CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #4
September 15, 2014
BZZ-6732

LAND USE APPLICATION SUMMARY

Property Location: 2301 Central Avenue Northeast and 949 23rd Avenue Northeast
Project Name: Neighborhood Health Source Clinic and Corporate Offices
Prepared By: Lisa Steiner, City Planner, (612) 673-3950
Applicant: Landform
Project Contact: Darren Lazan
Request: To allow a new approximately 13,756 square foot clinic building.
Required Applications:

Variance	To increase the maximum size of a commercial use in the C1 District from 8,000 square feet to approximately 13,756 square feet.
Variance	To reduce the minimum off-street parking requirement from 19 spaces to 16 spaces.
Variance	Of the Pedestrian Oriented Overlay District standards to increase the maximum allowed corner side setback from 8 feet to approximately 9 feet 8 inches.
Variance	To allow a wall sign to be located on a non-primary building wall.
Variance	To increase the maximum area of a wall sign on a non-primary building wall from 0 square feet to approximately 55 square feet.
Variance	To increase the maximum area per sign from 45 square feet to approximately 55 square feet on the north elevation.
Variance	To increase the maximum area per sign from 45 square feet to approximately 83 feet on the south elevation.
Site Plan Review	For a new two-story clinic building.

SITE DATA

Existing Zoning	C1 Neighborhood Commercial District PO Pedestrian Oriented Overlay District
Lot Area	2301 Central Ave NE: 13,301 square feet 949 23rd Ave NE: 3,600 square feet
Ward	1
Neighborhood(s)	Windom Park; adjacent to Holland
Designated Future Land Use	Mixed Use
Land Use Features	Commercial Corridor (Central Avenue)
Small Area Plan(s)	Central Avenue Small Area Plan

Date Application Deemed Complete	August 12, 2014	**Date Extension Letter Sent**	Not applicable
End of 60-Day Decision Period	October 11, 2014	**End of 120-Day Decision Period**	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property is located on the northeast corner of Central Avenue NE and 23rd Avenue NE. An existing 11,000 square foot former mortuary building is currently located at 2301 Central Avenue NE. The 949 23rd Avenue NE parcel is directly east across the alley and provides additional accessory parking for the mortuary building.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The block on which the subject site is located includes a few residences which front on Polk Street and 24th Avenue NE, but a Wells Fargo bank, drive-through, and associated parking lot take up most of the rest of the block. At the other corners of 23rd Avenue and Central Avenue are three 2-story brick commercial buildings built in the early 1900s. Most buildings along Central Avenue are one to two stories in height and are built directly up to their property lines. Various commercial uses line Central Avenue, a Commercial Corridor, as well as some institutional uses and mixed-use buildings. The subject property is located two blocks south of the intersection of Central Avenue and Lowry, which is a designated Activity Center. The boundary of the Activity Center extends to just a few parcels north of the subject property. Two bus routes run along Central Avenue, with a northbound stop at 23rd and southbound stops at 24th and 22nd.

PROJECT DESCRIPTION. The proposed development would be located on two parcels separated by a public alley. The applicant is proposing to demolish the existing mortuary building and construct a two-story 13,756 square foot clinic building. The new building would be built approximately 5 feet from its property line along Central Avenue and 9 feet 8 inches from its property line along 23rd Avenue. The proposed exterior materials are precast concrete panels and thin set brick. A two-story glass entryway facing the intersection of 23rd and Central is also proposed.

An 8-space parking lot, accessed by the public alley, is proposed to be located to the rear of the building. An additional accessory parking lot located across the alley would provide 8 additional parking spaces for the proposed clinic. This lot will be restriped as part of this development but would not be otherwise modified from its existing condition.

In January 2014, a historic review letter was requested and completed for the existing mortuary building on the subject property. A historic review letter determines whether a wrecking permit can be administratively reviewed or will require heritage preservation commission review through a demolition of historic resource application. The letter concluded that based upon information known at the time of review, the existing mortuary building did not appear to meet the City' definition of a historic resource. Therefore, heritage preservation commission review is not necessary for the demolition of the existing building.

PUBLIC COMMENTS. Staff has received a letter from the Windom Park Citizens in Action neighborhood organization indicating their support of the variances sought for the proposal. This letter can be found in the appendix. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the maximum size of a commercial use in the C1 Neighborhood Commercial District based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

   In the C1 district, all commercial uses are limited to 4,000 square feet. If there is no parking located between the principal structure and the street, the maximum size allowed is 6,000 square feet for a one-story building or 8,000 square feet for a two-story building. The applicant's proposal does not locate any parking between the principal structure and the street and is a two-story building. Therefore, the maximum size of a commercial use is 8,000 square feet. However, this standard does not differ according to lot size. The subject parcel is about 13,301 square feet in size, larger than a typical commercial lot along Central. The lot can accommodate a larger building.

   Small area plan guidance calls for this portion of Central Avenue to be "urban-oriented" with high-quality urban buildings that create a consistent but varied street wall. The existing building that will be demolished as part of this proposal is approximately 11,000 square feet. The redevelopment of this site requires that a two-story building be built because the Pedestrian Oriented Overlay District specifies that two-story buildings in the Central & Lowry area cannot be replaced with less than a two-story building. A two-story building meeting the 8,000 square foot requirement would not be efficiently utilize a larger than normal lot. Practical difficulties exist in complying with the ordinance due to the size of the subject lot, the requirement that the building be two stories, and the small area guidance for urban-oriented development along this portion of Central Avenue.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

   Although the building is considered to be one clinic use, the second floor will be primarily offices for clinic staff. The proposal to increase the maximum size from 8,000 square feet to approximately 13,756 square feet is reasonable and is in keeping with the spirit and intent of the ordinance and the comprehensive plan. Central Avenue is a designated commercial corridor. The C1 District is established to provide a convenient shopping environment of small scale retail sales and commercial services that are compatible with adjacent residential uses. The Pedestrian Oriented Overlay District is established to preserve and encourage the pedestrian character of commercial areas and to promote street life and activity by regulating building orientation and design and accessory parking facilities. A 13,756 square foot building meets the intent of both the C1 District and the PO Overlay District. Staff finds that the proposed building is in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

   Two-story commercial buildings of similar size are common in the surrounding area and the proposed 13,756 square foot building would be reasonable. The essential character of this portion

of Central Avenue is an historic urban commercial corridor. The buildings are situated close to the street and are primarily one to two stories. A 13,756 square foot two-story building in this area along Central Avenue would not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. Granting the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the minimum off-street parking requirement from 19 spaces to 16 spaces based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

   The parking requirement for a clinic is 1 space per 500 square feet of gross floor area, meaning this building has a minimum parking requirement of 28 spaces. Because the property is located in the Pedestrian Oriented Overlay District, that parking requirement is reduced to 75 percent of the minimum or 21 spaces. Additionally, the applicant is utilizing the bicycle incentive by providing 7 bicycle parking spaces, which reduces the overall parking requirement to 19 spaces. There are only 16 off-street parking spaces proposed on the on-site parking lot and the associated accessory lot across the alley, so a variance is required. The applicant would be able to accommodate additional parking spaces if a new curb cut were created along 23rd Avenue; however, both CPED and Public Works believed that alley access was more preferable than introducing an additional curb cut on 23rd Avenue (as detailed in the site plan review portion of this report). Practical difficulties exist in complying with the ordinance due to the preferred alley access to the on-site parking area which eliminates some potential parking spaces.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

   The requested parking variance from 19 spaces to 16 spaces is reasonable due to the proximity to transit and alternative modes of transportation available in the immediate area, as well as the 7 proposed bicycle parking spaces provided on site. A clinic use has a minimum bicycle parking requirement of only 3 spaces. Several bus lines are within walking distance of the proposed clinic because of its location along Central Avenue and two blocks south of Lowry Avenue NE. The site is located in the Pedestrian Oriented Overlay District which is established to preserve and encourage the pedestrian character of commercial areas and to promote street life and activity. By providing 16 parking, the applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

   Because of the proximity to public transportation options and inclusion of additional bicycle parking, CPED finds that granting the variance would have little impact on congestion of area streets. As was stated in the *Central Avenue Small Area Plan*, this segment of Central Avenue is desired to be an urban-oriented area but currently has many "underutilized surface parking lots." The statement

submitted by the applicant asserts that many customers and employees will utilize alternative modes of transportation, including public transportation, walking, and biking. Neighborhood Health Source intends to have a total of 10-12 staff members. The reduction in parking will not alter the essential character of the locality or be injurious to the use and enjoyment of other property in the vicinity. Granting the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the PO Pedestrian Oriented Overlay District standards to allow the building to be set back further than 8 feet from the property line based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

   The applicant is proposing to have an indented entranceway which falls about 9 feet 8 inches from the south property line along 23rd Avenue and 7 feet from the Central Avenue lot line. The Pedestrian Oriented Overlay District dictates that buildings shall not be placed more than 8 feet from their front or corner side property lines. The 23rd Avenue elevation does not comply with this requirement. Staff does not find that any practical difficulties exist in complying with the ordinance. There are no circumstances unique to this property which create any practical difficulties in complying with the building placement requirement of the Pedestrian Oriented Overlay District. By shifting the entire building approximately 1 foot 8 inches to the south, the intended entrance design feature for the entryway can be maintained while also complying with the ordinance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

   The proposal to add an enhanced entry design feature is reasonable. However, the intent of the Pedestrian Oriented Overlay District standard is for buildings to be placed in a way that reinforce the street wall, with first floors located no more than 8 feet from the front and corner lot lines. Additionally, the *Central Avenue Small Area Plan* states that new buildings should be built within 8 feet of the sidewalk, be designed to reflect the traditional scale of the street, contain relatively flat facades, regular spacing of windows and storefronts, and a clearly articulated base middle and top. Allowing a setback greater than 8 feet would not be in keeping with the spirit or intent of the ordinance, the small area plan, or typical site plan review standards.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

   The majority of commercial buildings along Central Avenue in this section of the corridor are built directly up to or within only a few feet of their property line, creating a defined street wall for much of the corridor. Most of the corner lots, including the three other buildings on the corner of 23rd and Central Avenue, are built up to their corner lot line as well. The proposed variance would differ from the essential character of the buildings in the surrounding area. Policy and ordinance has placed great emphasis on defining the street wall and the proposed variance would be detrimental to the intent of those policies and ordinances.

SIGN VARIANCES: North Elevation

The Department of Community Planning and Economic Development has analyzed the application for a variance to allow a wall sign to be located on a non-primary building wall, to increase the maximum area of a wall sign on a non-primary building wall from 0 square feet to approximately 55 square feet, and to increase the maximum area per sign from 45 square feet to approximately 55 square feet based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

   Three variances: Signs are not permitted on non-primary building walls. A primary building wall is an exterior building wall that faces a street or an on-site parking area. The proposed 55 square foot wall sign on the north elevation requires three separate variances. The first is to allow a sign on a non-primary building wall. Next, because the maximum area of a sign on a non-primary building wall would be 0 feet, a variance is required from 0 to 45 square feet. Finally, because wall signs in the C1 District are only permitted to be 45 square feet in area, a variance from 45 square feet to the proposed 55 square feet is also necessary.

   The development would be permitted to install signage on the east, south, and west elevations of the proposed building which are all primary building walls. There are no unique circumstances that require the sign to be installed on the north elevation. The property has adequate visibility to both pedestrian and vehicular traffic from several directions. The applicant has stated that the proposed placement is necessary for identification purposes, particularly for clients arriving on public transportation from the north. However, the bus stops along Central are located at either 24th, from which the sign would not be easily visible even if placed on the non-primary building wall (see CPED analysis photos in appendix), or 22nd, in which case the client would have already passed the building by the time they would be requesting the bus to stop. There is no signage proposed for the front of the building on Central Avenue. There are other viable options for signage allowed in the zoning code such as a 16 square foot projecting sign which could face Central Avenue or a wall sign up to 45 square feet in area on the Central Avenue elevation of the building to achieve adequate identification of the building. Staff finds that no practical difficulties exist in complying with the ordinance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

   Three variances: Staff does not find the proposal to install a 55 square foot wall sign on the north elevation, a non-primary building wall, to be reasonable. As noted above, there are reasonable alternatives for identification of the building that would be permitted by the zoning code. Regulations governing on-premises signs are established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property, and to protect the public health, safety and welfare. Urban design policies in the comprehensive plan include promoting an attractive environment by minimizing visual clutter and confusion caused by a proliferation of signage. Effective signage can be reasonably achieved for this development without placing signage on a non-primary building wall.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

   Three variances: The regulation that restricts location of signs to only primary building walls applies city-wide. No unique circumstances necessitate the placement of a sign on a non-primary building wall. The proposed variance would be a detriment to the intent of the sign regulations. The character of the immediate area is intended to be pedestrian-oriented and the sign proposed is not oriented to the pedestrian, but rather to passing vehicular traffic. Additionally, staff finds that the placement of the proposed sign on the non-primary north building wall may also lead to confusion for users who may assume that the parking lots to the north are associated with the building, since the sign would be located on that wall.

FINDINGS REQUIRED BY THE MINNEAPOLIS ZONING CODE FOR A SIGN ADJUSTMENT:

4. *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

   Three variances: Granting the variance would allow signage on a non-primary building wall which is also larger than the maximum area of a sign allowed in the C1 District. Staff finds that this would result in a sign that is inconsistent with the purpose of both the C1 District and the Pedestrian Oriented Overlay District. The sign would be primarily targeted towards vehicular traffic traveling south on Central Avenue. Guidance for signage improvements along Central Avenue in the *Central Avenue Small Area Plan* also state that signage should always be designed and scaled for the pedestrian on both sides of the street. The proposed sign and its location would be inconsistent with the purpose of the zoning district in which the property is located.

5. *The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

   Three variances: The proposed sign will be composed of internally illuminated aluminum can letters. Staff finds that should the sign be reduced in size to meet the 45 square foot maximum size and be placed on a primary building wall, such as Central Avenue, the sign would reasonably relate in size, shape, materials, color, illumination and character to the function and architectural character of the proposed building.

VARIANCE: South Elevation

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum area per sign from 45 square feet to approximately 83 feet on the south elevation based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

   Three signs are proposed for the south elevation of the building: one 15 square foot "Neighborhood Health Source" sign is proposed, one 36 square foot "Central Clinic" sign and another 83 square foot heart sign which is a component of Neighborhood Health Source's logo. The maximum area allowed per sign in the C1 District is 45 square feet. Staff finds that no practical difficulties exist in complying with the ordinance and reducing the size of the heart logo to 45 square feet in area. Please see the diagram in the appendix showing the 45 square foot maximum size on the elevation.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

   At 83 square feet in size, the proposed sign is almost twice the size of the allowed maximum area of a sign in the C1 District and does not meet the intent of small-scale commercial and pedestrian-oriented uses. Staff finds that it would be reasonable to reduce the size of the decorative sculptural heart logo sign to meet the 45 square foot maximum.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

   The variance of the maximum area per sign would differ from the essential character of the corridor, which currently has primarily small-scale signage for businesses. As described in the small area plan, signage in this area of Central Avenue should be directed toward the pedestrian, and therefore be smaller in scale.

FINDINGS REQUIRED BY THE MINNEAPOLIS ZONING CODE FOR A SIGN ADJUSTMENT:

4. *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

   The purpose of the C1 District is to provide a convenient shopping environment of small-scale retail sales and commercial services that are compatible with adjacent residential uses. Larger signs are not typically associated with small-scale commercial buildings, thus the restriction to only 45 square feet in size is dictated in the code. Staff finds that the sign adjustment would result in a sign that is inconsistent with the C1 District and the Pedestrian Oriented Overlay District.

5. *The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

   The sculptural heart logo sign would be made of metal and would be blue in color but not illuminated. The variance to increase the maximum size of a sign from 45 square feet to 83 square feet would allow a sign that does not relate in size to the function and architectural character of the property. The shape, materials, color, illumination, and character of the proposed sign relate to the function and architectural character of the building on which the sign would be located.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

1. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – *Requires alternative compliance*

- For the most part, the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation. However, staff is recommending as a condition of approval that no portion of the building be further than 8 feet from the property line in order to reinforce the street wall along 23rd Avenue as required by the PO District standards and plan guidance.
- The proposed building will be located approximately 7 feet from the front property line along Central Avenue NE and 9 feet 8 inches from the corner side lot line along 23rd Avenue. For the

proposed design, the applicant would have to seek alternative compliance of this standard. However, because it is a requirement for properties within the Pedestrian Oriented Overlay District to be placed within 8 feet of their front and corner lot lines, a variance of that standard is required. As discussed in the variance findings above, staff is not recommending approval of that variance. Therefore, staff is recommending as a condition of approval that no portion of the building be further than 8 feet from the property line.

- The area between the building and the lot line includes landscaping as well as accessible ramps from the parking area to the primary building entrance.
- The building is oriented with the principal entrance facing Central Avenue, the property's front lot line.
- On-site accessory parking is located to the rear or interior of the site. Additional accessory parking is available on the parcel across the alley addressed at 949 23rd Avenue NE.
- The proposed building design provides architectural detail and contains windows in order to create visual interest and to increase the security of adjacent outdoor spaces.
- Blank, uninterrupted walls do not exceed 25 feet in length.
- The proposed exterior materials are primarily precast concrete panels with thin set brick on some portions of the building. Other exterior materials utilized are glass and metal. These are all considered durable materials.
- The exterior materials and appearance of the south and north elevations are similar to and compatible with the front of the building. These three elevations incorporate precast concrete panels, thin set brick, metal, and glass. The front of the building facing Central Avenue is 31% thin set brick and 11% precast concrete panels. On the south elevation along 23rd Avenue, the applicant is proposing to incorporate about 980 square feet of brick at the center portion of the building elevation; this amounts to about 29% of the elevation. In comparison, this elevation is about 38% concrete panel. On the north elevation, brick is wrapped around for the first 22 feet of the building, which amounts to 11% of the elevation.
- However, on the east elevation, no brick is incorporated into the design. Alternative compliance is required for this standard. Staff is not recommending that the Planning Commission grant alternative compliance for this item, and is recommending as a condition of approval that at least 10% of the east elevation incorporate brick, in order for the rear elevation to be similar to and compatible with the front of the building.
- Plain face concrete block, a prohibited material, is not proposed for this project.
- The principal entrance on Central Avenue is clearly defined and emphasized. Windows are vertical in proportion and are distributed evenly along the building walls. The windows proposed have a visible light transmittance ratio of 0.7 and allow views into and out of the building at eye level. Because this property is located in the Pedestrian Oriented Overlay District, the elevations facing Central Avenue and 23rd Avenue are required to have 40% windows on the first floor; both of these elevations are meeting that requirement. However, the east elevation facing the on-site parking lot has a window requirement of 30%, but the proposed design includes only 26% windows on the first floor. Alternative compliance is required for the east elevation facing the on-site parking lot. See **Table 1**.
- Active functions are accommodated along each wall facing a public street, sidewalk, or pathway. Storage and mechanical uses do not exceed 30% of the linear frontage for any wall facing a public street, sidewalk, or pathway. Storage and mechanical rooms are proposed to mostly be located along the east elevation of the building facing the on-site parking lot.
- The form and pitch of the roof line is similar to surrounding buildings, as most commercial buildings have flat roofs in the area.

Table 1. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
First Floor				
West elevation: Central Ave NE	40% minimum	199 sq. ft.	40%	199 sq. ft.
South elevation: 23rd Ave NE	40% minimum	358 sq. ft.	40%	360 sq. ft.
East elevation: facing on-site parking area	30% minimum	149 sq. ft.	26%	127 sq. ft.
Second Floor				
West elevation: Central Ave NE	10% minimum	87 sq. ft.	40%	343 sq. ft.
South elevation: 23rd Ave NE	10% minimum	157 sq. ft.	22%	347 sq. ft.
East elevation: facing on-site parking area	10% minimum	87 sq. ft.	13%	115 sq. ft.

Access and Circulation – *Meets requirements*

- An approximately 4 foot walkway would connect the on-site parking area to the public sidewalk and the building entrance on Central Avenue.
- No transit shelters are proposed as part of this development.
- Vehicular access and circulation has been designed to minimize conflicts with pedestrians and the surrounding residences. No new curb cuts will be necessary to access the parking areas.
- Although alley access for a non-residential use over 4,000 square feet is not typically allowed on a block containing residential zoning, CPED staff has considered an exception utilizing input from Public Works to allow the parking areas to be accessed by the alley. The north-south alley turns to the east roughly halfway through the block and parking is located along the entire alley. Because this alley has parking perpendicular to the alley and the alley access has already been established, the Public Works department found that maintaining alley access would be more desirable than introducing a new curb cut on 23rd Avenue in order to access the on-site parking lot.
- There is no maximum impervious surface requirement in the C1 District. The site plan would increase the amount of impervious surface from 12,320 square feet (72.9% of the site) to 13,937 square feet (82.5% of the site).

Landscaping and Screening – *Meets requirements*

- The composition and location of landscaped areas complement the scale of the proposed development and its surroundings.
- The zoning code requires that at least 20 percent of the site not occupied by buildings be landscaped. The lot area of the 2301 Central Avenue NE parcel is 13,301 square feet and the building footprint is 6,878 square feet. The difference is 6,423 square feet and 20 percent would be 1,285 square feet. The applicant is proposing 2,308 square feet of landscaping, or 36% of the site not occupied by buildings.
- The zoning code requires that the site contain at least one canopy tree per 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space. The tree requirement for this site is 3 and the shrub requirement is 13. The applicant is providing a total of 4 canopy trees and 51 shrubs on-site, as well as 12 coniferous trees and a variety of grasses. See **Table 2**.

- The on-site parking area on the 2301 Central Avenue NE parcel will be screened from the public sidewalk with a 10 foot wide landscaped yard and shrubs which meet screening requirements.
- The corners of the parking area will be landscaped.
- All parking is located within 50 feet of an on-site deciduous tree.
- All areas not occupied by the building, parking, or walkways are covered with landscaping.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	13,301 sq. ft.
Building footprint	--	6,878 sq. ft.
Remaining Lot Area	--	6,423 sq. ft.
Landscaping Required	1,285 sq. ft.	2,308 sq. ft.
Canopy Trees (1: 500 sq. ft.)	3 trees	4 trees
Shrubs (1: 100 sq. ft.)	13 shrubs	51 shrubs

Additional Standards – *Meets requirements*

- The applicant is proposing 6 inch by 6 inch continuous curbing in the parking area. The applicant is encouraged to explore opportunities for on-site retention and filtration of stormwater where practical.
- The proposed building would not impede views of important elements of the city, and would be located and arranged to minimize shadowing on public spaces and adjacent properties and to minimize the generation of wind currents at the ground level.
- The site plan includes crime prevention through environmental design elements. The windows on all sides of the building would provide opportunities for people to observe adjacent spaces and public sidewalks. Lighting levels provide an acceptable level of security while not creating glare or excessive lighting of the site.
- CPED staff determined that the existing building proposed to be demolished does not appear to meet the City's thresholds for historic significance and therefore does not meet the definition of a historic resource. The existing building is not historically designated and is not located within a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *permitted* in the C1 District.

Off-street Parking and Loading – *Requires variance*

- The parking requirement for a clinic is 1 space per 500 square feet of gross floor area, meaning this building has an initial parking requirement of 28 spaces. Because the property is located in the Pedestrian Oriented Overlay District, that parking requirement is reduced to 75 percent of that number or 21 spaces. Additionally, the applicant is providing 7 bicycle parking spaces and therefore qualifies for the bicycle incentive, which reduces the overall parking requirement to 19 spaces. The applicant is proposing to provide only 16 off-street parking spaces, which requires a variance. See variance analysis above in this report.
- The parking lot across the alley, addressed at 949 23rd Avenue NE, is subject to Parking Area Design and Maintenance standards. The parking lot is not currently striped. The applicant is proposing striped spaces that would be located about 15 feet west of the landscaped yard, with pavement in the space between. As designed, the parking area would utilize the public alley for maneuvering purposes because the spaces would only be 7 feet from their west property line. In

a newly established parking area, a 22-foot access aisle would be required so that maneuvering for parking would not take place in the public alley. The existing parking area is 40 feet wide, and therefore can accommodate striped spaces that are 18 feet in length (the minimum required for a standard stall) as well as a 22 foot access aisle. In order to meet Parking Area Design and Maintenance standards, staff encourages the applicant to relocate the striping to the east to accommodate a 22 foot access aisle.

- The accessory parking lot across the alley has landscaped yards only three feet in width; a seven-foot landscaped yard would typically be required. Required screening of the parking area would be six feet high and 95% opaque. However, existing shrubs currently screen this parking area and staff finds that this screening is adequate considering that it is an existing condition (see photos in the appendix).
- The proposed building is smaller than 20,000 square feet and therefore does not have a loading requirement. The proposed building and associated parking lot will provide adequate shipping and receiving facilities for the use.

Table 3. Vehicle Parking Requirements Per Use (Chapter 541)

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Clinic, medical or dental	28	7 spaces – *PO District* 2 spaces – *bicycle incentive*	19	52	16
Total	**28**	**9**	**19**	**52**	**16**

Table 4. Bicycle Parking and Loading Requirements (Chapter 541)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Clinic, medical or dental	3	Not less than 50%	--	7	None (smaller than 20,000 sq. ft.)	--
Total	**3**	**2**	**--**	**7**	**N/A**	**--**

Building Bulk and Height – *Meets requirements*

- The proposed building would have 13,756 square feet of gross floor area and would be 30 feet in height. The development would be within the allowed bulk and height requirements of the C1 District. See **Table 5**.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	13,301 sq. ft. / 0.31 acres
Gross Floor Area (GFA)	--	13,756 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	1.7	1.03
Maximum Building Height	2.5 stories or 35 feet, whichever is less	30 ft.

Yard Requirements – *Not applicable*

Signs – *Requires variance(s)*

- Signs are subject to Chapter 543 of the Zoning Code. The applicant is proposing a 55 square foot wall sign on the north elevation, a non-primary building wall, which requires three variances. On the south elevation, three separate signs are proposed: one approximately 36 square foot "Central Clinic" sign, one approximately 15 foot sign with the copy "Neighborhood Health Source" and one sculptural element of the logo which is 83 square feet in size. The sculptural heart logo requires a variance because it is larger than 45 square feet. See variance findings in the report above.

Table 8. Signage Summary

	Number Allowed Per Zoning Lot	Proposed Number	Maximum Size Allocation	Maximum Area Per Sign	Proposed Area	Maximum Allowed Height	Proposed Height
Attached: north elevation	0	1	0 sq. ft.	45 sq. ft.	55 sq. ft.	28 ft.	27 ft.
Attached: south elevation, *Central Clinic*	No limit within size allocation	1	168 sq. ft		36 sq. ft.		14 ft.
Attached: south elevation, *Neighborhood Health Source*		1	168 sq. ft.		15 sq. ft.		12 ft.
Attached: south elevation, *heart logo*		1	168 sq. ft		83 sq. ft.		21 ft.

Dumpster Screening – *Meets requirements with Conditions of Approval*

- Plans submitted show a trash enclosure at the northeast corner of the 2301 Central Avenue NE parcel but do not provide specific details about the material or height of the proposed enclosure. Staff is recommending as a condition of approval that the trash containers be enclosed on all four sides with screening compatible with the principal structure not less than two feet higher than the refuse container.

Screening of Mechanical Equipment – *Meets requirements with Conditions of Approval*

- All mechanical equipment will be located on the roof of the proposed building. Details about screening were not provided in the application materials. Staff is recommending as a condition of approval that all mechanical equipment must be screened per 535.70.

Lighting – *Meets requirements*

- The lighting plan submitted meets the requirements of Chapter 535 of the Zoning Code.

Impervious Surface Area – *Not applicable*

Specific Development Standards – *Not applicable*

PO Pedestrian Oriented Overlay District Standards – *Requires variance(s)*

- The proposal requires a variance of the Pedestrian Oriented Overlay District standard that building walls abutting each street on a corner lot shall be located not more than 8 feet from the lot line. See variance analysis above.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as Mixed Use on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide "eyes on the street."

Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.

1.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

1.5.2 Facilitate the redevelopment of underutilized commercial areas by evaluating possible land use changes against potential impacts on the surrounding neighborhood.

Land Use Policy 1.10: Support development along Commercial Corridors that enhances the street's character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.

1.10.1 Support a mix of uses – such as retail sales, office, institutional, high-density residential and clean low-impact light industrial – where compatible with the existing and desired character.

1.10.2 Encourage commercial development, including active uses on the ground floor, where Commercial Corridors intersect with other designated corridors.

1.10.4 Encourage a height of at least two stories for new buildings along Commercial Corridors, in keeping with neighborhood character.

Urban Design Policy 10.10: Support urban design standards that emphasize a traditional urban form in commercial areas.

10.10.4 Orient new buildings to the street to foster safe and successful commercial nodes and corridors.

10.10.6 Require storefront window transparency to assure both natural surveillance and an inviting pedestrian experience.

Urban Design Policy 10.11: Seek new commercial development that is attractive, functional and adds value to the physical environment.

10.11.2 Ensure that new commercial developments maximize compatibility with surrounding neighborhoods.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The *Central Avenue Small Area Plan* was adopted by City Council in 2008 and provides applicable guidance for this development. Central Avenue is considered the "Main Street" of Northeast. The plan encourages robust growth by creating a lively active pedestrian-oriented street that supports existing entrepreneurs and attracts new investments while helping to stabilize surrounding neighborhoods by clearly defining the limits and location of commercial development.

The proposed development falls within the "Central Segment" between 18th Avenue NE and 27th Avenue NE. This area is considered the historic commercial strip. Between 27th Avenue NE and 18th Avenue NE, the corridor's image is identified as "urban" in the plan. The buildings are situated close to the street, creating a feeling of compression and definition. The plan recommends reinforcing this "urban" identity with new storefronts and plazas that embrace Central Avenue. The plan specifically encourages "urban-oriented" development along Central between 18th and 24th Avenues, including mixed-use buildings, small apartments, live/work units, and small commercial buildings. New construction on these blocks should be high-quality urban buildings that create a consistent but varied street wall. The plan states that new buildings should be built within 8 feet of the sidewalk, be designed to reflect the traditional scale of the street, contain relatively flat facades, regular spacing of windows and storefronts, and a clearly articulated base middle and top.

The plan also provides some guidance for signage improvements along Central in the area. The plan states that signs "should always be designed for the pedestrian on both sides of the street. Consideration should be given to the placement and the scale of all signs. They should be scaled to that audience."

The proposed project, with the staff recommendations for alternative compliance and the recommendations regarding the requested variances, would be in conformance with the applicable guidance in the *Central Avenue Small Area Plan*.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Building placement.** Site plan review standards require that the first floor building wall is located not more than 8 feet from the lot lines facing each street on a corner lot. Additionally,

the Pedestrian Oriented Overlay District requires all buildings on corner lots to be built no more than 8 feet from the front or corner side property line. This means that in addition to alternative compliance, the applicant's proposal to place the building 9 feet 8 inches from the south property line also requires a variance of that overlay district standard. As discussed in the variance findings, staff is recommending that the Planning Commission deny that variance. Therefore, staff is also recommending that the Planning Commission not grant alternative compliance for this site plan review standard. The proposed placement does not meet the intent of the site plan review chapter, the zoning district the property is located within, the small area plan, or the comprehensive plan.

- **Rear and side wall compatibility of materials and appearance.** The exterior materials and appearance of rear and side walls are required to be similar to and compatible with the front of the building. The exterior materials and appearance of the east elevation is not compatible with the front elevation of the building. The front of the building facing Central Avenue is 31% thin set brick and 11% precast concrete panels. On the east elevation facing the on-site parking lot, no brick is incorporated into the design at all. Staff is not recommending that the Planning Commission grant alternative compliance for this item, and is recommending that the Planning Commission require at least 10% of the east elevation to incorporate brick so that the rear elevation is similar to and compatible with the front of the building.
- **Window requirement facing on-site parking lot.** Thirty percent of walls on the first floor facing an on-site parking lot are required to be windows. The proposal incorporates 127 square feet of windows on the first floor of the east elevation facing the on-site parking lot, which amounts to approximately 26% of the building wall. However, staff finds that because the site plan includes significantly more windows than the required 10% on the second floor of the building, windows on the north elevation where no windows would be required by site plan review standards, and additional landscaping on the site, that the adverse effects of the alternative would be mitigated. Therefore, staff is recommending that the Planning Commission grant alternative compliance for this standard.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase the maximum size of a commercial use in the C1 District from 8,000 square feet to approximately 13,756 square feet at the properties located at 2301 Central Ave NE and 949 23rd Ave NE.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the minimum off-street parking requirement from 19 spaces to 16 spaces at the properties located at 2301 Central Ave NE and 949 23rd Ave NE.

