



CPED STAFF REPORT

Prepared for the Board of Adjustment

BOA Agenda Item #1
July 24, 2014
BZZ-6664

LAND USE APPLICATION SUMMARY

Property Location: 5805 Morgan Ave S
Project Name: New home on existing foundation
Prepared By: Joseph.Giant@minneapolismn.gov, City Planner, (612) 673-3489
Applicant: Rob Mueller, Mueller Homes, LLC
Project Contact: Rob Mueller
Request: To construct a new single-family dwelling on an existing foundation.
Required Applications:

Variance	<ul style="list-style-type: none"> • Variance to reduce the established front yard setback along Morgan Ave S from 36.5 feet to approximately 35.1 feet, measured to the structure. • Variance to reduce the required interior side yard setback along the north property line from 6 feet to approximately 4.7 feet, measured to the structure.
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SITE DATA

Existing Zoning	RI Single-Family District
Lot Area	6,550 square feet / 0.15 acre
Ward(s)	13
Neighborhood(s)	Armatage
Designated Future Land Use	Urban Neighborhood
Land Use Features	NA
Small Area Plan(s)	NA

Date Application Deemed Complete	July 1, 2014	Date Extension Letter Sent	NA
End of 60-Day Decision Period	September 1, 2014	End of 120-Day Decision Period	NA

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property is a 6,550 square foot lot located in the R1 Single-Family District. This rectangular lot has a width of 50 feet and a depth of 131 feet. A 794 square foot, 1.5-story home constructed in 1950 currently exists on the property. A one-car detached garage exists along the alley in the rear of the lot.

The existing house is subject to an established front yard setback ranging from a minimum of approximately 34 feet on the southern property line to a maximum of approximately 36 feet on the northern property line.

The existing house is approximately 35.1 feet from the front property line, so a portion of the existing structure is located in the established front yard setback. Therefore, a vertical extension of the front façade would require a variance.

The current structure is approximately 13.5 feet from the southern property line and approximately 4.8 feet from the northern property line. The required interior side yard setback in the R1 district is 6 feet, so under some circumstances a vertical or horizontal extension of the northern wall could require a variance.

The topography of the property is flat.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The subject property is located in the Armatage neighborhood in southwest Minneapolis. The predominant land use in the vicinity is low-density single-family homes. Nearby homes are similar in size, architectural style, and age to the existing home on the subject property.

A notable characteristic of the existing home and nearly every other home on the block is the consistent placement of the home much closer to the northern property line than the southern property line. This placement creates large interior side yards on the south side of the lot allowing smaller homes to take advantage of southern sunlight. An aerial photograph of the blocks surrounding the subject property, included as Item #9 in the Additional Materials, displays this development pattern. The property lines depicted are not exact but they effectively portray the development pattern.

PROJECT DESCRIPTION. The subject property currently accommodates a 1.5-story single-family home. The applicant proposes to preserve the foundation of the existing home while adding a second story over the existing footprint, a two-story addition to the rear of the existing structure, and an attached garage. In addition, the applicant proposes to build an attached deck in the backyard. Item #7 in the Additional Materials displays a 3-D rendering of the proposed home.

The existing home has a gross floor area of 794 square feet (half-stories and basements on single-family homes are not included in gross floor area) and a floor area ratio (FAR) of 0.12. The proposed GFA of the new home is 2,323 square feet, resulting in an FAR of 0.35. The maximum FAR for a single-family home is 0.5.

The existing home does not comply with the established front yard setback. Therefore, adding a second story to the existing structure along the existing vertical plane would not be permitted without a

variance. In order to construct the project as proposed the applicant seeks a variance to reduce the established front yard setback from 36.5 feet to approximately 35.1 feet, measured to the structure.

At its closest point, the northern wall of the existing home is located approximately 4.7 feet from the interior side property line. The required interior side yard setback in the R1 district is 6 feet. Thus, the existing home encroaches 1.3 feet into the side yard setback.

Under certain circumstances, the zoning code allows an extension of an existing wall of a structure along the same horizontal and/or vertical plane in an interior side yard. Pursuant to zoning code provision 531.30[2], *“the extension of a single or two-family dwelling along the existing setback or the addition of a second story or half-story shall not be considered as increasing its nonconformity provided the structure is located not closer than three feet from the property line and provided further that the structure shall not be enlarged, altered or relocated in such a way as to increase its nonconformity.”*

The proposed project involves such a substantial alteration to the existing structure that very little of the original structure is preserved. The floor plan and fenestration pattern would be significantly altered, the footprint of the house would expand, square footage would be added to the second story, and an attached garage would be constructed.

Pursuant to 599.110, when 60% or more of the structure has been changed the structure is deemed to have been “demolished”. When it is determined that a “demolition” has occurred, all portions of the structure that have been altered must comply with district regulations pertaining to building setbacks. This means grandfather rights pertaining to setbacks are forfeited. Due to the extent of the proposed remodel at the subject property, the Zoning Administrator has determined that it qualifies as a *de facto* demolition. The term “virtual teardown” has been applied to projects such as this because it meets the ordinance definition of “demolition” even though some portions of the structure will remain.

The current foundation upon which the new structure would be built is located within the interior side yard setback. Therefore, in addition to the variance to reduce the established front yard setback, the home must also obtain a variance to reduce the interior side yard setback in order to rebuild the first floor and construct a second floor above the existing foundation.

The proposed home includes a two-story addition off the rear of the house leading to an attached garage with a “bonus” room above the parking area. At its closest point, the addition is approximately 12.5 feet from the northern property line and 13.5 feet from the southern property line.

The proposed home will be subject to Administrative Site Plan Review for Single-Family Dwellings. With a basement, quality materials (composite cedar shake siding), ample windows on the front elevation, a pitched roof, and a deciduous tree in the front yard, the home meets the required minimum of 15 out of a possible 24 points that new homes may achieve. The floor-area ratio of the proposed home is 0.35.

PUBLIC COMMENTS. Any correspondence received prior to the public meeting will be forwarded to the Board of Adjustment for consideration. The neighbor to the north has expressed their support for the variance.

ANALYSIS

VARIANCE

In accordance with Chapter 525, Article IX Variances, Section 525.520(1) “to vary the yard requirements, including permitted obstructions into required yards not allowed by the applicable regulations,” the Department of Community Planning and Economic Development has analyzed the application for variance based on the following findings:

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

The applicant proposes to construct a two-story home on an existing foundation as well as a two-story rear addition and rear-facing attached garage. The location of the existing foundation is a practical difficulty that was not created by the applicant and not based on economic considerations alone.

The existing foundation encroaches into the established front yard setback by approximately one foot and into the northern interior side yard setback approximately 1.3 feet. Although the exterior walls of the encroaching portion of the proposed home will be in the same location as the current walls, and although that portion of the proposed home will be very similar in bulk, height, and architectural style to the existing structure, grandfather rights pertaining to setbacks were lost because the project was categorized as a “virtual teardown.” The applicant was informed that adding front and rear dormers to the half-story would eliminate the need for a variance if the existing walls were kept intact. However, the applicant stated that changes to the interior layout caused a significant redistribution of loads which necessitated the replacement of the existing walls.

A new home could be constructed on the lot without a variance. However, shoring and excavation would significantly increase the cost and duration of the project and would likely necessitate the removal of several mature trees.

2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

The proposed use is a single-family home with an attached garage. Single-family homes are a permitted use in the RIA district and are the primary land use in the surrounding area. The proposed home is consistent with the zoning ordinance as well as the comprehensive plan.

Housing Policy 3.7.1 of the Comprehensive Plan seeks to “promote and incentivize investment in housing maintenance and renovation.” The existing foundation will be retained, and a new house that is contextually similar to other houses in the vicinity will be constructed. Utilizing the foundation eliminates need for shoring and excavation, and allows for the preservation of several mature trees located on the property.

Housing Policy 3.7.5 promotes the use of high-quality materials in housing construction. The cladding of the existing house is vinyl siding while the cladding of the proposed house is composite

cedar shake siding. Cedar shake siding is regarded by the City as a high-quality material.

According to Chapter 535.220 of the Minneapolis Code of Ordinances, the purpose of yard requirements is to provide for the orderly development and use of land and to minimize conflicts among land uses by governing the location of uses and structures. The proposed variance does not hinder orderly development nor does it create conflicts among land uses. The foundation and location of the existing home will remain, so the proposed structure will be no closer to the front lot line or to the neighboring structure than the current structure.

