



CPED STAFF REPORT

Prepared for the Heritage Preservation Commission

HPC Agenda Item #2
August 19, 2014
BZH-28278

HERITAGE PRESERVATION APPLICATION SUMMARY

Property Location: 428 2nd Street South
 Project Name: Mill City Quarter Phase 2
 Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
 Applicant: Ecumen
 Project Contact: Charlene Roise, Hess, Roise and Company
 Ward: 3
 Neighborhood: Downtown Minneapolis Neighborhood Association
 Request: To allow a new 5-story assisted living facility.
 Required Applications:

Certificate of Appropriateness	To allow a new 5-story assisted living facility located within the Saint Anthony Falls Historic District.
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HISTORIC PROPERTY INFORMATION

Current Name	Not applicable (surface parking lot)
Historic Names	1. City Hotel, 2. Falls Hotel, 3. Eagle Iron Works, 4. Minneapolis and St. Louis Railroad
Historic Address	1. 416 2 nd Street South, 2. 418 2 nd Street South, 3. 120-128 5 th Avenue South/420 2 nd Street South, 4. Not applicable
Original Construction Date	1. 1903, 2. 1909, 3. c. 1870
Original Architect	Unknown
Original Builder	Unknown
Original Engineer	Unknown
Historic Use	1. Hotel, 2. Hotel, 3. Machine shop and foundry, 4. Railroad corridor/spur
Demolition Date	1. 1872, 2. 1869, 3. c. 1920 ¹
Current Use	Surface parking lot
Proposed Use	5-story assisted living facility

¹ Anfinson, Scott F. *Archeology of the Central Minneapolis Riverfront*. The Minnesota Archaeologist Vol. 48, No. 1-2, 1989. *From Site to Story* (<http://www.fromsitetostory.org/sources/papers/mnarch48/48inv-wm.asp>; viewed August 7, 2014).

Date Application Deemed Complete	July 25, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	September 23, 2014	End of 120-Day Decision Period	Not applicable

CLASSIFICATION

Local Historic District	Saint Anthony Falls Historic District
Period of Significance	1858-1940
Criteria of Significance	Industry, Transportation, Architecture and Social Significance
Date of Local Designation	1971
Date of National Register Listing	1971
Applicable Design Guidelines	<i>St. Anthony Falls Historic District Design Guidelines</i> <i>Historic Mills District Master Plan and Update</i> <i>The Secretary of the Interior’s Standards for the Treatment of Historic Properties</i>

SUMMARY

BACKGROUND. The subject site is located in the Saint Anthony Falls Historic District. The St. Anthony Falls established its modern historic significance as the birthplace of Minneapolis and the epicenters of saw and flour milling industries that became leading producers of their commodities in the United States and the world. The Falls and their industries fed unparalleled technical innovations and a web of railroads connected the industries to the region and nation.

The growth of the milling industry in Minneapolis would not have occurred if not for the railroads. They first provided a way to ship finished lumber across the region and then became the conduit to the flour milling industry. Rail lines connected the mills with the grain fields of the Midwest and thence back out to the rest of the nation as finished flour.

The subject site is located in the West Side Milling Area of the historic district, which is bounded by Second Street South, Third Avenue South, West River Parkway and the former right-of-way of Tenth Avenue South. The highest concentration of milling-related development exists here—all oriented off the West Side Waterpower Canal, now the alignment of Plank Road on West River Road. Access to the waterpower canal was a premium and thus shaped the massing and locations of the buildings. Building widths were relatively narrow in order to promote access to the water for as many as possible. The heights of the remaining buildings vary. The resulting character is a diversity of building heights with simple rectangular massing.

On the subject site, the above noted buildings were located at the corner of 5th Avenue and 2nd Street. These buildings were one to three stories in height. After the buildings were demolished, the railroad tracks eventually took over the rest of the site. The parking lot was established after the railroad operations ceased.

APPLICANT’S PROPOSAL. The proposed 5-story building includes 149 units of assisted living housing and two levels of below-grade parking (179 spaces). A small café is also proposed on the ground level. The subject site is currently owned by the City of Minneapolis. In 2008, the City issued a Request for Proposal (RFP) for redevelopment of these properties. The Lupe Development Partners RFP that was selected is a proposal for a 6-story mixed use building on the property of 300 2nd Street South (Phase 1) and a 5-story assisted living facility on the subject property (Phase 2). A “woonerf” proposal, which is a concept where bikes, cars, pedestrians and public spaces all coexist, on the Mill Place parcel of 101 3rd Avenue South, separating the developments (it is under separate ownership),

would be implemented in coordination with these developments. Land use and preservation approvals for the mixed use project and woonerf were previously obtained. The redevelopment of the subject site requires a Certificate of Appropriateness application. The proposal for the subject property will also require the following land use approvals: Conditional Use Permit to allow assisted living and Site Plan Review (reviewed by the City Planning Commission).

In June, the applicant brought their proposal to the Heritage Preservation Commission for a conceptual review. In the applicant's project narrative, a section is included that describes the changes that were made to the design since that meeting.

ELEMENTS OF PROPOSAL:

Building:

- *Placement and orientation:* The building would be oriented to the corner of 5th Avenue South and 2nd Street South. Along 2nd Street, the first floor would be built up to the lot line at the corner, then is recessed for an interior courtyard, and then follows the curve of the property line as it extends away from the street. The curvature of the property line follows the former railroad alignment. Along 5th Avenue, the first floor is set back 10 feet with stoops and stairs located between the building and the street leading to individual unit entrances. The 5th Avenue setback is in line with the adjacent River West Condominiums at 401 1st Street South. The upper floors would align with the footprint of the building, except where two roof decks are proposed on the second level, one roof deck is proposed at the fifth level, some 5 foot balcony recesses on several sides of the building, and for some service use extensions on the back of the building.
- *Height:* The building would be 5-stories and 59 feet (including a 3 foot tall parapet) in height.
- *Materials:* The primary façade materials include utility and modular face brick, metal panels, fiber cement, burnished block and clear glass. The applicant has included a table on the exterior elevations plan identifying the proposed amount of materials on each façade. Other accent elements, such as balcony railings, canopies, and mechanical grills, would primarily be metal. The window frames will be a Fibrex composite material in a dark bronze color. Material/color samples will be available for viewing at the public hearing.
- *Canopies:* Metal canopies are proposed on the south elevation over the main entrance and areas adjacent to the outdoor dining areas.
- *Balconies, Stoops and Roof Decks:* Balconies would be recessed, except on the north elevation. The concrete stoops for the walk-up units would have metal railings and would be located on the east and north sides of the building. Three roof decks are proposed. Two of them are proposed on the second floor level for the memory care units—one is located over the main entrance and the other would overlook the private courtyard and would be recessed from the street. The railings for these decks would be metal with glass infill panels. A common roof deck with metal railings is proposed on the fifth floor overlooking 2nd Street and the private courtyard.

Mechanical equipment: Dwelling units would have individual heating and cooling units. The building elevation plans indicate that mechanical grills directly adjacent to the street would not be outward facing, except for the memory care units located on Level 2. The remainder of the elevations would have outward facing mechanical grills. Rooftop units up to 5 feet in height are proposed that would be

set back at least one structural bay from the perimeter of the building. Two transformers are proposed in the northwest corner of the site that will be screened by a 6-foot tall wood fence. A detail of the fence is attached for reference. Two area wells are proposed for the parking garage air handling units. One is located at the northeast corner of the building and the other is on the north side of the building next to the service drive.

Signage: The applicant is not proposing any signage at this time. When signage is proposed, the signage may need to be reviewed by the Heritage Preservation Commission.

Pedestrian Access: The main building entrance would face 2nd Street, but would be set back approximately 26 feet. The entrance opens out to a proposed plaza, which at this time, is located on the adjacent Mill Place property. Individual unit entrances are proposed along 5th Avenue and facing into the interior courtyard. A walkway will run parallel to the adjacent woonerf. This walkway will also provide access to the proposed café entrance at the northwest corner of the site. Surfacing materials for the walkways include plain concrete, concrete pavers, and colored concrete.

Parking and Access: A service drive is located on the north side of the property and retains open space close to where the railroad corridor ran through the site as shown on the Sanborn maps. It is accessed from 5th Avenue, but also connects to the proposed woonerf. The parking garage, loading, trash pick-up, and other back-of-house functions are all accessed from the service drive. Bicycle parking with 75 spaces will be provided in the building. Six bike spaces are proposed adjacent to the street intersection. Some exterior bicycle parking will also need to be provided for and adjacent to the café.

Outdoor Private Shared Courtyard, Resident Dining, and Café Dining: These outdoor areas would be located in recessed areas on the south and southwest sides of the building facing 2nd Street and the adjacent woonerf. The courtyard and resident dining would be fenced and gated. The fence material would be metal. Specifications of the fencing are attached to this report for reference. Surfacing materials for these areas include plain concrete, concrete pavers, and colored concrete.

Landscaping/Streetscape/Lighting: No landscaping exists on the site. Trees would be planted in porous paver filter strips and lighting installed adjacent to the woonerf on the Mill Place property. Additional planting areas are proposed around the perimeter of the building and in the recessed courtyard and dining areas. A 5-foot wide sidewalk and 10-foot wide grass boulevard with no trees exist in the 2nd Street South right-of-way. The public sidewalk width would be increased to 8 feet and 7 feet would remain for a boulevard planted with grass and trees. A 5-foot wide sidewalk and no landscaped boulevard is located along 5th Avenue. A 5-foot wide sidewalk and a 5-foot wide boulevard planted with trees and grass is proposed. An access easement will need to be provided for where the sidewalk would extend onto the subject site. Landscaping, on-site lighting fixture, and street light fixture details are attached to this report.

PUBLIC COMMENTS. Correspondence from the neighborhood group was received. Any additional correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

ANALYSIS**CERTIFICATE OF APPROPRIATENESS**

The Department of Community Planning and Economic Development has analyzed the application to allow a new 5-story assisted living facility located within the Saint Anthony Falls Historic District based on the following [findings](#):

1. *The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

The St. Anthony Falls Historic District is significant for the falls itself, the power that was harnessed from it, and the industries that thrived because of this power. The designation of the St. Anthony Falls Historic District recognizes the significance of the urbanization of the area around the Falls; this includes residential and commercial development, transportation infrastructure, and most famously the industries of saw and flour milling. The subject property is currently occupied by a surface parking lot and is not a contributing property. The proposed project supports the industrial and transportation criteria of significance by locating the building at the corner where buildings were historically located, aligning the building with the historic rail corridor curvature on the southwest side of the site, and retaining open space in the historic rail corridor location on the north side of the site. The proposed building massing is compatible with the historic buildings in the immediate area as well. With the adoption of the staff recommendation, the proposed new construction would be compatible with the criteria of significance and period of significance for which the St. Anthony Falls Historic District was designated.

2. *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The proposed new construction would generally be compatible with and support the neighboring properties and the St. Anthony Falls Historic District. Compatibility is discussed further in finding #4.

3. *The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.*

Both the City of Minneapolis' Heritage Preservation Regulations and the National Register of Historic Places identify integrity as the authenticity of historic properties and recognize seven aspects that define a property's integrity: location, design, setting, materials, workmanship, feeling and association. Based upon the evidence provided below, the proposed work would not impair the integrity of the St. Anthony Falls Historic District.

Location: The applicant is not proposing to change the location of any contributing resources, thus the project will not impair the integrity of location.

Design: The site's design alludes to the historic function of the property. The location and shape of the building follow and retain open spaces where the rail corridors were generally located. The recessed areas on the south side of the building break up the building massing and better reflect the historic building pattern on this site. Design aspects are discussed further in finding #4.

Setting: The new construction would replace a surface parking lot, which would have a positive impact on the setting of the area. The location and shape of the building follow and retain open spaces where the rail corridors were generally located. The proposed new building would be built to the property lines along both 2nd Street South and 5th Avenue South, extending the street wall along these streets, another positive impact on the integrity of setting.

Materials: On the building, utility and modular face brick, metal panels, fiber cement, burnished block and clear glass are proposed as primary materials. Metal is also proposed for accents, with the exception of the window frames which will be a Fibrex composite material in a dark bronze color. Brick and glass will be the dominant materials on the building, which are also most common in the district. Materials are discussed further in finding #4. In the open spaces, the applicant is proposing to use various types of concrete or asphalt paving as hardscape. Although a rail corridor would not have been paved, the use of paving would be compatible with the integrity of materials for the St. Anthony Falls historic district and the adjacent properties.

Workmanship: The proposed changes would not alter any historic buildings in the district and would not impair the integrity of workmanship.

Feeling: Any new construction in a historic district will have an impact on the integrity of feeling. New construction will inevitably stand out as modern and different from the historic surroundings. In the case of the subject property, the location and shape of the building follow and retain open spaces where the rail corridors were generally located. The recessed areas of the south side of the building break up the building massing and better reflect the historic building pattern on this site.

Association: The project would not impair the district's integrity of association.

4. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The Heritage Preservation Commission adopted the St. Anthony Falls Historic District Design Guidelines in 2012. The subject property is located in the Water Power Character Area. The following policies and requirements apply to this proposal. **Staff comments** are provided where the proposal deviates from the guidelines or it was found that the proposal is not consistent with the requirements.

Intent of the Water Power Character Area

New buildings should be contemporary in character, while respecting the fundamental characteristics of the historic subarea context. They should draw upon the simple forms, materials and massing of historic buildings, especially as experienced at the street level. New buildings should reflect the massing of other historic buildings within the subarea and not that of the grain elevators.

Grain elevators stand out as possessing a larger massing due to their industrial needs and should not be used as a precedent for new construction. The grain elevators should also continue their visual prominence over the rest of the district.

Portions of buildings that would be taller than those seen historically should be set back from the street edge. In areas where there is a strong industrial context, a variety of heights may be appropriate. Historically, many industrial buildings had exposed mechanical systems and other rooftop devices, and contemporary designs that make use of such roofscape elements are appropriate.

A new building should be sited to respect the historic orientation and alignment patterns created by the infrastructure and existing historic buildings. A continuous street wall should be established along urban streets, generally with building fronts at the street edge. Some variations in facade alignment may occur, but an overall sense of continuity should be maintained.

Enhanced landscapes and streetscapes in this character area are encouraged. They should not impede one's ability to understand the historical function and character of the context.

Requirements for Site and Landscape Design in the Water Power Character Area

10.1 In the West Side Area, historic buildings orient toward the waterpower canal and former rail corridors. These development patterns should continue to be expressed.

10.4 Integrate landscape features with industrial infrastructure and other interpretive opportunities to tell the story of the district.

Requirements for Building Design in the Water Power Character Area

10.5 In the West Side Area, the maximum building height should not exceed the height of the Washburn Crosby Grain Elevator.

- a. Mid-rise and low-rise building heights are most appropriate.²

10.9 A new facade should reflect the established range of building widths.

- a. A block-long facade building massing is not appropriate.

10.10 Arrange tall building masses to allow views and access through to the river and views to the mills.

Intent for Building Placement and Orientation

New infill should reflect traditional development patterns in the specific character area, including facade alignment and uniform building orientation, where such features occur.

² The Mid-Rise Building category includes buildings that range from seven to nine stories. With the typical floor-to-floor heights that are assumed, they are in a range of 90 to 100 feet or more. The Low-Rise Building category includes structures that range from four to six stories. This represents the maximum height of "stick built" construction, which often consists of one or two levels masonry, with upper levels of frame construction above. Multifamily apartments are typical of this form. Other mixed use, commercial and industrial buildings may fit into this category as well.

Requirements

- 9.1 Maintain the alignment of building fronts along the street.
 - a. Locate a new building to reflect established setback patterns along the block. For example, if existing buildings are positioned at the sidewalk edge, creating a uniform street wall, then a new building should conform to this alignment. However, alternative placements are encouraged for upper floors when the building is required to be set back from the sidewalk edge.
- 9.2 Respect alignment patterns associated with historic infrastructure.
 - a. Locate a new building to retain historic rail corridors.
- 9.3 Maintain the traditional orientation pattern of buildings facing the street.
 - a. Locate the primary entrance to face the street and design it to be clearly identifiable.

Intent for Architectural Character and Detail

New construction should appear as a product of its own time while also being compatible with the historically significant resources of the area.

Requirements

- 9.4 Design a new building to reflect its time while respecting key features of its context.
 - a. In those character areas with a high concentration of historic structures, relating to the context is especially important. In other areas where new construction is more predominant, respecting broader traditional development patterns that shaped the area historically is important.
- 9.5 A contemporary interpretation of traditional designs is appropriate.
 - a. The design should be compatible with the relevant character area.
 - b. Contemporary interpretations of architectural details are appropriate.
 - c. Incorporate contemporary details to create interest while expressing a new, compatible design.
 - d. Use designs for window moldings and door surrounds to provide visual interest while helping to convey that a building is new.
- 9.7 Incorporate traditional facade articulation techniques in a new design.
 - a. Use these methods:
 - A tall first floor
 - Vertically proportioned upper story windows
 - Window sills and frames that provide detail
 - Horizontal expression elements, such as canopies, moldings and cornices

Staff comment: A cornice is not proposed. This is discussed further under finding #7.

- Vertical expression features, such as columns and pilasters
- A similar ratio of solid wall to window area

Intent for Building Mass, Scale and Height

A new building should be compatible in height, mass and scale with its context, including the specific block, the character area, and the historic district as a whole. This should be a primary consideration for the design of a new building. Each new building also should convey a human scale, reflect similar building massing and façade articulation features of the context, and be compatible with the district skyline.

Requirements

- 9.8 Maintain the traditional size of buildings as perceived at the street level.
- a. The height of a new building should be within the height range established in the context, especially at the street frontage.
 - b. Floor-to-floor heights should appear similar to those of traditional buildings.
- 9.9 The overall height of a new building shall be compatible with the character area.
- 9.11 Provide variation in building height in a large development.
- a. In order to reduce the perceived mass of a larger building, divide it into subordinate modules that reflect traditional building sizes in the context. Too much variation in building height is inappropriate.
 - b. Vary the height of building modules in a large structure, and include portions that are similar in height to historic structures in the context. However, avoid excessive modulation of a building mass, when that would be out of character with simpler historic building forms in the area. Too much variation in building massing is inappropriate.
- 9.12 Maintain the scale of traditional building widths in the context.
- a. Design a new building to reflect the established range of the traditional building widths in the character area.
 - b. Where a building must exceed this width, use changes in design features so the building reads as separate building modules reflecting traditional building widths and massing. Changes in the expression and details of materials, changes in window design, facade height or materials are examples of techniques that should be considered.
 - c. Where these articulation techniques are used, they shall be expressed consistently throughout the structure, such that the composition appears as several building modules. Attention to the designs of transitions between modules is important. Too much variation, which results in an overly busy design, is inappropriate.
- 9.13 A block-long building facade is inappropriate.

- a. A block-long building width will be considered if the facade reads as separate building modules.
- 9.15 Establish a sense of human scale in the building design.
- a. Use vertical and horizontal articulation techniques to reduce the apparent mass of a larger building and to create visual interest.
 - b. Express the position of each floor in the external skin of a building to establish a scale similar to historic buildings in the district.
 - c. Use materials that convey scale in their proportion, detail and form.
 - d. Generally, the facade in most contexts should appear as a relatively flat surface, with any projecting or recessed “articulations” appearing to be subordinate to the dominant form. Exceptions are in lower scale single-family settings.
 - e. Design architectural details and other features to be in scale with the building. Using windows, doors, storefronts (in commercial buildings) and porches (in lower scale residential buildings) that are similar in scale to those seen traditionally is appropriate.

Intent for Building and Roof Form

The simplicity of traditional roof forms should continue to predominate throughout the district.

Requirements

- 9.16 Use simple, rectangular roof forms in commercial, warehouse and industrial contexts.
- a. Flat roofs are appropriate on the majority of the buildings in the district.
- 9.17 Design a roof to be similar in form to those used traditionally in the character area.

Intent for Primary Entrances

A primary entrance should be clearly identifiable in a new building and it should be in character with the building and its context. The entrance should include features to signify it as such, and convey a sense of scale to the passer-by.

Requirements

- 9.18 Locate a primary building entrance to face the street.
- a. Position a primary entrance to be at the street level in an urban setting.
 - b. Recessed entries are encouraged to avoid door swing conflicts with the sidewalk and to provide shelter.
- 9.19 Design a building entrance to appear similar in character to those used traditionally.

- a. Clearly define the primary entrance.
- b. Use a contemporary interpretation of a traditional building entry, which is similar in scale and overall character to those seen historically.

Intent for Materials

Building materials should reflect the range of textures, modularity and finish of those employed traditionally. They also should contribute to the visual continuity of the specific context. They should be of high quality and proven durability in similar applications.

Requirements

9.20 Building materials shall be similar in scale, color, texture and finish to those seen historically in the context.

- a. Masonry (i.e., brick and stone) that has a modular dimension similar to those used traditionally is appropriate.

Staff comment: A slate gray utility brick is proposed on the base of the building. The dimensions of utility brick (approximately 3.5 inches x 3.5 inches x 11.5 inches) are larger than the modular brick (approximately 2.25 inches x 3.5 inches x 7.5 inches) and smaller than the stone masonry typically found in the district. The burnished block proposed on the north elevation is more typical in size compared to the stone masonry. However, wrapping the entire ground level in burnished block would not be appropriate in the district or a desired aesthetic. The applicant has indicated that the color and size were chosen to reinforce a strong base. The concept is consistent with historic buildings with exposed foundations in the immediate area.

- b. A facade that faces a public street should have one principal material, excluding door and window openings, and may have one to two additional materials for trim and details. Permitted materials include, but are not limited to, brick, stone, terracotta, painted metal, exposed metal, poured concrete and precast concrete.

Staff comment: Four to five primary exterior materials, not including glazing, are proposed on each building elevation. Brick, followed by glazing, would be the dominant materials on the east, west and south elevations, which are considered the primary elevations. The composition of the materials helps to create smaller building modules on a block long building. Extensive embellishments have been avoided to simplify the design. Although the use of fiber cement is generally discouraged, it is minimally used on each building elevation and less so than was approved for the Phase I development at 300 2nd Street South.

- c. The material also should be appropriate to the context.

9.21 Contemporary materials that are similar in character to traditional ones will be considered.

- a. Generally, one primary material should be used for a building with one or two accent materials. Accent materials should be used with restraint.
- b. A second material may be used on side or rear walls in a context in which such a tradition is demonstrated historically. It is inappropriate in the Water Power Area.
- c. A glass curtain wall will be considered as a principal material.

- d. Contemporary, alternative materials should appear similar in scale, durability and proportion to those used traditionally.
- e. Cementitious-fiber board, with exemplary detailing, will be considered in lower scaled residential settings. Other imitation or synthetic siding materials, such as plastic, aluminum or vinyl, are inappropriate in the lower scale residential contexts.

9.22 Use high quality, durable materials.

- a. Materials should be proven to be durable in the local Minneapolis climate.
- b. The material should maintain an intended finish over time, or acquire a patina, which is understood to be a likely outcome.
- c. Materials at the ground level should withstand ongoing contact with the public, sustaining impacts without compromising the appearance.

Intent for Windows

Window design and placement should help to establish a sense of scale and provide pedestrian interest. Where solid to void patterns are clearly established, this should be maintained. Contemporary and creative design interpretations of window rhythms and patterns that reference, but do not duplicate historic designs, are also encouraged.