1. A minimum of seven (7) bicycle parking spaces shall be provided to qualify for the bicycle incentive.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **deny** the application for a variance of the Pedestrian Oriented Overlay District standards to increase the maximum allowed setback from 8 feet to approximately 9 feet 8 inches at the properties located at 2301 Central Ave NE and 949 23rd Ave NE.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **deny** the application for a variance to allow a wall sign to be located on a non-primary building wall at the properties located at 2301 Central Ave NE and 949 23rd Ave NE.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **deny** the application for a variance to increase the maximum area of a wall sign on a non-primary building wall from 0 square feet to approximately 55 square feet at the properties located at 2301 Central Ave NE and 949 23rd Ave NE.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **deny** the application for a variance to increase the maximum area per sign from 45 square feet to approximately 55 square feet on the north elevation at the properties located at 2301 Central Ave NE and 949 23rd Ave NE.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **deny** the application for a variance to increase the maximum area per sign from 45 square feet to approximately 83 feet on the south elevation at the properties located at 2301 Central Ave NE and 949 23rd Ave NE.

Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a new approximately 13,756 two-story building and accessory parking lot at the properties located at 2301 Central Ave NE and 949 23rd Ave NE, subject to the following conditions:

1. Approval of the final site, elevation, floor, landscaping, and lighting plans by CPED.

2. All site improvements shall be completed by September 15, 2016, unless extended by the zoning administrator, or the permit may be revoked for non-compliance.

3. No portion of the building walls along Central Avenue NE or 23rd Avenue NE shall be further than 8 feet from the property line.

4. At least 10% of the east elevation shall incorporate brick.

5. Trash containers shall be enclosed on all four sides with screening compatible with the principal structure not less than two feet higher than the refuse container.

6. All mechanical equipment shall be screened per section 535.70 of the zoning code.

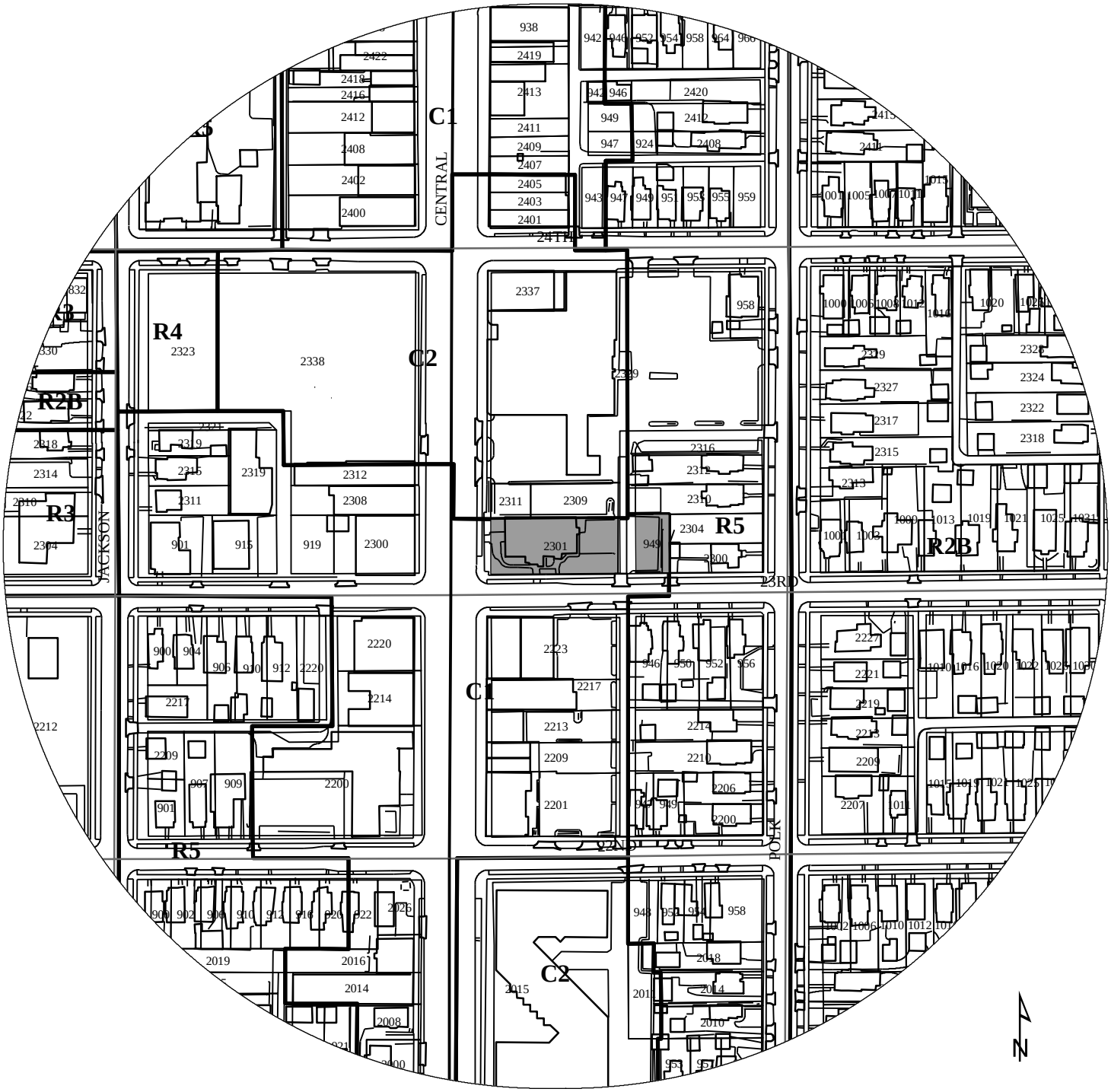
7. All signs shall comply with Chapter 541 of the zoning code. All new signage requires a separate permit from CPED.

ATTACHMENTS

1. Zoning map
2. Oblique aerial
3. Written description and findings submitted by applicant
4. Plan set
5. Site survey
6. Site plan
7. Building elevations
8. Landscape plan
9. Renderings
10. Floor plans
11. Photos
12. Material examples
13. Correspondence
14. Sign analysis diagrams by CPED

Landform **1**

NAME OF APPLICANT WARD



200 100 0 200 400 Feet

PROPERTY ADDRESS

2301 Central Ave NE & 949 23rd Ave NE

FILE NUMBER

BZZ-6732

2301 CENTRAL AVE NE & 949 23RD AVE NE

Neighborhood HealthSource

Clinic and Corporate Offices

NEIGHBORHOOD healthsource

Central · Fremont · Heritage · Sheridan

Minneapolis, MN

SITE PLAN AND VARIANCE APPLICATION

August 8, 2014

LANDFORM

From Site to Finish

INTRODUCTION

On behalf of Neighborhood HealthSource, Landform is pleased to submit this Land Use Application to allow for the construction of a two-story multi-use primary care clinic and office building at 2301 Central Avenue NE (PID #12-029-24-32-0228, Parcel A) and 949 23rd Avenue N and (PID #12-029-24-32-0227, Parcel B). The application includes a submittal for site plan review and requests for variance approvals. Both parcels are owned by Neighborhood HealthSource, a non-profit federally qualified health center with four primary care clinics serving the neighborhoods of North and Northeast Minneapolis.

SITE PLAN

Neighborhood HealthSource plans to demolish the existing vacant, boarded mortuary on the corner of Central Avenue and 23rd Street. Demolition and building construction will be limited to Parcel A on the west side of the alley. Parcel B, located on the east side of the alley, will remain a surface parking lot and will be re-striped. In its place, a new 13,888-square foot multi-use, two-story building with a clinic that serves the surrounding neighborhoods will be built. The clinic will be located on the first floor and the second floor will serve as staff offices that support Neighborhood HealthSource clinic locations in North and Northeast Minneapolis. The development will include the construction of surface parking on the east side of the building and installation of a trash receptacle. The site is zoned C-1 Neighborhood Commercial District and is located in the PO Pedestrian Overlay District. Neighborhood HealthSource has worked with city planning staff to develop a building that will be an asset to the community.

The building will be constructed of high-quality brick and pre-cast concrete, articulated by windows on all four sides. The building has been designed to maximize accessibility and enhance the pedestrian experience. A variance from the maximum building setback requirements will be required for a slight indent at the south entry and is discussed in the variance section of this document.

Access to the site will be improved by providing bike racks and enhancing walkways in the front of the building and on the south side of the building. This south entrance is across the street from a bus stop on the South side of 23rd Street and the east side of Central. The sidewalk and landscape amenities proposed on the South side of the building enhance the feeling of eyes on the street and provide visual connection to other parts of the neighborhood. Patients will access the parking lot via existing alley. This alley was used by the prior mortuary and is currently used by Wells Fargo Bank.

Landscaping along the pedestrian walkway on the south side of the building is designed to reinforce the lines of the building and to provide a more comfortable route to the building entrance. Neighborhood HealthSource is proposing to work with local builder/artisan to build functional and decorative seating elements from the trees that will be removed from the site.

Neighborhood HealthSource provides culturally competent primary health care for patients at four locations in North and Northeast Minneapolis. Their mission is to improve and promote the health of communities by providing quality health care services that are affordable and accessible. In addition to providing healthcare to patients, Neighborhood HealthSource provides outreach, education, screening, and other activities in the communities that they serve.

This building and associated improvements will be an asset to the neighborhood by providing health care services, thoughtfully designed building and grounds, and improved pedestrian amenities.

ALTERNATIVE COMPLIANCE

We are requesting alternative compliance to maintain the existing parking lot landscaping at 949 23rd Avenue North. Section 530.220 allows the city planning commission to approve reductions in required landscaping if the existing materials and surroundings make the required landscaping less necessary. Neighborhood HealthSource is not intending to make structural changes to this parcel. The parking lot will be re-striped and repaired and the existing landscaping and fencing will remain. The existing landscaping includes a fully grown hedgerow and chain link fence that provides enclosure and a visually pleasing buffer between the pedestrian realm and the parking area. Neighborhood HealthSource will provide ongoing upkeep and maintenance to the existing landscaping that will maintain a professional appearance.

VARIANCE

The building and associated parking is consistent with the character of the Northeast neighborhood, and meets the purpose and intent of the C-1 Neighborhood Commercial District and PO Pedestrian Overlay standards. Neighborhood HealthSource is requesting four variances that will enhance the project and maintain their commitment to serving the Northeast neighborhood.

The variances comply with the variance standards described in the City of Minneapolis Zoning Code as follows:

Variance from the maximum size of a commercial use in the C1 District from 8,000 square feet to 13,888 square feet.

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property and the lack of clarity in the Zoning Code. The City's Zoning Code allows up to 8,000 square feet of a single use, regardless of the parcel size. The pedestrian overlay standards do not allow for the reduction in the number of stories of a building, therefore, the construction of a two-story building is required. This requirement is a hardship for parcels of this size that can support larger buildings. The proposed building is similar in scale to the existing use and surrounding uses and will increase the diversity of uses in the neighborhood.

The Minneapolis code defines uses as "The purpose or activity for which the land or buildings thereon are designed, arranged, intended, occupied or maintained," and Table 548-1 of the City code lists clinics and offices as separate uses. City planning staff maintains that the common owner and operator intimately ties the uses, however, the two uses are independent and could take place in separate locations. The purpose and activities of the first floor will be to provide clinic-related services to patrons. The purpose and activities of the second floor offices will be administrative support to of Neighborhood HealthSource's clinics. The building has been designed with separate entrances and will function as separate uses that are both owned by Neighborhood HealthSource.

The Minneapolis code does not define uses, and Table 548-1 of the City code lists clinics and offices as separate uses. City planning staff maintains that the common owner and operator intimately ties the uses, however, the two uses are independent and could take place in separate locations. The offices will be used as administrative offices for Neighborhood HealthSource to serve their multiple North and Northeast clinics. The building has been designed with separate entrances and will function as separate uses that both support the mission of Neighborhood HealthSource.

2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Neighborhood HealthSource will be using the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance. The intent of C-1 district is to provide convenient services that are compatible with adjacent residential uses. The mission of the organization is to serve

surrounding neighborhoods. The proposed clinic will be an amenity that will be accessible to all members of the community. Since the clinic and offices can operate independently from each other and maintain separate entrances, no one use is dominating the block.

3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The use is compatible with surrounding C-2 and C-1 uses, and is not detrimental to the residential neighborhood to the east. The proposed uses comply with the Zoning Code and the square footage of each use is well below the requirements for single uses in the neighboring C-2 district, which allows for 30,000 square feet of a single use.

Variance from the minimum off-street parking requirement from 19 spaces to 15 spaces.
Neighborhood HealthSource is requesting a variance from the required 19 spaces to allow for 15 parking spaces. The property was originally purchased as two parcels and an easement which would have allowed Neighborhood HealthSource to meet the number of parking spaces as required by Chapter 541 of the City Code. The easement is currently located on residential property and cannot be included in the total parking required count, but will continue to serve the needs of the use as it has for a number of years.

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Redevelopment projects in urban areas face special challenges due to smaller lots that restrict development options, but benefit from the urban nature by being more accessible to pedestrians and transit users. It is not practical for a two-story building in a pedestrian overlay district to meet the minimum standards of the code because of the design restrictions in this district. Section 551.170 of the code does not allow for a reduction in the existing number of stories in a building. Because the building is required to be two stories, it is not practical for a two-story building on a lot of this size to provide the required number of parking stalls. If the building was one story with the same building footprint, the parking requirements could be met. While the site does not meet the technical requirements of the ordinance, it is clear that adequate parking is available in the area to meet the needs of our clientele and employees.

2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

The limited number of parking stalls provided in the plan is consistent with the spirit and intent of the pedestrian overlay district and the C-1 commercial district, both of which strongly emphasize walkability and alternative transportation. Chapter 541 offers many bonuses for reducing the required number of parking stalls. Many users and employees of the other Neighborhood HealthSource clinics use alternative transportation to access services or their place of employment. The reduction in parking supports the strong emphasis on reducing automobile oriented uses.

3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The reduction of parking is consistent with the essential character and locality of the neighborhood, and will not be injurious to the enjoyment of other property in the vicinity. The proposed development and associated parking is similar to the size and scale of other properties in the neighborhood, and will continue to support the pedestrian oriented style of the neighborhood.

Variance of the Pedestrian Oriented Overlay District standards to allow the building to be set back further than 8 feet from the South property line.

The proposed development meets the maximum setback requirements on all sides except for a one-foot indent at the South property line at the entrance of the building. The indent was designed to define and provide accessible access that connects to the south walkway.

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. To keep in the spirit of a pedestrian oriented overlay and to promote eyes on the street, Neighborhood HealthSource planned for an accessible entrance on the south side of the building along the public sidewalk. The indent is a design element that supports an enhanced entry and landscaping that faces the public sphere. To meet the code, the building can be moved back, however, we believe that the appearance of the building and the client experience will be better served by enhancing the south facing side, which anchors the public faces of the building.

2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

The proposed variance is keeping with the spirit and intent of the ordinance and the comprehensive plan. The majority of the building meets the required maximum setbacks, and Section 530.110 does allow for flexibility in the application of the code provided that building walls are reinforced by alternative materials. The design of the accessible ramps on the south corner reinforces the building entrance and defines the walls. The indent, ramps and south facing landscaping are design elements that is more visually appealing and encourage pedestrian activity on the public corner.

3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The proposed variance will not alter the essential character of the locality of the surrounding neighborhood. The building design and associated ramps will enhance the streetscape and will have a similar setback to surrounding buildings. A slight indent at the entrance is similar in style to the recently constructed public library at 22nd and Central Avenue.

A sign variance to exceed the maximum area of a sign and a sign variance for a wall sign on a non-principal wall

The proposed signs for the building meet the sizing standards of Chapter 543 of the City code, with the exception of the proposed heart sculpture. While the heart is part of the organization's logo, it will be artfully crafted and function as sculptural detail on the building, not as a sign.

While the north-facing side of the building is not considered a principal wall, it is highly visible from the North side of the street. Providing adequate signage on the North side of the building will be essential to helping clients navigate to the building.

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Because the building anchors a corner and is bordered by a large parking lot, it is critical to clearly indicate the appropriate building for users that are arriving from the North and who may not have the

same visibility from public transportation as those users who are arriving from the south. The signage on the North side of the building is a critical component to helping patrons navigate to the appropriate location from the south side of the street and the north side of the street.

The intent of the heart sculpture is to provide a feeling of safety to patients, and reinforce the organization's message of care and community health. It is a critical component of enhancing the feeling of safety and caring for patients that struggle with adequate resources.

2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

The proposed changes to the signs are within the spirit and intent of the ordinance, and will increase clarity for patients without introducing clutter. The signs are designed to be attractive and to complementary to the building and surrounding neighborhood.

3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The proposed signs are designed as artful elements that clearly identify the clinic, and will be in harmony with the locality of the neighborhood. They will not be injurious to the use or enjoyment of other property in the vicinity and will enhance the feeling of safety in the neighborhood.

Findings specific to signs

1. The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.

Because it is anticipated that patients will be using a wide variety of transportation methods to access the site, signage on the north side of the building will help clarify and prevent missed bus stops by those users traveling from the north. The sculpture heart is intended to increase the feeling of security and comfort by those users who have reservations about health care and are not feeling well.

2. The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.

The sculptural heart and the placement of the signage on the north side of the building have been designed to enhance the character and architecture of the building. They increase visual interest and engage the users in a positive message of health and feelings of community.

SUMMARY

We respectfully request approval of this Land Use Application to construct a two-story multi-use primary care clinic and office building with associated amenities at 2301 Central Avenue NE. We understand a public hearing and plan commission review is tentatively scheduled for September 15, 2014, and that a date for City Council approval will be assigned by planning staff.

CONTACT INFORMATION

This document was prepared by:

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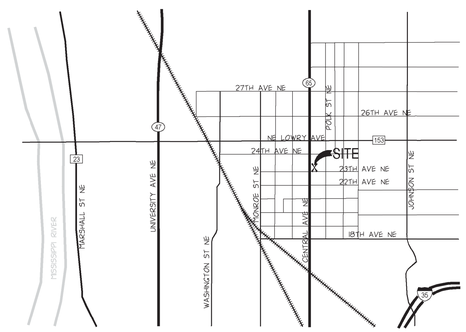
Any additional questions regarding this application can be directed to Darren Lazan at dlazan@landform.net or 612.638.0250.

NEIGHBORHOOD HEALTHSOURCE

MINNEAPOLIS, MINNESOTA

AREA LOCATION MAP

MINNEAPOLIS, MN



NORTH
NO SCALE

ABBREVIATIONS

∅	Angle	JT.	Joint
&	And	L.F.	Lineal Feet
@	At	L.P.	Low Point / Liquid Petroleum
100 YR.	100 Year Flood Elevation	LB.	Pound
A.B.	Anchor Bolt	LGU	Local Government Unit
A.D.	Area Drain	LONG.	Longitudinal
A/C	Air Conditioning Unit	LT.	Light / Lighting
ADD.	Addendum	MAINT.	Maintenance
ADDL.	Additional	MAS.	Masonry
ADJ.	Adjacent / Adjust	MATL.	Material
AHU	Air Handling Unit	MAX.	Maximum
ALT.	Alternate	MECH	Mechanical
ALUM.	Aluminum	MED.	Medium
ANOD.	Anodized	MFR.	Manufacturer
APPROX.	Approximate	MH	Manhole
ARCH	Architect / Architectural	MIN.	Minimum / Minute
AUTO.	Automatic	MISC.	Miscellaneous
AVG.	Average	MNDOT	Minnesota Department Of Transportation
B.C.	Back of Curb	MOD.	Module / Modular
B/W	Bottom of Wall	MUL.	Mullion
BFE	Basement Floor Elevation	N.	North
BIT	Bituminous (Asphaltic)	N.I.C.	Not In Contract
BLDG	Building	NO. OR #	Number
BSMT.	Basement	NOM	Nominal
C.F.	Cubic Feet	NTS	Not to Scale
C.F.S.	Cubic Feet Per Second	NWE	Normal Water Elevation
C.G.	Corner Guard	NWL	Normal Water Level
C.J.	Control Joint	O.C.	On Center
C.L.	Centerline	O.D.	Outside Dimension
C.M.U.	Concrete Masonry Unit	O.E.	Overhead Electric
C.O.	Cleanout	OH.	Overhead
C.O.E.	U.S. Army Corps Of Engineers	OHWL	Ordinary High Water Level
C.Y.	Cubic Yards	OPNG.	Opening
CB	Catch Basin	ORIG.	Original
CBMH	Catch Basin Manhole	P.C.	Point of Curvature
CEM.	Cement	P.I.	Point of Intersection
CIP	Cast Iron Pipe	PIV	Post Indicator Valve
CMP	Corrugated Metal Pipe	P.L.	Property Line
CONC.	Concrete (Portland)	P.O.B.	Point of Beginning
CONN.	Connection	P.S.F.	Pounds Per Square Foot
CONST.	Construction	P.S.I.	Pounds Per Square Inch
CONT.	Continuous	P.T.	Point of Tangency
CONTR.	Contractor	P.V.C.	Point of Vertical Curvature
COP.	Copper	P.V.I.	Point of Vertical Intersection
CU.	Cubic	P.V.T.	Point of Vertical Tangency
D.S.	Down Spout	PE	Polyethylene
DEG.	Degree	PED.	Pedestal / Pedestrian
DEMO.	Demolition / Demolish	PERF.	Perforated
DEPT.	Department	PREEP.	Preparation
DET.	Detail	PROJ.	Project
DIA.	Diameter	PROP.	Proposed
DIAG.	Diagonal	PVC	Poly-Vinyl-Chloride (Piping)
DIM.	Dimension	PVMT.	Pavement
DIP	Ductile Iron Pipe	QTR.	Quarter
DN	Down	QTY.	Quantity
DWG.	Drawing	R	Radius
E.	East	RAD.	Radius
E.J.	Expansion Joint	R.D.	Roof Drain
E.O.F.	Emergency Overflow	R.E.	Remove Existing
E.O.S.	Emergency Overflow Swale	R.O.	Rough Opening
E.W.	Each Way	R.P.	Radius Point
EA.	Each	RCP	Reinforced Concrete Pipe
EL.	Elevation	R.S.	Rough Slab
ELEC.	Electrical	RDD	Roof Storm Drain
ELEV.	Elevation	RE:	Regarding
EMER.	Emergency	REINF.	Reinforced
ENGR.	Engineer	REQ'D	Required
ENTR.	Entrance	REV.	Revision / Revised
EQ.	Equal	RGU	Regulatory Government Unit
EQUIP.	Equipment	ROW OR R/W	Right of Way
EQUIV.	Equivalent	S.	South
EXIST.	Existing	S.F.	Square Feet
EXP.	Expansion	SAN.	Sanitary Sewer
F & I	Furnish and Install	SECT.	Section
F.B.O.	Furnished by Others	SE	Side Exit
F.C.	Face of Curb	SEWO	Side Exit Walk Out
F.D.	Floor Drain	SHT.	Sheet
F.D.C.	Fire Department Connection	SIM.	Similar
F.V.	Field Verify	SLNT.	Sealant
FB	Full Basement	SPEC.	Specification
FBWO	Full Basement Walk Out	SQ.	Square
FBLO	Full Basement Lock Out	SSD	Subsurface drain
FDN.	Foundation	STMH	Storm Sewer Manhole
FES	Flared End Section	STD.	Standard
FFE	Finished Floor Elevation	STRUCT.	Structural
FLR.	Floor	SYM.	Symetrical
FT. OR (')	Foot	T	Thickness
FUT.	Future	T/R	Top of Rim
G.B.	Grade Break	T/W	Top of Wall
G.C.	General Contractor	TEMP.	Temporary
GAL.	Gallon	THK.	Thick / Thickness
GALV.	Galvanized	TNH	Top Nut Hydrant
GFE	Garage Floor Elevation	TYP.	Typical
GL.	Glass	U.N.O.	Unless Noted Otherwise
GR.	Grade	V.B.	Vapor Barrier
H.	Height	V.C.	Vertical Curve
H.P.	High Point	V.I.F.	Verify In Field
HDPEP	High Density Polyethylene Pipe	VER.	Verify
HGT.	Height	VERT.	Vertical
HORIZ.	Horizontal	VEST.	Vestibule
HVAC	Heating, Ventilation, Air Conditioning	W	Width
HYD	Hydrant	W.P.T.	Working Point
I.D.	Inside Dimension	W.W.F.	Welded Wire Fabric
IN. OR (")	Inches	W/	With
INFO.	Information	W/O	Without
INL.	Inlet Elevation	WO	Walk Out
INSUL.	Insulation	WETL.	Wetland
INV.	Invert Elevation	WP	Waterproof
		WT.	Weight
		YD.	Yard
		YR.	Year

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
120	MAJOR CONTOUR	120	MAJOR CONTOUR
123	MINOR CONTOUR	123	MINOR CONTOUR
x 234.5	SPOT ELEVATION	123.45 x	SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY/OVERHANG
	CONCRETE		UNDERGROUND STRUCTURE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL	BIT. EDGE	EDGE OF PAVEMENT
	PAVING BLOCK	HEIGHT, TYPE	FENCING
	PAVING BLOCK		GUARD RAIL
12"STS	STORM SEWER LINE		CONCRETE RETAINING WALL
8"SAN	SANITARY SEWER LINE		MODULAR RETAINING WALL
6"WTR	WATER MAIN		FIELDSTONE RETAINING WALL
OE	OVERHEAD ELECTRIC		EXIT LOCATION
UT	UNDERGROUND TELEPHONE		LIGHT STANDARD
UE	UNDERGROUND ELECTRIC	Ø	POWER POLE
G	GAS LINE	1.00%	SLOPE DIRECTION
	CONCRETE CURB		CATCH BASIN
HEIGHT, TYPE	FENCING		MANHOLE
	RETAINING WALL		BOLLARD
	SET 1/2" X 14" IRON PIPE	12"STS	STORM SEWER
	IRON MONUMENT FOUND	8"SAN	SANITARY SEWER-WASTE
	SURVEY DISK (BENCHMARK)	6"FM	FORCE MAIN
	POWERPOLE	6"RD	ROOF DRAIN SYSTEM
	GUY WIRE	GATE VALVE 8"WTR	WATERMAIN
	GUARD POST	6"FIRE	FIRE LINE (F SEPARATE)
	GAS METER	BLDG.	FIRE DEPT. CONNECTION
	TRANSFORMER	C.O. X"SSD	SOIL SUBDRAIN
	WATER SHUT-OFF VALVE	GAS	GAS LINE-UNDERGROUND
	TRAFFIC SIGN	ELEC	ELECTRIC-UNDERGROUND
	FLAG POLE	TELE	TELEPHONE-UNDERGROUND
	LIGHT POLE	CATV	UNDERGROUND CABLE/TV
	TREES	LSS	LAWN SPRINKLER SLEEVE
	TREE LINE		
	MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		
1	NOTE NUMBER		
(M)	MEASURED DISTANCE		
(P)	DISTANCE PER RECORDED PLAT		
B-X	SOIL BORING		

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SEDIMENT CONTROL FENCE
CB	INLET PROTECTION

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
3	NOTE REFERENCE
12	PARKING STALL COUNT
C7.3 / 1	LARGE SHEET DETAIL
C21	COORDINATE POINT
2	REVISION – ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION

PER SCHEDULE "A" OF KNIGHT BARRY TITLE, INC. COMMITMENT FOR TITLE INSURANCE, FILE NO. 706863 HAVING AN EFFECTIVE DATE OF MAY 13, 2014:

PARCEL A

LOT 11 AND THE SOUTH 36 FEET FRONT AND REAR OF LOT 12, BLOCK 10, WILSON'S REARRANGEMENT OF BLOCKS 2, 3, 6, 7, 9, 10, 11, 14, 15, 19, 20, 21, 24, 26, 29, 31, 33, 35, 37, 39, 41 OF EAST SIDE ADDITION TO CITY OF MINNEAPOLIS.

PARCEL B

THE REAR 45 FEET OF LOTS 9 AND 10, BLOCK 10, WILSON'S REARRANGEMENT OF BLOCKS 2, 3, 6, 7, 9, 10, 11, 14, 15, 19, 20, 21, 24, 26, 29, 31, 33, 35, 37, 39, 41 OF EAST SIDE ADDITION TO CITY OF MINNEAPOLIS.

PARCEL C

TOGETHER WITH EASEMENT FOR ACCESS AND PARKING PURPOSES OVER PART OF LOT 8, BLOCK 10, WILSON'S REARRANGEMENT OF BLOCKS 2, 3, 6, 7, 9, 10, 11, 14, 15, 19, 20, 21, 24, 26, 29, 31, 33, 35, 37, 39, 41 OF EAST SIDE ADDITION TO CITY OF MINNEAPOLIS, AS DESCRIBED IN THE EASEMENT AGREEMENT, DATED JULY 20, 2005, RECORDED NOVEMBER 4, 2005, IN THE OFFICE OF THE HENNEPIN COUNTY RECORDER AS DOCUMENT NO. 8688719.

ABSTRACT PROPERTY

BENCHMARK

PROJECT BENCHMARK:
MNDOT GSD STATION #10737
STATION NAME: 2783 Q
IN NE MINNEAPOLIS, IN BRIDGE ABUTMENT IN SE CORNER OF SOUTHBOUND HWY. 35 W BRIDGE NO. 27887 OVER NORTHBOUND HWY. 35 W EXIT CONNECTION TO JOHNSON ST. NE, 0.24 MILES W OF JUNCTION OF WESTBOUND HWY. 35 W OVER NEW BRIGHTON BLVD.

ELEVATION = 850.95 (NAVD88)

SITE BENCHMARK:
TOP NUT OF FIRE HYDRANT
LOCATION: NE CORNER OF CENTRAL AVE. & 23RD AVE.

ELEVATION = 854.18 (NAVD88)

OWNER

NEIGHBORHOOD healthsource
Health care with a heart, close to home!