3. ***The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.***

The proposed variance will not alter the character of the locality, nor will it be injurious to the use or enjoyment of other property in the vicinity. One of the primary purposes of setback, height, and bulk regulations is to establish a predictable and orderly pattern of development. In residential districts, this objective is accomplished through the use of required yards.

In this instance, however, situating the house in a manner that conforms to the ordinance could be deemed contrary to these objectives because it would disturb an ingrained development pattern. Nearly every house on the block was constructed less than six feet from their respective northern property lines. The adherence to this development pattern is relatively unique. Utilizing the existing foundation continues this established development pattern and reinforces the character of the locality.

Although the proposed home is two stories on a block where the majority of homes are one or 1.5 stories, the home is not significantly taller than nearby structures. At 20.6 feet in height, measured to the midpoint between the peak and the eave, the home would be well below the maximum midpoint height of 30 feet. The proposed street-facing facade would include a front gable similar to the existing home and would add a front-facing dormer. No additional width would be added to the front façade. When viewed from the street, these features will give the impression of a half-story, although the front gable and front and rear dormers will create a full second story as defined by the zoning code.

As its closest neighbor, the property to the north would likely be most affected by this variance. However, the potential adverse impact will not be substantially greater than the impact caused by the existing structure. Although the proposed home will be slightly taller than the existing home, it will be no closer to the side lot line than the existing structure, and no additional gross floor area will be located in the required setback. A rear dormer will be added, but it will be stepped inward from the first floor wall in order to comply with the required setback.

The principal structure on the adjacent lot to the north is located approximately 6 feet from the shared property line and approximately 11 feet from the existing (and proposed) structure. The rear addition extends outward along the same horizontal plane as the existing southern wall. At its closest point the rear addition is 12.5 feet from the north property line and over 20 feet from the principal structure on the adjacent lot to the north.

Granting the variance would have no impact on the congestion of area streets.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt staff findings and **approve** the application for variance at 5805 Morgan Ave S to reduce the established front yard setback from 36.5 feet to approximately 35.1 feet, measured to the structure, subject to the following conditions.

1. Approval of the final site, elevation, and floor plans by the Department of Community Planning and Economic Development
2. All site improvements shall be completed by July 24, 2016 unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt staff findings and **approve** the application for variance at 5805 Morgan Ave S to reduce the required interior side yard setback along the north property line from 6 feet to approximately 4.7 feet, measured to the structure, subject to the following conditions.

1. Approval of the final site, elevation, and floor plans by the Department of Community Planning and Economic Development
2. All site improvements shall be completed by July 24, 2016 unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Zoning map
2. Written description and findings submitted by applicant
3. Authorization letter from owner
4. Letter to Ward 13 and Armatage Neighborhood Organization
5. Land survey
6. Elevation drawings and house plans
7. 3D rendering of proposed structure
8. Photos of site
9. Aerial photo showing house placement
10. Correspondence (if applicable)

Mueller Homes, LLC

Mueller Homes would like to introduce ourselves to the neighborhood and give you a brief description of the project we are looking at starting at 5805 Morgan Ave. Mueller Homes is a custom builder located in Eagan Mn. We specialize in building new homes and doing large remodel projects.

Here at 5805 Morgan Ave we will be removing the house off of its foundation with a crew of guys, not with big equipment. We will have to remove one large maple tree in the back yard in order to put the addition on and move the garage off of the alley and attach it to the new house. However, by doing this we will not have the mess of excavating the entire foundation. Only a small area in the rear yard will be disturbed. This will help minimize the construction mess and make it nicer for the neighborhood.

The home we are remodeling / new home will fit into the neighborhood very nicely and is based on the thought that less is more. It will still have the South Minneapolis look with a new home style.

Please call us to discuss any of your questions.

Sincerely,

A handwritten signature in black ink that reads "Rob Mueller". The signature is fluid and cursive, with a large loop at the end of the last name.

Rob Mueller

Mueller Homes

1944 Safari Trail

Eagan, Mn 55122

www.muellerhomesllc.com

612-701-7914

Mueller Homes, LLC

1944 Safari Trail

Eagan, MN 55122

Mueller Homes is proposing to demo and replace the structure at 5805 Morgan Ave. We are going to reuse the existing foundation and add a 13'-6" x 18' addition to the rear of the home and attach a 24' x 24-6" garage.

We are applying for a 1.1 foot variance in order to reuse the existing foundation. We feel this is a better solution for the neighborhood and will speed up the building process.

Statement of proposed use and description of the project

Mueller Homes, LLC

1944 Safari trail

Eagan Mn, 55122

612-701-7914

rob@mueller Homes, LLC

Mueller Homes and Better Homes Development are partnered together to rebuild homes in the south Metro area. We purchased 5805 Morgan with the intent of removing the existing home and leaving the existing foundation. Thus, adding and addition to the rear of the home and attaching a new 24 x 24 garage.

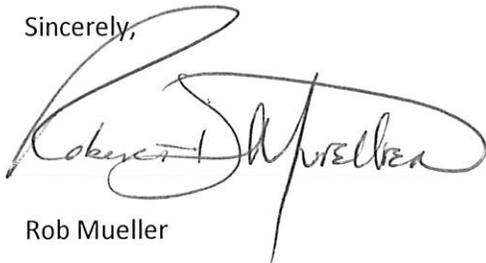
We were notified when we applied for the permit that we were 1.1 foot short on the existing left side of the home; this is because once we remove the existing structure we have to have a 6 foot side yard setback.

If we are able to keep the existing foundation and are granted the needed variance we can eliminate the excessive demo needed to replace the foundation and not have to disturb the adjoining neighbors.

Please see the color rendering attached to see that we are keeping with the spirit of the existing neighborhood, and adhere to the comprehensive plan.

Mueller Homes insures that the variance will not alter the essential character or the enjoyment of the neighboring homes. Also it will not be detrimental to the health, safety or the welfare of the general public or those utilizing the property or nearby properties.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Mueller". The signature is stylized with a large, sweeping initial "R" and "M".

Rob Mueller

Mueller Homes, LLC

Variance Letter

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Tim Murphy, MN & WI Licensed Realtor

Metropolitan Home Team

RE/MAX RESULTS

Phone: 952.223.0999

E-mail: TimMurphy@MetropolitanHomeTeam.com

Diana Pedersen

Office Manager - Metropolitan Home Team

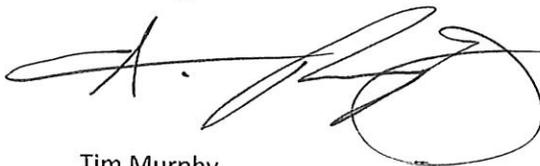
Phone: 952.223.0994

E-mail: Diana@MetropolitanHomeTeam.com

July 1, 2014

Better Homes Development authorizes Mueller Homes to apply for the Demo permit and apply for the variance needed to demo and rebuild the structure at 5805 Morgan Ave.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tim Murphy', with a large, stylized flourish at the end.

Tim Murphy

Better Homes Development

Mueller Homes, LLC

1944 Safari Trail

Eagan, MN 55122

612-701-7914

rob@muellerhomesllc.com

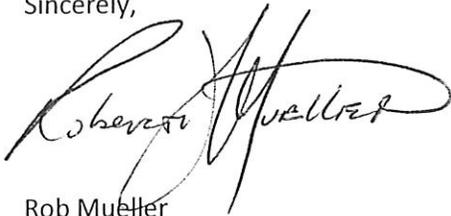
Mueller Homes is proposing to demo and replace the structure at **5805 Morgan Ave.** This property is located at the intersection of 58th street and Morgan Ave.

We are proposing to reuse the existing foundation and add a 13'-6" x 18' addition to the rear of the home and attach a 24' x 24-6" garage.

We are applying for a 1.1 foot variance for the left side of the structure in order to reuse the existing foundation. Currently it is at 4.9 feet which meets the old setback however once we remove the existing house frame we have to meet the new setback of 6 feet.

We feel reusing the existing foundation is a better solution for the neighborhood and will speed up the building process.

Sincerely,

A handwritten signature in black ink, appearing to read "Rob Mueller", written over a circular stamp or seal.

