, the seating will need to be screened as required by section 549.160 of the zoning code.

- f. *The relation of the proposed planned unit development to existing and proposed public facilities, including but not limited to provision for stormwater runoff and storage, and temporary and permanent erosion control.*

The Public Works Department will review the project for appropriate drainage and stormwater management as well as to ensure the safety of the position and design of improvements in or over the public right of way. An enhanced stormwater management system is proposed that includes storm-water tanks and a subsurface irrigation and storage system.

- g. *The consideration, where possible, of sustainable building practices during the construction phases and the use of deconstruction services and recycling of materials for the demolition phase.*

Sustainable building practices will be used throughout the construction process.

- (2) *That the planned unit development complies with all of the applicable requirements contained in Chapter 598, Land Subdivision Regulations.*

The properties within the PUD are part of a registered land survey, which complies with all of the applicable subdivision requirements.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum floor area ratio (FAR) from 2.0 to 1.27 based on the following [findings](#):

- I. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

In the B4N District, the minimum floor area ratio (FAR) requirement is 2.0. The lot area of this phase is 18,142 square feet. The proposed gross floor area of the building is 23,035 square feet, which is an FAR of 1.27. There are a number of constraints that affect the size of a building that can be constructed on this site. Part of the site includes a below-grade parking garage. The garage structure was constructed to only support a one story building. The remainder of the site has poor soil conditions, which worsen at the street corner. Construction of a building in that area would require an extensive amount of engineering and subsequent structural piles being driven to a suitable depth to support a larger building footprint and taller building. The site is part of a condominium association, which is subject to bylaws set by the association. The bylaws include an overall height limit of 40 feet.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Building bulk regulations are established in order to assure that the scale and form of new development will occur in a manner most compatible with the surrounding area. The minimum FAR requirement is intended to prevent the underutilization of downtown properties. The proposed mixed use building is part of a PUD. Including the residential buildings, the overall FAR of the PUD would be 2.6. Despite the poor soil conditions, the applicant has devised a way to locate building bulk at the street corner and reinforce the street wall. A plaza would also extend along the street sides of the property. Greening and outdoor seating are encouraged by the comprehensive plan policies. For the proposed development, allowing the proposed floor area ratio would therefore be in keeping with the spirit and intent of the ordinance and the comprehensive plan and is reasonable.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The surrounding area contains a mix of nonresidential and residential uses. Without the existing constraints affecting the site and the proposal to provide enhanced outdoor spaces, allowing the proposed building at the requested FAR would alter the essential character of the locality and be injurious to the use and enjoyment of other property in the vicinity. Granting the variance would not be detrimental to the health, safety or welfare of the general public or those utilizing nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the plaza design standards to allow 33.3 percent of the plaza to be covered based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Plazas are subject to the regulations of Chapter 535 Regulations of General Applicability, specifically [Article XI. Plazas](#), in the zoning code. One of the standards applies a limitation on aerial obstructions, requiring that plazas are unobstructed to the sky except for seating, arbors, trellises, kiosks, lighting, water features, public art and landscaping. However, up to 30 percent of the plaza area may include umbrellas, awnings or an arcade. Part of the proposed plaza (33.3 percent) would be covered by the building. The area of the site under the building has poor soil conditions, which worsen at the street corner. Construction of a building in that area would require an extensive amount of engineering and subsequent structural piles being driven to a suitable depth to support a larger building footprint. Despite the poor soil conditions, the applicant has devised a way to locate building bulk at the street corner and reinforce the street wall. The plaza would extend along the street sides of the property infilling the ground floor level of the open space with public amenities. Reducing the covered area of the plaza could require reducing the size of the building, which would conflict with the minimum FAR requirements.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The standards governing plazas are established to promote year-round gathering places designed to enhance pedestrian access, interaction and visibility, reinforce public spaces, create community identity, promote public safety, and visually enhance development. The limitation on aerial obstructions is intended to provide adequate light, air and open space for users of the plaza. The proposed plaza would extend along both 4th Street and 5th Avenue. One-half of the building mass is lifted one level allowing the plaza to extend across the site with continuous public space along both street frontages. The building is designed with a large, center opening, which allows sunlight to penetrate down to the public plaza to prevent a dark and uninviting space and to allow air to circulate through. The covered part of the plaza will directly connect to the glazed public lobby. The applicant intends for the lobby to be an indoor extension of the plaza, complete with additional café seating. The applicant is requesting that slightly more plaza area be allowed to be covered by the building than is normally allowed to be covered by an arcade. However, a large plaza area under the building is proposed to be surfaced with turf. Turf in a heavily shaded area would not grow well nor stand up to pedestrian traffic. To address this concern, CPED staff is recommending the following condition of approval: The applicant shall consider surfacing other than turf in the area of the plaza under the building to ensure the surfacing shall be durable and suitable to its location. With the condition of approval, the request meets the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The applicant is requesting that slightly more plaza area be allowed to be covered by the building than is normally allowed to be covered by an arcade. The plaza is designed to be highly visible and open to ensure adequate access to light and air to prevent an unsafe space. The requested variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor will it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design –Requires alternative compliance

- Although most of the building walls would not be up to the street, the upper floors of the building would extend to the street intersection to reinforce the street corner. A plaza would be located between the building and the adjacent streets. An abundant amount of windows would be provided on the ground floor overlooking the plaza to maximize natural surveillance. Multiple entrances to the plaza would also facilitate pedestrian access and circulation. An additional paved access point to the plaza will need to be provided to comply with the plaza design standards.
- No part of the ground floor of the building would be within 8 feet of the adjacent streets. Alternative compliance is requested.
- A plaza with seating and landscaping would be located between the building and the adjacent streets.

- Although recessed from the adjacent streets, the main entrances would be oriented to the street intersection.
- The proposed building walls would contain architectural details and windows to create visual interest and to increase the security of the adjacent outdoor spaces by maximizing natural surveillance and visibility.
- The building would contain architectural elements and recesses and projections to divide the building into smaller identifiable sections.
- Blank, uninterrupted walls that do not contain windows, entries, recesses or projections, or other architectural elements would not exceed 25 feet in length. The container exterior contains undulations that provide architectural relief where windows are not proposed.
- The primary exterior materials would be metal and glass, which are durable.
- All sides of the building would be compatible and similar to each other.
- Plain face concrete block is not proposed as an exterior material.
- To emphasize their importance, the principal entrances would be defined by a curtain wall, would project from the building and would be sheltered by the upper floor.
- The proposed amount of window area on the street facing building elevations would greatly exceed the minimum window area requirements, as shown in **Table I** below. The windows would be vertically proportioned and distributed in an even manner. The bottom of the ground floor windows would all be within 4 feet of the adjacent grade. However, the proposed glass would be tinted and would have a visible light transmittance ratio of 0.55, which is less than allowed by Chapter 530. Alternative compliance is requested.
- Less than 30 percent of the ground level of the building facing the adjacent streets is designed to have storage and mechanical rooms.
- A flat roof is proposed, which is similar to surrounding buildings.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

| | Code Requirement | | Proposed | |
|--|-----------------------|-------------------------|-------------|--------------------------|
| | 1 st Floor | 30% minimum | 247 sq. ft. | 52% |
| 2 nd Floor and Above (all walls facing 4 th Street and 5 th Avenue) | 10% minimum | 96 sq. ft. per floor | 37% | 358 sq. ft. per floor |

Access and Circulation – *Meets requirements with condition of approval*

- A well-lit walkway 5 feet in width would connect the main entrances to the 4th Street public sidewalk adjacent to the street intersection. To ensure that the on-site bicycle parking is conveniently connected to the building entrances, CPED staff is recommending a condition of approval that would require another access point to the elevated plaza.
- The site is not adjacent to a transit stop.
- No vehicle access or facilities are proposed for this phase of the PUD.
- To the extent practical, the site plan minimizes the use of impervious surfaces. Half of the site extends over a below-grade parking garage and the building covers much of the rest of the site. A large area of the plaza will be landscaped to reduce impervious surfaces.

Landscaping and Screening – *Requires alternative compliance*

- The overall composition and location of the proposed landscaped areas complement scale of development and its surroundings.

- The general landscaping requirements are described in **Table 2** below. Over 60 percent of the net lot area would be landscaped; however, no canopy trees would be provided on-site. Alternative compliance is requested.
- All other areas not occupied by the building or the paved part of the plaza would be landscaped with ornamental trees, shrubs and turf.
- Installation and maintenance of all landscape materials will need to comply with sections 530.200 and 530.210.

Table 2. Landscaping and Screening Requirements

| | Code Requirement | Proposed |
|---|-------------------------|-----------------|
| Lot Area | -- | 18,142 sq. ft. |
| Building footprint (including the below grade parking garage) | -- | 14,323 sq. ft. |
| Remaining Lot Area | -- | 3,819 sq. ft. |
| Landscaping | 764 sq. ft. | 2,625 sq. ft. |
| Canopy Trees (1: 500 sq. ft.) | 2 trees | 0 trees |
| Shrubs (1: 100 sq. ft.) | 8 shrubs | 17 shrubs |

Additional Standards – Meets requirements with conditions of approval

- The small area plans did not identify any significant views that need to be protected as a result of development of this site. As such, the building would not impede any significant public view corridors that focus attention on natural or built features, including landmark buildings, significant open spaces or water bodies.
- Increases in shadows on adjacent public spaces and properties would not be significant.
- Because the open area under the building could generate wind currents at the ground level, CPED is recommending that the applicant also plant trees along the 5th Avenue side of the site.
- The site includes crime prevention design elements. The building would have an abundant amount of windows on all sides. Pedestrian level lighting will be provided at the main entrance. As shown on the lighting plan, the lighting levels will need to be adjusted to comply with the lighting standards of section 535.590 of the zoning code. Landscaping, walkways and lighting would be used to guide people through the site.
- No buildings are proposed to be demolished.

2. Conformance with all applicable regulations of the zoning ordinance.

A PUD is a *conditional* use in the B4N District. A café (coffee shop or sit-down/delicatessen restaurant) and offices are proposed to be located in the building. These uses are permitted in the B4N District.

Off-street Parking and Loading – Meets requirements

- In the B4N district, there is not a minimum vehicle parking requirement for offices, coffee shops or sit-down/delicatessen restaurants. No parking is proposed for these uses.
- Bicycle parking is required for the proposed uses (see Table 3).
- In the downtown districts, office buildings with less than 30,000 square feet of gross floor area are required to provide adequate shipping and receiving facilities, accessible by motor vehicle off any adjacent alley, service drive or open space on the same zoning lot. There are areas within the PUD available to provide off-street loading.

Table 3. Bicycle Parking Requirements (Chapter 54I)

| | Minimum Bicycle Parking | Minimum Short-Term | Minimum Long-Term | Proposed |
|--|--------------------------------|---------------------------|--------------------------|------------------------------|
| Offices | 3 | -- | Not less than 50% | 2 long-term and 4 short-term |
| Coffee shop, delicatessen restaurant or sit down restaurant | 3 | Not less than 50% | -- | |
| Total | 6 | -- | -- | |

Building Bulk and Height – *Requires a variance*

- A variance is required to reduce the minimum FAR requirement.

Table 4. Building Bulk and Height Requirements

| | Code Requirement | Proposed |
|--|---|---|
| Lot Area | -- | 18,142 sq. ft. (lot area identified on the land survey) |
| Gross Floor Area (GFA) | -- | 23,035 sq. ft. |
| Minimum Floor Area Ratio (GFA/Lot Area) | 2.0 | 1.27 |
| Maximum FAR | N/A | |
| Maximum Building Height | 10 stories or 140 feet, whichever is less | 4 stories and 41 ft. (measured from 4 th Street) |

Lot Requirements – *Not applicable*

Yard Requirements – *Not applicable*

Signs – *Meets requirements*

- All new signs are required to meet the requirements of Chapter [543](#) of the zoning code and will require Zoning Office review, approval, and permits.
- In the B4N district, wall signs up to 120 square feet in area are allowed provided the total sign area does not exceed 2.5 square feet of signage per one primary building wall. Wall signs are allowed to be located up to 28 feet above the adjacent grade and internally or externally illuminated, but not back lit.
- A non-illuminated wall sign that is 220 square feet in area is shown on the building elevations on the main lobby wall. The applicant has indicated that the size of the sign will be reduced in area to apply with the size requirements.
- The Zoning Administrator has determined that the “Evergreen” text on the containers is not signage because it is part of a structure that is being repurposed.

Refuse Screening – *Meets requirements*

- Refuse and recycling storage containers are required to be enclosed on all four sides by screening compatible with the principal structure not less than two feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. The refuse containers would be fully enclosed, including a roof, by solid corrugated metal screening.

Screening of Mechanical Equipment – *Meets requirements with condition of approval*

- All mechanical equipment is required to be arranged so as to minimize visual impact by using screening and must comply with Chapter [535](#) and district requirements. The condensing units, utility transformer, generator, and air handling units are not sufficiently screened from view from the adjacent residences. Screening will need to be provided.

Lighting – *Meets requirements with condition of approval*

- Lighting must comply with Chapter [535](#) and Chapter [541](#) of the zoning code. As shown on the lighting plan, the lighting levels will need to be adjusted to comply with the lighting standards of section 535.590 of the zoning code.

Impervious Surface Area – *Not applicable*

Specific Development Standards – *Meets requirements*

- The development standards for food and beverage uses require that the premises, all adjacent streets, sidewalks and alleys, and all sidewalks and alleys within 100 feet to be inspected regularly for purposes of removing any litter found thereon and where alcoholic beverages are served, not less than 60 percent of total gross sales revenue shall be from the sale of food and beverages not containing alcohol, and the use shall comply with the requirements of Title 14, Liquor and Beer, of the Minneapolis Code of Ordinances and Chapter 4 of the Minneapolis City Charter.

DP Overlay District Standards – *Not applicable for this development*

Plazas – *Requires a variance*

- Plazas are subject to the regulations of Chapter 535 Regulations of General Applicability, specifically [Article XI. Plazas](#), in the zoning code. Standards for placement, access, natural surveillance and visibility, aerial obstructions, surface materials, seating, encroachments and setbacks, plantings, additional amenities, lighting, winter use, trash receptacles, mechanical equipment, and maintenance are all required to be met:
 - *Placement:* The plaza would extend up along the 4th Street and 5th Avenue sidewalks. An abundant amount of window and multiple entrances would be oriented to the plaza to enhance natural surveillance and visibility and interaction with the occupants of the building and to facilitate pedestrian access and circulation.
 - *Access:* The plaza is designed to allow for pedestrian and bicycle access through and around the plaza. However, only one 5-foot wide, accessible paved access point is

proposed to the elevated part of the plaza, which is the most convenient way to access the main entrances, from the adjacent streets. This access point is located adjacent to 4th Street near the street intersection. The paved plaza area next to the main entrances would be elevated with a 2 foot tall retaining wall along its perimeter. Therefore at least one additional access point will need to be provided to comply with this standard.

- *Natural surveillance and visibility:* The plaza is designed for opportunities for people to observe adjacent spaces and the public sidewalks.
- *Aerial obstructions:* The standards that apply to aerial obstructions require that plazas are unobstructed to the sky except for seating, arbors, trellises, kiosks, lighting, water features, public art and landscaping. However, up to 30 percent of the plaza area may include umbrellas, awnings or an arcade. Part of the proposed plaza (33.3 percent) would be covered by the building. A variance of this standard is requested. CPED staff is recommending approval of the variance.
- *Surface materials:* The applicant has indicated that the plaza surfacing will be 6-inch thick 4500PSI strength concrete poured with a pattern scored to follow the geometry of the building. It would also be colored with gray tones and green like the building. This information will need to be identified on the final plans.
- *Seating:* The total amount of seating required is equal to 272 linear feet. Of that, at least 53 linear feet needs to be seating with backs. In the area of the plaza adjacent to the main entrances, moveable tables and chairs consisting of at least 53 linear feet of the seating would be provided. The applicant has indicated that the remainder of the required seating would be located in the turf area with steps for seating. The grading plan indicates that the stepped turf seating would be sloped, which would not be of an appropriate ergonomic design. If the seating is stepped and of an appropriate height as shown on the building elevations, the turf steps can count towards meeting the seating requirements. This issue will need to be addressed in the final plans.
- *Encroachments and setbacks:* The plaza would not encroach into the public right-of-way and there are no applicable yard requirements.
- *Plantings:* Approximately one-third of the plaza area would be landscaped.
- *Additional amenities:* At least 2 additional amenities are required. Additional moveable chairs and a public drinking fountain are proposed as the additional amenities.
- *Lighting:* The applicant submitted a lighting plan. The lighting levels will need to be adjusted to comply with the lighting standards of section 535.590 of the zoning code.
- *Winter use:* The plaza will have access to sunlight during all seasons. The part of the plaza leading to the main entrances would be sheltered from the elements. More plantings, especially trees, are encouraged to minimize the generation of wind currents.
- *Trash receptacles:* The six required trash and recycling receptacles will be provided.
- *Mechanical equipment:* No mechanical equipment is proposed within the plaza area.
- *Maintenance:* The plaza will need to be maintained as required.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

Please see the conditional use permit section of this staff report.