3300 FREMONT AVENUE NORTH
MINNEAPOLIS, MN 55412
TEL (612)588-9411 FAX (612) 522-6627

MUNICIPALITY

MINNEAPOLIS
City of Lakes

PROJECT

NEIGHBORHOOD HEALTHSOURCE
MINNEAPOLIS,MN

SHEET INDEX

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
	ALTA/ACSM LAND TITLE SURVEY
C1.2	DEMOLITION
C2.1	SITE PLAN
C2.2	SITE PHOTOMETRIC PLAN
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
C7.3	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE
L7.1	LANDSCAPE DETAILS

OWNER

NEIGHBORHOOD HEALTHSOURCE
3300 FREMONT AVENUE NORTH
MINNEAPOLIS, MN 55412
TEL (612) 588-9411
FAX (612) 522-6627
CONTACT: STEVE KNUTSON

DEVELOPER

PAR-10
6133 BLUE CIRCLE DR
MINNETONKA, MN 55343
TEL (612) 780-0515
FAX (952) 857-2595
CONTACT: MATT PARTEN

CIVIL SHEET INDEX

SHEET NO.	DESCRIPTION
C0.1	CIVIL TITLE SHEET
	ALTA/ACSM LAND TITLE SURVEY
C1.2	DEMOLITION
C2.1	SITE PLAN
C2.2	SITE PHOTOMETRIC PLAN
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE PLAN
L7.1	LANDSCAPE DETAILS

SITE/UTILITY CONTACTS

CITY PLANNER CITY OF MINNEAPOLIS 105 5TH AVE S STE 200 MINNEAPOLIS, MN 55401 KIMBERLY HOLIEN TEL: (612) 673-2402 FAX:	FIRE DEPARTMENT MINNEAPOLIS FIRE DEPARTMENT 350 S 5TH ST RM 233 MINNEAPOLIS, MN 55415 TEL: (612) 673-2890 FAX: (612) 673-2828
WATER AND SANITARY SEWER SERVICE WATER TREATMENT AND DISTRIBUTION SERVICES 935 5TH AVE SE MINNEAPOLIS, MN 55414 TEL: (612) 673-5600 FAX: (612) 331-8047	ELECTRIC SERVICE XCEL ENERGY 414 NICOLLET MALL MINNEAPOLIS, MN 55401 CustomerService@xcelenergy.com TEL: 1-800-481 4700 FAX: 1-800-895-2895
GAS SERVICE CENTER POINT ENERGY 800 LASALLE AVENUE MINNEAPOLIS, MN 554459 TEL: (612)-321-4939 FAX:	PUBLIC WORKS AND ENGINEERING MINNEAPOLIS PUBLIC WORKS & ENGINEERING 309 2ND AVD S RM 300 MINNEAPOLIS, MN 55401 TEL: (612) 673-2405 FAX: (612) 673-2048

REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY

DATE	REVISION	REVIEW
29 JUL 2014	PRELIMINARY PDR SUBMITTAL	TJS/DNC
28 JUL 2014	PDR SUBMITTAL	SES/DNC
08 AUG 2014	LAND USE SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY: SES DATE: 07.28.2014

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

LAND USE SUBMITTAL
08.08.2014

LANDFORM
From Site to Finish

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME C001PAR001

PROJECT NO. PAR14001

CIVIL TITLE SHEET

C0.1

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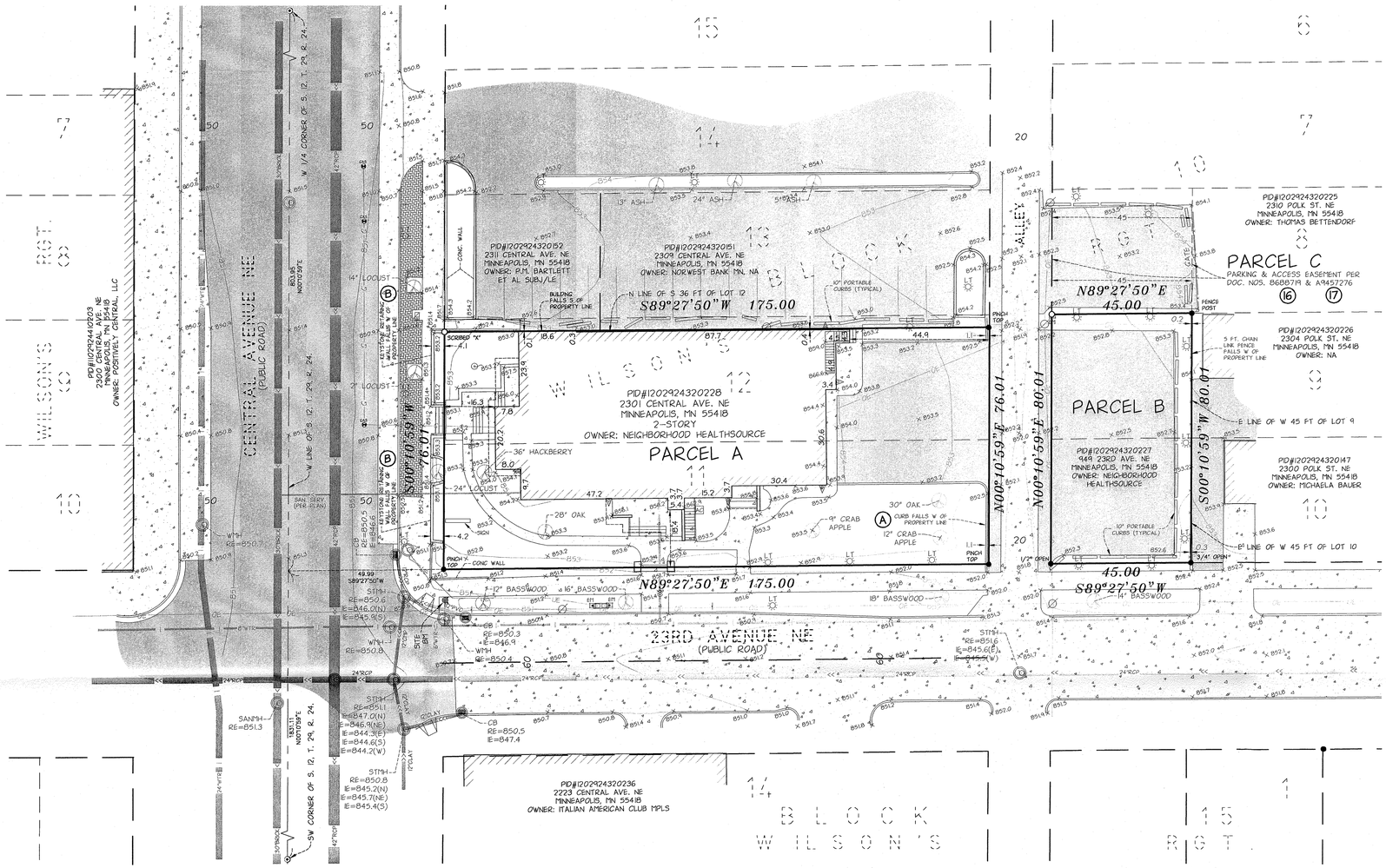
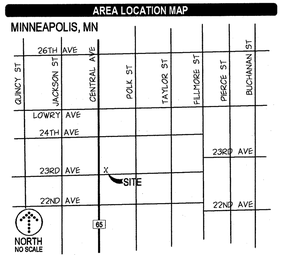


SITE SYMBOLS

EXISTING	DESCRIPTION
	BUILDING CANOPY/OVERHANG/COLUMNS
	CONCRETE SURFACE
	BITUMINOUS SURFACE
	PAVING BLOCK / STAMPED CONCRETE
123	CONTOUR
x123.4	SPOT ELEVATION
	CONCRETE CURB & GUTTER
	CONCRETE CURB
	PEDESTRIAN RAMP
HEIGHT, TYPE / HEIGHT, TYPE	FENCING
	HAND RAIL
	CONCRETE WALL
	SHRUB
	TREES
	MANHOLE
	CATCH BASIN
	ROOF DRAIN
	CLEANOUT
	FIRE HYDRANT
	WATER VALVE / CURB STOP
	LIGHT POLE
	GUY WIRE
	POWERPOLE
	TRANSFORMER
	AIR CONDITIONER
	UTILITY BOX (TV, TEL, ELEC)
	HAND-HOLE
	ELECTRIC METER
	GAS METER
	GAS VALVE
	CURB STOP
	GUARD POST
	TRAFFIC SIGN
	FLAG POLE
	1/2" x 14" IRON PIPE MONUMENT WITH PLASTIC CAP #48988 SET
	CAST IRON MONUMENT FOUND
	IRON MONUMENT FOUND
12"STS	STORM SEWER LINE
8"SAN	SANITARY SEWER LINE
6"WTR	WATER MAIN
G	UNDERGROUND GAS MAIN
UE	UNDERGROUND ELECTRIC
OE	OVERHEAD UTILITY LINES
1	ITEM NUMBER
WILSON'S RGT.	WILSON'S RE-ARRANGEMENT OF BLOCKS 2, 3, 6, 7, 9, 10, 11, 14, 15, 19, 20, 21, 24, 26, 29, 31, 33, 35, 37, 39, 41 OF EAST SIDE ADDITION TO CITY OF MINNEAPOLIS

AREA LOCATION MAP



BENCHMARK

PROJECT BENCHMARK:
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STATION NAME: 2783 Q
IN NE MINNEAPOLIS, IN BRIDGE ABUTMENT IN SE CORNER OF SOUTHBOUND HWY. 35 W BRIDGE NO. 27887 OVER NORTHBOUND HWY. 35 W EXIT CONNECTION TO JOHNSON ST. NE, 0.24 MILES W OF JUNCTION OF WESTBOUND HWY. 35 W OVER NEW BRIGHTON BLVD.

ELEVATION = 850.95 (NAVD88)

SITE BENCHMARK:
TOP NUT OF FIRE HYDRANT
LOCATION: NE CORNER OF CENTRAL AVE. & 23RD AVE.

ELEVATION = 854.18 (NAVD88)

ZONING AND SETBACKS

ACCORDING TO THE CITY OF MINNEAPOLIS:

ZONING: C1 NEIGHBORHOOD COMMERCIAL DISTRICT (PRIMARY ZONING DISTRICT)

PO, PEDESTRIAN ORIENTED (OVERLAY ZONING DISTRICT)

SETBACKS:
MINIMUM FRONT YARD: 25 FEET
MINIMUM SIDE YARD: 5 FEET OR 25 FEET ON SIDE YARD ABUTING THE FRONT OF RESIDENTIAL PROPERTY.
MINIMUM REAR YARD: 5 FEET

DUE TO THE COMPLEXITY OF THE CITY OF MINNEAPOLIS ZONING REGULATIONS, IT IS RECOMMENDED THE CITY PLANNING DEPARTMENT BE CONTACTED AT 612-673-5095 OR ON THE WEB AT HTTP://WWW.MINNEAPOLISMN.GOV TO REVIEW THE CITY CODE IN ITS ENTIRETY.

FLOOD ZONE

SUBJECT PROPERTY DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA PER PER MAP INDEX NO. 27053C0201A AND NON-PRINTED PANEL NO. 27053C0240E. BOTH HAVING AN EFFECTIVE DATE OF SEPTEMBER 2, 2004.

AREA SUMMARY

PARCEL A = 13,301 SQ. FT. OR 0.31 ACRES
PARCEL B = 3,600 SQ. FT. OR 0.08 ACRES
TOTAL AREA = 16,901 SQ. FT. OR 0.39 ACRES

PARKING SUMMARY

NO PARKING ON SUBJECT PROPERTY. PARKING AVAILABLE PER EASEMENTS IN DOC. NOS. 8688719 (ITEM 16) & A9457276 (ITEM 17).

LEGAL DESCRIPTION

PER SCHEDULE "A" OF KNIGHT BARRY TITLE, INC. COMMITMENT FOR TITLE INSURANCE, FILE NO. 706863 HAVING AN EFFECTIVE DATE OF MAY 13, 2014:

PARCEL A

LOT 11 AND THE SOUTH 36 FEET FRONT AND REAR OF LOT 12, BLOCK 10, WILSON'S REARRANGEMENT OF BLOCKS 2, 3, 6, 7, 9, 10, 11, 14, 15, 19, 20, 21, 24, 26, 29, 31, 33, 35, 37, 39, 41 OF EAST SIDE ADDITION TO CITY OF MINNEAPOLIS.

PARCEL B

THE REAR 45 FEET OF LOTS 9 AND 10, BLOCK 10, WILSON'S REARRANGEMENT OF BLOCKS 2, 3, 6, 7, 9, 10, 11, 14, 15, 19, 20, 21, 24, 26, 29, 31, 33, 35, 37, 39, 41 OF EAST SIDE ADDITION TO CITY OF MINNEAPOLIS.

PARCEL C

TOGETHER WITH EASEMENT FOR ACCESS AND PARKING PURPOSES OVER PART OF LOT 8, BLOCK 10, WILSON'S REARRANGEMENT OF BLOCKS 2, 3, 6, 7, 9, 10, 11, 14, 15, 19, 20, 21, 24, 26, 29, 31, 33, 35, 37, 39, 41 OF EAST SIDE ADDITION TO CITY OF MINNEAPOLIS, AS DESCRIBED IN THE EASEMENT AGREEMENT, DATED JULY 20, 2005, RECORDED NOVEMBER 4, 2005, IN THE OFFICE OF THE HENNEPIN COUNTY RECORDER AS DOCUMENT NO. 8688719.

ABSTRACT PROPERTY

SURVEY NOTES

1. BACKGROUND INFORMATION SHOWN PER BOUNDARY SURVEY PERFORMED BY LANDFORM ON JULY 11, 2014 EXPRESSLY FOR THIS PROJECT.
2. FOR THE PURPOSES OF THIS SURVEY THE BEARING BASIS THE WEST LINE OF SECTION 12, TOWNSHIP 29, RANGE 24 IS ASSUMED TO BEAR NORTH 00 DEGREES 10 MINUTES 59 SECONDS EAST ACCORDING TO THE SECTION BREAKDOWN, HENNEPIN COUNTY, MINNESOTA.
3. THE UTILITIES SERVING THIS PROPERTY HAVE BEEN LOCATED TO THE BEST OF THE SURVEYOR'S ABLITY USING THE SERVICES OF GOPHER STATE ONE CALL– TICKET NO. 141780001, A PRIVATE UTILITY LOCATE, AND AVAILABLE MAPS. NOT ALL SERVICE PROVIDERS RESPONDED TO THE ONE CALL. THE SURVEYOR DOES NOT GUARANTEE, IN WRITING OR ASSUMED, THAT THE UTILITES AS SHOWN ARE IN THE EXACT LOCATION. NO EXCAVATION WAS PERFORMED TO LOCATE THE UNDERGROUND UTILITES.
4. THE PROPERTY HAS ACCESS TO CENTRAL AVE. NE & 23RD AVE. NE, ALL PUBLICLY DEDICATED AVENUES VIA DIRECT ACCESS.

TITLE ITEMS

PER SCHEDULE B – SECTION II EXCEPTIONS OF KNIGHT BARRY TITLE, INC. COMMITMENT FOR TITLE INSURANCE, FILE NO. 706863 HAVING AN EFFECTIVE DATE OF MAY 13, 2014:

ITEMS 1 THROUGH 10 ARE STANDARD TITLE EXCEPTIONS AND NOT RELATED SPECIFICALLY TO THIS SURVEY.

ITEM 11 – EASEMENTS, RESTRICTIONS AND OTHER MATTERS SHOWN ON THE PLAT OF WILSON'S REARRANGEMENT OF OF BLOCKS 2, 3, 6, 7, 9, 10, 11, 14, 15, 19, 20, 21, 24, 26, 29, 31, 33, 35, 37, 39, 41 OF EAST SIDE ADDITION TO CITY OF MINNEAPOLIS. [AFFECTS SUBJECT PROPERTY – NOT ABLE TO SHOW]

ITEMS 12 THROUGH 14 ARE NOT SURVEY RELATED.

ITEM 15 – EASEMENT FOR CABLE/TELECOMMUNICATIONS SERVICES IN FAVOR OF KBL CABLESYSTEMS OF MINNEAPOLIS L.P. ETC. AND OTHER MATTERS CONTAINED IN THE INSTRUMENT RECORDED SEPTEMBER 1, 1998 AS DOCUMENT NO. 6960027. (PARCEL A) [BLANKET IN NATURE – NOT ABLE TO SHOW]

ITEM 16 – TERMS AND CONDITIONS OF EASEMENT AGREEMENT DATED JULY 20, 2005, AND RECORDED NOVEMBER 4, 2005, AS DOCUMENT NO. 8688719, BY AND BETWEEN OLD TREASURE REAL ESTATE DEVELOPMENT, LLC, A MINNESOTA LIMITED LIABILITY COMPANY, AND TPT PROPERTIES, A MINNESOTA PARTNERSHIP, PROVIDING PARCELS A AND B AN EXCLUSIVE EASEMENT OVER LOT 8, BLOCK 10 (FOR "PARKING AND VEHICULAR AND PEDESTRIAN DRIVEWAY AND SIDEWALKS ...." – SEE DOCUMENT). [BLANKET IN NATURE – SHOWN AS REFERENCED & DEFINED IN DOC. NO. A9457276 (ITEM 17)]

ITEM 17 – TERMS AND CONDITIONS OF LICENSE AGREEMENT DATED DECEMBER 13, 2009, AND RECORDED DECEMBER 22, 2009, AS DOCUMENT NO. A9457276, BY AND BETWEEN TPT PROPERTIES, A MINNESOTA PARTNERSHIP, LICENSOR, AND THOMAS BETTENDORF, LICENSEE (RE: PERMISSION TO USE PARCEL C EASEMENT––SEE DOCUMENT). [AS SHOWN]

ITEM 18 – SPECIAL ASSESSMENTS LEVIED AFTER THE EFFECTIVE DATE OF THIS COMMITMENT.

NOTE: AN ASSESSMENT SEARCH OF THE LAND HAS BEEN ORDERED, AND UPON RECEIPT, THIS COMMITMENT WILL BE AMENDED.

[UNDEFINED – NOT ABLE TO SHOW]

ITEM 19 – POSSIBLE OVERLAP OF THAT PART OF LOT 12 IN PARCEL A WITH THE LAND CONVEYED TO NORWEST BANK MINNESOTA, N.A. BY THE WARRANTY DEED, DATED JANUARY 8,1990, RECORDED JANUARY 18,1990, AS DOCUMENT NO. 5617865. [NOT ABLE TO SHOW]

TITLE ITEMS

ITEM 20 – POSSIBLE OVERLAP OF THAT PART OF LOT 10 IN PARCEL B WITH THE LAND DESCRIBED IN WARRANTY DEED RECORDED APRIL 6, 2005, AS DOCUMENT NO. 8557151 AND IN WARRANTY DEED RECORDED JANUARY 17, 2008, AS DOCUMENT NO. 9086462. [NOT ABLE TO SHOW]

ITEM 21 – RIGHTS OR CLAIMS OF TENANTS IN POSSESSION OF THE LAND UNDER UNRECORDED LEASES. [NOT ABLE TO SHOW]

POSSIBLE ENCROACHMENT ITEMS

ITEM A – CURB AND BITUMINOUS FOR ALLEY FALLING WEST OF PROPERTY LINE.

ITEM B – RETAINING WALL FALLS WEST OF PROPERTY LINE.

CERTIFICATION

TO KNIGHT BARRY TITLE, INC.; NEIGHBORHOOD HEALTHSOURCE, A MINNESOTA NON-PROFIT CORPORATION; TPT PROPERTIES, A MINNESOTA PARTNERSHIP; PAR-10 COMPANES:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(c), 8, 9, 11(b) AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 8TH AND 15TH, 2011

DATE OF SURVEY: JULY 16, 2014
REVISED: JULY 24, 2014

MAX L. STANISLOWSKI
MINNESOTA LAND SURVEYOR LICENSE NO. 48988

MAX L. STANISLOWSKI
LICENSED LAND SURVEYOR No. 48988
STATE OF MINNESOTA

Know what's Below. Call before you dig.

NORTH
0 20 40

CLIENT

PAR-10 COMPANIES
6133 BLUE CIRCLE DRIVE
MINNETONKA, MN 55343
TEL 612-760-0515

MUNICIPALITY

MINNEAPOLIS
City of Lakes

PROJECT

NEIGHBORHOOD HEALTHSOURCE MOB
MINNEAPOLIS, MN

SHEET INDEX

SHEET	TITLE

REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY

DATE	REVISION	BY
07/24/2014	REVISED TO SHOW WATER MAIN, SANITARY SERVICE (PER PLAN), AND FOUND LOT CORNERS.	MLS

PROJECT MANAGER REVIEW

BY DATE

CERTIFICATION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET WAS REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS

LANDFORM
From Site to Finish

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME alta-PAR14001-R1.dwg
PROJECT NO. PAR14001

ALTA/ACSM
LAND TITLE SURVEY

SHEET NO. /1

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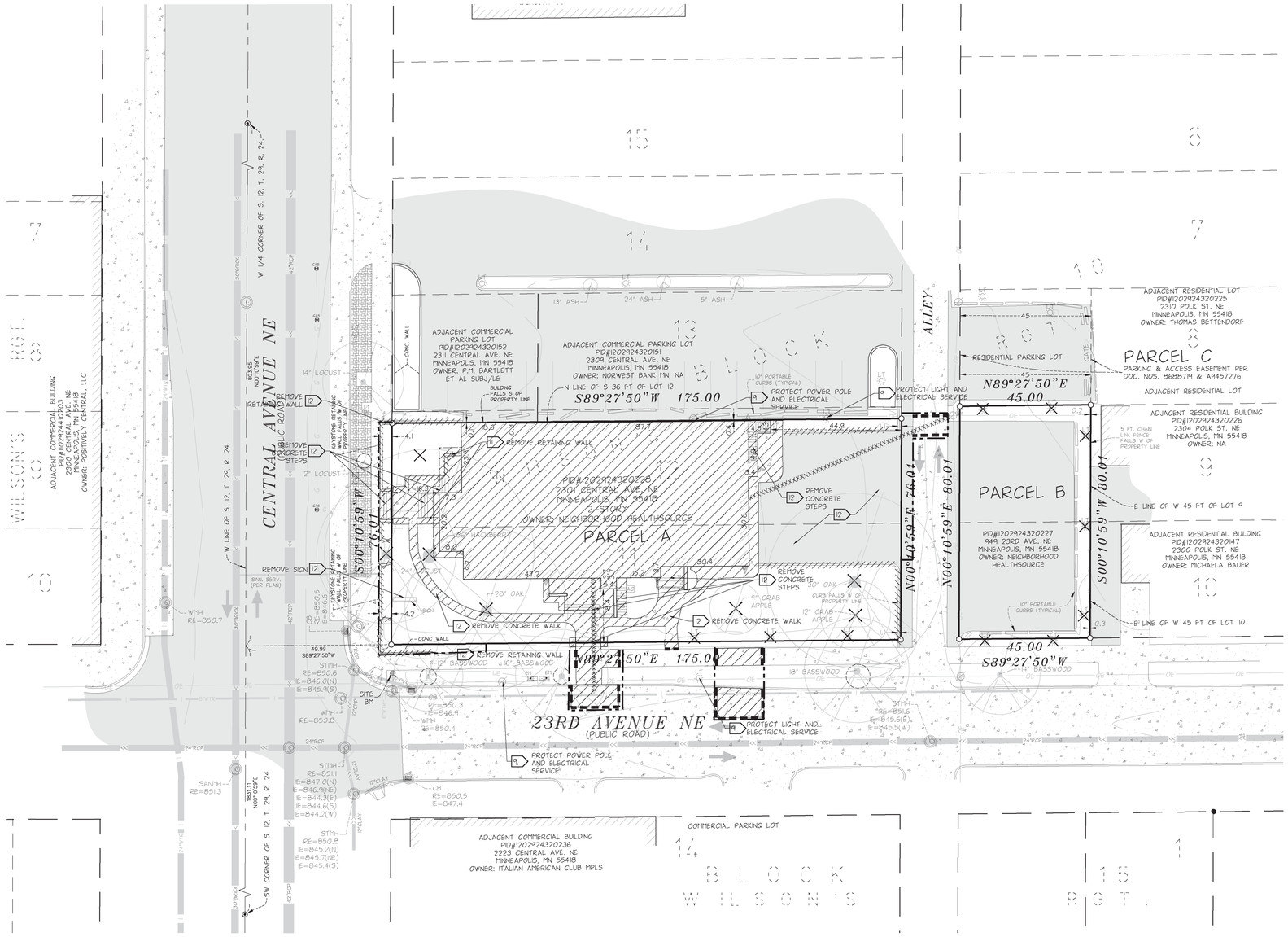

DEMOLITION AND CLEARING NOTES

1. OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
2. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
3. SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
4. BUILDING DEMOLITION: VERIFY WITH OWNER THAT BUILDING HAS BEEN CLEARED OF REGULATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL. REMOVE STRUCTURE, COLUMNS, CANOPIES, FOOTINGS, FOUNDATIONS, AND ANY ASSOCIATED CONSTRUCTION IN ITS ENTIRETY.
5. DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
6. REFER TO DETAILS FOR PAVEMENT SAWCUT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
7. COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.
8. PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
9. PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOD, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
10. ABANDON WELLS AND ON SITE SEWAGE FACILITIES PRIOR TO ANY OTHER DEMOLITION IN ACCORDANCE WITH REQUIREMENTS OF REGULATORY AUTHORITIES.
11. REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH OWNER TO MARK TREES TO BE SAVED PRIOR TO CLEARING.
12. REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
13. COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
14. EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
15. HAUL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.
16. PROTECT TREE ROOT ZONES. NO CONSTRUCTION EQUIPMENT OR MATERIALS SHALL BE PLACED, PARKED, OR STORED ON ANY UNPAVED AREA WITHIN THE DRIP LINE OF ANY CITY OWNED TREE. NO CHEMICALS OR PETROLEUM PRODUCTS SHALL BE DEPOSITED ON ANY UNPAVED AREA IN THE CITY RIGHT OF WAY. ALSO, NO EQUIPMENT OR MATERIALS MAY BE PLACED, PARKED, OR STORED ON ANY UNPAVED BOULEVARD MEDIAN.
17. ANY TREE ROOTS ENCOUNTERED ARE TO BE CLEANLY CUT USING HAND TOOLS.
18. CARE SHALL BE TAKEN NOT TO DAMAGE TREE TRUNKS OR BRANCHES. YOU MUST CONTACT FORESTRY DEPARTMENT INSPECTIONS AT (612)-499-9233, AT LEAST 3 DAYS PRIOR STARTING WORK TO DISCUSS PROBLEMS OF OVERHANGING BRANCHES THAT MAY BE DAMAGED.
19. IF EQUIPMENT MUST BE OPERATED ON TREE BORDER WITHIN THE DRIPLINE OF CITY TREES; MATS, PLANKING OR 12" DEEP MULCH LAYER SHALL BE PLACED TO MINIMIZE SOIL COMPACTION.

LEGEND

- TREE REMOVAL
- TREE PROTECTION
- STRUCTURE AND/OR PAVEMENT REMOVAL
- CURB REMOVAL
- CONSTRUCTION LIMITS
- SOIL BORING
- PAVEMENT SAWCUT
- UTILITY LINE REMOVAL

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25 JUL 2014	PRELIMINARY PDR SUBMITTAL	TJS/CNC
28 JUL 2014	PDR SUBMITTAL	SES/CNC
08 AUG 2014	LAND USE SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES DATE 07.28.2014

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FILE NAME	C102PAR001
PROJECT NO.	PAR14001

DEMOLITION

C1.2

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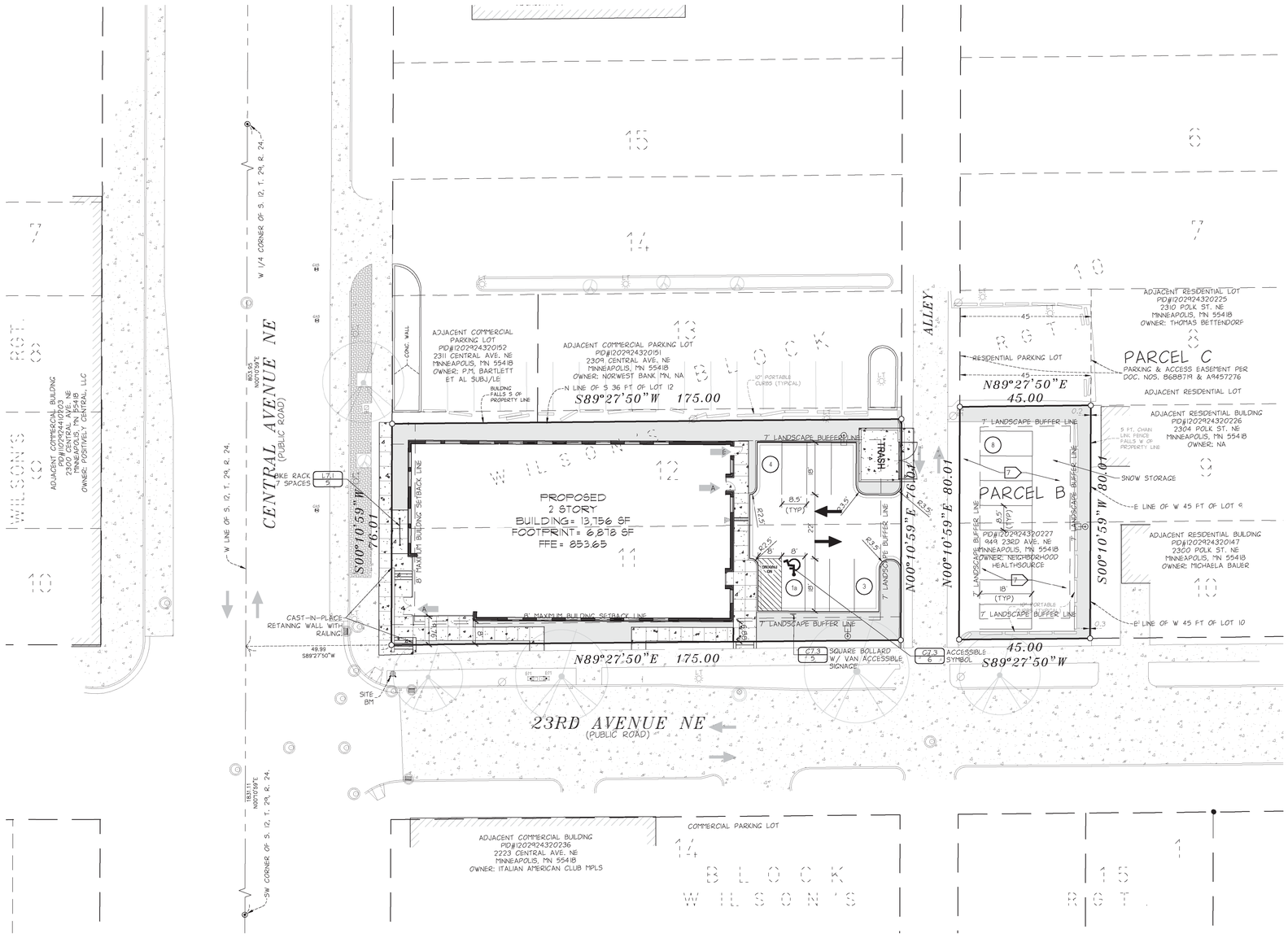

SITE PLAN NOTES

1. OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
2. THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
3. BUILDING LAYOUT ANGLES ARE PARALLEL WITH OR PERPENDICULAR TO THE PROPERTY LINE AT THE LOCATION INDICATED.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
5. DELINEATE PARKING STALLS WITH A 4-INCH WIDE WHITE PAINTED STRIPE. DELINEATE ACCESS AISLES WITH 4-INCH WIDE WHITE PAINTED STRIPES 18 INCHES ON CENTER AND AT 45 DEGREE ANGLE TO DIRECTION OF TRAVEL.
6. TRASH/RECYCLING AREAS: SEE ARCHITECTURAL DRAWINGS.
7. MILL AND OVERLAY BITUMINOUS SURFACE PRIOR TO STRIPING IN PARCEL B.

GREEN SPACE (LANDSCAPE AREA)

PARKING SUMMARY

REQUIRED PARKING:

ONE STALL PER 500 SF OF BUILDING GFA- MAX 8,000 SF TWO STORIES
MEDICAL OFFICE 6,878 SF TOTAL- TOP FLR
MEDICAL CLINIC 6,878 SF TOTAL- GROUND FLR
13,756 SF/500 = 28 STALLS

TOTAL PARKING STALLS REQUIRED	28 EA.

REDUCED REQUIRED PARKING:

BICYCLE REDUCTION 28 - 10%	
TOTAL PARKING STALLS REQUIRED	25 EA.
PEDESTRIAN OVERLAY DISTRICT REDUCTION 25 - 25%	
TOTAL PARKING STALLS REQUIRED	19 EA.

PROVIDED PARKING:

STANDARD STALLS	(8.5x18)	15 EA.
ACCESSIBLE VAN STALLS	(8x18)	1 EA.
TOTAL PARKING STALLS PROVIDED		16 EA.

REQUIRED BICYCLE PARKING:

MEDICAL FACILITY = 3 SPACES
PARKING REDUCTION (28*25%) = 7 SPACES

TOTAL BICYCLE SPACES REQUIRED	7 EA.

PROVIDED BICYCLE PARKING:

TOTAL BICYCLE SPACES PROVIDED	7 EA.

ZONING SUMMARY

THE PROPERTY IS ZONED NEIGHBORHOOD COMMERCIAL DISTRICT ZONE (C1) -OVERLAY DISTRICT ZONE PEDESTRIAN ORIENTED (PO)

BUILDING SETBACK INFORMATION IS AS FOLLOWS:
FRONT YARD (C1) = 25 FT. / (PO) = 8 FT.
REAR (C1) = 7 FT.
SIDE (C1) = 7 FT.
CORNER MAX SETBACK (PO OVERLAY DISTRICT) = 8 FT.

LANDSCAPE YARD SETBACK INFORMATION IS AS FOLLOWS:
FRONT YARD = 7 FT.
REAR = 7 FT.
SIDE = 7 FT.

