



# CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #8  
 June 9, 2014  
 BZZ-6506, PL-282 and  
 Vacation File #1631

## LAND USE APPLICATION SUMMARY

**Property Location:** 317 38th Street East, 3800 & 3808 Clinton Avenue South and 3805, 3815, 3817, 3821 & 3825 3rd Avenue South

**Project Name:** Friendship Store

**Prepared By:** [Becca Farrar-Hughes](#), Senior City Planner, (612) 673-3594

**Applicant:** Seward Co-op

**Project Contact:** Cresa, Attn: Mike Tobin

**Request:** To allow a new two-story or 35 foot tall, approximately 21,295 square foot grocery store.

**Required Applications:**

<b>Rezoning</b>	Petition to rezone the subject properties located at 317 38 <sup>th</sup> Street East, 3800 & 3808 Clinton Avenue South, and 3805 & 3815 3 <sup>rd</sup> Avenue South from the RIA (Single-family) District to the CI (Neighborhood Commercial) District.
<b>Rezoning</b>	Petition to rezone the subject properties located at 3817, 3821 & 3825 3 <sup>rd</sup> Avenue South to add the TP (Transitional Parking) Overlay District.
<b>Conditional Use Permit</b>	To establish a surface parking lot in the TP (Transitional Parking) Overlay District.
<b>Variance</b>	To reduce the front yard setback along the west property line adjacent to 3 <sup>rd</sup> Avenue South for the proposed parking lot from 20 feet to approximately 7 feet.
<b>Variance</b>	To reduce the front yard setback for the first 25 feet from south to north along the east property line adjacent to Clinton Avenue South from approximately 17 feet (established) to zero feet.
<b>Variance</b>	To reduce the rear yard setback for the proposed parking lot from 5 feet to approximately 2 feet, 3 inches.
<b>Variance</b>	Of the TP (Transitional Parking) Overlay District standards: (1) to increase the allowable width of a surface parking lot in the TP from 75 feet to approximately 136 feet; and (2) to not close the parking lot with a secure gate or other appropriate mechanism between the hours of 10 p.m. and 6 a.m.
<b>Variance</b>	To increase the maximum size of a commercial use in the CI district from 4,000 square feet to approximately 21,295 square feet.
<b>Variance</b>	To increase the maximum amount of impervious surface from 65% to approximately 79.3% on the RIA zoned parcels located at 3817, 3821 & 3825 3 <sup>rd</sup> Avenue South.
<b>Variance</b>	Of the roof sign standards regarding height, location and type.
<b>Site Plan Review</b>	To allow a new two-story or 35 foot tall, approximately 21,295 square foot grocery store on the subject properties.
<b>Preliminary and Final Plat</b>	To consolidate the underlying properties into two lots.

<b>Date Application Deemed Complete</b>	May 9, 2014	<b>Date Extension Letter Sent</b>	May 20, 2014
<b>End of 60-Day Decision Period</b>	July 8, 2014	<b>End of 120-Day Decision Period</b>	September 6, 2014

<b>Vacation</b>	To vacate a portion of the existing alley that runs north/south, and provides a new outlet to 3 <sup>rd</sup> Avenue South.
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## SITE DATA

<b>Existing Zoning</b>	RIA (Single-family) District
<b>Lot Area</b>	50,767 square feet / 1.17 acres
<b>Ward(s)</b>	8
<b>Neighborhood(s)</b>	Bryant Neighborhood Organization; and adjacent to Central Area Neighborhood Development Organization
<b>Designated Future Land Use</b>	Mixed-Use (parcels adjacent to 38 <sup>th</sup> ) and Urban Neighborhood
<b>Land Use Features</b>	The property is located along 38 <sup>th</sup> Street East which is a designed Community Corridor and approximately one block west of the designated Neighborhood Commercial Node located at 38 <sup>th</sup> Street East and 4 <sup>th</sup> Avenue South.
<b>Small Area Plan(s)</b>	<a href="#">The 38th Street and Chicago Avenue Small Area / Corridor Framework Plan</a>

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The cumulative development site consists of eight separate parcels that are all currently zoned RIA. Of the eight parcels, one has been most recently occupied by a church and accessory off-street parking (Greater Friendship Church), three are currently vacant, three are occupied by single-family homes and one is occupied by a non-conforming duplex. Seward Co-op owns all parcels except for the vacant parcel located at 3800 Clinton Avenue South which is owned by the City of Minneapolis.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** As previously noted, all parcels are currently zoned RIA. The applicant proposes to rezone a portion of the development site to the CI District while maintaining the RIA District designation on a portion and adding the TP Overlay District. There is a mixture of zoning classifications surrounding the subject site as Sabathani Community Center is located to the north of the site across 38<sup>th</sup> Street East and is zoned OR2. The properties to the south and east are zoned RIA, with the exception of those within the Neighborhood Commercial Node located at 38<sup>th</sup> Street East and 4<sup>th</sup> Avenue South (approximately one block east of the development site) which are zoned CI and ORI. The properties to the east across 3<sup>rd</sup> Avenue South are zoned R4 and CI. The uses within the area are varied and include institutional, commercial and residential uses.

**PROJECT DESCRIPTION.** The applicant proposes to demolish all existing structures within the boundaries of the development site and construct a new two-story or 35 foot tall, approximately 21,295 square foot grocery store on the premises with accessory off-street parking. The grocery store would be located on the northeast corner of the site (38<sup>th</sup> Street East and Clinton Avenue South) with principal entrances oriented towards the interior of the block and towards 38<sup>th</sup> Street East, and the surface parking lot would be located at the corner of 38<sup>th</sup> Street East and 3<sup>rd</sup> Avenue South. The surface parking lot as proposed consists of 70 spaces with access off of 38<sup>th</sup> Street East and 3<sup>rd</sup> Avenue South.

Based on the proposal, two rezoning applications are required as follows: (1) to rezone the properties located at 317 38<sup>th</sup> Street East, 3800 & 3808 Clinton Avenue South, and 3805 & 3815 3<sup>rd</sup> Avenue South to the CI (Neighborhood Commercial) District; and (2) to rezone the properties located at

3817, 3821 & 3825 3rd Avenue South to add the TP (Transitional Parking) Overlay District. In addition, a conditional use permit is required to establish a surface parking lot in the TP (Transitional Parking) Overlay District. A total of seven variances are required as follows: (1) to reduce the front yard setback along the west property line adjacent to 3rd Avenue South for the proposed parking lot from 20 feet to approximately 7 feet; (2) to reduce the front yard setback for the first 25 feet from south to north along the east property line adjacent to Clinton Avenue South from approximately 17 feet (established) to zero feet; (3) to reduce the rear yard setback for the proposed parking lot from 5 feet to approximately 2 feet, 3 inches; (4) of the TP (Transitional Parking) Overlay District standards to increase the allowable width of a surface parking lot in the TP from 75 feet to approximately 136 feet and to not close the parking lot with a secure gate or other appropriate mechanism between the hours of 10 p.m. and 6 a.m.; (5) to increase the maximum size of a commercial use in the CI district from 4,000 square feet to approximately 21,295 square feet; (6) to increase the maximum amount of impervious surface from 65% to approximately 79.3% on the RIA zoned parcels located at 3817, 3821 & 3825 3rd Avenue South; (7) of the roof sign standards regarding height, location and type. Site plan review, a preliminary and final plat to consolidate the underlying properties into two lots, and a partial vacation of the existing alley that runs north/south with the provision of a new outlet to 3rd Avenue South is also proposed.

The grocery store, with an accessory coffee shop, delicatessen and supporting spaces occupy the approximately 15,395 square foot footprint. The second story of the structure would be occupied by store offices, conference and classroom facilities totaling approximately 5,900 square feet. The exterior finish materials on the proposed structure include aluminum and clear glass storefronts and windows, multi-toned green fiber cement panels and pre-finished metal panels. The applicant is committed to attaining a minimum of LEED Silver certification for the proposed building.

The applicant previously attended two City Planning Commission Committee of the Whole meetings on January 30, 2013, and on March 6, 2014. The applicant has made slight modifications to the plans based on the feedback attained at the last meeting as follows:

- The side yard setback along the southeast side of the building was eliminated.
- A slight adjustment was made to the elevation of the building as the entrance on the northwest corner (near the elevator) was removed after receiving feedback that the mid-building entry at 38<sup>th</sup> Street East was more significant.
- In addition, the adjustment in the building elevation affected the building signage that was previously identified as a wall sign. The result of that alteration is that the signage is now considered a roof sign.
- The issues that were identified specifically pertaining to the north-facing garage on the property located at 3824 Clinton Avenue South and the alley vacation request have been resolved as well.

**PUBLIC COMMENTS.** Staff has not received official correspondence from the Bryant Neighborhood Organization but has received official correspondence from the adjacent neighborhood group, the Central Area Neighborhood Development Organization, and a significant amount of correspondence that is attached. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### REZONING

The Department of Community Planning and Economic Development has analyzed the application for a petition to rezone the subject properties located at 317 38th Street East, 3800 & 3808 Clinton Avenue South, and 3805 & 3815 3rd Avenue South from the R1A (Single-family) District to the C1 (Neighborhood Commercial) District based on the following findings:

I. *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

The proposed zoning would be consistent with the applicable policies of *The Minneapolis Plan for Sustainable Growth*. The parcels adjacent to 38<sup>th</sup> Street East are designated as Mixed-Use and the remainder of the parcels are designated as Urban Neighborhood. The Mixed-Use designation allows for mixed use development, however, there is no requirement that every building be mixed use. The Urban Neighborhood designation is defined as a predominantly residential area with a range of densities. The highest densities are generally concentrated around identified nodes and corridors.

The subject parcels are located along 38<sup>th</sup> Street East which is a designated Community Corridor in this location and approximately one block west of the designated Neighborhood Commercial Node located at 38<sup>th</sup> Street East and 4<sup>th</sup> Avenue South. Community Corridors are primarily residential with intermittent commercial uses clustered at intersections in nodes. Commercial uses are generally small-scale retail sales and services that serve the immediate neighborhood. Neighborhood Commercial Nodes generally provide retail or service uses on at least three corners of an intersection and serve the surrounding neighborhood, with a limited number of businesses serving a larger area.

The following policies and implementation steps of *The Minneapolis Plan for Sustainable Growth* apply to this proposal:

**Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.**

- I.1.4 Support context-sensitive regulations for development and land use, such as overlay districts, in order to promote additional land use objectives.
- I.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

**Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.**

- I.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

**Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.**

**Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.**

- I.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

**Land Use Policy 1.9: Through attention to the mix and intensity of land uses and transit service, the City will support development along Community Corridors that enhances residential livability and pedestrian access.**

**Economic Development Policy 4.2: Promote business start-ups, retention and expansion to bolster the existing economic base.**

**Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.**

It is Staff's position that the proposal to rezone a portion of the site from the RIA to the CI district is supported by the above listed policies and implementation steps.

There is an additional plan that must be considered when evaluating the proposal. The *38th Street and Chicago Avenue Small Area / Corridor Framework Plan* was adopted by the City Council in 2008. The purpose of this small area plan was to support the ongoing improvement and revitalization of the area by proposing specific policies and strategies to guide its evolution. A follow-up rezoning study was approved by the City Council in 2010; it resulted in changes to the zoning of property in the area of 38<sup>th</sup> and Chicago to reinforce the recommendations within the plan.

A portion of the development site, more specifically, the portion of the site that fronts on 38<sup>th</sup> Street East as being appropriate for mixed-use development up to four stories in height. The small area plan further calls for converting the existing alley on the block to either an L or T shaped alley in order to accommodate assembly of a larger parcel for redevelopment along 38<sup>th</sup> Street East.

It is Staff's position the proposal is in general conformance with the policies and strategies outlined in the *38th Street and Chicago Avenue Small Area / Corridor Framework Plan*.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

In general, rezoning the properties fronting on 38<sup>th</sup> Street East would be considered both in the public interest and in the interest of the property owner, as it would allow for the redevelopment of the properties as well as the establishment of a desired good/services use, both of which are supported by adopted city policies.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

The cumulative development site consists of eight separate parcels that are all currently zoned RIA. The applicant proposes to rezone five of these properties to the CI District. The remaining three parcels would maintain the RIA zoning classification but as proposed a TP Overlay District would

be applied to those parcels to allow the surface parking lot. There is a mixture of zoning classifications surrounding the subject site as Sabathani Community Center is located to the north of the site across 38th Street East and is zoned OR2. The properties to the south and east are zoned RIA, with the exception of those within the Neighborhood Commercial Node located at 38th Street East and 4th Avenue South (approximately one block east of the development site) which are zoned C1 and OR1. The properties to the east across 3rd Avenue South are zoned R4 and C1. The uses within the area are varied and include institutional, commercial and residential uses. Given the surrounding zoning classifications, the context and uses in the area, as well as adopted policy, Staff's position is that the C1 zoning district would be appropriate and compatible in this location.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

There are reasonable uses of the property permitted under the RIA district; however, in order for the property to be redeveloped in a manner that is consistent with adopted city policy the property requires a rezoning. In addition, adopted City policies support C1 zoning along Community Corridors, especially when proximate to Neighborhood Commercial Nodes. Staff has included an attachment to the staff report which further details the differences between the existing and proposed zoning classification for the properties.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

Under the 1963 Zoning Code, the subject properties were all zoned R3 (General) District. The properties surrounding the subject site were zoned R3, B3S-2 (Community Service) District and B2S-1 (Neighborhood Service) District. There have not been significant changes relative to the character and trend of development in the general area although there has been some recent investment including the townhomes located to the west across 3<sup>rd</sup> Avenue South. The amendment to alter the existing zoning classification on the properties would be expected to result in positive neighborhood impacts and would not adversely affect the positive transitions occurring in the area.

## REZONING

The Department of Community Planning and Economic Development has analyzed the application for a petition to rezone the subject properties located at 3817, 3821 & 3825 3rd Avenue South to add the TP (Transitional Parking) Overlay District based on the following [findings](#):

1. *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

According to *The Minneapolis Plan for Sustainable Growth*, the subject parcel that the applicant proposes to add the TP Overlay District to while maintaining the underlying RIA zoning is designated as Urban Neighborhood and is associated with parcels designated as Mixed-Use that are located along 38<sup>th</sup> Street East which is a designated Community Corridor in this location. Urban neighborhoods are defined as predominantly residential areas with a range of densities that may include other small-scale uses, including neighborhood-serving, commercial, and institutional and semi-public uses (for example, schools, community centers, religious institutions, public safety facilities, etc.) scattered throughout. More intensive non-residential uses may be located in neighborhoods closer to Downtown and around Growth Centers. Urban neighborhoods are generally not intended to accommodate significant new growth or density. The following policies and implementation steps of *The Minneapolis Plan for Sustainable Growth* apply to this proposal:

**Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.**

1.1.4 Support context-sensitive regulations for development and land use, such as overlay districts, in order to promote additional land use objectives.

1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

**Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.**

**Transportation Policy 2.3 states, “Encourage walking throughout the city by ensuring that routes are safe, comfortable, pleasant, and accessible.”**

**Transportation Policy 2.8 states, “Balance the demand for parking with objectives for improving the environment for transit, walking and bicycling, while supporting the city’s business community.”**

**Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.**

10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.

10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.

It is Staff’s position that the proposal to add the TP Overlay District while maintain the underlying RIA zoning on the parcels in order to accommodate additional parking and loading areas for the proposed grocery store is supported by the above listed policies and implementation steps.

There is an additional plan that must be considered when evaluating the proposal. The *38th Street and Chicago Avenue Small Area / Corridor Framework Plan* was adopted by the City Council in 2008. The purpose of this small area plan was to support the ongoing improvement and revitalization of the area by proposing specific policies and strategies to guide its evolution. A follow-up rezoning study was approved by the City Council in 2010; it resulted in changes to the zoning of property in the area of 38<sup>th</sup> and Chicago to reinforce the recommendations within the plan.

A portion of the development site, more specifically, the portion of the site that fronts on 38<sup>th</sup> Street East as being appropriate for mixed-use development up to four stories in height. The small area plan further calls for converting the existing alley on the block to either an L or T shaped alley in order to accommodate assembly of a larger parcel for redevelopment along 38<sup>th</sup> Street East.

It is Staff’s position the proposal is in general conformance with the policies and strategies outlined in the *38th Street and Chicago Avenue Small Area / Corridor Framework Plan*.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

Maintaining the underlying RIA zoning and rezoning to add the TP Overlay District could be considered both in the public interest and in the interest of the property owner as it would allow for additional surface parking stalls and additional maneuvering space that in turn supports a redevelopment of properties located along a Community Corridor. The proposed redevelopment is supported by adopted City policies and the TP Overlay maintains the underlying residential zoning which is also consistent with adopted city policies.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

As previously noted, the underlying RIA zoning would be maintained on the subject property and the TP Overlay District would be added to the site. The subject site is located in area that is predominantly zoned RIA, and would be combined into a larger development site that includes commercially zoned parcels along 38<sup>th</sup> Street East. The uses within the immediate area are predominantly residential and within the broader area are predominantly institutional, commercial and residential in nature. Given the surrounding zoning classifications, the context and uses in the area, as well as adopted City policy, Staff's position is that the TP Overlay District, due to its association with the larger abutting redevelopment, would be appropriate and compatible in this location.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

The current use of the properties as predominantly single-family residential dwellings as permitted in the RIA District is a reasonable use of the subject site. However, the request to rezone the property in order to add the TP Overlay District while maintaining the underlying RIA zoning in order to allow for additional parking accessory to the principal use of the larger site as a grocery store is also reasonable.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

As previously noted, under the 1963 Zoning Code, the subject properties were all zoned R3 (General) District. The properties surrounding the subject site were zoned R3, B3S-2 (Community Service) District and B2S-1 (Neighborhood Service) District. There have not been significant changes relative to the character and trend of development in the general area although there has been some recent investment including the townhomes located to the west across 3rd Avenue South. The amendment to alter the existing zoning classification by adding the TP Overlay while maintaining the underlying zoning designation would be appropriate given the context and the association with the larger redevelopment of the parcels.

## CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to establish a surface parking lot in the TP (Transitional Parking) Overlay District based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

In general, the proposal to allow additional surface parking spaces on the property to serve a proposed redevelopment of the abutting properties located along 38<sup>th</sup> Street East would not be detrimental to or endanger the public health, safety, comfort or general welfare provided the screening, fencing and landscaping proposed, as well as recommended, is installed and maintained.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

In general, the proposal to allow additional surface parking spaces to serve the proposed grocery store on the abutting parcels would not be injurious to the use and enjoyment of other property in the vicinity and would not impede the normal or orderly development and improvement of surrounding property. The applicant is proposing screening, fencing and landscaping on the premises. CPED Staff is further recommending that the Planning Commission require additional landscaping and improvements within the parking lot to improve visual buffering as well as public safety.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

As proposed the site would be accessed via two curb cuts, one off of 38<sup>th</sup> Street East and one off of 3<sup>rd</sup> Avenue South. A total of 70 surface parking stalls are proposed, 55 of those proposed surface parking stalls would be located in the proposed TP Overlay District. With CPED Staff recommendations, the overall number would be reduced, but still compliant with the minimum requirements.