Requirements

9.23 The use of a contemporary storefront design is encouraged in commercial settings.

- a. Design a building to incorporate ground floor storefronts in commercial settings, whenever possible.
- b. Incorporate the basic design features found in traditional storefronts, such as a kickplate, display window, transom and a primary entrance.
- c. In storefront details, use elements similar in profile and depth of detailing seen historically.
- d. Where a storefront is not feasible, incorporate a high level of transparency in ground floor office, lobby or residential uses while providing sufficient privacy for occupants.

9.24 Arrange windows to reflect the traditional rhythm and general alignment of windows in the area.

- a. Use appropriate window rhythms and alignments, such as:
 - Vertically proportioned, single or sets of windows, “punched” into a more solid wall surface, and evenly spaced along upper floors
 - Window sills or headers that align
 - Rows of windows or storefront systems of similar dimensions, aligned horizontally along a wall surface

- b. Creative interpretations of traditional window arrangement will be considered.

9.25 Use durable window materials.

- a. Appropriate window materials include metal and wood frame.
- b. Inappropriate window materials include plastic snap-in muntins and synthetic vinyl.

Intent for Canopies/Awnings

Continue the use of canopies and awnings within the district. They should be compatible with the building type and style, and be located appropriately on the building.

Requirements

9.26 A canopy/awning should be in character with the building.

- a. Mount a canopy/awning to accentuate character defining features.
- b. A canopy/awning should remain a subordinate feature on the building.

Intent for Building Equipment

Minimize the visual impacts of building equipment on the character of the district in residential and commercial contexts. Greater flexibility is appropriate in historic industrial contexts.

Requirements

7.6 Minimize the visual impacts of building equipment as seen from the public way.

Staff comment: An area well for one of the parking garage air handling units is proposed at the northeast corner of the building adjacent to 5th Avenue. The size of the area well would be approximately 8 feet wide by 15 feet long. There would be a 2-foot wide landscape strip separating the area well from the public sidewalk. The area well would be highly visible from the public way. Shifting the area well to the north side of the building, where there is 6 feet between the building and the service drive, does not appear to conflict with any building code requirements. Relocation of the well would likely eliminate the walk-up entrance for one of the ground floor units. Limiting the width of the well to 4 feet (the same extension as the stoops) could be considered to reduce the visual impact as well. Reducing the width may result in an increased length in order to accommodate venting requirements, but should increase the width of the landscape buffer. Staff is recommending that the HPC require the applicant to lessen the visual impacts of the area well, such as finding an alternate location or reducing how far the well extends from the building.

- a. Do not locate equipment on a primary facade. Primary wall penetrations for HVAC equipment are not permitted.

Staff comment: The east, south and west elevations are considered primary facades. Penetrations for the HVAC equipment would be located on the balconies facing inward, except for the second floor memory care units and on the south wall in the private courtyard. The south wall of the courtyard is set back 76 feet from the street. The memory care units will be

equipped with Packaged Terminal Air Conditioner (PTAC) units, which will have louvers on the east and south elevations. The reasoning behind the outward facing penetrations provided by the applicant is that memory care units are smaller than typical apartments, do not have kitchens, and are similar to hotel rooms. A similar installation was done on the Depot Minneapolis Hotel located across 2nd Street from the site. To lessen the visibility of the units, decorative louvers are proposed that will appear as an extension of the window frame.

- b. Prioritize use of low-profile or recessed mechanical units on rooftops.
- c. Rooftop equipment on residential and commercial buildings shall be set back from the primary building facade by a minimum of one structural bay or 15' whichever is greater.

7.7 Minimize the visual impacts of utility lines, junction boxes and similar equipment.

- a. Locate utility lines and junction boxes on secondary walls and group them.
- b. Locate utility pedestals (ground mounted) to the rear of the building.
- c. Enclose lines in conduit.
- d. Paint these elements to match the existing background color.

Intent for Balconies and Roof Decks

The use of balconies and roof decks is appropriate on new buildings, however, they should remain subordinate to the overall historic context.

Requirements

7.10 On a new building, locate balconies such that the traditional character of the block, as perceived at the street level, is maintained.

- a. When a building wall is positioned near the sidewalk edge, locating a balcony at the third floor or above is preferred.
- b. Consider providing a balcony that is inset instead of one that projects from the front facade. This can reinforce the concept of a simple rectangular form.

7.11 A new balcony should be simple in design so as not to detract from the historic character.

- a. The balcony should appear mostly transparent.
- b. Simple metal work is most appropriate on commercial/ mixed-use buildings.
- d. Heavy timber and plastics are inappropriate materials.
- e. Use colors that are compatible with the overall color scheme of the building. In most cases, dark metal matte finishes are appropriate.

7.12 Minimize the visual impact of a roof deck as seen from the street.

Staff comment: To provide outdoor space for the memory care units, two roof decks are proposed on the second floor level. At the edges of the roof deck located over the main

entrance, there would be a 3.5 foot tall parapet wall topped with a 2 foot tall metal railing with glass infill panels. At the edge of the roof deck that would overlook the private courtyard, there would be a 4.5 foot tall metal railing with glass infill panels. This roof deck would be recessed 57 feet from the street. The taller railings are for the safety of the memory care residents. The glass infill panels allow the residents to see out while minimizing the visual impacts of these roof decks. A common roof deck is also proposed on the fifth floor overlooking 2nd Street and the private courtyard. Although the fifth floor roof deck would be adjacent to a street, the brick walls would be continued and extend up to the fifth floor parapet level to lessen the visual impact.

Intent for Landscape Designs

Landscape designs should be reflective of the historic character or natural setting of the individual areas. The landscape should help enhance the understanding of the history of the area while allowing new contemporary design interpretations and adaptive reuse of sites. Landscape designs should not convey a false sense of history. Specific to the Water Power Character Area, enhanced landscapes and streetscapes in this character area are encouraged. They should not impede one's ability to understand the historical function and character of the context.

Requirements

- 6.2 Design new landscapes to be in harmony with the overall historic character of the district.
 - a. A new landscape design should not impede one's ability to understand the historical function and character of the context.
 - b. A new landscape design should not convey a false sense of history. Designs that reflect their own time, while helping to convey the history of a site, are appropriate.
 - c. A new landscape design that helps interpret the history of a site is encouraged. This does not have to be a literal interpretation.
- 6.3 Use landscape designs to promote energy efficiency and water conservation.
 - b. In residential settings, group deciduous trees and plants to provide summer shade and allow solar access in winter.
 - c. In some settings, plantings can be oriented to provide wind protection of plazas and entries in wintertime.
- 10.4 Integrate landscape features with industrial infrastructure and other interpretive opportunities to tell the story of the district.

Intent for Streetscape Improvements

Streetscape improvements should be reflective of the historic character or natural setting of the individual character areas. The streetscape should help enhance the understanding of the history of the area while allowing new contemporary design interpretations and adaptive reuse of sites. Streetscape designs should not convey a false sense of history.

Requirements

- 6.4 New or replacement street furnishings, such as street lights and street furniture, shall be compatible with the context of the individual character areas.
- a. In historic industrial areas, simple contemporary utilitarian designs are appropriate for street furnishings.
 - b. In historic residential and commercial areas, contemporary styles, such as metal with a painted finish, are appropriate for designs for street furnishings.
 - c. Designs that create a false sense of history, such as highly ornate historic styles, are not appropriate.
- 6.5 Consider integrating interpretive materials into street furnishings.
- a. Designs that interpret the history of the area are appropriate.
- 6.6 Streetscape plantings should be compatible with the context of the individual character areas.
- a. In historic industrial areas, street trees should be clustered and have irregular spacing to evoke a sense of the volunteer nature of vegetation of these industrial settings.

Staff comment: Fairly regular spacing of the boulevard trees is proposed, with the exception of the trees next to the main entrance. Staff is recommending that the HPC require the applicant to modify the tree planting locations in the boulevards to be clustered and spaced more irregularly.

- b. Boulevard plantings will be considered in historic industrial areas.
- e. Street trees shall not be located directly in front of entrances.

Intent for Open Space

The historic development patterns and use of these areas is often evident in the orientation of and access to the sites, remnants of historic infrastructure buildings, and their vegetation. New designs for open spaces and parks should reflect the historic use of the site through design interpretation while allowing for designs that meet the needs for the current and proposed use of the site.

Requirements

- 6.7 New designs for open spaces and parks should be compatible and reflective of the historic context of the individual character areas.
- b. Retain the historic orientation and access patterns of sites.
 - d. The volunteer pattern of historic landscapes should be reflected in industrial settings.

Intent for Views

The most valued views should be identified at the outset of a project, such that it is clear that they will be considered. The intent is not that no view can ever change, but the key elements of a view from public way should be retained.

Requirements

- 7.1 Incorporate key view opportunities into a design.
 - a. At the outset of a project, identify views that are most valued, then incorporate them into the design.
- 7.2 Minimize the impacts to key views from public ways.
 - a. Locate improvements to maintain key views to the extent feasible.

Intent for Connectivity

Existing historic circulation systems should be preserved. New development should continue to look at opportunities to enhance the existing circulation system. Internal circulation should also be provided within a project on larger parcels to encourage a pedestrian-friendly environment.

Requirements

- 7.3 Use historic routes, including rail corridors and roadways rather than create a new one.
 - a. When considering a new connection, preserve the underlying historic development patterns.
5. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

Regarding new construction on historic properties or within historic districts, the Secretary of the Interior's Standards state:

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed new construction would replace an existing surface parking lot, which is not considered to be historic or characteristic of the St. Anthony Falls Historic District. The new construction would be clearly identifiable from historic buildings within the district. It would be compatible with the massing, size, and scale of the adjacent historic, contributing properties. Compatibility with historic materials and architectural features is discussed in finding #4 above.

The proposed new construction is not attached to any historic construction, ensuring the change could be reversed with no adverse effects to the district.

6. *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

Minneapolis Plan for Sustainable Growth

The Minneapolis Plan for Sustainable Growth identifies mixed use as the appropriate future land use for this site. The site is located in the Mill District Activity Center and the Downtown Growth Center. The following policies apply to this proposal. With the adoption of the staff recommendation, the proposal will be consistent with the comprehensive plan.

Land Use Policy 1.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.

- 1.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- 1.12.2 Encourage mixed use buildings, with commercial uses located on the ground floor and secure entrances for residential uses.
- 1.12.3 Encourage active uses on the ground floor of buildings in Activity Centers.
- 1.12.5 Encourage a height of at least two stories for new buildings in Activity Centers, in keeping with neighborhood character.
- 1.12.6 Encourage the development of high- to very-high density housing within the boundaries of Activity Centers.
- 1.12.9 Encourage architectural design, building massing and site plans to create or improve public and semi-public spaces in Activity Centers.

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

- 8.1.2 Require new construction in historic districts to be compatible with the historic fabric.

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

- 10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

- 10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.
- 10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.

- 10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.
- 10.2.4 Integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street.
- 10.2.5 Locate access to and egress from parking ramps mid-block and at right angles to minimize disruptions to pedestrian flow at the street level.
- 10.2.6 Arrange buildings within a site in order to minimize the generation of wind currents at ground level.
- 10.2.7 Locate buildings so that shadowing on public spaces and adjacent properties is minimized.
- 10.2.8 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

Historic Mills District Master Plan

The subject site is located within the boundaries of the Historic Mills District Master Plan,³ which was adopted in 1999. In 2001, an update to the plan was adopted. This plan played an important role in the revitalization and redevelopment of the Historic Mills District into what it is today. The plan calls for 4 to 5-story (up to 63 feet) residential development on the 2nd Street side of the block, but with open space retained in the general location of the historic rail corridor. The plan also contains the following specific site and building design guidelines:

Building placement

- Buildings should be oriented to front city streets and should be set back from the street right-of-way no further than 10 feet for more than 50% of the width of the parcel.

Building configuration and pedestrian Friendly Streets

- Building frontage along streets should be lined with pedestrian oriented uses on the ground floor, and the upper floors should have a regular pattern of windows to create 'eyes on the street.'
- Parking should [be] located underground or in the middle of the block, behind the buildings.

Building heights

³ The boundaries of the plan extend along 2nd Street South between 3rd Avenue South and 9th Avenue South as well as extending south of 2nd Street South, outside of the St. Anthony Falls Historic District boundaries.

- Building heights should be a minimum of four stories.
- Building massing should be planned to take advantage of sunlight and views.
- Tall buildings should be positioned along north/south avenues to allow sunlight to penetrate into the street spaces and courtyards and to block northwest winds.
- The heights of the tallest buildings should be compatible with existing commercial buildings in the Historic Mills District.

Massing

- Buildings should be simple, well-proportioned volumes.
- Building walls facing public streets and parks shall be terminated at the top with a cornice or attic expression.
- Flat roofs shall be enclosed by parapets no less than 42 inches high or as required to conceal equipment.
- Cantilevered mansard roofs could be considered if they have historical precedence.

Façade Treatment: Windows, Doors, Storefronts, Awnings

- Windows (other than ground-level storefront windows) shall be vertical in proportion, 1.5 to 2.5 times as tall as they are wide.
- The glazed area of a façade (excluding the ground-level storefront) shall not exceed 35% of the total façade area.
- Doors and windows should be set back a minimum of three inches from the façade.
- Doors shall be vertical in proportion.
- Sliding glass doors are not permitted.
- Windows and doors should appear in a consistent and repeated pattern across the principal facades.
- Ground-floor commercial uses shall have storefronts with glazed areas equal to at least 65% of the ground-level portion of the façade.

Materials

- Exterior Wall Finish: The exterior wall finish on all facades shall be limited to brick, stone or cast stone designed to resemble stone masonry construction.
- Exterior Color:
 - The masonry colors of buildings can range between creamy buff colors to deep terracotta.
 - Trim colors should be earth tones that complement the masonry.
 - Doors, shopfronts, window frames, shutters, balcony rails and awnings shall be any color, any saturation.
 - Glass shall be clear or lightly tinted only. Balcony railings and porch structures shall be metal, stone or cast concrete.

The plan also contains streetscape design guidelines. The plan envisions 2nd Street as the central pedestrian spine of the district. The plan identifies specific street improvements for 2nd Street and 5th Avenue. Neither street has been built to those specifications; however, the proposed changes to the right-of-way are consistent with the improved pedestrian environment goals.

Staff comment: The proposal would not be consistent with 2 aspects of the above guidelines:

- *Parapet/cornice:* The building walls facing the streets would not be terminated at the top with a cornice or attic expression and the parapet would be 36 inches tall instead of at least 42 inches. It does not appear that all new construction projects within the boundaries of this plan have been held to this standard. A taller parapet is not needed to screen the rooftop mechanical equipment as they would be inset at least 15 feet from the street walls. However, the *Saint Anthony Falls Historic District Design Guidelines* (see guideline 9.7 on page 8) also calls for incorporating traditional facade articulation techniques, such as a cornice, in a new design. Staff is recommending that the HPC require a cornice to be incorporated on the building. The cornice would not need to be as ornamental as some of historic or newer buildings, but would need to create a defined building cap.
 - *Materials:* Brick is not the only primary exterior material. Recently constructed projects have been allowed to deviate from this requirement although the primary material has still been brick with the exception of the MacPhail Center for Music (outside of the historic district) and the Guthrie, both of which are nonresidential structures. This issue is discussed further in finding #4 above.
7. *Destruction of any property. Before approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection, the commission shall make findings that the destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.*

The project does not involve the destruction of the property.

Before approving a Certificate of Appropriateness, and based upon the evidence presented in each application submitted, the Commission shall make findings that alterations are proposed in a manner that demonstrates that the Applicant has made adequate consideration of the following documents and regulations:

8. *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

The applicant has taken into consideration the design guidelines of the St. Anthony Falls Historic District, and the architectural significance of the historic district.

9. *Where applicable, adequate consideration of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

Site Plan Review is required for the proposed development. The proposal appears to comply with most of the site plan review standards. However, there appears to be walls without sufficient architectural elements on the ground floor of the north elevation. Remedying these deficiencies should only require minor alterations.

10. *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

As conditioned, the application complies with the rehabilitation guidelines of the Secretary of the Interior's Standards for the Treatment of Historic Properties as discussed in finding #5 above.

Before approving a Certificate of Appropriateness that involves alterations to a property within an historic district, the Commission shall make findings based upon, but not limited to, the following:

11. *The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.*

With the adoption of the staff recommendation, the proposal would be compatible with the character of the district and would not negatively impact the significance or integrity of the St. Anthony Falls Historic District.

12. *Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.*

The spirit and intent of the City of Minneapolis' Heritage Preservation Regulations is to preserve historically significant buildings, structures, sites, objects, districts, and cultural landscapes of the community while permitting appropriate changes to be made to these properties. With the adoption of the staff recommendation, granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

13. *The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.*

As discussed in findings #3 and #5 above, the project would not have a direct impact on any contributing resource.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Certificate of Appropriateness:

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt the above findings and **approve** the Certificate of Appropriateness to allow a new 5-story assisted living facility located at the property of 428 2nd St S within the Saint Anthony Falls Historic District., subject to the following conditions:

1. To create a defined building cap and reinforce visual continuity of the area, a cornice shall be incorporated.
2. The applicant shall lessen the visibility of the area well proposed at the northeast corner of the site.
3. The tree planting locations in the boulevards shall be modified to be clustered and spaced more irregularly to evoke a sense of the volunteer nature of vegetation in an industrial setting.
4. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than August 19, 2016.
5. By ordinance, all approvals granted in this Certificate of Appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.

ATTACHMENTS

1. Written description, findings, and historic and current photos submitted by applicant
2. Zoning map
3. Site survey
4. Site landscape plan
5. Floor plans
6. Building elevations
7. Renderings
8. Other details/specifications
9. Correspondence



CPED STAFF REPORT

Prepared for the Heritage Preservation Commission

HPC Agenda Item #2
August 19, 2014
BZH-28278

HERITAGE PRESERVATION APPLICATION SUMMARY

Property Location: 428 2nd Street South
 Project Name: Mill City Quarter Phase 2
 Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
 Applicant: Ecumen
 Project Contact: Charlene Roise, Hess, Roise and Company
 Ward: 3
 Neighborhood: Downtown Minneapolis Neighborhood Association
 Request: To allow a new 5-story assisted living facility.
 Required Applications:

Certificate of Appropriateness	To allow a new 5-story assisted living facility located within the Saint Anthony Falls Historic District.
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HISTORIC PROPERTY INFORMATION

Current Name	Not applicable (surface parking lot)
Historic Names	1. City Hotel, 2. Falls Hotel, 3. Eagle Iron Works, 4. Minneapolis and St. Louis Railroad
Historic Address	1. 416 2 nd Street South, 2. 418 2 nd Street South, 3. 120-128 5 th Avenue South/420 2 nd Street South, 4. Not applicable
Original Construction Date	1. 1903, 2. 1909, 3. c. 1870
Original Architect	Unknown
Original Builder	Unknown
Original Engineer	Unknown
Historic Use	1. Hotel, 2. Hotel, 3. Machine shop and foundry, 4. Railroad corridor/spur
Demolition Date	1. 1872, 2. 1869, 3. c. 1920 ¹
Current Use	Surface parking lot
Proposed Use	5-story assisted living facility

¹ Anfinson, Scott F. *Archeology of the Central Minneapolis Riverfront*. The Minnesota Archaeologist Vol. 48, No. 1-2, 1989. *From Site to Story* (<http://www.fromsitetostory.org/sources/papers/mnarch48/48inv-wm.asp>; viewed August 7, 2014).

Date Application Deemed Complete	July 25, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	September 23, 2014	End of 120-Day Decision Period	Not applicable

CLASSIFICATION

Local Historic District	Saint Anthony Falls Historic District
Period of Significance	1858-1940
Criteria of Significance	Industry, Transportation, Architecture and Social Significance
Date of Local Designation	1971
Date of National Register Listing	1971
Applicable Design Guidelines	<i>St. Anthony Falls Historic District Design Guidelines</i> <i>Historic Mills District Master Plan and Update</i> <i>The Secretary of the Interior’s Standards for the Treatment of Historic Properties</i>

SUMMARY

BACKGROUND. The subject site is located in the Saint Anthony Falls Historic District. The St. Anthony Falls established its modern historic significance as the birthplace of Minneapolis and the epicenters of saw and flour milling industries that became leading producers of their commodities in the United States and the world. The Falls and their industries fed unparalleled technical innovations and a web of railroads connected the industries to the region and nation.

The growth of the milling industry in Minneapolis would not have occurred if not for the railroads. They first provided a way to ship finished lumber across the region and then became the conduit to the flour milling industry. Rail lines connected the mills with the grain fields of the Midwest and thence back out to the rest of the nation as finished flour.

The subject site is located in the West Side Milling Area of the historic district, which is bounded by Second Street South, Third Avenue South, West River Parkway and the former right-of-way of Tenth Avenue South. The highest concentration of milling-related development exists here—all oriented off the West Side Waterpower Canal, now the alignment of Plank Road on West River Road. Access to the waterpower canal was a premium and thus shaped the massing and locations of the buildings. Building widths were relatively narrow in order to promote access to the water for as many as possible. The heights of the remaining buildings vary. The resulting character is a diversity of building heights with simple rectangular massing.

On the subject site, the above noted buildings were located at the corner of 5th Avenue and 2nd Street. These buildings were one to three stories in height. After the buildings were demolished, the railroad tracks eventually took over the rest of the site. The parking lot was established after the railroad operations ceased.

APPLICANT’S PROPOSAL. The proposed 5-story building includes 149 units of assisted living housing and two levels of below-grade parking (179 spaces). A small café is also proposed on the ground level. The subject site is currently owned by the City of Minneapolis. In 2008, the City issued a Request for Proposal (RFP) for redevelopment of these properties. The Lupe Development Partners RFP that was selected is a proposal for a 6-story mixed use building on the property of 300 2nd Street South (Phase 1) and a 5-story assisted living facility on the subject property (Phase 2). A “woonerf” proposal, which is a concept where bikes, cars, pedestrians and public spaces all coexist, on the Mill Place parcel of 101 3rd Avenue South, separating the developments (it is under separate ownership),

would be implemented in coordination with these developments. Land use and preservation approvals for the mixed use project and woonerf were previously obtained. The redevelopment of the subject site requires a Certificate of Appropriateness application. The proposal for the subject property will also require the following land use approvals: Conditional Use Permit to allow assisted living and Site Plan Review (reviewed by the City Planning Commission).

In June, the applicant brought their proposal to the Heritage Preservation Commission for a conceptual review. In the applicant's project narrative, a section is included that describes the changes that were made to the design since that meeting.