AREA SUMMARY

EXISTING:

PERVIOUS	4,581	S.F.	27.1%
IMPERVIOUS	12,320	S.F.	72.9%
TOTAL (0.39 Ac)	16,901	S.F.	100.0%

PROPOSED:

PERVIOUS	2,964	S.F.	17.5%
IMPERVIOUS	13,937	S.F.	82.5%
TOTAL (0.39 Ac)	16,901	S.F.	100.0%

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FILE NAME	C201PAR001
PROJECT NO.	PAR14001

SITE PLAN
C2.1

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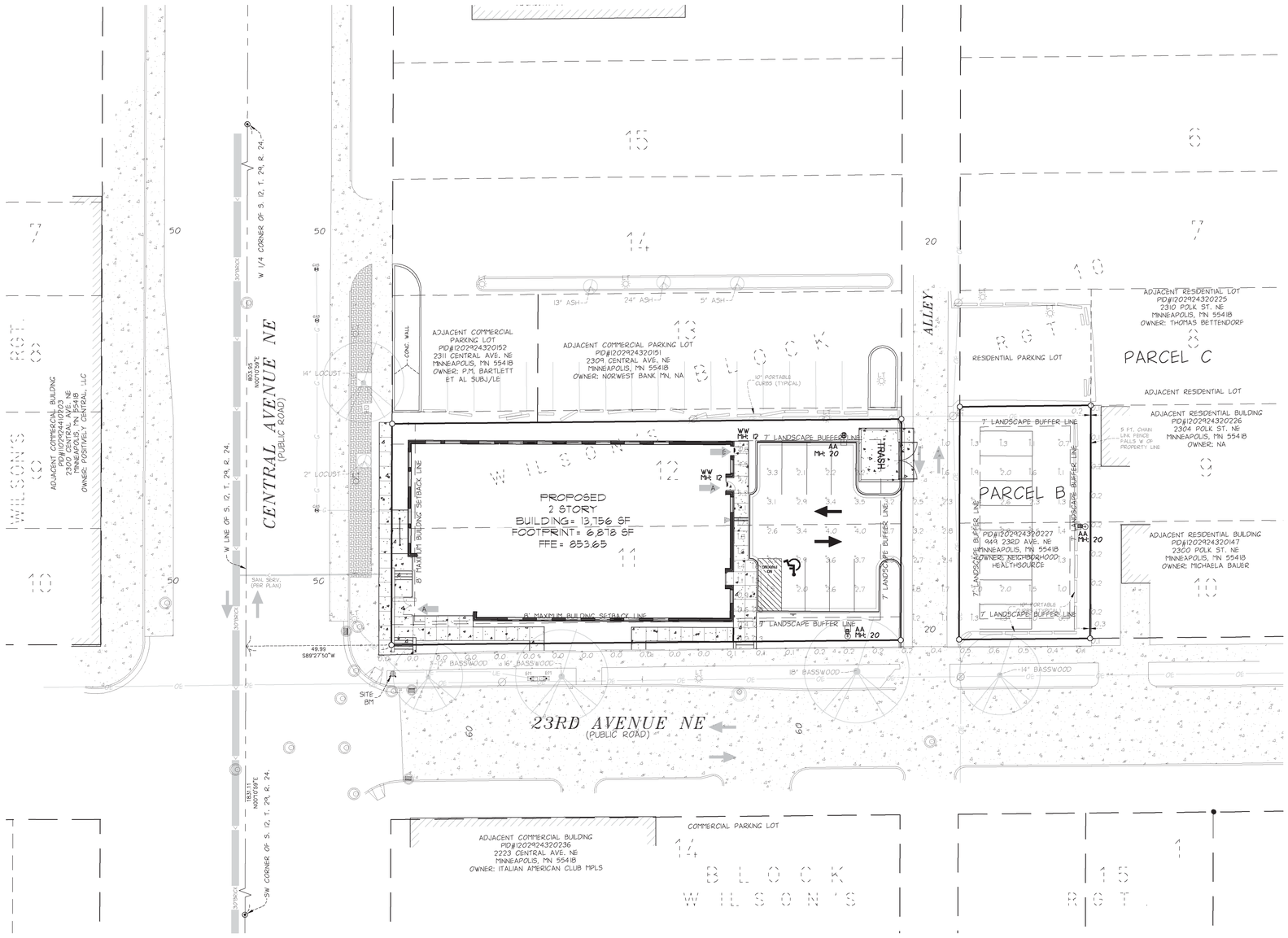

SITE LIGHTING NOTES

1. SITE LIGHTING PHOTOMETRICS PREPARED BY LIGHTING FUNDAMENTALS, LLC COMPANY.
2. COORDINATE WITH ELECTRICAL CONTRACTOR TO PROVIDE CONDUITS FOR SITE LIGHTING.
3. CONTRACTOR SHALL USE SPECIFIED LIGHTING FIXTURES.
4. LIGHT POLE BASE TO BE DESIGNED AND PROVIDED BY OTHERS.

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LLF	DESCRIPTION
	3	AA	SINGLE	0.900	GARDCO #P21-4-130LA-NW-EHHS SINGLE AT 20FT MH
	2	WW	SINGLE	0.900	ESI #L-WPC100-M2-41

ALL POLE MOUNTED LUMINAIRES ARE EQUIPPED WITH HOUSE SIDE SHIELDS

CALCULATION SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
EAST PROPERTY LINE	ILLUMINANCE	Fc	0.17	0.2	0.1	1.70	2.00
EAST SIDEWALK_PLANAR	ILLUMINANCE	Fc	1.88	5.7	0.2	9.40	28.50
PARKING AREAS_PLANAR	ILLUMINANCE	Fc	2.24	4.0	0.7	3.20	5.71
SOUTH PROPERTY LINE	ILLUMINANCE	Fc	0.14	0.6	0.0	N.A.	N.A.

LIGHTING CALCULATIONS BY:
CHARLIE LEAVITT, LC, MES
LIGHTING FUNDAMENTALS, LLC

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FILE NAME C201PAR001

PROJECT NO. PAR14001

SITE PHOTOMETRIC PLAN

C2.2

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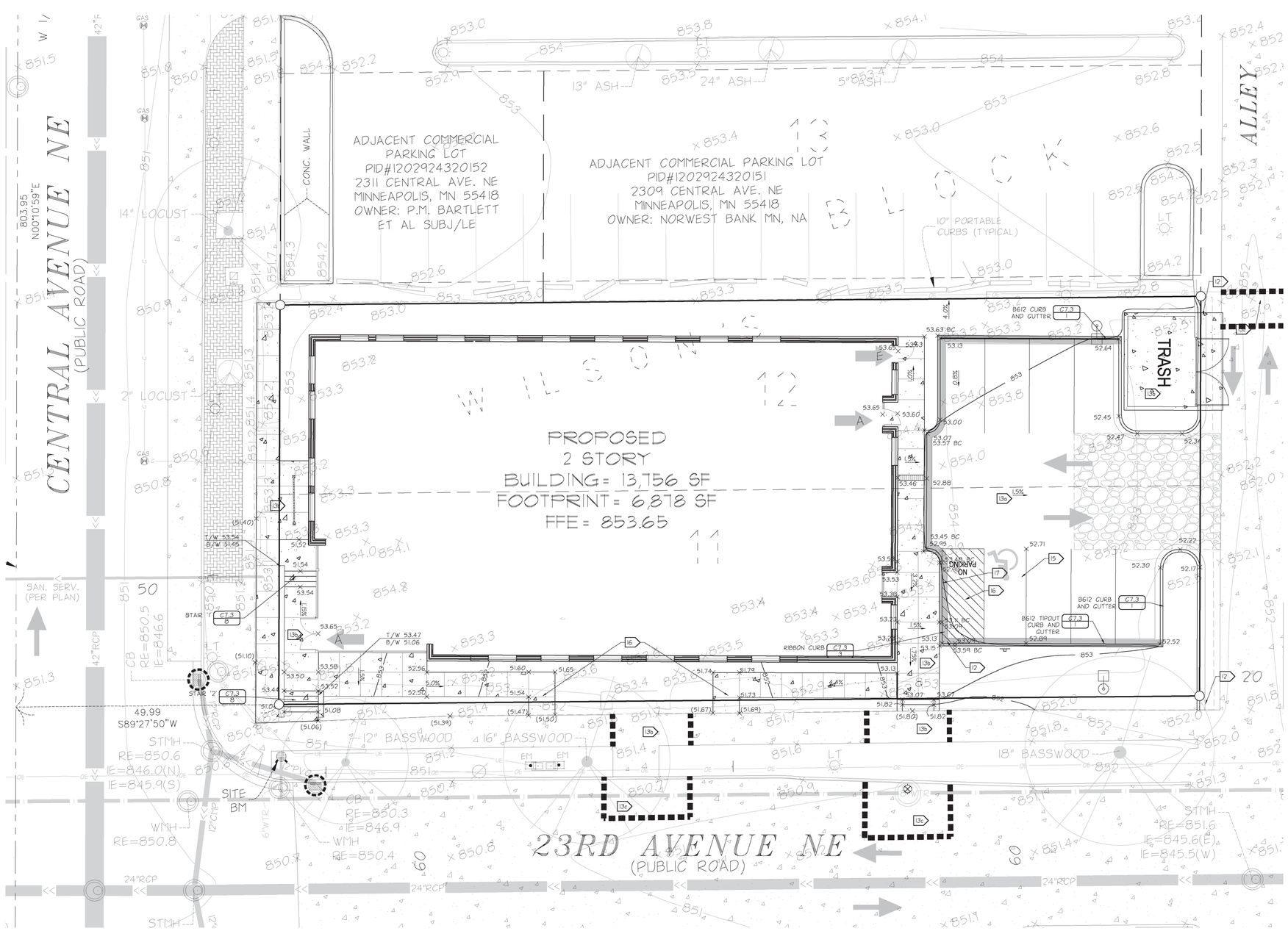

GRADING NOTES

1. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNNG GRADING.
2. REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
3. REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
4. ROUGH GRADE BUILDING PAD TO 12 INCHES BELOW FINISHED FLOOR ELEVATION (FFE).
5. REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
6. AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
7. PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
8. COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.
9. COORDINATE WITH ARCHITECTURAL FOR BUILDING STOOP LOCATIONS. SLOPES SHOWN ON ADJACENT WALKS AND PAVEMENTS SHOULD CONTINUE OVER STOOPS.
10. AVOID SOIL COMPACTION OF INFILTRATION PRACTICES. ANY EQUIPMENT USED IN INFILTRATION AREAS SHOULD BE SMALL SCALED AND TRACKED.

PAVING NOTES

11. SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RIM ELEVATIONS OF CATCH BASINS.

12 3' NOSE DOWN CURB PER DETAIL 9, SHEET C7.3.

13 PAVING SECTIONS
   a. BITUMINOUS PAVING (LIGHT DUTY)
      1 1/2-INCH BITUMINOUS WEAR (MNDOT 2360, SPWEA240B)
      TACK COAT (MNDOT 2357)
      2 1/2-INCH BITUMINOUS BASE (MNDOT 2360, SPNWB230B)
      6-INCH AGGREGATE BASE (MNDOT 3138, CLASS 5)
      COMPACTED SUBSOIL
   b. CONCRETE WALKWAYS
      4-INCH CONCRETE WALK, 4000 PSI, 5%-8% AIR ENTRAINED, MAX. 4" SLUMP (MNDOT 2301) W/6X6 NCH, #10 WWM
      4-INCH AGGREGATE BASE (MNDOT 3138, CLASS 5)
      COMPACTED SUBSOIL
   c. CONCRETE PAVING
      MATCH EXISTING PAVEMENT SECTION

14. CONCRETE JOINTS
   INSTALL JOINTS AS SHOWN AND ALIGN ACROSS SIDEWALKS, CURBS, AND PAVEMENT, PAYING ATTENTION TO SPACING OF EXPANSION JOINTS. JOINT SPACING SHALL BE AS FOLLOWS:
   a. TOOLED JOINTS: DIVIDE PANELS INTO NOMINALLY EQUAL AREAS UNLESS SHOWN OTHERWISE.
   b. EXPANSION JOINTS: SIDEWALKS – 40 FEET MAX.; CURBS – 60 FEET MAX.; PAVEMENT: 80 FEET MAX.; ADJACENT TO BUILDING FOUNDATIONS AND STOOPS.
   c. CONTRACTION JOINTS: SIDEWALKS – 8 TO 10 FEET; CURBS AND APRONS – 12 TO 15 FEET.

15 ACCESSIBLE PARKING STALLS AND ADJACENT ACCESS AISLES SHALL NOT EXCEED A 2.00% SLOPE IN ANY DIRECTION.

16 ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM RUNNING SLOPE OF 5.00%.

17 CURB TRANSITION FROM B612 CURB AND GUTTER TO RIBBON CURB PER DETAIL 4, SHEET C7.3.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

18. INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
19. LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
20. MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
21. RESTORE DISTURBED OPEN AREAS WITH TEMPORARY SEED OR SOD WITHIN 72 HOURS OF COMPLETING GRADING IN EACH AREA.
22. SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.

ITEM	SPECIFICATION NUMBER
SOD	MNDOT 3878
MN TYPE 22-111 @ 30.5 LB/AC – TEMPORARY EROSION CONTROL	
MN TYPE 25-151 @ 120 LB/AC – PERMANENT TURF	
MULCH (MNDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED)	MNDOT 3882
FERTILIZER	MNDOT 3881
GENERAL PLACEMENT	MNDOT 2575

23. SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
24. SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

NPDES AREA SUMMARY

	EXISTING	PROPOSED	ULTIMATE
PERVIOUS	0.11 ACRES	0.06 ACRES	.06 ACRES
IMPERVIOUS	0.28 ACRES	.33 ACRES	.33 ACRES
TOTAL	0.39 ACRES	0.39 ACRES	0.39 ACRES

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	:INLET PROTECTION	2 EACH
	:SILT FENCE	523
	:VEHICLE TRACKING PAD	1 EACH
	:TIP OUT CURB	
	:PAVEMENT SAWCUT	
	:CONSTRUCTION LIMITS	
TW XXX.XX BW XXX.XX	:TOP OF WALL :BOTTOM OF WALL	

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FILE NAME C301PAR001

PROJECT NO. PAR14001

GRADING, DRAINAGE, PAVING & EROSION CONTROL
C3.1

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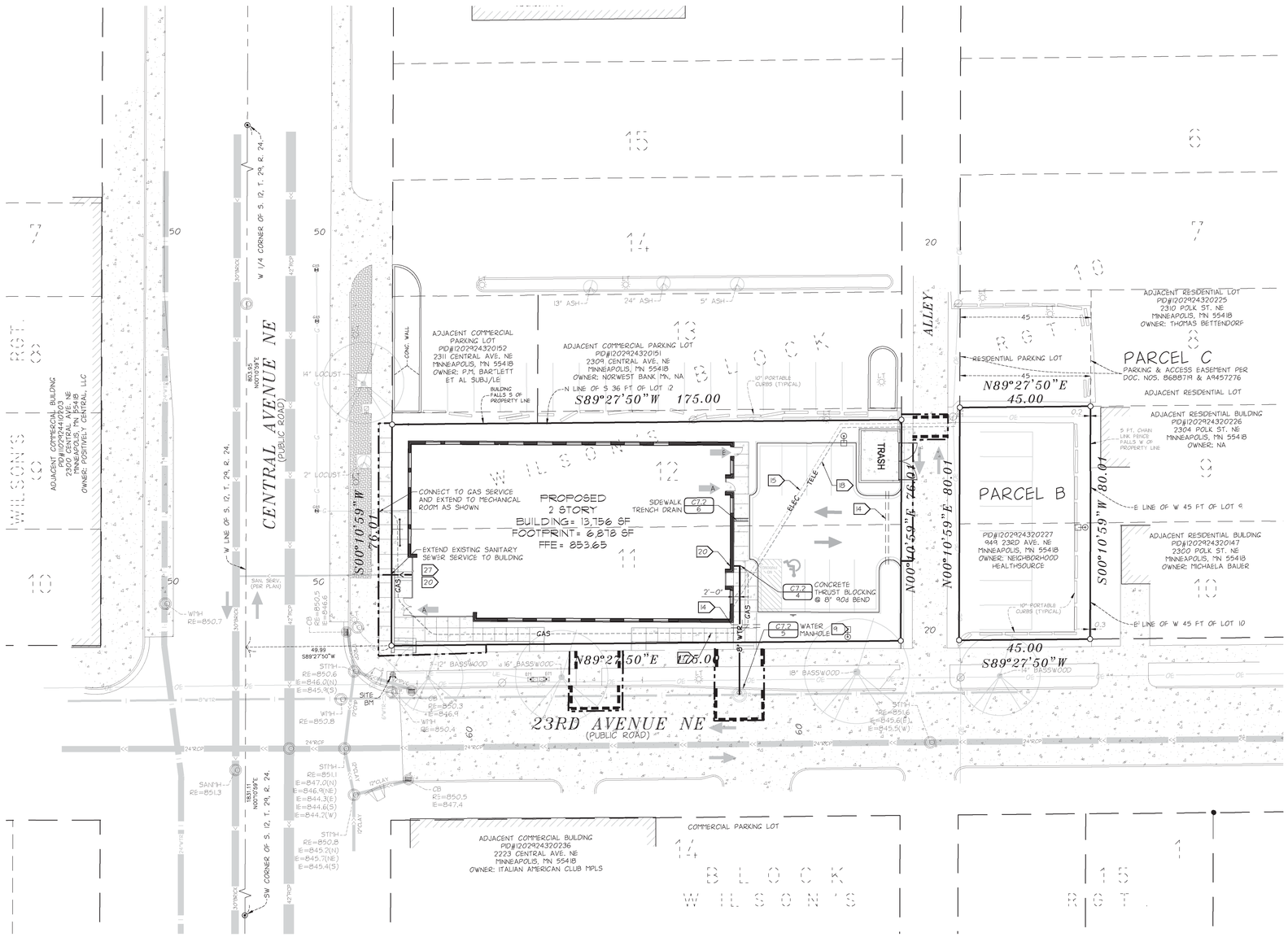

UTILITY NOTES

1. PIPE MATERIALS
   WATER SERVICE — DIP CLASS 52 (ANSI A21.51/AWWA C151)
   SAN. SEWER SERVICE — PVC SCHEDULE 40 (ASTM: D3034, D2665, & F891)
2. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
3. COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNCATIONS SERVICES TO BUILDING.
4. PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
5. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
6. ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
7. INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
8. CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF MINNEAPOLIS STANDARDS.
9. CONTACT CITY OF MINNEAPOLIS FOR WET TAP INSPECTION.
10. MAINTAIN 7.5 FEET OF COVER ON WATER.
11. DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM OUTSIDE SEPARATION AT SEWER CROSSINGS. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
12. CONTACT CITY OF MINNEAPOLIS BUILDING DEPARTMENT FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
13. PROVIDE 4-INCH RIGID FOAM INSULATION ON SANITARY SEWER LESS THAN 6 FEET DEEP.
14. IRRIGATION SLEEVE TO BE 4" SCHEDULE 80 PVC BURIED 24" BELOW GRADE. EXTEND SLEEVES 3' BEYOND THE EDGE OF PAVEMENT. (COORDINATE WITH IRRIGATION CONTRACTOR.)
15. THE PRIMARY ELECTRIC FEED, TRANSFORMER, AND METER ARE PROVIDED AND INSTALLED BY XCEL ENERGY. THE TRANSFORMER PAD DESIGN IS PROVIDED BY THE UTILITY AND CONSTRUCTION IS BY THE CONTRACTOR. CONTACT UTILITY FOR PAD DETAIL. THE SECONDARY ELECTRIC AND CONDUITS SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
16. SEE SITE PHOTOMETRIC PLAN FOR ADDITIONAL INFORMATION.
17. CENTERPONT ENERGY WILL FURNISH AND INSTALL GAS SERVICE PIPING FROM THE MAINLINE TO THE METER AND THE METER. GAS SERVICE FROM THE METER SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR.
18. PROVIDE ONE 4-INCH PVC CONDUIT WITH PULL-STRING FROM EXISTING TELEPHONE SERVICE TO BUILDING.
19. PROVIDE CONDUITS FOR CABLE TELEVISION AND OTHER ELECTRONIC COMMUNICATION.
20. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS OF SERVICE CONNECTIONS AND CONTINUATION OF SERVICES WITHIN BUILDING.
21. CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION OF NEW UTILITIES TO VERIFY DEPTHS OF EXISTING LINES. CONTACT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED.
22. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATER TIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES.
23. ALL PORTIONS OF THE STORM SEWER SYSTEM, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.
24. THE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PER MINNESOTA RULES, PART 4715.2250.
25. PVC PIPING WITHIN RIGHT OF WAY LESS THAN 10" DIAMETER SHALL BE SCHEDULE 40 OR GREATER AND MORE THAN 10" DIAMETER SHALL BE SDR-26 OR GREATER.
26. THERE WILL NOT BE ANY NON-STORMWATER DISCHARGES FROM THIS SITE.
27. EXISTING SANITARY SEWER SERVICE SHALL BE FILMED TO DETERMINE SUITABILITY FOR REUSE PRIOR TO CONNECTION.

Know what's **Below.** **Call** before you dig.

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MUNICIPALITY

MINNEAPOLIS City of Lakes

PROJECT

NEIGHBORHOOD HEALTHSOURCE

MINNEAPOLIS, MN

SHEET INDEX

SHEET	TITLE
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C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
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C7.3	CIVIL CONSTRUCTION DETAILS
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L7.1	LANDSCAPE DETAILS

REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY

DATE	REVISION	REVIEW
25 JUL 2014	PRELIMINARY PDR SUBMITTAL	TJS/CNC
28 JUL 2014	PDR SUBMITTAL	SES/CNC
08 AUG 2014	LAND USE SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY: SES DATE 07.28.2014

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

LAND USE SUBMITTAL
08.08.2014

LANDFORM
From Site to Finish
105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME C401PAR001

PROJECT NO. PAR14001

UTILITIES

C4.1

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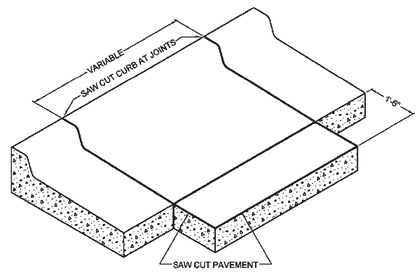
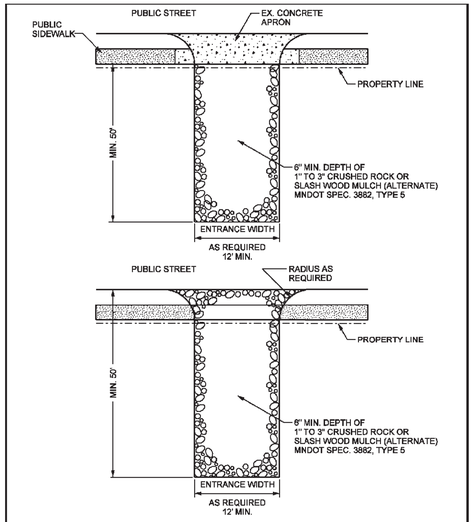


MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		SAW CUT AT CURB AND GUTTER REMOVAL	STANDARD PLATE NO. ROAD-1010
DRAWN: JFC	DATE: 9/15/07		
APPROVED: GAS	DATE: 9/18/08		

5 SAW CUT

NO SCALE



REMOVE TRACKED SEDIMENTS FROM PAVED SURFACES WITHIN 24 HOURS OF DEPOSITION PICK UP OR VACUUM SWEEPER REQUIRED

REFERENCES:
MINNESOTA URBAN SMALL SITES BMP MANUAL, PP. 3-69 TO 3-73
MNDOT EROSION CONTROL HANDBOOK

MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2573
NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		SEDIMENT CONTROL – ROCK ENTRANCE	STANDARD PLATE NO. SEWR-8002
DRAWN: DCD	DATE: 3/07		
APPROVED: HRS	DATE: 4/07		

3 ROCK CONSTRUCTION ENTRANCE

NO SCALE

EROSION AND SEDIMENT CONTROL NOTES

INSTALL PERIMETER EROSION CONTROLS AS INDICATED IN PLANS PRIOR TO START OF WORK. HAY BALES ARE NOT ALLOWED AS EROSION & SEDIMENT CONTROL DEVICE IN MINNEAPOLIS.

ESTABLISH ROCK CONSTRUCTION ENTRANCES PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES. 1 1/2" - 3" WASHED AGGREGATE IS RECOMMENDED FOR ROCK ENTRANCES, A GEOTEXTILE FABRIC IS REQUIRED.

REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND IN SUCH A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

INSTALL INLET PROTECTION IN ALL DOWNSTREAM CATCH BASINS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREA. CATCH BASIN INSERTS ARE REQUIRED AT ALL LOCATIONS NOT WITHIN THE DISTURBED AREA WHICH RECEIVE RUNOFF (MNDOT TYPE C INLET PROTECTION). NOTE HAY BALES AND SILT FENCE WRAPPED GRATES ARE NOT EFFECTIVE AND ARE NOT APPROVED FOR USE AS INLET PROTECTION DEVICES.

LOCATE ALL SOIL AND DIRT PILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. ALL STOCK PILES THAT REMAIN IN PLACE FOR 7 DAYS OR MORE SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPING OR OTHER MEANS. TEMPORARY STOCK PILES LOCATED ON PAVED SURFACES MUST BE AT LEAST 2 FEET OR MORE AWAY FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF REMAINING MORE THAN 24 HOURS.

MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A WEEKLY BASIS AND REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PERFORMED WHENEVER THE DEVICE IS 30% FULL. FAILURE TO MAINTAIN EROSION CONTROL DEVICES MAY LEAD TO FURTHER ENFORCEMENT ACTION. WEEKLY INSPECTIONS REQUIRED AND AFTER EACH 1/2" OR MORE RAIN EVENT WITHIN 24 HRS.

READY MIXED CONCRETE AND BATCH PLANT WASHOUTS PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY, DESIGNATE CONCRETE WASHOUT AND MIXING LOCATIONS IN THE EROSION CONTROL PLANS. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO THE PUBLIC STORM DRAIN.

TEMPORARILY OR PERMANENTLY STABILIZE ALL DENUDED AREAS WHICH HAVE BEEN FINISH GRADED WITHIN 7-14 DAYS (SLOPE DEPENDENT). USE SEEDING AND MULCHING, EROSION CONTROL MATTING AND/OR SODDING WITH TEMPORARY STAKING IN GREEN SPACE AREAS. USE EARLY APPLICATION OF GRAVEL BASE FOR AREAS DESIGNATED FOR PAVED SURFACING.

REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL AND NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. MINIMUM VEGETATION COVER OF 70% REQUIRED, ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL THE SITE HAS 70% ESTABLISHED VEGETATIVE COVER AND ALL PAVED AREAS HAVE BEEN STABILIZED WITH THE SELECTED PAVEMENT TYPE.

ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY OTHER PERMITTING AGENCIES. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO VERIFY THAT THE CITY AND ALL OTHER AGENCY REQUIREMENTS ARE MET.

MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2573
NOT TO SCALE

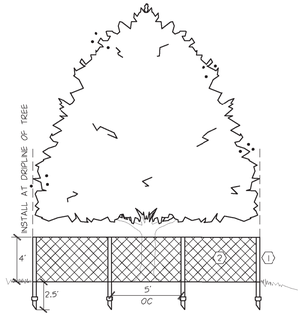
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		EROSION CONTROL NOTES	STANDARD PLATE NO. SEWR-8007
DRAWN: DCD	DATE: 8/05		
APPROVED: HRS	DATE: 3/07		

1 EROSION CONTROL NOTES

NO SCALE

CITY OF MINNEAPOLIS TREE PROTECTION REQUIREMENTS:

1. PROTECT TREE ROOT ZONES. NO CONSTRUCTION EQUIPMENT OR MATERIALS SHALL BE PLACED, PARKED, OR STORED ON ANY UNPAVED AREA WITHIN THE DRIP LINE OF ANY CITY OWNED TREE. NO CHEMICALS OR PETROLEUM PRODUCTS SHALL BE DEPOSITED ON
2. ANY UNPAVED AREA IN THE CITY RIGHT OF WAY. ALSO, NO EQUIPMENT OR MATERIALS MAY BE PLACED, PARKED, OR STORED ON ANY UNPAVED BOULEVARD MEDIAN.
3. ANY TREE ROOTS ENCOUNTERED ARE TO BE CLEANLY CUT USING HAND TOOLS.
4. CARE SHALL BE TAKEN NOT TO DAMAGE TREE TRUNKS OR BRANCHES. YOU MUST CONTACT FORESTRY DEPARTMENT INSPECTIONS AT (612)-499-9233, AT LEAST 3 DAYS PRIOR STARTING WORK TO DISCUSS PROBLEMS OF OVERHANGING BRANCHES THAT MAY BE DAMAGED.
5. IF EQUIPMENT MUST BE OPERATED ON TREE BORDER WITHIN THE DRIPLINE OF CITY TREES; MATS, PLANKING OR 12" DEEP MULCH LAYER SHALL BE PLACED TO MINIMIZE SOIL COMPACTION.



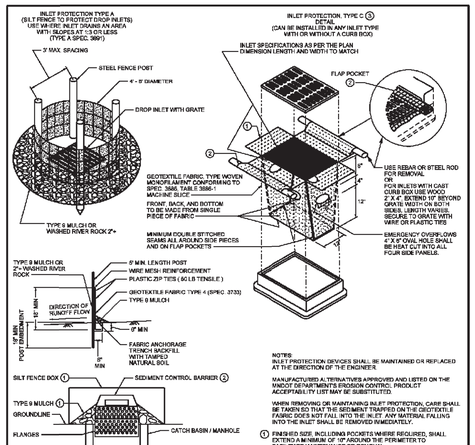
INSTALL TREE PROTECTION DEVICES PRIOR TO START OF LAND DISTURBANCE. MAINTAIN UNTIL FINAL LANDSCAPE IS INSTALLED.

(1) 6.5' STEEL T-POST, 1.25 lb/LF. POSITION AT DRIPLINE.

(2) ORANGE, POLYETHYLENE SAFETY NETTING. THREE TIES PER POST.

6 TREE PROTECTION

NO SCALE



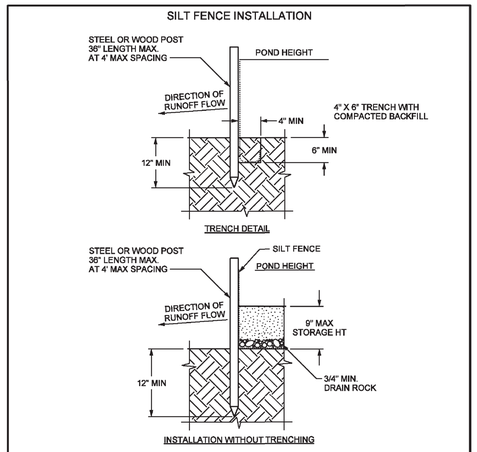
REFERENCES:
MNDOT DRAFT PLATES

MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 3891
NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		INLET PROTECTION TYPE A & C	STANDARD PLATE NO. SEWR-8003
DRAWN: DCD	DATE: 1/05		
APPROVED: HRS	DATE: 4/07		

4 INLET PROTECTION

NO SCALE



USE HI-FLOW FILTER FABRIC, 200 GAL. PER MINUTE PER SQUARE FOOT

NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY, REQUIRED WHEN 1/3 FULL WITHIN 24 HOURS OF DISCOVERY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND PERMANENTLY STABILIZED ALSO SEE SEWR-8009.

