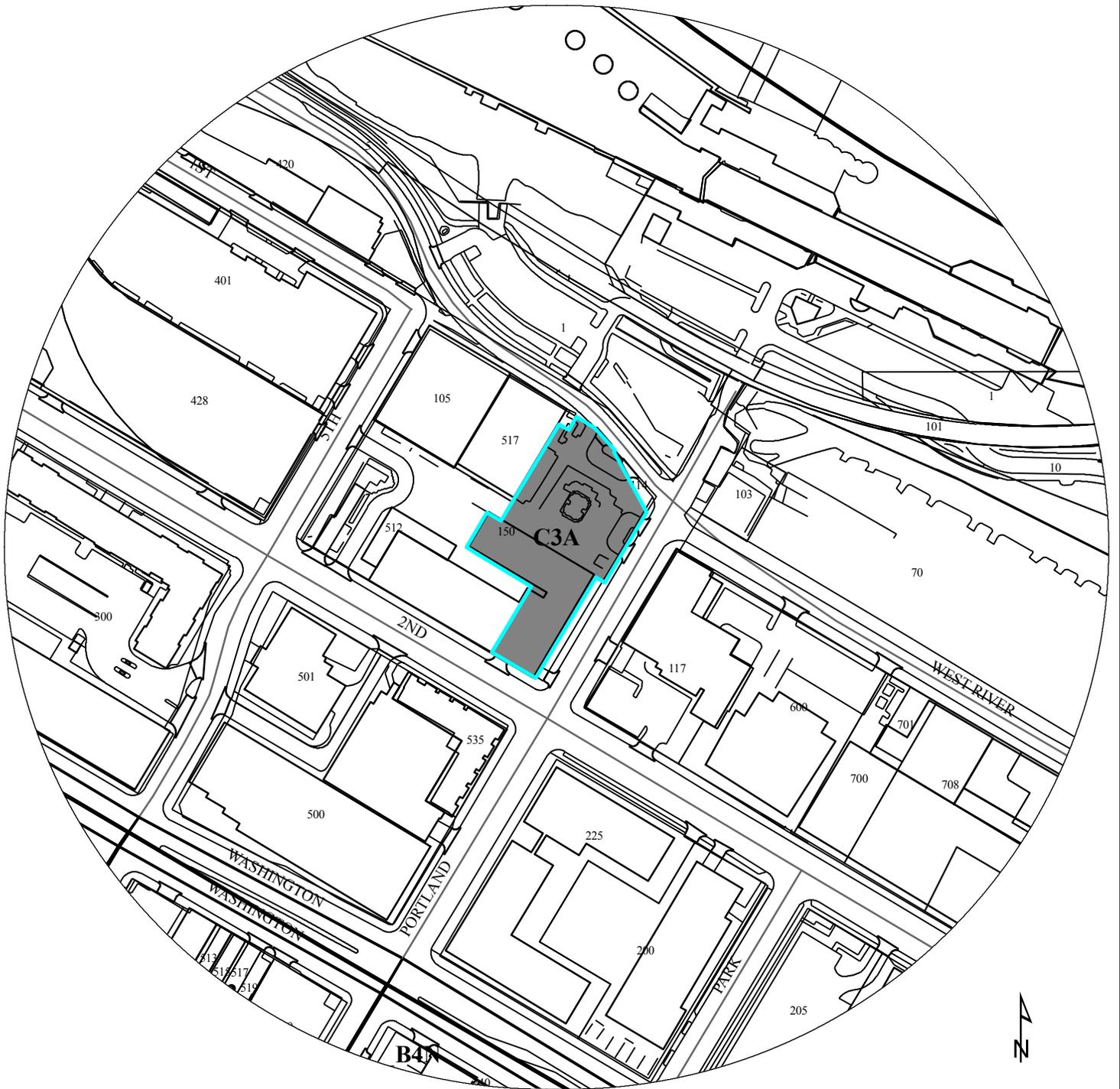


NAME OF APPLICANT

WARD



PROPERTY ADDRESS

150 Portland Avenue South #500

FILE NUMBER

BZH-28249

The Northwestern Miller

The Only Weekly Milling Newspaper Published in America.

8--NUMBER 24

MINNEAPOLIS, MINN., DECEMBER 12, 1879.

THREE DOLLARS

STANDARD."

of the New Mill
ed up by Messrs.
White & Co.

which is now
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general business
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of the twenty-
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operation or in
completion, has
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Co., which has
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1878, on the
wing the disas-
y with Mr. E.
of the owners
nd while view-
of the Wash-
ve remarked to
milling interest
s had received
"Yes," said
will recover."



THE "STANDARD" MILL, MINNEAPOLIS, MINN.

the milling
city soon had a practical
n, for within the next few
made arrangements with
n to build a mill which
excelled by any in the
pleteness of its appoint-
quality of its work. No
getting the project under

barrel of flour. When it is considered
that in this short time a mill capable of
turning out from ten to twelve hundred
barrels of flour per day, was literally con-
structed from the raw material and put
into successful operation, it will readily
be seen that no time was wasted.

The mill building proper fronts

which the mill should be operated, and
made the plans and specifications for lo-
cating the machinery. Before the pro-
gramme to be followed was decided upon
he traveled extensively in Europe, visit-
ing the best mills there, so that this mill
embodies many of the results of his ob-
servations. While it cannot be termed a

which is a 44 inch Viet
which drives the mill,
head of 33 to 35 f
ment also contains t
to drive the mill. The
mill, aside from the
flour packers, is driv
double leather belt

and arrange
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it, is th



This building was demolished to allow for the 2-story addition and elevator tower in 1987