ELEMENTS OF PROPOSAL:

Building:

- *Placement and orientation:* The building would be oriented to the corner of 5th Avenue South and 2nd Street South. Along 2nd Street, the first floor would be built up to the lot line at the corner, then is recessed for an interior courtyard, and then follows the curve of the property line as it extends away from the street. The curvature of the property line follows the former railroad alignment. Along 5th Avenue, the first floor is set back 10 feet with stoops and stairs located between the building and the street leading to individual unit entrances. The 5th Avenue setback is in line with the adjacent River West Condominiums at 401 1st Street South. The upper floors would align with the footprint of the building, except where two roof decks are proposed on the second level, one roof deck is proposed at the fifth level, some 5 foot balcony recesses on several sides of the building, and for some service use extensions on the back of the building.
- *Height:* The building would be 5-stories and 59 feet (including a 3 foot tall parapet) in height.
- *Materials:* The primary façade materials include utility and modular face brick, metal panels, fiber cement, burnished block and clear glass. The applicant has included a table on the exterior elevations plan identifying the proposed amount of materials on each façade. Other accent elements, such as balcony railings, canopies, and mechanical grills, would primarily be metal. The window frames will be a Fibrex composite material in a dark bronze color. Material/color samples will be available for viewing at the public hearing.
- *Canopies:* Metal canopies are proposed on the south elevation over the main entrance and areas adjacent to the outdoor dining areas.
- *Balconies, Stoops and Roof Decks:* Balconies would be recessed, except on the north elevation. The concrete stoops for the walk-up units would have metal railings and would be located on the east and north sides of the building. Three roof decks are proposed. Two of them are proposed on the second floor level for the memory care units—one is located over the main entrance and the other would overlook the private courtyard and would be recessed from the street. The railings for these decks would be metal with glass infill panels. A common roof deck with metal railings is proposed on the fifth floor overlooking 2nd Street and the private courtyard.

Mechanical equipment: Dwelling units would have individual heating and cooling units. The building elevation plans indicate that mechanical grills directly adjacent to the street would not be outward facing, except for the memory care units located on Level 2. The remainder of the elevations would have outward facing mechanical grills. Rooftop units up to 5 feet in height are proposed that would be

set back at least one structural bay from the perimeter of the building. Two transformers are proposed in the northwest corner of the site that will be screened by a 6-foot tall wood fence. A detail of the fence is attached for reference. Two area wells are proposed for the parking garage air handling units. One is located at the northeast corner of the building and the other is on the north side of the building next to the service drive.

Signage: The applicant is not proposing any signage at this time. When signage is proposed, the signage may need to be reviewed by the Heritage Preservation Commission.

Pedestrian Access: The main building entrance would face 2nd Street, but would be set back approximately 26 feet. The entrance opens out to a proposed plaza, which at this time, is located on the adjacent Mill Place property. Individual unit entrances are proposed along 5th Avenue and facing into the interior courtyard. A walkway will run parallel to the adjacent woonerf. This walkway will also provide access to the proposed café entrance at the northwest corner of the site. Surfacing materials for the walkways include plain concrete, concrete pavers, and colored concrete.

Parking and Access: A service drive is located on the north side of the property and retains open space close to where the railroad corridor ran through the site as shown on the Sanborn maps. It is accessed from 5th Avenue, but also connects to the proposed woonerf. The parking garage, loading, trash pick-up, and other back-of-house functions are all accessed from the service drive. Bicycle parking with 75 spaces will be provided in the building. Six bike spaces are proposed adjacent to the street intersection. Some exterior bicycle parking will also need to be provided for and adjacent to the café.

Outdoor Private Shared Courtyard, Resident Dining, and Café Dining: These outdoor areas would be located in recessed areas on the south and southwest sides of the building facing 2nd Street and the adjacent woonerf. The courtyard and resident dining would be fenced and gated. The fence material would be metal. Specifications of the fencing are attached to this report for reference. Surfacing materials for these areas include plain concrete, concrete pavers, and colored concrete.

Landscaping/Streetscape/Lighting: No landscaping exists on the site. Trees would be planted in porous paver filter strips and lighting installed adjacent to the woonerf on the Mill Place property. Additional planting areas are proposed around the perimeter of the building and in the recessed courtyard and dining areas. A 5-foot wide sidewalk and 10-foot wide grass boulevard with no trees exist in the 2nd Street South right-of-way. The public sidewalk width would be increased to 8 feet and 7 feet would remain for a boulevard planted with grass and trees. A 5-foot wide sidewalk and no landscaped boulevard is located along 5th Avenue. A 5-foot wide sidewalk and a 5-foot wide boulevard planted with trees and grass is proposed. An access easement will need to be provided for where the sidewalk would extend onto the subject site. Landscaping, on-site lighting fixture, and street light fixture details are attached to this report.

PUBLIC COMMENTS. Correspondence from the neighborhood group was received. Any additional correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

ANALYSIS**CERTIFICATE OF APPROPRIATENESS**

The Department of Community Planning and Economic Development has analyzed the application to allow a new 5-story assisted living facility located within the Saint Anthony Falls Historic District based on the following [findings](#):

1. *The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

The St. Anthony Falls Historic District is significant for the falls itself, the power that was harnessed from it, and the industries that thrived because of this power. The designation of the St. Anthony Falls Historic District recognizes the significance of the urbanization of the area around the Falls; this includes residential and commercial development, transportation infrastructure, and most famously the industries of saw and flour milling. The subject property is currently occupied by a surface parking lot and is not a contributing property. The proposed project supports the industrial and transportation criteria of significance by locating the building at the corner where buildings were historically located, aligning the building with the historic rail corridor curvature on the southwest side of the site, and retaining open space in the historic rail corridor location on the north side of the site. The proposed building massing is compatible with the historic buildings in the immediate area as well. With the adoption of the staff recommendation, the proposed new construction would be compatible with the criteria of significance and period of significance for which the St. Anthony Falls Historic District was designated.

2. *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The proposed new construction would generally be compatible with and support the neighboring properties and the St. Anthony Falls Historic District. Compatibility is discussed further in finding #4.

3. *The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.*

Both the City of Minneapolis' Heritage Preservation Regulations and the National Register of Historic Places identify integrity as the authenticity of historic properties and recognize seven aspects that define a property's integrity: location, design, setting, materials, workmanship, feeling and association. Based upon the evidence provided below, the proposed work would not impair the integrity of the St. Anthony Falls Historic District.

Location: The applicant is not proposing to change the location of any contributing resources, thus the project will not impair the integrity of location.

Design: The site's design alludes to the historic function of the property. The location and shape of the building follow and retain open spaces where the rail corridors were generally located. The recessed areas on the south side of the building break up the building massing and better reflect the historic building pattern on this site. Design aspects are discussed further in finding #4.

Setting: The new construction would replace a surface parking lot, which would have a positive impact on the setting of the area. The location and shape of the building follow and retain open spaces where the rail corridors were generally located. The proposed new building would be built to the property lines along both 2nd Street South and 5th Avenue South, extending the street wall along these streets, another positive impact on the integrity of setting.

Materials: On the building, utility and modular face brick, metal panels, fiber cement, burnished block and clear glass are proposed as primary materials. Metal is also proposed for accents, with the exception of the window frames which will be a Fibrex composite material in a dark bronze color. Brick and glass will be the dominant materials on the building, which are also most common in the district. Materials are discussed further in finding #4. In the open spaces, the applicant is proposing to use various types of concrete or asphalt paving as hardscape. Although a rail corridor would not have been paved, the use of paving would be compatible with the integrity of materials for the St. Anthony Falls historic district and the adjacent properties.

Workmanship: The proposed changes would not alter any historic buildings in the district and would not impair the integrity of workmanship.

Feeling: Any new construction in a historic district will have an impact on the integrity of feeling. New construction will inevitably stand out as modern and different from the historic surroundings. In the case of the subject property, the location and shape of the building follow and retain open spaces where the rail corridors were generally located. The recessed areas of the south side of the building break up the building massing and better reflect the historic building pattern on this site.

Association: The project would not impair the district's integrity of association.

4. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The Heritage Preservation Commission adopted the St. Anthony Falls Historic District Design Guidelines in 2012. The subject property is located in the Water Power Character Area. The following policies and requirements apply to this proposal. **Staff comments** are provided where the proposal deviates from the guidelines or it was found that the proposal is not consistent with the requirements.

Intent of the Water Power Character Area

New buildings should be contemporary in character, while respecting the fundamental characteristics of the historic subarea context. They should draw upon the simple forms, materials and massing of historic buildings, especially as experienced at the street level. New buildings should reflect the massing of other historic buildings within the subarea and not that of the grain elevators.

Grain elevators stand out as possessing a larger massing due to their industrial needs and should not be used as a precedent for new construction. The grain elevators should also continue their visual prominence over the rest of the district.

Portions of buildings that would be taller than those seen historically should be set back from the street edge. In areas where there is a strong industrial context, a variety of heights may be appropriate. Historically, many industrial buildings had exposed mechanical systems and other rooftop devices, and contemporary designs that make use of such roofscape elements are appropriate.

A new building should be sited to respect the historic orientation and alignment patterns created by the infrastructure and existing historic buildings. A continuous street wall should be established along urban streets, generally with building fronts at the street edge. Some variations in facade alignment may occur, but an overall sense of continuity should be maintained.

Enhanced landscapes and streetscapes in this character area are encouraged. They should not impede one's ability to understand the historical function and character of the context.

Requirements for Site and Landscape Design in the Water Power Character Area

10.1 In the West Side Area, historic buildings orient toward the waterpower canal and former rail corridors. These development patterns should continue to be expressed.

10.4 Integrate landscape features with industrial infrastructure and other interpretive opportunities to tell the story of the district.

Requirements for Building Design in the Water Power Character Area

10.5 In the West Side Area, the maximum building height should not exceed the height of the Washburn Crosby Grain Elevator.

- a. Mid-rise and low-rise building heights are most appropriate.²

10.9 A new facade should reflect the established range of building widths.

- a. A block-long facade building massing is not appropriate.

10.10 Arrange tall building masses to allow views and access through to the river and views to the mills.

Intent for Building Placement and Orientation

New infill should reflect traditional development patterns in the specific character area, including facade alignment and uniform building orientation, where such features occur.

² The Mid-Rise Building category includes buildings that range from seven to nine stories. With the typical floor-to-floor heights that are assumed, they are in a range of 90 to 100 feet or more. The Low-Rise Building category includes structures that range from four to six stories. This represents the maximum height of "stick built" construction, which often consists of one or two levels masonry, with upper levels of frame construction above. Multifamily apartments are typical of this form. Other mixed use, commercial and industrial buildings may fit into this category as well.

Requirements

- 9.1 Maintain the alignment of building fronts along the street.
 - a. Locate a new building to reflect established setback patterns along the block. For example, if existing buildings are positioned at the sidewalk edge, creating a uniform street wall, then a new building should conform to this alignment. However, alternative placements are encouraged for upper floors when the building is required to be set back from the sidewalk edge.
- 9.2 Respect alignment patterns associated with historic infrastructure.
 - a. Locate a new building to retain historic rail corridors.
- 9.3 Maintain the traditional orientation pattern of buildings facing the street.
 - a. Locate the primary entrance to face the street and design it to be clearly identifiable.

Intent for Architectural Character and Detail

New construction should appear as a product of its own time while also being compatible with the historically significant resources of the area.

Requirements

- 9.4 Design a new building to reflect its time while respecting key features of its context.
 - a. In those character areas with a high concentration of historic structures, relating to the context is especially important. In other areas where new construction is more predominant, respecting broader traditional development patterns that shaped the area historically is important.
- 9.5 A contemporary interpretation of traditional designs is appropriate.
 - a. The design should be compatible with the relevant character area.
 - b. Contemporary interpretations of architectural details are appropriate.
 - c. Incorporate contemporary details to create interest while expressing a new, compatible design.
 - d. Use designs for window moldings and door surrounds to provide visual interest while helping to convey that a building is new.
- 9.7 Incorporate traditional facade articulation techniques in a new design.
 - a. Use these methods:
 - A tall first floor
 - Vertically proportioned upper story windows
 - Window sills and frames that provide detail
 - Horizontal expression elements, such as canopies, moldings and cornices

Staff comment: A cornice is not proposed. This is discussed further under finding #7.

- Vertical expression features, such as columns and pilasters
- A similar ratio of solid wall to window area

Intent for Building Mass, Scale and Height

A new building should be compatible in height, mass and scale with its context, including the specific block, the character area, and the historic district as a whole. This should be a primary consideration for the design of a new building. Each new building also should convey a human scale, reflect similar building massing and façade articulation features of the context, and be compatible with the district skyline.

Requirements

- 9.8 Maintain the traditional size of buildings as perceived at the street level.
- a. The height of a new building should be within the height range established in the context, especially at the street frontage.
 - b. Floor-to-floor heights should appear similar to those of traditional buildings.
- 9.9 The overall height of a new building shall be compatible with the character area.
- 9.11 Provide variation in building height in a large development.
- a. In order to reduce the perceived mass of a larger building, divide it into subordinate modules that reflect traditional building sizes in the context. Too much variation in building height is inappropriate.
 - b. Vary the height of building modules in a large structure, and include portions that are similar in height to historic structures in the context. However, avoid excessive modulation of a building mass, when that would be out of character with simpler historic building forms in the area. Too much variation in building massing is inappropriate.
- 9.12 Maintain the scale of traditional building widths in the context.
- a. Design a new building to reflect the established range of the traditional building widths in the character area.
 - b. Where a building must exceed this width, use changes in design features so the building reads as separate building modules reflecting traditional building widths and massing. Changes in the expression and details of materials, changes in window design, facade height or materials are examples of techniques that should be considered.
 - c. Where these articulation techniques are used, they shall be expressed consistently throughout the structure, such that the composition appears as several building modules. Attention to the designs of transitions between modules is important. Too much variation, which results in an overly busy design, is inappropriate.
- 9.13 A block-long building facade is inappropriate.

- a. A block-long building width will be considered if the facade reads as separate building modules.
- 9.15 Establish a sense of human scale in the building design.
- a. Use vertical and horizontal articulation techniques to reduce the apparent mass of a larger building and to create visual interest.
 - b. Express the position of each floor in the external skin of a building to establish a scale similar to historic buildings in the district.
 - c. Use materials that convey scale in their proportion, detail and form.
 - d. Generally, the facade in most contexts should appear as a relatively flat surface, with any projecting or recessed “articulations” appearing to be subordinate to the dominant form. Exceptions are in lower scale single-family settings.
 - e. Design architectural details and other features to be in scale with the building. Using windows, doors, storefronts (in commercial buildings) and porches (in lower scale residential buildings) that are similar in scale to those seen traditionally is appropriate.

Intent for Building and Roof Form

The simplicity of traditional roof forms should continue to predominate throughout the district.

Requirements

- 9.16 Use simple, rectangular roof forms in commercial, warehouse and industrial contexts.
- a. Flat roofs are appropriate on the majority of the buildings in the district.
- 9.17 Design a roof to be similar in form to those used traditionally in the character area.

Intent for Primary Entrances

A primary entrance should be clearly identifiable in a new building and it should be in character with the building and its context. The entrance should include features to signify it as such, and convey a sense of scale to the passer-by.

Requirements

- 9.18 Locate a primary building entrance to face the street.
- a. Position a primary entrance to be at the street level in an urban setting.
 - b. Recessed entries are encouraged to avoid door swing conflicts with the sidewalk and to provide shelter.
- 9.19 Design a building entrance to appear similar in character to those used traditionally.

- a. Clearly define the primary entrance.
- b. Use a contemporary interpretation of a traditional building entry, which is similar in scale and overall character to those seen historically.

Intent for Materials

Building materials should reflect the range of textures, modularity and finish of those employed traditionally. They also should contribute to the visual continuity of the specific context. They should be of high quality and proven durability in similar applications.

Requirements

9.20 Building materials shall be similar in scale, color, texture and finish to those seen historically in the context.

- a. Masonry (i.e., brick and stone) that has a modular dimension similar to those used traditionally is appropriate.

Staff comment: A slate gray utility brick is proposed on the base of the building. The dimensions of utility brick (approximately 3.5 inches x 3.5 inches x 11.5 inches) are larger than the modular brick (approximately 2.25 inches x 3.5 inches x 7.5 inches) and smaller than the stone masonry typically found in the district. The burnished block proposed on the north elevation is more typical in size compared to the stone masonry. However, wrapping the entire ground level in burnished block would not be appropriate in the district or a desired aesthetic. The applicant has indicated that the color and size were chosen to reinforce a strong base. The concept is consistent with historic buildings with exposed foundations in the immediate area.

- b. A facade that faces a public street should have one principal material, excluding door and window openings, and may have one to two additional materials for trim and details. Permitted materials include, but are not limited to, brick, stone, terracotta, painted metal, exposed metal, poured concrete and precast concrete.

Staff comment: Four to five primary exterior materials, not including glazing, are proposed on each building elevation. Brick, followed by glazing, would be the dominant materials on the east, west and south elevations, which are considered the primary elevations. The composition of the materials helps to create smaller building modules on a block long building. Extensive embellishments have been avoided to simplify the design. Although the use of fiber cement is generally discouraged, it is minimally used on each building elevation and less so than was approved for the Phase I development at 300 2nd Street South.

- c. The material also should be appropriate to the context.

9.21 Contemporary materials that are similar in character to traditional ones will be considered.

- a. Generally, one primary material should be used for a building with one or two accent materials. Accent materials should be used with restraint.
- b. A second material may be used on side or rear walls in a context in which such a tradition is demonstrated historically. It is inappropriate in the Water Power Area.
- c. A glass curtain wall will be considered as a principal material.

- d. Contemporary, alternative materials should appear similar in scale, durability and proportion to those used traditionally.
- e. Cementitious-fiber board, with exemplary detailing, will be considered in lower scaled residential settings. Other imitation or synthetic siding materials, such as plastic, aluminum or vinyl, are inappropriate in the lower scale residential contexts.

9.22 Use high quality, durable materials.

- a. Materials should be proven to be durable in the local Minneapolis climate.
- b. The material should maintain an intended finish over time, or acquire a patina, which is understood to be a likely outcome.
- c. Materials at the ground level should withstand ongoing contact with the public, sustaining impacts without compromising the appearance.

Intent for Windows

Window design and placement should help to establish a sense of scale and provide pedestrian interest. Where solid to void patterns are clearly established, this should be maintained. Contemporary and creative design interpretations of window rhythms and patterns that reference, but do not duplicate historic designs, are also encouraged.

Requirements

9.23 The use of a contemporary storefront design is encouraged in commercial settings.

- a. Design a building to incorporate ground floor storefronts in commercial settings, whenever possible.
- b. Incorporate the basic design features found in traditional storefronts, such as a kickplate, display window, transom and a primary entrance.
- c. In storefront details, use elements similar in profile and depth of detailing seen historically.
- d. Where a storefront is not feasible, incorporate a high level of transparency in ground floor office, lobby or residential uses while providing sufficient privacy for occupants.

9.24 Arrange windows to reflect the traditional rhythm and general alignment of windows in the area.

- a. Use appropriate window rhythms and alignments, such as:
 - Vertically proportioned, single or sets of windows, “punched” into a more solid wall surface, and evenly spaced along upper floors
 - Window sills or headers that align
 - Rows of windows or storefront systems of similar dimensions, aligned horizontally along a wall surface

- b. Creative interpretations of traditional window arrangement will be considered.

9.25 Use durable window materials.

- a. Appropriate window materials include metal and wood frame.
- b. Inappropriate window materials include plastic snap-in muntins and synthetic vinyl.

Intent for Canopies/Awnings

Continue the use of canopies and awnings within the district. They should be compatible with the building type and style, and be located appropriately on the building.

Requirements

9.26 A canopy/awning should be in character with the building.

- a. Mount a canopy/awning to accentuate character defining features.
- b. A canopy/awning should remain a subordinate feature on the building.

Intent for Building Equipment

Minimize the visual impacts of building equipment on the character of the district in residential and commercial contexts. Greater flexibility is appropriate in historic industrial contexts.

Requirements

7.6 Minimize the visual impacts of building equipment as seen from the public way.

Staff comment: An area well for one of the parking garage air handling units is proposed at the northeast corner of the building adjacent to 5th Avenue. The size of the area well would be approximately 8 feet wide by 15 feet long. There would be a 2-foot wide landscape strip separating the area well from the public sidewalk. The area well would be highly visible from the public way. Shifting the area well to the north side of the building, where there is 6 feet between the building and the service drive, does not appear to conflict with any building code requirements. Relocation of the well would likely eliminate the walk-up entrance for one of the ground floor units. Limiting the width of the well to 4 feet (the same extension as the stoops) could be considered to reduce the visual impact as well. Reducing the width may result in an increased length in order to accommodate venting requirements, but should increase the width of the landscape buffer. Staff is recommending that the HPC require the applicant to lessen the visual impacts of the area well, such as finding an alternate location or reducing how far the well extends from the building.

- a. Do not locate equipment on a primary facade. Primary wall penetrations for HVAC equipment are not permitted.

Staff comment: The east, south and west elevations are considered primary facades. Penetrations for the HVAC equipment would be located on the balconies facing inward, except for the second floor memory care units and on the south wall in the private courtyard. The south wall of the courtyard is set back 76 feet from the street. The memory care units will be

equipped with Packaged Terminal Air Conditioner (PTAC) units, which will have louvers on the east and south elevations. The reasoning behind the outward facing penetrations provided by the applicant is that memory care units are smaller than typical apartments, do not have kitchens, and are similar to hotel rooms. A similar installation was done on the Depot Minneapolis Hotel located across 2nd Street from the site. To lessen the visibility of the units, decorative louvers are proposed that will appear as an extension of the window frame.

- b. Prioritize use of low-profile or recessed mechanical units on rooftops.
- c. Rooftop equipment on residential and commercial buildings shall be set back from the primary building facade by a minimum of one structural bay or 15' whichever is greater.

7.7 Minimize the visual impacts of utility lines, junction boxes and similar equipment.

- a. Locate utility lines and junction boxes on secondary walls and group them.
- b. Locate utility pedestals (ground mounted) to the rear of the building.
- c. Enclose lines in conduit.
- d. Paint these elements to match the existing background color.

Intent for Balconies and Roof Decks

The use of balconies and roof decks is appropriate on new buildings, however, they should remain subordinate to the overall historic context.

Requirements

7.10 On a new building, locate balconies such that the traditional character of the block, as perceived at the street level, is maintained.

- a. When a building wall is positioned near the sidewalk edge, locating a balcony at the third floor or above is preferred.
- b. Consider providing a balcony that is inset instead of one that projects from the front facade. This can reinforce the concept of a simple rectangular form.

7.11 A new balcony should be simple in design so as not to detract from the historic character.

- a. The balcony should appear mostly transparent.
- b. Simple metal work is most appropriate on commercial/ mixed-use buildings.
- d. Heavy timber and plastics are inappropriate materials.
- e. Use colors that are compatible with the overall color scheme of the building. In most cases, dark metal matte finishes are appropriate.

7.12 Minimize the visual impact of a roof deck as seen from the street.

Staff comment: To provide outdoor space for the memory care units, two roof decks are proposed on the second floor level. At the edges of the roof deck located over the main

entrance, there would be a 3.5 foot tall parapet wall topped with a 2 foot tall metal railing with glass infill panels. At the edge of the roof deck that would overlook the private courtyard, there would be a 4.5 foot tall metal railing with glass infill panels. This roof deck would be recessed 57 feet from the street. The taller railings are for the safety of the memory care residents. The glass infill panels allow the residents to see out while minimizing the visual impacts of these roof decks. A common roof deck is also proposed on the fifth floor overlooking 2nd Street and the private courtyard. Although the fifth floor roof deck would be adjacent to a street, the brick walls would be continued and extend up to the fifth floor parapet level to lessen the visual impact.

Intent for Landscape Designs

Landscape designs should be reflective of the historic character or natural setting of the individual areas. The landscape should help enhance the understanding of the history of the area while allowing new contemporary design interpretations and adaptive reuse of sites. Landscape designs should not convey a false sense of history. Specific to the Water Power Character Area, enhanced landscapes and streetscapes in this character area are encouraged. They should not impede one's ability to understand the historical function and character of the context.