4. Conformance with applicable development plans or objectives adopted by the City Council.

Please see the conditional use permit section of this staff report.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Building Placement.** The first floor building wall is required to be located not more than 8 feet from the lot lines adjacent to each street. No part of the ground floor of the building would be within 8 feet of the adjacent streets. The site has poor soil conditions, which worsen at the street corner. Construction of a building in that area would require an extensive amount of engineering and subsequent structural piles being driven to a suitable depth to support a building. Between the ground floor of the building and the adjacent streets, the applicant is proposing a continuous plaza. With the addition of at least one more paved access to the elevated part of the plaza, any adverse effects of the building placement would be mitigated. CPED staff is recommending that the Planning Commission grant alternative compliance with this condition of approval.
- **Ground Floor Windows.** Ground floor windows are required to have clear or lightly tinted glass with a visible light transmittance ratio (VLT) of 0.6 or higher. However, the proposed glass would be tinted (meadow green from AGC) and would have a visible light transmittance ratio of 0.55. The applicant has indicated that U-value, solar height gain coefficient, and light to solar heat gain ration of this glass are reaching the required standards from ASHRAE 90.1 (2013). A glass calculator performance data sheet was provided and is attached to this report for reference. The applicant has also provided a sample of the glass, which will be available for viewing at the public hearing. The green tinting of the glass relates to the green of the reused containers to create a cohesive design. One purpose of the site plan review window requirements is to promote public safety. The proposed amount of window area on the ground floor would greatly exceed the minimum window area requirements at over 50 percent. With the large amount of windows proposed, a small reduction to the VLTR requirement should not have a significant impact on natural surveillance and visibility and being able to see into and out of the building at eye level. For these reasons, CPED staff is recommending that the Planning Commission grant alternative compliance.
- **Canopy Trees.** At least 2 on-site canopy trees are required. No on-site canopy trees are proposed; however, the applicant is proposing to plant 4 ornamental trees on-site. The overall amount of landscaping proposed greatly exceeds the minimum requirement. The plaza would also provide a public amenity. These alternatives visually enhance the development and are consistent with the character of the area. Because the open area under the building could generate wind currents, CPED is recommending that the applicant also plant trees (canopy or ornamental) along the 5th Avenue side of the site.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit for a Planned Unit Development:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit for a planned unit development to allow a third phase for the properties located at 525 3rd Street North and 345 6th Avenue North, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the minimum floor area ratio from 2.0 to 1.27 for the properties located at 525 3rd Street North and 345 6th Avenue North.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance of the plaza design standards to allow 33.3 percent of the plaza to be covered for the properties located at 525 3rd Street North and 345 6th Avenue North, subject to the following conditions:

1. The applicant is encouraged to consider surfacing other than turf in the area of the plaza under the building to ensure the surfacing shall be durable and suitable to its location.

Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

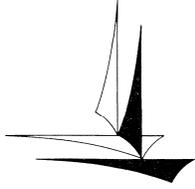
The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a new 4-story, nonresidential building for the properties located at 525 3rd Street North and 345 6th Avenue North, subject to the following conditions:

1. At least one additional access point shall be provided to the elevated plaza area as a measure to mitigate adverse effects of the proposed building placement and to ensure convenient access between the building entrances and the bicycle parking facilities located on the site.
2. Planting trees along the 5th Avenue North side of the site is encouraged to minimize the generation of wind currents at ground level.
3. Mechanical equipment shall be screened as required by section 535.70 of the zoning code.

4. Lighting shall comply with the standards from section 535.590 of the zoning code.
5. Signage shall comply with the applicable requirements of Chapter 543 of the zoning code.
6. Unless otherwise approved by the Planning Commission, the plaza shall comply with the design standards from section 535.810 of the zoning code.
7. Department of Community Planning and Economic Development staff review and approval of the final building elevations, floor, site, plaza, lighting and landscape plans.
8. Site improvements required by Chapter 530 or by the City Planning Commission shall be completed by September 29, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Preliminary Development Review report
2. Written description and findings submitted by applicant
3. Zoning map
4. Civil drawings
5. Landscape plan
6. Plaza area calculation plan
7. Site/ground floor plan
8. Floor plans
9. Building elevations
10. Lighting plan
11. Glass calculator performance data
12. Renderings
13. Photos
14. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**
(612) 673-5645
don.zart@minneapolismn.gov

| |
|----------------------------------|
| Status * |
| RESUBMISSION REQUIRED |

| | |
|-------------------------|---|
| Tracking Number: | PDR 1001209 |
| Applicant: | THE NEAT PIG GROUP LLC 506 4TH ST N MINNEAPOLIS, MN 55401 |
| Site Address: | 525 3RD ST N TRACT G |
| Date Submitted: | 18-JUN-2014 |
| Date Reviewed: | 18-JUN-2014 |

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Proposed 3 story, 15,390 sq ft commercial building.

Review Findings (by Discipline)

Fire Safety

- Provide required automatic fire suppression system throughout building
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant
- Provide required fire alarm system
- Maintain fire apparatus access at all times

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Zoning - Planning

- The following required applications have been identified: Conditional use permit to amend a planned unit development (PUD) to allow a third phase with a commercial building; variance to reduce the minimum floor area ratio from 2.0 to 0.84; Variance of the plaza design standards to allow part of the plaza to be covered; and site plan review.
- Identify the proposed height and material(s) of the refuse container screen on the site plan. Also provide an elevation. Will the enclosure be covered to help screen the containers from the condos overlooking the site? We will likely require the enclosure to be covered through the site plan review.
- The site plan indicates that a Nice Ride kiosk will be located on the site. Is this currently under discussion with Nice Ride? Will the kiosk under the I-94 viaduct be relocated to this site or is this a kiosk in addition to the other kiosk?
- Identify how the required enclosed bicycle parking will comply with the long-term bicycle parking standards in section 541.180. Specifically, how will these spaces be secured or supervised?
- Provide a lighting plan that shows how the site lighting will comply with section 535.590 of the zoning code.
- Is the "506" sign facing 4th St a freestanding sign or a wall sign? If it is a freestanding sign, show the location on the site plan, and identify the size and type of illumination.
- The top of the proposed projecting sign at the south corner of the building is located 31 feet above the adjacent grade. The maximum allowed height of a projecting sign is 28 feet. To allow the proposed height, a variance or providing an alternative(s) through the PUD is required.
- Identify if the projecting sign will extend into the public right-of-way.
- Identify if the windows facing the entry plaza are also tinted green. For all out-facing windows, identify the visible light transmittance. Refer to section 530.120 for all of the window requirements. (For the land use application, please provide a sample of the proposed glass.)
- Will there be building code issues with a window adjacent to the parking garage roof and lot line?
- The planting locations on the site plan and landscaping plan are not consistent. The discrepancies will need to be remedied.
- Clarify on the plans if a retaining wall along the 4th St sidewalk is proposed. The spot elevations indicate a proposed retaining wall, but one is not shown.
- The land use application worksheet indicates that a 6-foot tall metal fence is proposed. Show the location on the site plan. Also provide an elevation detailing what type of metal fence is proposed.
- Identify how mechanical equipment will be screened as required by section 535.70 of the zoning code.
- Identify how the plaza surfacing materials will be decorative. See section 535.810(5) for requirements.
- Identify how the plaza seating requirements (section 535.810(6)) will be met. Total amount of seating required is 272 linear feet. Of that, at least 53 linear feet needs to be b

□ Addressing

- The proposed address for the office space will be 500 4th St N.
- The proposed address for the cafe will be 510 4th St N
- When assigning suite sequences the following guidelines are as follows:
- The first one to two digits of the suite sequence number will designate the floor number of the site.
- The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
- Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
- Please provide each condo, suite, unit or apartment number.

□ Business Licensing

- Please contact Don Zart (612)673-2726 to go over the requirements for any food related establishments that may occupy portions of the building.

❑ Parks - Forestry

- Contact Paul Martinson (612-499-9209) regarding removal or protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project the commercial building on Tract G at the corner of 4th St N & 5th Ave N , the calculated dedication fee is as follows:
 - Commercial Office Space = \$7,600
 - 5% of \$7,600 (Administrative fee) = \$ 300
 - Total = \$7,900
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at (612)673-2726.

❑ Environmental Health

- If impacted soil is encountered during construction call the MN State Duty officer at (615) 649-5451.
- Permits and approval are required from Environmental Services for the following activities: After hours work; Temporary storage of impacted soils on site prior to disposal or reuse; Remediation of contaminated soil and groundwater, Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water to city sewers; Flammable waste traps, Underground or aboveground tank installation or removal; Well construction or sealing; On-site rock crushing. Contact Tom Frame at tom.frame@minneapolismn.gov for permit applications and approvals.
- If a permanent dewatering system will be required to keep the underground structures dry it must be approved as part of the sanitary sewer and storm drain site plan approval.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

❑ Traffic and Parking

- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the loading dock/parking entrance areas.

❑ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

❑ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.

❑ Sewer Design

Stormwater Management:

- Please provide documentation demonstrating rights to discharge stormwater into the adjacent property's treatment system.
- The site was part of a previous development project that was captured under the stormwater treatment requirements of Chapter 54 of the Minneapolis Code of Ordinances. Please provide the necessary documentation demonstrating that the site, with the proposed improvements, will still be in compliance with the stormwater treatment requirements.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- Please identify the square footage of the area proposed to be disturbed with the project, and the existing and proposed impervious square footages within the disturbed area.
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or paul.chellsen@minneapolismn.gov).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.

Surface Drainage:

- It appears that there is some proposed grading information missing from Sheet C4. It is unclear if retaining walls are proposed or some other method is proposed to achieve the significant changes in grade in some locations. Please provide a proposed grading plan in sufficient detail to depict the proposed drainage patterns of the site. It must be demonstrated that the proposed conditions do not adversely impact adjacent properties as it relates to stormwater runoff.

Utility Connections:

- The proposed sanitary sewer service connection to the City main should be core-drilled and a saddle tee fitting installed, per City of Minneapolis Standard Supplemental Specifications. Please note this on the plan. Please also indicate the elevation of the existing main at the connection location and pipe material on the Utility Plan. The service connection should be made in the middle third of the main.
- The existing storm sewer on the northwest side of the property, shown on Sheet C4, does not appear on the existing conditions survey. Please verify the existing storm sewer and revise the survey appropriately.

Erosion Control:

- The perimeter sediment control measures on Sheet C1 do not appear to encompass the entire disturbed area. Please evaluate the proposed silt fence location and revise accordingly.

Non Stormwater Discharges:

- Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

❑ Historical Preservation Committee

- There is not a preservation flag attached to this property.

❑ Construction Code Services

- The architect should schedule a preliminary building code review meeting to go over the project with a building plans examiner for the interior code related items. Please call 612-673-5839 to schedule this.
- When setting up the appointment request to have Steve Goemer attend the meeting also, he reviews plumbing inside buildings.
- Storage in stairwell not allowed
- Please contact the Met Council to have a SAC Determination made. Please see this link for more information.
http://www.minneapolismn.gov/www/groups/public/@regservices/documents/webcontent/convert_281675.pdf

❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- Please contact Paul Cao at (612) 673-2943 to discuss location of the Nice Ride bike racks proposed for the site.

❑ Water

- Given the proposed building configuration, the Applicant should consider tapping the 6" main in 5th Ave. N., this would allow for a shorter service connection and will maintain the connection within the line of the building (generally service connections are allowed no further than 2' outside the line of the building).
- The proposed 6" and 4" service lines may be larger than necessary for the size of the proposed building. The Applicant should consider a 6" combination a service; please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

END OF REPORT

LAND USE APPLICATION

TO:

Warehouse District North Loop Neighborhood
DJ Heinle, AIA
444 Cedar Street, suite 1500
Saint Paul, MN 55101
phone: (651) 292-4481

FROM:

The Neat Pig Group LLC (Scott Petinga)
500 Fourth Street North, Minneapolis MN 55401
phone: (612) 605-7556
fax: (612) 677-3257

DATE:

August 5, 2014

RE: STEELCASE

500 FOURTH STREET N OFFICE BUILDING

Property Address(es):

525 3rd Street North and 345 6th Avenue North
Minneapolis MN 55401

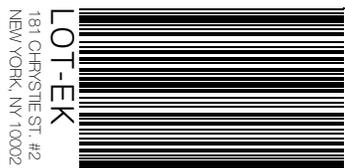
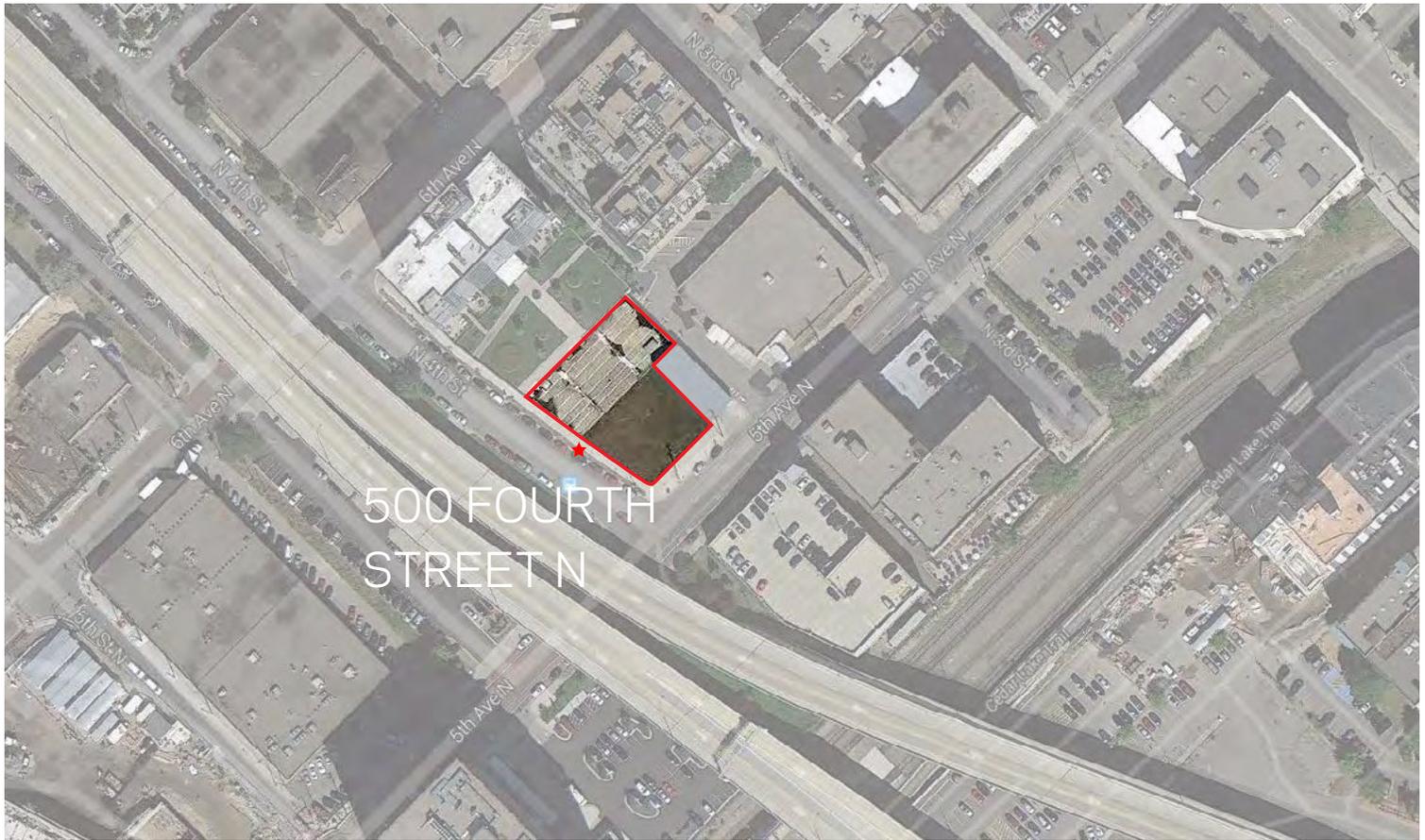
Applicant's Representative:

Mary Springer, AIA, LEEP AP
c/o Snow/Kreilich Architects
527 Marquette Avenue, suite 2400
phone: (612) 752-0275
fax: (612) 359-9530
email: mary@snowkreilich.com

Property Zoning Classification

B4N District

PROJECT LOCATION SITE MAP:



PROJECT TITLE

STEELCASE

500 Fourth Street N . Minneapolis, MN

LAND USE APPLICATION

DESCRIPTION OF PROJECT

STEELCASE 500 FOURTH STREET N

DATA

Program: commercial mixed-use

Size: 23,035 SQFT

Structural: Robert Silman Associates (superstructure), Ericksen Roed Associates (substructure)

MEFP: Dunham

Civil/Landscape: Solution Blue

ARCHITECTURE CONCEPT

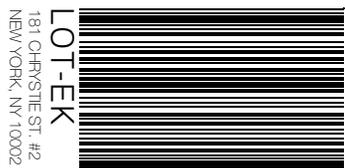
LOT-EK was commissioned to design a commercial building that will be located in the North Loop neighborhood of Minneapolis, an industrial area undergoing urban renewal through private development and public infrastructure projects. The site, with its special corner condition (corner of 5th Avenue North and North 4th street), offers the opportunity for the building to establish a significant presence and to create a meaningful public space in this rapidly changing area. The client was keenly interested in LOT-EK's shipping containers up-cycling practice for the new building, citing design and sustainability as primary drivers. The design concept employs fifty 75' shipping containers - some of which are cut at 30 or 60 degrees - that are combined to form a 100' x 100' rhomboidal donut.