HAER NO MN-14-1



View from opposite corner of Portland Avenue and 2nd Street South



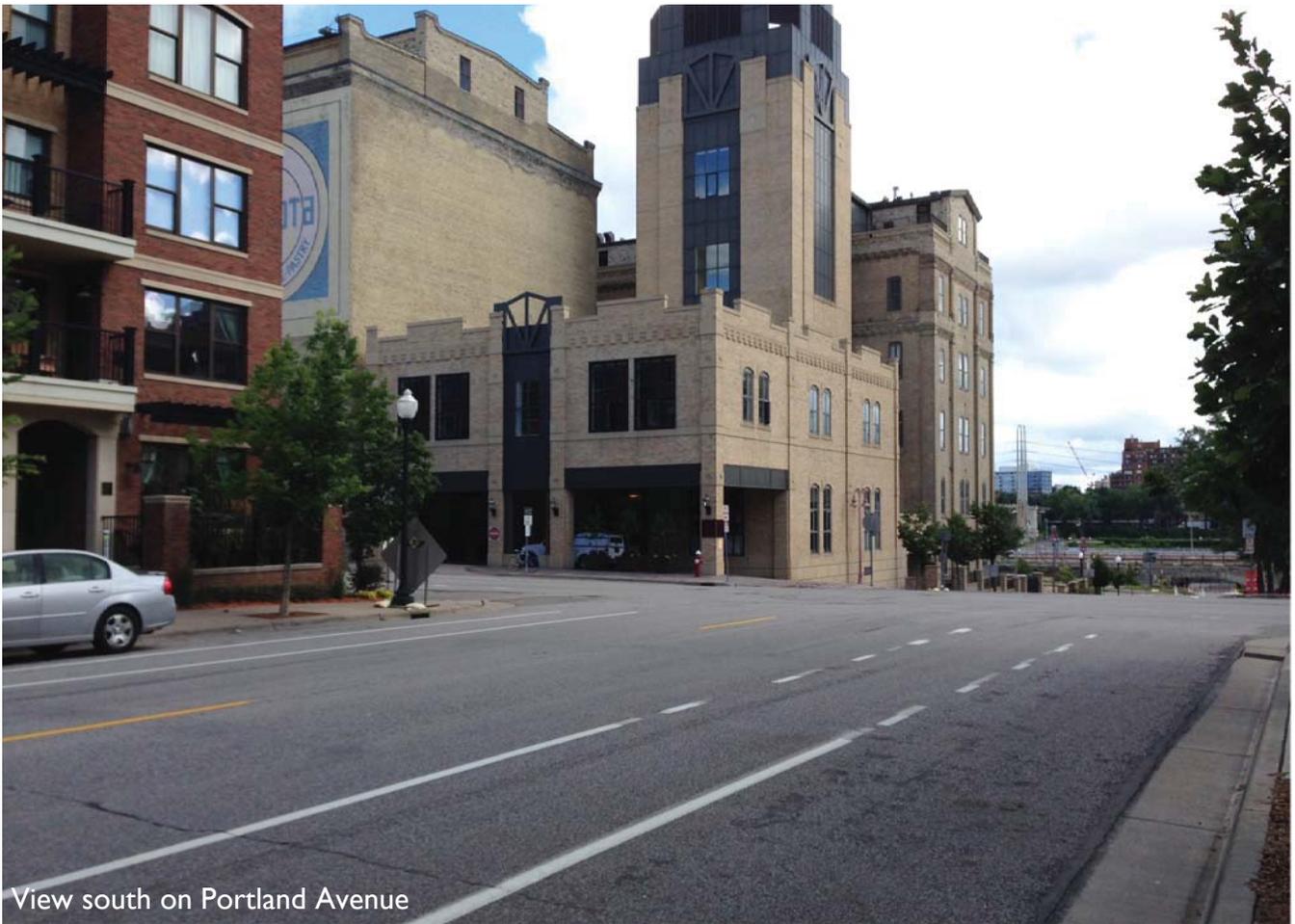
View across Portland Avenue



Portland Avenue elevation



2nd Avenue South elevation



View south on Portland Avenue

19 JUNE 2014

MEMORANDUM

Project Name: Sherman Residence – New Roof Deck and Living Space
Project Number: 2014.008

Minneapolis Heritage Preservation Commission Application - Project Description

Project Synopsis

The Owner of a condominium at 150 Portland Avenue proposes to build a new roof deck and enclosed living space over the existing unit. An existing stair and opening in the roof was created during renovation of the space in 2008, and has since been covered by a roof membrane over wood framing. The existing roof will be removed only in the area of the new living space. A new wood deck will be installed over portions of the existing roof, and provide outdoor living space that the unit currently lacks.

Building History

The condominium building is composed of both a historic mill structure - the Standard Mill - and modern additions that include an elevator tower, entry lobby, a recessed car drop-off, a public plaza, and below grade parking facilities. Originally built in 1879, the property has undergone numerous additions and modifications over its history. According to the Historic American Engineering Record (HAER) prepared in 1990,

“The Standard Mill is historically significant for its role in the development of Minneapolis' West Side Milling District, and for its association with the noted milling engineers William Dixon Gray and Otis Arkwright Pray. Designed by Gray and built by Pray in 1879, the Standard was one in a series of West Side mills constructed during the 1870s. The West Side mills helped establish Minneapolis as the flouring capital of the United States from 1880 to 1930. The Standard survived a wave of mill closures and demolitions during the 1930s, and is currently one of only four West Side mills still standing. In 1971, the Minnesota State Historic Preservation Office of the Minnesota Historical Society nominated the structure to the National Register of Historic Places as part of the St. Anthony Falls Historic District.”

In 1985, the Standard Mill was converted from use as a warehouse facility to a “European Style” hotel. At this time an addition was built at the corner of Portland Avenue and South 2nd Street to house the elevator tower, a car drop-off and lobby, and a second floor ballroom. Following the 2005 renovation from a hotel to condominium, the ballroom was renovated as a single living unit, with roof rights over the entire lower addition.

In 2008, the Owner received permission from the HPC to replace four windows on the South 2nd Street elevation with two larger, storefront grade windows. This work was completed and the windows stored for re-use in the current project.

Architectural Features

The project consists of a new enclosed structure that will house a connecting stair to the main level of the condominium unit, a small wet bar, bathroom, living area, and a small storage space accessed by a pair of exterior doors. The south wall will include an exterior door and storefront windows to match the material, color, and proportions of the existing south facing windows. The

east wall will receive the four salvaged windows that match the existing eastern facing windows. The addition will have a low slope roof behind a flat parapet. The exterior cladding for all sides is a weathered galvalume corrugated steel siding that evokes the original metal cladding on the Standard Mill monitor (which was later replaced by a brick addition during the 1985 conversion), as well as numerous metal rooftop “cabanas” and mechanical equipment penthouses on residential properties within the historic district.

The adjoining roof deck will be composed of a panelized, ipe wood system supported on adjustable levelers bearing directly on the existing membrane roof. A cable railing will be mounted to the perimeter of the deck area with a substantial gap provided between the railing and the back side of the existing parapet wall. The cable railing, capped with a minimal roof top rail, provides optimum transparency to reduce the visual impact on the building exterior.

Certificate of Appropriateness Findings

The proposed roof deck and living space addition are designed to be consistent with the St. Anthony Falls Historic District Guidelines for new construction within the context of Character Area ‘A’ – the “Water Power District.

As defined in the “General Design Characteristics” of the Guidelines (p.32), the design complies with the overarching principles of “Simplicity,” “Durability,” and “Integrity of Design,” with the use of common industrial materials, boxy forms, and straight-forward fenestration patterns. For example, the selection of cable railings rather than wrought iron or turned pickets, meets the call for “...bold, simple, industrial like design concepts.”

The Guideline’s prescriptions for “Balconies and Roof Decks” (p. 55) state that “...The use of balconies and roof decks is appropriate on new buildings, however, they should remain subordinate to the overall historic context.” The proposed design does not overwhelm the existing 1985 post-modern façade, and is treated in a similar manner to the many nearby rooftop additions in the character area.

Individual requirements for new construction within the character area are complied with as follows:

Requirement 9.16 Use simple, rectangular roof forms in commercial, warehouse and industrial contexts.

a. Flat roofs are appropriate on the majority of the buildings in the district.

The proposed design has a flat roof and complies with the requirement.

Requirement 9.17 Design a roof to be similar in form to those used traditionally in the character area.

a. “Exotic” roof forms, such as A-frames and steep shed roofs, are inappropriate.

However, exotic forms may be appropriate for “signature” civic facilities.

b. Some variation in roof form is appropriate for a larger building mass, but avoid overly complex forms that would be out of character with the context.

The proposed design is not exotic nor overly complex and complies with the requirement.

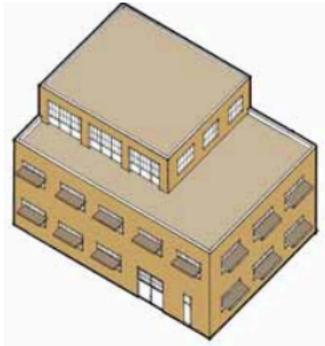
9.24 Arrange windows to reflect the traditional rhythm and general alignment of windows in the area.

The window treatment on the rooftop addition matches the respective window pattern on the main building and complies with the requirement.

9.25 Use durable window materials.

a. Appropriate window materials include metal and wood frame.

The proposed metal windows will receive a factory applied paint finish to match the existing building, and thus complies with the requirement.



Use simple, rectangular roof forms in commercial, warehouse and industrial contexts.

Building and Roof Form

An important, unifying element in several of the character areas is the similarity in building forms that exists among structures located there. Simple, rectangular solids with flat roofs are dominant in the district, especially for commercial, warehouse and industrial building types. In contrast, single-family structures generally have pitched roofs. Even these, however, are relatively simple in composition. These traditional roof forms are key features of the individual character areas.

Intent

The simplicity of traditional roof forms should continue to predominate throughout the district.

Requirements

9.16 Use simple, rectangular roof forms in commercial, warehouse and industrial contexts.

a. Flat roofs are appropriate on the majority of the buildings in the district.