The Public Works Department has reviewed a TDMP as well as the preliminary plan, and will review the final TDMP and final plan for compliance with standards related to access and circulation, drainage, and sewer/water connections. The applicant would be required to continue to work closely with the Public Works Department, the Plan Review Section of CPED and the various utility companies during the duration of the development should the applications be approved. This would be required to ensure that all procedures are followed and that the development complies with all city and other applicable requirements. The applicant is aware that all applicable plans are expected to incorporate any applicable comments or modifications as required by the Public Works Department.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Measures have been provided in regard to minimizing traffic congestion from a parking perspective as the applicant would be providing adequate off-street parking for both vehicles and bicycles (30 spaces) on the premises. Further, the site is located along and in close proximity to Metro Transit bus lines that run along both 38<sup>th</sup> Street East and 4<sup>th</sup> Avenue South.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

See the above listed response to finding #1 in the rezoning application to add the TP Overlay District. The policies and implementation steps outlined apply to the proposed CUP for an off-street parking facility in the TP Overlay District.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use/zoning applications are approved, the proposal will comply with all provisions of the CI and RIA Districts.

## VARIANCES

The Department of Community Planning and Economic Development has analyzed the following variance applications: (a) Variance to reduce the front yard setback along the west property line adjacent to 3rd Avenue South for the proposed parking lot from 20 feet to approximately 7 feet; (b) Variance to reduce the front yard setback for the first 25 feet from south to north along the east property line adjacent to Clinton Avenue South from approximately 17 feet (established) to zero feet; (c) Variance to reduce the rear yard setback for the proposed parking lot from 5 feet to approximately 2 feet, 3 inches; (d) Variance of the TP (Transitional Parking) Overlay District standards: (1) to increase the allowable width of a surface parking lot in the TP from 75 feet to approximately 136 feet; and (2) to not close the parking lot with a secure gate or other appropriate mechanism between the hours of 10 p.m. and 6 a.m.; (e) Variance to increase the maximum size of a commercial use in the CI district from 4,000 square feet to approximately 21,295 square feet; (f) Variance to increase the maximum amount of impervious surface from 65% to approximately 79.3% on the RIA zoned parcels located at 3817, 3821 & 3825 3rd Avenue South; (g) Variance of the roof sign standards regarding height, location and type; based on the following [findings](#):

- I. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*
  - Front yard setback along the west property line adjacent to 3rd Avenue South for the proposed parking lot from 20 feet to approximately 7 feet: The proposed development is subject to a total of three front yard setback requirements (along 38th Street East, Clinton Avenue South and 3rd Avenue South). The applicant proposes to vary the front yard setback requirement in the RIA District along 3rd Avenue South, where the TP Overlay District is proposed, in order to allow off-street parking in the required yard. The setback requirement is 20 feet and the applicant proposes to locate parking 7 feet from the property line. A 7-foot wide landscape buffer is provided adjacent to 3rd Avenue South and 14 off-street parking spaces encroach into the required front yard. In addition, a 7-foot wide interior landscaped yard and screening wall is provided and a new alley and small landscaped outlot is proposed between the property and the abutting residential use. Practical difficulties exist in complying with the ordinance in this specific circumstance; the request is reasonable and appropriate provided the landscaped yard and screening wall are incorporated into the final plans.
  - Front yard setback for the first 25 feet from south to north along the east property line adjacent to Clinton Avenue South from approximately 17 feet (established) to zero feet: The proposed development is subject to a total of three front yard setback requirements (along 38th Street East, Clinton Avenue South and 3rd Avenue South). The proposal complies within the 7 foot interior side yard in that location as the building is located 7 feet, 5 inches from the property line. Of the required 25 feet, the remaining approximately 18 feet, the building is non-compliant and is located at zero lot line. Practical difficulties exist in complying with the ordinance as eliminating a segment of the building in that location to comply with the setback would create an irregular building form and compromise the layout and interior functioning within the structure.

- Rear yard setback for the proposed parking lot from 5 feet to approximately 2 feet, 3 inches: The applicant proposes to reduce the required rear yard from 5 feet to 2 feet, 3 inches. A retaining wall and fencing would be located for screening purposes but no landscaping is provided in this location, which further doesn't comply with the 7-foot landscaping yard that is required in Chapter 530 of the Zoning Code. Staff finds that in this circumstance practical difficulties do not exist in complying with the ordinance, as there is no practical reason that the required yard and further the required 7-foot landscaped yard cannot be provided. The rear yard that is required is due to the fact that a public alley is located abutting residential uses across the public alley; in fact, residential uses surround the perimeter of the site on the block. Incorporating the required 5-foot yard and correspondingly the 7-foot landscaped yard as required by Chapter 530 would not only provide a better landscaped buffer within the parking lot area, but it will further reduce the variance request to increase the maximum amount of impervious surfaces on-site. Other than the perimeter landscaping proposed along 38<sup>th</sup> Street East, 3<sup>rd</sup> Avenue South and a portion of the south property line, the interior and eastern edge of the parking lot is devoid of landscaping. Providing landscaping along the eastern edge would greatly improve and soften the appearance of the large surface parking lot proposed on-site.
- TP (Transitional Parking) Overlay District standards: The applicant proposes to vary two of the TP Overlay District standards. The TP Overlay District was established to allow parking lots in residence and office residence districts when adjacent to a zoning district in need of additional parking for customers and employees. Parking lots in TP Overlay Districts are typically small in scale and subject to various standards including a location requirement which states that parcel on which the parking lot is located shall have a side lot line that abuts the zoning district served or shall be part of the zoning lot served; the widths of parking lots in the TP Overlay District are restricted to 75 feet; use is restricted to passenger automobiles; no outdoor sales, display or storage; entrances must be located 20 feet from adjacent property located in a residence/office residence district; the parking lot shall comply with landscaping and screening provisions in Chapter 530; and the parking lot must be closed with a secured gate or other appropriate mechanism between the hours of 10:00 p.m. and 6:00 a.m. As proposed, the parking lot complies with all standards except for the provisions limiting the width to 75 feet, as the parking lot is nearly 150 feet in length and requiring that the parking lot be secured between the hours of 10:00 p.m. and 6:00 a.m. Practical difficulties exist in complying with the ordinance as the expansion of width in this circumstance is necessary in order to meet the minimum parking requirement and further, it would not be practical to secure the portion of the parking lot located in the TP Overlay District as the curb cut is located on the commercially zoned parcel, not the residentially zoned parcel with the proposed TP Overlay District. The request to vary these two provisions is reasonable and appropriate given the circumstances.
- Maximum size of a commercial use in the CI district from 4,000 square feet to approximately 21,295 square feet: In general, in the CI district, all commercial uses are limited to 4,000 square feet. There are two exceptions to this: when there is no parking located between the principal structure and the street, the maximum is 6,000 square feet; and when the use meets the above-listed parking provision and is within a building of at least 2 stories, the maximum is 8,000 square feet. Given that the proposed development has parking fronting on two public streets, the commercial square footage is limited to 4,000 square feet. Practical difficulties exist in complying with the ordinance in this circumstance as the small area planning policies encourage the assembly of a larger development parcel to accommodate more intense development akin to what is typically permitted in C2 zoning;

however, adopted city policies that guide development along Community Corridors outside of designated Neighborhood Commercial Nodes are more in line with CI zoning. CI zoning encourages small scale commercial uses. Despite the competing policy guidance, overarching city policies call for equal access for all communities to essential goods and services.

- Increase the maximum amount of impervious surface from 65% to approximately 79.3% on the RIA zoned parcels: The parcels located in the CI District are not subject to a maximum amount of impervious surfaces; however, the RIA zoned parcels located in the TP Overlay District are subject to a maximum of 65% of the lot area. The applicant proposes to increase the amount of impervious surfaces to 79.3%. There are some practical difficulties that exist in complying with the ordinance but much of the increase is due to the fact that essentially very little interior landscaping is located within the parking lot and the perimeter landscaping required along the east property line is not proposed at all. With Staff's recommendation to deny the rear yard variance and to require compliance with the 7-foot yard requirement, the amount of impervious surfaces would be reduced on-site to a somewhat smaller percentage which is reasonable.
  - Roof sign standards regarding height, location and type: The Zoning Code was recently modified to allow a roof sign on the premises that meets certain provision. Roof signs facing a public street are subject to certain criteria; the proposed roof sign does not meet the standards pertaining to height, location and type, but does meet the sign area, square footage allowance. The proposed sign does not meet the height standard that mandates that a roof sign may have a vertical dimension of two feet per story but not more than a total of five feet above the roof line of a flat roofed building. The height of the sign is 13 feet, 10 inches taller than the roofline (overall the sign is 31 feet tall). The proposed sign does not meet the location standard as it does not meet the street-facing requirement as intended, (although it does face towards 3<sup>rd</sup> Avenue South) the sign extends outward more than 6 inches from the structure to approximately 3 feet and is located more than 5 feet from the face of the primary building wall. The proposed sign also does not meet the type standard as the proposed logo is not permanently affixed and attached to the building roof. Practical difficulties exist in complying with the ordinance as the applicant has minimized all other signage on the premises in order to have an iconic sign incorporated into the building design. Despite the sign's noncompliance with the regulations, the intent to minimize the overall signage on-site in conjunction with a larger roof sign is appropriate given the context.
2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*
- Front yard setback along the west property line adjacent to 3rd Avenue South for the proposed parking lot from 20 feet to approximately 7 feet: The proposal to reduce the front yard setback along the west property line for the proposed parking lot would be reasonable and would be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The landscaped buffers provided along 3<sup>rd</sup> Avenue South as well as the landscaping and retaining wall within the interior side yard abutting the new public alley extension, as well as the small landscaped outlot on the south side of the alley provide separation and screening that would help minimize impacts on the existing residential structure located south of the development site.

- Front yard setback for the first 25 feet from south to north along the east property line adjacent to Clinton Avenue South from approximately 17 feet (established) to zero feet: The proposal to reduce the front yard setback along the east property line for the proposed structure would be reasonable and would be keeping with the spirit and intent of the ordinance as well as the the comprehensive plan. The purpose of the setback provision is to prevent front yard encroachments and to provide a separation and buffer when commercial uses abut residential uses. The building complies with the minimum 7 foot wide interior landscaped yard abutting the residential property to the south. Allowing a building encroachment in this specific circumstance would be appropriate and reasonable.
- Rear yard setback for the proposed parking lot from 5 feet to approximately 2 feet, 3 inches: The proposal to reduce the rear yard setback for the proposed parking lot along the east property line would not be reasonable and would not be keeping with the spirit and the intent of the ordinance or the comprehensive plan. This is due to the fact that the request in conjunction with the impervious surface variance request and lack of compliance with several Chapter 530 standards regarding the landscaping and screening provisions is unnecessary and is a result of maximizing the surface parking provided on-site. The compilations of these requests is unnecessary and it is practical to require compliance with the required yard requirement in this location given the site's compliance with the minimum parking requirement.
- TP (Transitional Parking) Overlay District standards: The proposal to vary the TP Overlay provision regarding overall width and the securing of the parking lot is reasonable and would be in keeping with the spirit and intent of the ordinance and comprehensive plan. Adopted City policies support the overall development and the applicant complies with all but two of the additional provisions put in place to mitigate the impacts of surface parking lots in the TP Overlay District. The expansion of width in this circumstance is necessary in order to meet the minimum parking requirement and further, it would not be practical to secure the portion of the parking lot located in the TP Overlay District as the curb cut is located on the commercially zoned parcel, not the residentially zoned parcel with the proposed TP Overlay District.
- Maximum size of a commercial use in the CI district from 4,000 square feet to approximately 21,295 square feet: The proposal to increase the maximum size of a commercial use in the CI district from 4,000 square feet to approximately 21,295 square feet is reasonable and would be in keeping with the spirit and intent of the ordinance and comprehensive plan. In general, adopted city policies encourage the proposed development and provided the development complies with a greater window percentage of at least 50% along 38<sup>th</sup> Street East, and of at least 40% along 3<sup>rd</sup> Avenue South, the development would be in compliance with the requirement. Further, no shelving, signage, merchandise, newspaper racks or other mechanisms shall be placed in front of the required ground level transparent windows.
- Increase the maximum amount of impervious surface from 65% to approximately 79.3% on the RIA zoned parcels: The proposal to increase the maximum amount of impervious surface from 65% to approximately 79.3% on the RIA zoned parcels upon which most of the surface parking lot is proposed, would be in keeping with the spirit and intent of the ordinance and comprehensive plan. Staff's recommendation of denial on the rear yard variance and compliance with the 7-foot landscaping requirement would lessen the overall request which would be more appropriate and consistent given the proposed development.

- Roof sign standards regarding height, location and type: The proposal to allow a variance of the roof sign standards would be in keeping with the spirit and intent of the ordinance and comprehensive plan. The overall development has minimal signage despite the fact that a large amount of signage is allowed given the site's frontage on three public streets. Given the minimal wall signage proposed, and the attempt by the applicant to provide and interesting, iconic sign on the premises, the request is reasonable and appropriate.
3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*
- Front yard setback along the west property line adjacent to 3rd Avenue South for the proposed parking lot from 20 feet to approximately 7 feet: The proposal to reduce the required front yard setback for the parking lot along 3<sup>rd</sup> Avenue South from 20 feet to approximately 7 feet would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be determinantal to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The proposal is contextually appropriate and landscaping and screening buffers are proposed to minimize the impacts on the residential property to the south.
  - Front yard setback for the first 25 feet from south to north along the east property line adjacent to Clinton Avenue South from approximately 17 feet (established) to zero feet: The proposal to reduce the required front yard setback for the building located along Clinton Avenue South from 17 feet to zero feet would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be determinantal to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.
  - Rear yard setback for the proposed parking lot from 5 feet to approximately 2 feet, 3 inches: The proposal to reduce the rear yard setback for the parking lot abutting the public alley across from residential uses is not appropriate and would potentially adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, and could potentially be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.
  - TP (Transitional Parking) Overlay District standards: The proposal to allow a wider parking lot and to not gate the parking lot after hours in the TP Overlay District would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be determinantal to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.
  - Maximum size of a commercial use in the CI district from 4,000 square feet to approximately 21,295 square feet: The proposal to allow a larger commercial space than permitted in the CI District would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be determinantal to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties, provided the additional glazing proposed on the north and west elevations of the building is increased as recommended.

- Increase the maximum amount of impervious surface from 65% to approximately 79.3% on the RIA zoned parcels: The proposal to allow an increase in the maximum amount of impervious surface from 65% to 79.3% on the RIA zoned parcels in the parking lot would generally not be expected to adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be determinantal to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties, provided the plans are modified to comply with the required rear yard setback and Chapter 530 landscaping standards; thus reducing the overall amount of the request.
- Roof sign standards regarding height, location and type: The proposal to allow modifications to the provisions that govern roof signs would not be expected to adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be determinantal to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. In this circumstance, the overall reduced amount of signage and uniqueness of the sign are reasonable when evaluated in whole.

Section 543. 510 Sign Adjustments. In addition, the following findings are required for requested sign variances:

- (1) *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

The proposed roof sign would not significantly increase or lead to sign clutter or result in a sign that is inconsistent with the purpose of the zoning district. As previously noted, the applicant is proposing far less signage in relation to the amount allowed given the property's frontage on three public streets. Further, while the sign does not comply with standards related to height, location and type, the sign does meet the area allowance.

- (2) *The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

The proposed roof sign was developed concurrently with the building architecture to be fully integrated into the structure in terms of its size, shape, materials, color, illumination and character. The sign is partially composed of multi-toned green fiber cement panels similar to the structure providing color and material consistency. The size and shape of the proposed sign is blocky in appearance, similar to the blockiness of the building. The sign is internally illuminated.

## SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

**I. Conformance to all applicable standards of Chapter 530, Site Plan Review.****Building Placement and Design** – *Requires alternative compliance*

- The development parcel has frontage on three public streets. The proposed building is located up to the property line along Clinton Avenue South and along a portion of 38<sup>th</sup> Street East; the building placement reinforces the street wall in these locations. The building is not located up to the property line along 3<sup>rd</sup> Avenue South or for a portion of the street frontage along 38<sup>th</sup> Street East. Alternative compliance is required. CPED Staff would recommend that the Planning Commission grant alternative compliance as full compliance with this provision would not be possible given the proposed configuration of the building along with the parcel assemblage.
- The development parcel is subject to three front yard requirements. The first floor of the proposed building is not located more than eight feet from the front lot lines along Clinton Avenue South and along a portion of 38<sup>th</sup> Street East. However, the building does not extend to the corner along the entire 38<sup>th</sup> Street East frontage or to 3<sup>rd</sup> Avenue South. Alternative compliance is required. CPED Staff would recommend that the Planning Commission grant alternative compliance as full compliance with this provision would not be possible given the proposed layout of the development site. Further, given the fact that the site has frontage on three public streets, it would be difficult to fully comply with this provision regardless of the proposed layout.
- The building is constructed up to the property line along Clinton Avenue South and along a portion of 38<sup>th</sup> Street East. The area between the building and 3<sup>rd</sup> Avenue South consists of surface parking, drive aisles, a decorative fence and perimeter landscaping. The applicant proposes to incorporate small and larger diameter planters with vegetation and bike racks along 38<sup>th</sup> Street East. Street trees are proposed around the perimeter of the site within the public right-of-way along all three street frontages. Alternative compliance would be necessary. CPED Staff would recommend that the Planning Commission grant alternative compliance as the applicant has attempted to incorporate as many amenities as possible between the building and lot lines on the development site.
- There are two principal entrances to the building. One is located on the north elevation mid-building along 38<sup>th</sup> Street East and the other is located on the west elevation and faces towards 3<sup>rd</sup> Avenue South but is located approximately 115 feet away from the property line as surface parking is located on the corner. The entrance along 38<sup>th</sup> Street East is recessed approximately 6 feet from the property line but the doors face inward and not towards the street. The entrance facing 3<sup>rd</sup> Avenue South is oriented towards the surface parking lot, with the corner of the building inactive and incorporating no transparency due to the fact that the elevator storage room is situated in that location. Alternative compliance is necessary. CPED Staff would recommend that the Planning Commission allow for the recessed entry along 38<sup>th</sup> Street East, but require that the doors be oriented towards the street. Regarding the entrance facing towards 3<sup>rd</sup> Avenue South, CPED Staff would recommend that the Planning Commission require that at a minimum the elevator storage room be relocated and that transparent windows be incorporated at the corner of the building. Staff would further recommend that the applicant consider incorporating a secondary entrance into a common entrance vestibule off of 38<sup>th</sup> Street East in order to activate the corner of the building.
- The on-site surface parking is not located to the rear or interior of the site, as it has frontage for approximately 240 feet along 3<sup>rd</sup> Avenue South and for approximately 90 feet along 38<sup>th</sup> Street East. Alternative compliance would be necessary. CPED Staff would recommend that the Planning Commission grant alternative compliance as the L-shaped

configuration of the site and the fact that the parcel has frontage on three public streets would not make it practical to comply.