Requirements

- 6.2 Design new landscapes to be in harmony with the overall historic character of the district.
 - a. A new landscape design should not impede one's ability to understand the historical function and character of the context.
 - b. A new landscape design should not convey a false sense of history. Designs that reflect their own time, while helping to convey the history of a site, are appropriate.
 - c. A new landscape design that helps interpret the history of a site is encouraged. This does not have to be a literal interpretation.
- 6.3 Use landscape designs to promote energy efficiency and water conservation.
 - b. In residential settings, group deciduous trees and plants to provide summer shade and allow solar access in winter.
 - c. In some settings, plantings can be oriented to provide wind protection of plazas and entries in wintertime.
- 10.4 Integrate landscape features with industrial infrastructure and other interpretive opportunities to tell the story of the district.

Intent for Streetscape Improvements

Streetscape improvements should be reflective of the historic character or natural setting of the individual character areas. The streetscape should help enhance the understanding of the history of the area while allowing new contemporary design interpretations and adaptive reuse of sites. Streetscape designs should not convey a false sense of history.

Requirements

- 6.4 New or replacement street furnishings, such as street lights and street furniture, shall be compatible with the context of the individual character areas.
- a. In historic industrial areas, simple contemporary utilitarian designs are appropriate for street furnishings.
 - b. In historic residential and commercial areas, contemporary styles, such as metal with a painted finish, are appropriate for designs for street furnishings.
 - c. Designs that create a false sense of history, such as highly ornate historic styles, are not appropriate.
- 6.5 Consider integrating interpretive materials into street furnishings.
- a. Designs that interpret the history of the area are appropriate.
- 6.6 Streetscape plantings should be compatible with the context of the individual character areas.
- a. In historic industrial areas, street trees should be clustered and have irregular spacing to evoke a sense of the volunteer nature of vegetation of these industrial settings.

Staff comment: Fairly regular spacing of the boulevard trees is proposed, with the exception of the trees next to the main entrance. Staff is recommending that the HPC require the applicant to modify the tree planting locations in the boulevards to be clustered and spaced more irregularly.

- b. Boulevard plantings will be considered in historic industrial areas.
- e. Street trees shall not be located directly in front of entrances.

Intent for Open Space

The historic development patterns and use of these areas is often evident in the orientation of and access to the sites, remnants of historic infrastructure buildings, and their vegetation. New designs for open spaces and parks should reflect the historic use of the site through design interpretation while allowing for designs that meet the needs for the current and proposed use of the site.

Requirements

- 6.7 New designs for open spaces and parks should be compatible and reflective of the historic context of the individual character areas.
- b. Retain the historic orientation and access patterns of sites.
 - d. The volunteer pattern of historic landscapes should be reflected in industrial settings.

Intent for Views

The most valued views should be identified at the outset of a project, such that it is clear that they will be considered. The intent is not that no view can ever change, but the key elements of a view from public way should be retained.

Requirements

- 7.1 Incorporate key view opportunities into a design.
 - a. At the outset of a project, identify views that are most valued, then incorporate them into the design.
- 7.2 Minimize the impacts to key views from public ways.
 - a. Locate improvements to maintain key views to the extent feasible.

Intent for Connectivity

Existing historic circulation systems should be preserved. New development should continue to look at opportunities to enhance the existing circulation system. Internal circulation should also be provided within a project on larger parcels to encourage a pedestrian-friendly environment.

Requirements

- 7.3 Use historic routes, including rail corridors and roadways rather than create a new one.
 - a. When considering a new connection, preserve the underlying historic development patterns.
5. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

Regarding new construction on historic properties or within historic districts, the Secretary of the Interior's Standards state:

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed new construction would replace an existing surface parking lot, which is not considered to be historic or characteristic of the St. Anthony Falls Historic District. The new construction would be clearly identifiable from historic buildings within the district. It would be compatible with the massing, size, and scale of the adjacent historic, contributing properties. Compatibility with historic materials and architectural features is discussed in finding #4 above.

The proposed new construction is not attached to any historic construction, ensuring the change could be reversed with no adverse effects to the district.

6. *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

Minneapolis Plan for Sustainable Growth

The Minneapolis Plan for Sustainable Growth identifies mixed use as the appropriate future land use for this site. The site is located in the Mill District Activity Center and the Downtown Growth Center. The following policies apply to this proposal. With the adoption of the staff recommendation, the proposal will be consistent with the comprehensive plan.

Land Use Policy 1.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.

- 1.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- 1.12.2 Encourage mixed use buildings, with commercial uses located on the ground floor and secure entrances for residential uses.
- 1.12.3 Encourage active uses on the ground floor of buildings in Activity Centers.
- 1.12.5 Encourage a height of at least two stories for new buildings in Activity Centers, in keeping with neighborhood character.
- 1.12.6 Encourage the development of high- to very-high density housing within the boundaries of Activity Centers.
- 1.12.9 Encourage architectural design, building massing and site plans to create or improve public and semi-public spaces in Activity Centers.

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

- 8.1.2 Require new construction in historic districts to be compatible with the historic fabric.

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

- 10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

- 10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.
- 10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.

- 10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.
- 10.2.4 Integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street.
- 10.2.5 Locate access to and egress from parking ramps mid-block and at right angles to minimize disruptions to pedestrian flow at the street level.
- 10.2.6 Arrange buildings within a site in order to minimize the generation of wind currents at ground level.
- 10.2.7 Locate buildings so that shadowing on public spaces and adjacent properties is minimized.
- 10.2.8 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

Historic Mills District Master Plan

The subject site is located within the boundaries of the Historic Mills District Master Plan,³ which was adopted in 1999. In 2001, an update to the plan was adopted. This plan played an important role in the revitalization and redevelopment of the Historic Mills District into what it is today. The plan calls for 4 to 5-story (up to 63 feet) residential development on the 2nd Street side of the block, but with open space retained in the general location of the historic rail corridor. The plan also contains the following specific site and building design guidelines:

Building placement

- Buildings should be oriented to front city streets and should be set back from the street right-of-way no further than 10 feet for more than 50% of the width of the parcel.

Building configuration and pedestrian Friendly Streets

- Building frontage along streets should be lined with pedestrian oriented uses on the ground floor, and the upper floors should have a regular pattern of windows to create 'eyes on the street.'
- Parking should [be] located underground or in the middle of the block, behind the buildings.

Building heights

³ The boundaries of the plan extend along 2nd Street South between 3rd Avenue South and 9th Avenue South as well as extending south of 2nd Street South, outside of the St. Anthony Falls Historic District boundaries.

- Building heights should be a minimum of four stories.
- Building massing should be planned to take advantage of sunlight and views.
- Tall buildings should be positioned along north/south avenues to allow sunlight to penetrate into the street spaces and courtyards and to block northwest winds.
- The heights of the tallest buildings should be compatible with existing commercial buildings in the Historic Mills District.

Massing

- Buildings should be simple, well-proportioned volumes.
- Building walls facing public streets and parks shall be terminated at the top with a cornice or attic expression.
- Flat roofs shall be enclosed by parapets no less than 42 inches high or as required to conceal equipment.
- Cantilevered mansard roofs could be considered if they have historical precedence.

Façade Treatment: Windows, Doors, Storefronts, Awnings

- Windows (other than ground-level storefront windows) shall be vertical in proportion, 1.5 to 2.5 times as tall as they are wide.
- The glazed area of a façade (excluding the ground-level storefront) shall not exceed 35% of the total façade area.
- Doors and windows should be set back a minimum of three inches from the façade.
- Doors shall be vertical in proportion.
- Sliding glass doors are not permitted.
- Windows and doors should appear in a consistent and repeated pattern across the principal facades.
- Ground-floor commercial uses shall have storefronts with glazed areas equal to at least 65% of the ground-level portion of the façade.

Materials

- Exterior Wall Finish: The exterior wall finish on all facades shall be limited to brick, stone or cast stone designed to resemble stone masonry construction.
- Exterior Color:
 - The masonry colors of buildings can range between creamy buff colors to deep terracotta.
 - Trim colors should be earth tones that complement the masonry.
 - Doors, shopfronts, window frames, shutters, balcony rails and awnings shall be any color, any saturation.
 - Glass shall be clear or lightly tinted only. Balcony railings and porch structures shall be metal, stone or cast concrete.

The plan also contains streetscape design guidelines. The plan envisions 2nd Street as the central pedestrian spine of the district. The plan identifies specific street improvements for 2nd Street and 5th Avenue. Neither street has been built to those specifications; however, the proposed changes to the right-of-way are consistent with the improved pedestrian environment goals.

Staff comment: The proposal would not be consistent with 2 aspects of the above guidelines:

- *Parapet/cornice:* The building walls facing the streets would not be terminated at the top with a cornice or attic expression and the parapet would be 36 inches tall instead of at least 42 inches. It does not appear that all new construction projects within the boundaries of this plan have been held to this standard. A taller parapet is not needed to screen the rooftop mechanical equipment as they would be inset at least 15 feet from the street walls. However, the *Saint Anthony Falls Historic District Design Guidelines* (see guideline 9.7 on page 8) also calls for incorporating traditional facade articulation techniques, such as a cornice, in a new design. Staff is recommending that the HPC require a cornice to be incorporated on the building. The cornice would not need to be as ornamental as some of historic or newer buildings, but would need to create a defined building cap.
 - *Materials:* Brick is not the only primary exterior material. Recently constructed projects have been allowed to deviate from this requirement although the primary material has still been brick with the exception of the MacPhail Center for Music (outside of the historic district) and the Guthrie, both of which are nonresidential structures. This issue is discussed further in finding #4 above.
7. *Destruction of any property. Before approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection, the commission shall make findings that the destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.*

The project does not involve the destruction of the property.

Before approving a Certificate of Appropriateness, and based upon the evidence presented in each application submitted, the Commission shall make findings that alterations are proposed in a manner that demonstrates that the Applicant has made adequate consideration of the following documents and regulations:

8. *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

The applicant has taken into consideration the design guidelines of the St. Anthony Falls Historic District, and the architectural significance of the historic district.

9. *Where applicable, adequate consideration of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

Site Plan Review is required for the proposed development. The proposal appears to comply with most of the site plan review standards. However, there appears to be walls without sufficient architectural elements on the ground floor of the north elevation. Remedying these deficiencies should only require minor alterations.

10. *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

As conditioned, the application complies with the rehabilitation guidelines of the Secretary of the Interior's Standards for the Treatment of Historic Properties as discussed in finding #5 above.

Before approving a Certificate of Appropriateness that involves alterations to a property within an historic district, the Commission shall make findings based upon, but not limited to, the following:

11. *The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.*

With the adoption of the staff recommendation, the proposal would be compatible with the character of the district and would not negatively impact the significance or integrity of the St. Anthony Falls Historic District.

12. *Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.*

The spirit and intent of the City of Minneapolis' Heritage Preservation Regulations is to preserve historically significant buildings, structures, sites, objects, districts, and cultural landscapes of the community while permitting appropriate changes to be made to these properties. With the adoption of the staff recommendation, granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

13. *The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.*

As discussed in findings #3 and #5 above, the project would not have a direct impact on any contributing resource.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Certificate of Appropriateness:

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt the above findings and **approve** the Certificate of Appropriateness to allow a new 5-story assisted living facility located at the property of 428 2nd St S within the Saint Anthony Falls Historic District., subject to the following conditions:

1. To create a defined building cap and reinforce visual continuity of the area, a cornice shall be incorporated.
2. The applicant shall lessen the visibility of the area well proposed at the northeast corner of the site.
3. The tree planting locations in the boulevards shall be modified to be clustered and spaced more irregularly to evoke a sense of the volunteer nature of vegetation in an industrial setting.
4. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than August 19, 2016.
5. By ordinance, all approvals granted in this Certificate of Appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.

ATTACHMENTS

1. Written description, findings, and historic and current photos submitted by applicant
2. Zoning map
3. Site survey
4. Site landscape plan
5. Floor plans
6. Building elevations
7. Renderings
8. Other details/specifications
9. Correspondence



**Mill City Quarter Phase 2
428 South Second Street
Minneapolis, Minnesota**

**Certificate of Appropriateness Application
Minneapolis Heritage Preservation Commission**

**Submitted July 3, 2014
For Public Hearing August 19, 2014**

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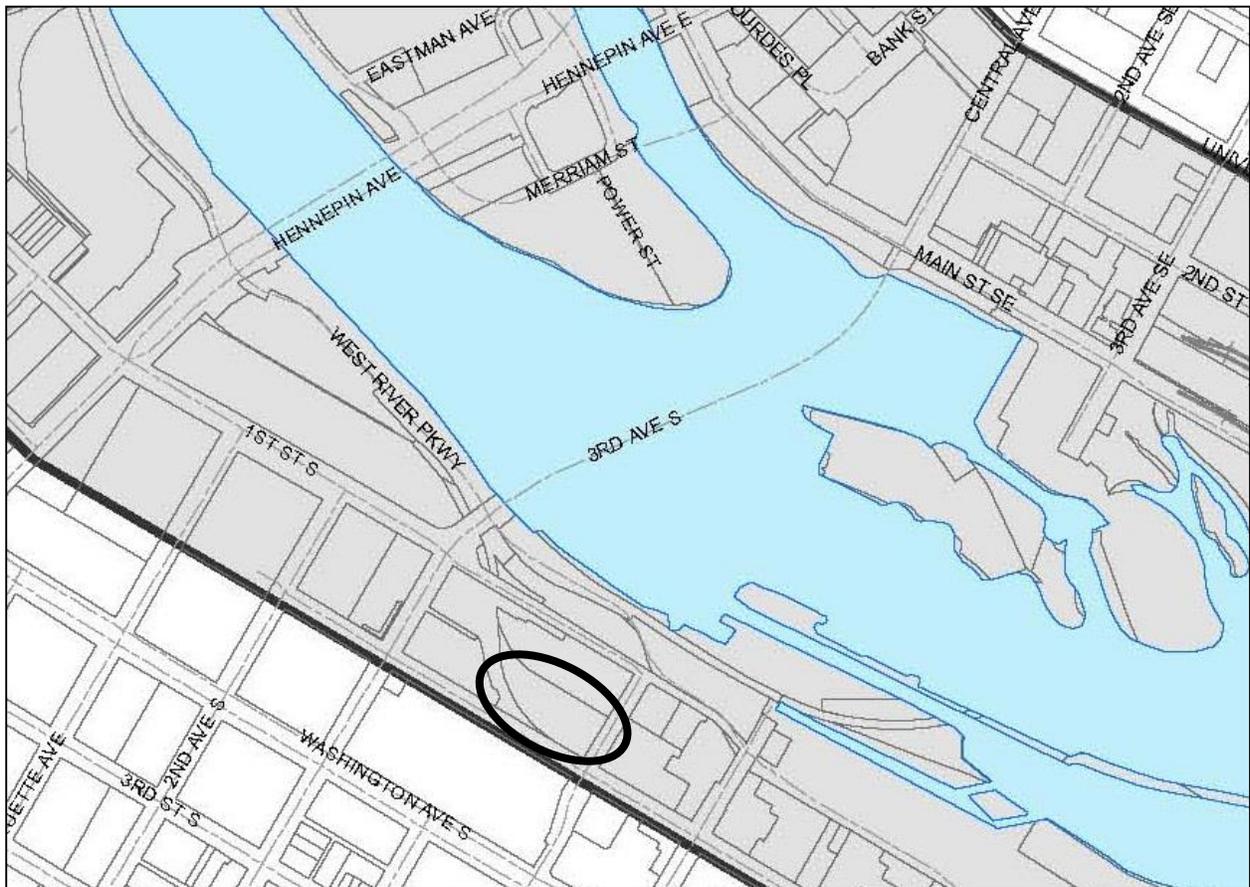
Project Team / Site Status

Mill City Quarter Phase 2

Developer: Ecumen
Architect: BKV Group
Historian: Hess, Roise and Company

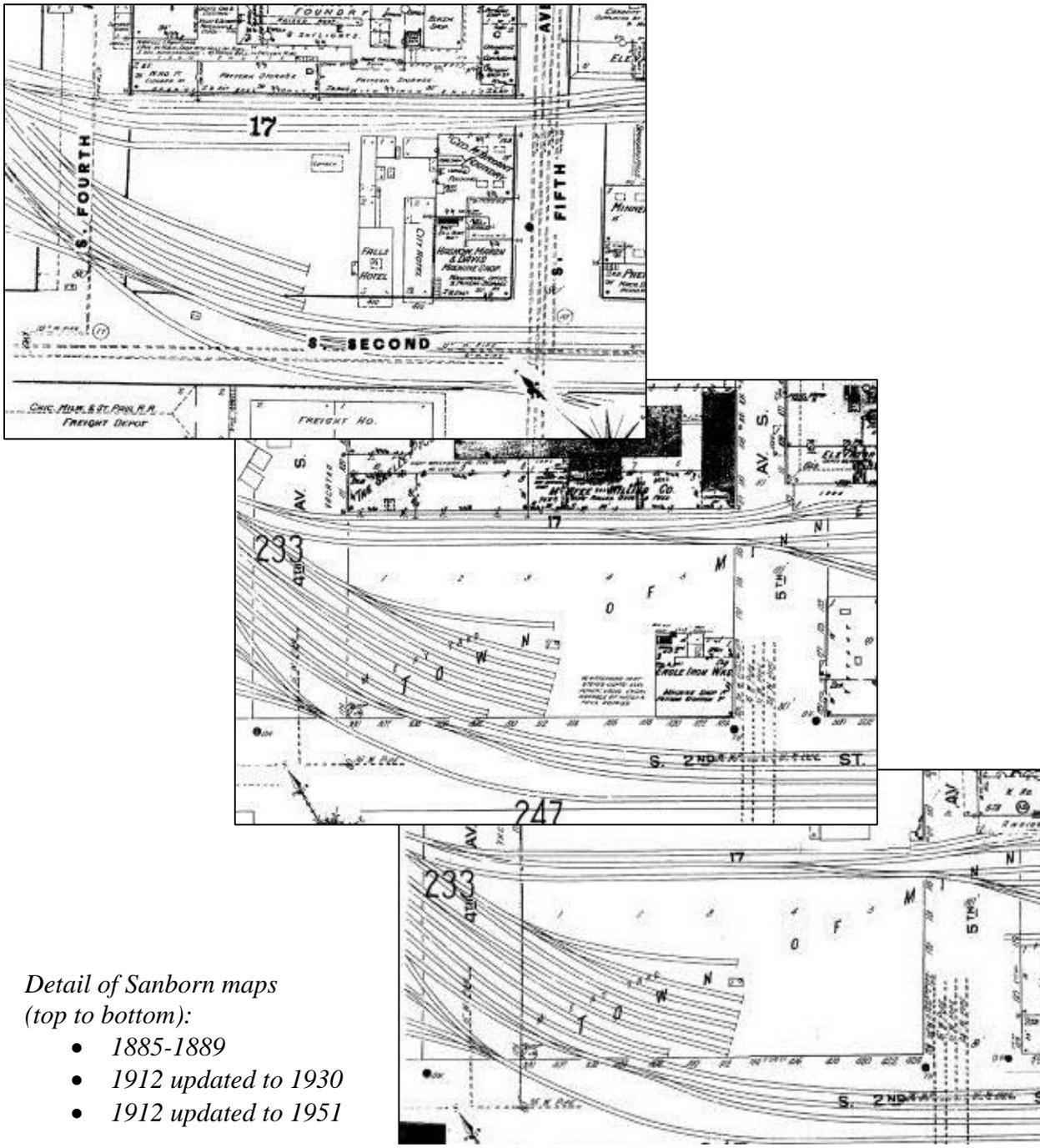
Designation status: Noncontributing property (surface parking lot) in Saint Anthony Falls Historic District

Historic District: Saint Anthony Falls Historic District—local and National Register designations (Saint Anthony Falls Historic District Design Guidelines, Water Power Character Area)



*Detail of Saint Anthony Falls Historic District.
Location of 428 South Second Street is circled.
(Map from Minneapolis Heritage Preservation Commission website:
http://www.ci.minneapolis.mn.us/hpc/docs/St_Anthony_Falls_HD.pdf)*

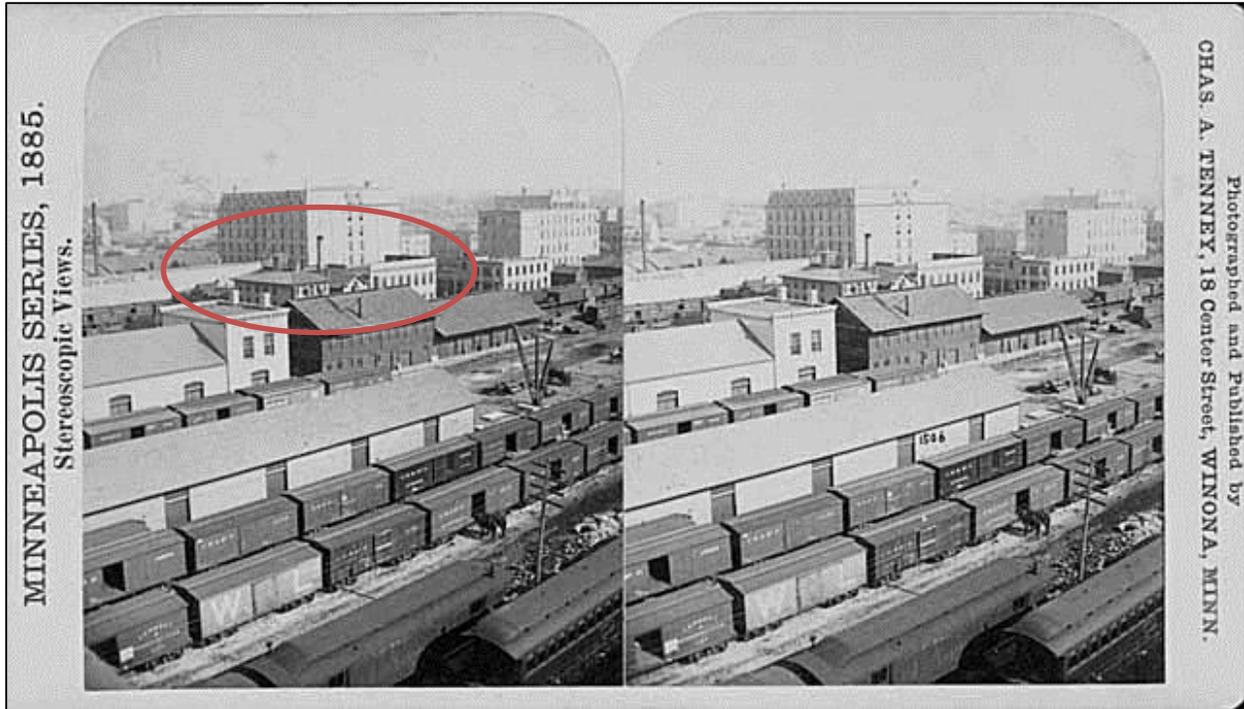
Historical Information



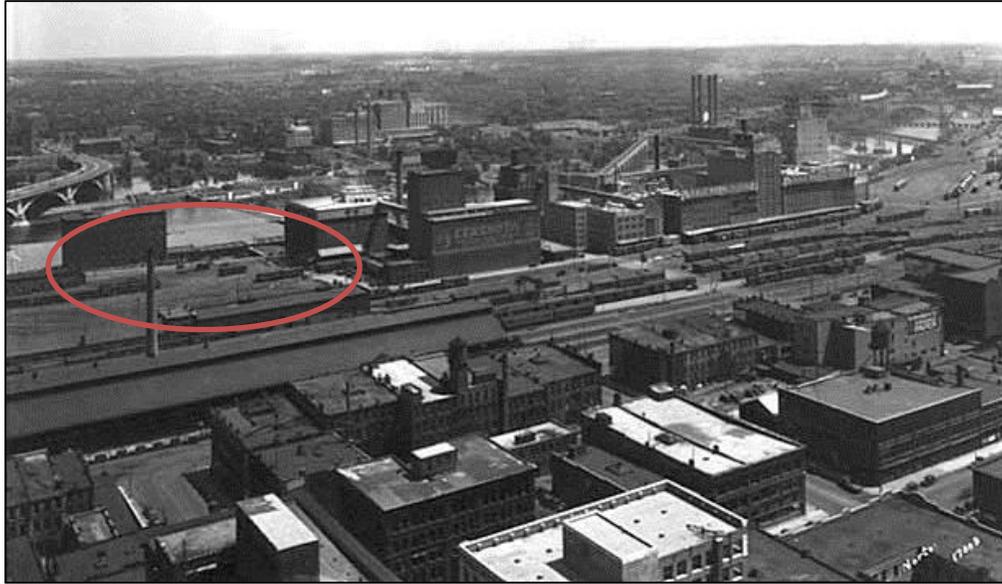
*Detail of Sanborn maps
(top to bottom):*

- 1885-1889
- 1912 updated to 1930
- 1912 updated to 1951

The property held railroad tracks, two hotels on Second Street (“Falls” to left and “City” to right), a machine shop on the corner, and a foundry on Fifth Avenue in 1889. By 1930, Eagle Iron Works had taken over the machine shop; the other buildings had disappeared. The Eagle Iron building was gone and the land was empty, except for the tracks, by 1951.