9.17 Design a roof to be similar in form to those used traditionally in the character area.

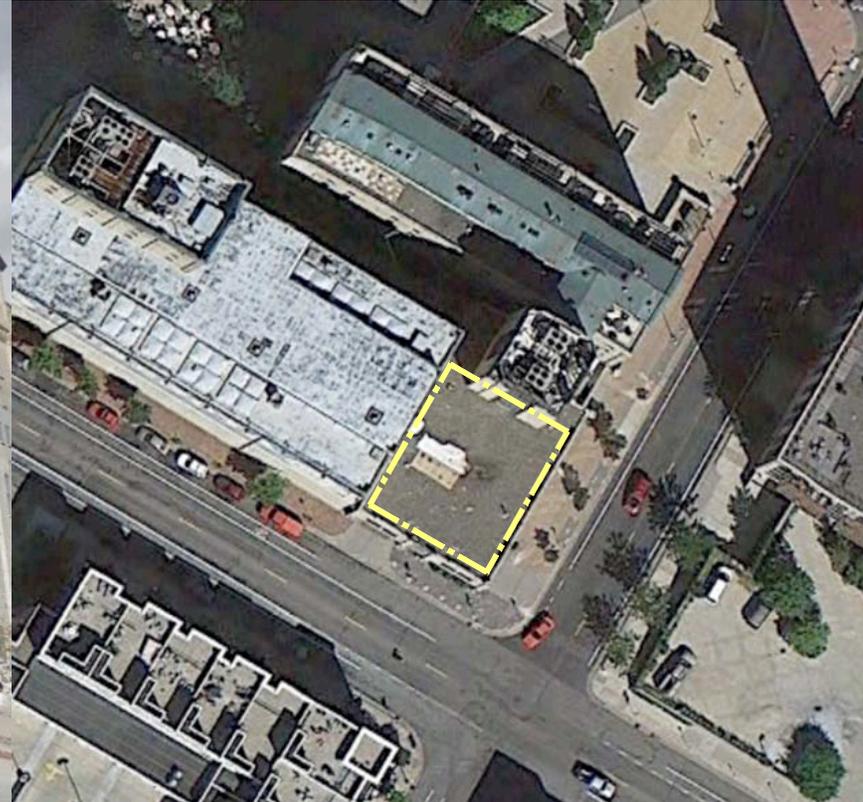
a. "Exotic" roof forms, such as A-frames and steep shed

Excerpt of the Building and Roof Form section of the Saint Anthony Falls Historic District Guidelines.

SHERMAN RESIDENCE ROOF DECK HPC APPLICATION

DRAWING INDEX

T1	TITLE SHEET	A9	COLOR RENDERING
S1	SITE PLAN	A10	COLOR RENDERING
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A2	EXISTING ROOF PLAN	A12	PERSPECTIVES
A3	NEW ROOF PLAN	A13	PERSPECTIVES
A4	ADDITION ROOF PLAN	A14	HISTORIC PHOTO
A5	BUILDING SECTION		
A6	ELEVATIONS		
A7	ELEVATIONS		
A8	ELEVATIONS		