The containers are stacked 3 levels high and the stack is split in 2 triangles. To minimize foundation piling - given the wetland underground condition on site - one triangular half of the building will sit on the existing underground parking garage structure, while the other half is shifted one level upwards. The lifting of half building mass opens up the street corner and creates a covered plaza.

The donut hole is also split in 2 triangular halves. The one belonging to the lifted mass becomes an oculus that sends sunlight into the covered plaza, while the other one is enclosed with continuous skylight/glass wall generating an indoor lobby/cafe. The building's program consists of open office space for a digital marketing agency on the upper floors, along with a smaller suite of co-shared business incubator spaces. On the ground floor the commercial program - cafe/restaurant - is centered around a glazed lobby that looks and opens onto the covered plaza. The covered entrance plaza is directly connected to a green area to the west and a planted terrace to the east.



FOURTH STREET N VIEW



PROJECT TITLE

STEELCASE
500 Fourth Street N . Minneapolis, MN

LAND USE APPLICATION

12

AUGUST 7, 2014

List of required applications:

1) Conditional use permit amendment for third phase of a planned unit development. Amendment for third phase of a planned unit development to allow a mixed use building.

a) A PUD is a conditional use in the B4N district. For this phase of development, an amendment to the conditional use permit is required.

b) The proposed building is a mixed use building with offices and a sit down cafe.

c) Minimum required amenity(ies) – Per section 527.90(c), planned unit developments approved before August 28, 2009 shall only be required to provide amenities for any alternatives requested as a part of an amendment. Because the original land use applications were approved in 2003, the applicant is only required to provide an amenity(ies) worth five points for any new alternatives that are being requested. No alternatives are requested; therefore no additional amenities are required for this phase.

2) Variance to reduce the minimum floor area ratio (FAR) from 2.0 to 1.3.:

a) The lot area of this phase is 18,291 square feet. The proposed gross floor area of the building is 23,035 square feet, which is an FAR of 1.3. A variance is required to reduce the minimum FAR.

3) Land Use Applications, Site Plan Review Amendment

a) First floor of the building located within 8 feet of a lot line adjacent to a street. The applicant is requesting alternative compliance for this requirement. The first floor of the proposed building would be located 0 to 55'-8" feet from the lot line adjacent to 5th Avenue North and would be located 0 to 12'-7" and 104'-8" feet from the lot line adjacent to 4th Street North.

b) Between the building and the adjacent streets, landscaping and a plaza with seating is proposed.

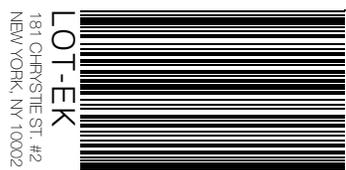
c) The main entrance would face 4th Street North, which is the front lot line. However, it should be noted that guidelines from the small area plans support more active uses facing 5th Avenue because it connects Washington Avenue to Target Field.

d) No new surface parking is proposed as a part of this development.

4) Plaza Application

a) Because a public plaza is proposed as part of the site design, administrative review is required.

b) A variance is requested to allow larger than the allowable covered area for the plaza.



PROJECT TITLE

STEELCASE
500 Fourth Street N . Minneapolis, MN

LAND USE APPLICATION

13

AUGUST 7, 2014

CONDITIONAL USE PERMIT: amendment for third phase of a planned unit development to allow a mixed use building.

Findings as Required by the Minneapolis Zoning Code for Conditional Use Permits:

The Department of Community Planning and Economic Development has analyzed the application and from the findings above concludes that the establishment, maintenance, or operation of the proposed conditional use:

(1) The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

A mixed use building should not prove detrimental to public health, safety, comfort or general welfare provided the development complies with all applicable building codes and life safety ordinances as well as Public Works Department standards.

(2) The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Two multiple-family residences, the Bookmen Lofts and the Bookmen Stacks, and a nonresidential building share the block with the subject site. The I-94 overpass and parking lots are located across 4th Street North. A parking ramp is located across 5th Avenue North. A mixed use building should have a positive effect on the surrounding properties. The proposed public plaza should enhance the public realm in the area.

(3) Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.

The site is served by existing infrastructure. The Public Works Department will review the project for appropriate drainage and stormwater management as well as to ensure the safety of the position and design of improvements in or over the public right of way.

(4) Adequate measures have been or will be taken to minimize traffic congestion in the public streets.

No on-site parking will be provided for the proposed uses. Because the site is zoned B4N, a minimum parking requirement does not apply. The proposed building will not affect any of the existing parking for the residential uses within the PUD. Seven bicycle parking spaces are proposed, 7 of which are needed to meet the minimum bicycle parking requirement. The close proximity to the central business district and multiple transit options will help to minimize traffic congestion.

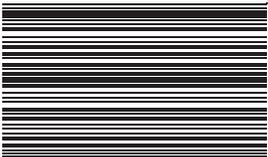
(5) The conditional use is consistent with the applicable policies of the comprehensive plan.

In The Minneapolis Plan for Sustainable Growth, the future land use of the subject property is designated as mixed use. It is also within the Target Field Transit Station Area and the Downtown Growth Center. Specific to the Downtown Growth Center, the plan states:

As the physical and economic center of the city, Downtown is a logical place for a concentration of employment, housing, and other complementary uses...The land use pattern strengthens the concentrated office core with surrounding entertainment, cultural, and residential development. High intensity uses are encouraged to make the best use of the premium location and to strengthen the city's core.

According to the principles and policies outlined in the plan, the following apply to the proposed use:

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

| | | |
|---|---|--------------------------------|
|  LOT-EK 181 CHRYSIE ST. #2 NEW YORK, NY 10002 | PROJECT TITLE | PRELIMINARY DEVELOPMENT REVIEW |
| | STEELCASE 500 Fourth Street N . Minneapolis, MN | <u>1</u> AUGUST 29, 2014 |

1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide "eyes on the street".

Land Use Policy 1.13: Support high density development near transit stations in ways that encourage transit use and contribute to interesting and vibrant places.

1.13.1 Encourage pedestrian-oriented services and retail uses as part of higher density development near transit stations.

Land Use Policy 1.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.

1.15.2 Support the intensification of jobs in Growth Centers through employment generating development.

Economic Development Policy 4.13: Downtown will continue to be the most sustainable place to do business in the metro area.

4.13.1 Support the development of a variety of businesses of all sizes within Downtown.

The subject site is located within the boundaries of the Downtown East/North Loop Master Plan that was adopted by the City Council in 2003. This plan calls for transit oriented development and mixed use development on the subject site. Street level retail is encouraged along 5th Avenue North in order to connect the Target Field Transit Station and Washington Avenue North.

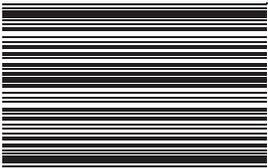
The property is also located within the boundaries of the North Loop Small Area Plan that was adopted by the City Council in 2010 and is an update to the Downtown East/North Loop Master Plan. The recommended land use for the site is high density mixed use in the area referred to as Warehouse West. In this area, the plan calls for the removal of surface parking lots and other underdeveloped sites to continue the eclectic mix of commercial, residential, and industrial uses.

It does not emphasize orienting street level retail along 5th Avenue as the Downtown East/North Loop Master Plan does. According to the principles and policies outlined in the plan, the following guidance applies to this proposal:

- Land uses in the North Loop that support the strength and character of the Downtown Core instead of competing with it.

(6) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The proposed development will conform to the applicable regulations of the district in which it is located.

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|  <p>LOT-EK 181 CHRYSIE ST. #2 NEW YORK, NY 10002</p> | <p>PROJECT TITLE</p> <p>STEELCASE</p> <p>500 Fourth Street N . Minneapolis, MN</p> | <p>PRELIMINARY DEVELOPMENT REVIEW</p> <p style="text-align: right;">2</p> <p style="text-align: right;">AUGUST 29, 2014</p> |
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Conformance with Required Planned Unit Development Findings

(1) That the planned unit development complies with all of the requirements and the intent and purpose of this chapter. In making such determination, the following shall be given primary consideration:

a. The character of the uses in the proposed planned unit development, including in the case of residential uses, the variety of housing types and their relationship to other site elements and to surrounding development.

Two multiple-family residences exist in the PUD. A mixed use building is proposed that would be occupied by offices and a café/restaurant. The proposed building would be separated from the residential buildings by the existing landscaped courtyard and surface parking area.

b. The traffic generation characteristics of the proposed planned unit development in relation to street capacity, provision of vehicle access, parking and loading areas, pedestrian access, bicycle facilities and availability of transit alternatives.

The proposed uses are expected to generate minimal amounts of vehicle traffic due to the site's close proximity to the central business district and multiple transit options, including the Target Field Transit Station. No on-site parking will be provided for the proposed uses. Because the site is zoned B4N, a minimum parking requirement does not apply. The proposed building will not affect any of the existing parking for the residential uses within the PUD. Seven bicycle parking spaces are proposed, 6 of which are needed to meet the minimum bicycle parking requirement. A nearby NiceRide kiosk will be relocated to the site. Pedestrian access to, from and through the site would primarily be from the main entrance facing 4th Street. A secondary entrance for employees would face the interior of the site, accessed from 5th Avenue by a walkway.

c. The site amenities of the proposed planned unit development, including the location and functions of open space, the preservation or restoration of the natural environment or historic features, sustainability and urban design.

Although not required for any alternatives to zoning requirements, the applicant is pursuing sustainable features include, bicycle storage and changing rooms, energy efficient building systems like advanced LED technology, lighting control system, Variable Refrigerant Flow (VRF) system for heating and cooling, low flow plumbing fixtures, and a stormwater retention tank. The corner site situated along a major axis (5th Avenue North) connecting the area to downtown offers the opportunity to create a significant public space, so a plaza with amenities is also proposed.

d. The appearance and compatibility of individual buildings and parking areas in the proposed planned unit development to other site elements and to surrounding development, including but not limited to building scale and massing, micro climate effects of the development, and protection of views and corridors.

The proposed 4-story building would have a modern aesthetic which is compatible with the surrounding buildings and warehouse district. Exterior materials of surrounding development include brick, metal, concrete, and glass. The proposed building materials, metal shipping containers and glass, would be compatible with the appearance of surrounding development. The scale and massing of the building is limited by existing site conditions and a height limit included in the condominium associations bylaws. The small area plans did not identify any significant views that need to be protected as a result of development of this site. As such, the building would not impede any significant public view corridors that focus attention on natural or built features, including landmark buildings, significant open spaces or water bodies.

e. An appropriate transition area shall be provided between the planned unit development and adjacent residential uses or residential zoning that considers landscaping, screening, access to light and air, building massing, and applicable policies of the comprehensive plan and adopted small area plans.

Outside of the PUD, the site is not adjacent to any residential uses or residential zoning. An existing 85-foot landscaped courtyard separates the Bookmen Stacks from the development site. The proposed landscaped terrace extends this existing transition area and seamlessly continues into the proposed plaza that wraps around the street corner.

f. The relation of the proposed planned unit development to existing and proposed public facilities, including but not limited to provision for stormwater runoff and storage, and temporary and permanent erosion control.

The Public Works Department will review the project for appropriate drainage and stormwater management as well as to ensure the safety of the position and design of improvements in or over the public right of way. An enhanced stormwater management system is proposed that includes , storm-water tanks and a subsurface irrigation and storage system .

g. The consideration, where possible, of sustainable building practices during the construction phases and the use of deconstruction services and recycling of materials for the demolition phase.

Sustainable building practices will be used throughout the construction process.

(2) That the planned unit development complies with all of the applicable requirements contained in Chapter 598, Land Subdivision Regulations.

The proposed development will conform to the applicable regulations upon the approval of the conditional use permit, variance and site plan review.

VARIANCE: to reduce the minimum floor area ratio (FAR) from 2.0 to 1.3.

Findings as Required by the Minneapolis Zoning Code:

(1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

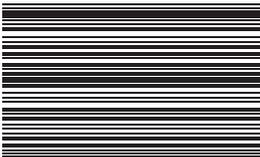
In the B4N District, the minimum floor area ratio (FAR) requirement is 2.0. The lot area of this phase is 18,291 square feet. The proposed gross floor area of the building is 23,035 square feet, which is an FAR of 1.3. There are a number of constraints that affect the size of a building that can be constructed on this site. Part of the site includes a below-grade parking garage. The garage structure was constructed to only support a one story building. The remainder of the site has poor soil conditions, which worsen as one approaches the street corner. Construction of a building in that area would require an extensive amount of engineering and subsequent structural piles being driven to a suitable depth to support a larger building footprint and taller building. The site is part of a condominium association, which is subject to bylaws set by the association. The bylaws include an overall height limit of 40 feet.

(2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Building bulk regulations are established in order to assure that the scale and form of new development will occur in a manner most compatible with the surrounding area. The minimum FAR requirement is intended to prevent the underutilization of downtown properties. The proposed mixed use building is part of a PUD. Including the residential buildings, the overall FAR of the PUD would be 2.6. The remainder of the proposed development site would be used for a plaza and landscaping. Greening and outdoor seating are encouraged by the comprehensive plan policies. Allowing the proposed floor area ratio would therefore be in keeping with the spirit and intent of the ordinance and the comprehensive plan and is reasonable.

(3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The surrounding area contains a mix of nonresidential and residential uses. Without the existing constraints affecting the site and the proposal to provide enhanced outdoor spaces, allowing the proposed building at the requested floor area ratio would alter the essential character of the locality or be injurious to the use and enjoyment of other property in the vicinity. Granting the variance would not be detrimental to the health, safety or welfare of the general public or those utilizing nearby properties.