*Top: The Falls Hotel, City Hotel, and machine shop (circled) are visible in this 1885 stereopticon view. The smokestack from the foundry can also be seen.
 Bottom: The Falls Hotel and the machine shop appear over freight house roofs in this 1912 photograph. The City Hotel is gone, and the foundry might be as well.
 (Minnesota Historical Society Collections)*



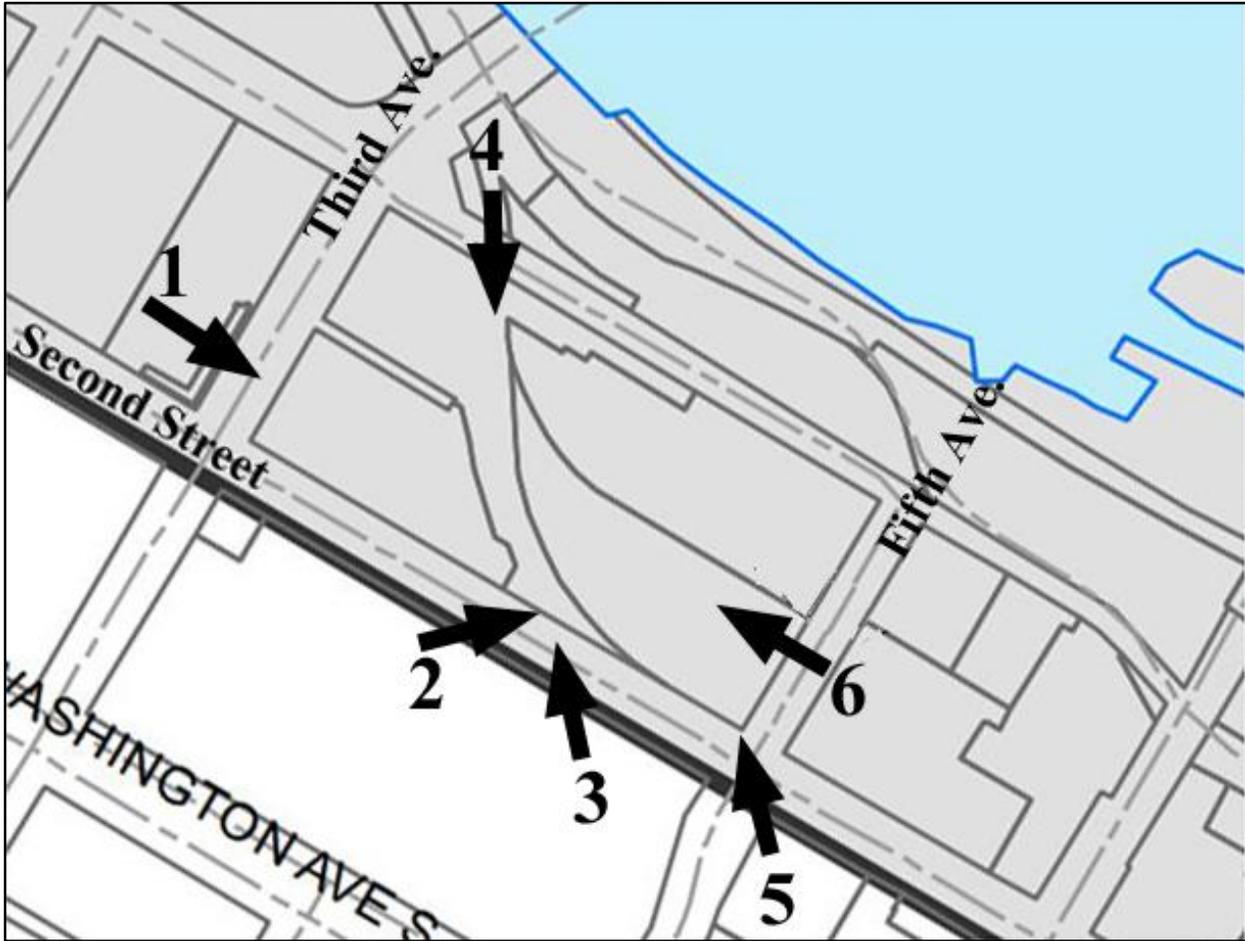
Top: Although the Sanborn map updated to 1930 shows the machine shop still in place, it does not appear in this photograph, which is attributed to the 1920s.

Bottom: Railroad tracks cover the west end of the Phase 2 site in this 1961 photograph by Robert Travis Keagle.

(Minnesota Historical Society Collections)

Photographs

Photo key to current views on the following pages



Map is oriented to true north; the river is assumed north



1 (top): Looking east across the entire Mill City Quarter site from Third Avenue. The Phase 1 site is in the foreground with the Phase 2 site in the background.

2 (bottom): Looking northeast at the west end of the Phase 2 site from mid-block along Second Street.



3 (top): Looking northwest from Second Street along the approximate alignment of the woonerf in the former rail corridor.

4 (bottom): Looking southeast along the former railroad corridor from the First Street Bridge.



5 (top): Looking northwest at the east end of the site from the corner of Second Street and Fifth Avenue.

6 (bottom): Looking west from Fifth Avenue.

Overview

The Mill City Quarter (MCQ) development site is bounded by Second Street to the south, Third Avenue to the west, Fifth Avenue to the east, and the River West high-rise complex and the Mill Place office building to the north. The site is currently occupied by a large surface parking lot. The proposed project is an infill, dense urban development that will include mostly residential units, plus a modest amount of commercial/retail space. This use is consistent with the C3A zoning of the site and with the adjacent residential and retail uses. The transit-oriented, mixed-use development will occur in two phases and will greatly enhance the connectivity from the Mill District neighborhood to the Mississippi River.

Third-Party owner Mill Place Inc. owns the former rail corridor that runs from Second Street to the riverfront on a northwest-southeast diagonal, bisecting the property. Mill Place ownership has been actively engaged in four years of planning for the MCQ project. The development team has reached a Memorandum of Understanding with Mill Place that guides the development of the project to permit a unique pedestrian/bike/river connection through collaboration and easements. Cross-easements between Mill Quarter and Mill Place's properties permit creation of a "woonerf," a concept pioneered in the Netherlands, where bikes, cars, pedestrians, and public spaces all co-exist, and speeds are reduced for cars. Shared parking is a consideration for Mill Place.

At its meeting on November 19, 2013, the Heritage Preservation Commission approved Certificates of Appropriateness for the design of Phase 1, the Mill City Quarter Apartments and plaza at 300 South Second Street (BZH-27892), and for the site master plan, which included Phase 2 (BZH-27893). Lupe Development Partners is the developer for Phase 1.

Another developer, Ecumen, is preparing plans for Phase 2, which is on the other side of the woonerf. Photographs of the site are appended. Representatives from the project team—Ecumen, BVK, and Hess Roise—attended the HPC meeting on June 17, 2014, for a preliminary review. In response to comments from the commissioners and staff, modifications have been made to the plans that are enclosed with this Certificate of Appropriateness application.

Phase 2 Developer: Ecumen

Ecumen is a non-profit 501(c)(3) corporation with over 150 years of service. Headquartered in the Minneapolis/Saint Paul area, we are led by a 15-member board of trustees, we are the one of the largest non-profit providers of older-adult services in the state of Minnesota, and one of the top 20 in the nation.

Our roots extend to the early 1860s, when through the Lutheran Church, we provided foster care services to children. In the early 1900s, Ecumen's predecessor organizations began providing senior housing and services. The name Ecumen (since 2004) comes from the Greek word for home: "Oikos." It underscores our mission to "Create home for older adults wherever they choose to live."

Our senior housing and consumer services include independent living communities, assisted living, memory care, skilled nursing care, and at-home care. Additionally, we provide senior housing development, marketing, and senior housing management services for organizations outside of Ecumen.

With annual revenues of approximately \$150 million, Ecumen owns and operates more than 4,000 units of senior housing in Minnesota, Wisconsin, North Dakota, Idaho, Nebraska, and Tennessee. We will soon be expanding into Michigan and Illinois as well.

Ecumen owned and managed communities employ more than 3,500 people with an even more extensive volunteer and customer base. We are a multi-year winner of the *Minneapolis/St. Paul Business Journal's* Best Places to Work award, and have been named by the *Minneapolis Star Tribune* as one of the state's top 100 places to work.

Phase 2 Project

In Minneapolis, Ecumen is proposing 104 apartment homes for individuals over the age of 62. Apartment homes of this nature are built to an Ecumen standard ensuring they are adaptable and accessible to customers over 62 years of age, though equipped to serve one through end of life if they so choose. This includes walk in showers, grab bars, and accessible pulls on finished cabinetry, plumbing fixtures and much more. Other features and services that will be offered within the community include:

- A rich dining program in either a restaurant style dining venue, café, or room service delivered to the home on demand
- Housekeeping services
- 24-hour staff, security and response system
- Scheduled wellness activities
- Interior and exterior apartment maintenance
- Concierge services including transportation arrangement, dry cleaning services, grocery delivery coordination, event ticket procurement, etc.
- Home care services available

A memory care program with 45 homes will offer a secure environment for our customers with licensed staff present and on-call 24-hours day. Staffing ratios in programs like these can vary by time and day, and acuity of the customers, but is traditionally 1:6 or 1:7. This environment is meant to provide total care for individuals with memory loss, Alzheimer's and other related forms of dementia. Generally these customers are represented by a legal guardian or health care proxy that is making decisions on their behalf.

Traditionally this type of program would include (though not limited to):

- Registered nursing oversight and care coordination
- Assistance with hygiene, toileting and grooming
- Medication management and administration
- Escorts to and from meals and activities
- Monitoring of vital signs and weight

- Three meals per day with snacks available
- Scheduled wellness programs

Phase 2 Design

The Heritage Preservation Commission has previously reviewed and approved the design for Phase 1, which was submitted by Lupe Development Partners. Phase 2 of the development will consist of a five-story building with 104 independent living housing units for seniors and 45 memory care units for senior residents needing assistance. This will add a desirable mixture of housing choices that are currently needed and underrepresented in this neighborhood. Phase 2 will include a total of 179 parking stalls below and above ground. Entry to the parking facility will be from the access drive on the north side of the property. Bicycle parking will be provided to meet a ratio of .5 bike spaces per dwelling unit.

The site design will include landscaped open spaces to encourage people to gather. It will also facilitate pedestrian traffic and enhance the pedestrian experience around the building, on adjacent properties, and in the public right-of-way.

Using historical site photos as inspiration, the design concept is based on the rails that once occupied the site, employing paving materials and potentially railroad artifacts to abstract the pattern of a rail yard. The woonerf will be a curbsless environment, defining vehicular travel lanes with bollards and changes in paving surface type/color. Designed for very slow speeds, (<10 mph) similar to those typically found in parking lots, it allows the pedestrian to become the focus of the space and the vehicle is seen as the “visitor.”

The design is also intended to provide a much-needed and very direct physical connection between the greater downtown area and the Mississippi River. Together with Phase 1, this development will be a strong link between the future Water Works Park on West River Parkway and the Mill District Neighborhood along Second Street. The open space of this project will enhance recreational and cultural opportunities for residents of the neighborhood and visitors to the park, providing an important link in the City’s transportation network, joining the extensive off-street bike trails of the Parkway with multiple bus lines and nearby light rail transit.

A large landscaped plaza east of the “swoop” of the woonerf provides safe and inviting outdoor spaces for relaxing and socializing, for residents and visitors to the project as well as patrons at the small café space. Trees and native perennials and grasses line the woonerf, randomly spaced within a continuous band of pervious pavers. The band of pervious pavers will simultaneously provide natural irrigation for the plants while infiltrating stormwater and will allow for a subtle randomization of plantings that recalls the wild riverbanks nearby.

This project team is committed to demonstrating a number of best management practices (BMP) for stormwater management and Low-Impact Development (LID). Some of the concepts and techniques being proposed include rainwater harvesting, vegetated walls, pervious paving, pixelated parking, green roofs and underground detention.

Site connections for the Phase 2 project units will focus on protected and flexible outdoor space. We envision exploring a three-season space that connects directly to the woonerf/river path. Both indoor and outdoor plants will be chosen to enhance the care of those residents in assisted living and memory care, as there are particular plants that can trigger memory and bring pleasure.

Individual units will have direct, walk-up access along Fifth Avenue, providing additional life at street level and opportunities to create individual, micro-landscapes that serves as “front yards” for those units. Walk-up units facing Second Street will open onto a landscaped courtyard that will have direct access to the public right-of-way, adding additional visual interest to the neighborhood streetscape and providing additional eyes on the street.

The building placement addresses the primary street intersection, with minimal to no building setbacks along Fifth Avenue and Second Street. On the north property line, the building setback ranges from 20 to 30 feet. Along the woonerf edge, the building setback ranges from 0 to 30+ feet, with recessed courtyards provided for outdoor seating and recreation.

The building massing and material selection works to maintain the traditional building width and scale along Second Street within the West Side Milling Area. Although the overall building length is longer than traditionally seen, the massing and the materials break down the overall feel and shape of the building into something more traditional to the district. The variation from the rectilinear massing occurs at the recessed exterior courtyards and at the angular cut of the woonerf. The building features a taller first level with a strong masonry base creating a strong street presence. The architecture of the upper levels is organized by gridded facades of a single material, accented with windows and recessed balconies. The design and character of these facades creates a complementary architectural language to the rest of the district.

Primary building materials consist of brick, metal panels, cement-board siding, and glass. The materials are distributed in a way to break the scale of the building down to more traditional widths within the character area. The primary brick will be a buff color, recalling the historic tones of the district. Gray brick with horizontal will be used at level 1, reinforcing a strong base. The brick placement is focused to anchor the building edges and accentuate the primary facades along Fifth Avenue, Second Street, and the woonerf. Modern materials of gray metal panel and charcoal cement board are used as compliments to the masonry. The use of cement board is limited in scope and used as a secondary material. Glazing locations are an important piece of the design. The majority of the locations have a very traditional gridded layout seen throughout the district. This building incorporates a corner window detail into the larger gridded building masses to add interest and differentiate the building. This detail came out of numerous meetings with potential senior residents that expressed the desire for great views and large areas of glazing.

Details of projecting canopies and openings reflect a more industrial character that is compatible with the district. Balconies along the primary street facades will be recessed so that the railing is in line with the elevation while projected balconies will be incorporated on the non-primary building walls. Through wall mechanical unit grills will be located in these recessed areas on the primary facades. The grills will be flush with the facade on non-primary elevations. At level 2,

the memory care floor, PTAC mechanical units will be on the primary facades. Decorative louvers will be used to conceal the units and they will appear to be an extension of the window frame. A similar condition can be found in the district on The Depot Minneapolis Hotel.

Evolution of the Design

The design has been developed in consultation with HPC commissioners, CPED staff, and the project's historical consultant, with guidance from the Saint Anthony Falls Historic District Design Guideline, specifically, the Water Power Character Area. Modifications made after the initial meeting with the commissioners on June 3 include:

- *Early iterations of the design had featured metal panel at the base of the building. CPED staff had commented that the base needed to be more solid to fit the district. The architects revised the design for the June 3 meeting to feature two styles of brick at the base.*
 - Design Response to HPC Comments: The base has been reduced to a single brick color/type on the primary facades. The design still features masonry sills, and bases have been added to further define the windows within the base.
- *Early iterations featured a number of materials. CPED staff had commented that materials selection needed to be limited. The architects revised the design for the June 3 meeting to reduce the material selection and use similar tones to compliment materials (Gray Brick to Gray Metal, Dark Brick to Dark Brown Cement board).*
 - Design Response to HPC Comments: The dark brick has been removed at the base.
- *CPED staff indicated that the site landscaping to the main building entry at the woonerf and Second Street was more successful in a previous iteration as a plaza.*
 - Design Response to CPED and HPC Comments: The site design has been revised to extend the woonerf plaza to the entry.

Certificate of Appropriateness Findings per Section 599.350

(a) General

(1) *The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

The Saint Anthony Falls Historic District was listed in the National Register of Historic Places in 1971. This nomination was prepared not long after the National Register was created by the National Historic Preservation Act of 1966, and it does not provide the level of information that is contained in National Register nominations prepared today. The areas of significance of architecture, commerce, industry, and transportation were selected on the form; these are associated with National Register Criteria A and C. The District is now considered to be eligible under Criterion D (archaeology) as well. The nomination did not identify a period of significance, but the design guidelines that the HPC adopted for the district in 2012 assume that the period of significance extends from 1848 to 1941.

The buildings that were on the site of the proposed project were destroyed a number of years ago and cannot be recreated. As a result, the site's association with the significance of the Saint Anthony Falls Historic District has weakened. In replacing the surface parking lot that currently occupies the site with a new building that follows the HPC's design guidelines for the Saint Anthony Falls Historic District, the proposed construction will be compatible with and continue to support the criteria of significance and period of significance for which the district was designated inasmuch as that is possible for a noncontributing site.

(2) *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The site once held buildings that would have been contributing elements in the historic district, but those buildings are long gone. Today, the site does not contain properties that have been designated as contributing elements, although the alignment of a rail line will be reintroduced, strengthening the integrity of the National Register and local historic districts.

(3) *The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.*

The HPC has adopted design guidelines for the Saint Anthony Falls Historic District. The architects have used these as the basis of the design the project, as described in the previous section. In conforming to the design guidelines, the project will maintain the historic district's integrity.

(4) *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The Heritage Preservation Commission adopted the *St. Anthony Falls Historic District Design Guidelines* in 2012. The subject property is located in the Water Power Character Area. As the project summary prepared by the architects indicates, the design guidelines were carefully considered throughout the design development process, and features of the design were modified in response to comments made by the commissioners during an earlier review.

(5) *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

The Rehabilitation Standard that is particularly relevant is Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. The design of the project relates to the historic district while clearly being a product of the twenty-first century. The proposed project does not contemplate destruction or alteration of any contributing historic structures.

(6) *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

The project will conform.

(b) Destruction of any property.

The construction of the project does not involve the destruction of any above-ground historic resource. It seems highly unlikely that the property contains any significant archaeological sites given the disruption of the land over the past century.

(c) Adequate consideration of related documents and regulations.

(1) *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

The materials submitted with this application demonstrate an understanding of the significance of the property and the Saint Anthony Falls Historic District. The district is significant in the areas of architecture, commerce, industry, transportation, and architecture.

In meeting the design guidelines for the Saint Anthony Falls Historic District, which are based on the Secretary of the Interior's Standards for the Treatment of Historic Properties, the project respects the architectural character and significance of the National Register and local historic districts.

(2) *Where applicable, Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

The Applicant plans to meet the requirements of Chapter 530 within the City of Minneapolis Zoning Code.

(3) *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

The proposed project will follow the Rehabilitation Standard for new construction, as discussed in Section (a)(5) above.

(d) Additional findings for alterations within historic districts.

(1) *The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the District was designated.*

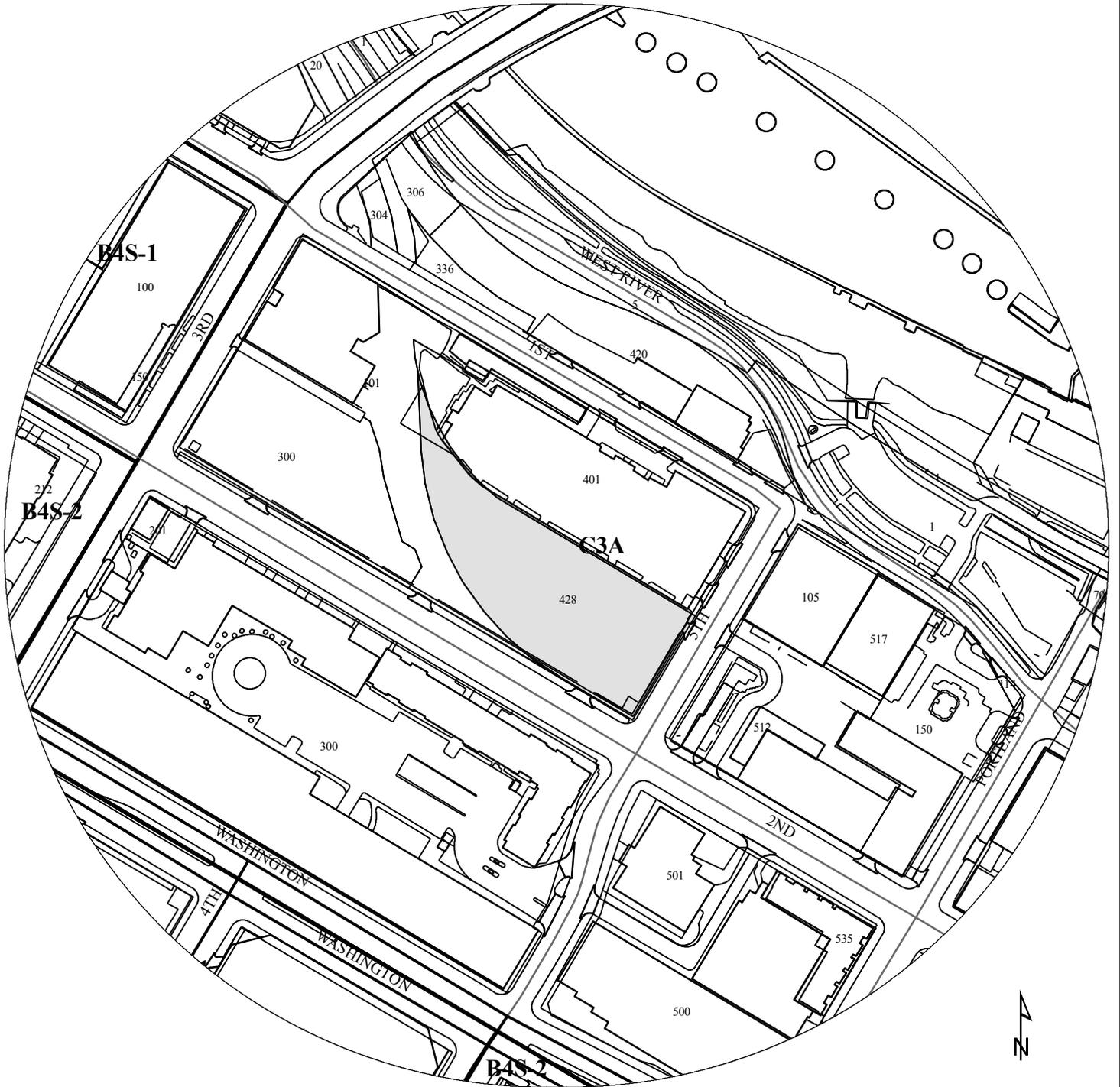
While the project will be residential, its design is inspired by the industrial buildings in the area—many of which have been rehabilitated for residential use. As a result, the project is compatible with the Saint Anthony Falls Historic District, will not adversely affect the District's significance and integrity, and will add to the character of the District and celebrate the existing adjacent contributing buildings.