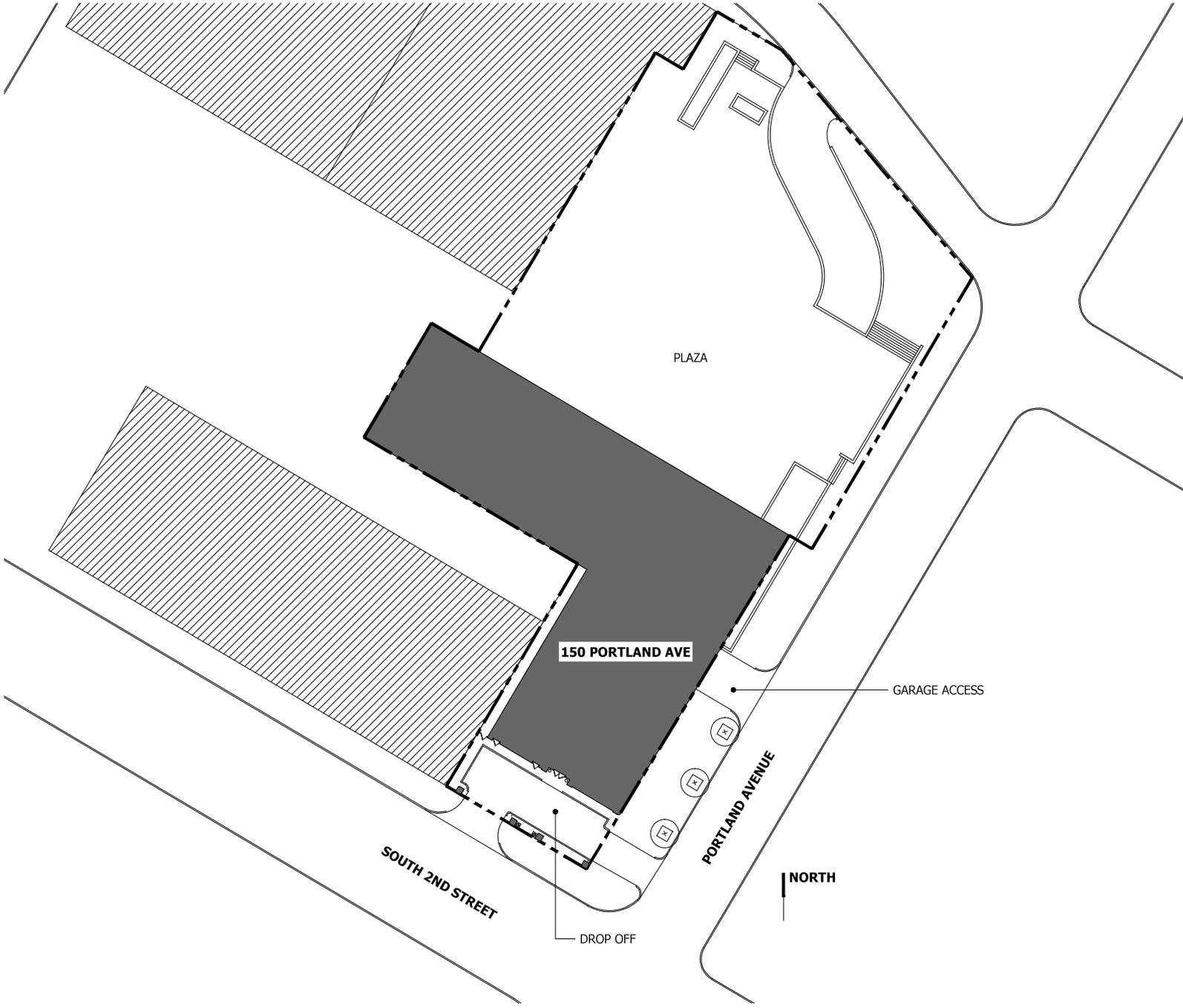


1 existing photo

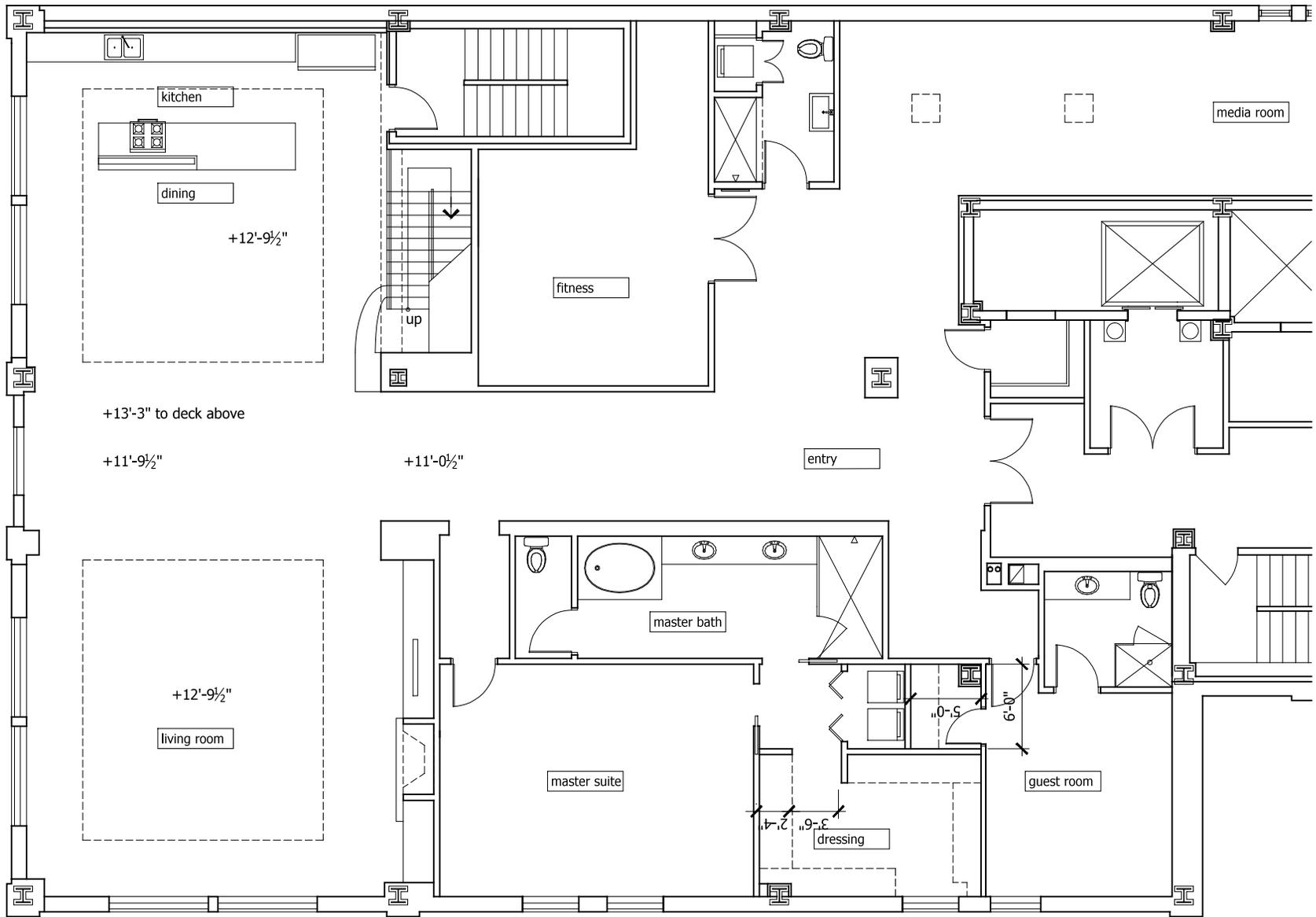
not to scale

2 aerial photo

not to scale



1 site plan
 1" = 60'-0"