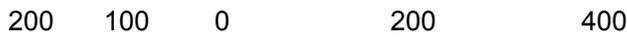
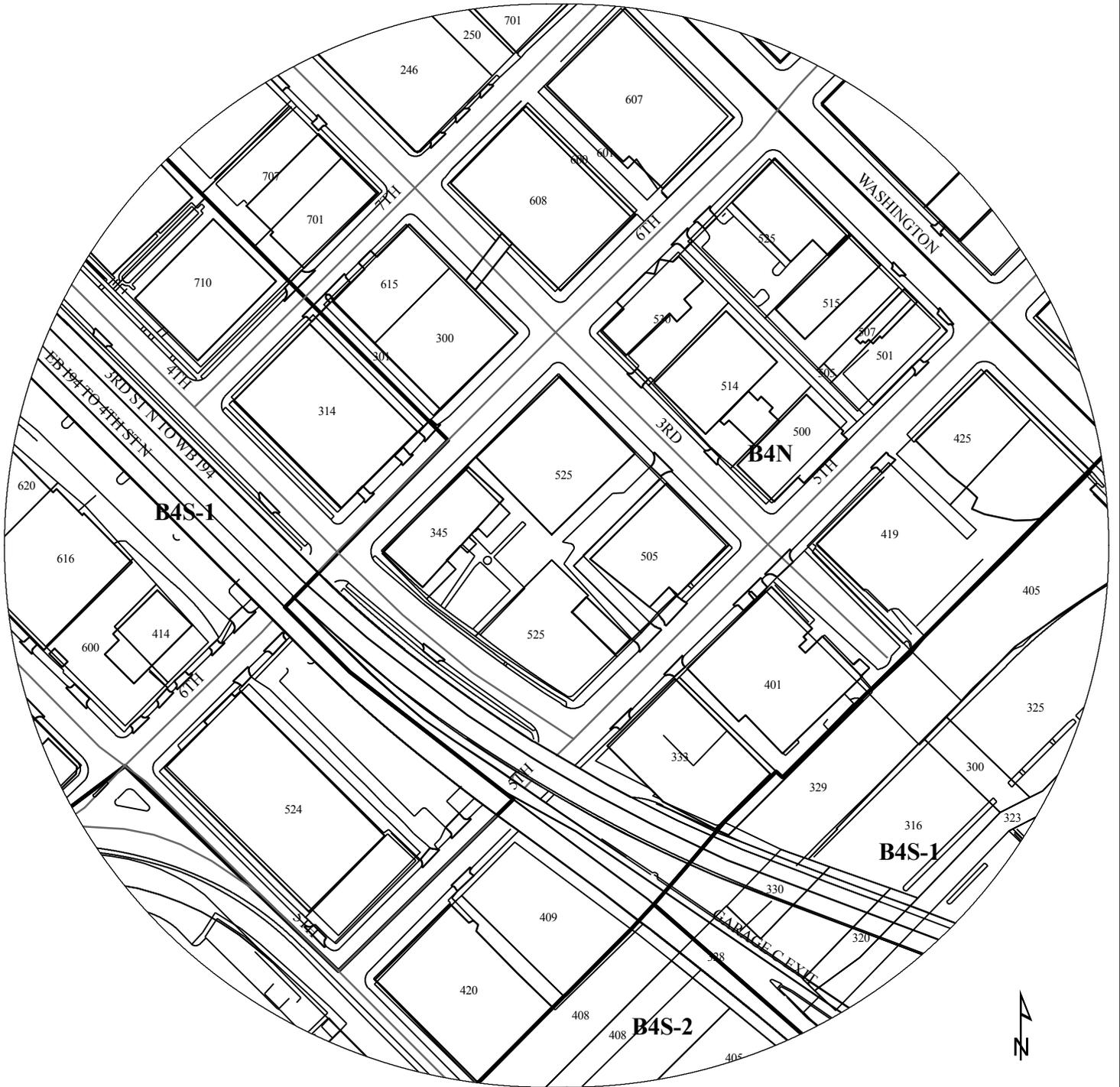
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|  <p>LOT-EK 181 CHRISTIE ST. #2 NEW YORK, NY 10002</p> | <p>PROJECT TITLE</p> <p>STEELCASE</p> <p>500 Fourth Street N . Minneapolis, MN</p> | <p>PRELIMINARY DEVELOPMENT REVIEW</p> <p style="text-align: right;">5</p> <p style="text-align: right;">AUGUST 29, 2014</p> |
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PLAZA COVERAGE VARIANCE

The ground floor of the proposed development creates a public space much richer than a typical plaza in front of a building. Lifting half of the building mass one level opens up the street corner at 5th Avenue North and 4th Street North, creating a continuous public space that crosses the entire lot.

This rich public space is articulated in zones with different qualities enhances public enjoyment of the urban space:

- The public can enter along 5th Avenue North into a paved and planted terrace with outdoor café seating that spills out of the building in good weather.
- The public can also enter along 4th Street North into a stepped green area that functions as an urban amphitheater.
- From the two open areas, the public can continue onto another paved area that is partially covered by the lifted building mass. This partially covered plaza offers additional area for table seating where the public can be sheltered from the rain or enjoy the shade on very hot days. Two important notes about this zone: 1) if the building mass was not elevated, there would not be a public space at all in this zone; 2) the building mass has a large opening in the middle which allows sunlight to penetrate down to the plaza and air to circulate through, making a very enjoyable space and a great architectural/urban feature.
- Finally, the partially covered zone of the plaza is directly connected to the glazed lobby of the building, which is also a public space. The lobby becomes an indoor extension of the system of public spaces with additional café seating. By lifting half of the building mass, the public will be able to enjoy views of the plaza and the streetscape from inside the lobby.





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NOTE:

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PROJECT

506 FOURTH STREET N

506 4TH STREET N

Minneapolis, MN 55401

DATE

03-25-14

PROJECT No:

13-073-AK

DRAWING BY:

CLM

CHECK BY:

RAT

DWG No:

C2

SEAL & SIGNATURE:

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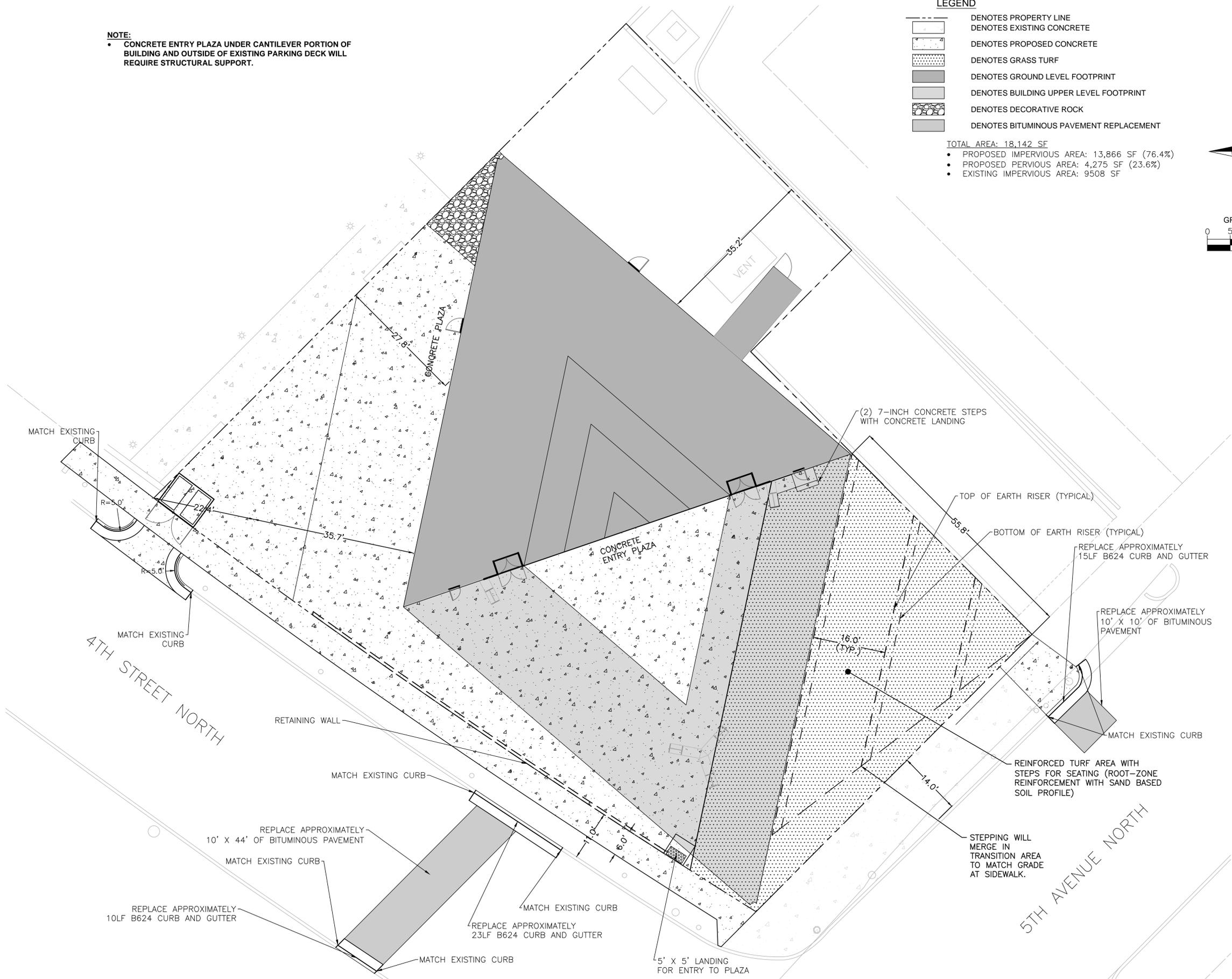
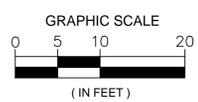
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NOTE:
• CONCRETE ENTRY PLAZA UNDER CANTILEVER PORTION OF BUILDING AND OUTSIDE OF EXISTING PARKING DECK WILL REQUIRE STRUCTURAL SUPPORT.

LEGEND

-  DENOTES PROPERTY LINE
-  DENOTES EXISTING CONCRETE
-  DENOTES PROPOSED CONCRETE
-  DENOTES GRASS TURF
-  DENOTES GROUND LEVEL FOOTPRINT
-  DENOTES BUILDING UPPER LEVEL FOOTPRINT
-  DENOTES DECORATIVE ROCK
-  DENOTES BITUMINOUS PAVEMENT REPLACEMENT

- TOTAL AREA: 18,142 SF
- PROPOSED IMPERVIOUS AREA: 13,866 SF (76.4%)
 - PROPOSED PERVIOUS AREA: 4,275 SF (23.6%)
 - EXISTING IMPERVIOUS AREA: 9508 SF





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NOTE:

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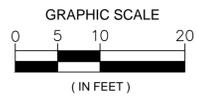
506 FOURTH STREET N
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Minneapolis, MN 55401

UTILITY PLAN

SEAL & SIGNATURE:

DATE: 03-25-14
PROJECT No: 13-073-AK
DRAWING BY: CLM
CHK BY: RAT
DWG No: C3

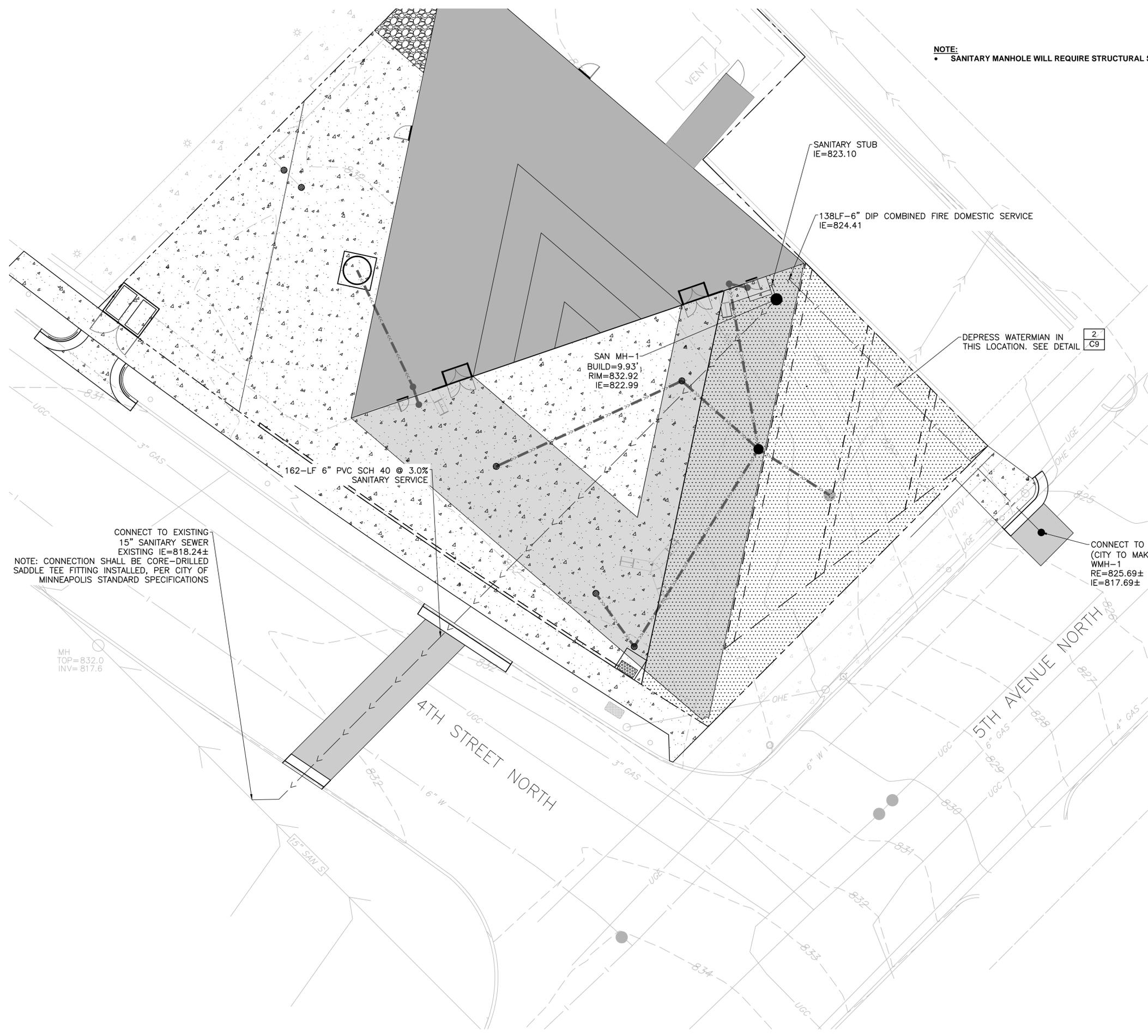
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LEGEND

- DENOTES PROPOSED SANITARY SEWER
- DENOTES PROPOSED SANITARY MANHOLE
- |— DENOTES PROPOSED WATERMAIN
- DENOTES PROPOSED WATER MANHOLE
- - - - - DENOTES PROPOSED STORM SEWER
- - - - - DENOTES PROPERTY LINE
- [Pattern] DENOTES CONCRETE
- [Pattern] DENOTES GRASS TURF
- [Pattern] DENOTES DECORATIVE ROCK
- [Pattern] DENOTES BITUMINOUS PAVEMENT
- [Pattern] DENOTES BUILDING UPPER LEVEL FOOTPRINT
- [Pattern] DENOTES GROUND LEVEL FOOTPRINT
- [Pattern] DENOTES EXISTING STORM SEWER
- - - - - DENOTES EXISTING SANITARY SEWER
- - - - - DENOTES EXISTING WATERMAIN

NOTE:
● SANITARY MANHOLE WILL REQUIRE STRUCTURAL SUPPORT



CONNECT TO EXISTING 15" SANITARY SEWER EXISTING IE=818.24±
NOTE: CONNECTION SHALL BE CORE-DRILLED SADDLE TEE FITTING INSTALLED, PER CITY OF MINNEAPOLIS STANDARD SPECIFICATIONS

CONNECT TO EXISTING WATERMAIN (CITY TO MAKE CONNECTION)
WMH-1
RE=825.69±
IE=817.69±

SAN MH-1
BUILD=9.93
RIM=832.92
IE=822.99

162-LF 6" PVC SCH 40 @ 3.0%
SANITARY SERVICE

MH
TOP=832.0
INV=817.6



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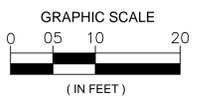
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506 FOURTH STREET N
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 Minneapolis, MN 55401

GRADING & DRAINAGE PLAN

SEAL & SIGNATURE: DATE: 03-25-14
 PROJECT No: 13-073-AK
 DRAWING BY: LMM
 CHECK BY: RMT
 DWG No: C4
 CAD FILE No:

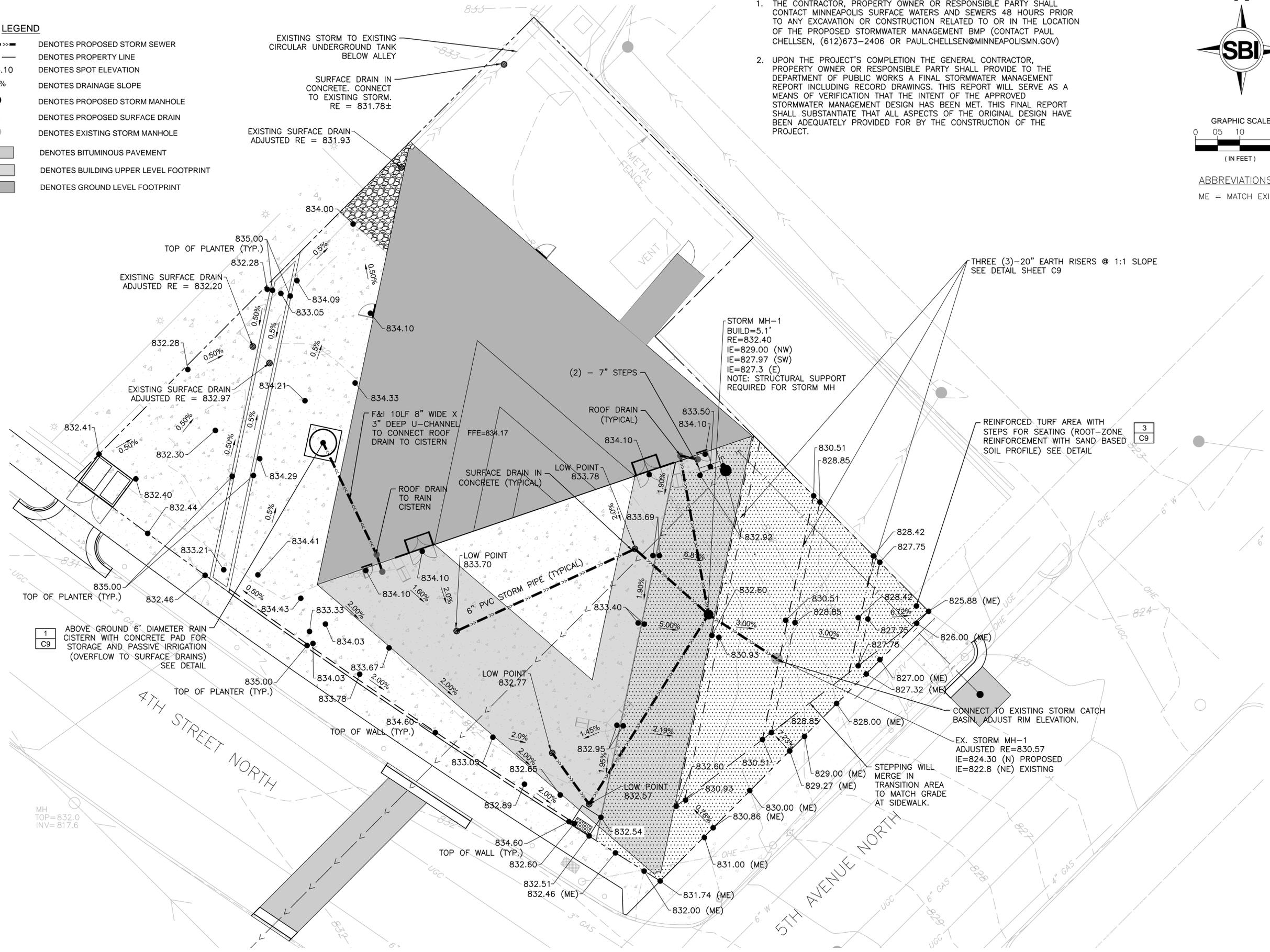


ABBREVIATIONS
 ME = MATCH EXISTING

NOTES:

1. THE CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL CONTACT MINNEAPOLIS SURFACE WATERS AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT BMP (CONTACT PAUL CHELLESEN, (612)673-2406 OR PAUL.CHELLESEN@MINNEAPOLISMN.GOV)
2. UPON THE PROJECT'S COMPLETION THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.

- LEGEND**
- DENOTES PROPOSED STORM SEWER
 - - - DENOTES PROPERTY LINE
 - 834.10 DENOTES SPOT ELEVATION
 - 0.50% DENOTES DRAINAGE SLOPE
 - DENOTES PROPOSED STORM MANHOLE
 - DENOTES PROPOSED SURFACE DRAIN
 - DENOTES EXISTING STORM MANHOLE
 - DENOTES BITUMINOUS PAVEMENT
 - DENOTES BUILDING UPPER LEVEL FOOTPRINT
 - DENOTES GROUND LEVEL FOOTPRINT



1 C9 ABOVE GROUND 6' DIAMETER RAIN CISTERN WITH CONCRETE PAD FOR STORAGE AND PASSIVE IRRIGATION (OVERFLOW TO SURFACE DRAINS) SEE DETAIL

THREE (3)-20" EARTH RISERS @ 1:1 SLOPE SEE DETAIL SHEET C9

STORM MH-1
 BUILD=5.1'
 RE=832.40
 IE=829.00 (NW)
 IE=827.97 (SW)
 IE=827.3 (E)
 NOTE: STRUCTURAL SUPPORT REQUIRED FOR STORM MH

REINFORCED TURF AREA WITH STEPS FOR SEATING (ROOT-ZONE REINFORCEMENT WITH SAND BASED SOIL PROFILE) SEE DETAIL

3 C9

CONNECT TO EXISTING STORM CATCH BASIN, ADJUST RIM ELEVATION.

EX. STORM MH-1
 ADJUSTED RE=830.57
 IE=824.30 (N) PROPOSED
 IE=822.8 (NE) EXISTING

STEPPING WILL MERGE IN TRANSITION AREA TO MATCH GRADE AT SIDEWALK.

MH
 TOP=832.0
 INV=817.6



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NOTE:

PROJECT
506 FOURTH STREET N

506 4TH STREET N
Minneapolis, MN 55401

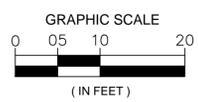
LANDSCAPE PLAN

SEAL & SIGNATURE:

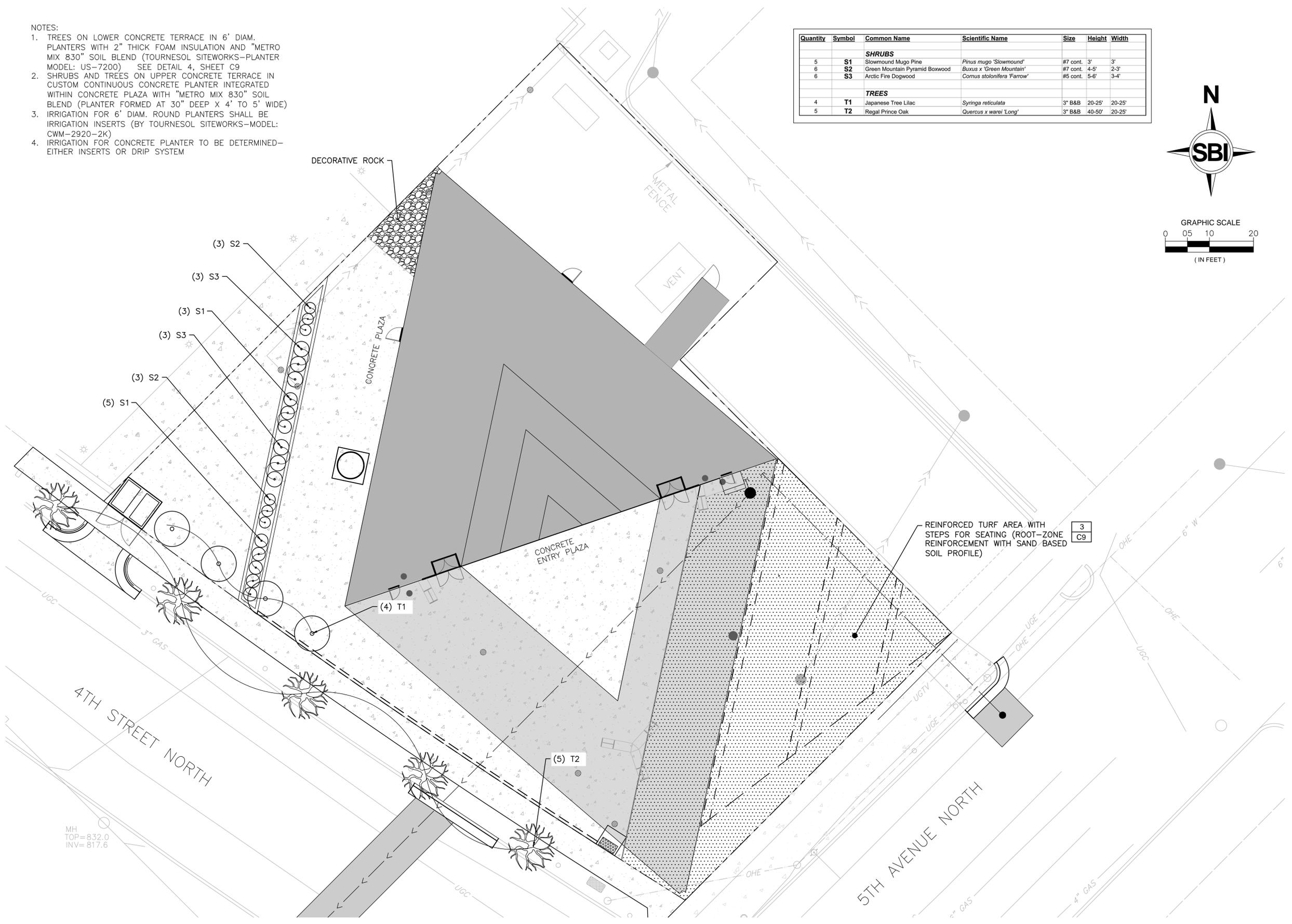
DATE: 03-25-14
PROJECT No: 13-073-AK
DRAWING BY: CLM
CHK BY: RAT
DWG No: C5

CAD FILE No:

| Quantity | Symbol | Common Name | Scientific Name | Size | Height | Width |
|---------------|--------|--------------------------------|------------------------------------|----------|--------|--------|
| SHRUBS | | | | | | |
| 5 | S1 | Slowmound Mugo Pine | <i>Pinus mugo 'Slowmound'</i> | #7 cont. | 3' | 3' |
| 6 | S2 | Green Mountain Pyramid Boxwood | <i>Buxus x 'Green Mountain'</i> | #7 cont. | 4-5' | 2-3' |
| 6 | S3 | Arctic Fire Dogwood | <i>Cornus stolonifera 'Farrow'</i> | #5 cont. | 5-6' | 3-4' |
| TREES | | | | | | |
| 4 | T1 | Japanese Tree Lilac | <i>Syringa reticulata</i> | 3" B&B | 20-25' | 20-25' |
| 5 | T2 | Regal Prince Oak | <i>Quercus x warei 'Long'</i> | 3" B&B | 40-50' | 20-25' |

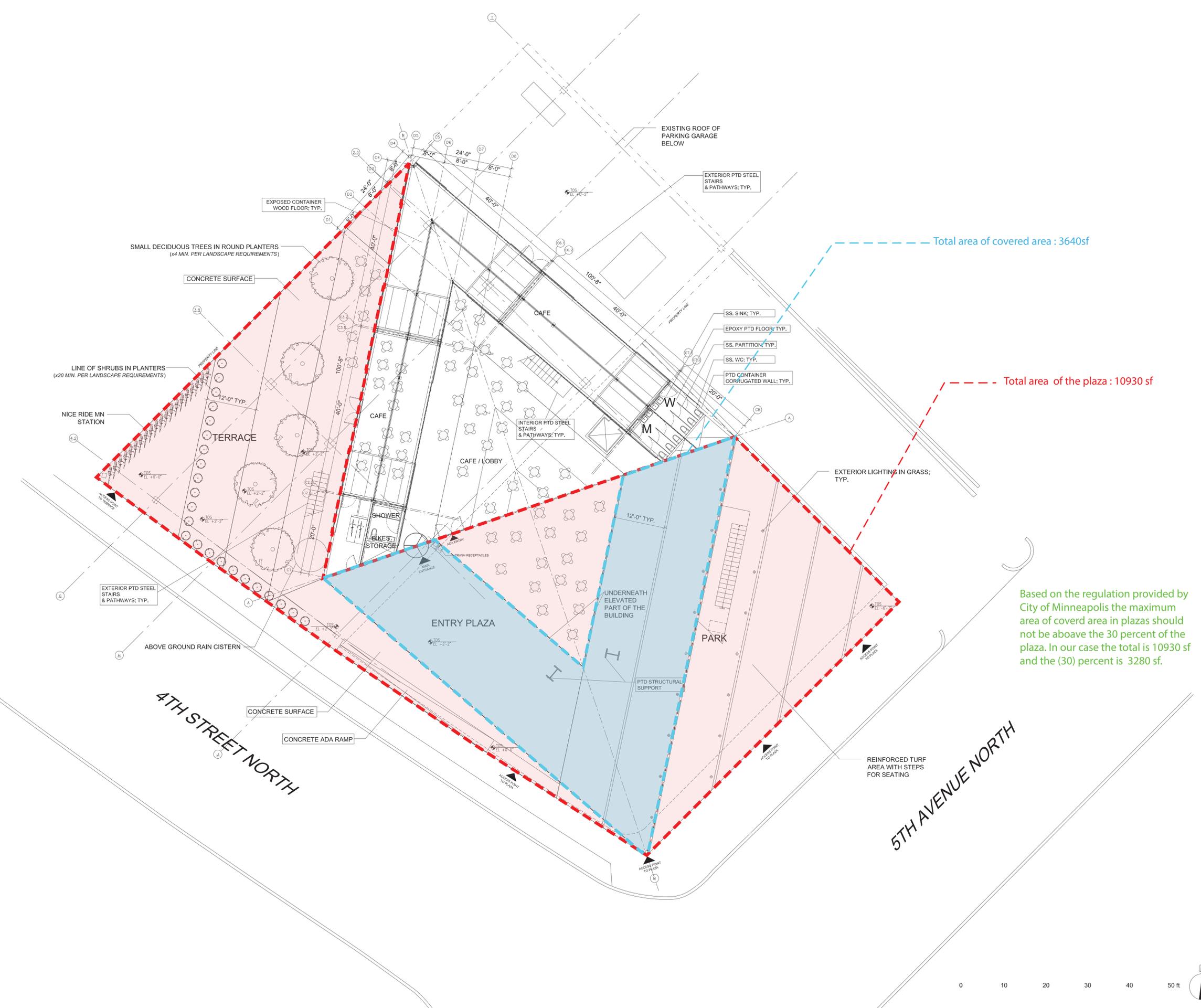


- NOTES:
- TREES ON LOWER CONCRETE TERRACE IN 6' DIAM. PLANTERS WITH 2" THICK FOAM INSULATION AND "METRO MIX 830" SOIL BLEND (TOURNESOL SITEWORKS-PLANTER MODEL: US-7200) SEE DETAIL 4, SHEET C9
 - SHRUBS AND TREES ON UPPER CONCRETE TERRACE IN CUSTOM CONTINUOUS CONCRETE PLANTER INTEGRATED WITHIN CONCRETE PLAZA WITH "METRO MIX 830" SOIL BLEND (PLANTER FORMED AT 30" DEEP X 4' TO 5' WIDE)
 - IRRIGATION FOR 6' DIAM. ROUND PLANTERS SHALL BE IRRIGATION INSERTS (BY TOURNESOL SITEWORKS-MODEL: CWM-2920-2K)
 - IRRIGATION FOR CONCRETE PLANTER TO BE DETERMINED- EITHER INSERTS OR DRIP SYSTEM



01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18

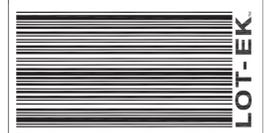
M
L
K
J
I
H
G
F
E
D
C
B
A



Total area of covered area : 3640sf

Total area of the plaza : 10930 sf

Based on the regulation provided by City of Minneapolis the maximum area of cover area in plazas should not be above the 30 percent of the plaza. In our case the total is 10930 sf and the (30) percent is 3280 sf.