- The proposed building provides architectural detail and contains windows facing a portion of the on-site parking lot, along the public streets and sidewalks to create visual interest, and increase security of adjacent outdoor spaces.
- There are blank, uninterrupted walls that exceed 25 feet in length on the proposed south elevation of the building. Alternative compliance is necessary. CPED Staff would recommend that the Planning Commission require compliance with the provision as it would be practical to make alterations to the elevation that conform to the code provision.
- Exterior materials would be durable and as proposed would include aluminum and clear glass storefronts and windows, multi-toned green fiber cement panels and pre-finished metal panels. A portion of the south elevation is indicated as painted concrete block. This material is not permitted.
- The materials and the appearance of the rear and side walls are similar to and compatible with the front of the building.
- Concrete block is proposed on the south elevation of the building. The material is prohibited in this location.
- The non-residential building does not fully comply with the window provisions as the first floor of the west elevation of the building facing 3<sup>rd</sup> Avenue South/the surface parking lot does not meet the minimum 30% window requirement and the distribution is not more or less even. Along the east elevation of the building facing Clinton Avenue South, the building meets the 30% window requirement but the windows are not evenly distributed. Alternative compliance is necessary. Staff would recommend that the Planning Commission grant partial alternative compliance in this specific circumstance as it would be practical for the west elevation of the building facing 3<sup>rd</sup> Avenue South/ the surface parking lot to meet the window requirement, but that alternative compliance should be granted for the distribution of windows on both the west elevation facing 3<sup>rd</sup> Avenue South and the east elevation facing Clinton Avenue South as the areas where windows are not located are primarily back of house operations for loading and stocking of merchandise. The windows on the building are vertical in proportion. In addition, given the variance request to allow a 21,295 square foot building, or a building over five times larger than allowed, in lieu of the allowable 4,000 square foot building, Staff would recommend that the Planning Commission require a greater percentage of window openings on two of the three elevations of the building. More specifically on the north elevation facing 38<sup>th</sup> Street East, a minimum of 50%, and on the west elevation of the building facing 3<sup>rd</sup> Avenue South and the surface parking lot, a minimum of 40%. Currently the proposal complies with the 50% requirement on the north elevation of the building facing 38<sup>th</sup> Street East. With the incorporation of transparency at the corner of the building, the west elevation of the building would comply with 40%. Given the operations within the building on the east elevation of the building facing Clinton Avenue South, it would not be practical to require additional window openings beyond the 30%. See **Table I**.
- The proposal does not comply with the ground floor active functions provision as storage areas exceed 30% of linear frontage along the east elevation of the building facing Clinton Avenue South and along the west elevation of the building facing the surface parking lot and 3<sup>rd</sup> Avenue South. Alternative compliance is necessary. CPED Staff would recommend that the Planning Commission grant alternative compliance in this circumstance as approximately 35% of the elevation is inactive facing Clinton Avenue and approximately 32% is inactive facing 3<sup>rd</sup> Avenue South. The subject areas are primarily back of house operations for loading and stocking of merchandise.

- The proposed form and flat pitch of the roof line would be compatible with other buildings in the area. There are both flat and pitched roof lines in the vicinity.
- No parking garage is proposed. All proposed parking would be located within a surface parking lot.

**Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking**

Nonresidential Uses	Code Requirement		Proposed	
	38 <sup>th</sup> St: 1 <sup>st</sup> Floor	30% minimum	381 sq. ft.	56%
Clinton Ave: 1 <sup>st</sup> Floor	30% minimum	269 sq. ft.	34%	304 sq. ft.
3 <sup>rd</sup> Ave: 1 <sup>st</sup> Floor	30% minimum	269 sq. ft.	26%	230 sq. ft.
38 <sup>th</sup> St: 2 <sup>nd</sup> Floor	10% minimum	95 sq. ft.	25%	240 sq. ft.
Clinton Ave: 2 <sup>nd</sup> Floor	10% minimum	127 sq. ft.	24%	312 sq. ft.
3 <sup>rd</sup> Ave: 2 <sup>nd</sup> floor	10% minimum	127 sq. ft.	23%	288 sq. ft.

**Access and Circulation – Requires alternative compliance**

- A well-lit walkway at least four feet in width does not connect the building and the adjacent public sidewalks to the on-site parking. Alternative compliance is necessary. Staff would recommend that the Planning Commission grant alternative compliance; however, CPED Staff is concerned that the current configuration of the parking lot spaces and drive aisles and correspondingly the access off of 38<sup>th</sup> Street East may create an unsafe condition as the lack of walkways requires that patrons walk through drive-aisles and driveways getting to and from their vehicles. The condition would be improved with the closure of the curb cut on 38<sup>th</sup> Street East; however, the truck turning templates that have been provided suggest that the curb cut on 38<sup>th</sup> Street East is needed in order to accommodate on-site loading and deliveries. With the recommended condition of approval that the site plan accommodate the required 7-foot landscaped yard adjacent to the east property line, the parking lot will need to be slightly reconfigured. Based on Staff's calculations, it would be possible to incorporate a minimum of a four foot wide walkway that bisects the center island of parking at the sound end of the parking lot. With a four foot wide walkway and parallel spaces incorporated, it appears that a decrease in six off-street parking spaces would result. The site would however, still exceed the minimum off-street parking requirement and Public Works has stated that a reduction in the number of spaces would not adversely affect the TDMP. Further, where the walkway crosses the driveway off of 3<sup>rd</sup> Avenue South, and off of 38<sup>th</sup> Street East pavement markings could be incorporated to delineate the pedestrian crossing.
- No transit shelters are included in the development.
- The proposed development has been somewhat designed to minimize conflicts with pedestrian traffic and surrounding residential uses as there is no access to the public alley and curb cuts to the site have been minimized with one located off of 38<sup>th</sup> Street East and the other off of 3<sup>rd</sup> Avenue South. With the addition of landscaping along the east property line which is currently not proposed, in conjunction with the existing landscaping proposed along the south and west property lines should help to further mitigate potential impacts.
- A portion of the public alley which runs from north to south on the block is being vacated, as it currently runs through the development site. As proposed, the alley would dead-end at the south end of the parcel as it must continue to accommodate access to the residential properties that front on Clinton Avenue South, and a turnaround would be provided. The

public alley would be re-routed as an L to run from east to west in order to provide an outlet to 3<sup>rd</sup> Avenue South abutting the southern edge of the proposed surface parking lot. Public Works typically does not allow dead-end alleys but in this circumstance has agreed to recommend approval of the vacation and reconfiguration of the alley. There is no access to the alley from the subject development site.

- The site has been somewhat designed to minimize the use of impervious surfaces as the proposal meets the 20% landscaping requirement. Much of the site is covered by a large surface parking lot. Staff is recommending that the applicant incorporate additional permeable, landscaped space along the eastern edge of the parking lot.

### **Landscaping and Screening – Requires alternative compliance**

- In general, the composition and location of landscaped areas complement the scale of development and surroundings.
- The proposal is subject to landscaping and screening requirements along the north, south, east and west property lines.
- Along the north (abutting 38<sup>th</sup> Street East) and west (abutting 3<sup>rd</sup> Avenue South) property lines, the proposal meets the 7-foot landscaping and 60% opaque screening requirement due to a combination of decorative fencing and a hedge. Both perimeter areas comply with the tree requirement for each 25 linear feet of parking lot frontage.
- Along the south property line abutting the new public alley extension, the proposal meets the 7-foot landscaping and 95% opaque screening requirement due to a combination of decorative fencing, a hedge and partial retaining wall.
- Along the east property line abutting the existing public alley, the proposal is not meeting the 7-foot landscaping requirement as no landscaping is being proposed. A retaining wall and decorative fencing is proposed that meets the 95% opaque screening requirement. Alternative compliance is necessary. CPED Staff would recommend that the Planning Commission require that the site plan be modified to comply with the perimeter landscaping requirement in this circumstance. Given that the majority of the interior of the parking lot is not landscaped (only one of the proposed islands within the entire surface parking lot is landscaped), Staff feels strongly that all required perimeter areas comply with the required landscaping. In addition, compliance with the 7-foot landscaped yard in this location would eliminate the need for the yard variance, and reduce the overall request to increase the impervious surfaces as well. Without the required landscaping on the east side of the parking lot, the interior of the parking lot is glaringly absent of vegetation and greenery.
- The corners of the on-site parking lot are landscaped as applicable.
- In total, the parking lot as proposed consists of 70 spaces. There are several spaces in the parking lot that are not within 50 feet of a qualifying on-site deciduous tree. Alternative compliance would be required. Many of the trees proposed on the subject property are ornamental. With the recommendation that the property accommodate the required perimeter landscaping on the east side of the surface parking lot the majority of the spaces would comply; but not all spaces. CPED Staff would recommend that the Planning Commission grant alternative compliance for those spaces that are still unable to meet the requirement provided all required perimeter landscaping is installed. There are several islands proposed but only one that would be landscaped. The landscaped island is 10 feet in width and meets the requirement.
- The areas not occupied by buildings, etc., are covered by surface parking, unlandscaped islands, as well as landscaping. The unlandscaped islands would require alternative compliance. CPED Staff would recommend that the Planning Commission grant alternative

compliance in this specific circumstance as the truck turning movements result in the need to maneuver over the islands during the loading/unloading process.

- The installation and maintenance of all landscape materials shall comply with 530.210

**Table 2. Landscaping and Screening Requirements**

	Code Requirement	Proposed
Lot Area	--	50,767 sq. ft.
Building footprint	--	21,295 sq. ft.
Remaining Lot Area	--	29,472 sq. ft.
Landscaping Required	5,894 sq. ft.	6,165 sq. ft.
Canopy Trees (1: 500 sq. ft.)	12 trees	21 trees
Shrubs (1: 100 sq. ft.)	59 shrubs	213 shrubs

**Additional Standards – Meets requirements**

- The on-site parking lot has been designed to provide on-site retention and filtration of stormwater. A Stormwater Management Plan was required due to the size of the parcel. See details outlined in Sheet C3.01.
- Staff would not expect the proposal to block views and the proposal would not have impacts on blocking views of important city elements. The building would be expected to have minimal impacts on light, wind and air in relation to the surrounding area.
- The proposal appears to comply with standards regarding crime prevention through environmental design including but not limited to surveillance, lighting, space delineation, natural access control, etc. CPED Staff will request that a detailed lighting plan be submitted outlining the locations of all new light fixtures for security purposes.
- None of the subject properties have been historically designated nor are they located in a historic district. However, one of the properties, located at 3805 3<sup>rd</sup> Avenue South, that was review by CPED Staff as outlined in the Historic Review Letter dated April 23, 2014, was deemed to be a potential historic resource. Upon further review, CPED concluded that there was insufficient evidence to conclude that the building in question met one or more of the criteria for historic designation, thus the demolition of that structure did not require review by the City’s Heritage Preservation Commission. Although not required, the applicant has proposed to mitigate the loss of the structure by acknowledging and honoring the site’s history as the location for the establishment of Sabathani Community Center and the significance of the building to the neighborhood as an early hub of social, youth, and civic activity for the surrounding neighborhood. This dedication began from the start of the project, when the new location was named the Friendship Store, after the Greater Friendship Missionary Baptist Church. As an additional step, the final plat refers to the subdivision as “Seward Friendship”. For a more visual acknowledgement of the site’s history, Seward Co-op will be commissioning at least one exterior mural. While the specific concept has not been finalized, the intent is to capture the spirit and history of the building as the beginning of Sabathani Community Center and a place of neighborhood involvement. The salvaging of the stone dedication plaque, located on the building’s exterior, has been discussed. However, it is not known if it can be removed without damage. Ideas for reuse include donating it to the Greater Friendship Missionary Baptist Church, Sabathani Community Center, or incorporating it into the new Friendship Store.

**2. Conformance with all applicable regulations of the zoning ordinance.**

The proposed use as a grocery store is *permitted* in the CI District. The parking proposed in the RIA district requires a rezoning to the TP Overlay District and a CUP.

**Off-street Parking and Loading – Meets requirements**

**Table 3. Vehicle Parking Requirements Per Use (Chapter 541)**

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Grocery store	35	10% per 541.220 = 4 spaces	31	86	70
Total	35	4	31	86	70

**Table 4. Bicycle Parking and Loading Requirements (Chapter 541)**

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Grocery store	4	Not less than 50% = 2 spaces	--	30	1 large	1 large
Total	4	2	--	30	1 large	1 large

**Building Bulk and Height – Meets requirements**

**Table 5. Building Bulk and Height Requirements**

	Code Requirement	Proposed
Lot Area	--	50,767 sq. ft. / 1.17 acres
Gross Floor Area (GFA)	--	21,295 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	1.7	.42
Maximum Building Height	2.5 stories or 35 feet, whichever is less	2 stories or 35 ft.

**Residential Lot Requirements – Not applicable**

**Yard Requirements – Requires variances**

- The proposal requires variances to reduce the front yard setback along the west property line adjacent to 3rd Avenue South for the proposed parking lot from 20 feet to approximately 7 feet; to reduce the front yard setback for the first 25 feet from south to north along the east property line adjacent to Clinton Avenue South from approximately 17 feet (established) to zero feet; and to reduce the rear yard setback for the proposed parking lot from 5 feet to approximately 2 feet, 3 inches. See the above listed variance findings.

**Table 7. Minimum Yard Requirements**

	Zoning District	Overriding Regulations	Total Requirement	Proposed
<b>CI District</b>				
Front – 38 <sup>th</sup> St	0 ft.	--	0 ft.	0 – 6 ft.
Front – Clinton Ave	0 ft.	548.140 – 20 ft. for the first 25 ft. from south to north	20 ft. for the first 25 ft. from south to north	175 ft. to building wall, driveway located in the setback
Front – 3 <sup>rd</sup> Ave	0 ft.	548.140 – 17 ft. for the first 25 ft. from south to north	17 ft. for the first 25 ft. from south to north	0 ft.
Interior Side (south)	7 ft.	--	7 ft.	7 ft.
<b>RIA District</b>				
Front – 3 <sup>rd</sup> Ave	20 ft.	--	20 ft.	7 ft.
Interior Side (south)	5 ft.	--	5 ft.	7 ft.
Rear (east)	5 ft.	--	5 ft.	2 ft., 3 inches

**Signs – Requires a variance**

- Signs are subject to Chapters [531](#) and [543](#) of the Zoning Code. All new signs are required to meet the requirements of Chapter 543 of the zoning code. The applicant proposes to install several small non-illuminated wall signs, (1) there would be two mounted signs (one on the north and one on the west elevation) approximately 13 square feet in size that state: “Everyone Welcome”; and (2) there would be three mounted signs (one on the north, one on the west and one on the east elevation) approximately 16 square feet in size that state “Seward Community Co-op”. All of these signs are permitted in the CI District. The applicant also proposes to install an internally illuminated roof sign on the premises that requires a variance of the standards regarding height, location and type. Please see above listed variance findings.

**Table 8. Signage Summary**

	Number Allowed Per Zoning Lot	Proposed Number	Maximum Size Allocation	Maximum Area Per Sign	Proposed Area	Maximum Allowed Height	Proposed Height
Wall	No limit	5	1.5 sq. ft. per 1 ft. of primary building wall 38 <sup>th</sup> St: 238.5 sq. ft. Clinton Ave: 168 sq. ft. 3 <sup>rd</sup> Ave: 168 sq. ft.	45 sq. ft.	Two signs @ 13 sq. ft. & Three signs @ 16 sq. ft.	14 ft.	14 ft.
Roof	1	1	238.5 sq. ft. (total including wall signs)	--	147 sq. ft.	2 ft. per story, but not more than 5 ft. above the roofline	14 ft. above the roofline

**Dumpster Screening** – *Meets requirements with Conditions of Approval*

- A dumpster is located adjacent to the loading area. The dumpster shall be screened as required by Section 535.80 of the Zoning Code.

**Screening of Mechanical Equipment** – *Meets requirements with Conditions of Approval*

- No rooftop mechanical equipment is proposed. The mechanical equipment is proposed at the ground level and will be required to be screened in compliance with the regulations outlined in Section 535.70 of the Zoning Code.

**Lighting** – *Meets requirements*

- The applicant is proposing to install wall mounted light fixtures on the building and pole lighting within the parking lot. See Drawing Sheet ES.01 for locations. The exact fixtures haven't been selected however. A photometric plan was not submitted as part of the application but will be required with the final submittal. All lighting will need to be downcast and shielded to avoid undue glare. All lighting shall comply with Chapters 535 and 541 and CPED Staff shall review the details of the fixtures in the final review prior to permit issuance.

**Impervious Surface Area** – *Requires a variance*

- The CI zoned parcels are not subject to a maximum amount of impervious surface area; however, the RIA zoned parcels (with the proposed TP Overlay District) are subject to a maximum of 65%. The applicant has submitted an application to increase the maximum amount of impervious surface on these parcels from 65% to approximately 79.3%. See the above listed variance findings.

**Specific Development Standards – Meets requirements**

- Grocery store. The premises, all adjacent streets, sidewalks and alleys, and all sidewalks and alleys within one hundred (100) feet shall be inspected regularly for purposes of removing any litter found thereon.

**TP Overlay District Standards – Requires a variance**

- The proposal complies with all applicable TP Overlay District provisions with two exceptions; as such a variance has been requested: (1) to increase the allowable width of a surface parking lot in the TP from 75 feet to approximately 136 feet; and (2) to not close the parking lot with a secure gate or other appropriate mechanism between the hours of 10 p.m. and 6 a.m. See the above listed variance findings.

**3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.**

See the above listed response to finding #1 in the rezoning applications listed above. The policies and implementation steps apply to the site plan review application as well.

**4. Conformance with applicable development plans or objectives adopted by the City Council.**

See the above listed response to finding #1 in the rezoning applications. The policies outlined in the *38th Street and Chicago Avenue Small Area / Corridor Framework Plan* apply to the site plan review application as well.

**5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Reinforce street wall.** The development parcel has frontage on three public streets. The proposed building is located up to the property line along Clinton Avenue South and along a portion of 38th Street East; the building placement reinforces the street wall in these locations. The building is not located up to the property line along 3rd Avenue South or for a portion of the street frontage along 38th Street East. Alternative compliance is required. CPED Staff would recommend that the Planning Commission grant alternative compliance as full compliance with this provision would not be possible given the proposed configuration of the building along with the parcel assemblage.
- **Location of building.** The development parcel is subject to three front yard requirements. The first floor of the proposed building is not located more than eight feet from the front lot lines along Clinton Avenue South and along a portion of 38th Street East. However, the building does not extend to the corner along the entire 38th Street East frontage or to 3rd Avenue South. Alternative compliance is required. CPED Staff would recommend that the Planning Commission grant alternative compliance as full compliance with this provision would not be possible given the proposed layout of the development site. Further, given the fact that the site has frontage on three public streets, it would be difficult to fully comply with this provision regardless of the proposed layout.
- **Amenties between building and lot lines.** The building is constructed up to the property line along Clinton Avenue South and along a portion of 38th Street East. The area between the building and 3rd Avenue South consists of surface parking, drive aisles, a decorative fence and perimeter landscaping. The applicant proposes to incorporate small

and larger diameter planters with vegetation and bike racks along 38th Street East. Street trees are proposed around the perimeter of the site within the public right-of-way along all three street frontages. Alternative compliance would be necessary. CPED Staff would recommend that the Planning Commission grant alternative compliance as the applicant has attempted to incorporate as many amenities as possible between the building and lot lines on the development site.