Rob Mueller

Mueller Homes

Letter to the neighborhood and city council



Scale: 1" = 20'

Benchmark:
City of Minneapolis GPS001
Elevation = 861.24

Lot area = 6556 SF
House area = 1619 SF
Porch area = 29 SF
Sidewalk area = 169 SF
Driveway area = 672 SF
Total Impervious Area = 2489 SF
Impervious Coverage = 38.0 %

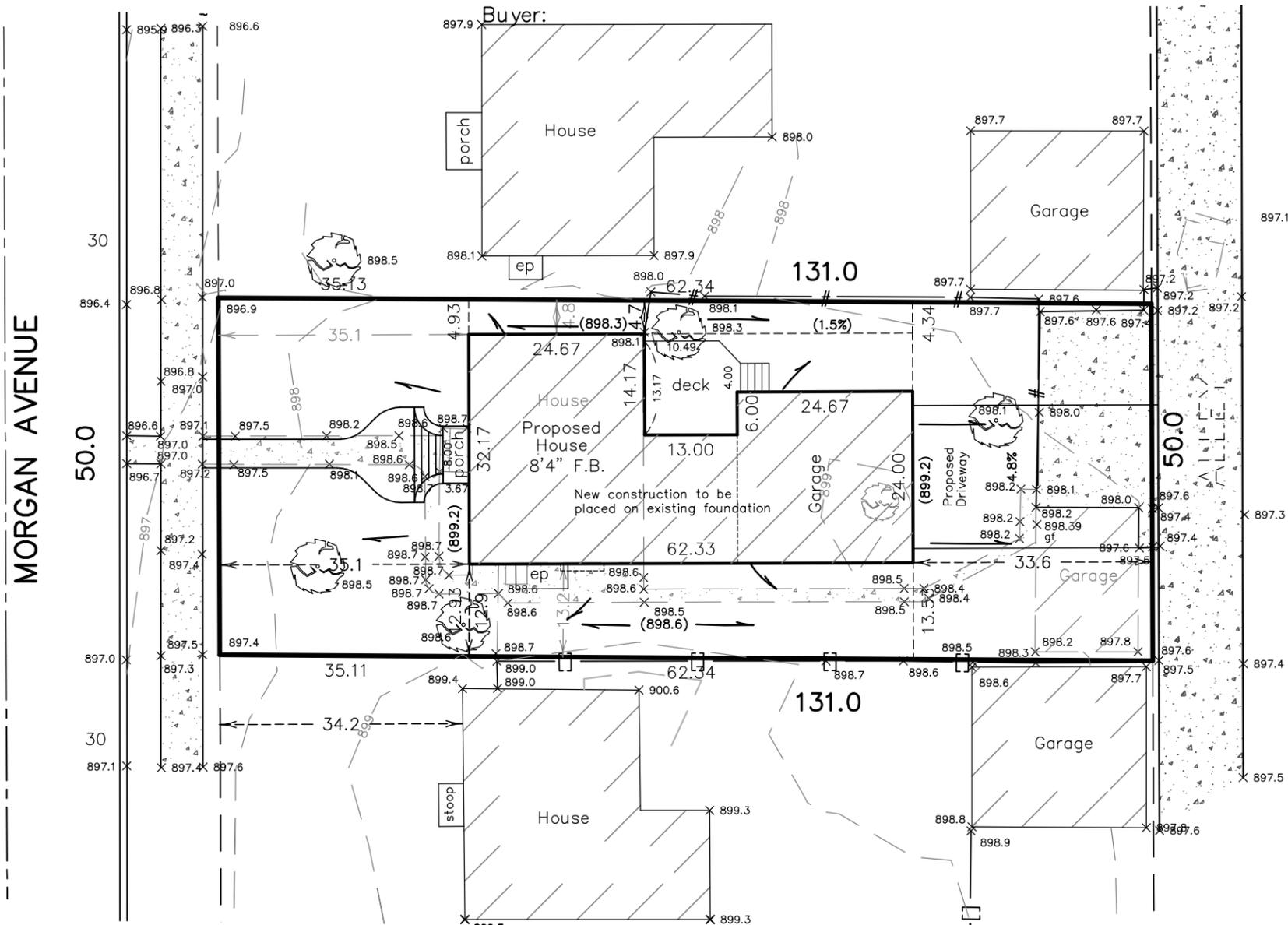
Construction Notes:

1. Install rock construction entrance.
2. Install silt fence as needed for erosion control.
3. Sidewalks shall drain away from house a minimum of 1.0%.
4. Contractor must verify driveway design.
5. Contractor must verify service elevation prior to construction.
6. Add or remove foundation ledge as required.

General Notes:

1. Grading plan by n/a last dated n/a was used to determine proposed elevations shown herein.
2. This survey does not purport to show improvements or encroachments, except as shown, as surveyed by me or under my direct supervision.
3. Proposed building dimensions shown are for horizontal location of structures on the lot only. Contact builder prior to construction for approved construction plans.
4. No specific soils investigation has been performed on this lot by the surveyor. The suitability of soils to support the specific house proposed is not the responsibility of the surveyor.
5. This certificate does not purport to show easements other than those shown on the recorded plat.
6. Bearings shown are based on an assumed datum.

Lot 2, Block 1, PENN MANOR 2ND ADDITION
according to the recorded plat thereof Hennepin County, Minnesota
Address: 5805 Morgan Avenue South, Minneapolis, Minnesota
House Model: Elevation:



x 000.00 Denotes existing elevation
 (000.00) Denotes proposed elevation
 Denotes drainage flow direction
 Denotes spike

House elevations	(Proposed)	As-built
Lowest Floor Elevation	:(891.9)	/
Top Of Foundation Elev.	:(899.9)	/
Garage Slab Elev. @ Door	:(899.2)	/

We hereby certify to Mueller Homes LLC that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor under the laws of the State of Minnesota, dated 06/02/14.

Signed: Pioneer Engineering, P.A.

BY:

Peter J. Hawkinson, Professional Land Surveyor
 Minnesota License No. 42299
 email-phawkinson@pioneereng.com

Certificate of Survey for:

Mueller Homes LLC

Revisions:
 1.) 05-20-14 Topo Lot
 2.) 07-15-14 Revise Deck

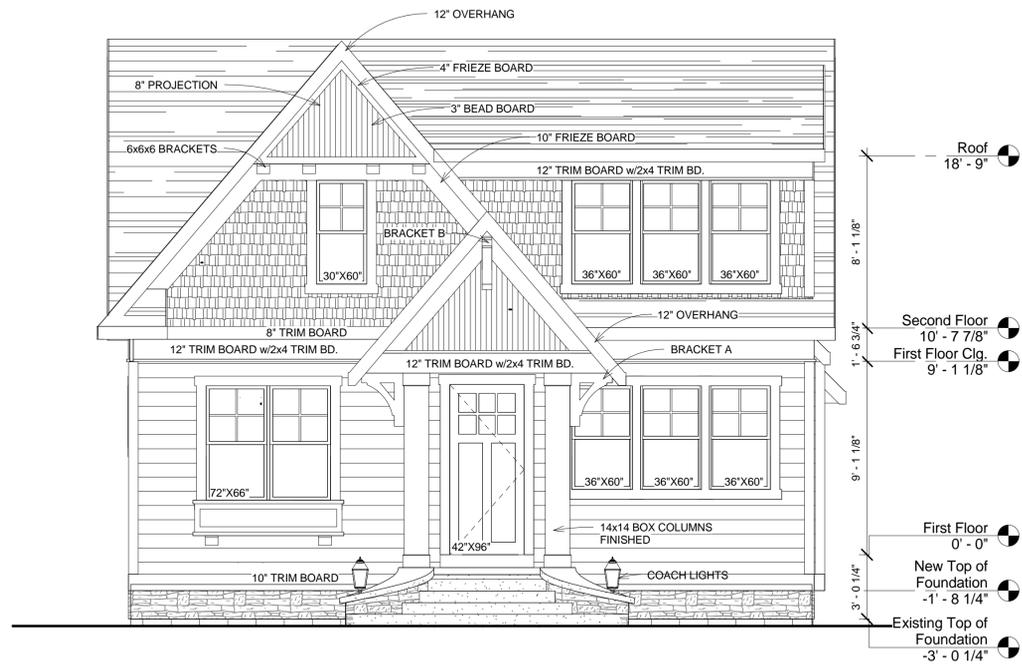
Project #: 114120000
 Folder #: 7682

Drawn by: tss/kth

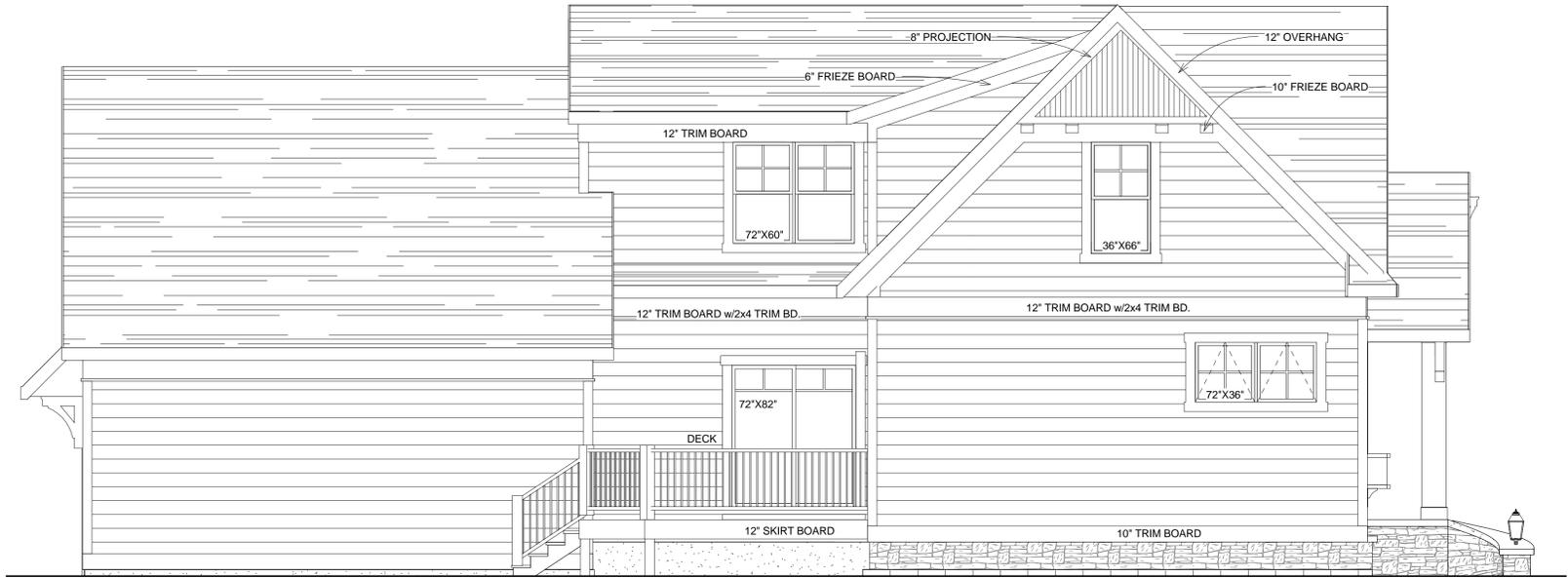
PIONEERengineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS
 Ph. : (651) 681-1914
 Fax: (651) 681-9488
 www.pioneereng.com

2422 Enterprise Drive
 Mendota Heights, MN 55120

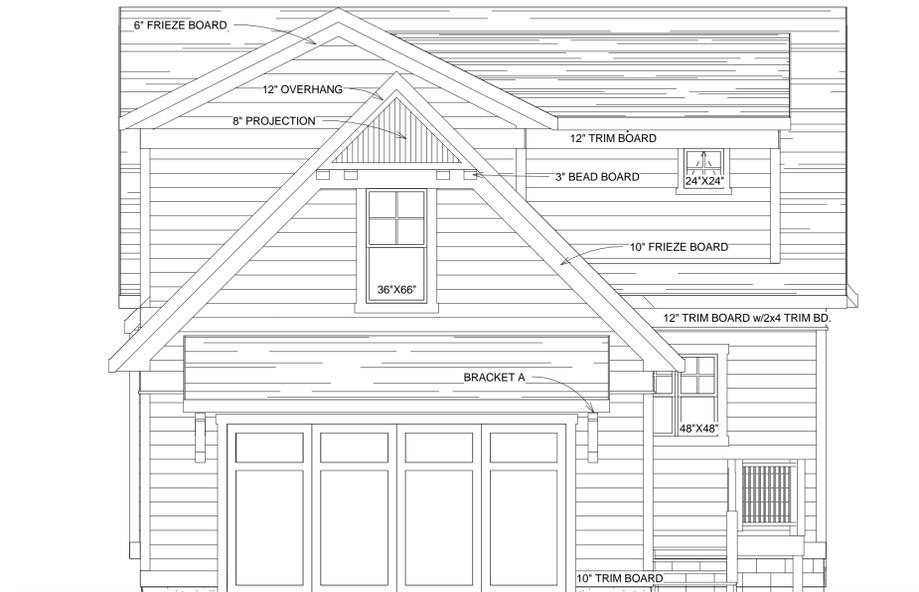
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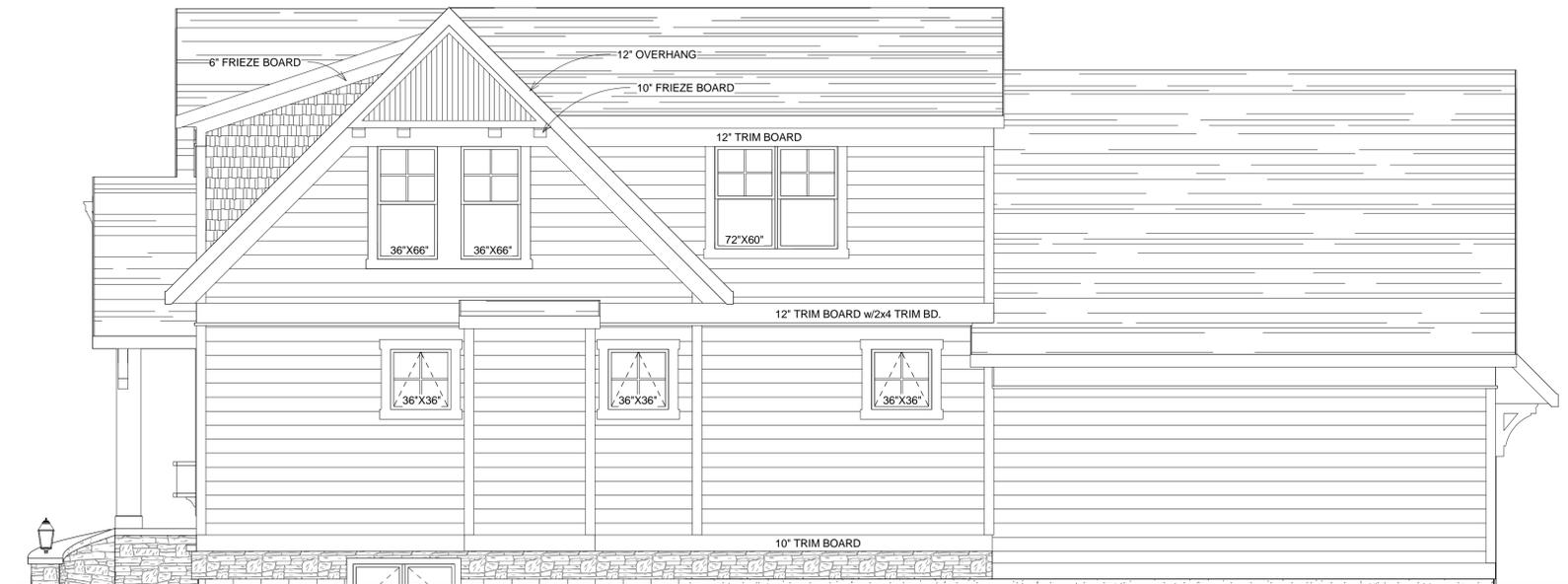
1 Front Elevation
1/4" = 1'-0"