(2) *Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.*

Granting the certificate of appropriateness for the proposed work will be in keeping with the spirit and intent of the ordinance, which is to protect the character of the District and its resources. The proposed project will stabilize, rehabilitate, and reactivate the historic district, while not altering its essential character. In doing so, the project will ultimately protect the essential character of the entire District.

(3) *The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance. (2001-Or-029, § 1, 3-2-01; 2009-Or-023, § 11, 3-27-2009)*

The proposed project will meet the Secretary of the Interior's Standards for Rehabilitation, and will therefore not be injurious to the significance and integrity of other resources that have been identified in the Saint Anthony Falls Historic District. The project will not establish any precedents that might adversely affect the preservation of that District.



PROPERTY ADDRESS
428 2nd St S

FILE NUMBER
BZH-28278

LEGAL DESCRIPTION

PARCEL 1:
 Lots 1, 2, 3, Block 18, Town of Minneapolis.
 That part of Lots 4 and 5, Block 18, Town of Minneapolis, and that part of vacated 4th Avenue South, dedicated in said plat as California St., lying northwesterly and southwesterly of the following described line:

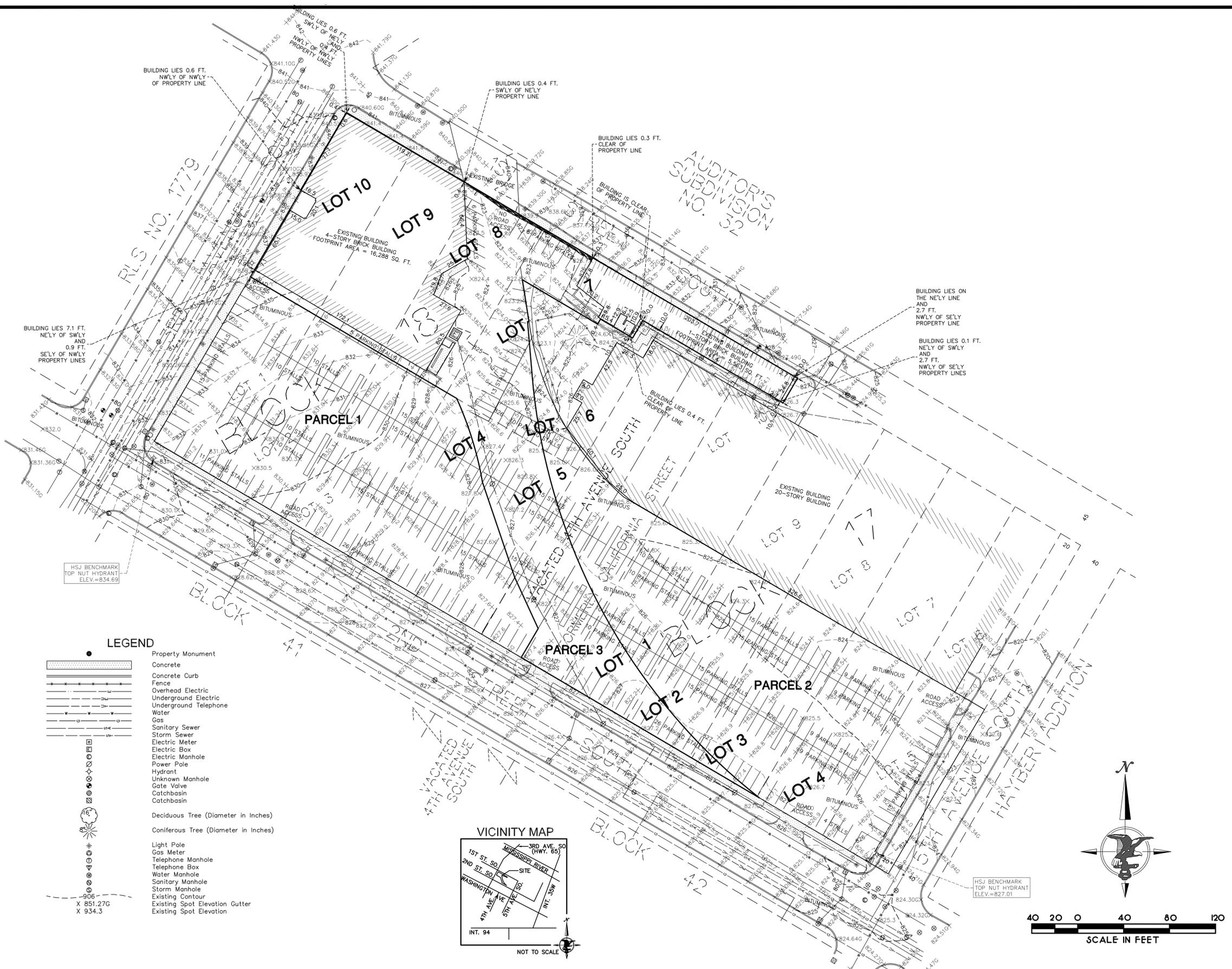
Beginning at the intersection of the southwesterly line of Block 17, said plat, and its northwesterly extension, with the centerline of said vacated 4th Avenue South; thence North 30 degrees 27 minutes 30 seconds East, assumed bearing, along said centerline a distance of 29.13 feet; thence North 24 degrees 42 minutes 38 seconds West 48.73 feet to a point on the southeasterly line of said Block 18 distant 57 feet northwesterly from the most southerly corner of Block 18; thence North 18 degrees 48 minutes 42 seconds West 87.27 feet to a point on the northwesterly line of Lot 5, said Block 18, distant 114 feet northwesterly from the most westerly corner of said Lot 5; thence northwesterly 76.23 feet along a non-tangential curve, concave to the west, having a radius of 297.00 feet, central angle 14 degrees 42 minutes 22 seconds and the chord of said curve bears North 17 degrees 10 minutes 36 seconds West to a point on the northeasterly line of Lot 4, Block 18, said point being 10.00 feet southwesterly from the most northerly corner of said Lot 4; thence North 59 degrees 34 minutes 57 seconds West, not tangent to said curve, along said northeasterly line of said Lot 4 to said most northerly corner of said Lot 4 and said line there terminating.

PARCEL 2:
 Lot 5, Block 17, Town of Minneapolis.
 That part of Lots 1, 2, 3, and 4, Block 17, Town of Minneapolis, and that part of Lots 5, 6, and 7, Block 18, said plat, and that part of vacated 4th Avenue South, dedicated in said plat as California St., lying southwesterly of "Line 1" and northeasterly of "Line 2". Said "Line 1" and "Line 2" are described follows:
 "Line 1"
 Beginning at the most northerly corner of Lot 7, said Block 18; thence on an assumed bearing of South 30 degrees 28 minutes 20 seconds West, along the northwesterly line of said Lot 7 a distance of 38.89 feet; thence South 09 degrees 01 minutes 33 seconds East, a distance of 47.74 feet; thence southerly a distance of 176.86 feet along a non-tangential curve concave to the northeast having a radius of 248.13 feet and a central angle of 40 degrees 50 minutes 08 seconds, the chord of said curve bears South 28 degrees 26 minutes 31 seconds East, to the intersection with the northwesterly extension of the northeasterly line of Lot 1, said Block 17; thence South 59 degrees 35 minutes 59 seconds East along the northwesterly extension of said northeasterly line of said Lot 1 a distance of 33.70 feet, more or less, to the most northerly corner of said Lot 1; thence southeasterly along the northeasterly lines of Lots 1, 2, 3, and 4, said Block 17, to the most easterly corner of said Lot 4 and said line there terminating.
 "Line 2"
 Beginning at the most northerly corner of Lot 7, said Block 18; thence on an assumed bearing of South 30 degrees 28 minutes 20 seconds West, along the northwesterly line of said Lot 7 a distance of 38.89 feet; thence South 09 degrees 01 minutes 33 seconds East 47.74 feet; thence South 80 degrees 18 minutes 36 seconds West 1.22 feet; thence South 4 degrees 54 minutes 36 seconds East 47.37 feet; thence southerly a distance of 427.65 feet along a non-tangential curve, concave to the northeast, having a radius of 521.44 feet and a central angle 46 degrees 59 minutes 24 seconds, the chord of said curve bears South 28 degrees 23 minutes 56 seconds East, to a point on the southwesterly line of Block 17, said point being 130.30 feet northwesterly, more or less, from the most southerly corner of Block 17 and there terminating.

PARCEL 3:
 All of Lots 8, 9 and 10, and that part of Lots 4, 5, 6 and 7, Block 18, that part of Lots 1, 2, 3, 4 and 10, Block 17 and that part of vacated Fourth Avenue South lying between said Blocks 17 and 18, all in Town of Minneapolis, Hennepin County, Minnesota described as follows:
 Commencing at the southeasterly corner of Lot 5, Block 18; thence North 30 degrees 27 minutes 30 seconds East assumed bearing along the easterly line of said Lot 5 a distance of 57 feet to the point of beginning; thence North 18 degrees 48 minutes 42 seconds West 87.27 feet to a point on the westerly line of Lot 5 distant 114 feet Northerly of the Southwesterly corner of Lot 5; thence northwesterly 76.23 feet along a non-tangential curve, concave to the west, having a radius of 297.00 feet, central angle 14 degrees 42 minutes 22 seconds and the chord of said curve bears North 17 degrees 10 minutes 36 seconds West to a point on the northeasterly line of Lot 4, Block 18, said point being 10.00 feet southwesterly of most northerly corner of said Lot 4; thence North 59 degrees 34 minutes 57 seconds West, not tangent to said curve, along the southwesterly line of Lots 7, 8, 9 and 10, a distance of 208.33 feet, more or less, to the northwesterly line of Block 18; thence North 30 degrees 28 minutes 00 seconds East along said northwesterly line a distance of 165.25 feet to the northeasterly line of Block 18; thence South 59 degrees 35 minutes 24 seconds along said northeasterly line 198.25 feet to the most northerly corner of Lot 7, said corner hereinafter referred to as point "A"; thence continuing South 59 degrees 35 minutes 24 seconds along the southeasterly extension of said Block 18 and along the northeasterly line of Block 17 a distance of 257.00 feet; thence South 30 degrees 23 minutes 39 seconds West 24.80 feet; thence North 59 degrees 36 minutes 21 seconds West 141.50 feet; thence South 30 degrees 23 minutes 39 seconds West 17.70 feet; thence North 59 degrees 36 minutes 21 seconds West 32.40 feet; thence South 30 degrees 23 minutes 39 seconds West 5.00 feet; thence North 59 degrees 36 minutes 21 seconds West 75.99 feet to intersection with a line that bears South 9 degrees 01 minutes 33 seconds East and a length of 11.24 feet from a point on the northwesterly line of Lot 7, Block 18 distant 38.89 feet southwesterly of point A; thence South 9 degrees 01 minutes 33 seconds East 36.50 feet; thence South 80 degrees 18 minutes 36 seconds West 1.22 feet; thence South 4 degrees 54 minutes 36 seconds East 47.37 feet; thence southeasterly along a non-tangential curve, concave to the northeast, having a radius of 521.44 feet, central angle 46 degrees 59 minutes 24 seconds, a distance of 427.65 feet to a point on the southwesterly line of Block 17, said point being 130.30 feet northwesterly, more or less, from the most southerly corner of Block 17; thence North 59 degrees 35 minutes 42 seconds West along said southwesterly line of Block 17 a distance of 240.34 feet to the centerline of vacated Fourth Avenue South; thence North 30 degrees 27 minutes 30 seconds East along said centerline 29.13 feet; thence North 24 degrees 42 minutes 38 seconds West 48.73 feet to the point of beginning.

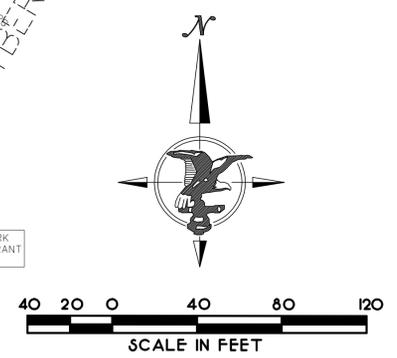
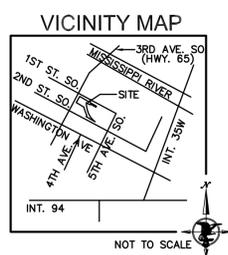
GENERAL NOTES:

- The bearing system used is assumed.
- The location of the underground utilities shown herein, if any, are approximate only. PURSUANT TO MSA 216D CONTACT GOPHER STATE ONE CALL AT (612) 454-0002 PRIOR TO ANY EXCAVATION.
- Subject property is identified as being in "Zone X, Other Areas" on Flood Insurance Rate Map No., 27053C035E, effective date September 2, 2004.
- Site area Parcel 3 = 65,297 square feet = 1.499 acres.
 Site area Parcel 1 = 49,782 square feet = 1.143 acres.
 Site area Parcel 2 = 57,100 square feet = 1.311 acres.
- All field measurements matched recorded dimensions within the precision requirements of ALTA/ACSM specifications.
- This survey was made on the ground.
- No current title work was furnished for the preparation of this survey, legal description, recorded or unrecorded easements and encumbrances are subject to revision upon receipt of current title work.
- Elevation datum is based on NAVD 88 data.
 HS-Benchmark is located Top Nut Hydrant (AS SHOWN ON SURVEY)
 Elevation = 834.63



LEGEND

	Property Monument
	Concrete
	Concrete Curb
	Fence
	Overhead Electric
	Underground Electric
	Underground Telephone
	Water
	Gas
	Sanitary Sewer
	Storm Sewer
	Electric Meter
	Electric Box
	Electric Manhole
	Power Pole
	Hydrant
	Unknown Manhole
	Gate Valve
	Catchbasin
	Catchbasin
	Deciduous Tree (Diameter in Inches)
	Coniferous Tree (Diameter in Inches)
	Light Pole
	Gas Meter
	Telephone Manhole
	Telephone Box
	Water Manhole
	Sanitary Manhole
	Storm Manhole
	Existing Contour
	Existing Spot Elevation Gutter
	Existing Spot Elevation



I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered land surveyor under the laws of the State of Minnesota.

Thomas E. Hodorff
 THOMAS E. HODORFF, L. S.

Date: November 12, 2012 Registration No. 23677

Date:	REVISIONS

HARRY S. JOHNSON CO., INC.
LAND SURVEYORS

9063 Lyndale Avenue South
 Bloomington, MN. 55437
 Tele. 952-884-5341 Fax 952-884-5344

BOUNDARY & TOPOGRAPHICAL SURVEY

For:
 LUPE DEVELOPMENT

SITE:
 MILL PLACE
 101 3RD AVENUE SOUTH
 MINNEAPOLIS, MINNESOTA
HENNEPIN COUNTY

SHEET	1 OF 2
Book 627	File No. 1-3-7894T
Page 75	W.O. Number
CAD Technician CT	2012439

SURVEY NOTES

ALL EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE BASED ON AN OWNER-FURNISHED SURVEY. BKV GROUP OFFERS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR RELIABILITY OF THE INDICATED EXISTING CONDITIONS.

THE CONTRACTOR SHALL FIELD VERIFY ALL CRITICAL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, EXISTING BUILDING LOCATIONS, UTILITY LOCATIONS AND INVERT ELEVATIONS, AND EXISTING SITE GRADES PRIOR TO THE START OF WORK.

ANY OBSERVED DEVIATIONS FROM CONDITIONS INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT OR LANDSCAPE ARCHITECT'S ATTENTION IMMEDIATELY UPON DISCOVERY. NO WORK SHALL PROCEED IN THE AREAS OF ANY DISCOVERED DEVIATIONS UNTIL THE DIFFERENCES ARE RESOLVED.

IRRIGATION NOTES

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PERFORMANCE IRRIGATION PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT SOODSEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

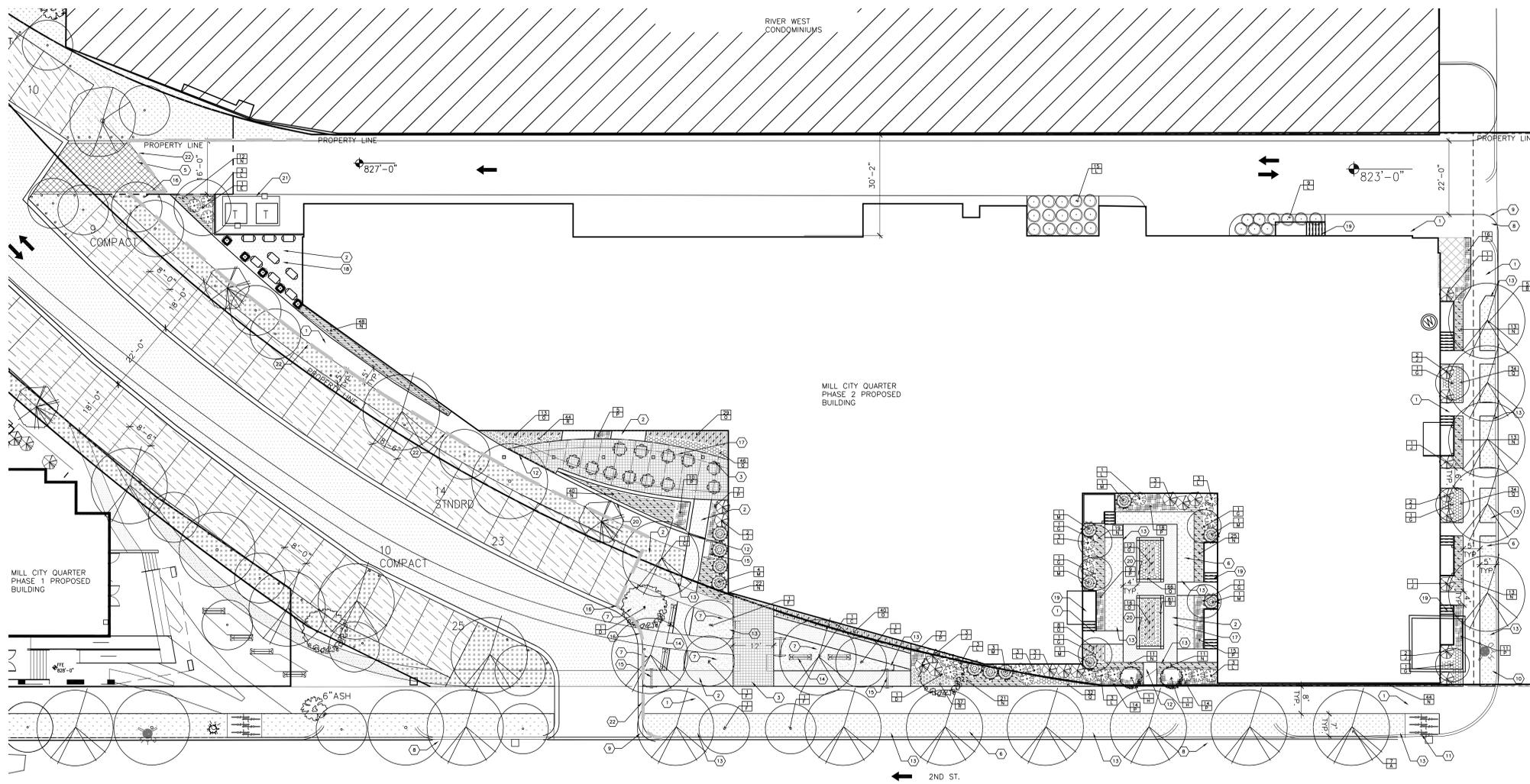
SHRUB & PERENNIAL BEDS TO BE IRRIGATED WITH DRIP IRRIGATION. SOOD TO BE IRRIGATED WITH SPRAY. LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIALS GROWTH REQUIREMENTS.

LANDSCAPE CONTRACTOR SHALL INSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL PLANTING AREAS.

COORDINATE IRRIGATION SLEEVING LOCATIONS WITH GENERAL CONTRACTOR.

RAIN SENSORS TO BE INCLUDED WITHIN THE IRRIGATION DESIGN.

IRRIGATION LIMITS TO EXTEND TO STREET BACK OF CURB.



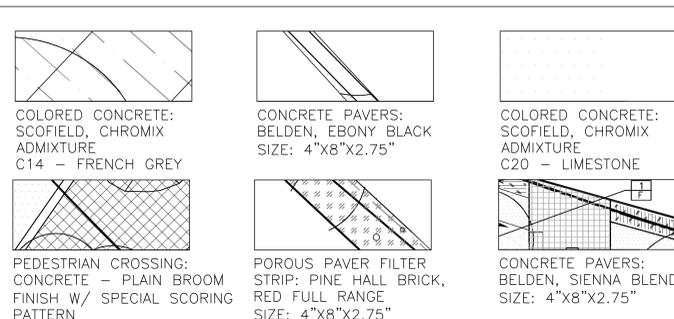
SITE LANDSCAPE PLAN
1/16" = 1'-0"

PLANTING SCHEDULE

PROPOSED PLANT SCHEDULE

QTY.	SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	TYPE	SPACING
CANOPY TREES						
7	A	PRINCETON ELM	Ulmus americana 'Princeton'	2.5' CAL. B&B	PLANT PER PLAN	
5	B	SWAMP WHITE OAK	Quercus bicolor	2.5' CAL. B&B	PLANT PER PLAN	
2	C	NORTHERN ACCLAIM HONEYLOCUST	Gleditsia triacanthos var. inermis 'Harve'	2.5' CAL. B&B	PLANT PER PLAN	
2	D	RIVER BIRCH	Betula nigra	2.5' CAL. B&B	PLANT PER PLAN	
2	E	MATADOR MAPLE	Acer x freemanii 'Balston'	2.5' CAL. B&B	PLANT PER PLAN	
ORNAMENTAL TREES						
4	F	PINK SPIRES CRAB	Malus 'Pink Spires'	1.5' CAL. B&B	PLANT PER PLAN	
8	G	DAKOTA PINNACLE BIRCH	Betula platyphylla 'Fargo'	1.5' CAL. B&B	PLANT PER PLAN	
2	H	RED OBELISK BEECH	Fagus sylvatica 'Red Obelisk'	1.5' CAL. B&B	PLANT PER PLAN	
SHRUBS						
X	I	NOT USED	X	X	X	
20	J	BUTTERFLY BUSH HONEYSUCKLE	Diervilla sessifolia 'Butterfly'	#5	CONT.	PLANT PER PLAN
16	K	LACE SHRUB	Stephanandra incisa 'Crispa'	#5	CONT.	PLANT PER PLAN
22	L	SEM FALSESPIREA	Sorbaria sorbifolia 'Sum'	#5	CONT.	PLANT PER PLAN
13	M	BABY BLUE CHAMELIS	Chamaecyparis pisifera 'Baby Blue'	#5	CONT.	PLANT PER PLAN
PERENNIALS / GRASSES / GROUNDCOVERS						
292	N	PRAIRIE DROPSEED	Sporobolus heterolepis	#1	CONT.	16" O.C.
118	O	LITTLE BLUESTEM	Schizanthus scoparium	#1	CONT.	16" O.C.
126	P	CORAL BELLS LIME MARMELADE	Heuchera 'Lime Marmelade'	#1	CONT.	16" O.C.
212	Q	DAYLILY JOAN SENIOR	Hemerocallis 'Joan Senior'	#1	CONT.	12" O.C.
162	R	DAYLILY APRICOT SPARKLES	Hemerocallis 'Apricot Sparkles'	#1	CONT.	12" O.C.