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TEL:

GENERAL CONTRACTOR:

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—
TEL:

NOTE:

—
—
NOTE:

PROJECT

506 FOURTH STREET N
506 4TH STREET N
Minneapolis, MN 55401

FOR PLAZA AREA REFERENCES ONLY

GROUND FLOOR PLAN

SEAL & SIGNATURE: DATE: 03-19-14

PROJECT No: 13-073-AK

DRAWING BY: VS

CHK BY: AT, GL

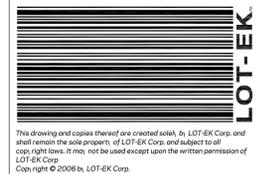
DWG No: A-101.00

CAD FILE No:

1 GROUND PLAN
SCALE: 3/32"=1'-0"



GENERAL NOTES:
 .1 MAINTAIN FIRE APPARATUS ACCESS AT ALL TIMES



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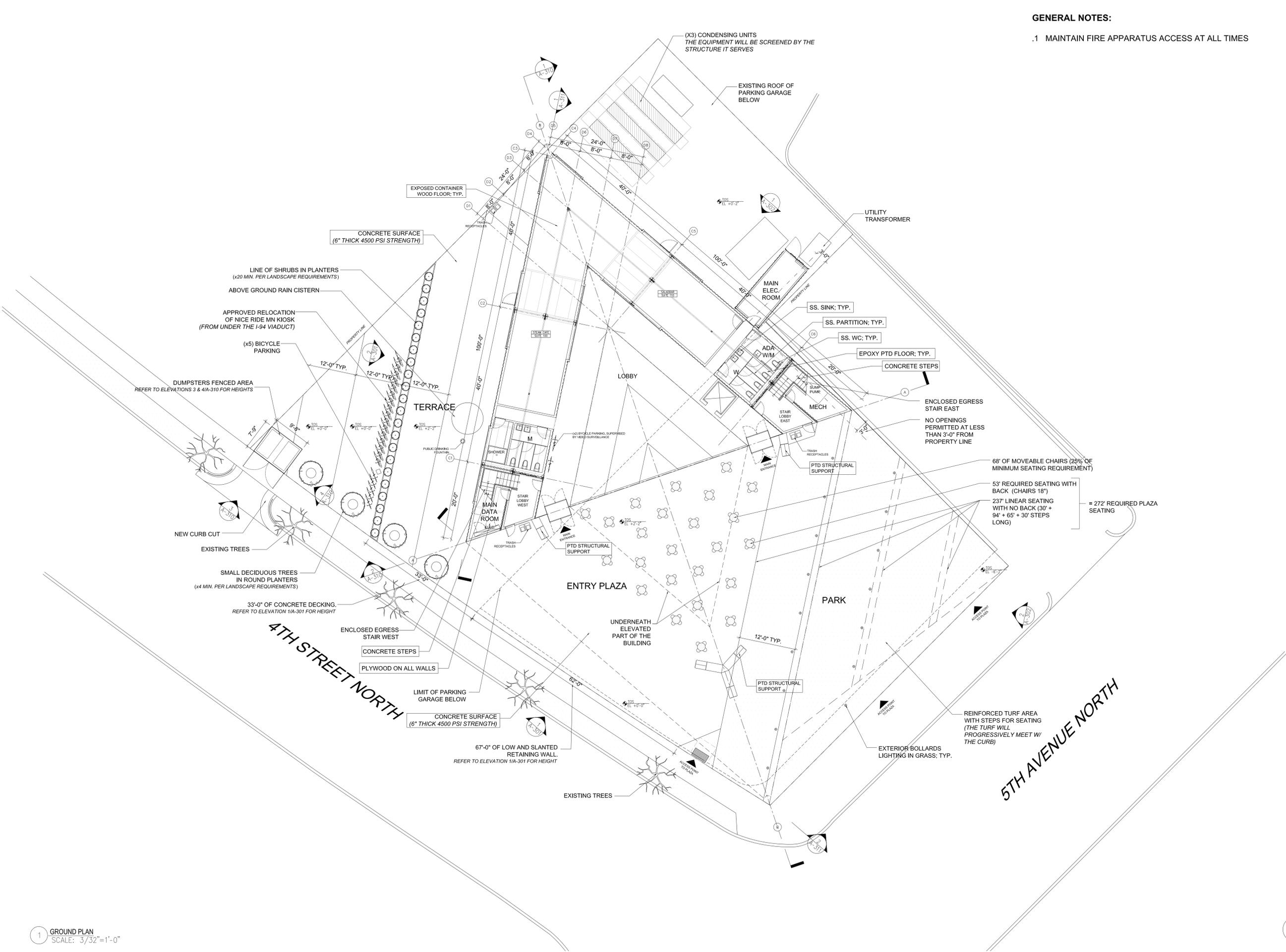
CIVIL ENGINEER:
SOLUTION BLUE
 318 CEDAR STREET
 SAINT PAUL, MN 55101
 TEL: (651) 294-0038

NOTE:
 —

PROJECT:
STEELCASE
 500 4TH STREET N
 Minneapolis, MN 55401

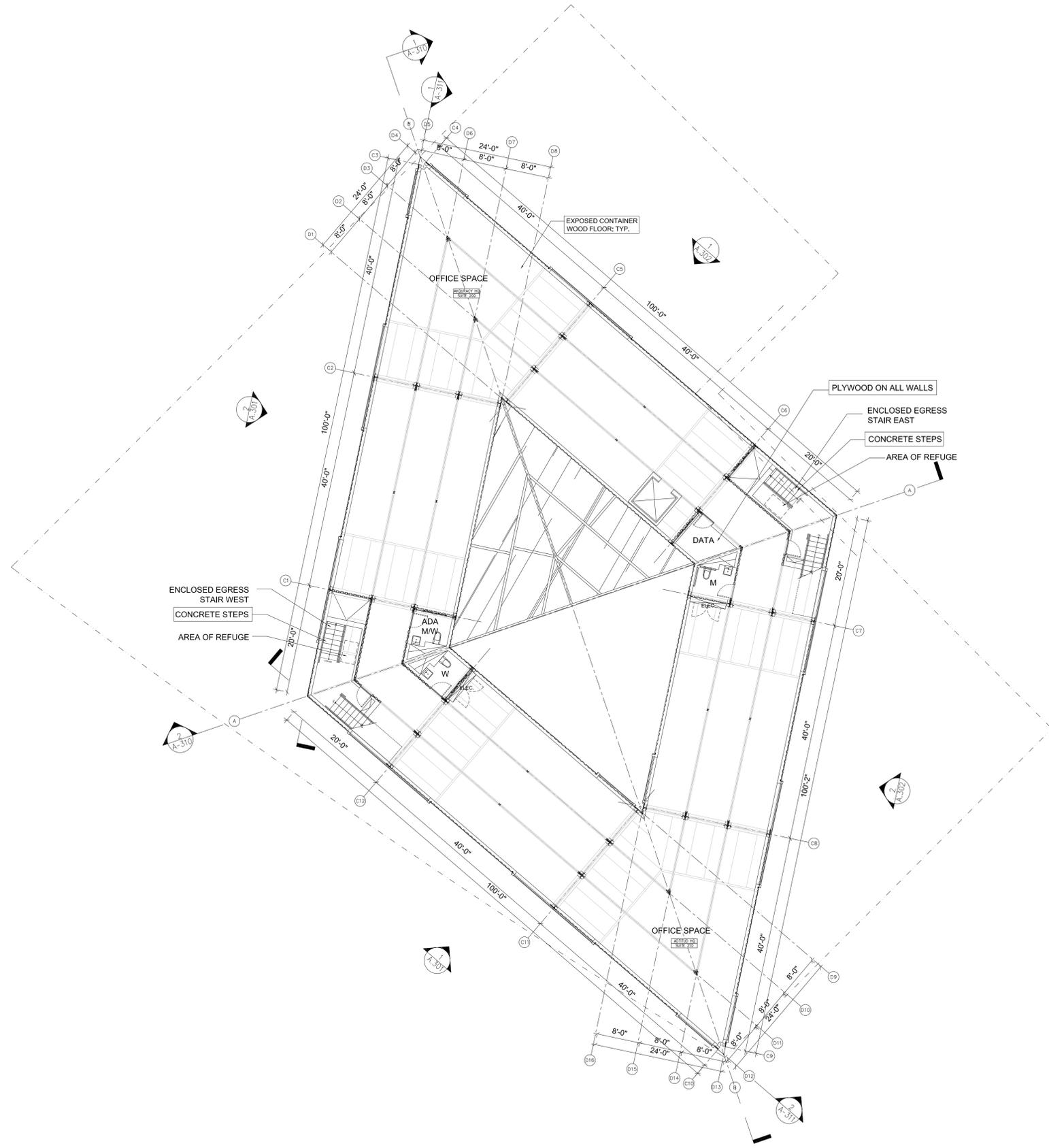
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DRAWING BY: VS
CHEK BY: AT, GL
DWG No: A-101.00
CAD FILE No:

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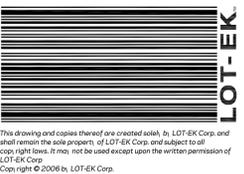


1 GROUND PLAN
 SCALE: 3/32"=1'-0"





1 SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"



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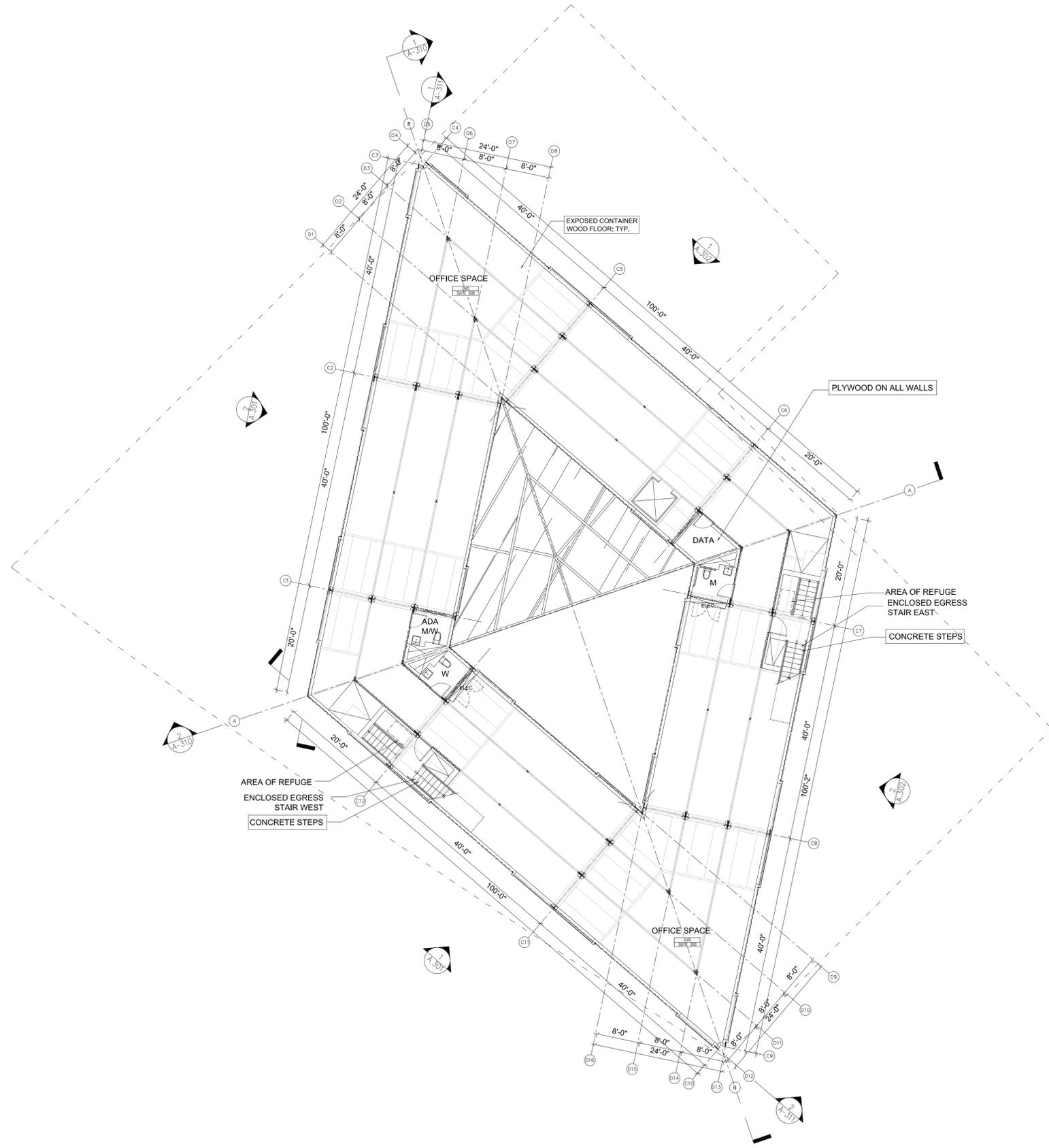
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SOLUTION BLUE
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SAINT PAUL, MN 55101
TEL: (651) 294-0038

NOTE:

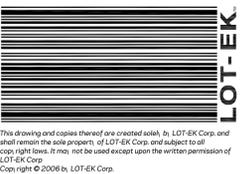
PROJECT
STEELCASE
500 4TH STREET N
Minneapolis, MN 55401

SECOND FLOOR PLAN

SEAL & SIGNATURE: _____ DATE: 08-08-14
PROJECT No: **13-073-AK**
DRAWING BY: VS
CHK BY: AT, GL
DWG No: **A-102.00**
CAD FILE No: _____



1 THIRD FLOOR PLAN
SCALE: 3/32"=1'-0"



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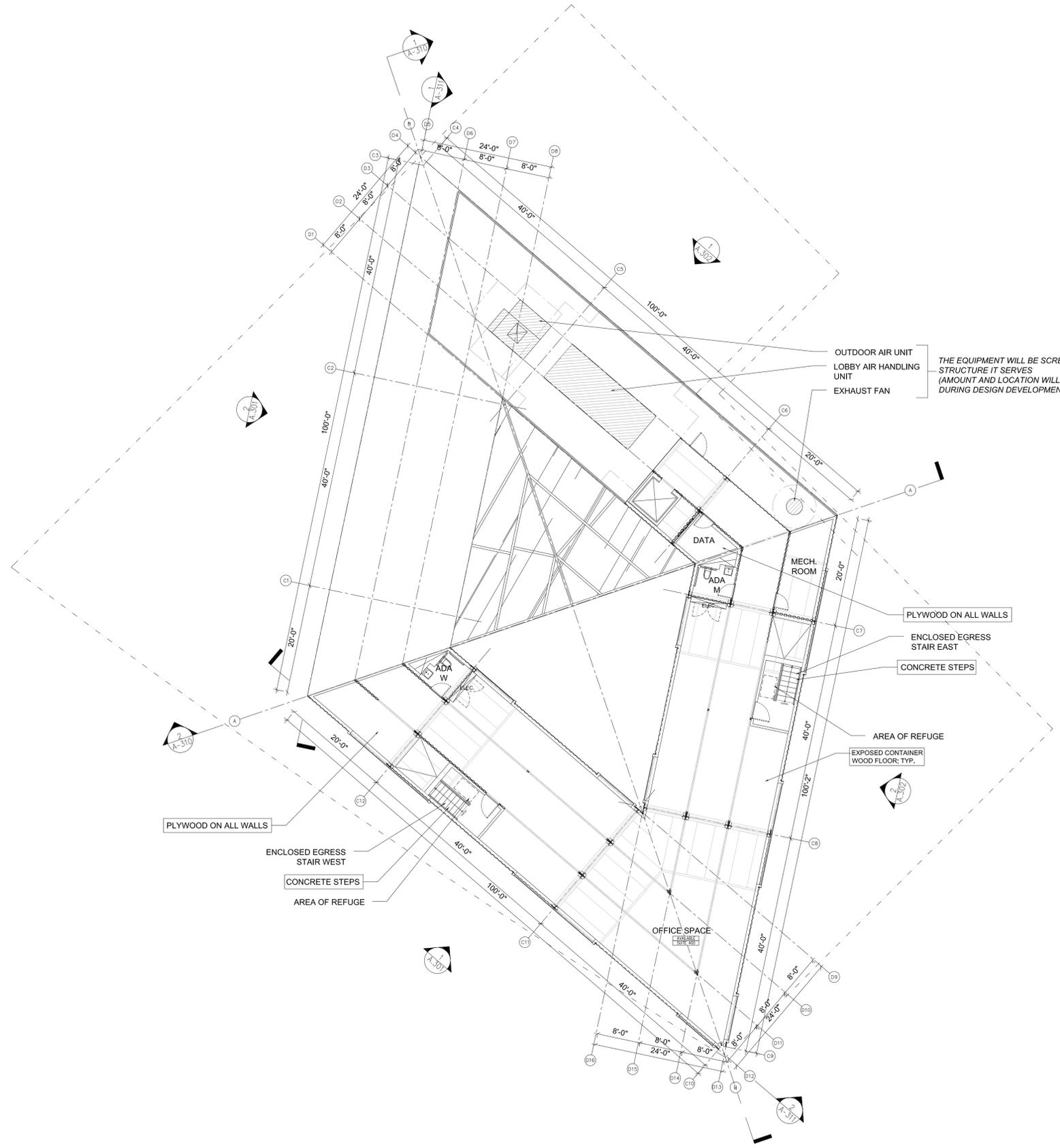
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NOTE:

PROJECT
STEELCASE
500 4TH STREET N
Minneapolis, MN 55401

THIRD FLOOR PLAN
SEAL & SIGNATURE: DATE: 08-08-14
PROJECT No: 13-073-AK
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CHK BY: AT, GL
DWG No: A-103.00
CAD FILE No:



OUTDOOR AIR UNIT
 LOBBY AIR HANDLING UNIT
 EXHAUST FAN

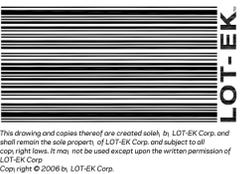
THE EQUIPMENT WILL BE SCREENED BY THE STRUCTURE IT SERVES (AMOUNT AND LOCATION WILL LIKELY CHANGE DURING DESIGN DEVELOPMENT PHASE)

PLYWOOD ON ALL WALLS
 ENCLOSED EGRESS STAIR WEST
 CONCRETE STEPS
 AREA OF REFUGE

PLYWOOD ON ALL WALLS
 ENCLOSED EGRESS STAIR EAST
 CONCRETE STEPS

AREA OF REFUGE
 EXPOSED CONTAINER WOOD FLOOR: TYP.