2 Left Elevation
1/4" = 1'-0"



3 Rear Elevation
1/4" = 1'-0"



4 Right Elevation
1/4" = 1'-0"

SQ FT BREAKDOWN

582 SQ FT GARAGE
126 SQ FT UNFINISHED LOWER LEVEL
716 SQ FT FINISHED LOWER LEVEL
1028 SQ FT FINISHED MAIN LEVEL
984 SQ FT UPPER LEVEL
290 SQ FT BONUS ROOM OVER GARAGE
3018 SQ FT TOTAL FINISHED ARE
NOT INCLUDED GARAGE/PORCH/UNFIN.
STORAGE

TYPICAL EXTERIOR MATERIALS

ASPHALT SHINGLES W/
NATURAL SHADOW
ARCHITECTURAL GRADE
5/4" x 6" COMPOSITE
WINDOWS WRAP ALL
CORNERS AND TRIM AS
SHOWN (FRONT ONLY)
COMPOSITE CEDAR SHAKE
APPEARANCE GABLE
CLADDING
8" EXPOSURE COMPOSITE
SIDING
10" x 5/4" FRIEZE BOARD ALL
GABLES
HOUSE WRAP AND/OR TAR
PAPER IN PROPER FORM ON
ENTIRE EXTERIOR
INSTALL KICK OUT FLASHING
& TWO MEMBRANE TAR
PAPER BACKING IN ALL
STONE AREAS

DAVID
CHARLEZ
DESIGNS

DAVID CHARLEZ DESIGNS
1585 THOMAS CENTER DRIVE #105
EAGAN, MN 55122
TEL: 952.428.8200
EM: Dave@DavidCharlezDesigns.com



BUILDER
Mueller Homes LLC
EAGAN, MN
612.701.7914

ISSUE
5.1.14

RE-ISSUE
7/15/2014 10:41:19
AM

PROJECT #
Morgan1

PROJECT
5805 Morgan
Avenue

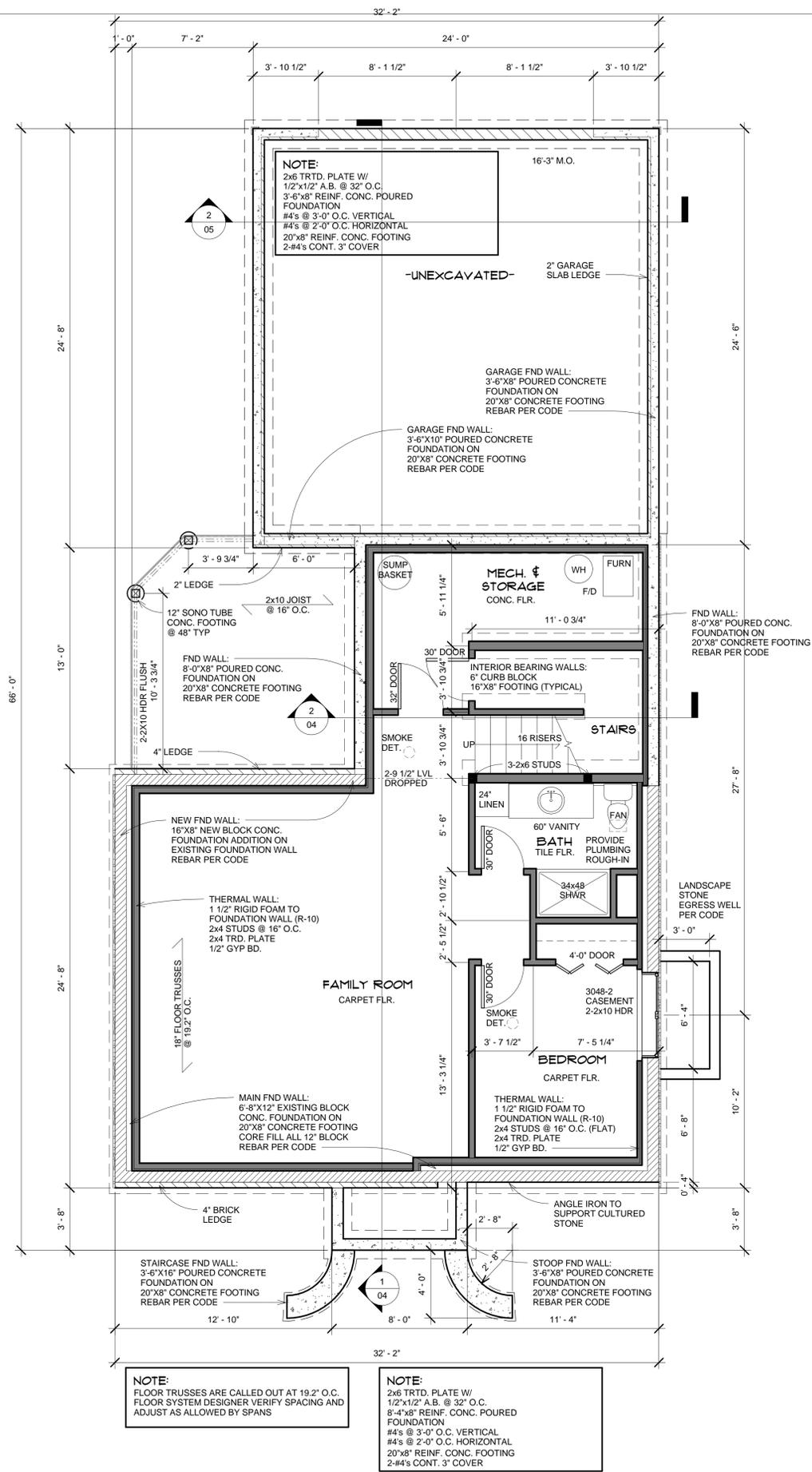
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DESCRIPTION
ELEVATIONS

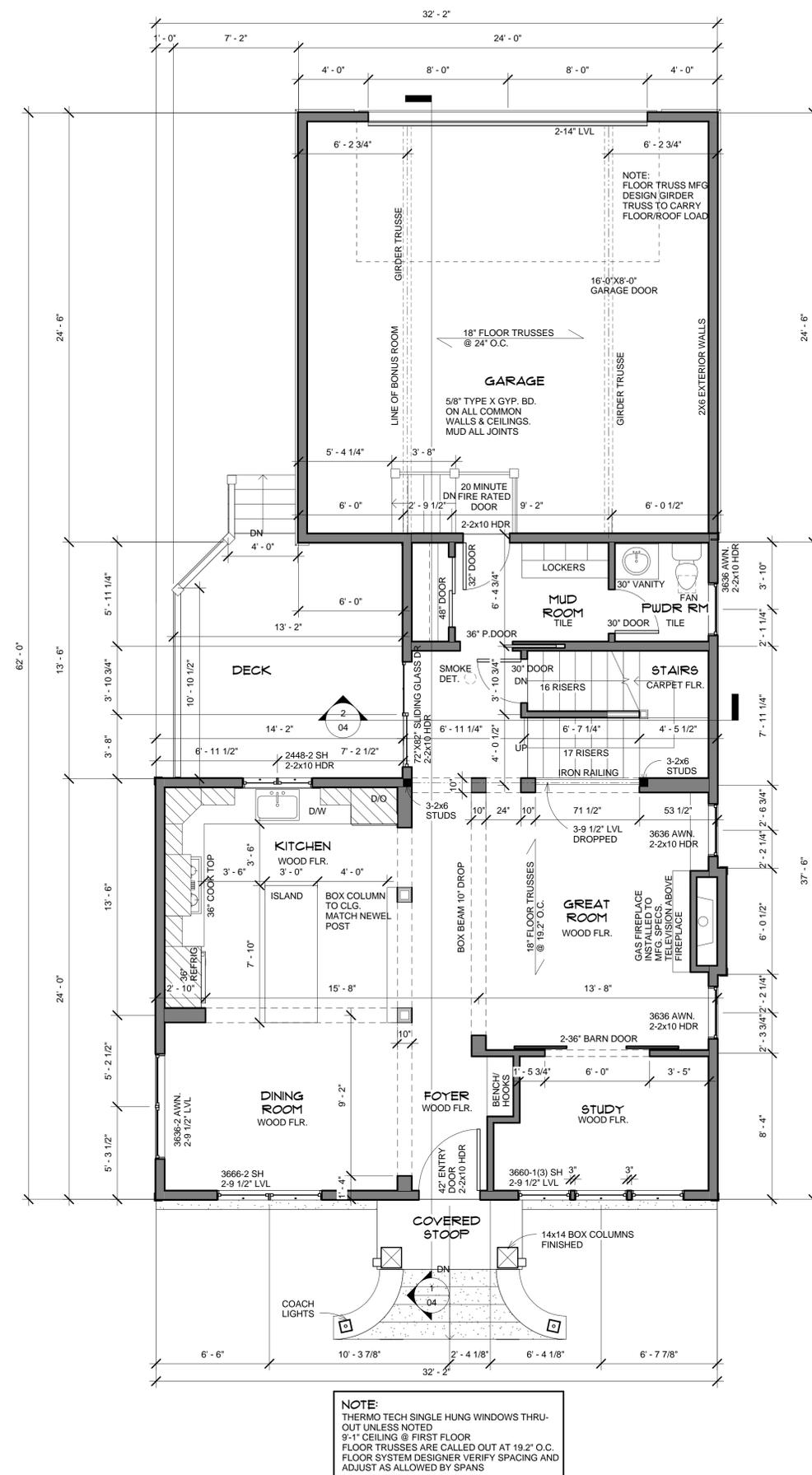
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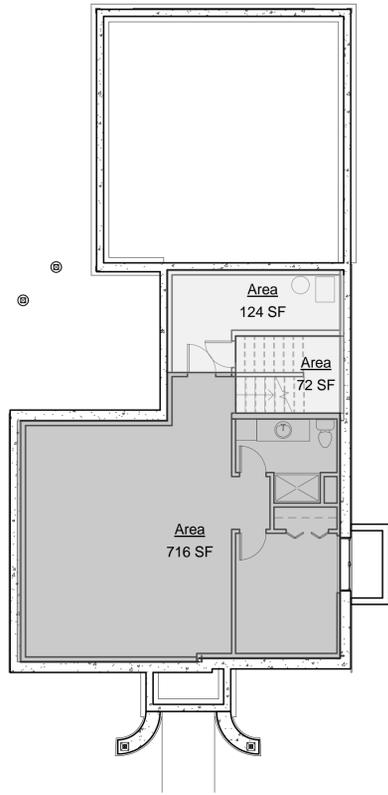
Notes: Dimensions, details and conformance to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items including, but not limited to: construction technique, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/mildew or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind or other natural stresses such as flooding, snowfall or substandard bearing soil. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window size are approximate rough openings. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be finished and enclosed to meet local code. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscape/site plan or in the rendering for illustrative purpose only. Consult builder for standard or included features. © David Charlez Designs 2013. Do not replicate with out permission (952)428-8200. David Charlez Design retains rights to all plans and detail shown.