REFERENCES:
MINNESOTA URBAN SMALL SITES BMP MANUAL
MNDOT EROSION CONTROL HANDBOOK

MINNEAPOLIS CUSTOM
MNDOT SPEC. REF. 2573, 3886, 3889.2 TYPE I
NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		SEDIMENT CONTROL – SILT FENCE	STANDARD PLATE NO. SEWR-8001
DRAWN: CXD	DATE: 3/13		
APPROVED: HRS	DATE: 4/07		

2 SILT FENCE

NO SCALE

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MUNICIPALITY

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PROJECT

NEIGHBORHOOD HEALTHSOURCE
MINNEAPOLIS, MN

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C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL
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C7.3	CIVIL CONSTRUCTION DETAILS
L2.1	LANDSCAPE
L7.1	LANDSCAPE DETAILS

REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY

DATE	REVISION	REVIEW
25 JUL 2014	PRELIMINARY PDR SUBMITTAL	TJS/CNC
28 JUL 2014	PDR SUBMITTAL	SES/CNC
08 AUG 2014	LAND USE SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY: SES DATE: 07.28.2014

CERTIFICATION

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LAND USE SUBMITTAL
08.08.2014

LANDFORM
From Site to Finish
105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
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Fax: 612-252-9077
Web: landform.net

FILE NAME C701PAR001.DWG
PROJECT NO. PAR14001

CIVIL CONSTRUCTION DETAILS
C7.1

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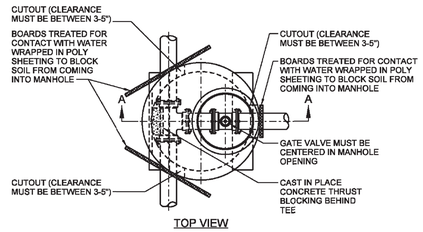
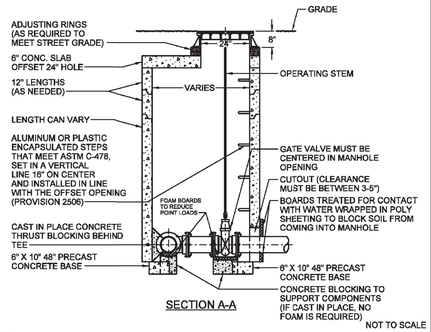


TOP VIEW



SECTION A-A

NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		STANDARD MANHOLE	STANDARD PLATE NO. WATR-2006A-R1
DRAWN: TDS	DATE: 1/1/12		
APPROVED: RCE	DATE: 1/1/12		

5 WATER MANHOLE

NO SCALE

SPECIFICATION NOTES:
ALL P.V.C. PIPE SHALL MEET OR EXCEED ASTM D 1784 AND ASTM D 2241, AASHTO M 278, CLASS PF 50, P.V.C., SDR- 26: ASTM D 3034, TYPE PSM P.V.C. SEWER PIPE, SDR 26 ASTM 758, SMOOTH WALL P.V.C., TYPE PS 46.
ALL SANITARY CONNECTIONS LESS THAN 10" DIAMETER SHALL BE SCH 40 AND CLEANED WITH PROPER PRIMER AS DEFINED IN THE RESPECTIVE ASTM SPECIFICATION FOR SOLVENT JOINTS AND ALL JOINTS SHALL BE SOLVENT CEMENTED JOINTS WITH PROPER ASTM APPROVED CEMENTS.
ALL SANITARY CONNECTIONS 10" DIAMETER OR GREATER SHALL BE SDR-26 OR GREATER WITH COMPRESSION FITTINGS MEETING ASTM STANDARDS.
ALL MAINLINE SANITARY SEWERS SHALL BE VITRIFIED CLAY PIPE (VCP) UNLESS APPROVED BY CITY ENGINEER TO SUBSTITUTE PVC. SANITARY MAINS CONSTRUCTED OF PVC MATERIALS SHALL BE SDR-26 OR GREATER.

STORM DRAIN ONLY
SDR-35 MAY BE SPECIFIED FOR CITY CB RUNS ONLY, AT THE DISCRETION OF THE CITY PROJECT ENGINEER
ALL STORM DRAIN MAIN LINES SHALL BE REINFORCED CONCRETE MATERIALS WHERE POSSIBLE.
PVC STORM DRAINS SHALL BE PRE APPROVED BY THE SEWER MAINTENANCE ENGINEER.

ALL DIMENSIONS BELOW ARE VARIABLE BY MANUFACTURER
ALL PVC SHALL BE CONSTRUCTED FROM NEW MATERIALS

NOMINAL PIPE SIZE	P.V.C. PIPING SYSTEM	AVERAGE I.D.			WALL THICKNESS			WEIGHT			MAX W.P. (PSI)		
		40	80	SDR 26	40	80	SDR 26	40	80	SDR 26	40	80	SDR 26
4"		4.500	3.998	3.786	4.134	0.237	0.337	0.173	2.006	2.782	1.569	220	320	160
5"		5.563	5.017	4.767	5.108	0.258	0.375	0.214	2.726	3.867	2.411	190	290	160
8"		6.625	6.031	5.709	6.084	0.280	0.432	0.255	3.535	5.313	3.414	180	280	160
9"		8.625	7.943	7.565	7.921	0.322	0.500	0.332	5.305	8.058	5.784	160	250	160
10"		10.750	9.976	9.492	9.874	0.365	0.593	0.413	7.532	11.956	8.971	140	230	160
12"		12.750	11.890	11.294	11.711	0.406	0.687	0.490	9.949	16.437	12.620	130	230	160
14"		14.000	13.072	12.410	12.860	0.437	0.750	0.538	11.610	19.790	15.205	130	220	160
16"		16.000	14.940	14.214	14.696	0.500	0.843	0.615	15.416	25.430	19.877	130	220	160
18"		18.000	16.809	16.014	16.533	0.562	0.937	0.692	20.112	31.830	25.156	130	220	160
20"		20.000	18.743	17.814	18.370	0.593	1.031	0.769	23.624	40.091	31.057	120	220	160
24"		24.000	22.544	21.418	22.043	0.687	1.218	0.923	32.873	56.882	44.744	120	210	160

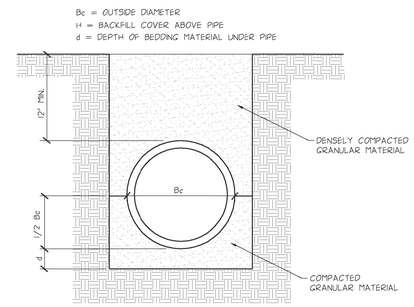
DIMENSIONS ARE IN INCHES.
WEIGHTS ARE IN POUNDS PER FT.
MINIMUM COVER ON PIPE IS 18", LESS THAN 18" USE DUCTILE IRON PIPE CLASS 52 OR EQUIVALENT.
ALTERNATE PIPE MATERIAL FOR MAINLINE CONSTRUCTION.

MNDOT SPEC. REF. 3245
NOT TO SCALE

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		PVC PIPE STANDARDS	STANDARD PLATE NO. SEWR-4015
DRAWN: DCD	DATE: 12/02		
APPROVED: HRS	DATE: 12/06		

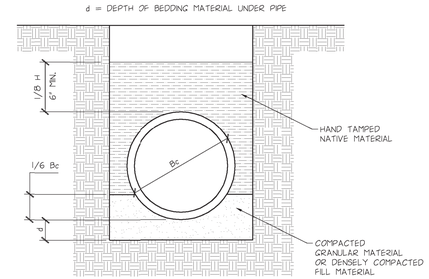
3 PVC PIPE STANDARDS

NO SCALE



GRANULAR FOUNDATION
CLASS B (PVC & HDPE PIPE)

CLASS B BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL PLACED UP TO A HEIGHT EQUAL TO ONE-HALF THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE GRANULAR BEDDING BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" DIAMETER AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE INITIAL FILL MATERIAL SHALL BE DENSELY COMPACTED GRANULAR UP TO A HEIGHT OF 12" OVER THE TOP OF THE PIPE.

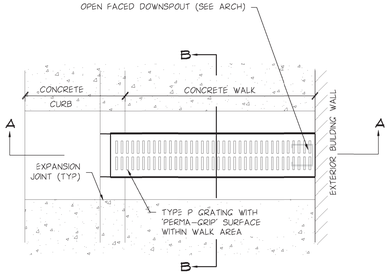


GRANULAR FOUNDATION
CLASS C (DIP & RCP)

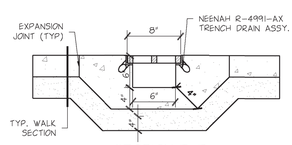
CLASS C BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL, OR DENSELY COMPACTED FILL MATERIAL UP TO A HEIGHT EQUAL TO ONE-SIXTH THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE BEDDING MATERIAL BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE REMAINING SIDEFILL AND BACKFILL MATERIAL IS COMPACTED NATIVE SOILS.

1 PIPE BEDDING

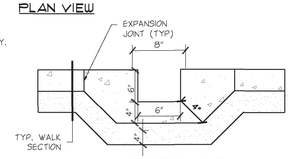
NO SCALE



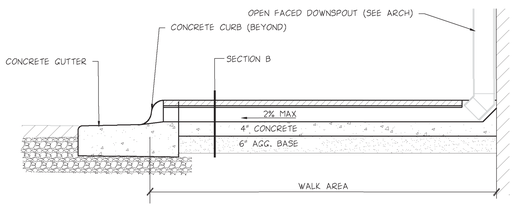
PLAN VIEW



SECTION B-B
ENLARGED



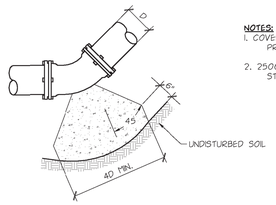
SECTION C-C
ENLARGED



SECTION A-A

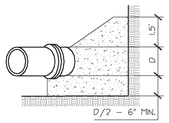
6 SIDEWALK TRENCH DRAIN

NO SCALE

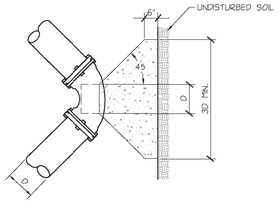


ELEVATION 1

NOTES:
1. COVER FITTINGS WITH PLASTIC (4 MIL) PRIOR TO POURING CONCRETE
2. 2500 PSI CONCRETE 28 DAY STRENGTH



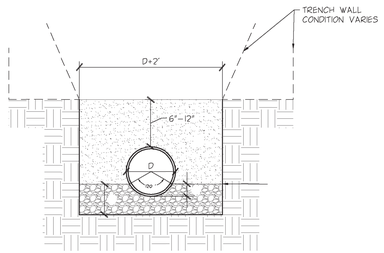
ELEVATION 2



PLAN

4 CONCRETE THRUST BLOCKING FOR WATERMAIN

NO SCALE



1 2' FOR PIPE 4" OR LESS.
2 MACHINE EXCAVATION LIMIT FOR RIGID PIPE.
3 HAND SHAPE BOTTOM FOR SUPPORT OF RIGID PIPE.
4 MACHINE EXCAVATION LIMIT FOR FLEXIBLE PIPE, GRANULAR FOUNDATION (IF REQUIRED), OR BEDDING REQUIRED FOR LOCAL CONDITIONS. DEPTH VARIES.
5 PROVIDE LOCATING/MARKING TAPE MEETING LOCAL REQUIREMENTS.
6 SEE DETAIL **C7.3/1** SPECIFICATIONS FOR BEDDING AND ENCASEMENT

2 UTILITY TRENCHING

NO SCALE

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L7.1	LANDSCAPE DETAILS

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08 AUG 2014	LAND USE SUBMITTAL	SES

PROJECT MANAGER REVIEW

BY SES DATE 07.28.2014

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FILE NAME C702PAR001.DWG
PROJECT NO. PAR14001

CIVIL CONSTRUCTION DETAILS
C7.2

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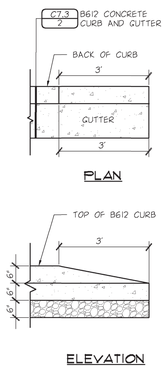
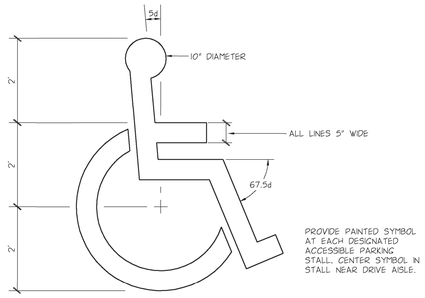


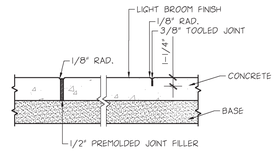
9 NOSE DOWN CURB

NO SCALE



6 INTERNATIONAL SYMBOL OF ACCESS

NO SCALE



EXPANSION JOINT | CONTRACTION JOINT

CONTRACTION JOINT:

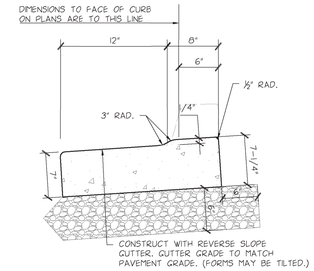
1. SPACING SHALL MATCH WALK WIDTH UNLESS SHOWN OTHERWISE.
2. JOINTS ADJACENT TO CURB SHALL MATCH CURB JOINT SPACING.

EXPANSION JOINT:

1. WHERE WALK BUTTS ANY CONFINING, FIXED OR EMBEDDED OBJECT SUCH AS WALLS, STOOPS, MANHOLES, ETC.
2. 40' ON CENTER MAXIMUM.

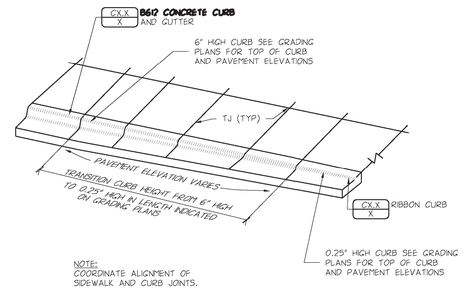
7 CONCRETE SIDEWALK AND SIDEWALK JOINTING

NO SCALE



3 12" CONCRETE RIBBON CURB SECTION

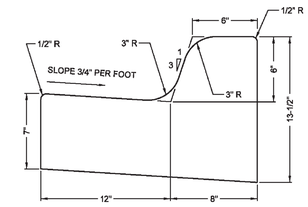
NO SCALE



NOTE:
COORDINATE ALIGNMENT OF SIDEWALK AND CURB JOINTS.

4 CURB TRANSITION

NO SCALE

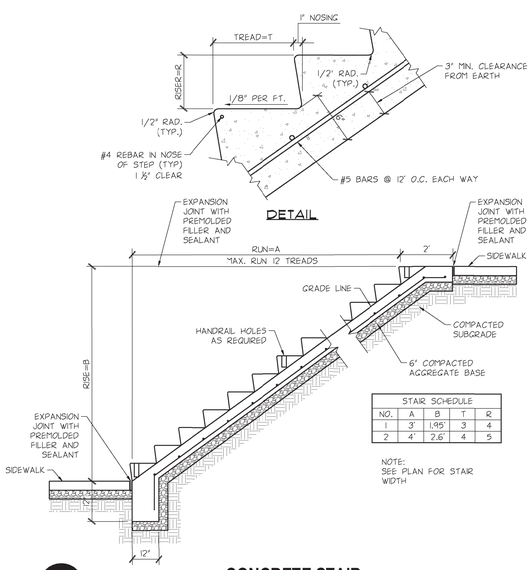


*SLOPE NOT TO EXCEED 1:20 AT CURB RAMPS

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		B612 CURB AND GUTTER	STANDARD PLATE NO. ROAD-1000
DRAWN: JFC	DATE: 4/1/08		
APPROVED: GAS	DATE: 5/18/01		

1 B612 CURB AND GUTTER

NO SCALE

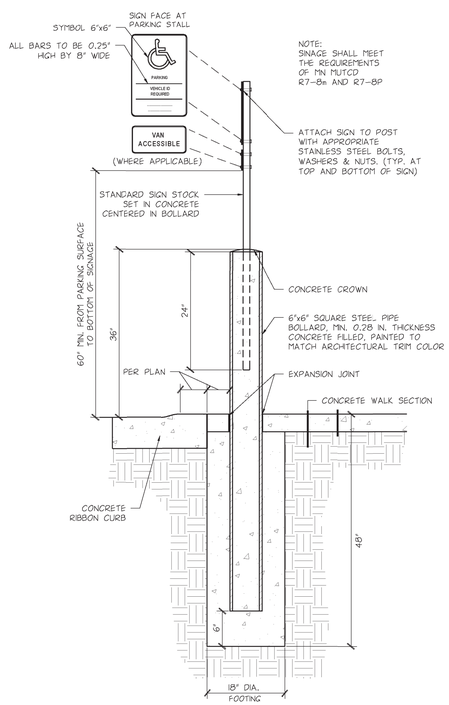


STAIR SCHEDULE				
NO.	A	B	T	R
1	3'	1.95'	3	4
2	4'	2.6'	4	5

NOTE:
SEE PLAN FOR STAIR WIDTH

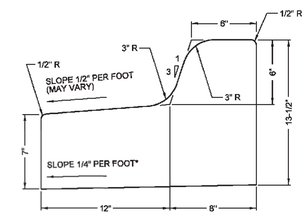
8 CONCRETE STAIR SECTION

NO SCALE



5 SQUARE BOLLARD W/ ACCESSIBLE SIGNAGE - MN

NO SCALE



MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS		B612 CURB AND GUTTER TIPOUT	STANDARD PLATE NO. ROAD-1001
DRAWN: JFC	DATE: 4/1/08		
APPROVED: GAS	DATE: 5/18/01		

2 B612 CURB AND GUTTER TIPOUT

NO SCALE

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FILE NAME C703PAR001.DWG

PROJECT NO. PAR14001

CIVIL CONSTRUCTION DETAILS
C7.3

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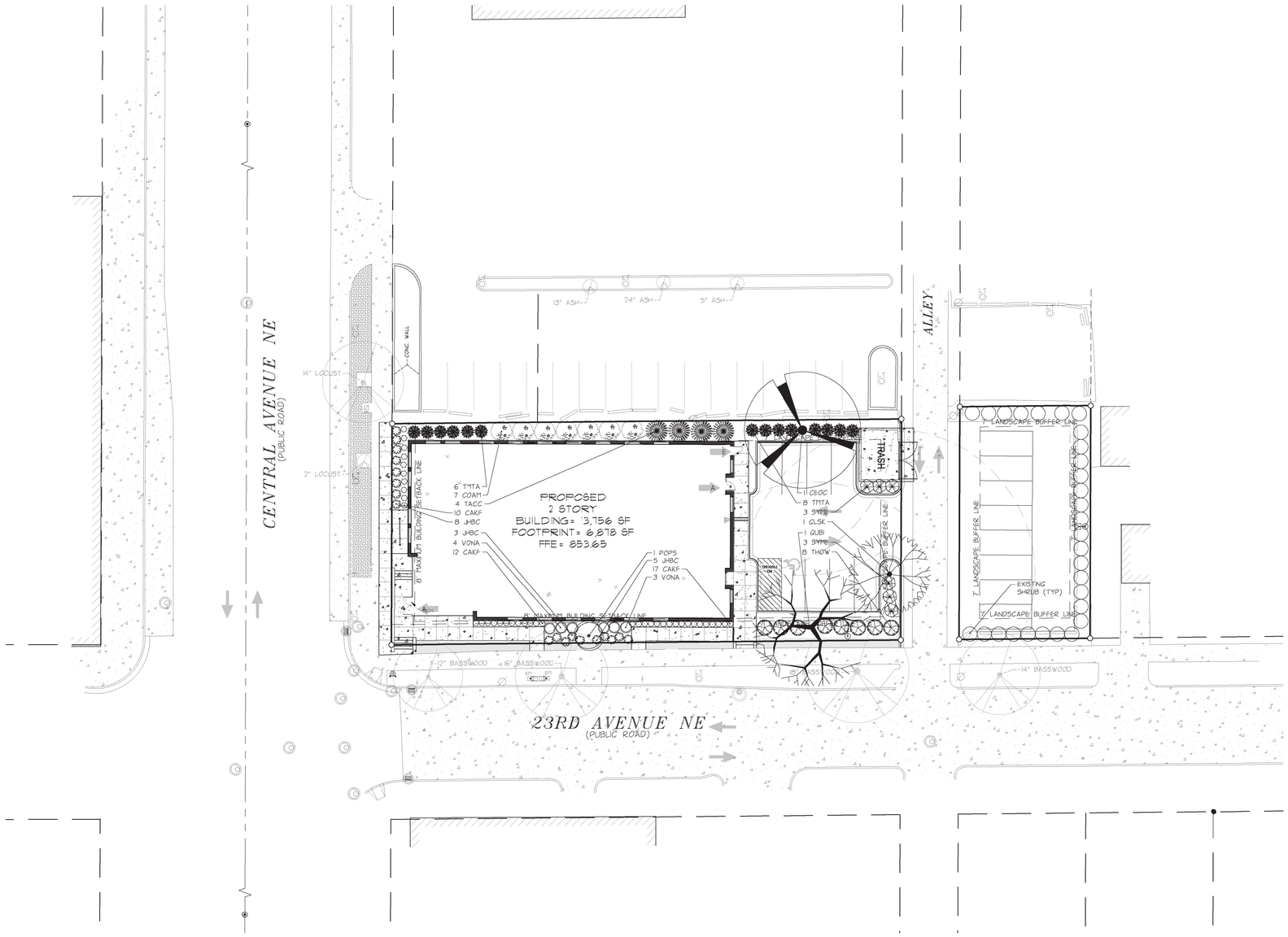

Name	Count	KEY	COMMON NAME	SCIENTIFIC NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
CONIFEROUS SHRUBS	18	JHBC	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	12"H x 4'W	#3 CONT.	CONTAINER
CONIFEROUS SHRUBS	14	TMTA	TAUNTON SPREADING YEW	TAXUS X MEDIA 'TAUNTONI'	4'H x 6'W	#3 CONT.	CONTAINER
CONIFEROUS TREES	4	TACC	UPRIGHT JAPANESE YEW	TAXUS CUSPIDATA 'CAPITATA'	15'H x 10'W	#5 CONT.	CONTAINER
CONIFEROUS TREES	8	THOW	SIBERIAN ARBORVITAE	THUJA OCCIDENTALIS 'WAREANA'	8'H x 7'W	#5 CONT.	CONTAINER
DECIDUOUS TREES	1	POPS	PRARIE SKY POPLAR	POPULUS X CANADENSIS 'PRAIRIE SKY'	80'H x 10'W	3" CAL.	B&B
DECIDUOUS SHRUBS	6	SYME	DWARF KOREAN LILAC	SYRINGA MEYERI	5'H x 6'W	#3 CONT.	CONTAINER
DECIDUOUS SHRUBS	7	COAM	SILKY DOGWOOD	CORNUS AMONUM	9'H x 9'W	#5 CONT.	CONTAINER
DECIDUOUS SHRUBS	6	VONA	DWARF EUROPEAN CRANBERRYBUSH	VIBURNUM OPULUS 'NANUM'	5'H x 5'W	#5 CONT.	CONTAINER
DECIDUOUS TREES	1	QUBI	SWAMP WHITE OAK	QUERCUS BICOLOR	60'H x 50'W	3" CAL.	B&B
DECIDUOUS TREES	1	GLSK	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS 'SKYCOLE'	50'H x 35'W	3" CAL.	B&B
DECIDUOUS TREES	1	CEOC	COMMON HACKBERRY	CELTIS OCCIDENTALIS	75'H x 50'W	3" CAL.	B&B
GRASSES	39	CAKF	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	5'H x 2'W	#1 CONT.	CONTAINER

LANDSCAPE NOTES

1. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
2. COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
3. PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE OF HARDY STOCK, FREE FROM DISEASE, INFESTATION, DAMAGE, AND DISFIGURATION. FOR DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE DRAWING, THE DRAWING SHALL GOVERN.
4. PLANTING SOIL SHALL CONSIST OF 4 PARTS TOPSOIL TO 1 PART PEAT HUMUS, WITH 3 POUNDS OF COMMERCIAL FERTILIZER ADDED PER CUBIC YARD.
5. SPREAD A MINIMUM OF 6 INCHES OF TOPSOIL AND SOD ALL TURF AREAS DISTURBED BY CONSTRUCTION.
6. FOLLOW MNDOT SEEDING MANUAL FOR PLANTING INSTRUCTIONS FOR ESTABLISHMENT OF NATIVE SEED AND PROVIDE COORDINATION FOR REQUIRED EROSION PREVENTION AND SEDIMENT CONTROL.

8 EDGE SHRUB BEDS WITH 6-INCH BLACK VINYL EDGING (BLACK DIAMOND OR APPROVED EQUAL) EXCEPT WHERE ADJACENT TO CURBING, WALKS OR BUILDINGS. REFER TO DETAIL 4 ON SHEET L7.1.

8. PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING.
9. SEE DETAILS FOR DEPTH OF PLANTING SOIL.

10 INSTALL 4 INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN SHRUB BED AREAS.

LANDSCAPE REQUIREMENTS

MINNEAPOLIS CODE OF ORDINANCES, 530.60 GENERAL LANDSCAPING AND SCREENING: "NOT LESS THAN TWENTY (20) PERCENT OF THE SITE NOT OCCUPIED BY BUILDINGS INCLUDING ALL REQUIRED LANDSCAPED YARDS SHALL BE LANDSCAPED..."

SITE AREA PARCEL A:	13,301 SF
BUILDING FOOTPRINT AREA:	6,878 SF
REQUIRED LANDSCAPE AREA (SITE- BUILDING X 20%):	1,285 SF
LANDSCAPE AREA PROVIDED:	2,308 SF
LANDSCAPE AREA/SITE AREA MINUS BUILDING (2,308 SF/6,423 SF):	35.9%
SITE CANOPY TREES (1,285 SF/500 SF):	2
PARKING CANOPY TREES (50 LF/ 25 LF):	2
CANOPY TREES PROVIDED:	3
SHRUBS REQUIRED (1,285 SF/100 SF):	13
SHRUBS PROVIDED (51 NEW):	51

LEGEND

50' DISTANCE FROM DECIDUOUS TREE

SOD

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FILE NAME L201PAR001

PROJECT NO. PAR14001

LANDSCAPE PLAN

L2.1

811 Know what's Below. Call before you dig.

NORTH

0 20 40

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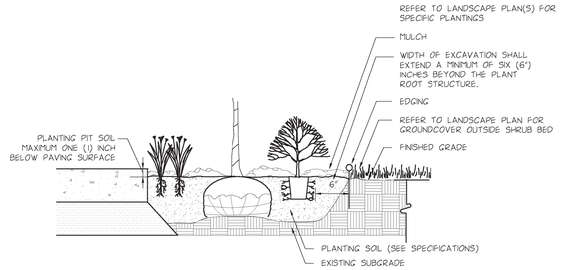

4 EDGING AT PLANTING BED

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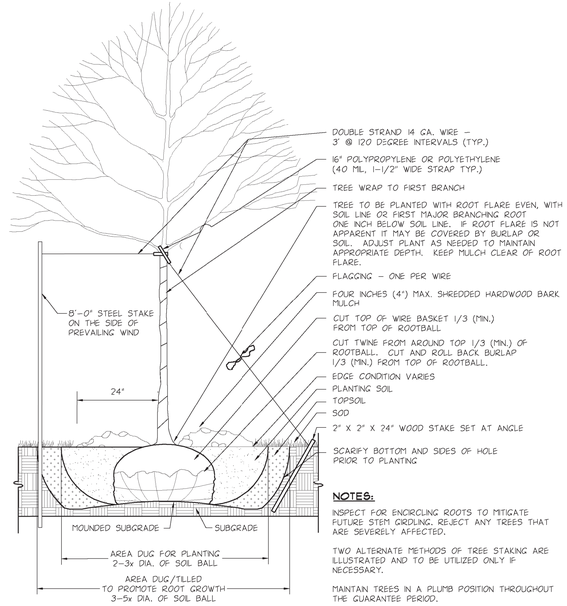


NOTES:

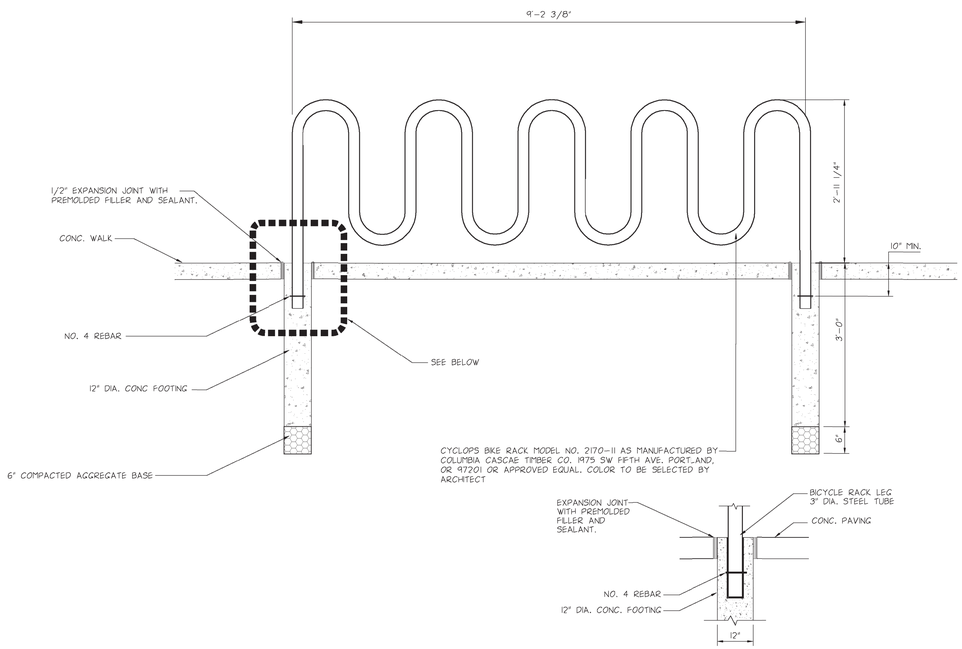
INSPECT FOR ENCIRCLING ROOTS TO MITIGATE FUTURE STEM GIRDLING. REJECT ANY TREES THAT ARE SEVERELY AFFECTED.

TWO ALTERNATE METHODS OF TREE STAKING ARE ILLUSTRATED AND TO BE UTILIZED ONLY IF NECESSARY.

MAINTAIN TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.

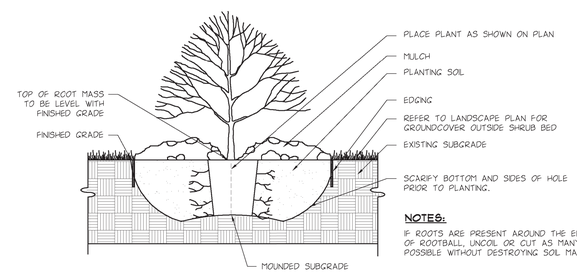
1 DECIDUOUS TREE PLANTING

NO SCALE



5 BICYCLE RACK

NO SCALE

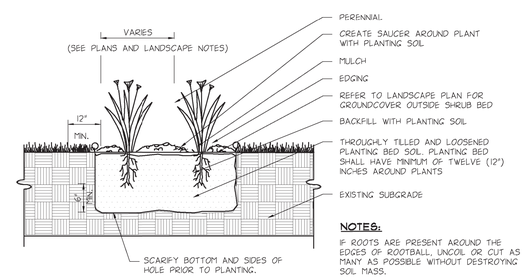


NOTES:

IF ROOTS ARE PRESENT AROUND THE EDGES OF ROOTBALL, UNCOIL OR CUT AS MANY AS POSSIBLE WITHOUT DESTROYING SOIL MASS.