1 FOURTH FLOOR PLAN
 SCALE: 3/32"=1'-0"



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 NOTE:

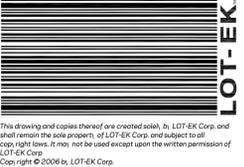
PROJECT

STEELCASE
 500 4TH STREET N
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FOURTH FLOOR PLAN

SEAL & SIGNATURE: DATE: 08-08-14
 PROJECT No: 13-073-AK
 DRAWING BY: VS
 CHK BY: AT, GL
 DWG No: A-104.00

CAD FILE No:



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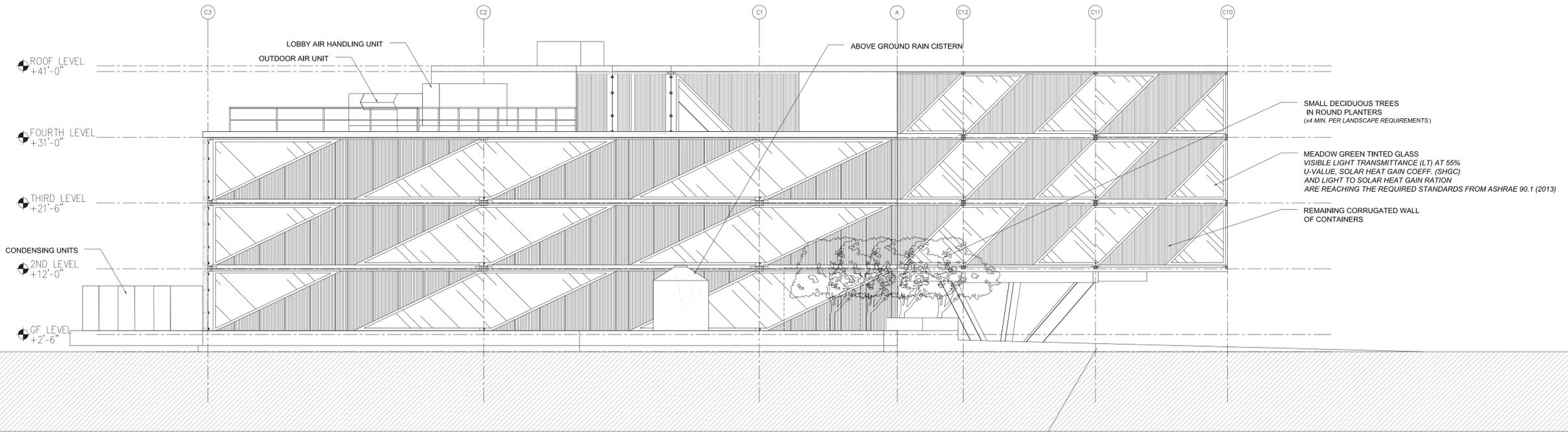
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NOTE:

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STEELCASE
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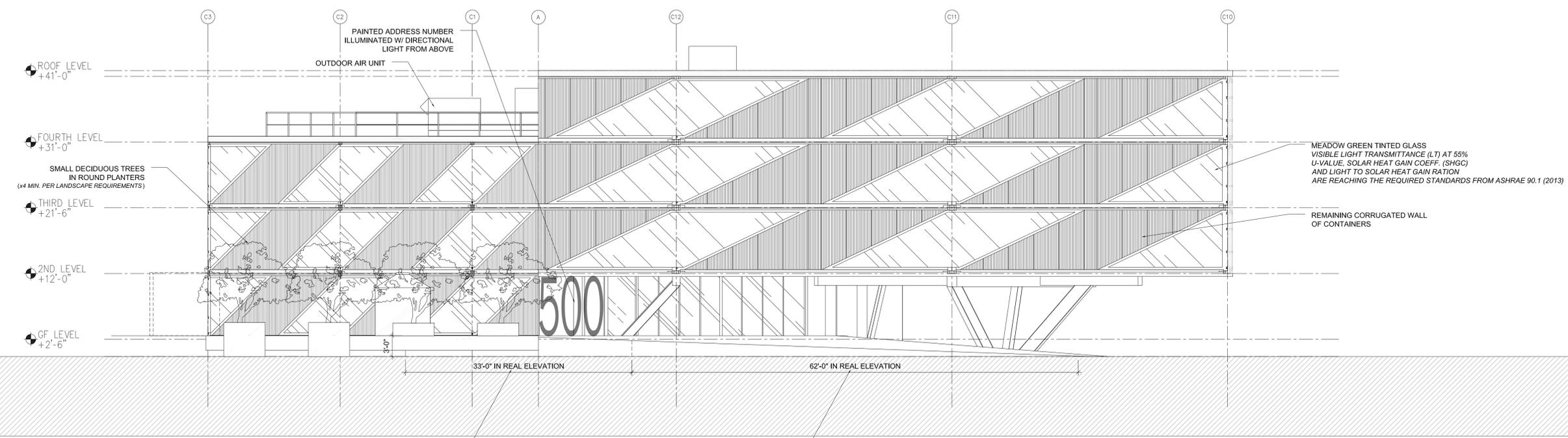
SOUTH-WEST AND NORTH-WEST ELEVATIONS

SEAL & SIGNATURE: _____ DATE: 08-08-14
PROJECT No: 13-073-AK
DRAWING BY: VS
CHK BY: AT, GL
DWG No: A-301.00
CAD FILE No: _____



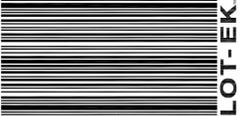
2 NORTH-WEST ELEVATION
SCALE: 1/8"=1'-0"

REFER TO GROUND FLOOR PLAN AND ELEVATION 1/A-301 FOR LOCATION AND HEIGHT OF RETAINING WALL



1 SOUTH-WEST ELEVATION
SCALE: 1/8"=1'-0"

33'-0" OF CONCRETE DECKING REFER TO GROUND FLOOR PLAN FOR EXACT LOCATION
67'-0" OF LOW AND SLANTED RETAINING WALL REFER TO GROUND FLOOR PLAN FOR EXACT LOCATION



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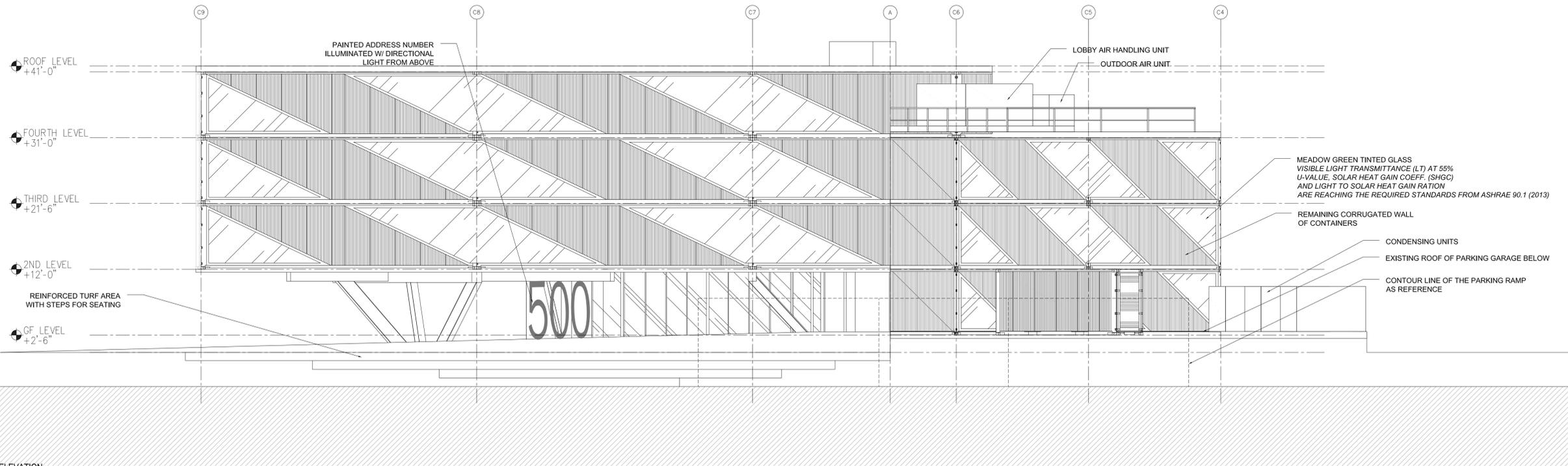
PROJECT
STEELCASE
500 4TH STREET N
Minneapolis, MN 55401

NORTH-EAST AND SOUTH-EAST ELEVATIONS

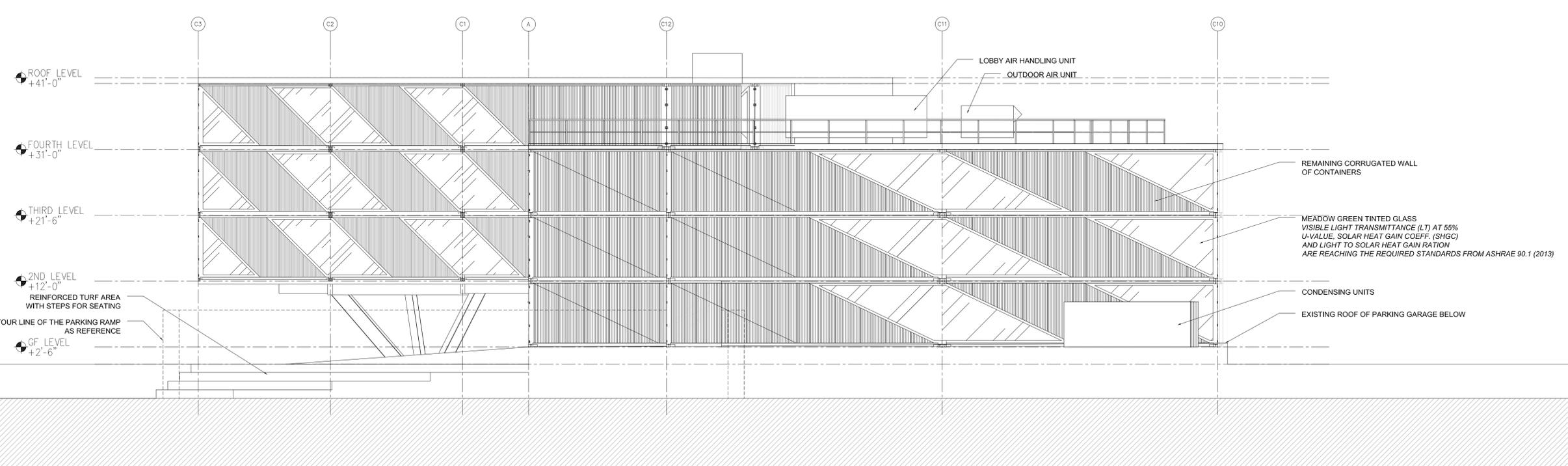
NOTE:

SEAL & SIGNATURE:

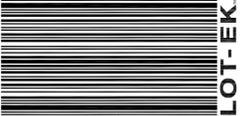
DATE: 08-08-14
PROJECT No: 13-073-AK
DRAWING BY: VS
CHK BY: AT, GL
DWG No: A-302.00
CAD FILE No:



2 SOUTH-EAST ELEVATION
SCALE: 1/8"=1'-0"



1 NORTH-EAST ELEVATION
SCALE: 1/8"=1'-0"



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Mr. Scott Petinga
800 WASHINGTON AVE. NO., #206
MINNEAPOLIS, MN 55401

DESIGNER:
LOT-EK
181 CHRYSTIE STREET
NEW YORK, NY 10002
TEL: (212) 255-9326
FILING ARCHITECT:
—
—
LOCAL CONSULTANT:
SNOW KREILCH ARCHITECTS, INC.
2400 RAND TOWER
517 MARQUETTE AVENUE
MINNEAPOLIS, MN 55402
TEL: (612) 359-9430

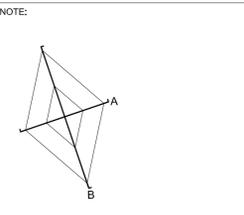
GENERAL CONTRACTOR:
RJM CONSTRUCTION
701 WASHINGTON AVENUE NORTH #600
MINNEAPOLIS, MN 55401
TEL: (952) 837-8600

STRUCTURAL ENGINEER (SUPER STRUCTURE):
ROBERT SILMAN & ASSOCIATES
88 UNIVERSITY PLACE
NEW YORK, NY 10003
TEL: (212)620-7970

STRUCTURAL ENGINEER (FOUNDATION):
ERICKSEN ROED & ASSOCIATES
2550 UNIVERSITY AVENUE WEST, SUITE 201-S
ST. PAUL, MN 55114
TEL: (651) 251-7570

MEFP ENGINEER:
DUNHAM
50 SOUTH SIXTH STREET, SUITE 1100
MINNEAPOLIS, MN 55402-1540
TEL: (612) 465-7550

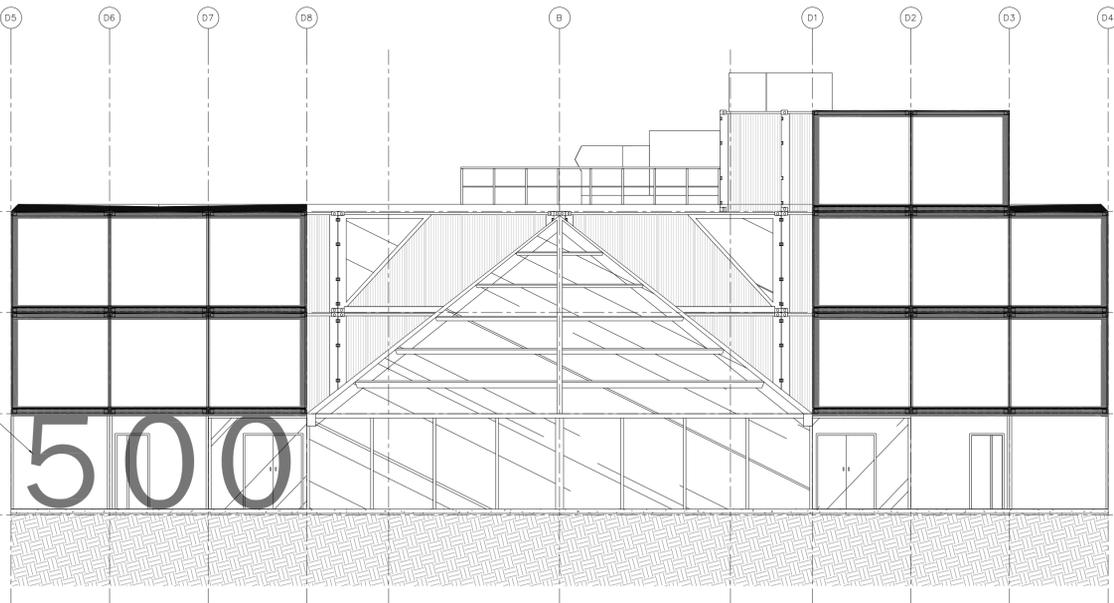
CIVIL ENGINEER:
SOLUTION BLUE
318 CEDAR STREET
SAINT PAUL, MN 55101
TEL: (651) 294-0038



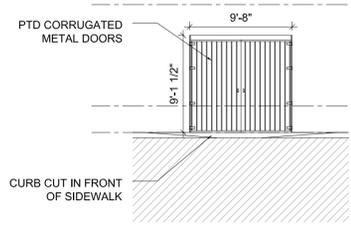
PROJECT
STEELCASE
500 4TH STREET N
Minneapolis, MN 55401

SECTIONS 1

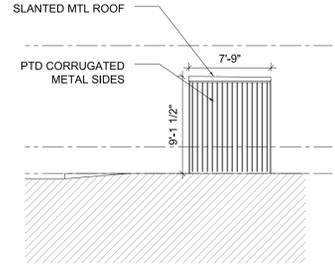
SEAL & SIGNATURE: _____ DATE: 08-08-14
PROJECT No: 13-073-AK
DRAWING BY: VS
CHK BY: AT, GL
DWG No: A-310.00
CAD FILE No: _____