- **Principal entrances.** There are two principal entrances to the building. One is located on the north elevation mid-building along 38th Street East and the other is located on the west elevation and faces towards 3rd Avenue South but is located approximately 115 feet away from the property line as surface parking is located on the corner. The entrance along 38th Street East is recessed approximately 6 feet from the property line but the doors face inward and not towards the street. The entrance facing 3rd Avenue South is oriented towards the surface parking lot, with the corner of the building inactive and incorporating no transparency due to the fact that the elevator storage room is situated in that location. Alternative compliance is necessary. CPED Staff would recommend that the Planning Commission allow for the recessed entry along 38th Street East, but require that the doors be oriented towards the street. Regarding the entrance facing towards 3rd Avenue South, CPED Staff would recommend that the Planning Commission require that at a minimum the elevator storage room be relocated and that transparent windows be incorporated at the corner of the building. Staff would further recommend that the applicant consider incorporating a secondary entrance into a common entrance vestibule off of 38th Street East in order to activate the corner of the building.
- **Parking lot to rear or interior of the site.** The on-site surface parking is not located to the rear or interior of the site, as it has frontage for approximately 240 feet along 3rd Avenue South and for approximately 90 feet along 38th Street East. Alternative compliance would be necessary. CPED Staff would recommend that the Planning Commission grant alternative compliance as the L-shaped configuration of the site and the fact that the parcel has frontage on three public streets would not make it practical to comply.
- **Blank wall provision.** There are blank, uninterrupted walls that exceed 25 feet in length on the proposed south elevation of the building. Alternative compliance is necessary. CPED Staff would recommend that the Planning Commission require compliance with the provision as it would be practical to make alterations to the elevation that conform to the code provision.
- **Non-residential window provision.** The non-residential building does not fully comply with the window provisions as the first floor of the west elevation of the building facing 3rd Avenue South/the surface parking lot does not meet the minimum 30% window requirement and the distribution is not more or less even. Along the east elevation of the building facing Clinton Avenue South, the building meets the 30% window requirement but the windows are not evenly distributed. Alternative compliance is necessary. Staff would recommend that the Planning Commission grant partial alternative compliance in this specific circumstance as it would be practical for the west elevation of the building facing 3rd Avenue South/ the surface parking lot to meet the window requirement, but that alternative compliance should be granted for the distribution of windows on both the west elevation facing 3rd Avenue South and the east elevation facing Clinton Avenue South as the areas where windows are not located are primarily back of house operations for loading and stocking of merchandise. The windows on the building are vertical in proportion. In addition, given the variance request to allow a 21,295 square foot building, or a building over five times larger than allowed, in lieu of the allowable 4,000 square foot building, Staff would recommend that the Planning Commission require a greater percentage of window openings on two of the three elevations of the building. More specifically on the north elevation

- facing 38th Street East, a minimum of 50%, and on the west elevation of the building facing 3rd Avenue South and the surface parking lot, a minimum of 40%. Currently the proposal complies with the 50% requirement on the north elevation of the building facing 38th Street East. With the incorporation of transparency at the corner of the building, the west elevation of the building would comply with 40%. Given the operations within the building on the east elevation of the building facing Clinton Avenue South, it would not be practical to require additional window openings beyond the 30%.
- **Ground floor active functions.** The proposal does not comply with the ground floor active functions provision as storage areas exceed 30% of linear frontage along the east elevation of the building facing Clinton Avenue South and along the west elevation of the building facing the surface parking lot and 3rd Avenue South. Alternative compliance is necessary. CPED Staff would recommend that the Planning Commission grant alternative compliance in this circumstance as approximately 35% of the elevation is inactive facing Clinton Avenue and approximately 32% is inactive facing 3rd Avenue South. The subject areas are primarily back of house operations for loading and stocking of merchandise.
  - **Walkway requirement.** A well-lit walkway at least four feet in width does not connect the building and the adjacent public sidewalks to the on-site parking. Alternative compliance is necessary. Staff would recommend that the Planning Commission grant alternative compliance; however, CPED Staff is concerned that the current configuration of the parking lot spaces and drive aisles and correspondingly the access off of 38<sup>th</sup> Street East may create an unsafe condition as the lack of walkways requires that patrons walk through drive-aisles and driveways getting to and from their vehicles. The condition would be improved with the closure of the curb cut on 38<sup>th</sup> Street East; however, the truck turning templates that have been provided suggest that the curb cut on 38<sup>th</sup> Street East is needed in order to accommodate on-site loading and deliveries. With the recommended condition of approval that the site plan accommodate the required 7-foot landscaped yard adjacent to the east property line, the parking lot will need to be slightly reconfigured. Based on Staff's calculations, it would be possible to incorporate a minimum of a four foot wide walkway that bisects the center island of parking at the sound end of the parking lot. With a four foot wide walkway and parallel spaces incorporated, it appears that a decrease in six off-street parking spaces would result. The site would however, still exceed the minimum off-street parking requirement and Public Works has stated that a reduction in the number of spaces would not adversely affect the TDMP. Further, where the walkway crosses the driveway off of 3<sup>rd</sup> Avenue South, and off of 38<sup>th</sup> Street East pavement markings could be incorporated to delineate the pedestrian crossing.
  - **Landscaping and screening requirement.** Along the east property line abutting the existing public alley, the proposal is not meeting the 7-foot landscaping requirement as no landscaping is being proposed. A retaining wall and decorative fencing is proposed that meets the 95% opaque screening requirement. Alternative compliance is necessary. CPED Staff would recommend that the Planning Commission require that the site plan be modified to comply with the perimeter landscaping requirement in this circumstance. Given that the majority of the interior of the parking lot is not landscaped (only one of the proposed islands within the entire surface parking lot is landscaped), Staff feels strongly that all required perimeter areas comply with the required landscaping. In addition, compliance with the 7 foot landscaped yard in this location would eliminate the need for the yard variance, and reduce the overall request to increase the impervious surfaces as well. Without the required landscaping on the east side of the parking lot, the interior of the parking lot is glaringly absent of vegetation and greenery.
  - **Proximity to trees.** There are several spaces in the parking lot that are not within 50 feet of a qualifying on-site deciduous tree. Alternative compliance would be required. Many of

the trees proposed on the subject property are ornamental. With the recommendation that the property accommodate the required perimeter landscaping on the east side of the surface parking lot the majority of the spaces would comply; but not all spaces. CPED Staff would recommend that the Planning Commission grant alternative compliance for those spaces that are still unable to meet the requirement provided all required perimeter landscaping is installed.

- **Areas not landscaped.** The areas not occupied by buildings, etc., are covered by surface parking, unlandscaped islands, as well as landscaping. The unlandscaped islands would require alternative compliance. CPED Staff would recommend that the Planning Commission grant alternative compliance in this specific circumstance as the truck turning movements result in the need to maneuver over the islands during the loading/unloading process.

## PRELIMINARY/FINAL PLAT – PL-282

The Department of Community Planning and Economic Development has analyzed the application for a Preliminary and Final Plat based on the following findings:

- I. *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

### Subdivision Regulations:

The applicant is proposing to consolidate several existing platted lots into two lots for the proposed development. Further, a new public alley extension to 3<sup>rd</sup> Avenue South is being dedicated as part of the final plat.

The subdivision is in conformance with the design requirements of the land subdivision regulations except for Section 598.230 (5), which requires utility easements to be five feet wide on side lot lines and ten feet wide on rear lot lines, where no alley is provided. In order to be in conformance with the land subdivision regulations, a variance of Section 598.230 (5) is required to eliminate the drainage and utility easements from both lots. While variances from the zoning code require a separate application, variances from the subdivision standards are done as a part of the subdivision application subject to the standards listed below.

**598.310. Variances.** Where the planning commission finds that hardships or practical difficulties may result from strict compliance with these regulations, or that the purposes of these regulations may be served to a greater extent by an alternative proposal, it may approve variances to any or all of the provisions of this chapter. In approving variances, the planning commission may require such conditions as it deems reasonable and necessary to secure substantially the objectives of the standards or requirements of these regulations. No variance shall be granted unless the planning commission makes the following findings:

- (1) There are special circumstances or conditions affecting the specific property such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of land.
- (2) The granting of the variance will not be detrimental to the public welfare or injurious to other property in the area in which the property is located.

Given the layout of the site, and the fact that the site is being fully redeveloped, proposed drainage and utilities would not match the required easement locations and are not necessary, so Staff recommends granting the variance in this specific circumstance.

Zoning Ordinance:

The use of the site as a grocery store is a permitted use in the CI District. A portion of the proposed surface parking lot requires a CUP in the TP Overlay District. If the requested land use/zoning applications are approved, the proposal would comply with all applicable provisions of the CI and RIA Districts.

Comprehensive Plan:

See the above listed response to finding #1 in the rezoning applications listed above. The policies and implementation steps apply to the subdivision application as well.

2. *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The applicant is proposing to consolidate several existing platted lots into two new lots. The proposed plat would not be injurious to the use and enjoyment of surrounding property, nor would it be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets. There are various conditions of approval on the overall development that should address any negative impacts.

3. *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

The site does not present the above hazards.

4. *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The parcels created by this application present no foreseeable difficulties for this development. No significant alterations to the land appear necessary.

5. *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

A Stormwater Management Plan has been submitted to Public Works for review. Public Works shall review and approve all drainage and sanitary system plans before building permits are issued.

## VACATION – 1631

**RESPONSES FROM UTILITIES AND AFFECTED PROPERTY OWNERS.** Minneapolis Public Works has reviewed the vacation petition and recommends approval. Xcel Energy has responded that an easement for existing electric distribution facilities is required until the developer pays for the relocation of existing facilities. CPED Staff would encourage the applicant to continue to work directly with Xcel Energy moving forward. CPED Staff would recommend that an easement be granted over the entire described area to be vacated at this time.

**FINDINGS.** The Department of Public Works and the Department of Community Planning and Economic Development find that the area proposed for vacation is not needed for any public purpose, and it is not part of a public transportation corridor, and that they can be vacated if any easements requested above are granted by the petitioner.

**FOR REZONINGS ONLY – from the RIA District to the CI District**

**ZONING PLATE NUMBER.** 31

**LEGAL DESCRIPTION.** Lots 1-3, and 12-14, Block 1, together with the vacated alley adjoining these lots, Wolverton's Second Addition to Minneapolis, Hennepin County, Minnesota.

**FOR REZONINGS ONLY – to add the TP Overlay District while maintaining the underlying RIA District**

**ZONING PLATE NUMBER.** 31

**LEGAL DESCRIPTION.** Lots 8-11, Block 1, Wolverton's Second Addition to Minneapolis, Hennepin County, Minnesota.

**RECOMMENDATIONS**

**Recommendation of the Department of Community Planning and Economic Development for the Rezoning:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission and City Council adopt the above findings and **approve** the rezoning petition to change the zoning classification of the property located at 317 38th Street East, 3800 & 3808 Clinton Avenue South, and 3805 & 3815 3rd Avenue South from the RIA (Single-family) District to the CI (Neighborhood Commercial) District.

**Recommendation of the Department of Community Planning and Economic Development for the Rezoning:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission and City Council adopt the above findings and **approve** the rezoning petition to change the zoning classification of the property located at 3817, 3821 & 3825 3rd Avenue South to add the TP (Transitional Parking) Overlay District. The underlying RIA District shall remain.

**Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to establish a surface parking lot in the TP (Transitional Parking) Overlay District, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the front yard setback along the west property line adjacent to 3rd Avenue South for the proposed parking lot from 20 feet to approximately 7 feet.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the front yard setback for the first 25 feet from south to north along the east property line adjacent to Clinton Avenue South from approximately 17 feet (established) to zero feet.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **deny** the application for a variance to reduce the rear yard setback for the proposed parking lot from 5 feet to approximately 2 feet, 3 inches.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance of the TP (Transitional Parking) Overlay District standards: (1) to increase the allowable width of a surface parking lot in the TP from 75 feet to approximately 136 feet; and (2) to not close the parking lot with a secure gate or other appropriate mechanism between the hours of 10 p.m. and 6 a.m.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase the maximum size of a commercial use in the CI district from 4,000 square feet to approximately 21,295 square feet, subject to the following conditions:

1. The building shall have a minimum of 50% transparent windows on the north elevation of the structure facing 38<sup>th</sup> Street East.
2. The building shall have a minimum of 40% transparent windows on the west elevation of the structure facing 3<sup>rd</sup> Avenue South.
3. No shelving, signage, merchandise, newspaper racks or other mechanisms shall be placed in front of the required ground level transparent windows.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase

the maximum amount of impervious surface from 65% to approximately 79.3% on the R1A zoned parcels located at 3817, 3821 & 3825 3rd Avenue South.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance of the roof sign standards regarding height, location and type.

**Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a new two-story or 35 foot tall, approximately 21,295 square foot grocery store on the subject properties located at 317 38th Street East, 3800 & 3808 Clinton Avenue South and 3805, 3815, 3817, 3821 & 3825 3rd Avenue South, subject to the following conditions:

1. CPED Staff review and approval of the final site, elevation, lighting and landscaping plans before building permits may be issued.
2. All site improvements shall be completed by June 9, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. All ground level windows must be transparent (non-reflective) as required by Section 530.120 of the Zoning Code.
4. The applicant shall coordinate construction of the new alley outlet to 3<sup>rd</sup> Avenue South with Public Works.
5. The building shall have a minimum of 50% transparent windows on the north elevation of the structure facing 38<sup>th</sup> Street East.
6. The building shall have a minimum of 40% transparent windows on the west elevation of the structure facing 3<sup>rd</sup> Avenue South.
7. No shelving, signage, merchandise, newspaper racks or other mechanisms shall be placed in front of the required ground level transparent windows.
8. No plain face concrete block is permitted.
9. The principal entrance on the north elevation of the building off of 38<sup>th</sup> Street East shall be reoriented so that the doors face the street.
10. The elevator storage room located at the corner of the building shall be relocated and transparent windows shall be incorporated to provide transparency. The applicant is further encouraged to consider incorporating a secondary entrance into a common entrance vestibule off of 38th Street East in order to activate the corner of the building.
11. The blank, uninterrupted walls that exceed 25 feet in length on the south elevation of the building shall be modified to comply with Section 530.120 of the Zoning Code.
12. A well-lit walkway at least 4 feet in width shall be provided that bisects the center island of parking at the south end of the parking lot. Where the walkway crosses the driveway off of 3rd Avenue South and off of 38th Street East, pavement markings shall be incorporated to delineate the pedestrian crossing.
13. The plan shall be modified along the east property line to meet the 7-foot landscaped yard requirement as outlined in Section 530.170 of the Zoning Code.
14. The dumpster shall be screened as required by Section 535.80 of the Zoning Code.
15. The mechanical equipment shall be screened in compliance with the regulations outlined in Section 535.70 of the Zoning Code.

**Recommendation of the Department of Community Planning and Economic Development for the Preliminary and Final Plat:**

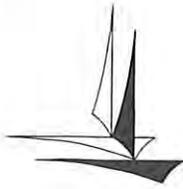
The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the Preliminary and Final Plat application and the drainage and utility variance for the properties located at 317 38th Street East, 3800 & 3808 Clinton Avenue South and 3805, 3815, 3817, 3821 & 3825 3rd Avenue South.

**Recommendation of the Department of Community Planning and Economic Development for the Vacation:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission and City Council adopt the above findings and **approve** the request to vacate a portion of the existing alley that runs north/south and provide a new outlet to 3rd Avenue South, subject to the retention of easements dedicated to Xcel Energy over the entire described area to be vacated.

**ATTACHMENTS**

1. PDR report
2. Written description and findings submitted by applicant
3. Memo from City Attorney Re: Petition for the Amendment of the Zoning Ordinance
4. Rezoning matrix
5. Zoning map
6. Site survey
7. Site plan
8. Plans
9. Building elevations
10. Photos
11. Neighborhood Correspondence



Minneapolis Development Review  
250 South 4<sup>th</sup> Street  
Room 300  
Minneapolis, MN 55415

## Preliminary Development Review Report

**Development Coordinator Assigned:** **PATRICIA MURZYN**  
**(612) 673-5827**  
**patricia.murzyn@minneapolismn.gov**

<b>Status *</b>
<b>RESUBMISSION REQUIRED</b>

<b>Tracking Number:</b>	PDR 1001186
<b>Applicant:</b>	SEWARD CO-OP 2823 E. FRANKLIN AVE MINNEAPOLIS, MN 55406
<b>Site Address:</b>	3800 CLINTON AVE 3808 CLINTON AVE 3805 3RD AVE S 3825 3RD AVE S 3821 3RD AVE S 3817 3RD AVE S 3815 3RD AVE S 317 38TH ST E
<b>Date Submitted:</b>	02-APR-2014
<b>Date Reviewed:</b>	09-APR-2014

### Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: [http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions\\_home.asp](http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp).

**DISCLAIMER:** *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

### Project Scope

A second Seward Community Coop building with surface parking (70 spaces) is proposed with an alley vacation and a required rezoning.

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\*Approved: You may continue to the next phase of developing your project.  
\*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

**Review Findings (by Discipline)****□ Zoning - Planning**

- Based on a cursory review of the submitted materials the following land use applications appear necessary:
- Rezoning from the R1A, Single-family district to the C1, Neighborhood Commercial district for the parcels at 3800-08 Clinton Avenue S, 3817 38th Street E and 3805-3815 3rd Avenue S;
- Rezoning to add the TP, Transitional Parking Overlay district to the parcels at 3817-3825 3rd Avenue S;
- A conditional use permit to increase the height of the building from 2.5 stories, 35 feet to 42.7 feet;
- A conditional use permit to establish a surface parking lot in the TP, Transitional Parking overlay district;
- A variance to increase the width of a surface parking lot in the TP, Transitional Parking overlay district from 75 feet to approximately 136 feet and to not gate the parking lot;
- Yard Variances:
  - A variance to decrease the front yard setback for the parking lot from 20 feet to approximately seven feet;
  - A variance to decrease the front yard setback for the first 25 feet along Clinton Avenue S from approximately 17 feet (established) to zero;
  - A variance to decrease the rear yard setback for the parking lot from five feet to 2.3 feet;
  - A variance to increase the maximum size of a commercial use in the C1 district from 4,000 square feet to approximately 22,700 square feet;
  - A variance to increase the maximum amount of impervious surface on the parcels at 3817-3825 3rd Avenue S;
  - A variance to increase the height of a wall sign in the C1 district from 14 feet to approximately 40 feet;
- Site plan review;
- Alley Vacation;
- Preliminary and Final Plat.
- Additional land use applications may be identified upon review of the formal land use application packet. These comments are for preliminary purposes only.

**□ Addressing**

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed building will be 315 38th Street East. This address meets the City of Minneapolis Street Naming and Address Standard requirements.

**□ Construction Code Services**

- Accessible parking spaces and access aisles to be 96" (8') width per 502.4.2. The access isle at the accessible parking space is shown as 5' width.
- Although not site plan related, the followings building code items were noted in a cursory review;
- Conference room 220 has room size area for more than 50 occupants which requires 2 exits from this space. Only one exit is shown.
- The 2nd flr prep kitchen with cooking facility is required to provide an accessible work surface per 1341.0902.
- Sales, Service and reception counters to be accessible per 1341.0904.
- For questions regarding these comments please contact Dave Heller at 612.673.3183 or [dave.heller@minneapolismn.gov](mailto:dave.heller@minneapolismn.gov).
- To schedule a commercial plan review meeting please call 612.673.5839.

**□ Parks - Forestry**

- Contact Paul Martinson (612-499-9209) regarding any questions related to adding, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>.
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
  - Park Dedication Fee Calculation =
  - Non-Residential Commercial Space = \$2,400.00
  - 5% of \$2,400 (Administration Fee) = \$120.00
  - Estimated Total Park Dedication Fee: = \$2,520.00
  - This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Patty Murzyn 612-673-5827.

**□ Right of Way**

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.
- Note to the Applicant: The alley vacation proposal is currently under review. As part of the site plan submittal, the Applicant shall provide documentation related to the resolution of the Garage access issue at 3824 Clinton Ave. S.

**□ Street Design**

- Note to the Applicant: A dead-end alley situation cannot be created during construction of the Project. Construction staging for alley removal and alley construction must be clearly identified in the site plans; the new alley outlet to 3rd Ave. S. shall be constructed and opened for use before the vacated alley section is closed. It is recommended that the Applicant provide documentation that establishes an agreement of the parties as to this intent.
- The proposed alley shall be designed and constructed to City standards. Please refer to the following: [http://www.minneapolismn.gov/publicworks/plates/public-works\\_road](http://www.minneapolismn.gov/publicworks/plates/public-works_road) . In addition to the details already provided, add the appropriate detail from the ROAD-3000 Series: Alleys (ROAD-3001) to the plans.
- The Applicant shall consider removal and replacement of all existing curb & gutter within the Project limits rather than a piecemeal replacement as shown in the plans.