2 SHRUB PLANTING

NO SCALE



NOTES:

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3 PERENNIAL PLANTING

NO SCALE

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PROJECT NO. PAR14001

LANDSCAPE DETAILS
L7.1

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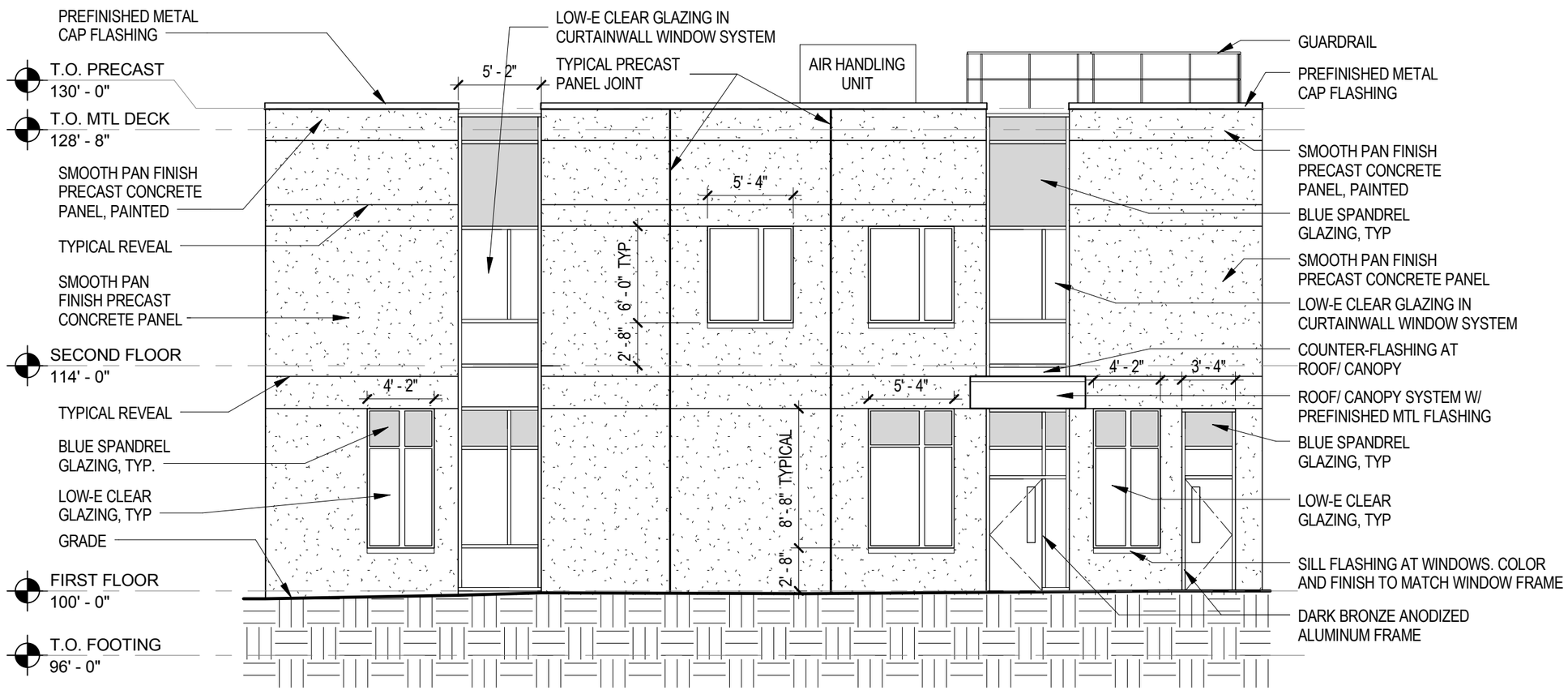

EAST ELEVATION

WINDOW CALCULATIONS	
Exterior Wall	- 496sf
Glazing	- 186sf
% Glazing	- 37.5%

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612.677.7499 fax
www.rsparch.com

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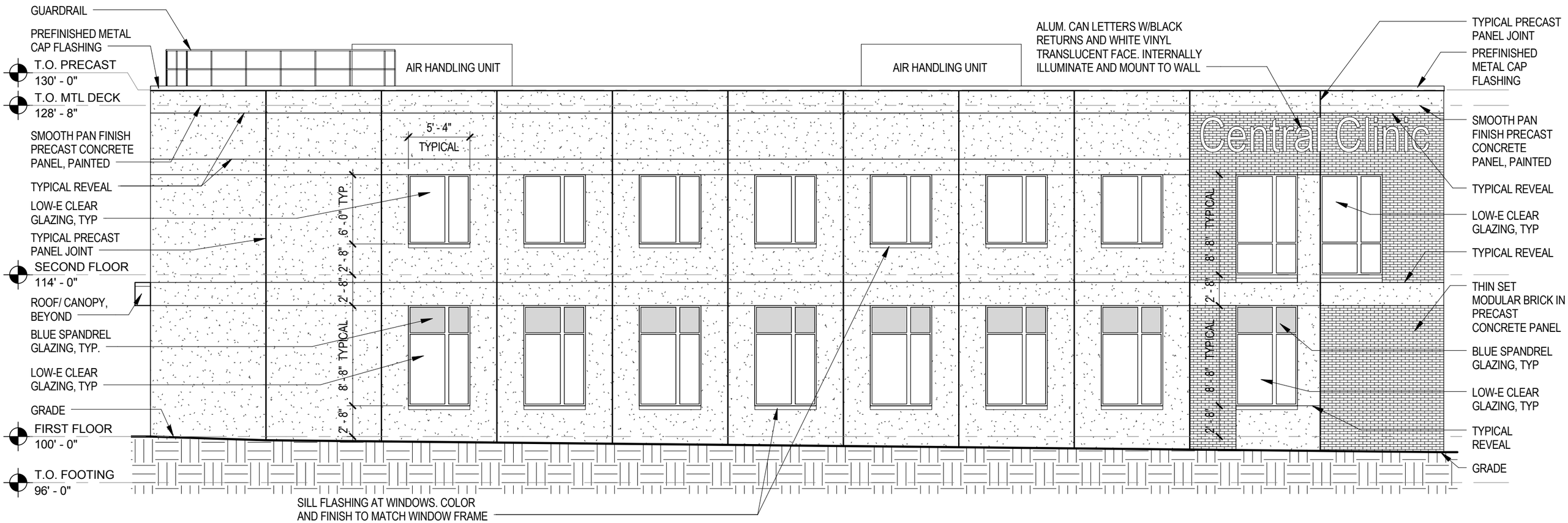
September 8, 2014

Project No.: 2672.001.00



NORTH ELEVATION

WINDOW CALCULATIONS	
Exterior Wall	- 896sf
Glazing	- 312sf
% Glazing	- 34.8%

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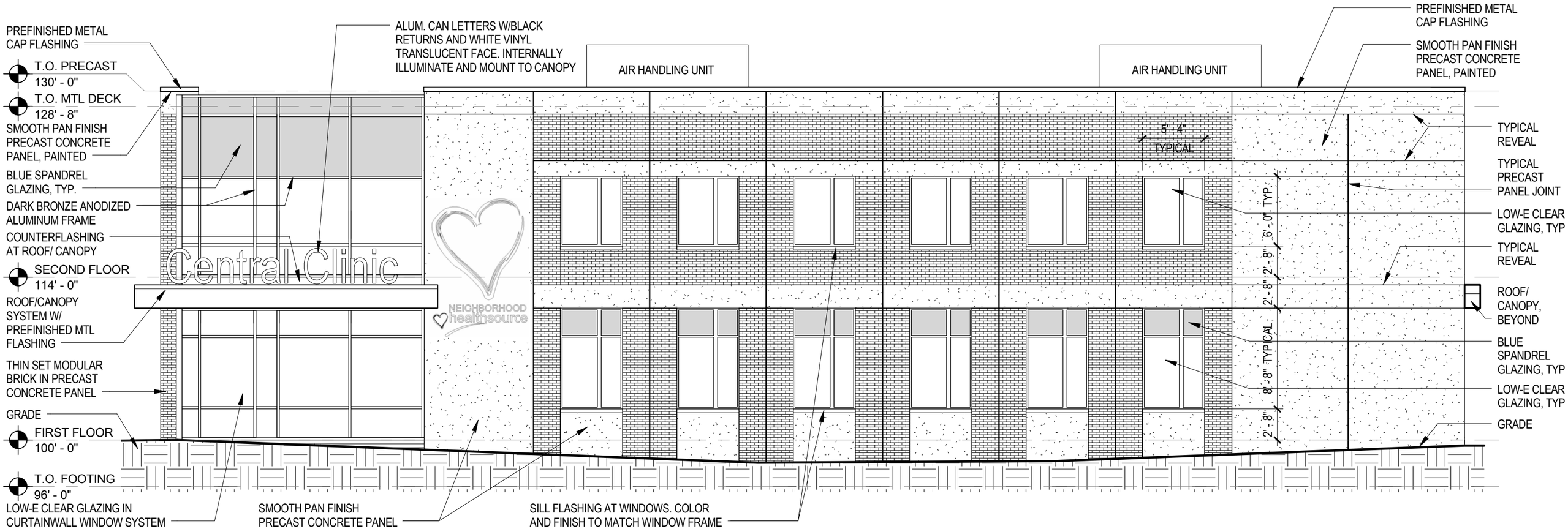
September 8, 2014

Project No.: 2672.001.00



SOUTH ELEVATION

WINDOW CALCULATIONS	
Exterior Wall	- 896sf
Glazing	- 372sf
% Glazing	- 41.5%

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Minneapolis, MN 55413-1036
612.677.7100 main
612.677.7499 fax
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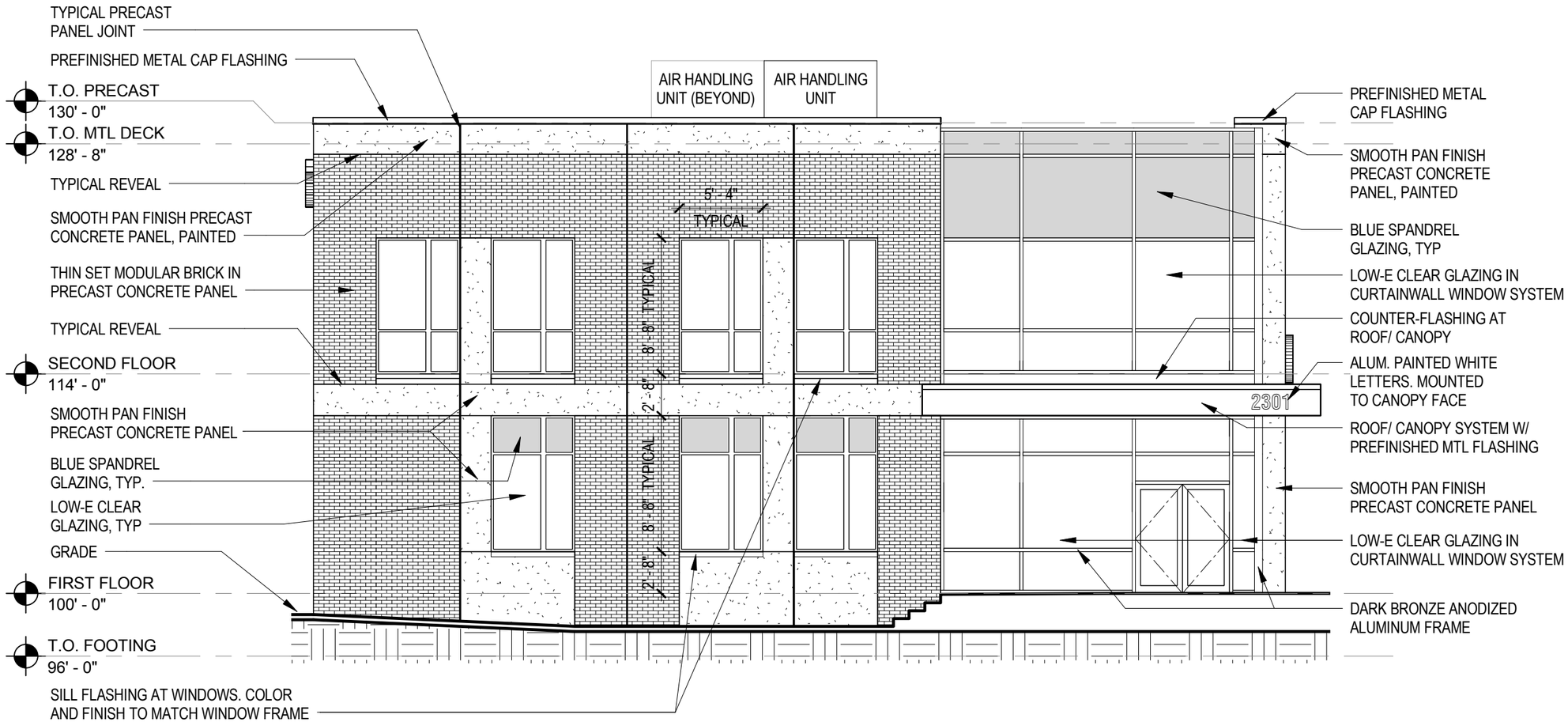
Neighborhood Healthsource - Central Ave Clinic

September 8, 2014

Project No.: 2672.001.00



WEST ELEVATION

WINDOW CALCULATIONS	
Exterior Wall	- 496sf
Glazing	- 288sf
% Glazing	- 58%

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September 8, 2014

Project No.: 2672.001.00

SKYLINE HONEYLOCUST (GLSK)

SWAMP WHITE OAK (QUBI)

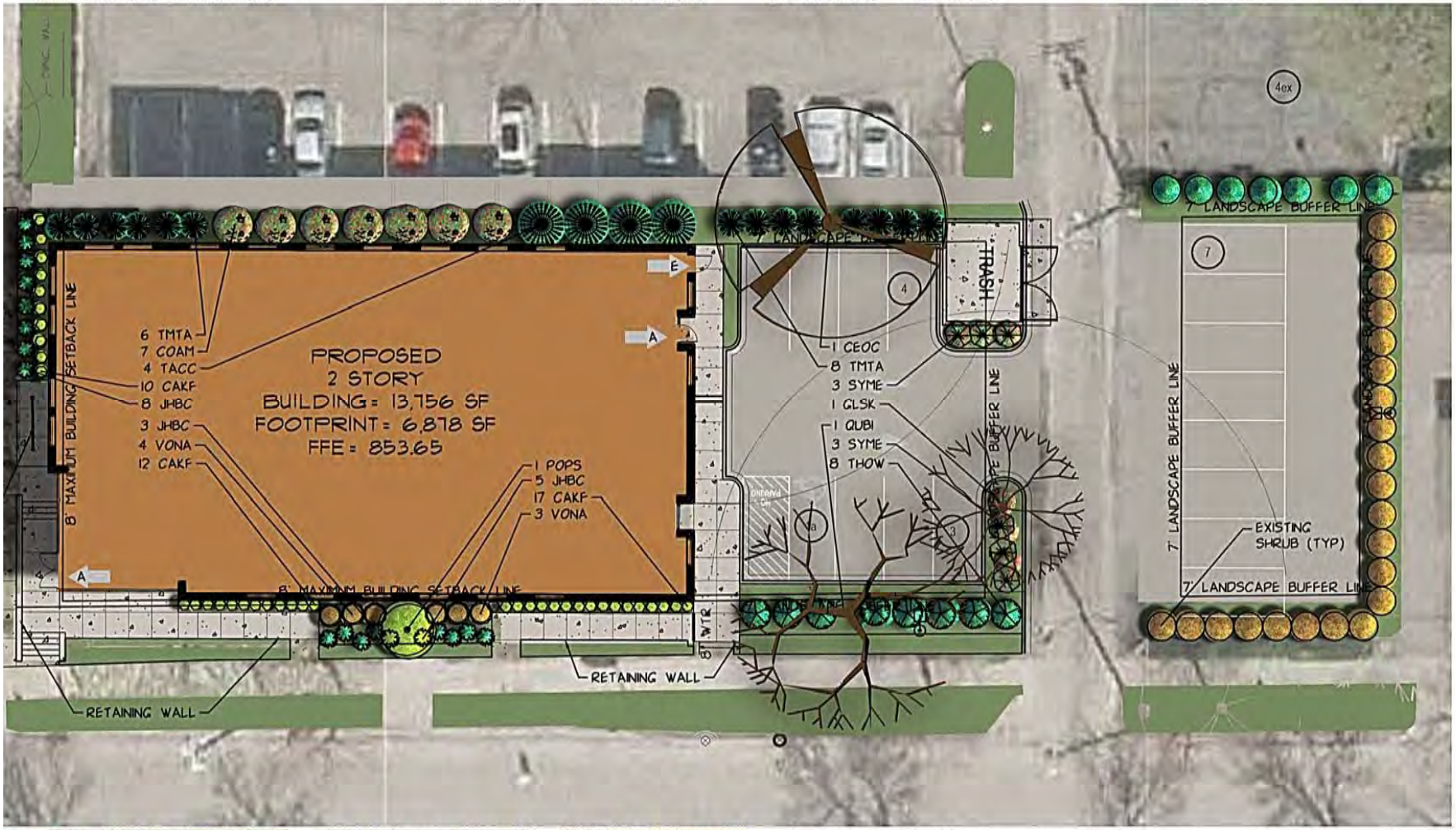
SIBERIAN ARBORVITAE (THOW)

UPRIGHT JAPANESE YEW (TACC)

PRAIRIE SKY POPLAR (POPS)

SILKY DOGWOOD (COAM)

DWARF KOREAN LILAC (SYME)



TAUNTON SPREADING YEW (TMTA)

BLUE CHIP JUNIPER (JHBC)

FEATHER REED GRASS (CAKF)

Name	Count	KEY	COMMON NAME	SCIENTIFIC NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
CONIFEROUS SHRUBS	18	JHBC	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	12"H x 4'W	#3 CONT.	CONTAINER
CONIFEROUS SHRUBS	27	TMTA	TAUNTON SPREADING YEW	TAXUS X MEDIA 'TAUNTON'	4'H x 6'W	#3 CONT.	CONTAINER
CONIFEROUS TREES	4	TACC	UPRIGHT JAPANESE YEW	TAXUS CUSPIDATA 'CAPITATA'	15'H x 10'W	#5 CONT.	CONTAINER
CONIFEROUS TREES	8	THOW	SIBERIAN ARBORVITAE	THUJA OCCIDENTALIS 'WAREANA'	8'H x 3'W	#5 CONT.	CONTAINER
DECIDUOUS SHRUBS	6	POPS	PRAIRIE SKY POPLAR	POPULUS X CANADENSIS 'PRAIRIE SKY'	80'H x 10'W	3" CAL.	B&B
DECIDUOUS SHRUBS	6	SYME	DWARF KOREAN LILAC	SYRINGA MEYERI	5'H x 6'W	#3 CONT.	CONTAINER
DECIDUOUS SHRUBS	7	COAM	SILKY DOGWOOD	CORNUS AMOMUM	9'H x 9'W	#5 CONT.	CONTAINER
DECIDUOUS SHRUBS	6	VONA	DWARF EUROPEAN CRANBERRYBUSH	VIBURNUM OPULUS 'NANUM'	5'H x 5'W	#5 CONT.	CONTAINER
DECIDUOUS TREES	39	QUBI	SWAMP WHITE OAK	QUERCUS BICOLOR	60'H x 50'W	3" CAL.	B&B
DECIDUOUS TREES	1	GLSK	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS 'SKYCOLE'	50'H x 35'W	3" CAL.	B&B
DECIDUOUS TREES	1	CEOC	COMMON HACKBERRY	CELTIS OCCIDENTALIS	75'H x 50'W	3" CAL.	B&B
GRASSES	34	CAKF	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	5'H x 2'W	#1 CONT.	CONTAINER

NEIG
heal
Central · Fre

PA

PARKIN

REQUIRED PARKING:

ONE STALL/500 SF OF BUILDIN
MEDICAL OFFICE 6,878 SF TOT
MEDICAL CLINIC 6,878 SF TOTA
13,756 SF/500 = 26 STALLS

TOTAL PARKING STALLS REQUIR

REDUCED REQUIRED PARKING:

BICYCLE REDUCTION 26 – 10%

TOTAL PARKING STALLS REQUIR

PEDESTRIAN OVERLAY DISTRICT

TOTAL PARKING STALLS REQUIR

PROVIDED PARKING:

STANDARD STALLS (8
ACCESSIBLE VAN STALLS (6
TOTAL PARKING STALLS PROVID

REQUIRED BICYCLE PARKING:

MEDICAL FACILITY = 3 SPACES
PARKING REDUCTION (26*25%)

TOTAL BICYCLE SPACES REQUIR

PROVIDED BICYCLE PARKING:

TOTAL BICYCLE SPACES PROVI

ZONING

THE PROPERTY IS ZONED NEIGH
–OVERLAY DISTRICT ZONI

BUILDING SETBACK INFORMATION
FRONT YARD (C1) = 25 FT. /
REAR (C1) = 7 FT.
SIDE (C1) = 7 FT.
CORNER MAX SETBACK (PO OV

LANDSCAPE YARD BUFFER INFO
FRONT YARD = 7 FT.
REAR = 7 FT.
SIDE = 7 FT.

AREA

EXISTING:

PERVIOUS	4,58
IMPERVIOUS	12,32
TOTAL (0.39 Ac)	16,90

PROPOSED:

PERVIOUS	2,964
IMPERVIOUS	13,93
TOTAL (0.39 Ac)	16,90

LANDSCAPE

MINNEAPOLIS CODE OF ORDINAN
SCREENING: "NOT LESS THAN T
OCCUPIED BY BUILDINGS INCLUD
SHALL BE LANDSCAPED..."

SITE AREA PARCEL A:

BUILDING FOOTPRINT AREA:

REQUIRED LANDSCAPE AREA (5

LANDSCAPE AREA PROVIDED:

LANDSCAPE AREA/SITE AREA
(2,308 SF/6,473 SF):

SITE CANOPY TREES (1,285 S
PARKING CANOPY TREES (50 L

CANOPY TREES PROVIDED:

SHRUBS REQUIRED (1,285 SF/1

SHRUBS PROVIDED (51 NEW):

NORTH

L A N D

From Site to Finish

REN
LANDS

08

Landform and Site Infrastructure

Corner of Central and 23rd

Looking South Down Central

Corner of 23rd and Central

Thin Set Brick in Precast Concrete Panel

Precast Concrete Panel

Blue Spandrel Glass

Clear Glazing

Egress Door to Match Precast Panel

Trash Enclosure in Foreground (not shown)

First floor	North	South	East	West
Exterior Wall SF	896	896	496	496
Glass SF	312	372	186	288
%	34.8%	41.5%	37.5%	58%

Metal Flashing over Integral Colored Concrete Border

Blue Spandrel Glazing

Glazing

Metal Canopy over Entrance

Thin Set Brick in Precast Concrete Panel

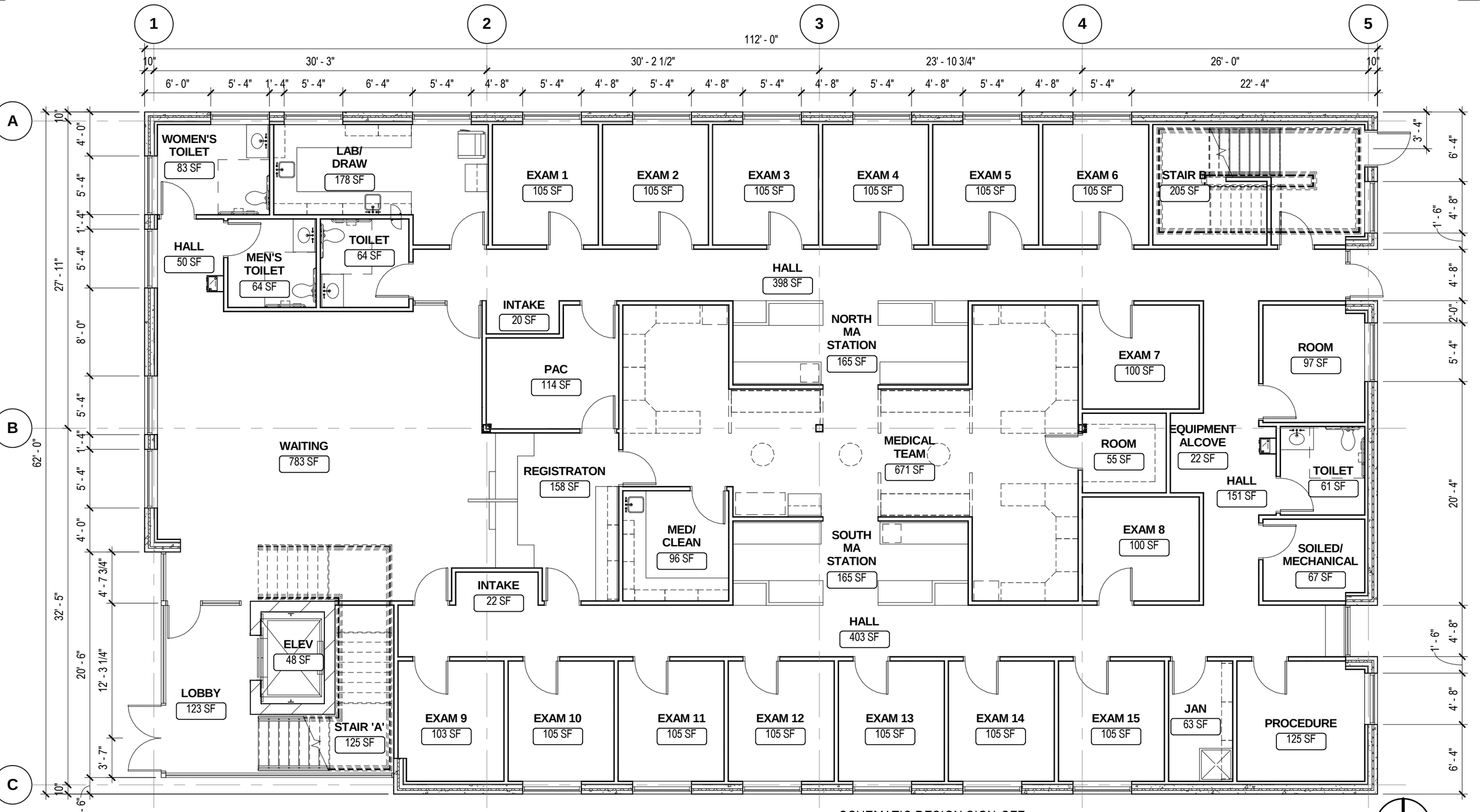
Concrete Finish Panel Inset

Blue Spandrel Glazing

Glazing

Thin Set Brick in Precast Concrete Panel

Sign: 69 sf



SCHEMATIC DESIGN SIGN-OFF
Steven Knutson

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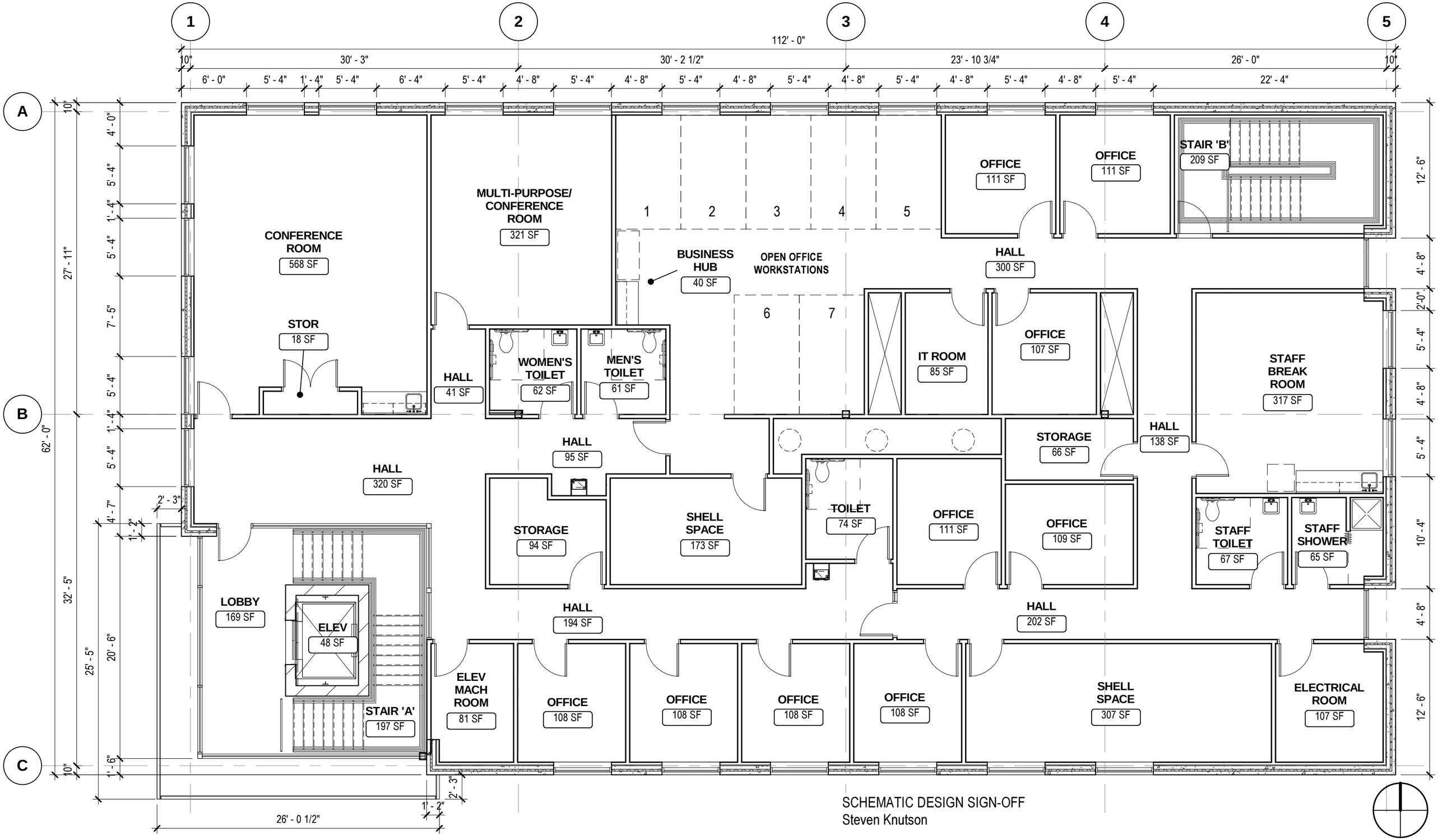
Neighborhood Healthsource - Central Ave Clinic
August 8, 2014

X Date: .

Project No.: 2672.001.00

FIRST FLOOR PLAN - OPTION 2d

FIRST FLOOR:	6,878 BGSF
SECOND FLOOR:	6,878 BGSF
TOTAL:	13,756 BGSF



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Neighborhood Healthsource - Central Ave Clinic

August 8, 2014

X Date: .