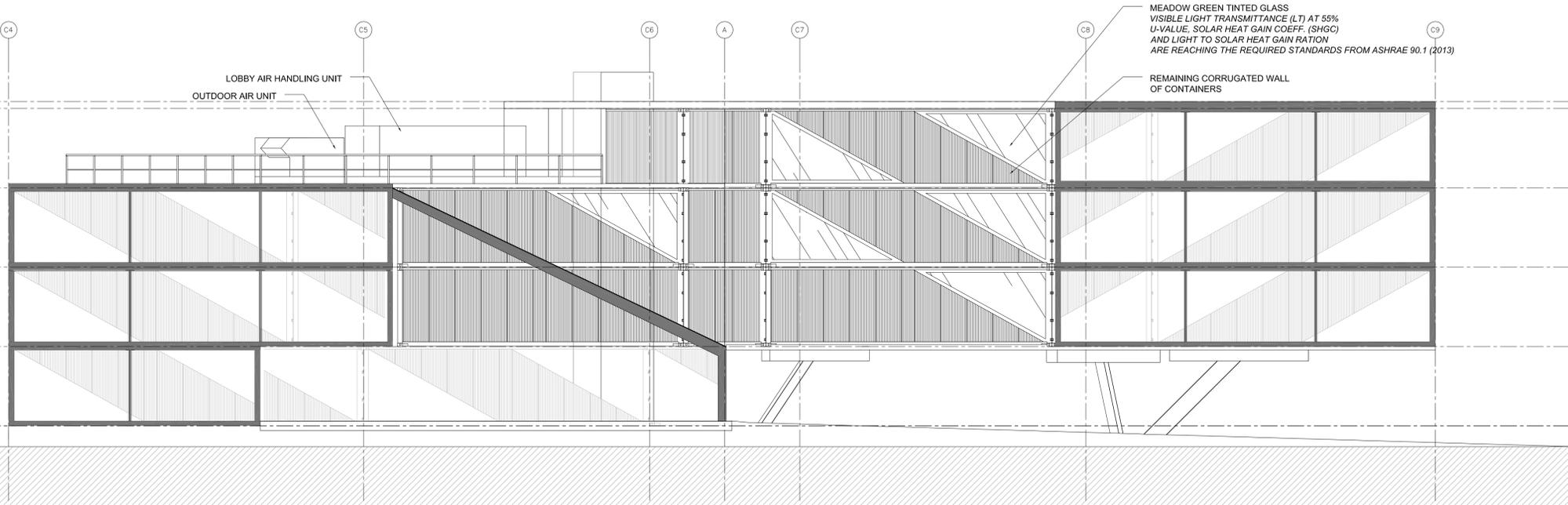
2 CROSS SECTION FACING LOBBY
SCALE: 1/8"=1'-0"



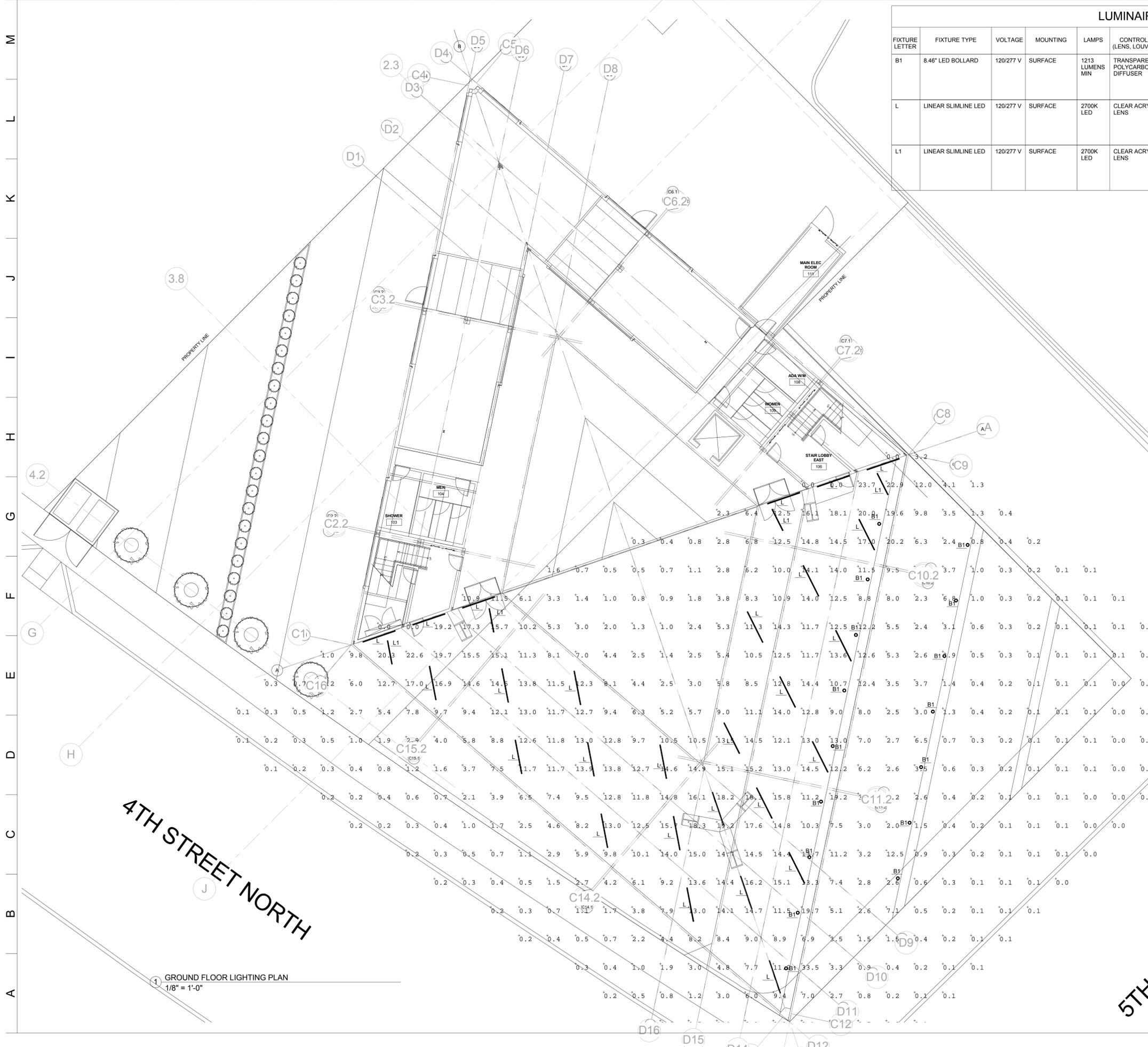
3 REFUSE FRONT ELEVATION
SCALE: 1/8"=1'-0"



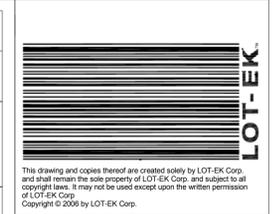
4 REFUSE SIDE ELEVATION
SCALE: 1/8"=1'-0"



1 LONGITUDINAL SECTION 1
SCALE: 1/8"=1'-0"



| LUMINAIRE SCHEDULE | | | | | | | | |
|--------------------|---------------------|-----------|----------|-----------------|------------------------------------|-------------------------------|---|-------|
| FIXTURE LETTER | FIXTURE TYPE | VOLTAGE | MOUNTING | LAMPS | CONTROL MEDIA (LENS, LOUVER, ETC.) | MANUFACTURER'S SERIES NUMBERS | LUMINAIRE DESCRIPTION | NOTES |
| B1 | 8.46" LED BOLLARD | 120/277 V | SURFACE | 1213 LUMENS MIN | TRANSPARENT POLYCARBONATE DIFFUSER | DESIGN PLAN #ZEFIRO SERIES | FULL CUTOFF OUTDOOR CYLINDRICAL BOLLARD. DIE-CAST ALUMINUM CAP. EXTRUDED ALUMINUM POLE WITH DOUBLE LAYER COATING. | - |
| L | LINEAR SLIMLINE LED | 120/277 V | SURFACE | 2700K LED | CLEAR ACRYLIC LENS | BARTCO #XLS8400 SERIES | 6' LONG ARCHITECTURAL LINEAR LED FIXTURE. PROVIDE ALLOWANCE OF \$250/LINEAR FOOT. EXTRUDED ALUMINUM HOUSING | - |
| L1 | LINEAR SLIMLINE LED | 120/277 V | SURFACE | 2700K LED | CLEAR ACRYLIC LENS | BARTCO #XLS8400 SERIES | 4'-2" LONG ARCHITECTURAL LINEAR LED FIXTURE. PROVIDE ALLOWANCE OF \$250/LINEAR FOOT. EXTRUDED ALUMINUM HOUSING | - |



Mr. Scott Petinga
 800 WASHINGTON AVE. NO. #206
 MINNEAPOLIS, MN 55401

DESIGNER:
LOT-EK
 181 CHRYSTIE STREET
 NEW YORK, NY 10002
 TEL: (212) 255-9326

FLUSH ARCHITECT:
 -
 -
 TEL:

LOCAL CONSULTANT:
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 2400 RAND TOWER
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 ST. PAUL, MN 55114
 TEL: (651) 251-7570

MEP ENGINEER:
DUNHAM

Dunham Associates, Inc.
 50 South Sixth Street / Suite 1100
 Minneapolis, Minnesota 55402-1540
 PHONE: 612.465.7550 FAX: 612.465.7551
 WEB: dunhaminc.com
mechanical + electrical consulting engineering
 Project Number: 0414332
 GENERAL CONTRACTOR:
 -
 -
 TEL:

GENERAL NOTES:
 A. NOTE NOT USED.

KEY NOTES:
 ⬇ NOTE NOT USED.

NOTE:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

Signature _____
 Name: _____ Engineer
 Date: _____
 Registration Number: _____

PROJECT
506 FOURTH STREET N
 506 4TH STREET N
 Minneapolis, MN 55401

GROUND FLOOR LIGHTING PLAN

SEAL & SIGNATURE: _____
 DATE: 07/03/14
 PROJECT No: 070314
 DRAWING BY: MJK
 CHK BY: ALJ
 DWG No: **E101.01**
 CAD FILE No:

1 GROUND FLOOR LIGHTING PLAN
 1/8" = 1'-0"

4TH STREET NORTH

5TH

Configuration:

| | |
|---------------|---|
| Exterior Lite | 6MM (1/4") SOLARSHIELD MEADOW GREEN |
| Airspace | 13MM (1/2") SPACER (90% ARGON/10% AIR) |
| Interior Lite | 6MM (1/4") ENERGY SELECT 40 #3 SURFACE |

Visible Light

| | |
|-----------------------------|-----|
| Transmittance (LT) | 55% |
| Reflectance - Outdoors (LR) | 10% |
| Reflectance | 11% |

Solar Energy

| | |
|-----------------------------|-----|
| Transmittance | 22% |
| Reflectance - Outdoors (ER) | 8% |

U.V. Light

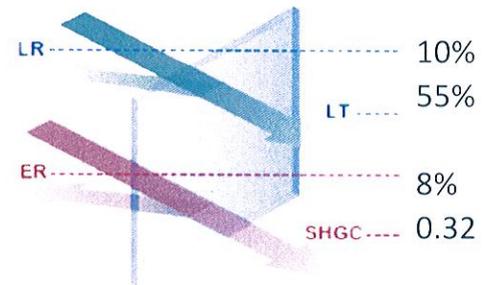
| | |
|---------------------------|-------|
| Transmittance | 6% |
| Damage Weighted Index-ISO | 0.390 |

U-Values

| | |
|--------------|------|
| Winter - Air | 0.25 |
| Summer - Air | 0.22 |

Other Value

| | |
|------------------------------------|-------|
| Solar Heat Gain Coefficient (SHGC) | 0.32 |
| Shading Coefficient | 0.36 |
| Relative Heat Gain BTU/Hr/Sq.ft | 75.55 |
| Light to Solar Heat Gain Ration | 1.75 |



*Performance values are based on representative production samples and product modeling data using LBNL Window Software. Actual values may differ due to variations in the manufacturing process.

*Thermal stresses or building codes may require the use of heat-treated glass. This document is not an evaluator of the risk of glass breakage from thermal stresses. Contact AGC's Technical Services department to ensure the correct form of glass to be supplied for the structure. 1-888-234-8380

AGC Energy Select solar control Low E coatings that are engineered to be installed on the #2 surface of an insulated glass unit. **If the coatings are installed on #3 surface of an IGU, it is recommended that a façade does not mix the annealed and temperable coat in the same elevation**

AGC offers the Broadest Product Range in the Industry

ARCHITECTURAL

- ENERGY SELECT
SOLAR CONTROL LOW-E
- ENERGY SELECT 25
HI PERFORMANCE LOW-E
- U4 4TH SURFACE TECHNOLOGY
- STOPSOL
REFLECTIVE COATED GLASS
- SOLARSHIELD
TINTED FLOAT GLASS

INTERIOR

- KRYSTAL KOLOURS
BACK-PAINTED GLASS
- KRYSTAL PATTERNS
TEXTURED GLASS
- KRYSTAL IMAGES
DIGITAL IMAGING
- KRYSTAL KLEAR
PREMIUM LOW-IRON GLASS
- MATELUX
ACID-ETCHED GLASS

RESIDENTIAL

- COMFORT SELECT
SOLAR CONTROL LOW-E
- COMFORT SELECT
SOLAR GAIN LOW-E
- U4 4TH SURFACE TECHNOLOGY
- SOLARSHIELD
TINTED FLOAT GLASS

FIRE-RATED

- PYROBEL™
FIRE-RESISTANT GLASS
- PYROEDGE™ 20
- VISION 120
- STILELITE
FRAMING SYSTEMS
- PYRAN® PLATINUM
FIRE-PROTECTIVE GLASS

RENDERINGS



FOURTH STREET N VIEW



5TH AVENUE N VIEW

LOT-EK
181 CHRYSTIE ST. #2
NEW YORK, NY 10002

PROJECT TITLE

STEELCASE

500 Fourth Street N . Minneapolis, MN

LAND USE APPLICATION

22

AUGUST 7, 2014

PHOTOS OF THE PROPERTY

506 Fourth Street North
Minneapolis MN 55401



FROM 5TH AVE N - LOOKING WEST



FROM 5TH AVE N - LOOKING NORTH



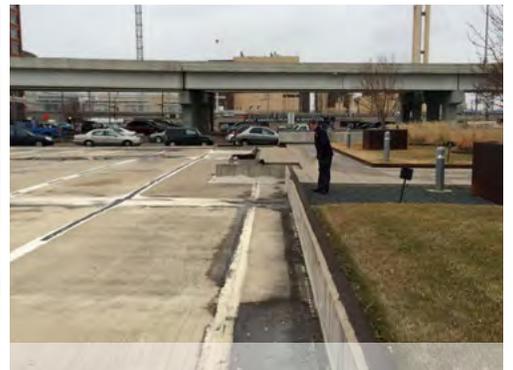
FROM 4TH STREET N - LOOKING SOUTH



FROM 4TH STREET N - LOOKING EAST



FROM SITE - LOOKING WEST & EAST



LOT-EK
181 CHRISTIE ST. #2
NEW YORK, NY 10002

PROJECT TITLE

STEELCASE
500 Fourth Street N . Minneapolis, MN

LAND USE APPLICATION



Mr. Scott Petinga
Akquracy
800 Washington Ave N, Suite 206
Minneapolis, MN 55401

RE: Motion of Support – Container Building

Dear Scott,

Thank you for presenting plans for your revised development on April 23rd, for a new development project located at 506 4th St N, adjoining the parking ramp area of Bookmen Stacks, in the North Loop Neighborhood. The presentation included drawings for the building, renderings, and a sample container. The building would be 3 stories, with a rooftop screen for rooftop mechanical equipment. In addition, our understanding is that a variance is being sought for the project to allow for a FAR reduction.

The North Loop Neighborhood Association (NLNA) supports the application for this approximately 18,000 SF office and retail building. The NLNA also supports the 1st floor plans that include a salad bar concept restaurant, a coffee/wine bar and an indoor/outdoor seating configuration.

The NLNA strongly supports the use of softscape design for the outdoor plaza and monumental stair along with the bold green color proposed for the building.

Sincerely,
North Loop Neighborhood Association

DJ Heinle

Digitally signed by DJ Heinle
DN: cn=DJ Heinle, o=TKDA, ou=Architecture,
email=dj.heinle@tkda.com, c=US
Date: 2014.04.30 22:46:59 -05'00'

DJ Heinle, AIA Co-Chair P+Z Committee