**❑ Sidewalk**

- The ADA compliant pedestrian ramps are required at each proposed crosswalk; include the appropriate details and standard plans in the site plan; refer Mn/DOT Standard Plan 5-297.250 Pedestrian Curb Ramp Details at: <http://standardplans.dot.state.mn.us/stdplan.aspx>

**❑ Traffic and Parking**

- The current site plan indicates "stop signs" in the Public right-of-way; traffic control signs for parking lot operations shall be located on private property.
- Note to the Applicant: Considerations should be made to improve pedestrian safety in the parking lot; specifically pedestrians crossing the main drive aisle from E.38th St. to the Grocery Store entrance.

**❑ Water**

- Removal notes for existing utility connections are stated incorrectly. All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.

**❑ Fire Safety**

- Provide required automatic fire suppression and fire detection system throughout building.
- Fire department connection must be located on the address side of the building and within 150 feet of a fire hydrant.
- Provide and maintain fire department access at all times.

**❑ Environmental Health**

- City records indicate several aboveground and underground storage tanks for the heating fuel oil for the properties in the development. No records indicating that the storage tanks have been removed could be identified. The tanks, their contents and any impacted soil will need to be addressed as part of this development. See below for City of Minneapolis permit requirements.
- 3801 3rd Ave S 1500 gallon UST for Fuel Oil See Permit N27062
- 3805 3rd Ave S 265 gallon AST for Fuel Oil See Permit N22768
- 3805 3rd Ave S 4000 gallon UST for Fuel Oil See Permit N28455
- 3815 3rd Ave S 250 gallon AST for Fuel Oil See Permit N2878
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

**□ Sewer Design**

- Stormwater Management: As stormwater discharges are being directed to different segments of the City's storm sewer system, rate control requirements must be met for each discharge point to the City system, not just overall for the site. The plans and reports should be revised accordingly to demonstrate that rate control requirements are being met for each discharge point to the City system (i.e. 3rd Ave, 38th St, Clinton Ave and Alley). There are also storm sewer capacity limitations in this area, so it is requested that the peak discharge rates from the site be reduced as much as possible.
- The HydroCAD model for the 1.25" rain event should be provided demonstrating that the entire runoff volume is being infiltrated by the infiltration system. This model should include the underground infiltration system. If the entire 1.25" event is not being infiltrated, a water quality model (P8, WinSLAMM or other acceptable model) must be provided demonstrating the site achieves 70% TSS removal.
- The Utility Plan does not identify any structures as having a SAFL Baffle installed, as detailed on Sheet C5.04.
- The Backfill Detail for the underground storm system on Sheet C5.05 indicates a minimum 12" of stone below the pipe. The HydroCAD model appears to use only 6".
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or [paul.chellsen@minneapolismn.gov](mailto:paul.chellsen@minneapolismn.gov)).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- Utility Connections: Several of the existing sewer services to the property have not been identified as being removed, please note on the plan if these are to remain or note if they are also proposed to be removed. Please be aware these service connections are the responsibility of the property owner. If any damage occurs due to failure of any service the property owner is liable for the damage. This includes abandoned in-place services.
- It is preferred that the proposed sanitary sewer service connection be made at the existing manhole adjacent to where the proposed connection currently is. If this is not possible, please contact Jeremy Strehlo, 612-673-3973 for other connection requirements. The invert of the connection and the proposed pipe material should also be shown on the plans.
- Given the rate control restrictions for the storm sewer connection to the City main in 3rd Ave S, the proposed private storm sewer service pipe should be reduced in size as much as possible. Once the final size of the service pipe is determined, please contact Jeremy Strehlo, 612-673-3973 for connection requirements. The proposed pipe material for the service must also be shown on the plans.
- Utility: Please identify on the plans the pipe material for the existing City sanitary sewer mains adjacent to the property.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov).

**□ Historical Preservation Committee**

- There are no HPC flags on these properties. HPC review is not required at this time.
- HPC review is required for all wrecking permits pertaining to the removal of existing structures.

**□ Business Licensing**

- Continue to work with Patty Murzyn (612-673-5827) concerning a Food Plan Review, SAC determination and any Business License application submittal that will be required for this proposed project.

END OF REPORT

**SUBMITTED IN SUPPORT OF LAND USE APPLICATIONS FOR  
A COOPERATIVE GROCERY STORE  
AT 3800 CLINTON AVENUE SOUTH**

**FOR SEWARD COMMUNITY CO-OP INC.**

**GENERAL LAND USE APPLICATION**

**Proposed Use and Project Description.**

**Proposed Use.** Seward Community Co-op, Inc. proposes to develop a cooperative grocery store and associated parking and loading facilities, with offices for the store and a community classroom. The store will include the following departments and uses: customer service, produce, wellness, grocery, meat department, bulk food, cheese shop, deli, frozen foods, dairy cases, receiving areas, community classroom, and office space.

**Project Site.** The project site is in the Bryant Neighborhood, on the northerly portion of the block bounded by 38th Street East, Third Avenue South, Clinton Avenue South and 39th Street East. The site is across 38th Street from Sabathani Community Church. The project site consists of eight parcels. Four parcels contain single family residences. The northwest corner of the site, 3805 Third Avenue South, contains a commercial building that has most recently been used as a place of assembly. The remaining two parcels are vacant. The Applicant proposes to demolish all existing structures. The Applicant also proposes to vacate a portion of the existing north-south alley, to provide an uninterrupted street front along 38th Street East. In order to preserve convenient alley access to the existing single family residences that the alley serves, the Applicant proposes to dedicate and construct an east-west extension of the alley, with an entry from Third Street.

**Design and Construction.** The Applicant proposes to construct a two-story building, located on the northeast corner of the site, with customer parking on and loading docks on the west. The primary façade faces 38th Street East, with the entrance near the center of the street frontage. The grocery store, coffee shop, delicatessen and supporting spaces occupy the approximately 15,395 square foot first floor. The store offices, conference and classroom facilities occupy the 5,935 square foot second story, which is located above the entrance, on the west end of the building, at the center of the 38th Street frontage. The Clinton Avenue façade and the interior south façade, which are adjacent to an existing single family residence, are one-story.

The exterior finish materials are aluminum and clear glass storefronts and windows, multi-toned green fiber cement panels, and pre-finished metal panels. Clear glazing meets or exceeds code requirements. The building has two entrances. The main entrance to the store one faces east into the parking lot. A canopy that extend out over the sidewalk at 38<sup>th</sup> Street East ties that entrance to the street. The other entrance, at the center of the north façade of the building, facing 38<sup>th</sup> Street East, provides access to the store and the first floor community classroom.

The parking lot will provide parking for 70 cars, including handicap, standard and compact stall. The parking lot will also provide truck maneuvering space that will allow movement to and from the loading dock without using city streets for maneuvering. The entrances to the parking lot are located 100 feet or more from street intersections and the alley access.

The project also includes vacation of the north portion of the existing alley that runs north and south through the block to provide an uninterrupted site for development. The applicant will dedicate new right of way from mid-block in the existing alley west to Third Avenue, to create an L. To accommodate truck and car movement, the new right of way applicant will dedicate will include an expanded knuckle at the intersection of the two legs of the L and a widening of existing alley north of the knuckle. The applicant has also entered into a private agreement with one of the home owners that uses the alley to relocate or reconstruct that home owner's garage to make access from the reconfigured alley easier. The 38th Street and Chicago Avenue Small Area/Corridor Framework recommends converting the existing alley to an L or a T to accommodate assembling a larger parcel for development along 38<sup>th</sup> Street East. The Department of Public Works participated in the planning of the reconfigured alley.

**Environment and Sustainability.** The Applicant is committed to redeveloping the Friendship site to create a sustainable and environmentally friendly co-op location. The project has been registered with the U.S. Green Building Council (USGBC) for certification under the LEED 2009 for Retail: New Construction and Major Renovations rating system. While the final level of certification is not yet determined, the Owner and design team has set LEED Silver as the minimum acceptable level. Some of the key methods to achieve this goal include: supporting alternative transportation methods, quantity control of stormwater via underground storage, selecting exterior fixtures to reduce light pollution, selection of landscaping to reduce water usage, reducing water usage within the building through low flow plumbing fixtures, hiring a commissioning agent for enhanced commissioning activities, selecting HVAC systems to reduce energy usage and long-term costs, inclusion of HVAC sensors for ongoing measurement and verification of systems, recycling of construction waste, specifying low-emitting regional materials with recycled content, monitoring of indoor air quality during construction, implementing green cleaning practices once construction is complete, and establishing an educational program to teach customers about environmentally friendly building features.

**Current Zoning.** The Project site is in an R-1-A; Single-family District (low density) (Zoning Plate 31); no Overlay

**Guidance.** The Comprehensive Plan for the City of Minneapolis ( "The Minneapolis Plan for Sustainable Growth") guides the Property for "urban neighborhood":

The Property is also located in the 38th St. Community Corridor (43rd Ave. S. to Bryant Ave. S), and one block west of the Neighborhood Commercial Node of 38th Street East & 4th Ave. S. The Community Corridor consists of "primarily residential with intermittent commercial uses clustered at intersections in nodes, and commercial uses, generally small-scale retail sales and services, serving the immediate neighborhood."

The Neighborhood Commercial Node area "provides retail or service uses on at least three corners of an intersection, serves the surrounding neighborhood, with a limited number of businesses serving a larger area, and there is a mix of uses occurs within and among structures." The 38th Street and Chicago Avenue Small Area/Corridor Framework Plan also affects the Property. The purpose of this Framework Plan is to "support the ongoing improvement and revitalization of the area of 38th Street and Chicago Avenue by proposing specific policies and strategies to guide its evolution. In general terms, this plan seeks to intensify land uses in the project area by promoting

increased residential and commercial density along the Chicago Avenue and 38th Street transit corridors.”

The 38th Street and Chicago Avenue Small Area/Corridor Framework plan identifies the portion of the site that fronts on 38th Street E as being appropriate for mixed use development up to four stories in height. The Small Area Plan specifically recommends converting the existing alley to an L or a T to accommodate assembling a larger parcel for development along 38<sup>th</sup> Street East.

### SITE CHARACTERISTICS

Address/ PIN	3805 Third Avenue South	10-028-24-11-0222
	3815 Third Avenue South	10-028-24-11-0200
	3817 Third Avenue South	10-028-24-11-0199
	3821 Third Avenue South	10-028-24-11-0198
	3825 Third Avenue South	10-028-24-11-0197
	317 38th Street East	10-028-24-11-0190
	3800 Clinton Avenue South	10-028-24-11-0191
	3808 Clinton Avenue South	10-028-24-11-0192
Area	48,217 square feet (1.10 acres)	
Zoning Class	R-1-A; Single-family District (low density) (Zoning Plate 31) No Overlay Residential, Religious, Educational uses only; No commercial uses	

### PROJECT ZONING ANALYSIS

	Allowed/Required	Proposed
Site area (Sq. Ft.)	48,217 square feet	
FAR (GFA/Site)	1.7	
Gross Floor Area	1.7 x 48,217 = 81,969 max. building area	21,295 sf
GFA for use	4,000 square maximum retail area in C-1	Variance for 21,295 sf
Building Height	2.5 stories or 35 feet	35 feet building CUP for 45 feet sign blade
Setbacks	Clinton Avenue: Match 20 feet for 25 feet	Variance to 0
	Residential side yard: 5 feet + 2/story = 7 feet	7 feet
Parking for Grocery Store	Minimum: 1 car/500 sf above 4000 sf = (21,330 - 4,000)/500 = 35 cars Maximum: 1/200 x 21,330 = 107 cars;	70 total
TP Overlay	75 feet maximum parking lot width	Variance to 136 feet
	Gated and fenced parking	Variance for no gate
	Parking entrances 20 feet from residential	100 feet or more



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## Required Findings

DATE: March 31, 2014 (REV. May 9, 2014)  
FROM: Sara G. Phillips, AIA  
RE: Seward Co-op: Friendship Site  
Written Statements of Required Findings

**Application 1:** Rezoning from the R1A, Single-family district to the C1, Neighborhood Commercial district for the parcels at 3800-08 Clinton Avenue S, 3817 38<sup>th</sup> Street E, and 3805-3<sup>rd</sup> Avenue S.

The Project meets each of the five findings Section 525.280 requires for a zoning amendment as follows:

**1. Whether the amendment is consistent with the applicable policies of the comprehensive plan.**

Rezoning the parcels at 3800-08 Clinton Avenue S, 3817 38th Street E, and 3805-3rd Avenue S from the R1A, Single-family district to the C1, Neighborhood Commercial district will accommodate development of the grocery store on those lots, which development is consistent with the guidance for the property. Because the proposed zoning amendment will bring the property in conformance with the current comprehensive plan, the rezoning is not only consistent with the comprehensive plan; it is required by Minnesota Statutes Section 462.357 subdivision 1h.

Because the Applicant needs to demonstrate conformance with the comprehensive plan to satisfy the requirements for all of its applications, we address general conformance with the comprehensive plan in Exhibit 1 attached to this Statement.

**2. Whether the amendment is in the public interest and is not solely for the interest of a single property owner.**

The amendment is in the public interest because the amendment will bring the project site into conformance with the Minneapolis Plan for Sustainable Growth and the Development Objectives, which express the City's determination of what kind of development would be in the public interest.

The amendment is also in the public interest because it will bring a high-quality grocery store, with a commitment to sustainable practices and community education, to a residential neighborhood that is not served by a full-service grocery store.

**3. Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.**

The existing uses of other property within the general area of the property in question are compatible with the proposed rezoning. The proposed grocery store will serve the entire neighborhood, which is predominantly residential, including the existing predominantly single family development within the several blocks that surround the property. The rezoning will make it possible for the residents of the neighborhood to walk to a grocery store.

The rezoning is also consistent with the existing Sabathani Community Center across 38<sup>th</sup> Street from the project site. The Sabathani Community Center site (zoned OR2) is a community gathering place that is compatible with the proposed grocery store.

**4. Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.**

The property as currently zoned can be put to residential, religious, educational uses only. These are reasonable uses of the property, but they are not consistent with the guidance for the property, which calls for development of commercial uses that will serve the community, such as the proposed grocery store.

**5. Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.**

While there has not been a change in the character or trend of development in the general area of the property, the proposed development is consistent with the character and trend of development that the comprehensive plan contemplates for the general area. The proposed grocery store is the kind of development the comprehensive plan contemplates for the Community Corridor and the adjacent Neighborhood Commercial Node. Specifically, the proposed grocery store will provide the kind of services required to promote further development, including the higher density mixed use development the comprehensive plan envisions for the neighborhood.

**Application 2:** Rezoning to add the TP, Transitional Parking Overlay district, to the parcels at 3817 – 3825 3<sup>rd</sup> Avenue S.

The Project meets each of the five findings Section 525.280 requires for a zoning amendment as follows:

1. **Whether the amendment is consistent with the applicable policies of the comprehensive plan.** The proposed zoning amendment will bring the property in conformance with the current comprehensive plan, and therefore the rezoning is not only consistent with the comprehensive plan, it is required by Minnesota Statutes Section

462.357 subdivision 1h. Rezoning the parcels at 3817 – 3825 3rd Avenue South to the add the TP, Transitional Parking Overlay district, to the existing R1A district will allow the Applicant to use those parcels for parking to support the proposed grocery store. By using the overlay, instead of rezoning to C1, the site will be subject to more protective requirements of the TP Overlay and the site will not be available of other C1 uses. Because the Applicant needs to demonstrate conformance with the comprehensive plan to satisfy the requirements for all of its applications, we address general conformance with the comprehensive plan in Exhibit 1 attached to this Statement.

2. **Whether the amendment is in the public interest and is not solely for the interest of a single property owner.** The amendment is in the public interest for the reasons stated under Application 1, above: the amendment will serve comprehensive plan policies and support a grocery store that will serve the Bryant neighborhood.
3. **Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.** The existing uses of other property within the general area of the property in question are compatible with the proposed rezoning. The City created the TP Overlay specifically to allow commercial parking within a residential district under conditions that are compatible with the residential uses.
4. **Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.** The property can be put to residential, religious, educational uses only. These may be reasonable uses of the property, but the proposed parking is also reasonable and consistent with the guidance for the property.
5. **Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.** As stated under Application 1, above, the project is a catalyst for the change in character and trend in development in the general area of the property that the comprehensive plan contemplates.

**Application 3: No longer applicable.**

Due to the reclassification of the sign blade as a roof sign, Application 3 is no longer required.

**Application 4:** A conditional use permit to establish a surface parking lot in the TP, Transitional Parking overlay district.

The proposed development satisfies the six findings Section 525.340 requires the city planning commission to make before granting a conditional use permit as follows:

1. **The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.** The parking lot is designed to avoid detrimental effects. Planning staff recommended

rezoning the southwest portion of the property from R1A to the TP Transitional Parking overlay district, instead of C1, in order to maintain and protect the underlying residential district. The proposed parking lot complies with TP Overlay design standards that protect the adjacent residential uses from the adverse effects of an adjacent parking lot, including landscaping and a decorative fence around the perimeter of the parking lot. In addition, the parking lot is separated from the residential lots by a residential alley, which is not connected to the parking lot, and the parking lot access is over 100 feet from the entrance to the residential alley.

2. **The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.** The surface parking lot will help to minimize on-street parking by customers and therefore will help to preserve the normal and orderly development and improvement of the surrounding property.
3. **Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.** The surface parking lot allows for easy access to the property. The parking lot is an integral part of the stormwater management plan for the site, which complies with applicable standards. The surface parking lot does not add any burden to the utilities, access roads, drainage and other necessary facilities or measures that serve the project, which are adequate for the project.
4. **Adequate measures have been or will be taken to minimize traffic congestion in the public streets.** The surface parking lot allows for on-site truck maneuvering and helps to minimize on-street parking by customers, both of which will minimize traffic congestion in the public streets.
5. **The conditional use is consistent with the applicable policies of the comprehensive plan.** The parking lot conditional use is required to support the grocery store, which is consistent with the guidance for the property. Because the Applicant needs to demonstrate conformance with the comprehensive plan to satisfy the requirements for all of its applications, we address general conformance with the comprehensive plan in Exhibit 1 attached to this Statement.
6. **The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.** Applicant has designed the surface parking to conform to the applicable regulations of the TP, Transitional Parking Overlay district, subject to the variances requested below. The Site Plan Review will confirm compliance.

**Application 5:** A variance to increase the width of a surface parking lot in the TP, Transitional Parking overlay district from 75 feet to approximately 136 feet and to not gate the parking lot.

The proposed development meets the three required findings of Section 525.500 as follows:

1. **Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not**

**created by persons presently having an interest in the property and are not based on economic considerations alone.** The Applicant requires the variance because of the configuration of the property, which is unique to the property and not caused by the Applicant and is not based on economic circumstances at all. The Applicant designed the parking lot to comply with City requirements for the minimum number of parking spaces and minimum dimensions for drives, spaces, and loading facilities within the existing dimensions of a standard City half-block. In order to maintain the required number of parking spaces within the available land area, two rows of parking are required, which requires a paved width of 114 feet.

2. **The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.** The Applicant proposes to use the parking lot to support the grocery store, which is in keeping with the comprehensive plan. The design of the parking lot complies with the spirit and intent of the ordinance and comprehensive plan in all respects, including the number and dimensions of parking stalls, landscaping around the lot, and aesthetically pleasing fencing. The design of the parking lot also complies with the letter of ordinance in all respects except maximum width and front yard setback. The variance will also allow the Applicant to meet the intent of the TP Overlay by providing a more compact parking lot with lower impact on surrounding residential uses.
3. **The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.** The proposed width variance will protect the essential character of the locality by allowing the Applicant to concentrate the parking and loading in the northwest corner of the block, rather than acquiring more residential property for a longer, narrower, parking lot. The variance will protect or improve the health, safety, or welfare of the general public and of those utilizing the property or nearby properties by minimizing on-street parking and conflicts between automobile and pedestrian traffic.