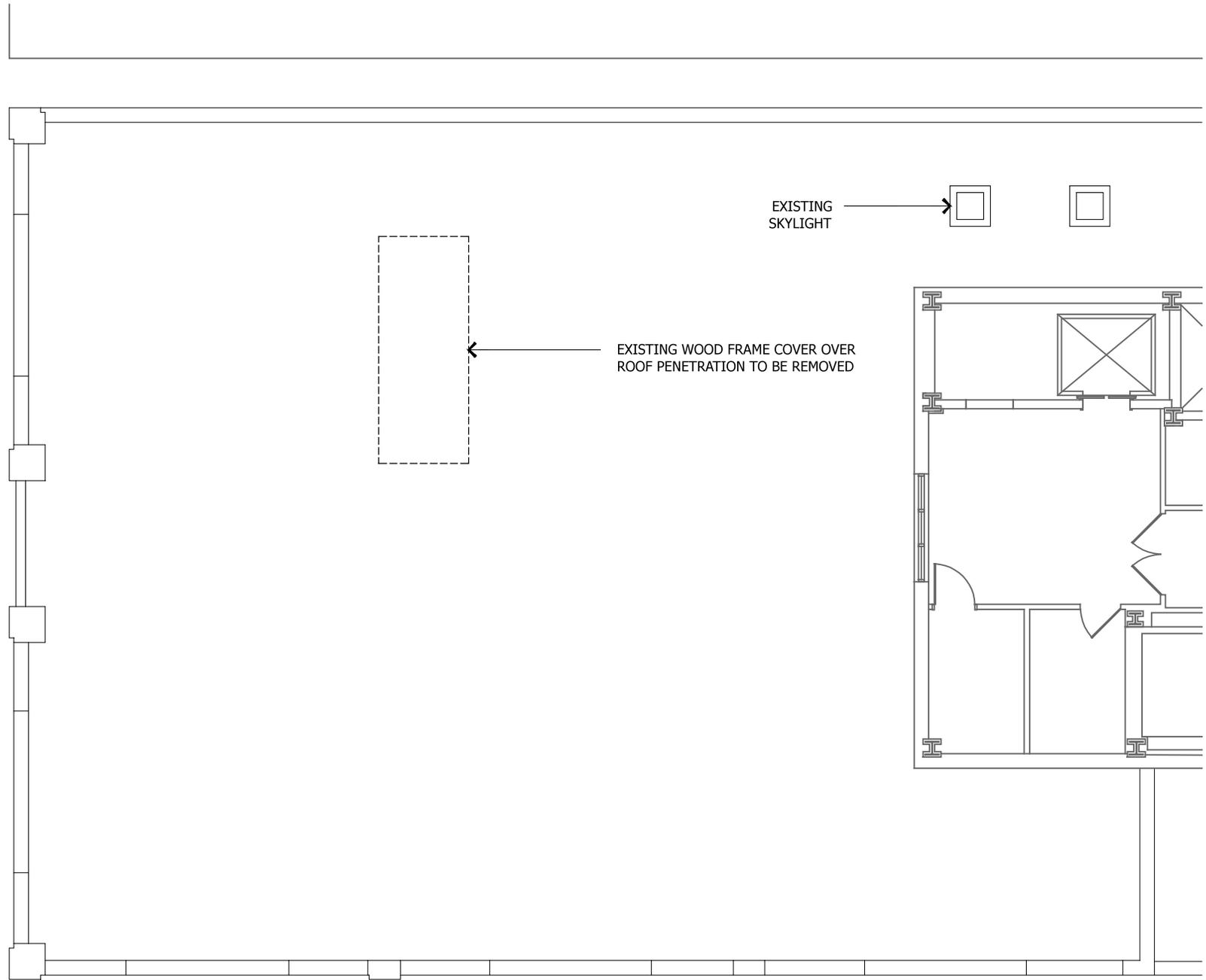


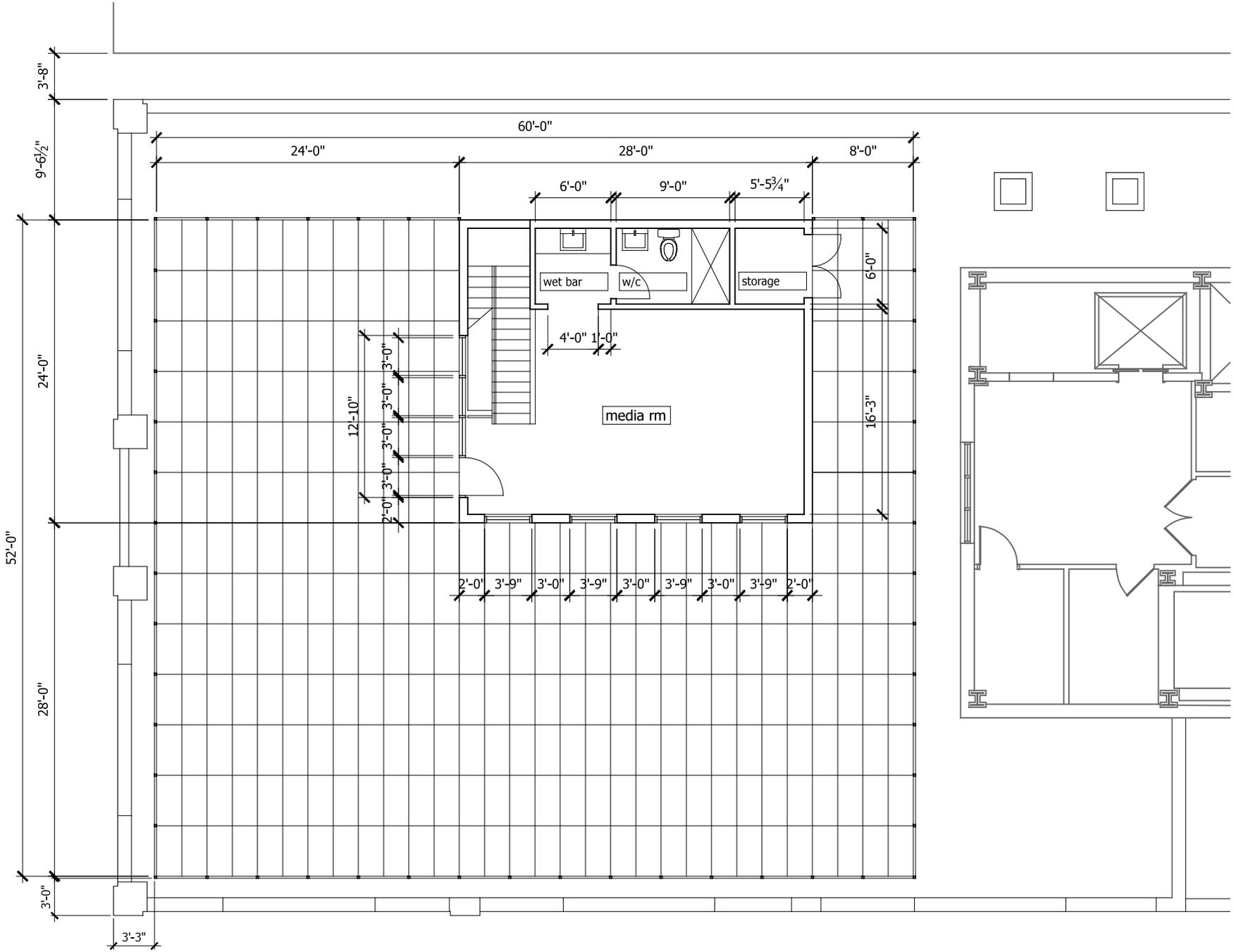
1 lower level plan / for reference only

1/8" = 1'-0"

1 existing roof plan

1/8" = 1'-0"



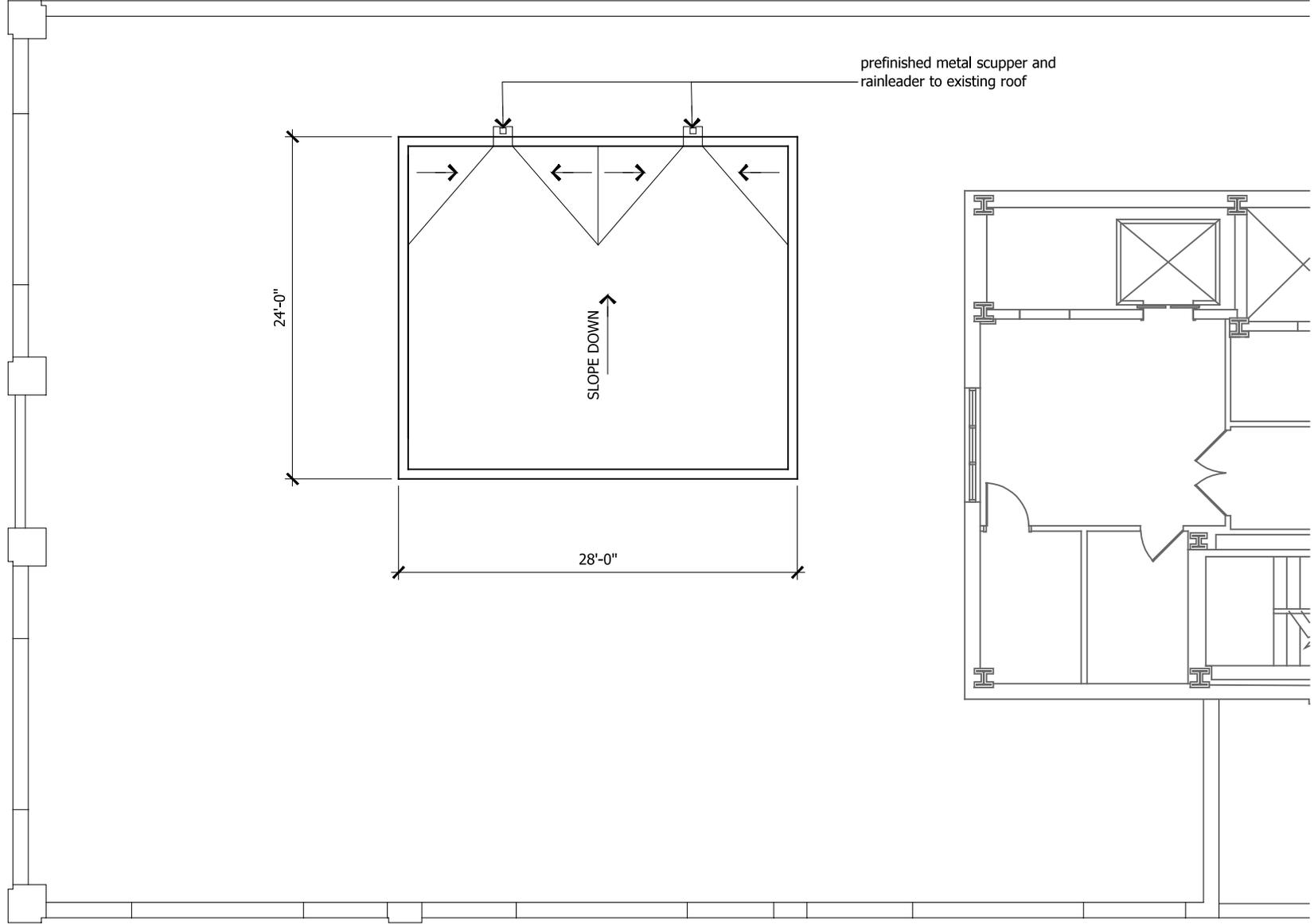


1 new roof deck plan

1/8" = 1'-0"

1 addition roof plan

1/8" = 1'-0"