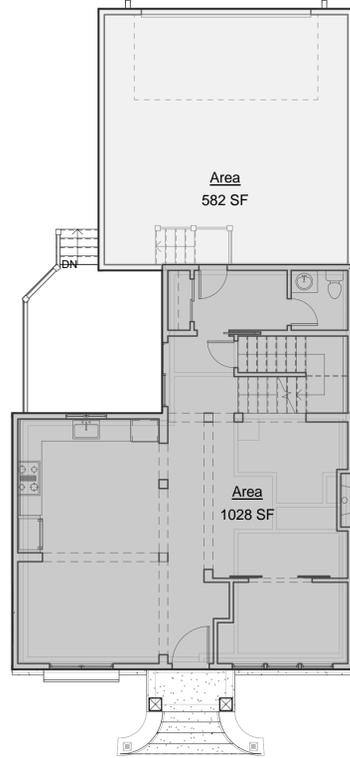
1 Basement
1/4" = 1'-0"



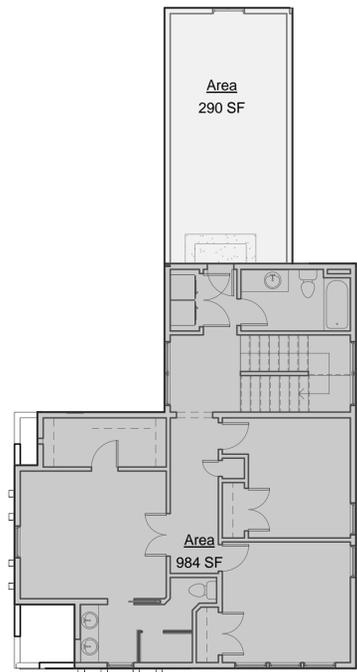
2 First Floor
1/4" = 1'-0"



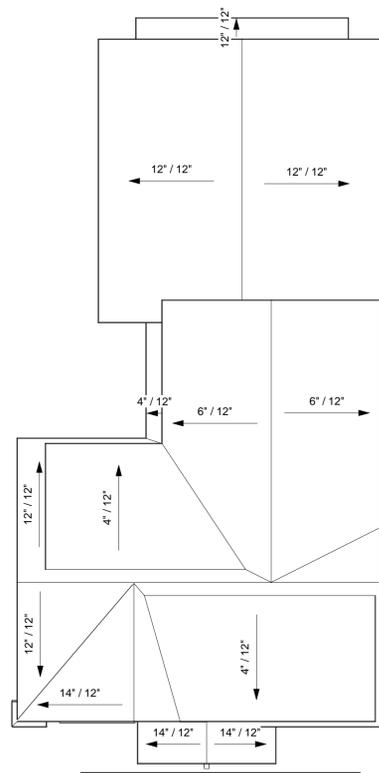
3 Basement
1/8" = 1'-0"