**Application 6:** A variance to decrease the front yard setback for the parking lot from 20 feet to approximately 7 feet.

The proposed development meets the three required findings of Section 525.500 as follows:

1. **Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.** The Applicant requires the variance because of the configuration of the property, which is unique to the property and not caused by the Applicant and is not based on economic circumstances. The Applicant designed the parking lot to comply with City requirements for the minimum number of parking spaces and minimum dimensions for drives, spaces, and loading facilities within the existing dimensions of a standard City block, on a lot that fronts on three streets. It is not possible to provide the required number of parking spaces within the available land area

without the requested variance.

2. **The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.** The Applicant proposes to use the parking lot to support the grocery store, which is in keeping with the comprehensive plan. The design of the parking lot complies with the spirit and intent of the ordinance and comprehensive plan in all respects, including the number and dimensions of parking stalls, landscaping around the lot, and aesthetically pleasing fencing. The design of the parking lot also complies with the letter of ordinance in all respects except maximum width and setbacks. The variance will also allow the Applicant to meet the intent of the TP Overlay by providing a more compact parking lot with lower impact on surrounding residential uses. Without the variance the Applicant would either have to acquire more land for parking, rezone to C1, or obtain a variance to provide less parking.
3. **The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.** The proposed setback variance will protect the essential character of the locality by allowing the Applicant to concentrate the parking and loading in the northwest corner of the block, rather than acquiring more residential property for a longer, narrower, parking lot. The variance will protect or improve the health, safety, or welfare of the general public and of those utilizing the property or nearby properties by minimizing on-street parking and conflicts between automobile and pedestrian traffic.

**Application 7:** A variance to decrease the front yard setback for the first 25 feet along Clinton Avenue S from approximately 17 feet (established) to 0 feet.

The proposed development meets the three required findings of Section 525.500 as follows:

1. **Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.** The Applicant requires the variance because of the configuration of the property, which is unique to the property and not caused by the Applicant and is not based on economic circumstances. Practical considerations dictated the configuration of the building and the location of the building on the site. In particular: (A) The Applicant placed the building in the northeastern portion of the lot and the surface parking lot in the northwest portion, to keep store traffic off of Clinton Avenue and to accommodate on-site truck maneuvering. (B) The efficient layout of any grocery store requires a rectangular floor plan. (C) The dimensional requirements for the parking lot preclude locating the building elsewhere on the site. These design requirements and site constraints constitute substantial practical difficulties that prevent the Applicant from constructing the project without a variance from the 17 foot setback along Clinton.
2. **The property owner or authorized applicant proposes to use the property in a**

**reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.** The proposed use to the property as a grocery store is in keeping with the spirit, intent and letter of the ordinance and comprehensive plan. The design of the proposed grocery store building will also mitigate the potential impact of the setback variance, by keeping the portion of the building that is within the front yard setback to one story.

3. **The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.** A zero front yard setback where a commercial use meets a residential use is in fact consistent with the essential character of the area one block east of the property, at the northeast corner of 38<sup>th</sup> Street East and 4<sup>th</sup> Avenue South. The reduced setback will not affect the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

**Application 8:** A variance to decrease the rear yard setback for the parking lot from 5 feet to 2.3 feet.

The proposed development meets the three required findings of Section 525.500 as follows:

1. **Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.** The Applicant requires the variance because of the configuration of the property, which is unique to the property and not caused by the Applicant and is not based on economic circumstances. The Applicant needs the setback variance due to the dimensional requirements of the parking lot and the limitations of the lot size and to accommodate widening the existing alley that abuts the property. The Applicant is contributing a portion of the land along the rear yard that abuts the existing alley to widen the alley to at the request of the Department of Public Works, to accommodate traffic in the alley. These circumstances together present practical difficulties that are unique to the property that require the Applicant to request the setback variance.
2. **The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.** The proposed use to the property as a grocery store is in keeping with the spirit, intent and letter of the ordinance and comprehensive plan. The variance will allow the Applicant to build the parking with two rows of parking, which will allow the Applicant to comply with the parking requirements of the ordinance and to contribute land to widen the existing alley.
3. **The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.** The setback

variance will not alter the essential character of the locality, a portion of which is an existing parking lot with no setbacks or landscaping. The variance will accommodate widening the alley to allow adequate space for truck movements and easier access to the residences along the alley, which will improve the safety and welfare of those who use the alley and the general public. The variance will also accommodate construction of the parking lot, which will alleviate on-street parking and improve the safety and welfare of the general public and those who use the property and nearby properties.

**Application 9:** A variance to increase the maximum size of a commercial use in the C1 district from 4,000 square feet to approximately 22,000 GSF.

The proposed development meets the three required findings of Section 525.500 as follows:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.** The Applicant needs the variance because development of a full-service grocery store that is only 4,000 square feet is not feasible. City staff recommended rezoning the northern portion of the property to C1, rather to C2 which would allow a retail use up to 30,000 GSF, in order to limit alternative commercial uses for the property.
- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.** The use of the property as a full-service grocery store with a community classroom is in keeping with the spirit and intent of the ordinance and the comprehensive plan. The purpose of the C1 Neighborhood Commercial District is “to provide a convenient shopping environment of small scale retail sales and commercial services that are compatible with adjacent residential uses.” The proposed 22,000 GSF grocery is “small scale” for a grocery store and the store design and operations are compatible with the adjacent residential uses.
- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.** The proposed building is consistent with the scale of other commercial buildings along 38<sup>th</sup> Street East, including the existing commercial building at 3805 Third Avenue South that the Applicant proposes to demolish. The proposed grocery store is substantially smaller than the existing Sabathani Community Center building across 38<sup>th</sup> Street from the site. The area increase will promote the health, safety and welfare of the community by allowing the Applicant to build and operate a full-service grocery store with quality fresh foods.

**Application 10:** A variance to increase the maximum amount of impervious surface on the parcels at 3817 – 3825 3<sup>rd</sup> Avenue S.

The proposed development meets the three required findings of Section 525.500 as follows:

1. **Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.** The Applicant requires the variance because of the configuration of the property, which is unique to the property and not caused by the Applicant and is not based on economic circumstances. Section 546.150 of the ordinance limits impervious surfaces to not more than 65% of a lot in an R1 district. The Applicant cannot accommodate the required parking on the property and limit impervious surfaces to 65% of the property. In order to maintain the residential zoning the southwest portion of the property as part of a Transitional Parking overlay district is based on the recommendation of City staff in order to maintain the underlying residential district. The Applicant is requesting the variance instead of requesting rezoning to a C1 or C2 district, which would not have a similar restriction on impervious surfaces.
2. **The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.** The use of the property for a surface parking lot to support the grocery store and to minimize the congestion and quantity of customer parking on neighboring streets is in keeping with the spirit and intent of the ordinance.
3. **The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.** Impervious parking surfaces are consistent with the essential character of the commercial uses within the locality, including the existing 38<sup>th</sup> Street frontage of the property. Landscaping around the perimeter of the parking lot will be consistent with the character of the residential front yards along Third Avenue South. The stormwater management plan for the site will address any health, safety and welfare impacts. By creating an adequately sized parking lot on the property, traffic congestion and customer parking on neighboring streets will be decreasing, therefore will improve the safety of the general public.

**Application 11: No longer applicable.**

Due to the reclassification of the sign blade as a roof sign, Application 11 is no longer required.

**Application 12: Site Plan Review to satisfy Chapter 530.**

The proposed development meets the required findings of Section 530.70 as follows:

1. **The site plan conforms to all applicable standards of chapter 530.** The plans prepared and submitted by LHB on behalf of the Applicant comply with the requirements of Chapter 530. The Applicant is not seeking approval of alternative compliance on any Site Plan Review standard.

The building is all placed on the property lines along 38<sup>th</sup> Street East and Clinton Avenue to reinforce the street grid.

The principal entrance is on the northwest corner of the building, facing north to 38<sup>th</sup> Street East for pedestrian access and west to the parking lot for customer that arrive by car.

At least thirty percent (30%) of the walls on the first floor and 10% of the walls on the second floor that face public street are windows will clear glazing. Clear storefronts provide views in and out of the building to and from the parking lot and sidewalks.

Vehicular access and circulation is designed to minimize conflicts with pedestrian traffic and with surrounding residential uses. Access to the parking lot is located mid-block along 38<sup>th</sup> Street and over 100 feet from the corner and the alley access along Third Avenue South.

The project complies with the landscaping and screening requirements of Chapter 530.

2. **The site plan conforms to all applicable regulations of this zoning ordinance and is consistent with the applicable policies of the comprehensive plan and applicable small area plans adopted by the city council.** The Site Plan is designed in accordance with all requirements of the Minneapolis Code of Ordinances, the Minnesota State Building Code and other applicable law, subject to approval of the variances Applicant has requested. See Exhibit A for discussion of compliance with the comprehensive plan and small area plans.

**Application 13: Subdivision.** The Applicant respectfully requests approval of a subdivision of the project site to accommodate zoning the northeast portion of the property C1 for the grocery store and the western portion of the property at 3817 – 3825 3rd Avenue South TP, Transitional Parking Overlay district, for the parking lot.

The proposed development satisfies the required subdivision findings as follows:

1. **The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.** The preliminary and final plat prepared and submitted by Civil Site Group on behalf of the Applicant will conform with Chapter 598 and Minnesota Statutes. See Exhibit A for discussion of conformance with the comprehensive plan.
2. **The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.** The subdivision itself will have little or no effect in its immediate neighbors, except the beneficial effects of and the enhanced value of being in a neighborhood served by a full service grocery store. Traffic impacts are addressed in the TDMP the Applicant submitted with its general land use applications. The subdivision will not add substantially to congestion in the public streets because the parking area has been designed to accommodate off-street parking and loading, with entrances away from the intersections and alley entrances.

3. **All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.** The land intended for the building site is flat and is served by urban utilities with sufficient capacity for the project. There are no high water table, soil conditions, improper drainage, steep slopes, rock formations, or other hazards that could affect the residents of the subdivision, or its neighbors. Storm water will be detained on site pursuant to applicable law.
4. **The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.** The subdivision will create two lawful lots, each of which will have access to a public street and each of which could otherwise be developed independently. The Applicant proposes one driveway entrance to the parking lot from 38<sup>th</sup> Street East and one from Third Avenue South, both at safe distances from the intersection of 38<sup>th</sup> Street East and Third Avenue South and the alley entrance on Third Avenue South.
5. **The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.** The Site Plans the Applicant submitted in connection with this Application were prepared in accordance with applicable law. The contractor will be required to comply with temporary erosion control requirements during construction.

**Application 14:** A variance to the roof sign standards with regard to the height, location, and type.

The proposed development meets the three required findings of Section 525.500 as follows:

1. **Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.** The Applicant needs the variance because development of the sign was based on the provisions for wall signs, as published standards on roof signs were not available. The sign height, location, and type are integral to the building architecture and responds to the height of Sabathani Community Center, located to the north of the property.
2. **The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.** The use of the property is in keeping with the spirit and intent of the ordinance and the comprehensive plan. The stated purpose

of on-premise signs is to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property, and to protect the public health, safety, and welfare. The current design of the sign element meets these requirements.

3. **The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.** The proposed roof sign is consistent with the scale of other commercial buildings along 38<sup>th</sup> Street East, including Sabathani Community Center across 38<sup>th</sup> Street from the site. As indicated by the submitted shadow study, the location, height, and type of sign does not impact adjacent uses.

**In addition, the following findings are required due to the application requesting a sign variance:**

1. **The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.** The roof sign is the only sizable signage, other than standalone letters spelling "Seward Community Co-op" and "Everyone Welcome", so sign clutter will not result from the variance request. The purpose of the zoning district is to encourage retail sales and commercial services that are compatible with adjacent residential uses, and the sign is supporting retail sales in the C1 zoning district.
2. **The sign adjustment will allow a sign that relates in size shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.** The roof sign design has been developed concurrently with the building architecture to be fully integrated with the building, in terms of its size, shape, materials, color, illumination and character.

## EXHIBIT A

### Seward Co-op: Friendship Site

#### COMPREHENSIVE PLAN

This Exhibit A is attached to and incorporated in the Applications of Seward Co-op for land use approvals for its proposed full service grocery store in the Bryant Neighborhood, in support of the required finding in each of the thirteen approvals that the proposed project is consistent with the applicable policies of the comprehensive plan of the City of Minneapolis.

**The proposed Seward Co-op Friendship Store is consistent with and supported by the following policies of The Minneapolis Plan for Sustainable Growth and The 38th Street and Chicago Avenue Small Area/Corridor Framework Plan:**

#### MINNEAPOLIS PLAN FOR SUSTAINABLE GROWTH

**Chapter 1: Land Use.** The project is consistent with City policies supporting high quality urban design and transit, bicycling and walking as alternatives to cars. The project is oriented with its entrances and the highest level of activity and densest development on 38<sup>th</sup> Street East, while buffering the residential uses. The applicant selected the site for its accessibility to transit and its convenience to shopper who will walk or bike to the store.

*1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.*

*1.2.2 Ensure that lighting and signage associated with on-residential uses do not create negative impacts for residential properties.*

*1.2.3 Lessen the negative impacts of non-residential uses on residential areas through controls on noise, odors, and hours open to the public.*

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*Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.*

*1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.*

The project, as the first new project in the 38<sup>th</sup> Street East Commercial Corridor, is consistent with the City's policies for promoting strong mixed use areas.

*Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.*

*1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.*

*1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.*

*1.4.3 Continue to implement land use controls applicable to all uses and structures located in commercial districts and corridors, including but not limited to maximum occupancy standards, hours open to the public, truck parking, provisions for increasing the maximum height of structures, lot dimension requirements, density bonuses, yard requirements, and enclosed building requirements.*

*1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide "eyes on the street".*

*Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.*

*1.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.*

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*1.5.2 Facilitate the redevelopment of underutilized commercial areas by evaluating possible land use changes against potential impacts on the surrounding neighborhood.*

*Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.*

**Chapter 6: Environment.** The Project is consistent with policies that support reduction of greenhouse gas emissions through reduction of dependence on cars for transportation and promotion of sustainable practices. The project has been registered with the U.S. Green Building Council (USGBC) for certification under the LEED 2009 for Retail: New Construction and Major Renovations rating system. While the final level of certification is not yet determined, the Owner and design team has set LEED Silver as the minimum acceptable level.

*Policy 6.3: Encourage sustainable design practices in the planning, construction and operations of new developments, large additions and building renovations.*

*6.3.1 Encourage developments to implement sustainable design practices during programming and design, deconstruction and construction, and operations and maintenance.*

*6.3.2 Ensure that developments use storm water BMPs (Best Management Practices).*

*6.3.3 Encourage developments to use life-cycle assessments, commissioning and post occupancy evaluations.*

*6.3.8 Promote businesses, goods and services that implement an environmentally friendly reuse and recycling system.*

*6.3.10 Promote climate sensitive site and building design practices.*

*Policy 6.5: Support the efficient use of land and development that reduces the reliance on fossil fuels.*

*6.5.1 Support transit-oriented development, mixed-use projects and other multi-modal development patterns.*

*6.5.2 Encourage development projects that maximize the development capacity of the site while at the same time reducing non-renewable energy needs.*

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Some of the key methods to achieve these goals include: supporting alternative transportation methods, quantity control of stormwater via underground storage, selecting exterior fixtures to reduce light pollution, selection of landscaping to reduce water usage, reducing water usage within the building through low flow plumbing fixtures, hiring a commissioning agent for enhanced commissioning activities, selecting HVAC systems to reduce energy usage and long-term costs, inclusion of HVAC sensors for ongoing measurement and verification of systems, recycling of construction waste, specifying low-emitting regional materials with recycled content, monitoring of indoor air quality during construction, implementing green cleaning practices once construction is complete, and establishing an educational program to teach customers about environmentally friendly building features.

**Chapter 10: Urban Design.** The project is consistent with urban design policies that promote a scale and density that is appropriate for the location, traditional building form, and pedestrian scale features at street level. The Project will have clear storefront windows on the three public faces to the parking lot, 38<sup>th</sup> Street East, and Clinton Avenue. The scale and design are consistent with historical one- and two-story commercial buildings along 38<sup>th</sup> Street East and elsewhere in the Bryant neighborhood. The project is consistent with the following specific policies;

*Policy 10.10: Support urban design standards that emphasize a traditional urban form in commercial areas.*

*10.10.1 Enhance the city's commercial districts by encouraging appropriate building forms and designs, historic preservation objectives, site plans that enhance the pedestrian environment, and by maintaining high quality four season public spaces and infrastructure.*

*10.10.2 Identify commercial areas in the city that reflect, or used to reflect, traditional urban form and develop appropriate standards and preservation or restoration objectives for these areas.*

*10.10.3 Enhance pedestrian and transit-oriented commercial districts with street furniture, street plantings, plazas, water features, public art and improved transit and pedestrian and bicycle amenities.*

*10.10.4 Orient new buildings to the street to foster safe and successful commercial nodes and corridors. 10.10.5 Limit the visual impact of existing billboards in neighborhood commercial areas.*

*10.10.6 Require storefront window transparency to assure both natural surveillance and an inviting pedestrian experience.*

The proposed signage for the project is in the “sign blade” that will extend above and be integrated in the second story of the building and in individual raised metal letters that will be mounted on the walls that face the parking lot, 38<sup>th</sup> Street East, and Clinton Avenue. The higher sign will attract attention pedestrians, bikers, transit riders and drivers from east and west along 38<sup>th</sup> Street East. The raised letters are pedestrian scaled and will face out from the building. The signage is the consistent with the sign design standards

*Policy 10.20: Promote an attractive environment by minimizing visual clutter and confusion caused by a proliferation of signage.*

The project is designed in accordance with CPTED principles, with “eyes on the street” and on the parking lot, transparent glazing, building placement and landscaping designed for safety, in accordance with the following policies:

*Policy 10.22: Use Crime Prevention Through Environmental Design (CPTED) principles when designing all projects that impact the public realm, including open spaces and parks, on publicly owned and private land.*

*10.22.1 Integrate “eyes on the street” into building design through the use of windows to foster safer and more successful commercial areas in the city.*

*10.22.3 Design the site, landscaping, and buildings to promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.*

*10.22.4 Provide on-site lighting at all building entrances and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site. CPTED in open spaces and park . . .*

*10.22.5 Locate landscaping, sidewalks, lighting, fencing and building features to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.*

*10.22.6 Use innovative building designs and landscaping to limit or eliminate the opportunity for graffiti tagging.*

*10.22.7 Locate entrances, exits, signs, fencing, landscaping, and lighting to distinguish between public and private areas, control access, and to guide people coming to and going from the site.*

## The 38th Street and Chicago Avenue Small Area/Corridor Framework Plan

The proposed store at 38<sup>th</sup> Street East and Third Avenue, which consists of a full-service grocery store with fresh, healthy food, educational programming, coffee shop and delicatessen, is consistent with the Vision for 38<sup>th</sup> Street as the hub for a healthy, safe, connected community:

*“38th Street and Chicago Avenue will be vital corridors and places in our City. They will be hubs for prosperous, inviting, healthy, safe and artful communities, unique places and destinations where people connect with each other and have the opportunity to grow and develop socially, artistically, economically and ethically.”*

The values of Seward Co-op as a member-owned cooperative and the proposed grocery store correspond with the Small Area Plan value statement:

*What we value*

*This Plan seeks to attract and support development that:*

*Furtheres local economic development and wealth creation*

*Enhances sustainability*

*Recognizes and respects community diversity*

*Encourages and supports pedestrian orientation*

*Provides needed amenities*

*Improves public safety and deters crime*

*Includes the arts as a means for community connection*

*Encourages safe and healthy lifestyles*

*Fosters a sense of community*

The project is consistent with the following guidance for the Sabathani/4th Avenue Focus Area, located around the intersection of 38th Street and 4th Avenue South, which is identified as a “Neighborhood Commercial Node” in the Minneapolis Plan:

The Small Area Plan identifies the project site (the Greater Friendship Missionary Baptist Church site ) as one of two “key sites” appropriate for higher density mixed use development:

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*This Plan envisions additional commercial and residential activity in this Focus Area, and recommends the development of two key sites: one at the corner of 4th Avenue and 38th Street, and the other at the Greater Friendship Missionary Baptist Church site. Both sites could host mixed-use, four story buildings that would bring additional residents, visitors and business to the area.*

Although the proposed grocery store does not have a residential component, it will make sites nearby more attractive for higher density residential development and it will draw visitors and other businesses to the Corridor. The Small Area Plan specifically recommends reconfiguring the alley as an L or T to accommodate development along 38<sup>th</sup> Street between Clinton and Third Avenues, and reduce conflicts between automobiles and pedestrians on 38<sup>th</sup> Street:

*Reconfiguration of the existing alley (which exits onto 38th Street) into an L or T configuration is recommended in order to decrease potential automobile-pedestrian conflicts.*

The cooperative grocery store will promote all of the goals and specific recommendations related to nutrition:

*Nutrition*

*Increased fruit and vegetable consumption decreases risk of obesity and certain chronic conditions. Communities that have no or distant grocery stores, or have an imbalance of healthy food options, will likely have increased premature death and chronic health conditions.*

*Specific recommendations for this Plan*

*Encourage opportunities for co-op groceries, farmer's markets, and establishments that provide healthy, fresh foods.*

The Small Area Plan notes that residents of the project area have expressed interest in a cooperative grocery store in the area since 1995 and identifies starting a cooperative as a goal and general recommendation. The proposal will bring an existing cooperative to the neighborhood. The Applicant hopes the neighborhood residents will join and make the store part of the community.