Project No.: 2672.001.00

SECOND FLOOR PLAN - OPTION 2d

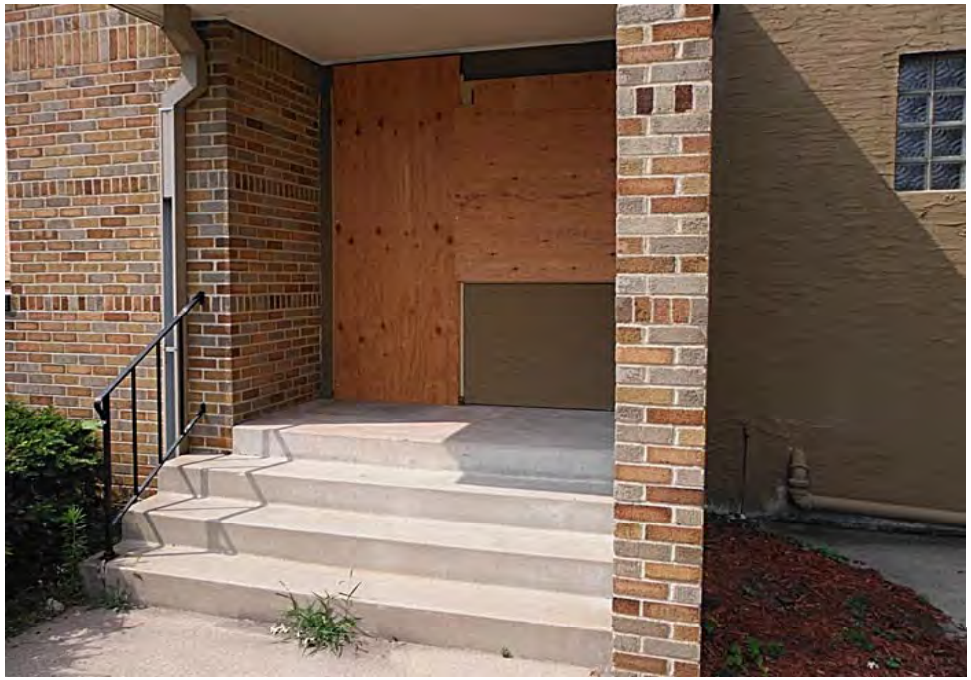
FIRST FLOOR:	6,878 BGSF
SECOND FLOOR:	6,878 BGSF
TOTAL:	13,756 BGSF

23rd Ave NE

23rd Ave NE

Existing mortuary building & site

Existing mortuary building & site



Existing mortuary building & site

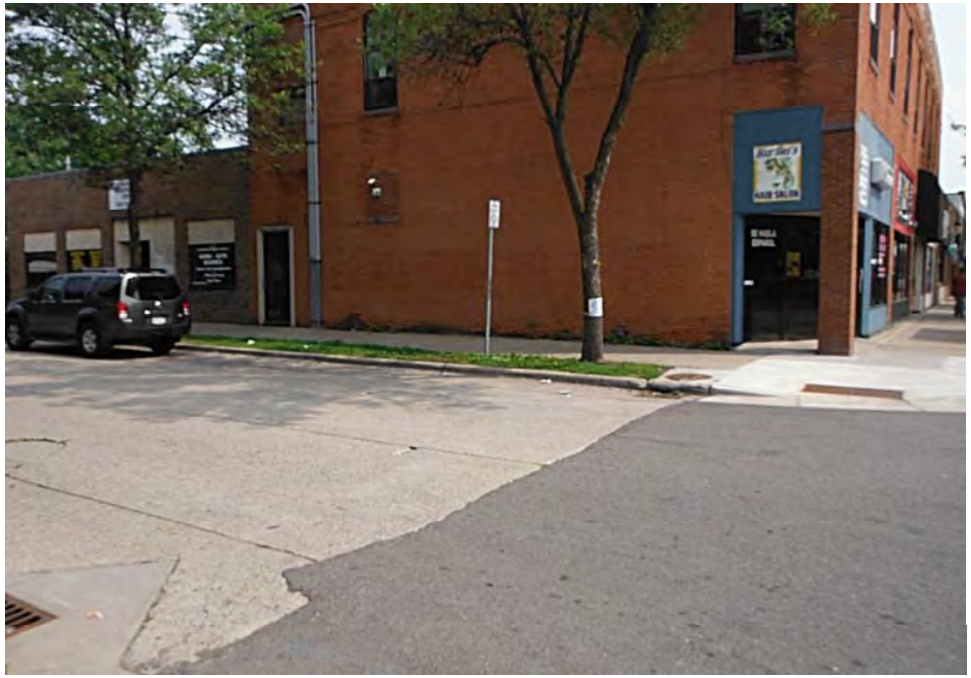
Existing mortuary building & site

23rd Ave NE

Existing mortuary building & site

Central Ave & 23rd

23rd Ave NE



Central Ave NE

Existing mortuary building & site

Existing mortuary building & site

Existing mortuary building & site

Adjacent property to north

Central Ave NE

23rd & Central

Adjacent property to north

Adjacent parking lot to north (not owned by applicant) and north elevation of existing mortuary

Central Ave NE

Adjacent parking lot parcel, addressed at 949 23rd Ave NE

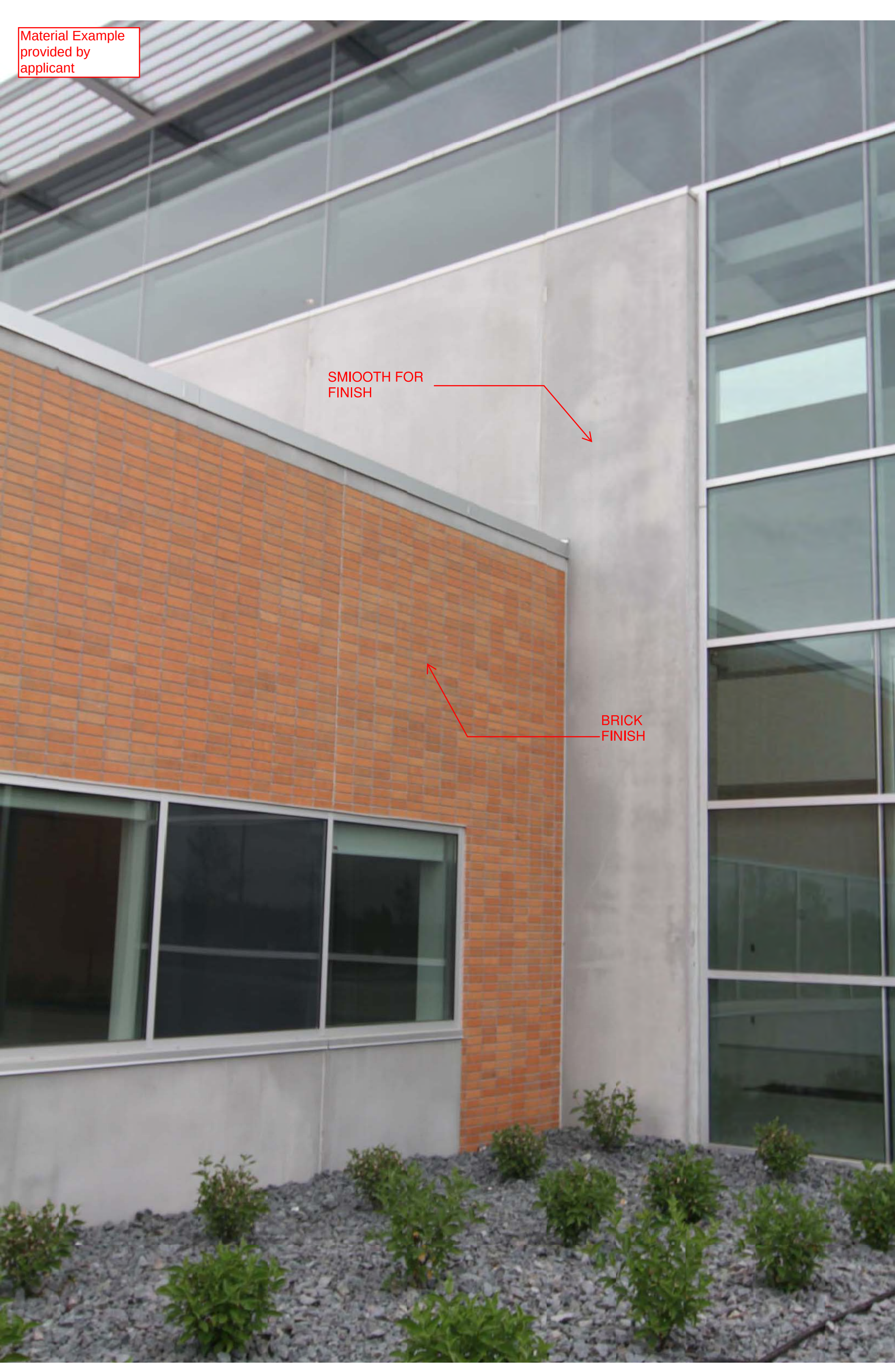
East elevation of existing mortuary building

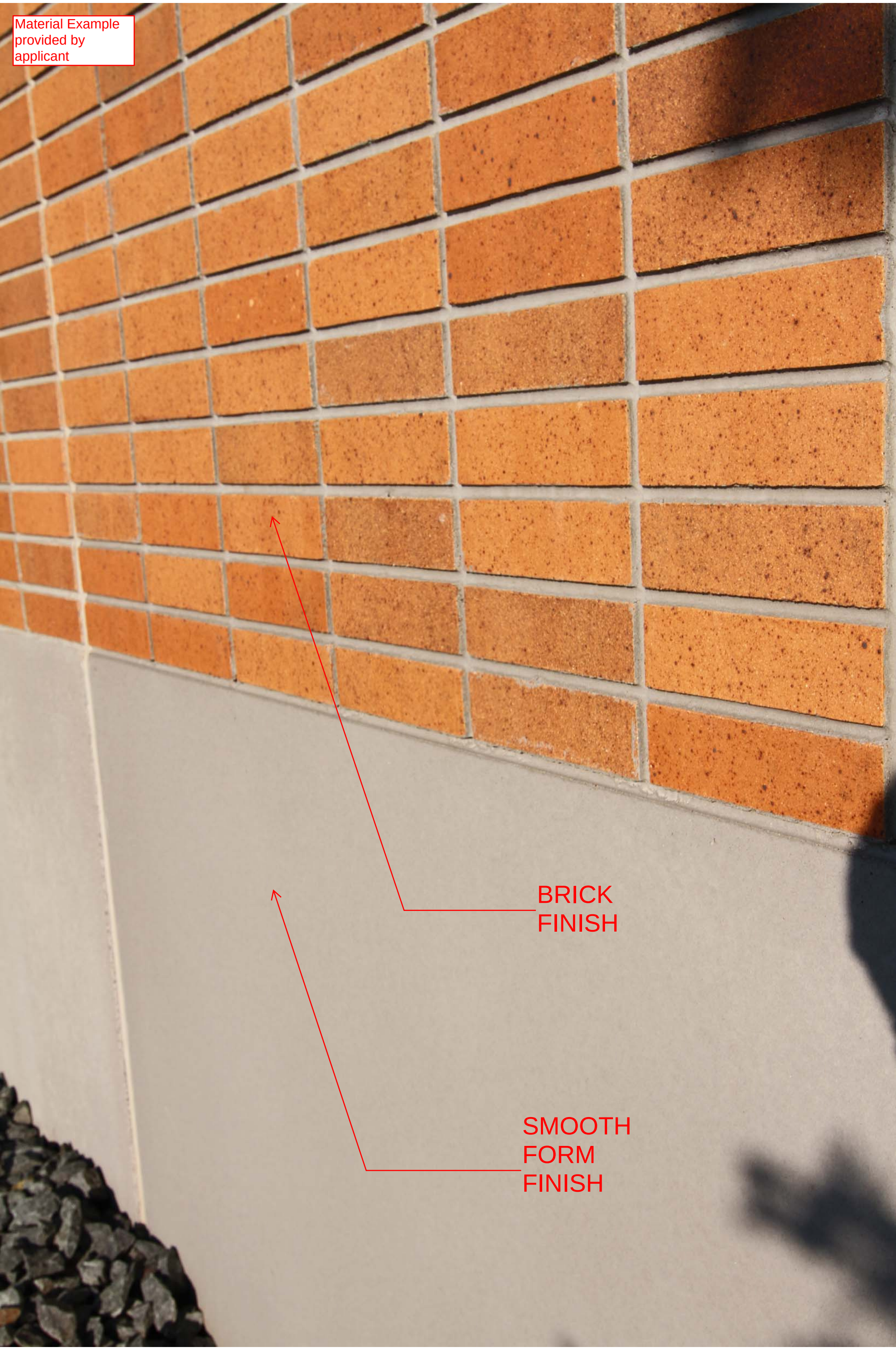
Existing mortuary building & site

Drive Up
Teller
Drive Up
ATM
Parking

OPEN

Alley


Material Example provided by applicant
SMIOOTH FOR FINISH
BRICK FINISH


Material Example provided by applicant
BRICK FINISH
SMOOTH FORM FINISH

Job: 2301 Central Avenue
Type: AA
Notes: Overall Mounting Height is 20' Equipped with External House Side Shield

PureForm LED

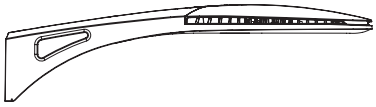
P21 Area and Pedestrian Scale Luminaires

Philips Gardco PureForm luminaires combine LED performance excellence and advanced Gardco LED thermal management technology with a distinct purity of style to provide outdoor area lighting that is both energy efficient and aesthetically pleasing. PureForm is defined by its high performance, sleek low profile design and rugged construction. The die cast aluminum housing mounts directly to a pole or wall, and has a maximum profile of just 3". The advanced LED optical systems provide IES Types II, III, IV and V distributions, as well as a Backlight Control optic. Special LEED corner cutoff optics are also available. All LED wattages utilize high performance Class 1 LED systems. The luminaire features a state of the art integral thermal control system to maximize LED performance and life, and to extend component life. The door frame is die cast aluminum. Luminaires are finished with a fade and abrasion resistant TGIC powdercoat. PureForm luminaires are available in a wide variety of mountings and arms. All PureForm luminaires provide full cutoff performance.

A1 - 9" Standard Arm Mount

A2 - 5" Short Arm Mount

A3 - Decorative Arm Mount



MA - Mast Arm Mount

PureForm luminaires are provided standard without a glass lens, for maximized performance. A glass lens is available as an option, resulting in reduced performance.

PREFIX	ARM	MOUNTING	OPTICAL SYSTEM	LED WATTAGE	LED SELECTION	VOLTAGE	FINISH	OPTIONS
P21	A1	1	4	130LA	NW	UNIV	SC	EHHS

Enter the order code into the appropriate box above. Note: Philips Gardco reserves the right to refuse a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.

PREFIX

(See page 4 and page 5 for details on luminaire configurations.)

P21	21" PureForm Luminaire - Constant Wattage
P21-DIM	21" PureForm with 0-10V Dimming
P21-MR50[1]	21" PureForm with Motion Response - 50% Low , Pole Mounted Motion Sensor
P21-APD[2]	21" PureForm with Automatic Profile Dimming
P21-APD-MRO[1]	21" PureForm - APD with Motion Response Override, Pole Mounted Motion Sensor
P21-MRI[2,3]	21" PureForm with Motion Response - 50% Low, Integral Motion Sensor
P21-APD-MRI[2,3]	21" PureForm - APD with Motion Response Override, Integral Motion Sensor

1. ***MR50*** *and* ***APD-MRO*** *luminaires require one motion sensor per pole, ordered separately. See* ***Accessories*** *on page 2. Motion Response luminaires available 120V or 277V only.*
2. *Available 120V through 277V only.*
3. *MRI and APD-MRI luminaires include an integral motion sensor.*

ARM *(Omit for Mast Arm Mount luminaires)*

Arm Style		Available Mountings
A1	Standard 9" Arm	*Direct to Pole Mount and Wall Mount*
A2	Short 5" Arm	*Direct to Pole Mount and Wall Mount*
A3	Decorative Arm	*Direct to Pole Mount Only*

Note: All Arm Styles shown above mount to a round pole with no adapter. If mounting to a square pole, specify the appropriate Square Pole Adapter option: **SPA1-2** *for A1 or A2 arms,* **SPA3** *for A3 arms. See* ***Options*** *on page 2.*

MOUNTING

Direct to Pole Mount *(Available with A1, A2 or A3 Arms)*

1	Single Pole Mount
2	Twin Pole Mount at 180°
2@90	Twin Pole Mount at 90°
3	3-way Pole Mount at 90°
3@120°	3-way Pole Mount at 120°
4	4-way Pole Mount

Mast Arm Mount

MA	Mast Arm Mount *(Requires 2 3/8" OD Mast Arm)*

Wall Mount

(Available with A1 or A2 Arms Only.
Not available in P21-MR50, or P21-APD-MRO.)

W	Wall Mount
WS	Wall Mount, Surface Conduit

OPTICAL SYSTEM[4] *Featuring unitized optic lens construction.*

Optic Type	Standard Optic Position	Optic Rotated Left[5] (90°)	Optic Rotated Right[5] (270°)
Type II	2	2-90	2-270
Type III	3	3-90	3-270
Type IV	4	4-90	4-270
Type V Medium	5M		
Type V Wide	5W		
Backlight Control	BLC	BLC-90	BLC-270
LEED Corner Cutoff Optics[6]		LCL	LCR

4. Luminaire door frame and optic assembly provided standard without glass lens. Specify CLR option for clear glass lens. See ***Options*** *on page 2.*

5. See pages 7 and 8 for information on optical rotation prior to ordering.

6. Available with 90LA or 130LA LED wattages only.

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G200-035/1012

PHILIPS GARDCO

LED WATTAGE AND LUMEN VALUES

Ordering Code	Average System Watts[7]	LED Current (mA)	LED Quantity - Single LED Array	LED Selection	Luminaire Initial Absolute Lumens[8,9]				
					TYPE 2	TYPE 3	TYPE 4	TYPE 5M	TYPE 5W
55LA	55	350	48	NW	4,402*(s)*	4,563 *(s)*	4,412	5,133 *(s)*	5,357 *(s)*
70LA	70	350	64	NW	5,869 *(s)*	6,084 *(s)*	5,838 *(s)*	6,6844 *(s)*	7,142 *(s)*
90LA	90	350	80	NW	7,336	7,605 *(s)*	7,298	8,555	8,928
80LA	80	530	48	NW	6,176 *(s)*	6,518 *(s)*	6,211	7,165 *(s)*	7,860
105LA	105	530	64	NW	8,235*(s)*	8,691 *(s)*	8,152 *(s)*	9,553 *(s)*	10,425
130LA	130	530	80	NW	10,294	10,864	10,190	11,941	13,009

7. Wattage may vary by +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.
8. Values shown are for luminaires without the CLR, DL or EHHS options. Tests are in process for configurations not shown. "(s)" following the value indicates that values are scaled from tests on similar, but not identical luminaire configurations. Contact Gardco.applications@ philips.com if any approximate estimates are required for design purposes.
9. Lumen values based on tests performed in compliance with IESNA LM-79.

LED SELECTION

CW Cool White - 5700°K - 75 CRI Nominal
NW Neutral White - 4000°K - 70 CRI Nominal
WW Warm White - 3000°K - 80 CRI Nominal

VOLTAGE

UNIV 120V through 277V, 50hz or 60hz
HVU 347V through 480V, 50hz or 60hz (High Voltage Universal)

FINISH

BRP Bronze Paint
BLP Black Paint
WP White Paint
NP Natural Aluminum Paint
OC Optional Color Paint
Specify Optional Color or RAL ex: OC-LGP or OC-RAL7024.
SC Special Paint
Specify. Must supply color chip.

OPTIONS

F[10] Fusing
LF In-Line/In-Pole Fusing
BD[11] Bird Deterrent Spike Kit
PC[12,13] Photocontrol and Receptacle
PCR[13] Photocontrol Receptacle only
PCB[12,13] Button Photocontrol
EHHS External Houseside Shield
PTF2 Pole Top Fitter - 2 3/8" - 3" Dia. Tenon
PTF3 Pole Top Fitter - 3" - 3 1/2" Dia. Tenon
PTF4 Pole Top Fitter - 3 1/2" - 4" Dia. Tenon
SPA1-2 Square Pole Adapter *(for use with A1 or A2 Arms)*
SPA3 Square Pole Adapter *(for use with A3 Arms)*

DL Diffusing Lens *(reduces performance significantly)*
CLR Clear Glass Lens *(reduces performance)*
POLY[14] Polycarbonate Lens *(reduces performance)*
SPR[15] Surge Protection for 120V through 277V Input meeting ANSI C62.41.2
SPRH[15] Surge Protection for 347V through 480V Input meeting ANSI C62.41.2
TB Terminal Block
TL Provides for access to the LED arrays and driver without tools

10. Available with A1 arm or with MA mounting only. Provide specific input voltage.
11. Kits consist of 25 injection molded plastic bird deterrent spikes. Field installation only.
12. Not available in 480V. Provide specific input voltage.
13. Available with A1 or A2 arms, or with MA mounting only.
14. Polycarbonate lenses feature a 1 year warranty only.
15. Not available with Fusing (F) option.

ACCESSORIES *(Ordered separately)*

MS-A-120V 120V Input - Area Motion Sensor for P21-MR50 (Motion Response) or P21-APD-MRO (Automatic Profile Dimming with Motion Response Override)
MS-A-277V 277V Input - Area Motion Sensor for P21-MR50 (Motion Response) or P21-APD-MRO (Automatic Profile Dimming with Motion Response Override)

Motion Sensors are ordered separately, with one (1) motion sensor required per pole location for P21-MR50 or P21-APD-MRO luminaires. See Luminaire Configuration Information on page 4-5 for more details. Area motion sensor color is Arctic White. MRI and APD-MRI luminaires include an integral motion sensor.

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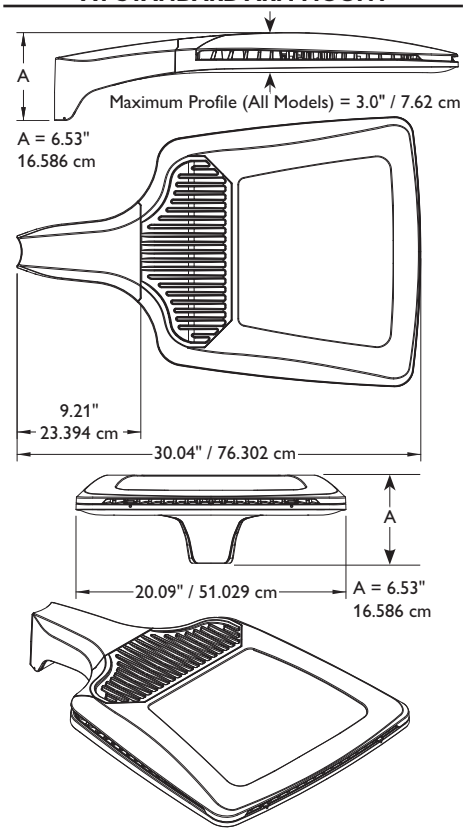
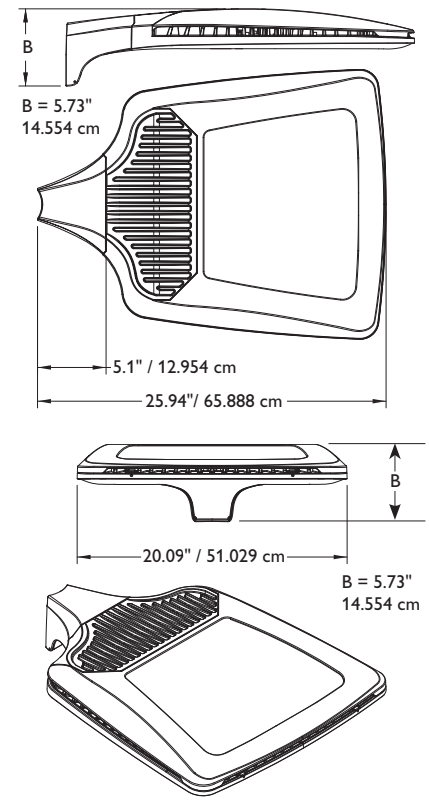
DIMENSIONS AND EPA

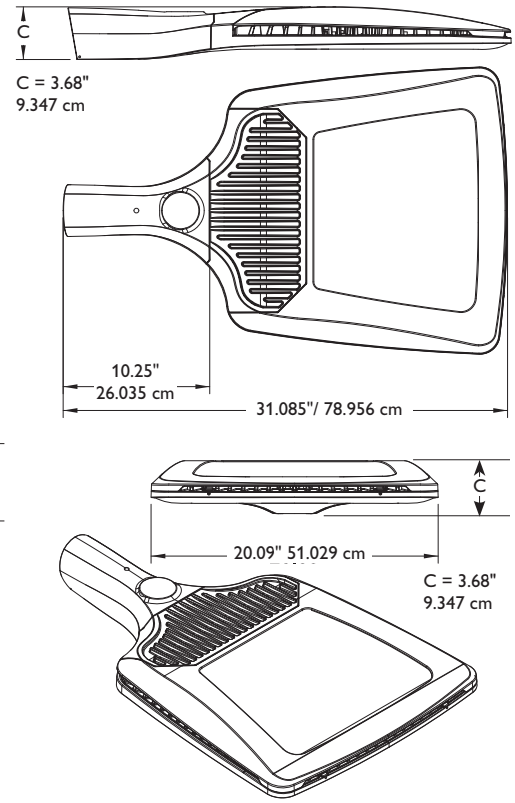
A1 STANDARD ARM MOUNT



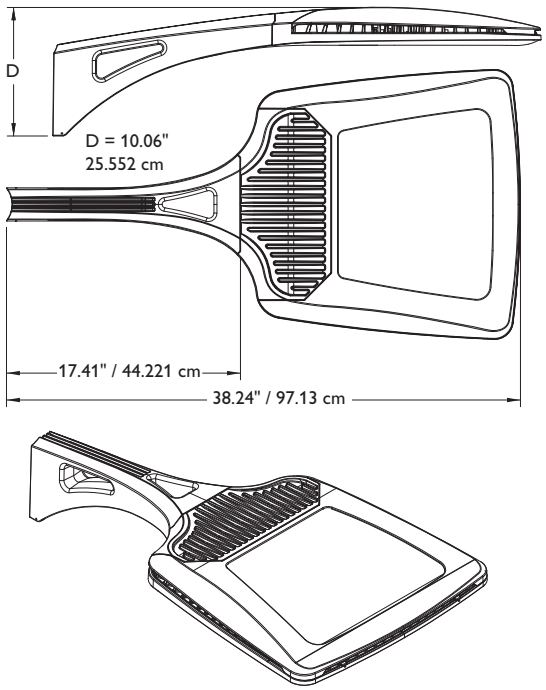
A2 SHORT ARM MOUNT

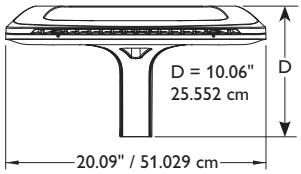


MA MAST ARM MOUNT



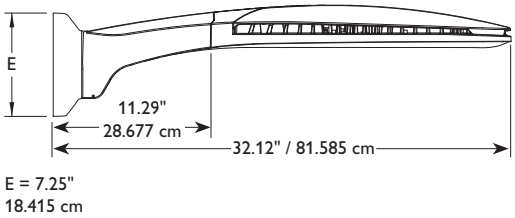
A3 DECORATIVE ARM MOUNT



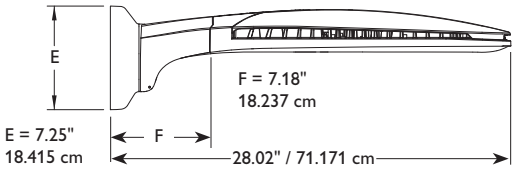


WALL MOUNT

WITH A1 STANDARD ARM



WITH A2 SHORT ARM



Single Luminaire Weight	
Mounting	Approximate Weight
A1	38 lbs / 17.237 kg
A2	37 lbs / 16.783 kg
A3	41.5 lbs / 18.824 kg
MA	38 lbs / 17.237 kg
W or WS	39 lbs / 17.69 kg

Effective Projected Area ft^2 / m^2			
Mounting	Single	Twin @ 180	3/4
A1	0.35 / 0.033	0.70 / 0.066	1.25 / 0.117
A2	0.30 / 0.028	0.60 / 0.056	1.10 / 0.103
A3	0.50 / 0.047	1.0 / 0.093	1.70 / 0.158
MA	0.35 / 0.033	N/A	N/A

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LUMINAIRE CONFIGURATION INFORMATION *(CONTINUED ON PAGE 5)*

P21: Philips Gardco PureForm LED standard luminaire providing constant wattage and constant light output when power to the luminaire is energized.

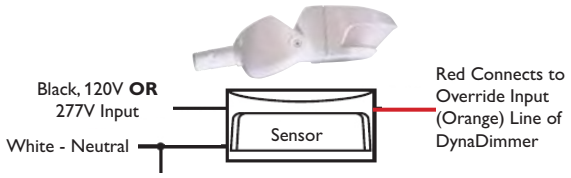
P21-DIM: Philips Gardco PureForm LED luminaire provided with 0 -10V dimming for connection to a control system provided by others.

P21-MR50: Philips Gardco PureForm LED luminaire with motion response, providing a 50% power reduction on low and a commensurate reduction in light output. The power and light output reduction is accomplished utilizing the Philips DynaDimmer module, programmed for a constant 50% power. Power supplied by the motion sensor connected to the override line on the DynaDimmer takes the luminaire to high setting, 100% power and light output, when motion is detected. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

This configuration is not available for use with wall mounted luminaires.

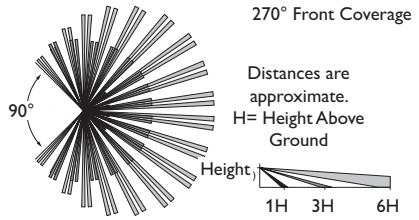
P21-MR50 is available in 120V through 277V input only to the luminaire. Motion sensors require single voltage 120V or 277V input.

The Area PIR motion sensor is the WattStopper EW-200-120-W (120V Input - MSA-120V) or the WattStopper EW-200-277-W (277V Input - MSA-277V.) One motion sensor per pole is required and is ordered separately. Area sensors require single voltage 120V or 277V input.



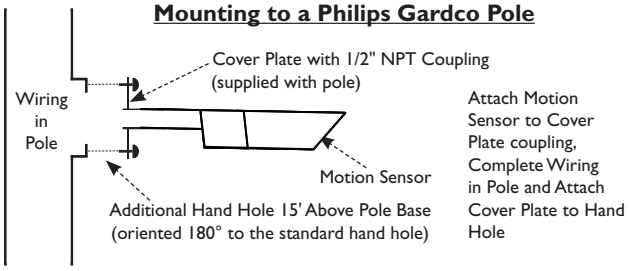
The area motion detector provides coverage equal to up to 6 times the sensor height above ground, 270° from the front-center of the sensor.

Area PIR Motion Sensor Coverage Pattern:



Motion response requires that the pole include an additional hand hole 15 feet above the pole base, normally oriented 180° to the standard hand hole. For Philips Gardco poles, order the pole with the Motion Sensor Mounting (MSM) option which includes the hand hole and a special hand hole cover plate for the sensor with a 1/2" NPT receptacle centered on the hand hole cover plate into which the motion sensor mounts. Once the motion sensor is connected to the hand hole cover plate, then wiring connections are completed in the pole. The plate (complete with motion sensor attached and wired) is then mounted to the hand hole. **If poles are supplied by others, the customer is responsible for providing suitable mounting accommodations for the motion sensor in the pole.**

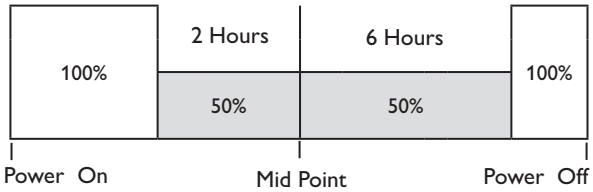
Mounting to a Philips Gardco Pole



P21-APD: Philips Gardco PureForm LED luminaire with Automatic Profile Dimming. Luminaire is provided with a programmable LED Driver, programmed to go to 50% power, 50% light output two (2) hours prior to night time mid-point and remain at 50% for six (6) hours after night time mid-point. Mid-point is continuously recalculated by the programmable LED Driver based on the average mid-point of the last two full night cycles. Short duration cycles, and power interruptions are ignored and do not affect the determination of mid-point.

P21-APD is available in 120V through 277V input only.

P21-APD Dimming Profile:



The P21-APD offers many of the advantages of a sophisticated control system, including an average energy savings of at least 33% versus constant wattage, constant light output systems, without the need for a control system.

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LUMINAIRE CONFIGURATION INFORMATION *(CONTINUED FROM PAGE 4)*

P21-APD-MRO: Philips Gardco PureForm LED luminaire with Automatic Profile Dimming, with Motion Response Override. The P21-APD-MRO combines the benefits of both automatic profile dimming and motion response, using the Philips DynaDimmer module. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for the P21-APD. If motion is detected during the time that the luminaire is operating at 50%, the luminaire returns to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes.

This configuration is not available for use with wall mounted luminaires.

P21-APD-MRO is available in 120V through 277V input only to luminaire. The motion sensor requires either 120V or 277V input to the motion sensor.

The P21-APD-MRO has the same pole requirements and utilizes the same motion sensors as the P21-MR50. The motion sensor mounts and wires identically as well. The P21APD-MRO utilizes the identical dimming profile as shown for the P21-APD.

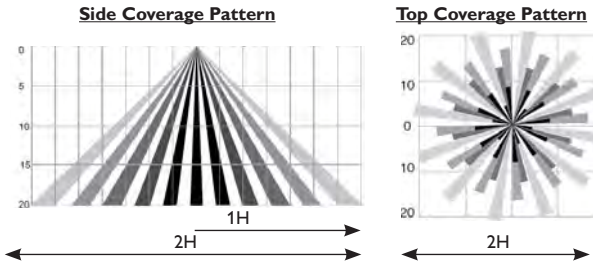
By combining the benefits of automatic profile dimming and motion response, the P21-APD-MRO assures maximum energy savings, and insures that adequate light is present if motion is detected.

Note: All motion sensors utilized consume 0.0 watts in the off state.

Luminaires with Integral Motion Sensor - P21-MRI: Luminaires with Motion Response and an integral motion sensor include a programmable LED driver and an integral motion sensor. The programmable LED driver is set to a constant 50%. When motion is detected, the luminaire goes to 100%. The luminaire remains on high until no motion is detected for the motion sensor duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes. Available with 120V through 277V (UNIV) only.

P21-MRI luminaires are provided with the WattStopper FS-305-L3W motion sensor, with a maximum recommended 20 ft. mounting height. The area coverage and range of the integral sensors make them most suitable for applications not requiring long range detection. For longer range detection applications, configurations with pole mounted motion sensors are recommended.

FS-305-L3W - Supplied with PureForm MRI Luminaires

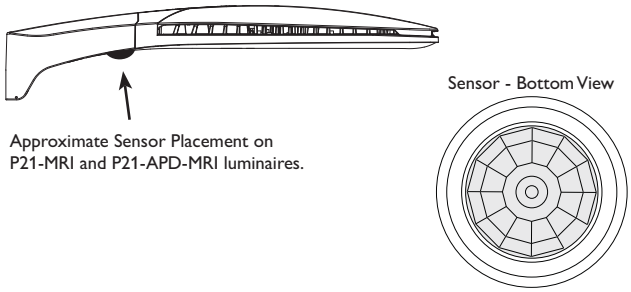


Distances are approximate. H = Height above ground.

Luminaires with Integral Motion Sensor - P21-APD- MRI: Luminaires with Automatic Profile Dimming and Motion Response Override combine the benefits of both automatic profile dimming and motion response. APD-MRI luminaires utilize a programmable LED driver. The luminaire will dim to 50% power, 50% light output, per the dimming profile shown for APD luminaires (see page 4). If motion is detected during the time that the luminaire is operating at 50%, the luminaire goes to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns to low. Duration period is factory set at 15 minutes.

APD-MRI luminaires are available with 120V through 277V (UNIV) input voltages only.

APD-MRI luminaires use the identical motion sensor as MRI luminaires. See motion sensor details for P21-MRI.