HARDSCAPE SCHEDULE



GENERAL NOTES

LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.

LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.

LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION. MATERIAL INSTALLATION BEGINS MINIMUM 10'-0" CLEARANCES.

UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.

LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.

NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOODSEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SOOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOOD SHALL BE STAKED SECURELY.

PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO Y-CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3 FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6 FEET ABOVE FINISHED GRADE.

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

LANDSCAPE CONTRACTOR SHALL WARRANT NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

PLANTING AREAS (NOT OVER STRUCTURE) RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS SCREENED COMPOST OR MANURE AND 10 PARTS SAND.

ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.

SHRUB BED MASSINGS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.

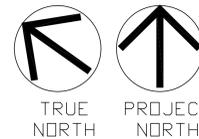
STEEL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS AND ANNUALS WHERE PLANTING BED MEETS SOOD UNLESS OTHERWISE NOTED.

REFER TO CIVIL FOR SITE DEMOLITION INFORMATION.

REFER TO CIVIL FOR ADDITIONAL SITE GRADING AND UTILITY INFORMATION.

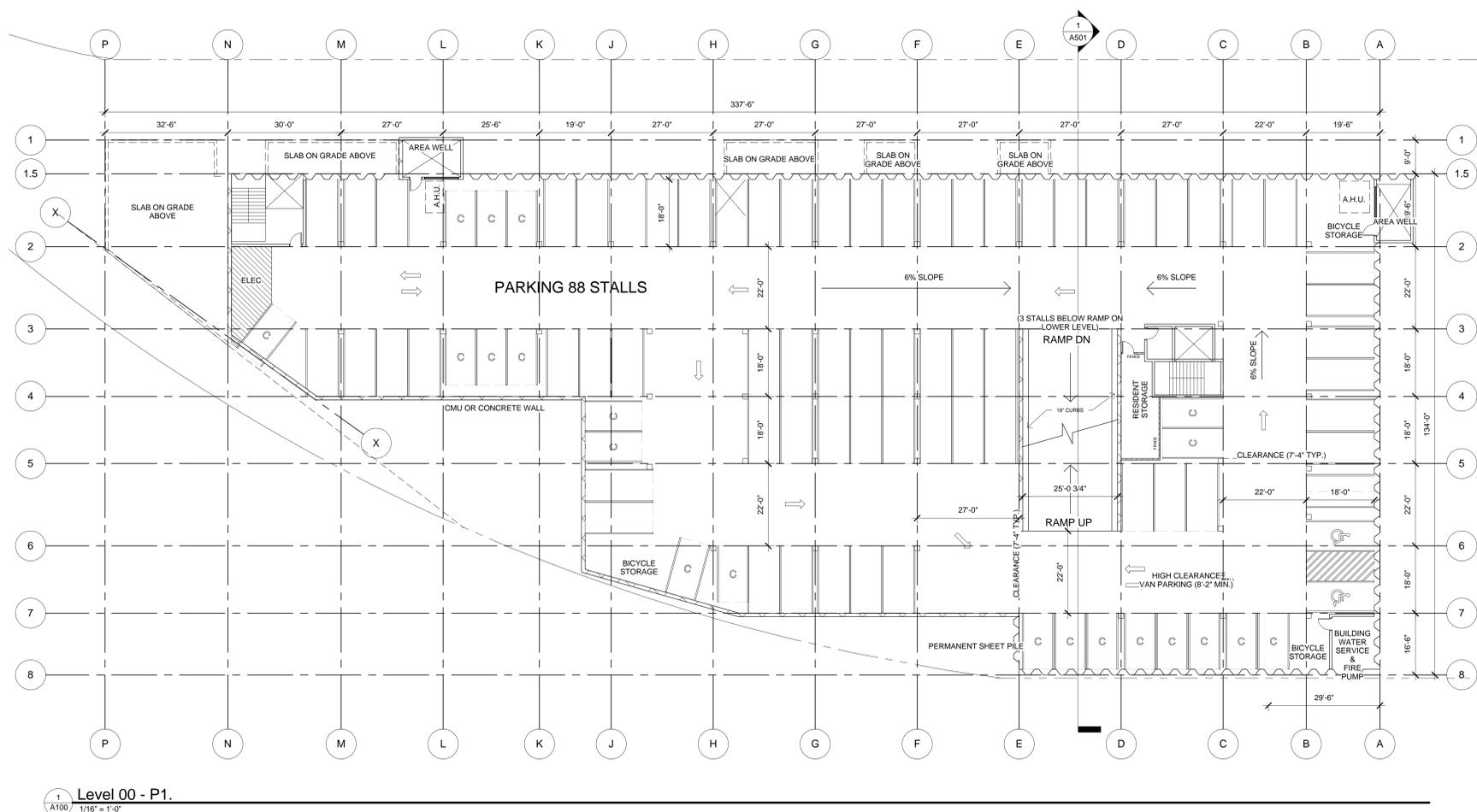
IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS SHOWN IN THE PLANT MATERIALS SCHEDULE AND THE PLANS, THE PLANS SHALL GOVERN.

CONTRACTOR SHALL STAKE OUT LOCATION OF ALL PROPOSED TREES FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



KEY NOTES

- PLAIN CONCRETE WALK/DRIVE; BROOM FINISH
- COLORED CONCRETE. SEE SCHEDULE.
- CONCRETE PAVERS
- PERVIOUS CONCRETE PAVERS
- CONCRETE WITH SPECIAL SCORING, TEXTURE
- TURF AREAS
- CRUSHED STONE; GRAY TRAP <.5" SIZE
- EXISTING CURB CUT
- PROPOSED NEW CURB CUT
- EXISTING FIRE HYDRANT
- BIKE PARKING; (6) SURFACE, ADDITIONAL IN BASEMENT OF PROPOSED BUILDING
- DECORATIVE METAL FENCE AND GATE; 4' TALL
- PROPOSED NEW LIGHTING
- BENCH; TBD
- ART AND/OR INTERPRATIVE INSTALLATION, SUCH AS RAILROAD RELICS
- BOLLARD
- RESIDENTIAL COURTYARD
- PUBLIC COURTYARD; EXTERIOR DINING SPACE FOR ADJACENT CAFE
- RESIDENTIAL ENTRY; WALK-UP UNIT
- RAISED PLANTER
- DECORATIVE SCREEN FENCE AT TRANSFORMERS
- LIMITS OF PHASE 2 WORK; ALL IMPROVEMENTS SHOWN OUTSIDE OF THIS LINE ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT INCLUDED IN THE SCOPE OF SERVICES FOR THIS PROJECT.



1 Level 00 - P1.
A100 1/16" = 1'-0"

ISSUANCE

HPC SUBMITTAL
NO. 1 FOR
CONSTRUCTION
6/25/14

PROJECT TITLE

Mill City Quarter -
Phase II

KEY PLAN NORTH ARROW

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional under the laws of the State of Minnesota.

License Number Date

REVISION	DATE

DATE	6/25/14
DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NO.	1940.01

SHEET TITLE

LEVELS P1 & P2
PARKING PLAN

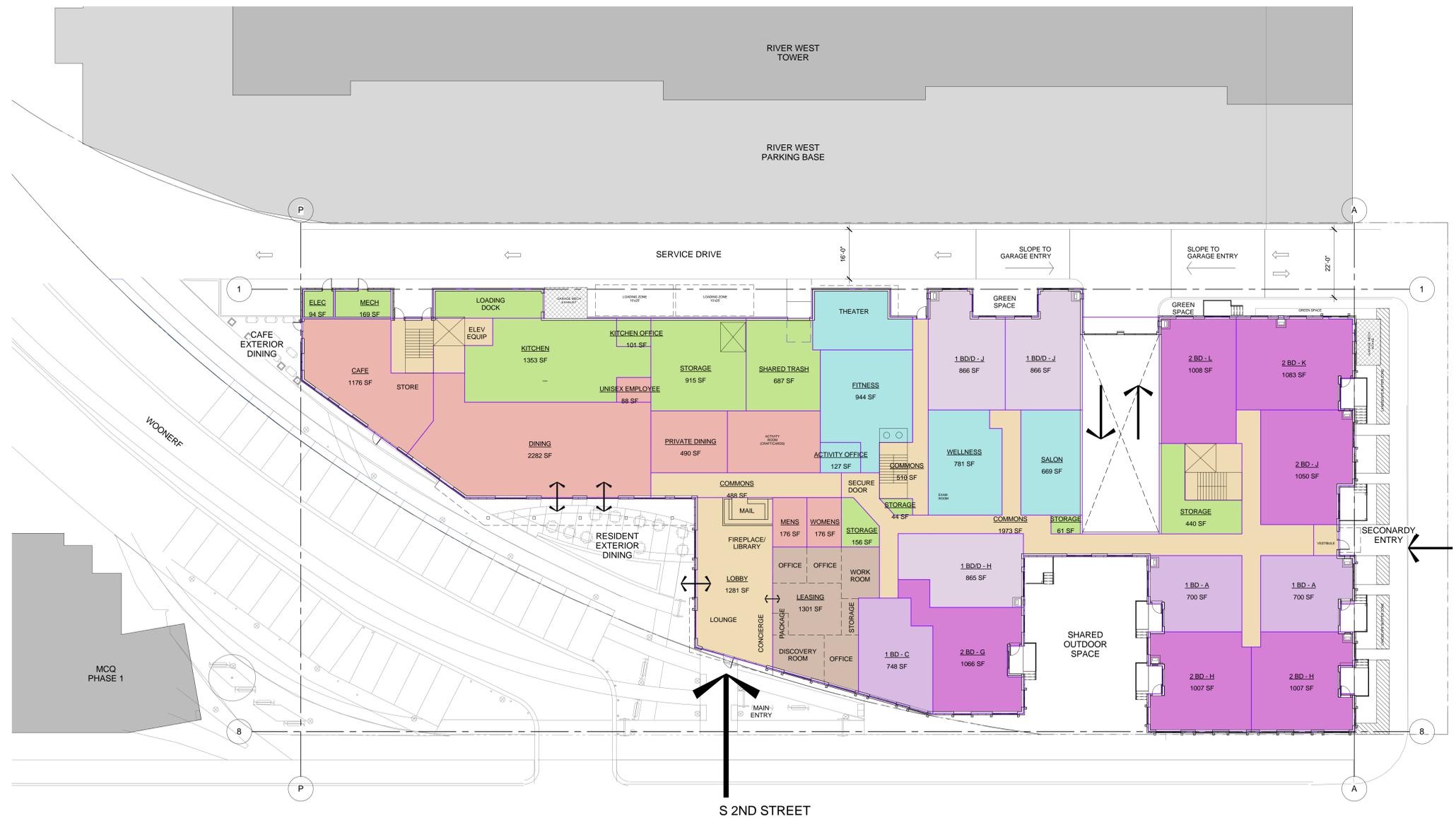
SHEET NUMBER

A100

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Mill City Quarter Phase 2
Certificate of Appropriateness Application Page 33

GARAGE TOTALS
LEVEL P1 88 STALLS
LEVEL P2 91 STALLS
TOTAL 179 STALLS



1 Level 01 (Rendered)
A101 1/16" = 1'-0"

ISSUANCE

HPC SUBMITTAL
NO. 101
CONSTRUCTION
6/25/14

PROJECT TITLE

Mill City Quarter -
Phase II

KEY PLAN NORTH ARROW

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License Number Date

REVISION	DATE
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DATE	6/25/14
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DRAWN BY	Author
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CHECKED BY	Checker
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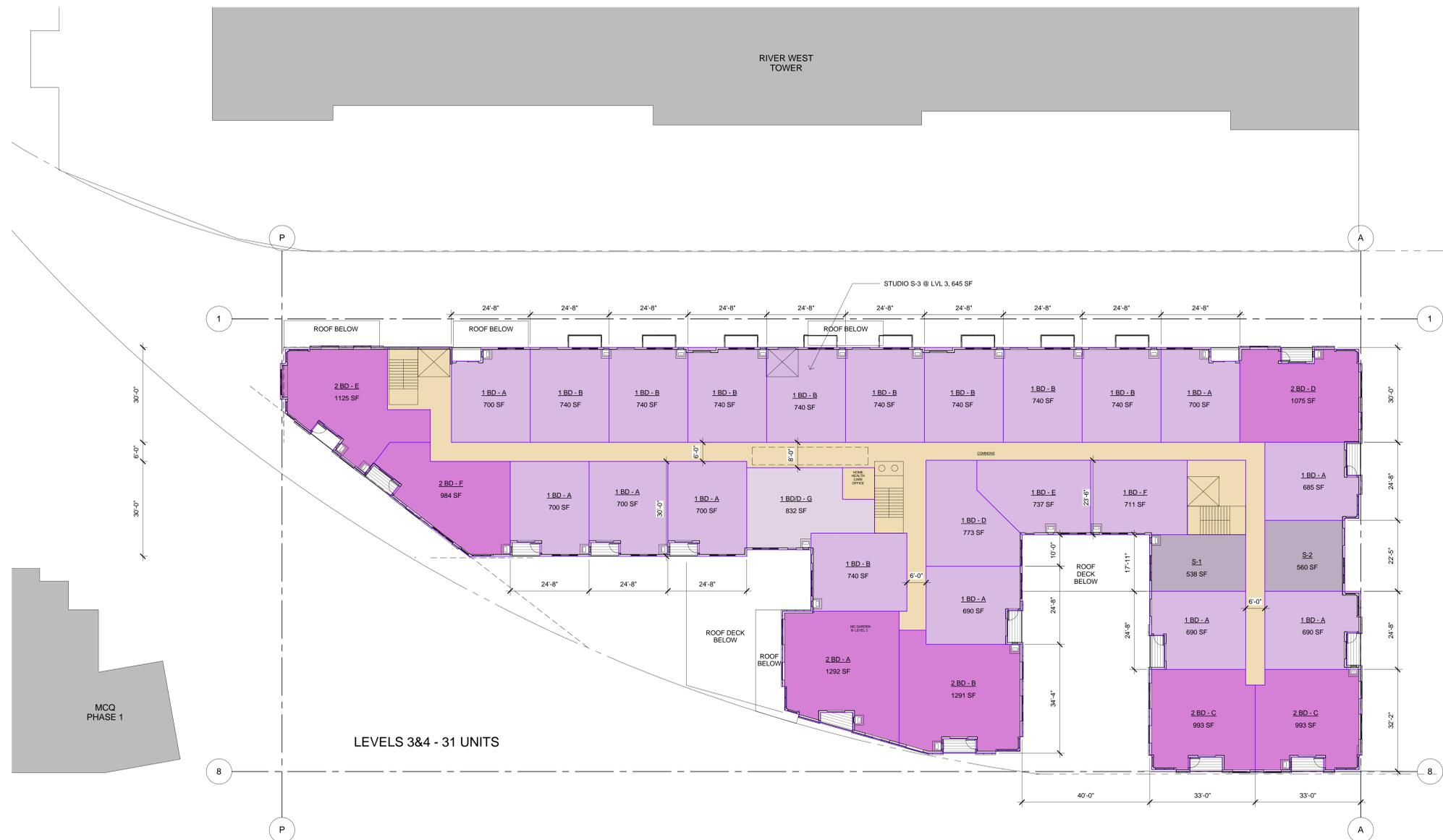
COMMISSION NO.	1940.01
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SHEET TITLE

**FIRST FLOOR
PLAN**

SHEET NUMBER

A101



1 Levels 03-04 (Rendered)
A103-4 1/16" = 1'-0"

ISSUANCE

HPC SUBMITTAL
NO. 103
CONSTRUCTION
6/25/14

PROJECT TITLE

Mill City Quarter -
Phase II

KEY PLAN NORTH ARROW

CERTIFICATION

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License Number Date

REVISION	DATE

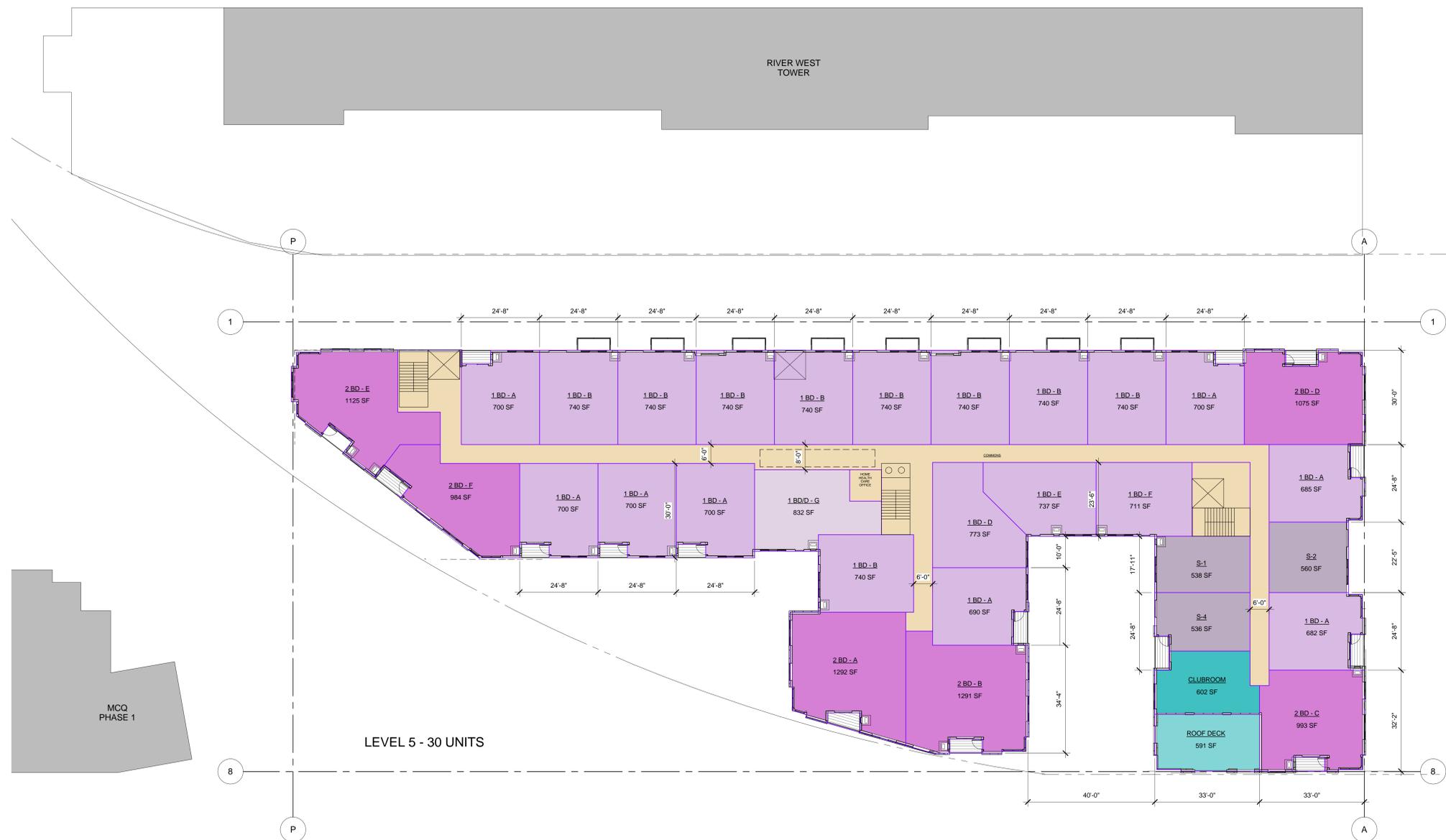
DATE	6/25/14
DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NO.	1940.01

SHEET TITLE

THIRD & FOURTH
FLOOR PLAN

SHEET NUMBER

A103-4



ISSUANCE

HPC SUBMITTAL
NO. 100
CONSTRUCTION
6/25/14

PROJECT TITLE

Mill City Quarter -
Phase II

KEY PLAN

NORTH ARROW

CERTIFICATION

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License Number Date

REVISION	DATE

DATE	6/25/14
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COMMISSION NO.	1940.01

SHEET TITLE

FIFTH FLOOR
PLAN

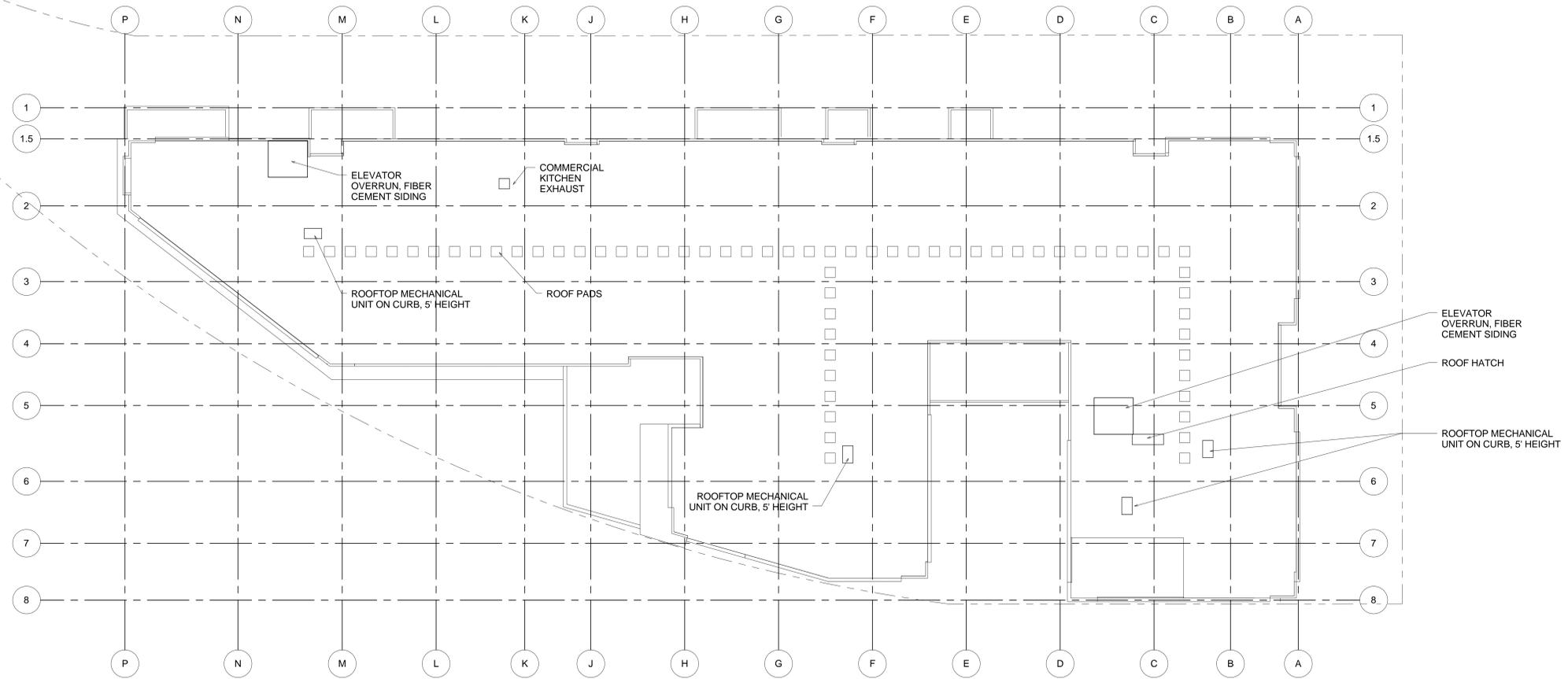
SHEET NUMBER

A105

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Mill City Quarter Phase 2
Certificate of Appropriateness Application Page 37