The project is consistent with and will promote the goals and general recommendations of the Public Realm section of the Small Area Plan by creating an inviting place, improving and encourage pedestrian access, bringing new business to the area, and providing a healthy source of food.

*To make the project area a more inviting place by fostering a sense of place and community*

*To improve the pedestrian orientation of our community and increase walkability and walking*

*To improve economic vitality and quality of life*

*General recommendations*

*These recommendations are to be applied over the entire project area, giving priority to improvements at the 38th and Chicago, Sabathani, and Pillsbury Focus Areas.*

*Urban design goals*

*Foster a sense of place and community*

*Encourage improvement in the public realm*

*Improve connectivity and access*

*Preserve and improve our community's architectural heritage*

*Promote development that supports improvements in community health*

*Promote human-scaled and people-oriented designs*

*Improve economic vitality and quality of life*

*Improve safety in our neighborhoods*

*Promote sustainable neighborhood development*

## 2014 CITY COUNCIL GOALS STATEMENT

Although not directly incorporate in the Comprehensive Plan, the project aspires to the first 4 of the 5 goals recently adopted by the City Council:

- ***Living well: Minneapolis is safe and livable and has an active and connected way of life.*** The project will promote living well through healthy food and sustainable practices.
- ***One Minneapolis: Disparities are eliminated so all Minneapolis residents can participate and prosper.*** The project will eliminate at least one disparity by establishing a grocery store in an under-served area.
- ***A hub of economic activity and innovation: Businesses, big and small, start, move, stay and grow here.*** The project will promote economic activity on the 38<sup>th</sup> Street East corridor.
- ***Great places: Natural and built spaces work together and our environment is protected.*** The project will incorporate sustainable design in its construction and the applicant will promote sustainable living through its operations.

March 21, 2014

Dear Minneapolis City Councilperson Elizabeth Glidden,

As you may already know, Seward Community Co-op is proposing a new full-service grocery store at the corner of 38<sup>th</sup> Street East and 3<sup>rd</sup> Avenue South in Minneapolis. The proposed store will be approximately 20,000 sf with a main retail level and a smaller second floor for office. The project will combine several property addresses: 3805, 3825, 3817 and 3821 on 3rd Avenue; 317 38th Street; 3800 and 3808 Clinton Avenue. It is common for a full-service grocery store to occupy an area of this size in order to have all of the products its customers need, even in urban environments. The co-op has already closed on one of the properties, the duplex at 3821 3rd Avenue, and has agreements to purchase the others by March, 2014.

In order for the co-op to operate a grocery store at this location, the properties that are part of the proposed site will need to be re-zoned from residential to commercial use. The City of Minneapolis has a process for re-zoning that requires that we receive the signed consent of two-thirds of the home owners within 100 feet of the properties in order to get the properties re-zoned. As of the beginning of this year, we have received consent from the required number of the homeowners enabling us to move the development forward.

In the coming weeks, our plan will be submitted to the City of Minneapolis through the land use application process. The following is a list of land use applications that we are currently aware of needing for the project:

1. Rezoning from the R1A, Single-family district to the C1, Neighborhood Commercial district for the parcels at 3800-08 Clinton Avenue S, 3817 38th Street E and 3805-3815 3rd Avenue S.
2. Rezoning to add the TP, Transitional Parking Overlay district, to the parcels at 3817-3825 3rd Avenue S.
3. A conditional use permit to increase the height of the building from 2.5 stories, 35 feet to 42.7 feet.
4. A conditional use permit to establish a surface parking lot in the TP, Transitional Parking Overlay district.
5. A variance to increase the width of a surface parking lot in the TP, Transitional Parking overlay district from 75 feet to approximately 136 feet and to not gate the parking lot.
6. A variance to decrease the front yard setback for the parking lot from 20 feet to approximately seven feet.
7. A variance to decrease the front yard setback for the first 25 feet along Clinton Avenue S from approximately 17 feet (established) to zero.
8. A variance to decrease the rear yard setback for the parking lot from five feet to 2.3 feet.
9. A variance to increase the maximum size of a commercial use in the C1 district from 4,000 square feet to approximately 22,700 square feet.
10. A variance to increase the maximum amount of impervious surface on the parcels at 3817-3825 3rd Avenue S.
11. A variance to increase the height of a wall sign in the C1 district from 14 feet to approximately 40 feet.
12. Alley vacation.
13. Plat.
14. Site plan review.



March 21, 2014

We hope to become an important part of the neighborhood and will strive to be a good neighbor. We believe open communication is the best way to ensure the store serves your needs and the needs of your neighbors. We hope you will become a customer and even an owner.

Should you have any questions or wish to discuss the project further, please feel free to contact Eric Hatting with Seward Coop. Eric's contact information is below:

Eric Hatting  
2823 E. Franklin Avenue  
Minneapolis, MN 55406  
(612) 465-0890  
[ehatting@seward.coop](mailto:ehatting@seward.coop)

Project information can also be found on our website, <http://seward.coop/posts/friendshipsite>

Thank you,  
Seward Co-op



March 21, 2014

Dear Central Area Neighborhood Development Organization,

As you may already know, Seward Community Co-op is proposing a new full-service grocery store at the corner of 38<sup>th</sup> Street East and 3<sup>rd</sup> Avenue South in Minneapolis. The proposed store will be approximately 20,000 sf with a main retail level and a smaller second floor for office. The project will combine several property addresses: 3805, 3825, 3817 and 3821 on 3rd Avenue; 317 38th Street; 3800 and 3808 Clinton Avenue. It is common for a full-service grocery store to occupy an area of this size in order to have all of the products its customers need, even in urban environments. The co-op has already closed on one of the properties, the duplex at 3821 3rd Avenue, and has agreements to purchase the others by March, 2014.

In order for the co-op to operate a grocery store at this location, the properties that are part of the proposed site will need to be re-zoned from residential to commercial use. The City of Minneapolis has a process for re-zoning that requires that we receive the signed consent of two-thirds of the home owners within 100 feet of the properties in order to get the properties re-zoned. As of the beginning of this year, we have received consent from the required number of the homeowners enabling us to move the development forward.

In the coming weeks, our plan will be submitted to the City of Minneapolis through the land use application process. The following is a list of land use applications that we are currently aware of needing for the project:

1. Rezoning from the R1A, Single-family district to the C1, Neighborhood Commercial district for the parcels at 3800-08 Clinton Avenue S, 3817 38th Street E and 3805-3815 3rd Avenue S.
2. Rezoning to add the TP, Transitional Parking Overlay district, to the parcels at 3817-3825 3rd Avenue S.
3. A conditional use permit to increase the height of the building from 2.5 stories, 35 feet to 42.7 feet.
4. A conditional use permit to establish a surface parking lot in the TP, Transitional Parking Overlay district.
5. A variance to increase the width of a surface parking lot in the TP, Transitional Parking overlay district from 75 feet to approximately 136 feet and to not gate the parking lot.
6. A variance to decrease the front yard setback for the parking lot from 20 feet to approximately seven feet.
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11. A variance to increase the height of a wall sign in the C1 district from 14 feet to approximately 40 feet.
12. Alley vacation.
13. Plat.
14. Site plan review.



March 21, 2014

We hope to become an important part of the neighborhood and will strive to be a good neighbor. We believe open communication is the best way to ensure the store serves your needs and the needs of your neighbors. We hope you will become a customer and even an owner.

Should you have any questions or wish to discuss the project further, please feel free to contact Eric Hatting with Seward Coop. Eric's contact information is below:

Eric Hatting  
2823 E. Franklin Avenue  
Minneapolis, MN 55406  
(612) 465-0890  
[ehatting@seward.coop](mailto:ehatting@seward.coop)

Project information can also be found on our website, <http://seward.coop/posts/friendshipsite>

Thank you,  
Seward Co-op

March 21, 2014

Dear Bryant Neighborhood Organization,

As you may already know, Seward Community Co-op is proposing a new full-service grocery store at the corner of 38<sup>th</sup> Street East and 3<sup>rd</sup> Avenue South in Minneapolis. The proposed store will be approximately 20,000 sf with a main retail level and a smaller second floor for office. The project will combine several property addresses: 3805, 3825, 3817 and 3821 on 3rd Avenue; 317 38th Street; 3800 and 3808 Clinton Avenue. It is common for a full-service grocery store to occupy an area of this size in order to have all of the products its customers need, even in urban environments. The co-op has already closed on one of the properties, the duplex at 3821 3rd Avenue, and has agreements to purchase the others by March, 2014.

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11. A variance to increase the height of a wall sign in the C1 district from 14 feet to approximately 40 feet.
12. Alley vacation.
13. Plat.
14. Site plan review.



**Office of the City Attorney**

Susan L. Segal  
City Attorney

350 South 5th Street – Room 210  
Minneapolis MN 55415

March 24, 2014

Office 612 673-2010  
Civil Division Fax 612 673-3362  
Criminal Division Fax 612 673-2189  
CPED FAX 612 673-5112  
TTY 612 673-2157

The Minneapolis City Council  
Room 307, City Hall  
350 South Fifth Street  
Minneapolis, MN 55415

Minneapolis Planning Commission  
Room 110, Public Service Center  
250 South Fourth Street  
Minneapolis, MN 55415

Re: Petition for Amendment of the Zoning Ordinance – 3805-3825 3<sup>rd</sup> Avenue South, 3800-08 Clinton Avenue South,  
and 317 38<sup>th</sup> Street East

Dear Members of the City Council and Planning Commission:

Pursuant to the requirements of the Zoning Code, I certify that the above petition for rezoning from R1A to a combination of the C1 zoning district and Transitional Parking (TP) overlay zoning district complies with the signature consent requirements of Minnesota Statutes § 462.357, subd. 5.

This opinion is for the sole benefit of the Minneapolis City Council and Minneapolis City Planning Commission. Other persons are advised that they must seek their own legal counsel relative to the matters herein discussed.

Very truly yours,

ERIK E. NILSSON  
Assistant City Attorney  
(612) 673-2192

cc: Kimberly Hohen, CPED-Planning  
Diana Armstrong, City Clerk's Office



	<b>R1A</b>	<b>C1</b>
	Single-Family District	Neighborhood Commercial District
<b>FAR</b>		
Base FAR Maximum	<b>0.50</b>	<b>1.70</b>
20% bonus for enclosed, underground or structured parking	n/a	0.34
20% bonus for 50% ground floor commercial	n/a	0.34
20% bonus for 20% affordable units	n/a	0.34
<b>Total possible FAR</b>	<b>0.50</b>	<b>2.72</b>
Required lot area per dwelling unit (sq. ft.)	5,000	700
<b>Possible DU Bonuses:</b>		
20% bonus for enclosed, underground or structured parking		Y
20% bonus for 50% ground floor commercial		Y
20% bonus for 20% affordable units		Y
Base building height maximum (in stories)	2.5	2.5/3
Maximum size of retail store (sq. ft.)	0	8,000
Maximum Lot Coverage	50%	n/a
Maximum Impervious Surface Coverage	65%	n/a
<b>Yard Requirements</b>		
Front	20	0
Interior side or rear <sup>1</sup>	5 (+2X) <sup>1</sup>	5+2X <sup>2</sup>
Corner Side	8 (+2X) <sup>1</sup>	0
<b>Drive-through permitted?</b>	N	N

**Notes:**

1 - (2X) is added for uses that are not SFDs, 2FDs, or CRFs serving 1-6 persons

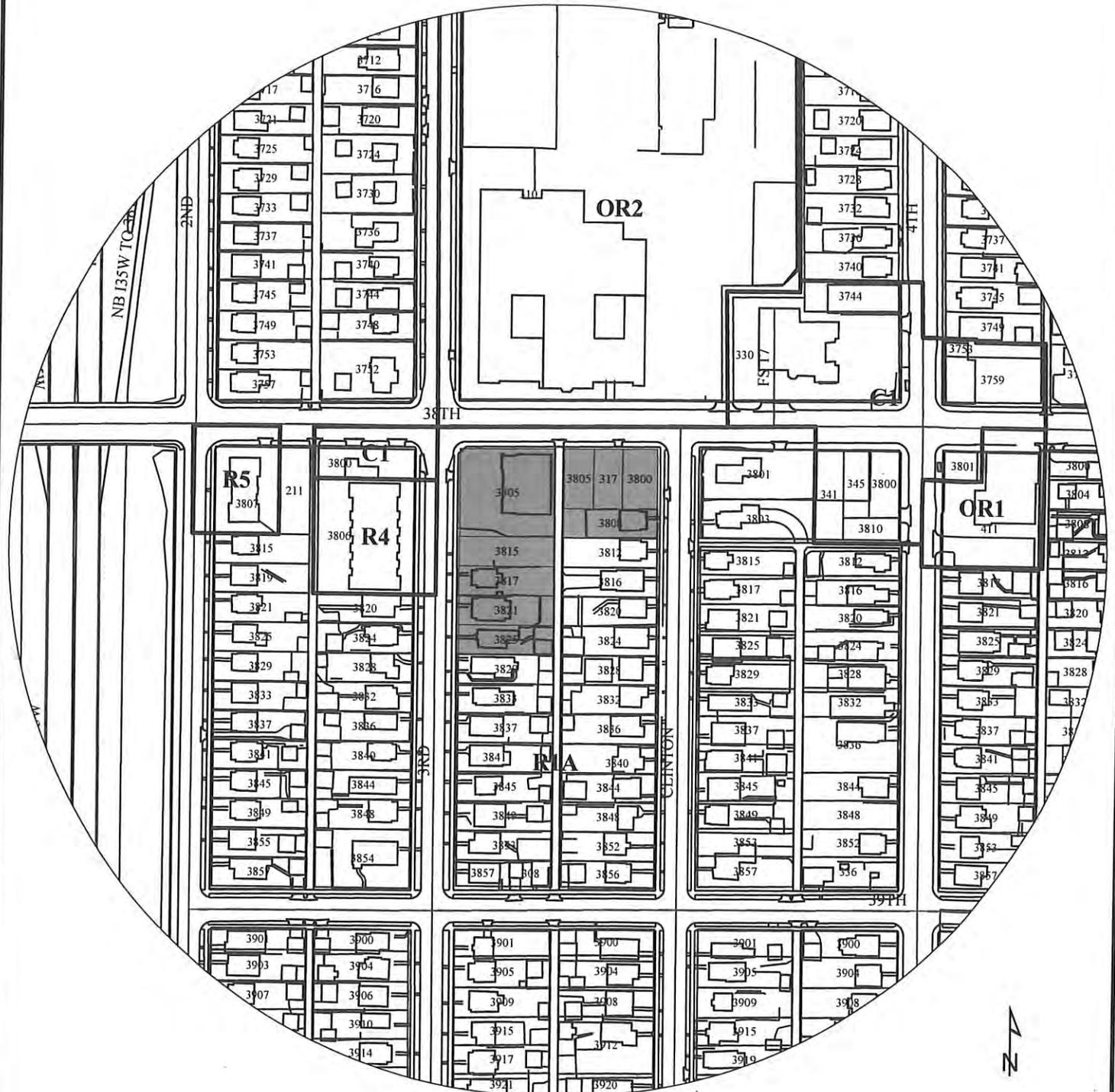
2 - For residential uses and hotels

# Seward Co-op

8th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

317 38th St. E., 3800 & 3808 Clinton Ave. S. and 3805 - 3825 3rd Ave. S.

FILE NUMBER

BZZ-6507







**PERFORMANCE DRIVEN DESIGN.**  
LHDDesign.com

751 Hennepin Ave., 9th Fl., Minneapolis, MN 55401 | 612.233.2020



**Seward COMMUNITY CO-OP**  
Seward Co-op

2823 E. Franklin Avenue  
Minneapolis, MN 55406

THIS SQUARE APPROXIMATELY 1/4" = 1'-0"  
FULL SEE DETAIL.