4 First Floor
1/8" = 1'-0"

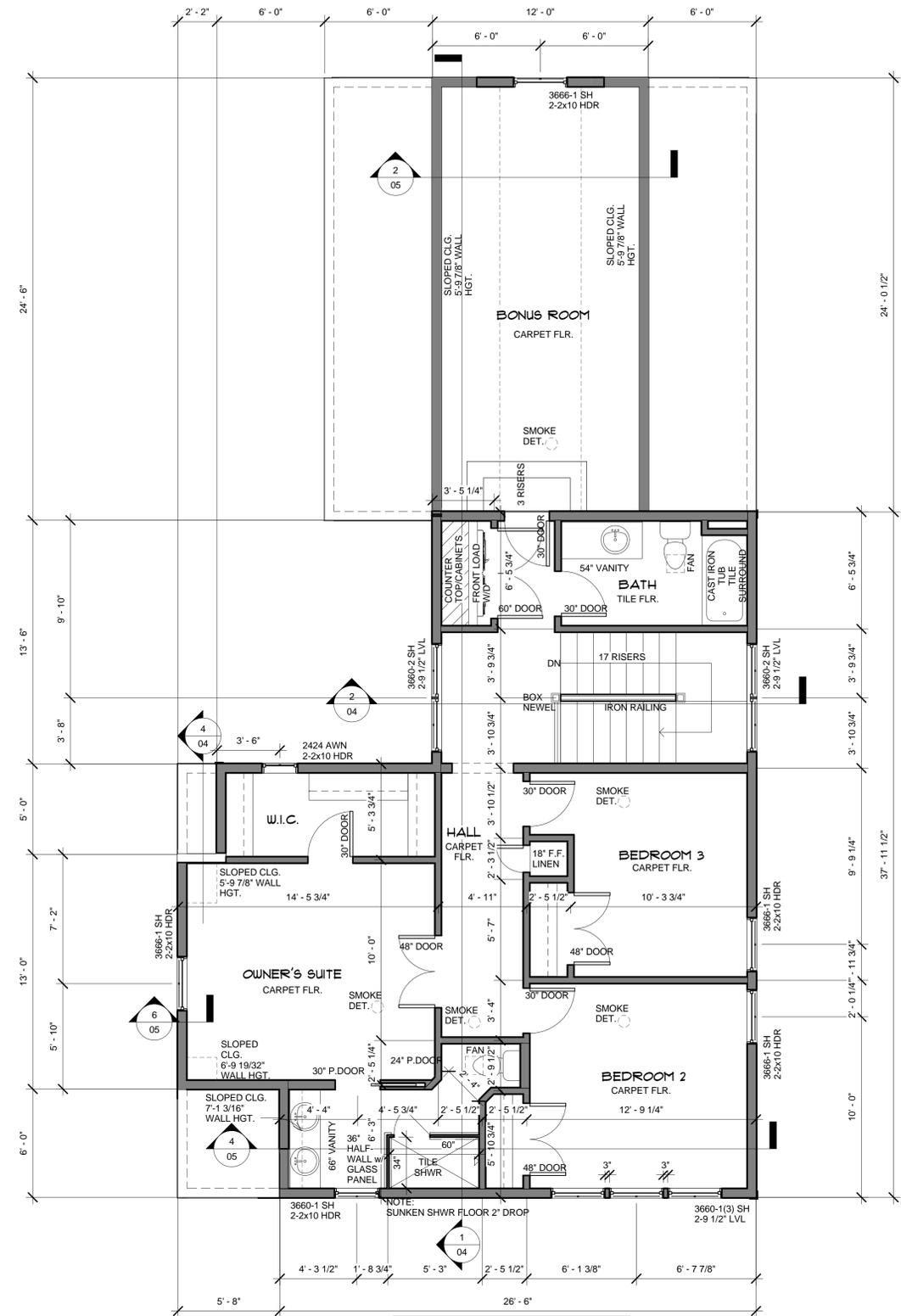


5 Second Floor
1/8" = 1'-0"



2 Roof Plan
1/8" = 1'-0"

NOTE:
ENGINEERING ROOF TRUSSES PER MFG. SPEC.
MANUFACTURE WILL PROVIDE ALL ENGINEERING
DRAWING AND SPECIFICS



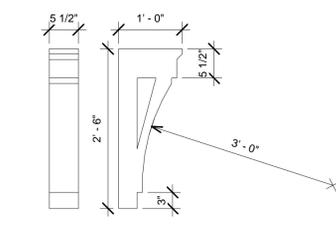
1 Second Floor
1/4" = 1'-0"

NOTE:
THERMO TECH SINGLE HUNG WINDOWS THRU-
OUT UNLESS NOTED
8'-1" CEILING @ FIRST FLOOR
FLOOR TRUSSES ARE CALLED OUT AT 19.2' O.C.
FLOOR SYSTEM DESIGNER VERIFY SPACING AND
ADJUST AS ALLOWED BY SPANS

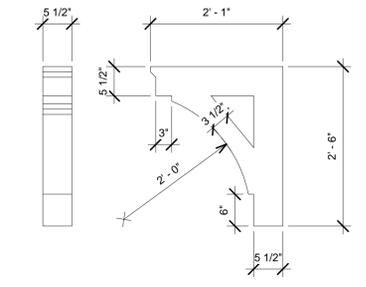
Notes: Dimensions, details and conformation to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items including, but not limited to: construction technique, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/mildew or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind or other natural stresses such as flooding, snowfall or substantial bearing soil. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window size are approximate rough openings. Specific manufacturer size vary and egress openings should be confirmed prior to construction. The home should be finished and enclosed to meet local code. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscape/grade plan or in the rendering for illustrative purpose only. Consult builder for standard or included features. © David Charlez Designs 2013. Do not replicate with out permission (952)428-8200. David Charlez Design retains rights to all plans and detail shown.

GENERAL NOTES

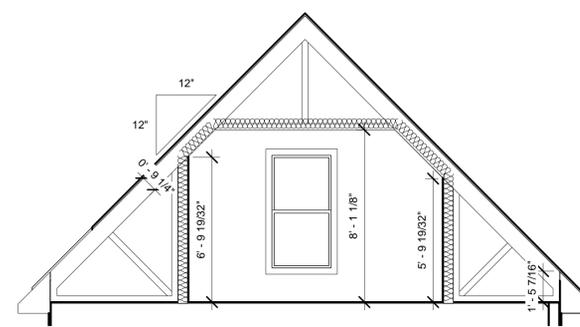
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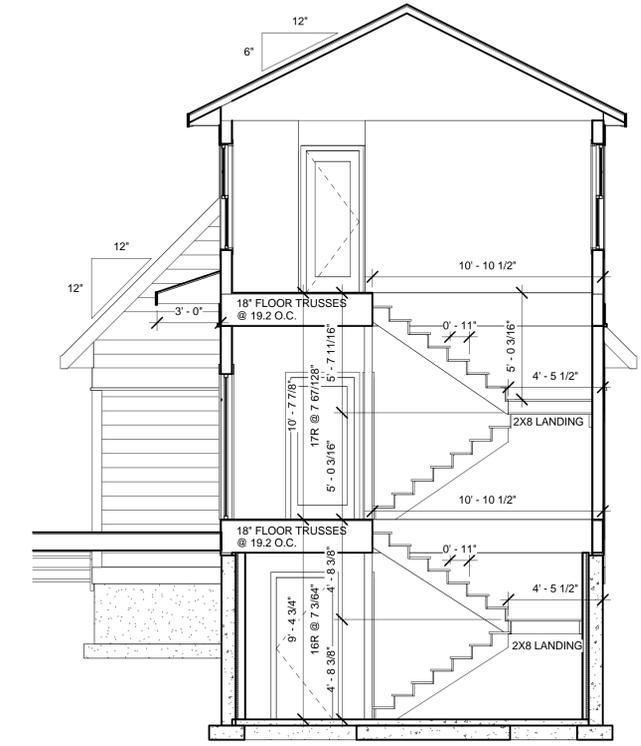
6 Detail - Bracket B
3/4" = 1'-0"



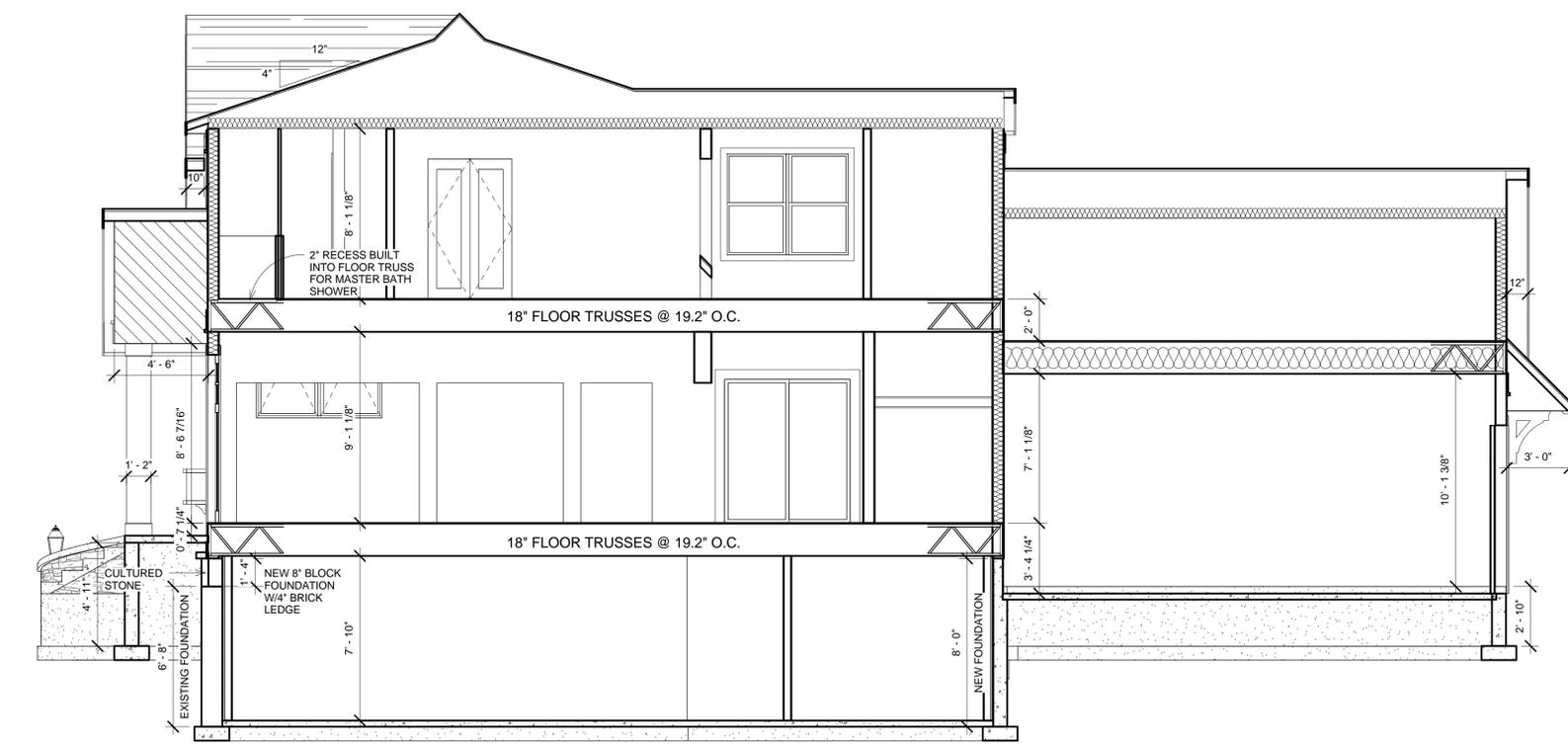
3 Detail - Bracket A
3/4" = 1'-0"