Approximate Sensor Placement on P21-MRI and P21-APD-MRI luminaires.

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SPECIFICATIONS

GENERAL DESCRIPTION: Philips Gardco PureForm luminaires combine LED performance excellence and advanced Gardco LED thermal management technology with a distinct purity of style to provide outdoor area lighting that is both energy efficient and aesthetically pleasing. PureForm is defined by its high performance, sleek low profile design and rugged construction. The die cast aluminum housing mounts directly to a pole or wall, and has a maximum profile of just 3". All LED wattages utilize high performance Class 1 LED systems. The luminaire features a state of the art integral thermal control system to maximize LED performance and life, and to extend component life. The door frame is die cast aluminum. Luminaires are finished with a fade and abrasion resistant TGIC powdercoat. PureForm luminaires are available in a wide variety of mountings and arms.

HOUSING: The PureForm features a die cast aluminum housing, and mounts directly to a pole or wall. The low profile rounded form reduces the effective projected area of the luminaire significantly.

PureForm luminaires supplied with A1, A2 and A3 arms are provided with arms firmly attached to the main luminaire housing body. As a result, the luminaires provide the functionality, strength and installation ease of an integral arm luminaire.

Mast arm mount luminaires are provided with the mast arm mounting assembly firmly attached to the main luminaire housing body.

IP RATING: PureForm luminaires have a rating of IP66.

VIBRATION RESISTANCE: PureForm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire.

OPTICAL SYSTEMS: The advanced LED optical systems provide IES Types II, III, IV and V distributions, as well as a Backlight Control optic. Special LEED corner cutoff optics are also available, both as LCR (right) and LCL (left.) All optical systems feature unitized lens optic construction.

Types 2, 3, 4, BLC and LCR/LCL optical systems utilize an innovative redirecting reflector system to complement the performance of the LED optic. The redirecting reflector system includes a black surrounding surface to minimize aperture brightness when viewed from the rear of the luminaire.

PureForm luminaires are provided standard without a glass lens, for maximized performance. A glass lens is available as an option, resulting in reduced performance. All PureForm luminaires provide full cutoff performance.

LED RELIABILITY:

PREDICTED LUMEN DEPRECIATION DATA		
Ambient Temperature °C	Driver mA	L_{70} Hours[16]
25 °C	350 mA	240,000
	530 mA	180,000
40 °C	350 mA	225,000
	530 mA	160,000

16. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L_{70} is the predicted time when LED performance depreciates to 70% of initial lumen output.

THERMAL MANAGEMENT: The Philips Gardco PureForm LED provides die cast aluminum integral thermal radiation fins to provide the excellent thermal management so critical to long LED system life.

ELECTRICAL: Luminaires are equipped with an LED driver that accepts 120V through 277V, or 347V through 480V, 50hz to 60hz, input. Driver output is based on the LED wattage selected. Component-to-component wiring within the luminaire will carry no more than 80% of rated current and is listed by UL for use at 600 VAC at 302°F / 150°C or higher. Plug disconnects are listed by UL for use at 600 VAC, 15A or higher. Power factor is not less than 90%. Luminaire consumes 0.0 watts in the off state. All motion sensors utilized consume 0.0 watts in the off state.

FINISH: Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BRP), black (BLP), white (WP), and natural aluminum (NP). Consult factory for specs on optional or custom colors.

LABELS: All luminaires bear UL or CUL (where applicable) Wet Location labels.

WARRANTY: Philips Gardco luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years by the motion sensor manufacturer. See Warranty Information on www.sitelighting.com for complete details and exclusions. Polycarbonate lenses carry a 1 year warranty.

FULL CUTOFF PERFORMANCE: Full cutoff performance means a luminaire distribution where zero candela intensity occurs at an angle at or above 90° above nadir. Additionally, the candela per 1000 lamp lumens does not numerically exceed 100 (10 percent) at a vertical angle of 80° above nadir. This applies to all lateral angles around the luminaire.

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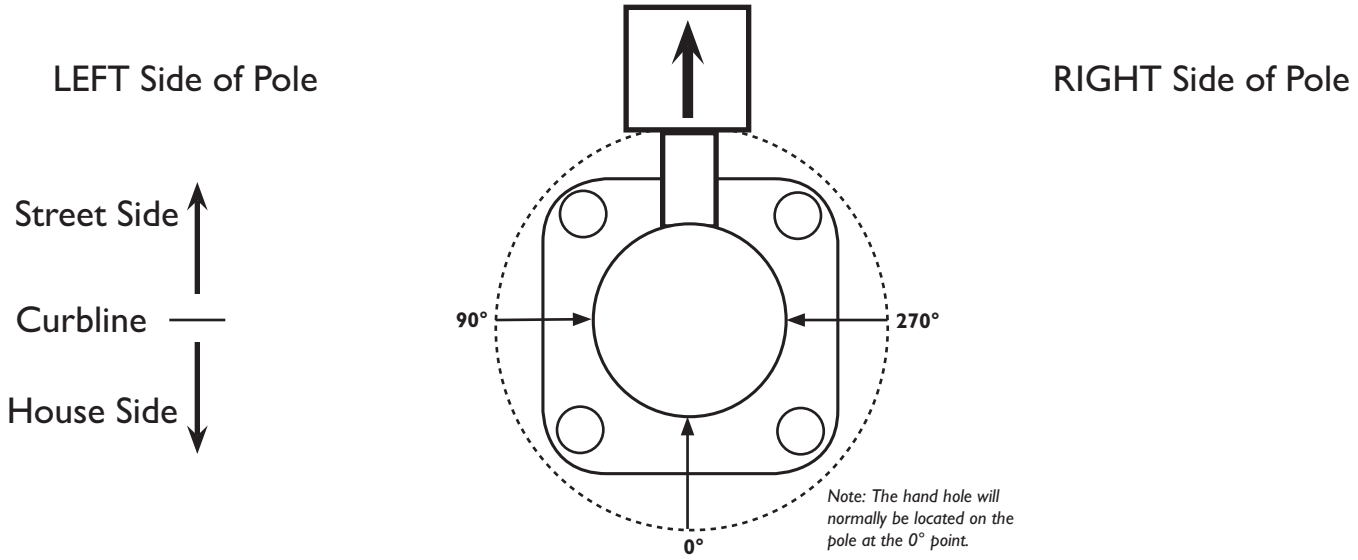
ASYMMETRIC OPTICAL ORIENTATION INFORMATION *(CONTINUED ON PAGE 8)*

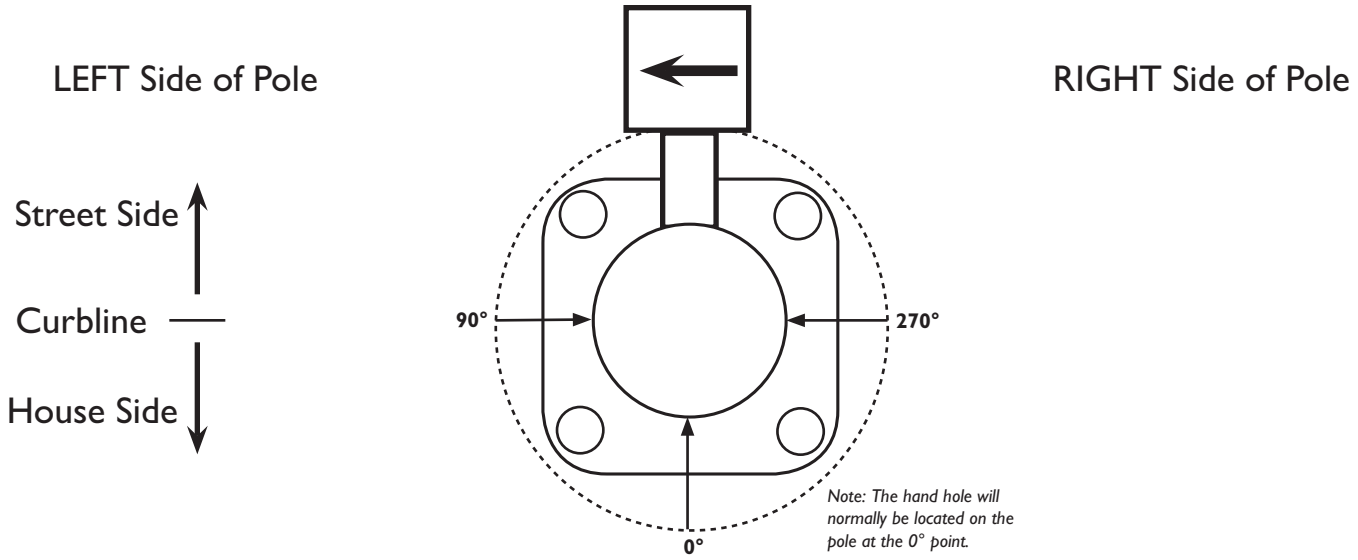
STANDARD OPTIC POSITION:

Luminaires ordered with asymmetric optical systems in the standard optic position will have the optical system oriented as shown below:



OPTIC ROTATED LEFT (90°) OPTIC POSITION:

Luminaires ordered with asymmetric optical systems in the **OPTIC ROTATED LEFT (90°)** optic position will have the optical system oriented as shown below:



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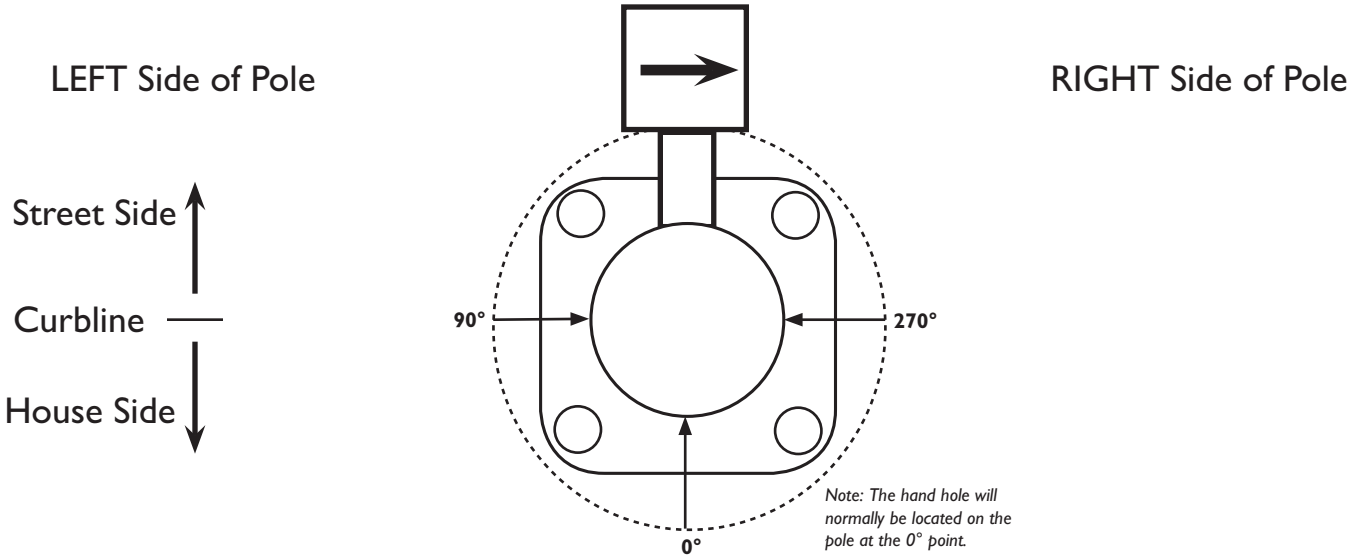
ASYMMETRIC OPTICAL ORIENTATION INFORMATION *(CONTINUED FROM PAGE 7)*

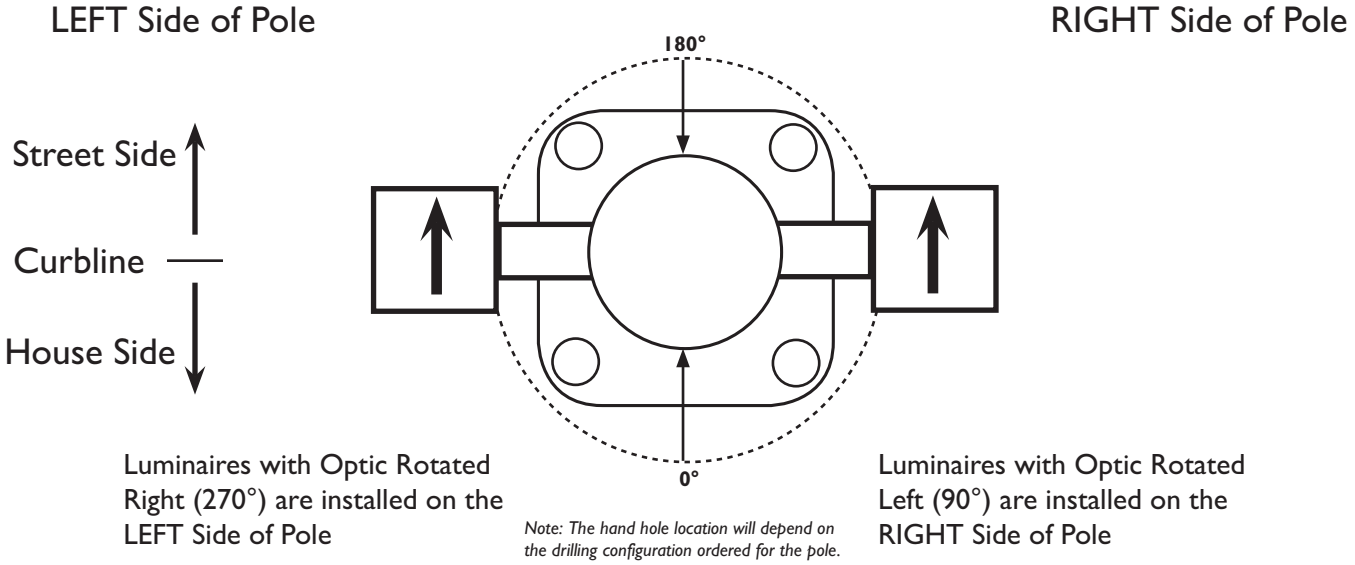
OPTIC ROTATED RIGHT (270°) OPTIC POSITION:

Luminaires ordered with asymmetric optical systems in the **OPTIC ROTATED RIGHT (270°)** optic position will have the optical system oriented as shown below:



TWIN LUMINAIRE ASSEMBLIES WITH ROTATED OPTICAL SYSTEMS:

Twin luminaire assemblies installed with rotated optical systems are an excellent way to direct light toward the interior of the site (Street Side) without additional equipment. It is important, however, that care be exercised to insure that luminaires are installed in the proper location.



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LED Full Cut-Off Wall Pack

Type WW
2301 Central

WPC Series

Features

Superior Thermal Management

Quality LED Components

Up to 3368 Output Lumens Available

5 Year Manufacturers Warranty

DESIGNLIGHTS CONSORTIUM *Listed*

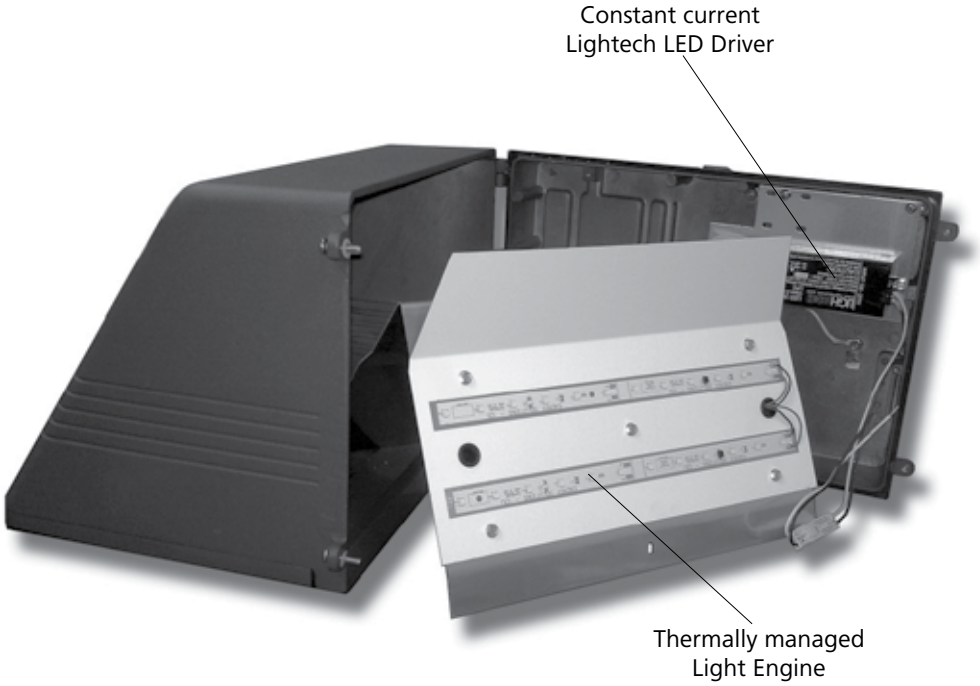
Technical Data

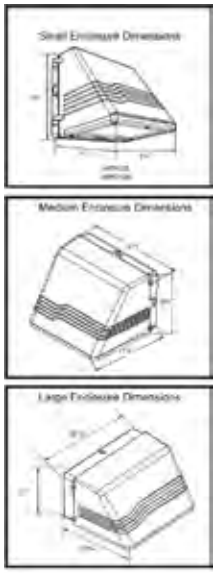
Housing: Die cast aluminum housing & hinged front frame, coin plugs with O-rings for conduit & photocell, Textured architectural bronze powder coat finish over a chromate conversion coating.

Mounting: Cast-in template for mounting directly over a 4"recessed outlet box or use surface conduit
Lens: Tempered flat clear glass lens.

LED Module: Made in America flexible array provides optimal heat dissipation that keeps the LEDs running cooler, resulting in more light output and longer life, Each module uses 12 high quality Nichia NF2L757AR Chips.

Highlights





LED Full Cut-Off Wall Pack

WPC Series

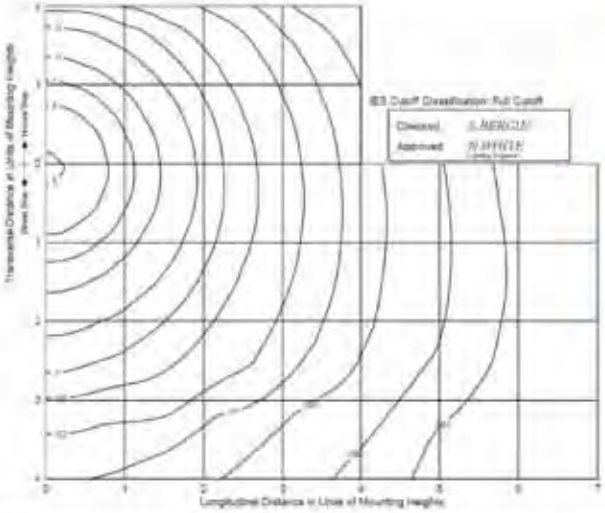
itl boulder

30W Wall Pack

REPORT NUMBER: ITL75519
ISSUE DATE: 12/26/12 PAGE: 1 OF 8
PREPARED FOR: ENERGY SOLUTIONS
CATALOG NUMBER: L-WPC100-M2-41
LUMINAIRE: CAST BROWN PAINTED METAL HOUSING, FORMED METAL CIRCUIT BOARD MOUNTING PLATE, FORMED WHITE FIBROUS REFLECTOR, 2 WHITE CIRCUIT BOARDS EACH WITH 12 LEDS, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL FRAME.
LAMPS: TWENTY-FOUR WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), TILTED 11-DEGREES FROM VERTICAL BASE-UP POSITION.
TOTAL INPUT WATTS = 30.4 AT 120.0 VOLTS
LED DRIVER: LIGHTECH LED 36 CC 700 PU
NOTE: DATA SHOWN IS ABSOLUTE FOR THE SAMPLE PROVIDED AT RATED INPUT VOLTAGE (120VAC, 60Hz) TO THE LED DRIVER.
TEST PROCEDURE: IESNA LM-79-08
TEST DISTANCE = 25.25 FEET

TOTAL FLUX 2113

EFFICACY = 69.5 lm/W

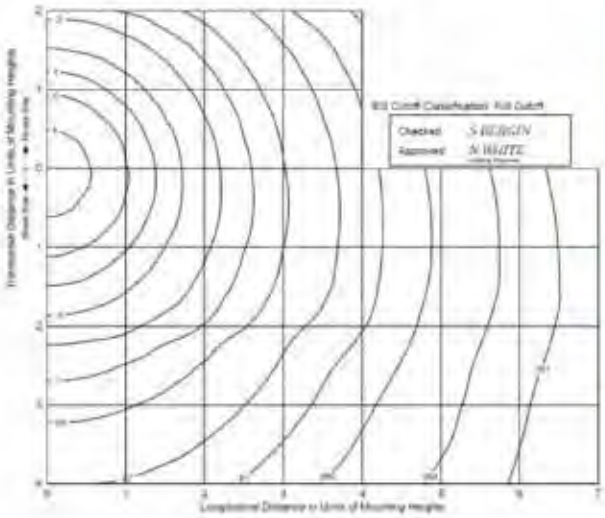


46W Wall Pack

REPORT NUMBER: ITL75520
ISSUE DATE: 12/27/12 PAGE: 1 OF 8
PREPARED FOR: ENERGY SOLUTIONS
CATALOG NUMBER: L-WPC200-M3-41
LUMINAIRE: CAST BROWN PAINTED METAL HOUSING, FORMED METAL CIRCUIT BOARD MOUNTING PLATE, FORMED WHITE FIBROUS REFLECTOR, 3 WHITE CIRCUIT BOARDS EACH WITH 12 LEDS, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL FRAME.
LAMPS: THIRTY-SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), TILTED 11-DEGREES FROM VERTICAL BASE-UP POSITION.
TOTAL INPUT WATTS = 46.5 AT 120.0 VOLTS
LED DRIVERS: TWO LIGHTECH LED 36 CC 700 PU
NOTE: DATA SHOWN IS ABSOLUTE FOR THE SAMPLE PROVIDED AT RATED INPUT VOLTAGE (120VAC, 60Hz) TO THE LED DRIVERS.
TEST PROCEDURE: IESNA LM-79-08
TEST DISTANCE = 25.25 FEET

TOTAL FLUX 3368

EFFICACY = 72.4 lm/W



Ordering Information

Size	Light Engine	Driver Current	Color	Option
L-WPC50 - Small Enclosure	**M1 -** One Module	**L -** Low	**41 -** 4100K	**PC -** Photo Cell
L-WPC100 - Medium Enclosure	**M2 -** Two Modules	**M -** Medium	**50 -** 5000K	
L-WPC200 - Large Enclosure	**M3 -** Three Modules	**H -** High		
	M4 - Four Modules			

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From Site to Finish

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Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
www.landform.net

August 8, 2014

Adelheid Koski
President
Holland Neighborhood Association
1900 Central Avenue NE, #108
Minneapolis, MN 55418

Re: Construction of a two-story multi-use clinic and offices at 2301 Central Avenue, NE

This notice is being sent to inform you of Neighborhood HealthSource's intent to submit a land use application to the City of Minneapolis for a site plan and variance construct a two-story multi-use building housing a clinic and offices at 2301 Central Avenue, NE and the related parking lot at 949 23rd Avenue N. The project is scheduled for the September 15, 2014 planning commission meeting. We look forward to presenting at your meeting on August 14, 2014.

Neighborhood HealthSource plans to demolish the existing vacant, boarded mortuary on the corner of Central Avenue and 23rd Street. In its place, we will build a new multi-use, two-story building with a clinic that serves the surrounding neighborhoods. The clinic will be located on the first floor and the second floor will house offices that serve other Neighborhood HealthSource clinic locations in Minneapolis. The development will include the construction of surface parking on the East side of the building and installation of a trash receptacle. The site is zoned C-1 Neighborhood Commercial District and is located in the PO Pedestrian Overlay District.

Neighborhood HealthSource will be seeking alternative compliance for two items. The first is to allow for less than 30% window coverage on the east side of the building. This is necessary to allow for the placement of storage, mechanical rooms and bathrooms in the building. Because the building is has either a parking lot or a public sidewalk/street on all four sides, there is no other location in the building that these facilities can be located. This wall of the building does include increased architectural styling that enhances the appearance of the wall. We will also seek alternative compliance from the landscaping standards for the existing parking lot at 949 23rd Avenue North to keep the existing landscaping.

As part of the application we will be seeking the following variances:

1. Neighborhood HealthSource will seek a variance from the 8-foot build-to line requirements in Section 530.110 of the City Code. A section of the building will indent slightly at the southwest corner to enhance building articulation and support a strongly defined main entrance. The slight variance from the build-to line ensures that there will be an accessible, landscaped route along the building, which meets the intent and spirit of the Code's build-to requirement.

2. We will also be seeking a variance to exceed the maximum gross floor area of a commercial use. Chapter 548 of the City Code allows for up to 8,000 square feet of a single commercial use. There are two separate commercial uses proposed for the site, a clinic and offices, which are listed as separate uses in the code. The offices will be used as a corporate

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headquarters for Neighborhood HealthSource. While the code allows for two separate uses at 8,000 square feet each, the City is interpreting the separate uses as one related use.

3. Chapter 541 of the City Code requires a minimum of 19 parking spaces. The proposed plan shows 15 parking spaces and an additional 4 spaces in an adjacent existing parking lot on a residentially zoned parcel. While this parking easement was included as part of the purchase and has been used by the previous owner, parking as a principal use is not allowed in residential districts. We will be seeking a variance for fewer parking spaces than the required minimum.

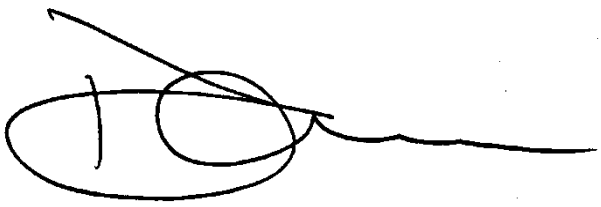
4. Neighborhood HealthSource is requesting two sign variances. The first is to exceed the maximum area of a sign from 45 square feet to 113 square feet and the second will be to allow a sign on a secondary frontage. Neighborhood HealthSource would like install a heart sculpture on the south side of the building that represents their mission to improve the health of communities. They also want to include a sign on the north side of the building so that patrons who are accessing the site from the north side can clearly see the business.

Neighborhood HealthSource provides culturally competent primary health care for patients without health insurance at four locations in North and Northeast Minneapolis for over 45 years. Their mission is to improve and promote the health of communities by providing quality health care services that are affordable and accessible. In addition to providing healthcare to patients, Neighborhood HealthSource provides outreach, education, screening, and other activities in the communities that they serve.

Please direct any questions or comments to:

Matthew Parton
Par-10
6133 Blue Circle Drive
Hopkins, MN 55343
matt@par-10companies.com
612-760-0515

Sincerely,
Landform



Darren Lazan, RLA
President

Copy:
Kevin Reich, Ward 1 Council Member

LANDFORM
From Site to Finish

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Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
www.landform.net

August 8, 2014

Joe Bove
President
Windom Park Neighborhood Association
1845 Stinson Parkway NE, Suite 201 & 203
Minneapolis, MN 55418

Re: Construction of a two-story multi-use clinic and offices at 2301 Central Avenue, NE

This notice is being sent to inform you of Neighborhood HealthSource's intent to submit a land use application to the City of Minneapolis for a site plan and variance to construct a two-story multi-use building housing a clinic and offices at 2301 Central Avenue, NE and the related parking lot at 949 23rd Avenue N. The project is scheduled for the September 15, 2014 planning commission meeting. We look forward to giving a presentation of this project at your August 19, 2014 meeting.

Neighborhood HealthSource plans to demolish the existing vacant, boarded mortuary on the corner of Central Avenue and 23rd Street. In its place, we will build a new two-story building with a clinic that serves the surrounding neighborhoods. The clinic will be located on the first floor and the second floor will include Neighborhood HealthSource staff. The development will include the construction of surface parking on the East side of the building and installation of a trash receptacle. The site is zoned C-1 Neighborhood Commercial District and is located in the PO Pedestrian Overlay District.

Neighborhood HealthSource will be seeking alternative compliance for two items. The first is to allow for less than 30% window coverage on the east side of the building. This is necessary to allow for the placement of storage, mechanical rooms and bathrooms in the building. Because the building is has either a parking lot or a public sidewalk/street on all four sides, there is no other location in the building that these facilities can be located. This wall of the building does include increased architectural styling that enhances the appearance of the wall. We will also seek alternative compliance from the landscaping standards for the existing parking lot at 949 23rd Avenue North to keep the existing landscaping.

As part of the application we will be seeking the following variances:

1. Neighborhood HealthSource will seek a variance from the 8-foot build-to line requirements in Section 530.110 of the City Code. A section of the building will indent slightly at the southwest corner to enhance building articulation and support a strongly defined main entrance. The slight variance from the build-to line ensures that there will be an accessible, landscaped route along the building, which meets the intent and spirit of the Code's build-to requirement.

2. We will also be seeking a variance to exceed the maximum gross floor area of a commercial use. Chapter 548 of the City Code allows for up to 8,000 square feet of a single commercial use. There are two separate commercial uses proposed for the site, a clinic and offices, which are listed as separate uses in the code. The offices will be used for neighborhood

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healthsource staff. While the code allows for two separate uses at 8,000 square feet each, the City is interpreting the separate uses as one related use.

3. Chapter 541 of the City Code requires a minimum of 19 parking spaces. The proposed plan shows 15 parking spaces and an additional 4 spaces in an adjacent existing parking lot. All of which was represented as eligible parking to meet requirements for clinic use. While this parking was included as part of the purchase and has been used by the previous owner, parking as a principal use is not allowed in city of Minneapolis. We will be seeking a variance for fewer parking spaces than the required minimum.

4. Neighborhood HealthSource is requesting two sign variances. The first is to exceed the maximum area of a sign from 45 square feet to 113 square feet and the second will be to allow a sign on a secondary frontage. Neighborhood HealthSource would like install a heart sculpture on the south side of the building that represents their mission to improve the health of communities. They also want to include a sign on the north side of the building so that patrons who are accessing the site from the north side can clearly see the business.

As a non-profit, Neighborhood HealthSource has provided culturally competent primary health care for patients at four locations in North and Northeast Minneapolis for over 45 years. Their mission is to improve and promote the health of communities by providing quality health care services that are affordable and accessible. In addition to providing healthcare to patients, Neighborhood HealthSource provides outreach, education, screening, and other activities in the communities that they serve.

Please direct any questions or comments to:

Matthew Parten
Par-10
6133 Blue Circle Drive
Hopkins, MN 55343
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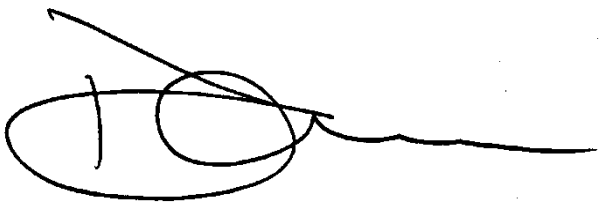
612-760-0515

Sincerely,
Landform



Darren Lazan, RLA
President

Copy:
Kevin Reich, Ward 1 Council Member

Steiner, Lisa

From: Windom Park Citizens in Action (WPCiA) <info@windompark.org>
Sent: Wednesday, September 03, 2014 3:49 PM
To: Steiner, Lisa
Subject: For Planning Commission's 2301 Central Ave. NE hearing 9/15

Dear Ms. Steiner,

This e-mail is to let you know that the Windom Park Citizens in Action neighborhood organization at its monthly membership meeting on Tuesday, Aug. 19, voted to support the following variances requested by Neighborhood Health Source for their new site at 2301 Central Ave. NE: (The vote came after a detailed presentation and discussion by Neighborhood Health Source and its representatives with the neighborhood.)

1) variance to increase maximum size of a commercial use in C1 district; 2) variance to reduce off-street parking requirement; 3) variance to increase corner yard setback in Pedestrian Oriented Overlay District; 4) variance to increase the maximum area of a sign in the C1 District; 5) variance to allow a sign on a non-primary building wall;

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Windom Park Citizens in Action (WPCiA)
1845 Stinson Parkway NE, Suite 201 and 203
Minneapolis, MN 55418
(612) 788-2192
www.windompark.org
info@windompark.org

View south from 24th and Central

CPED Diagram showing allowed sign area in the C1 District