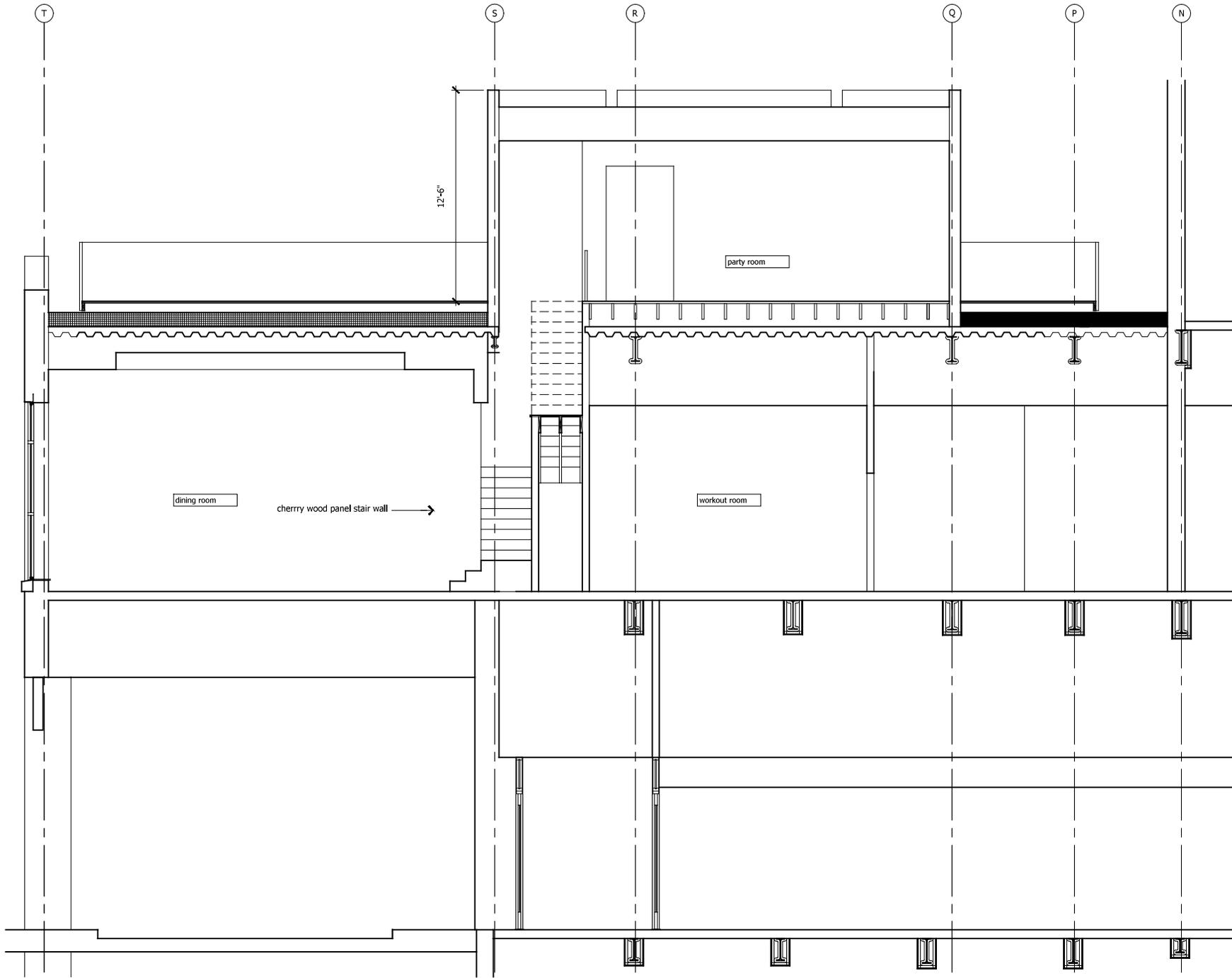


18 june 2014

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sherman residence / 2014-008 / new roof deck and living space

A4



1 building section

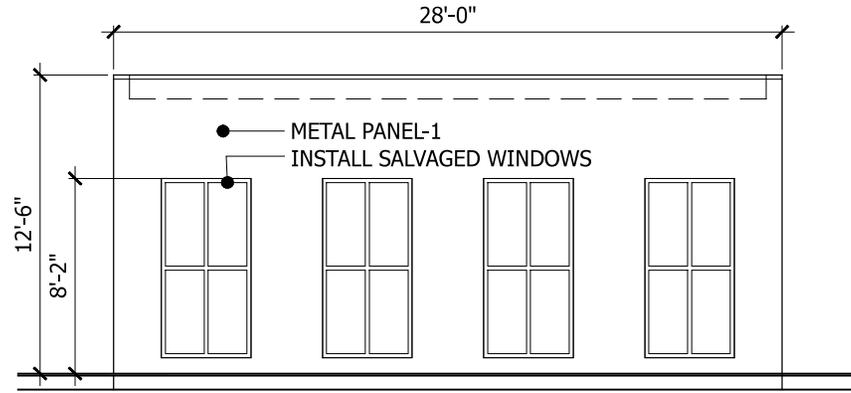
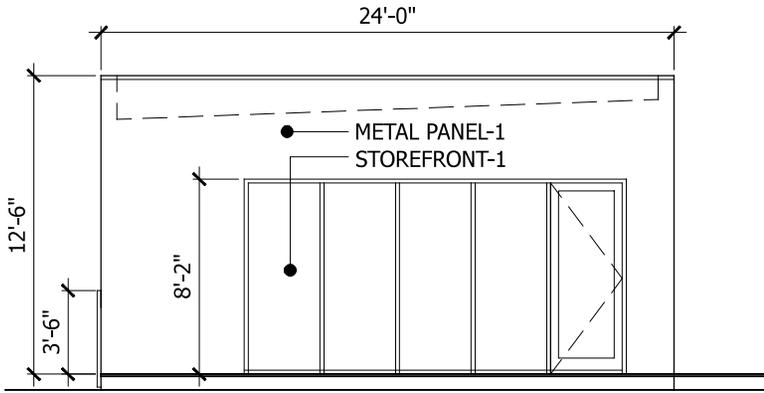
1/8" = 1'-0"

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A5

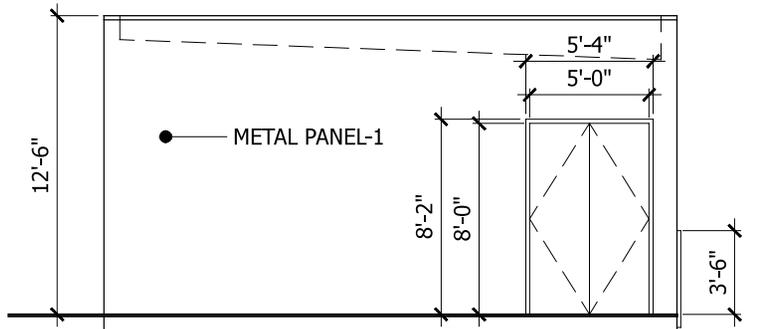


1 addition / south elevation

1/8" = 1'-0"

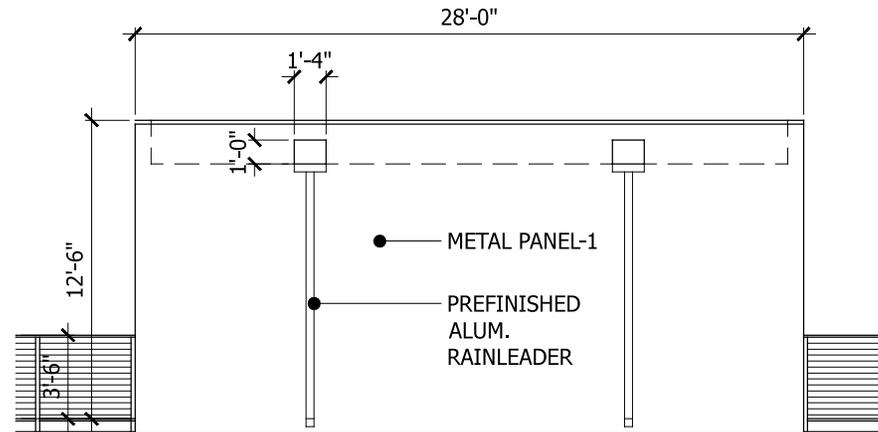
2 addition / east elevation

1/8" = 1'-0"