4 Cross Section - Owner's Suite
1/4" = 1'-0"



2 Cross Section - Staircase
1/4" = 1'-0"



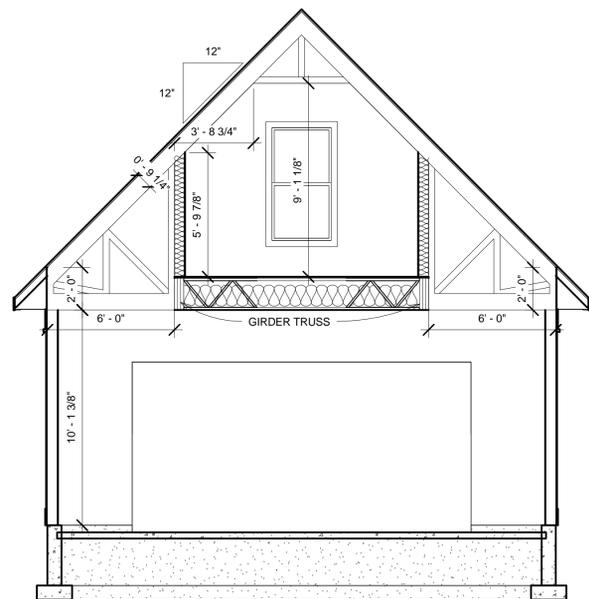
1 Cross Section - Foyer
1/4" = 1'-0"

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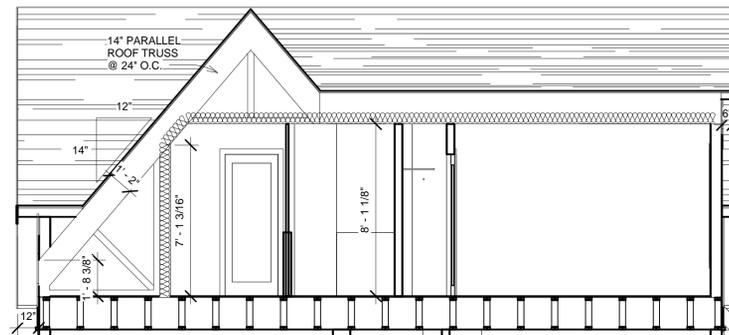
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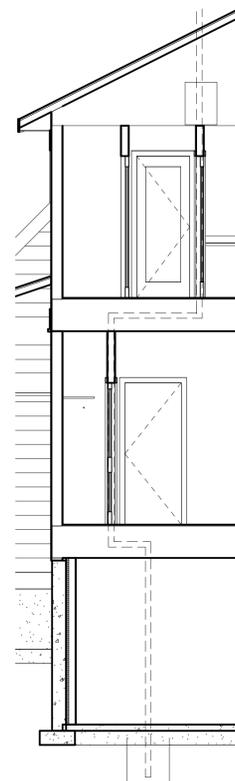
② Cross Section - Garage
1/4" = 1'-0"



④ Cross Section - Owner's Bath
1/4" = 1'-0"



⑤ Passive Radon Section
1/4" = 1'-0"



3" MIN. ABS OR PVC OR EQUIVALENT GAS TIGHT PIPE

INSTALL LIVE OUTLET IN ATTIC WHERE FUTURE FAN MAY BE INSTALLED

PROVIDE SPACE FOR FUTURE INSTALLATION OF A FAN
MIN. 24" DIAMETER CENTERED ON THE AXIS OR THE VENT STACK
MIN. VERTICAL DISTANCE 36"

INSTALL LABEL READING (RADON REDUCTION SYSTEM) ON THE VENT PIPE AT EACH FLOOR AND IN ACCESSIBLE ATTICS

ALL CONTROL JOINTS, ISOLATION JOINTS CONSTRUCTION JOINTS AND ANY OTHER JOINTS IN CONCRETE SLABS SHALL BE SEALED WITH CAULK OR SEALANT

SEAL ALL FLOOR OPENINGS

ALL PIPE JOINTS AND FITTINGS TO BE GLUED OR TRANSITION COUPLINGS

SEAL ALL JOINTS BETWEEN SLAB AND FOUNDATION WALL

MIN 6 MIL OR 3 MIL CROSS LAMINATED POLY SHALL BE LAPPED 12" AND PLACED BELOW THE SLAB AND ON TOP OF 4" MIN. SAND GAS PERMEABLE LAYER

SEALED SUMP BASKET

4" PERFORATED DRAIN TILE W/FILTER FABRIC 8'X16" ROCK TRENCH

⑥ Typical Wall Section
3/8" = 1'-0"

ROOF & CEILING CONSTRUCTION

ENGINEERED ROOF TRUSSES @ 24" O.C.
30 YEAR ARCH. ASPHALT SHINGLES
15 LB. ROOFING PAPER
15/32" O.S.B. W/CLIPS
ICE & WATER SHIELD 3'-0" MIN FROM INSIDE OF EXTERIOR WALL
2x6 SUB FASCIA
2x4 LOOK OUTS
R-44 BLOWN INSUL.
4 MIL. POLY TO LIDS.
5/8" GYPSUM BOARD

FASCIA CONSTRUCTION

4/4x8" FASCIA TRIM
3/8" LP PANEL SOFFIT

WALL CONSTRUCTION

EXTERIOR WALL MATERIAL SIDING PER ELEVATION
TYVEK HOUSE WRAP
7/16" PLYWOOD SHEATHING
2x6 STUDS @ 16" O.C.
BATT INSULATION (R-19)
4 MIL POLY
1/2" GYPSUM BOARD

FLOOR CONSTRUCTION

3/4" T&G PLYWOOD GLUE & NAIL
18" FLOOR JOIST @ 19.2" O.C.

FOUNDATION ENERGY WALL

1 1/2" RIGID FOAM @ FOUNDATION WALL (R-10)
2x4 STUDS @ 16" O.C.
2x4 TRD. PLATE
1/2" GYP BD.

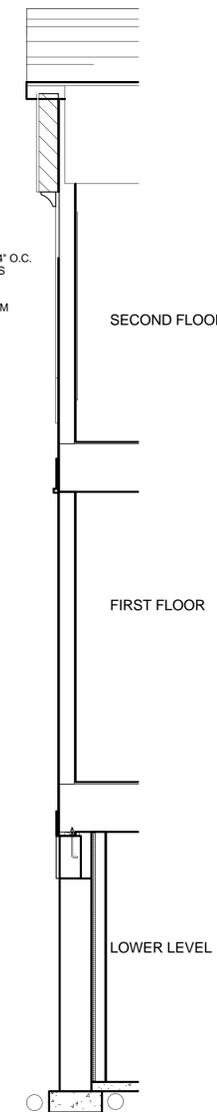
FOUNDATION WALL

2x6 TRTD. PLATE W/
1/2"x1/2" A.B. @ 32" O.C.

16"x8" REINF. CONC. BLOCK FOUNDATION
6'-8"x12" CORE FILLED EXISTING CONC. BLOCK FOUNDATION

CONC. SLAB VAPOR RETARDER UNDER SLAB LAPPED 12"

20"x8" REINF. CONC. FOOTING 2-#4's CONT. 3" COVER
DRAIN TILE AS REQ. ON 2" MIN OF WASHED GRAVEL OR CRUSHED ROCK, AND COVERED WITH 6" MIN. OF SAME MATERIAL





Rick Merrick

From: Ann Merrick <almerr@charter.net>
Sent: Monday, June 30, 2014 8:45 PM
To: Rick Merrick
Subject: Photos





Area between houses



Area between houses





Neighbor to South



back of house



Back of house
tree to be preserved



back of house



Southern interior side yard



garage (to be removed)



garage + driveway (to be removed)

58TH ST W

R1A