1 Level 05 (Rendered)
A105 1/16" = 1'-0"



ISSUANCE
HPC SUBMITTAL
NO. 1 FOR
CONSTRUCTION
7/24/14

PROJECT TITLE
Mill City Quarter - Phase II

KEY PLAN NORTH ARROW

CERTIFICATION
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License Number Date

REVISION	DATE
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DATE	7/24/14
DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NO.	1940.01

SHEET TITLE

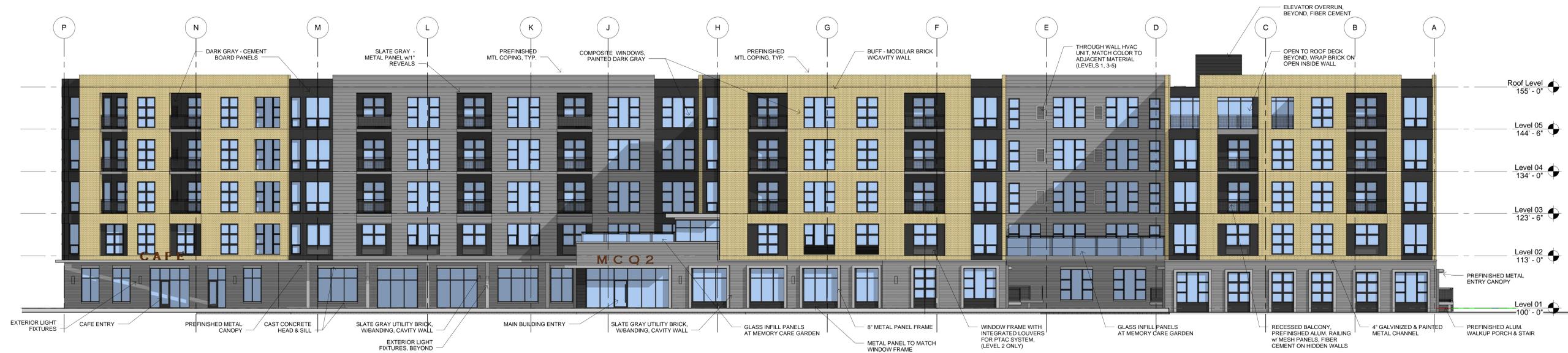
ROOF PLAN

SHEET NUMBER

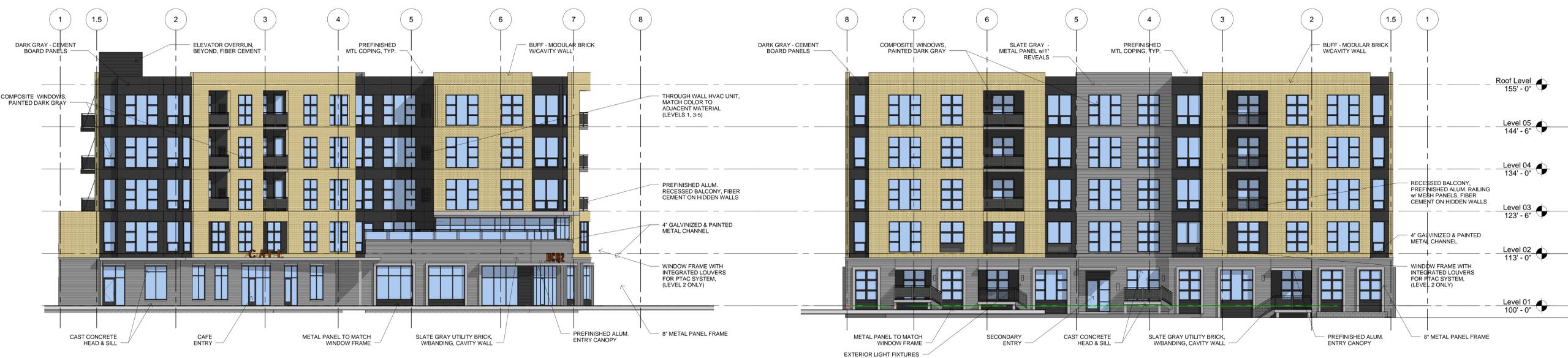
A106

1 Roof Level
A106 1/16" = 1'-0"

ELEVATION	MATERIAL					
	BASE BRICK	UPPER BRICK	METAL PANEL	FIBER CEMENT	GLAZING	ALLEY BLOCK
SOUTH	11.9%	23.9%	18.0%	8.7%	37.3%	0%
EAST	15.6%	23.7%	11.2%	15.9%	33.6%	0%
NORTH	4.6%	7.3%	25.6%	15.3%	31.75%	15.4%
WEST	10.3%	26.0%	9.9%	17.1%	36.7%	0%

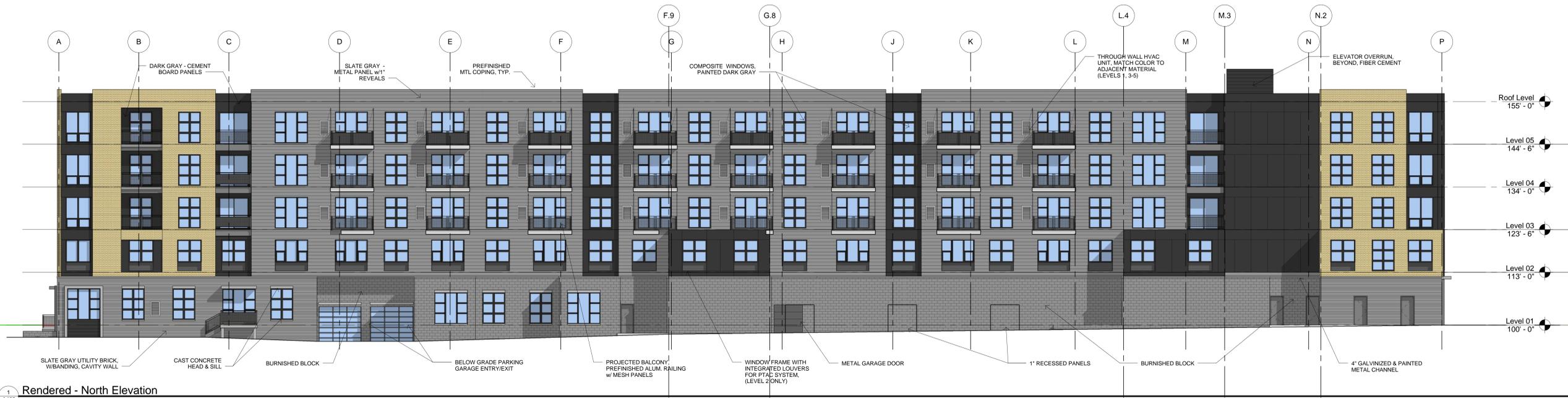


1
A401
3/32" = 1'-0"
Rendered - South Elevation



3
A401
3/32" = 1'-0"
Rendered - West Elevation

2
A401
3/32" = 1'-0"
Rendered - East Elevation



C:\Users\jacob\Documents\Mill City Quarter Phase 2\Arch\Drawings\0213_0213_0213.dwg 7/24/14 10:00 AM

BKVTS-2014-0012



Mill City Quarter Phase II
Minneapolis, MN 6/25/2014

Perspective View - Southeast





Mill City Quarter Phase II
Minneapolis, MN 6/25/2014

Perspective View - Southwest





Mill City Quarter - Phase II

6/25/14

Scale

Perspective View NW



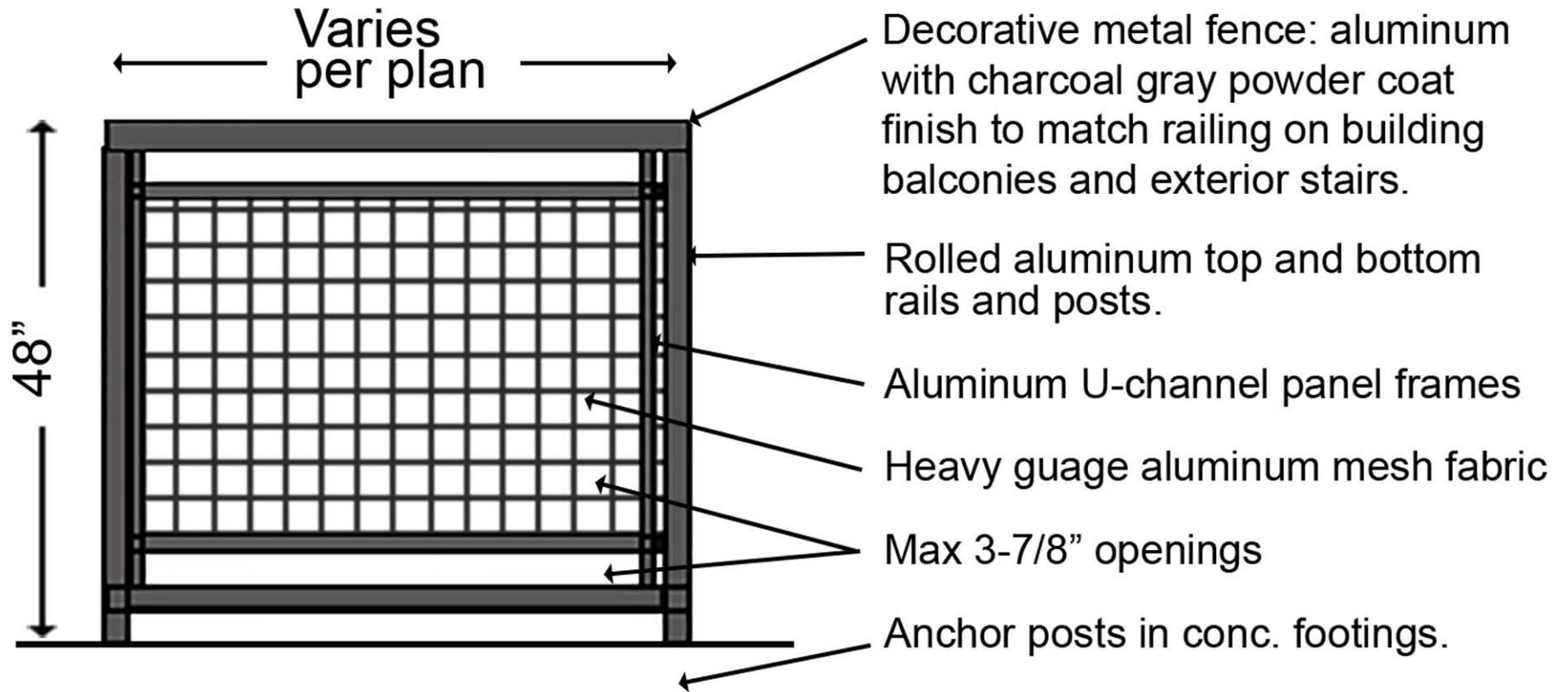
Mill City Quarter - Phase II

6/25/14

Scale

Perspective View NE

Decorative Metal Fence Detail - Courtyard Fences and Gates



Transformer Screening Fence Example

Fence will be 8' tall, frame and slat construction, with gates facing alley.





22" Wall Sconce @ 2ND
Street & Woonerf,
Bronze Finish



16" Wall Sconce @
Walk Up Unit Entry Doors,
Bronze Finish



Modern Forms Lighting - Urban
Upper & Lower Light

Decorative Lighting for plaza, courtyard spaces

Landscape Forms Leo Pedestrian Lighting (12' fixture mounting height, full cutoff)



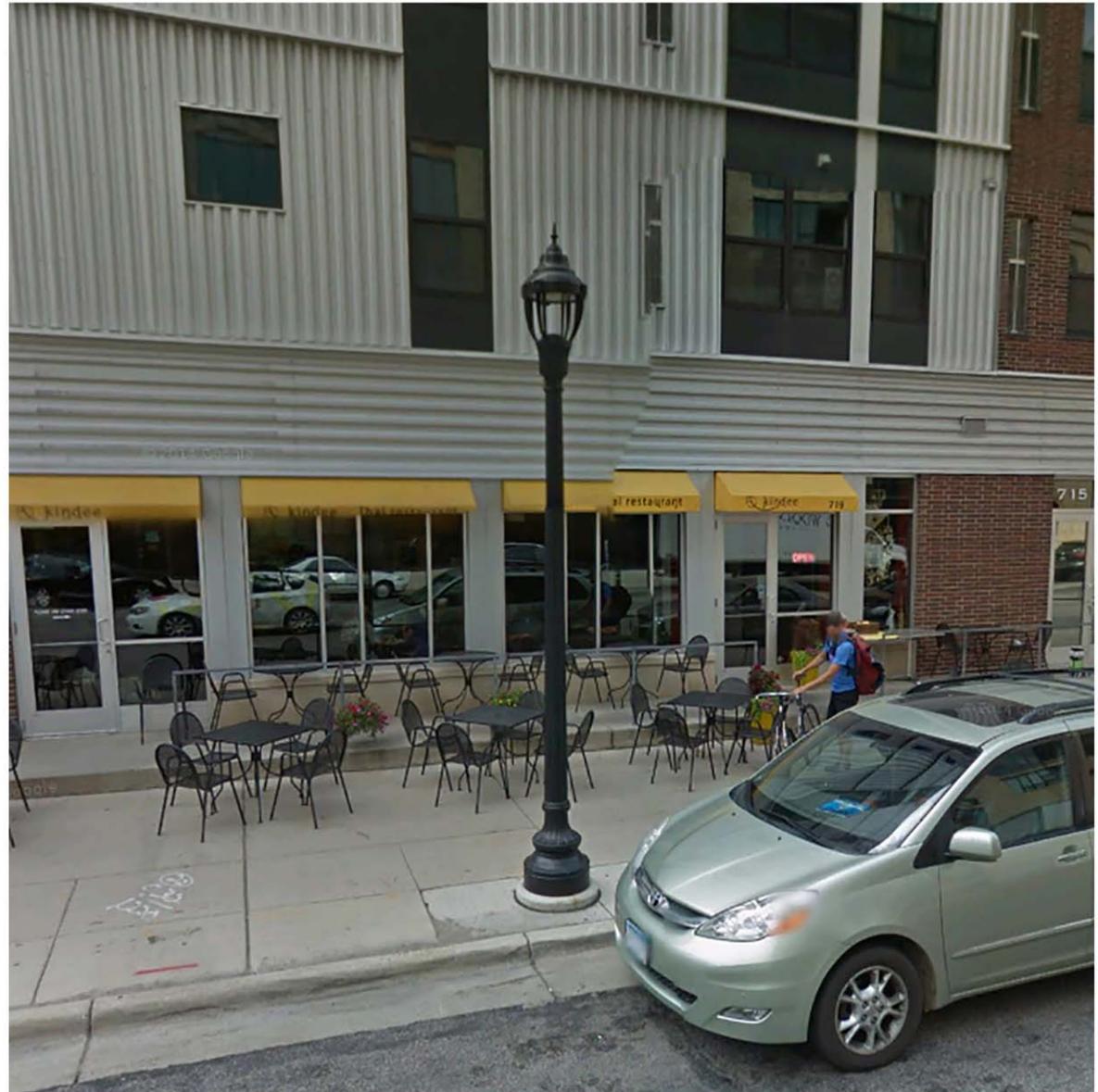
Landscape Forms Lo-Glo Bollard (42" mounting height, full cutoff)

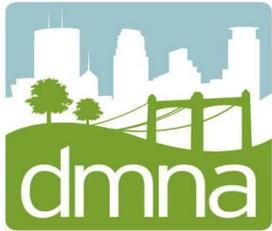


Street Lighting

Holophane HL Series full cutoff
LED

Mounting height and spacing
TBD per City Standards





**DOWNTOWN
MINNEAPOLIS
NEIGHBORHOOD
ASSOCIATION**

**40 S. 7th Street
Suite 212, PMB 172
Minneapolis, MN 55402
Phone: (612) 659-1279
Online: www.thedmna.org**

June 6, 2014

Ms. Janelle Widmeier, Senior Planner
City of Minneapolis
250 South Fourth Street, Room 300
Minneapolis, MN 55415

Re: Phase II Mill City Quarter Project - Ecumen

Dear Janelle:

I am writing to you on behalf of the Downtown Minneapolis Neighborhood Association (DMNA) Board of Directors regarding Phase II of the Mill City Quarter project; specifically Ecumen's plan to construct senior housing on the site.

On Thursday night, June 5, the DMNA Board of Directors heard a presentation about the project from Gretchen Camp and Chris Palkowitsch from BKV Group, along with Matt McNeill and Julie Murray from Ecumen. Camp and Palkowitsch reviewed a PowerPoint presentation that showed the proposed site plan, which includes 104 units of market rate senior apartments and 45 units of memory care apartments. They also described the woonerf in great detail and the intent to connect downtown with the riverfront.

McNeill and Murray presented information about Ecumen and the services this new facility would provide to its residents, as well as seniors living in the downtown community. They also explained that the mixture of units was determined through a market study and conversations with the members of Mill City Commons. They noted that the City rezoned the property in the recent past to allow for senior housing.

Upon conclusion of the presentation, DMNA Board members and RiverWest residents in attendance asked questions regarding the landscaping plan, the impact on site lines for RiverWest residents whose units face south, the routing of traffic through the site, and whether there are plans to reroute Post Office traffic that currently uses 5th Avenue.

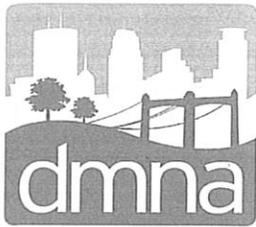
After listening to the responses from the presenters, the DMNA Board passed a unanimous motion in support of the concept plan for Phase II of the Mill City Quarter project. The DMNA Board believes this project will be an excellent addition to the downtown community.

If you have any questions about this letter, please feel free to contact me at christie@hantge.com, or 320-583-4573.

Sincerely,

Christie Rock
DMNA Neighborhood Coordinator

Cc: Carrie Flack, City of Minneapolis CPED
Gretchen Camp, BKV Group
Nick Cichowicz, DMNA Board Chair
Jesse Winkler, DMNA Land Use Committee Chair
Ward 3 Council Member Jacob Frey



**DOWNTOWN
MINNEAPOLIS
NEIGHBORHOOD
ASSOCIATION**

September 12, 2013

Ms. Janelle Widmeier, City Planner
City of Minneapolis
250 South Fourth Street, Room 300
Minneapolis, MN 55415

Re: Mill City Quarter Project - 300 2nd St S & 428 2nd St S

Dear Janelle:

I am writing to you on behalf of the Downtown Minneapolis Neighborhood Association (DMNA) Board of Directors regarding the Mill City Quarter project proposed for 300 2nd St S & 428 2nd St S.

The DMNA Board of Directors received an update on the project from Gretchen Camp with BKV Group and John Wall from Wall Companies at its board meeting this past Tuesday, September 10. Camp presented the revised site plan and architectural renderings for the Phase I project. She indicated that the changes are a result of the State Historic Preservation Office's Section 106 review process. Camp highlighted the following:

- The landscaping planting pattern is now more irregular so as to keep with the period of significance.
- The front and rear (RiverWest side) of the building façade now mirror each other.
- The exterior building materials have a more neutral color pallet. There is also less hardie board in the construction than in the previously reviewed design.
- The building now has a stone base, which eliminates the appearance that it is floating.

After hearing the presentation and asking a few questions, the board passed a motion in support of the changes to the Mill City Quarter Project. The DMNA Board continues to believe that this project will be an excellent addition to the Downtown community.

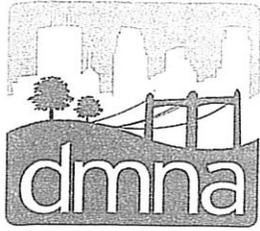
If you have any questions about this letter, please feel free to contact me at christie@hantge.com, or 320-583-4573. You may also contact the DMNA Land Use Committee Chair, Andy Hauer, at andyhauer@yahoo.com, or DMNA Board Chair, Gerry Ewald, at gerrye@g2group-mn.com.

Sincerely,

Christie Rock
DMNA Neighborhood Coordinator

Cc: Gretchen Camp, BKV Group
Gerry Ewald, DMNA Board Chair
Andy Hauer, DMNA Land Use Committee Chair
Ward 7 Council Member Lisa Goodman

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February 16, 2013

Ms. Janelle Widmeier, Senior Planner
City of Minneapolis
250 South Fourth Street, Room 300
Minneapolis, MN 55415

Re: Eagle Iron Partners – Mill City Quarter Project - 300 2nd St S & 428 2nd St S

Dear Janelle:

I am writing to you on behalf of the Downtown Minneapolis Neighborhood Association (DMNA) Board of Directors regarding the Mill City Quarter project proposed for 300 2nd St S & 428 2nd St S.

The DMNA Board of Directors heard presentations from BKV Group and Eagle Iron Partners on November 13, 2012, January 8, 2013, and February 12, 2013. BKV presented the site plan, the HPC Certificate of Appropriateness application, as well as the variance request to allow Eagle Iron Partners to increase the maximum floor area of retail use from 8,000 to 15,000 square feet.

After meeting with Eagle Iron Partners and BKV Group on several occasions, the DMNA Board passed a motion at its February 12, 2013, board meeting in support of the site plan for the Mill City Quarter project, along with the Certificate of Appropriateness and variance request. The DMNA Board believes this project will be an excellent addition to the Downtown community.

If you have any questions about this letter, please feel free to contact me at christie@hutchtel.net, or 320-583-4573. You may also contact the DMNA Land Use Committee Chair, Andy Hauer, at andyhauer@yahoo.com, or DMNA Board Chair, Gerry Ewald, at gerrye@g2group-mn.com.

Sincerely,

Christie Rock
DMNA Neighborhood Coordinator

Cc: Carrie Flack, City of Minneapolis CPED
Gretchen Camp, BKV Group
Gerry Ewald, DMNA Board Chair
Andy Hauer, DMNA Land Use Committee Chair
Ward 7 Council Member Lisa Goodman