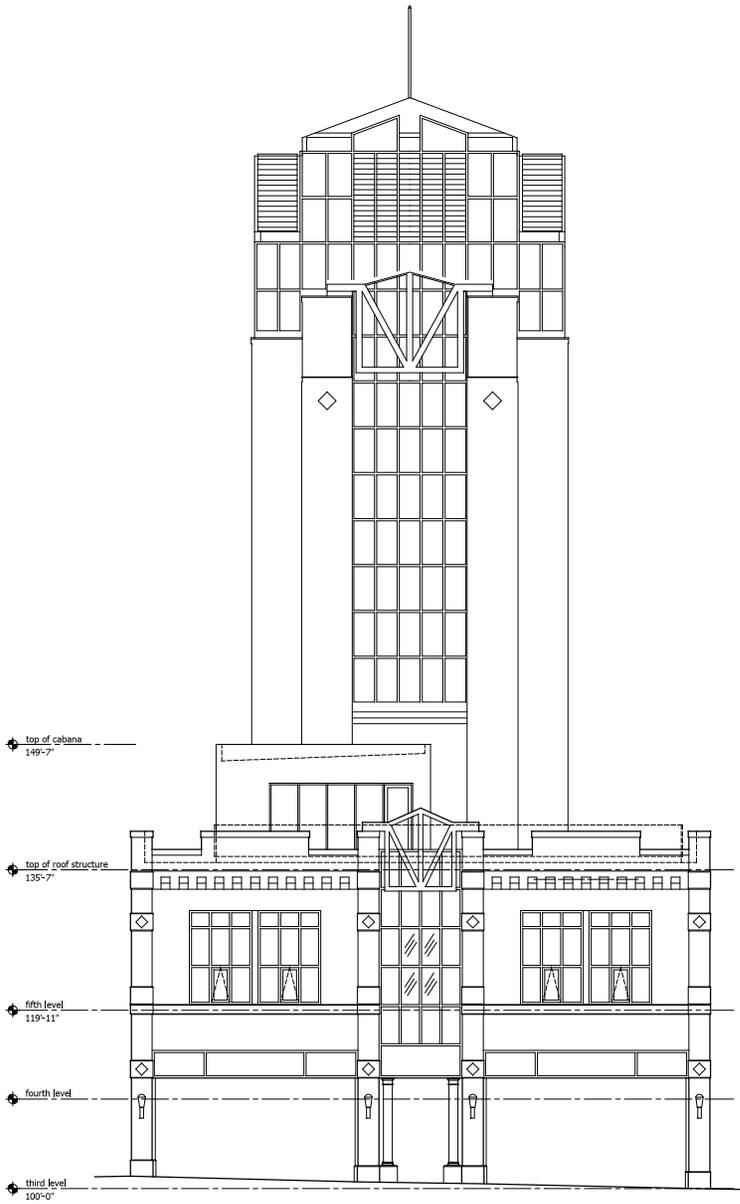
3 addition north elevation

1/8" = 1'-0"



4 addition / west elevation

1/8" = 1'-0"



1 overall elevation / south

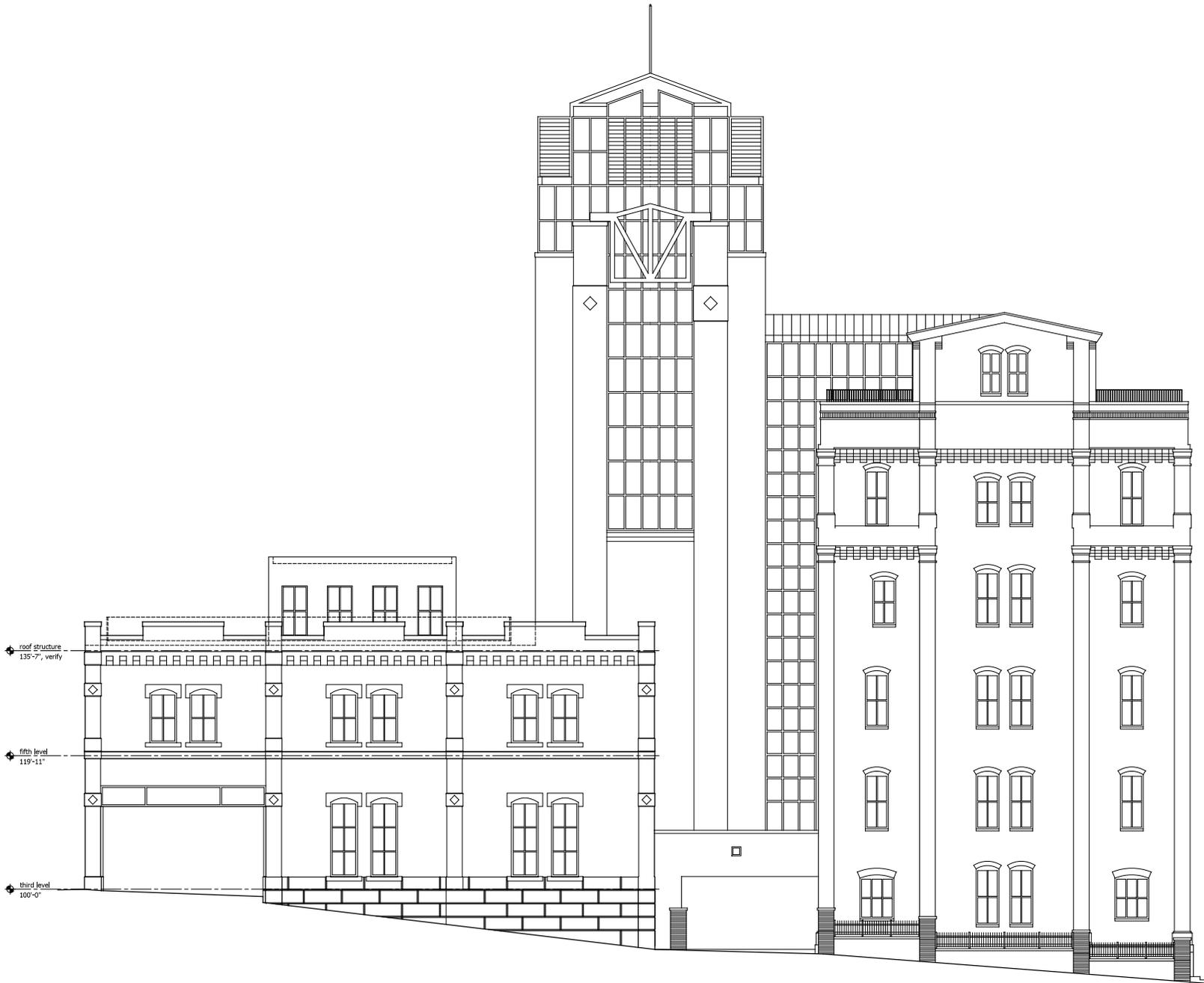
3/64" = 1'-0"

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A7



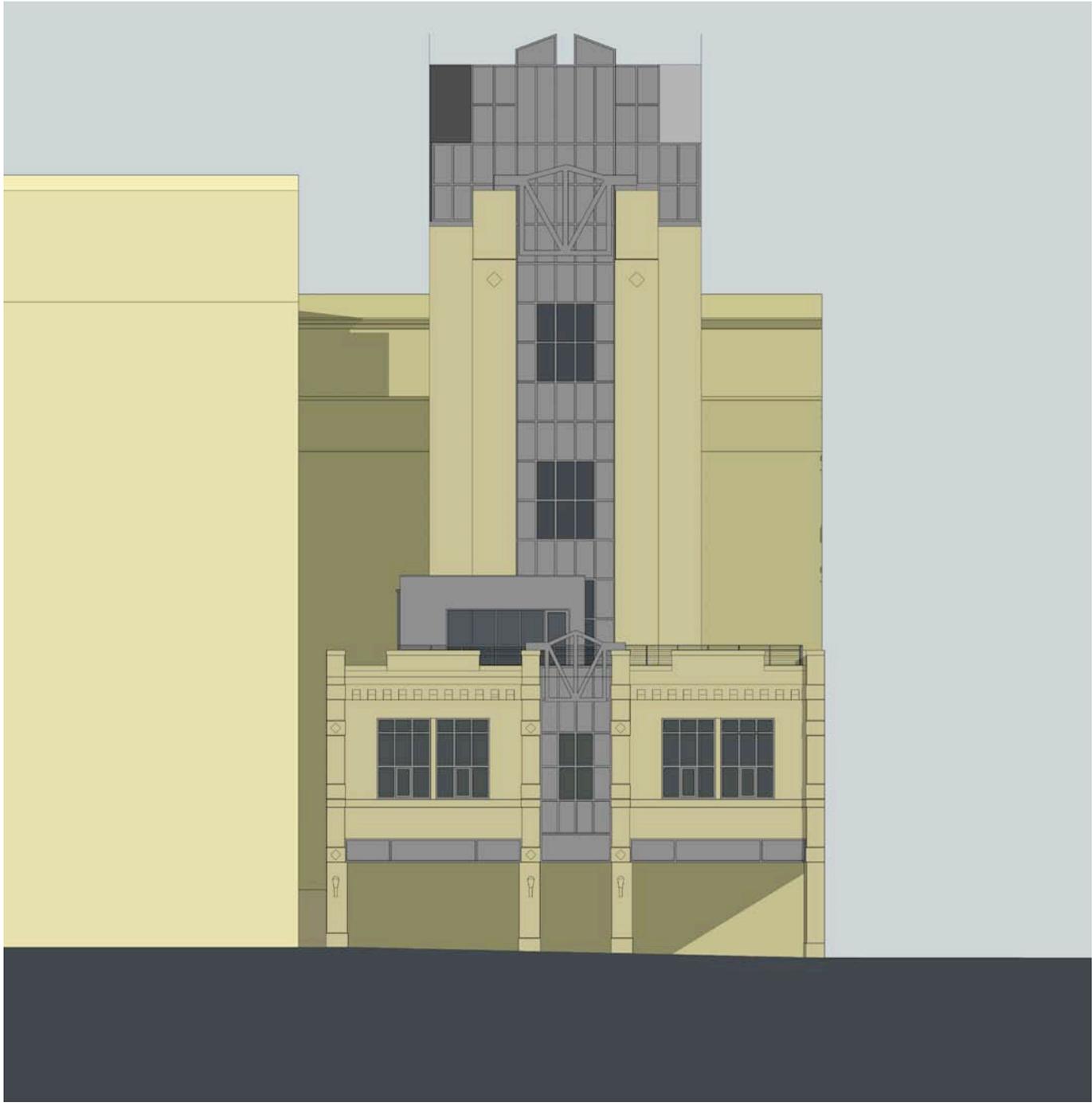
1 overall elevation / east
 3/64" = 1'-0"

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sherman residence / 2014-008 / new roof deck and living space

A8



1 rendered elevation / south

3/64" = 1'-0"



1 rendered elevation / east

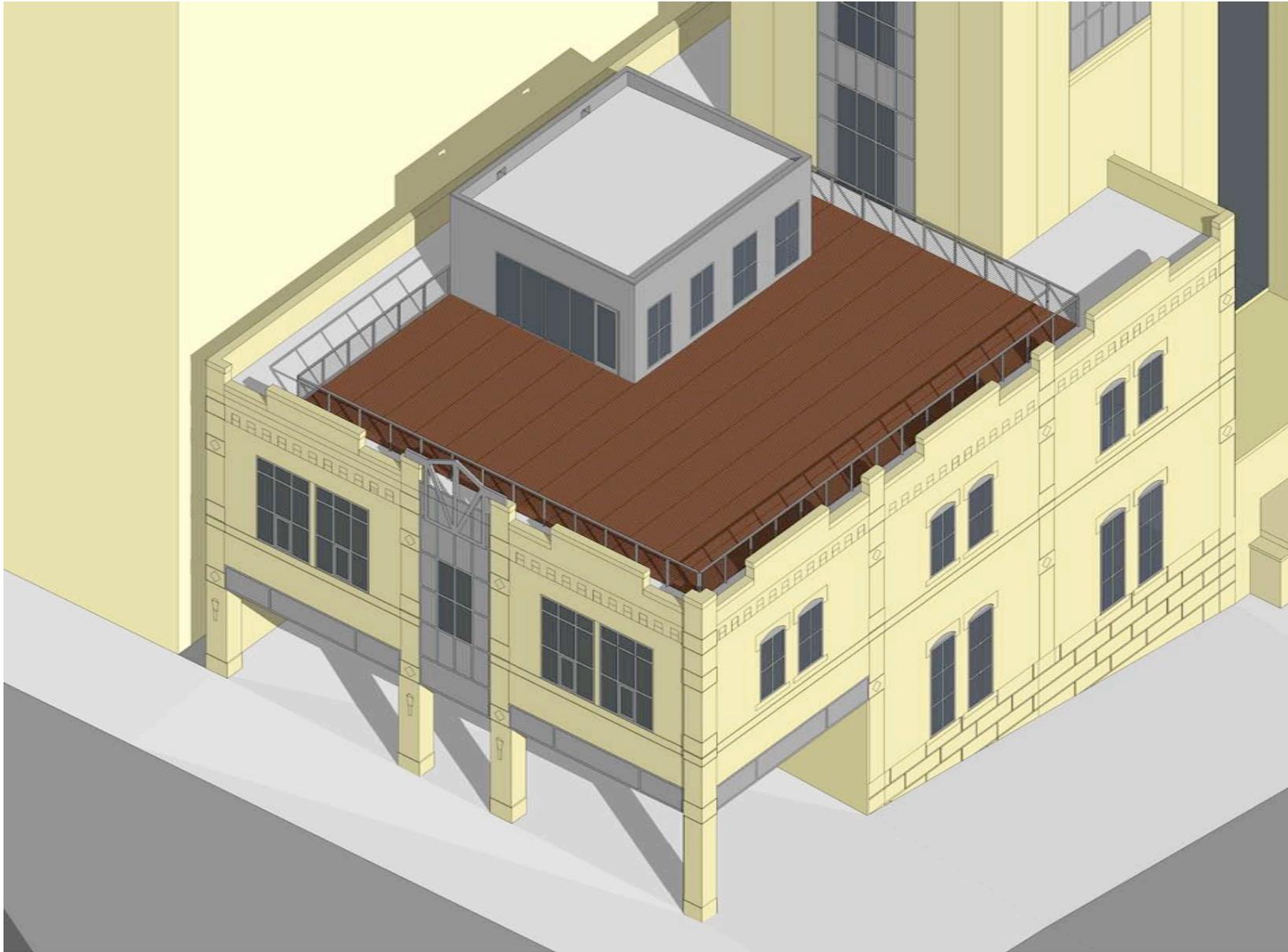
not to scale

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sherman residence / 2014-008 / new roof deck and living space

A10



1 aerial view

not to scale

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sherman residence / 2014-008 / new roof deck and living space

A11



1 perspective view from west (top) and south (bottom)

not to scale



1 perspective view from east

not to scale

18 june 2014

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sherman residence / 2014-008 / new roof deck and living space

A13



1 haer documentation photos / ca. 1971
not to scale

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sherman residence / 2014-008 / new roof deck and living space

A14

6 June 2014

Christie Rock
Neighborhood Coordinator
Downtown Minneapolis Neighborhood Association
40 S. 7th Street
Suite 212, PMB 172
Minneapolis, MN 55402

info@thedmna.org

Dear Ms. Rock,

I am writing on behalf of my client, Mr. Ken Sherman, to make you aware of a pending application before the Minneapolis Heritage Preservation Commission. Mr. Sherman resides in a condominium unit at 150 Portland Avenue where he is proposing to construct a roof top structure housing living and storage space as well as an exterior roof deck.

The property lies within the Saint Anthony Falls Historic District, which stipulates all new construction receive a Certificate of Appropriateness. As you are aware, all such applications require a public hearing, which will be scheduled and publicly noticed once the City determines the application to be complete.

If you have any questions about this project, please do not hesitate to contact me.



Phillip Koski, AIA
phillip@koskiarchitecture.com

6 June 2014

Council Member Jacob Frey
350 S. 5th St., Room 307
Minneapolis, MN 55415

jacob.frey@minneapolismn.gov

Dear Council Member Frey,

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