NO.	DATE	REVISION
1	03-31-2014	CITY SUBMITTAL
2		REVISION

**PRELIMINARY NOT FOR CONSTRUCTION**  
03-31-2014

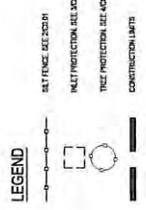
PROJECT NAME  
**Seward Co-op Friendship Site**

38th Street East  
Minneapolis, MN 55409

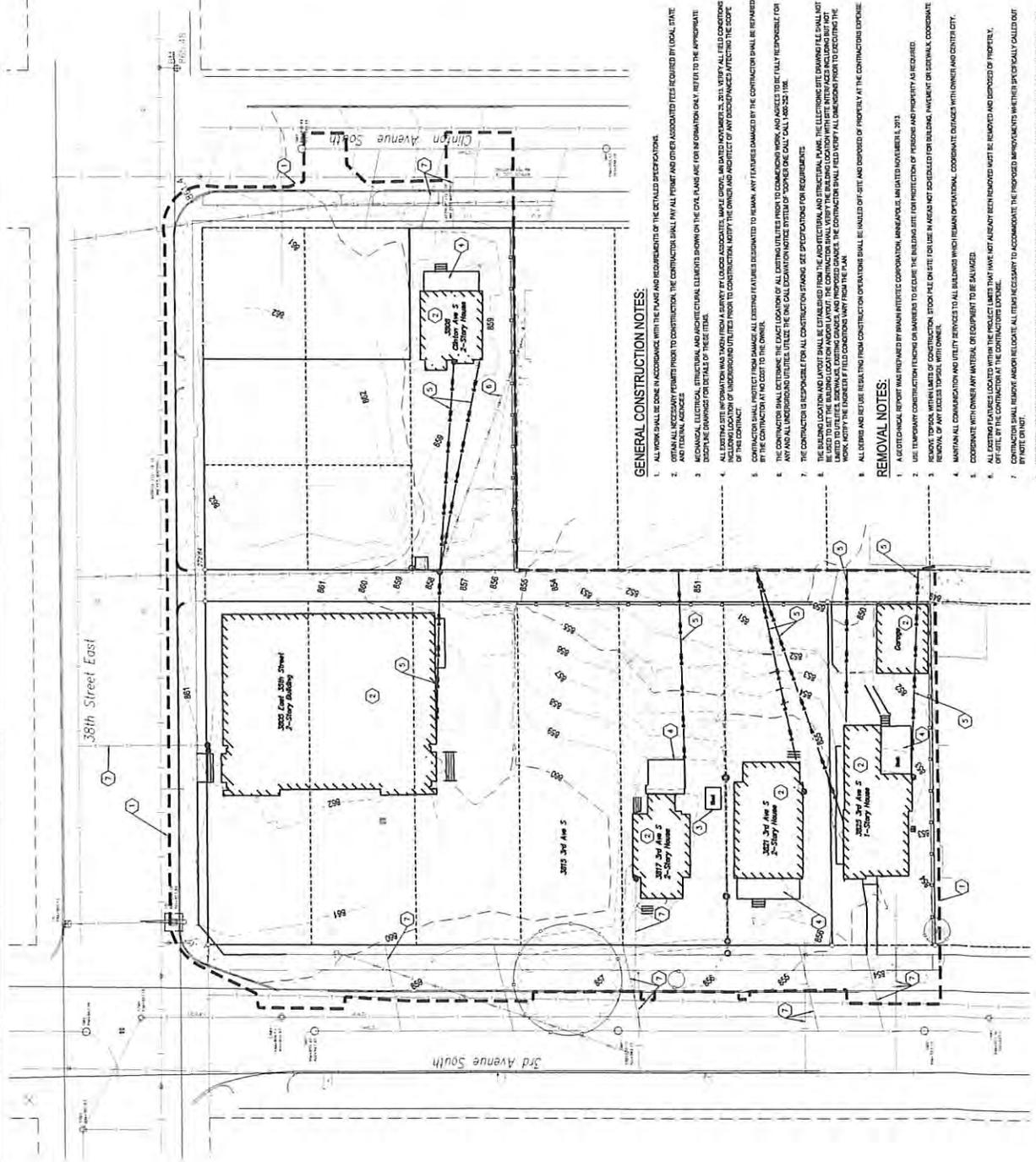
DEMOLITION AND  
EROSION CONTROL PLAN  
PHASE 1

FILE: 13127400.DWG  
DRAWN BY: MWM  
CHECKED BY: MWM  
PLOT NO.: 13023  
DRAWING NO.: C0.02

- GENERAL NOTES:**
- THIS DRAWING INDICATES PHASE 1 DEMOLITION LIMITS AND EROSION CONTROL MEASURES.
  - SEE SHEET C-01 FOR DIMENSIONS AND LAYOUT PLAN.



- KEYED NOTES:**
- CONSTRUCTION LIMITS
  - TRUCK PROTECTION
  - TRUCK PROTECTION (SEE 4000)
  - TRUCK PROTECTION (SEE 4000)



- GENERAL CONSTRUCTION NOTES:**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND REQUIREMENTS OF THE DETAIL SPECIFICATIONS.
  - OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL ADJACENT OWNERS AND ASSOCIATED FEES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES.
  - MECHANICAL, ELECTRICAL, STRUCTURAL, AND ARCHITECTURAL ELEMENTS SHOWN ON THE CIVIL PLANS ARE FOR ORIENTATION ONLY. REFER TO THE APPROPRIATE DISCIPLINE DRAWINGS FOR DETAILS OF THESE ITEMS.
  - ALL EXISTING SITE INFORMATION HAS BEEN OBTAINED FROM A SURVEY BY LOGGERS ASSOCIATES, MARKET GROVE, UNDATED. INFORMATION SHALL BE VERIFIED BY FIELD SURVEYING PRIOR TO CONSTRUCTION. VERIFY THE BENCHMARKS AND PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL NOTIFY ALL ADJACENT OWNERS AND ASSOCIATED FEES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES.
  - CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING UTILITIES DESIGNATED TO REMAIN. ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
  - THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AVOID THEM FULLY RESPONSIBLY FOR ANY AND ALL UNDERGROUND UTILITIES. THESE ARE THE CALL LOCATIONS FOR THE SYSTEMS OF "SUPER DIAL" CALL LOGS FOR THE PROJECT.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAGING. SEE SPECIFICATIONS FOR REQUIREMENTS.
  - THE BUILDING LOCATION AND LAYOUT SHALL BE ESTABLISHED FROM THE ARCHITECTURAL AND STRUCTURAL PLANS. THE ELECTRONIC SITE DRAWING FILE SHALL NOT BE USED TO SET THE BUILDING LOCATION AND LAYOUT. THE CONTRACTOR SHALL VERIFY THE BUILDING LOCATION AND LAYOUT PRIOR TO COMMENCING WORK. NOTIFY THE ENGINEER IF FIELD CONDITIONS VARY FROM THE PLAN.
  - ALL DEMOS AND SET-UP SHALL BE REMOVED FROM CONSTRUCTION OPERATIONS SHALL BE MAINTAINED OFF-SITE, AND DISPOSED OF PROPERLY AT THE CONSTRUCTION DISPOSE.
- REMOVAL NOTES:**
- A GEOTECHNICAL REPORT WAS PREPARED BY BRANN INTECHTIC CORPORATION, MINNEAPOLIS, ON JANUARY 11, 2013.
  - USE TEMPORARY CONSTRUCTION FENCING OR BARRIERS TO SECURE THE BUILDING SITE FOR PROTECTION OF PERSONS AND PROPERTY AS REQUIRED.
  - REMOVE TOPSOIL WITH LIMITS OF CONSTRUCTION. STOCKPILE ON SITE FOR USE IN AREAS NOT TO BE COLLECTED ON BUILDING. IMPLEMENT ON-SITE WALK CORRIDORS. REMOVAL OF ANY EXCESS TOPSOIL WITH OWNER.
  - MAINTAIN ALL COMMUNICATION AND UTILITY SERVICES TO ALL BUILDINGS WHICH REMAIN OPERATIONAL. COORDINATE DISTANCES WITH OWNER AND CENTER CITY.
  - COORDINATE WITH OWNER ANY MATERIAL OR EQUIPMENT TO BE SALVAGED.
  - ALL EXISTING PLANTINGS LOCATED WITHIN THE PROJECT LIMITS THAT HAVE NOT ALREADY BEEN REMOVED MUST BE REMOVED AND DISPOSED OF PROPERLY.
  - CONTRACTOR SHALL REMOVE AND/OR RELOCATE ALL ITEMS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS WITHIN SPECIFICALLY CALLED-OUT BY NOTE OR NOT.
  - UTILITY SERVICES FOR THE BUILDINGS SHOWN SHOWN SHALL BE MAINTAINED IN PLACE AND CAPTURED IN PLAN. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY AND CITY OF MINNEAPOLIS AS REQUIRED.

- EROSION CONTROL NOTES:**
- AT THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL CRUSHED STONE CURBS TO PROTECT EXISTING UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN THESE CURBS THROUGHOUT CONSTRUCTION AND THROUGHOUT THE PROJECT.
  - COORDINATE ALL DEMOLITION ACTIVITIES AND CONDUCT TO AS TO MAINTAIN THE SIZE OF THE AREA TO BE EXPOSED AT ANY ONE TIME AND MAINTAIN THE SIZE OF EXPOSED AREAS AS SMALL AS POSSIBLE. AFTER CONSTRUCTION IS COMPLETED, RESTORE EXISTING CONDITIONS AS MUCH AS POSSIBLE. AFTER CONSTRUCTION IS COMPLETED, RESTORE EXISTING CONDITIONS AS MUCH AS POSSIBLE.
  - MAINTAIN TEMPORARY EROSION CONTROL DEVICES UNTIL PERMANENT FACILITIES ARE CONSTRUCTED AND FINAL STABILIZATION HAS OCCURRED.
  - PROVIDE EROSION CONTROL BARRIERS ON ALL SLOPES HORIZONTAL TO VERTICAL OR STEEPER, OR AS SHOWN.
  - CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED CHAD BARRIERS WITHIN CONSTRUCTION LIMITS AND AS SHOWN.
  - ALL EXISTING PLANTINGS LOCATED WITHIN THE PROJECT LIMITS THAT HAVE NOT ALREADY BEEN REMOVED MUST BE REMOVED AND DISPOSED OF PROPERLY.
  - CONTRACTOR SHALL REMOVE AND/OR RELOCATE ALL ITEMS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS WITHIN SPECIFICALLY CALLED-OUT BY NOTE OR NOT.
  - UTILITY SERVICES FOR THE BUILDINGS SHOWN SHOWN SHALL BE MAINTAINED IN PLACE AND CAPTURED IN PLAN. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY AND CITY OF MINNEAPOLIS AS REQUIRED.



**Seward**  
COMMUNITY CO-OP

CLIENT:  
**Seward Co-op**

2823 E. Franklin Avenue  
Minneapolis, MN 55406

THIS SQUARE APPROXIMATELY 1/4" = 1'-0"  
FULL SIZE SHEETS

NO.	DATE	REVISION
1	03-31-2014	CITY SUBMITTAL
2		NO. DATE
		NO. DATE
		NO. DATE

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
03-31-2014

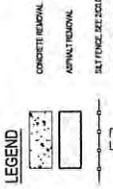
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MEASURES.

PROJECT NAME:  
**Seward Co-op  
Friendship Site**

38th Street East  
Minneapolis, MN 55409

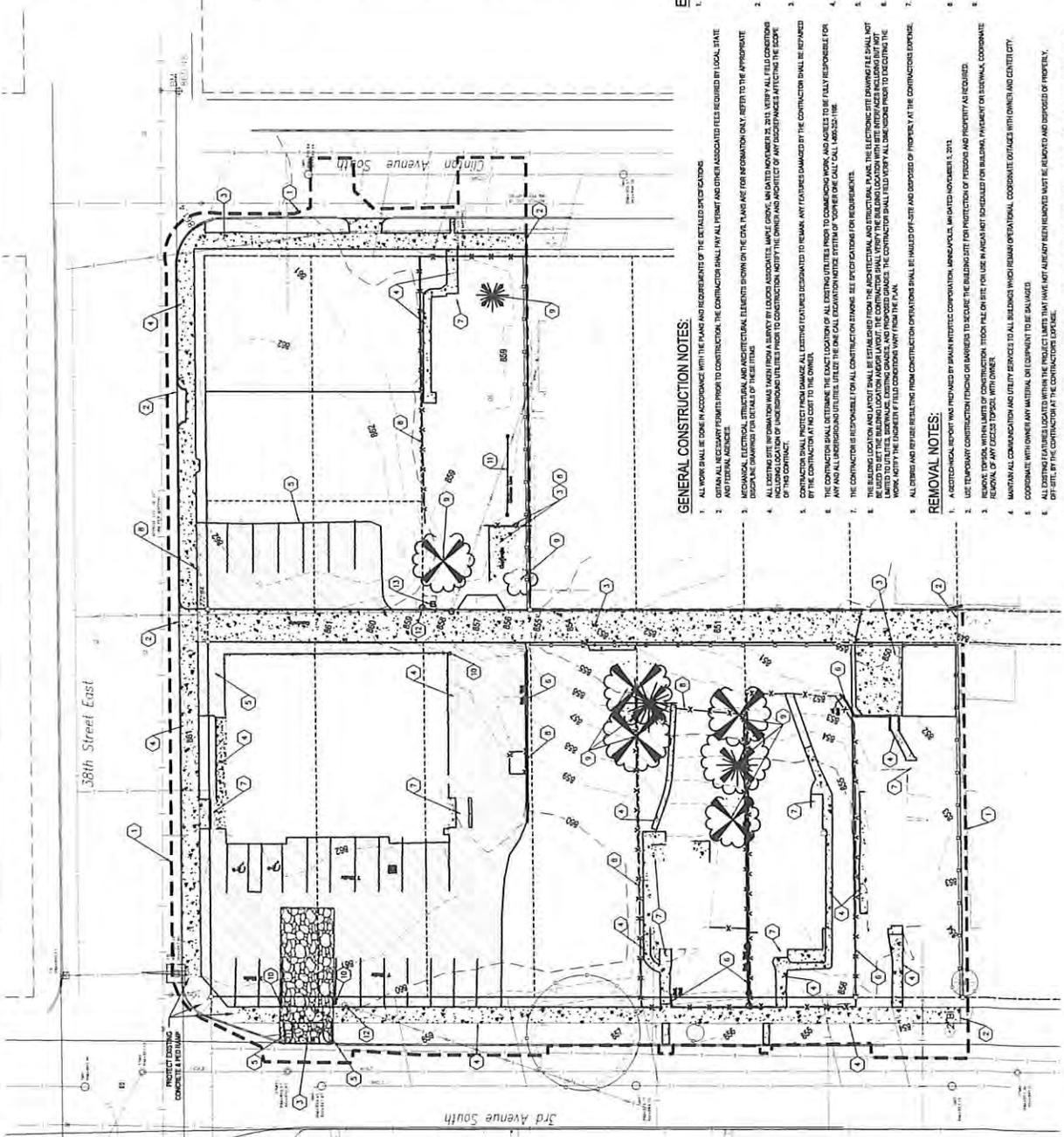
**DEMOLITION AND  
EROSION CONTROL PLAN  
PHASE 2**

**GENERAL NOTES:**  
1. THIS DRAWING INDICATES PHASE 2 DEMOLITION LIMITS AND EROSION CONTROL ITEMS.  
2. SEE SHEET C-01 FOR DIMENSIONS AND LAYOUT PLAN.



**KEYED NOTES:**

1. CONSTRUCTION LIMIT
2. PAVEMENT SURFACING
3. REMOVE CONCRETE PAVEMENT
4. REMOVE CONCRETE SIDEWALK
5. REMOVE ASPHALT PAVEMENT
6. REMOVE RETAINING WALL
7. REMOVE FENCE
8. REMOVE TREE
9. REMOVE GUARD POST
10. REMOVE CULVERT LINE
11. REMOVE UTILITY POLE AND RECONNECT ELECTRICAL SERVICE BY UTILITY COMPANY
12. REMOVE UTILITY POLE BY UTILITY COMPANY



**GENERAL CONSTRUCTION NOTES:**

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND REQUIREMENTS OF THE RETAILED SPECIFICATIONS.
2. OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PAY FOR ALL PERMITS AND OTHER ASSOCIATED FEES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES.
3. MECHANICAL, ELECTRICAL, STRUCTURAL, AND ARCHITECTURAL ELEMENTS SHOWN ON THE CIVIL PLANS ARE FOR INFORMATION ONLY. REFER TO THE APPROPRIATE DISCIPLINE DRAWINGS FOR DETAILS OF THESE ITEMS.
4. ALL EXISTING SITE INFORMATION SHALL BE OBTAINED FROM A SURVEY BY LICENSED MEASUREMENTS, INCORPORATED, MINNEAPOLIS, DATED NOVEMBER 12, 2013. VERIFY ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE OWNER AND INSPECTOR OF ANY DISCREPANCIES BEFORE THE START OF THIS CONTRACT.
5. CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING UTILITIES (SEWERAGE TO REMAIN), ANY FEATURES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS COST TO THE OWNER.
6. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL UNDISCOVERED UTILITIES. NOTIFY THE ONE CALL EXAMINATION NOTICE CENTER AT THE ONE CALL CALL 1-800-552-1166.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING. SEE SPECIFICATIONS FOR REQUIREMENTS.
8. THE BUILDING LOCATION AND LAYOUT SHALL BE ESTABLISHED FROM THE ARCHITECTURAL AND STRUCTURAL PLANS. THE EROSION CONTROL DRAWINGS SHALL NOT BE USED TO SET THE BUILDING LOCATION AND LAYOUT. THE CONTRACTOR SHALL VERIFY THE BUILDING LOCATION WITH THE SURVEYOR PRIOR TO COMMENCING WORK. NOTIFY THE ENGINEER OF FIELD CONDITIONS THAT DIFFER FROM THE PLAN.
9. ALL DEMOS AND REPAIRS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE MAINTAINED OFF-SITE AND DEPOSITED AT THE CONTRACTOR'S EXPENSE.

**REMOVAL NOTES:**

1. A GEOTECHNICAL REPORT WAS PROVIDED BY SPANIN INTERIOR CORPORATION, MINNEAPOLIS, DATED NOVEMBER 1, 2013.
2. USE TEMPORARY CONSTRUCTION FENCING OR BARRIERS TO SECURE THE BUILDING SITE FOR PROTECTION OF PERSONS AND PROPERTY AS REQUIRED.
3. REMOVE EXISTING MATERIALS BY CONSTRUCTION. STOCKPILE ON SITE FOR USE IN WHICH NOT SCHEDULED FOR BUILDING. PAYMENT ON DISPOSAL, COORDINATE WITH OWNER ANY MATERIAL OR EQUIPMENT TO BE SALVAGED.
4. MAINTAIN ALL COMMUNICATION AND UTILITY SERVICES TO ALL BUILDINGS WHICH REMAIN OPERATIONAL. COORDINATE OFFICES WITH OWNER AND CITY OF MINNEAPOLIS.
5. ALL EXISTING UTILITIES LOCATED WITHIN THE PROJECT LIMITS THAT HAVE NOT ALREADY BEEN REMOVED MUST BE REMOVED AND DEPOSITED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL VERIFY AND REPORT ALL ITEMS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS WHENEVER SPECIFICALLY CALLED OUT BY PLANS OR NOT.

**EROSION CONTROL NOTES:**

1. ESTABLISH EROSION CONTROL MEASURES AT THE BEGINNING OF CONSTRUCTION AND MAINTAIN THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND TO PROTECT AREAS WHICH ARE ESPECIALLY VULNERABLE TO EROSION. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE.
2. AT THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL CHISELED STONE PAVED CURBS AND DITCHES TO REDUCE THE TRACKING OF SEDIMENT ONTO ADJACENT PAVED AREAS.
3. CONDUCTOR SHALL LAND SCOURING ACTIVITIES AND CONDUCT AS TO MINIMIZE THE SIZE OF THE AREA TO BE EXPOSED AT ANY ONE TIME AND MAINTAIN THE TALK OF EXPOSURE TO EROSION AS SMALL AS POSSIBLE. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND MAINTAINED AS NECESSARY TO PREVENT EROSION AND TO PROTECT AREAS WHICH ARE ESPECIALLY VULNERABLE TO EROSION. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE.
4. MAINTAIN TEMPORARY EROSION CONTROL STRUCTURES UNTIL PERMANENT FACILITIES ARE CONSTRUCTED AND FINAL STABILIZATION HAS OCCURRED.
5. PROVIDE EROSION CONTROL MATS ON ALL EXPOSED HORIZONTAL TO 1 VERTICAL ON SLOPES OR AS SHOWN.
6. CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED CATCH BASINS WITH CONSTRUCTION LIMITS AND AS SHOWN.
7. ALL UTILITIES SHOWN ARE PROVIDED TO THE CONTRACTOR AS A GENERAL REFERENCE AND NOT A GUARANTEE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION AND MAINTAIN ALL EXISTING UTILITIES AS NECESSARY TO PREVENT EROSION AND TO PROTECT AREAS WHICH ARE ESPECIALLY VULNERABLE TO EROSION. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE.
8. REFER TO LANDSCAPE DRAWINGS FOR PERMANENT VEGETATION REQUIREMENTS.









**PRELIMINARY  
 NOT FOR CONSTRUCTION  
 03-31-2014**

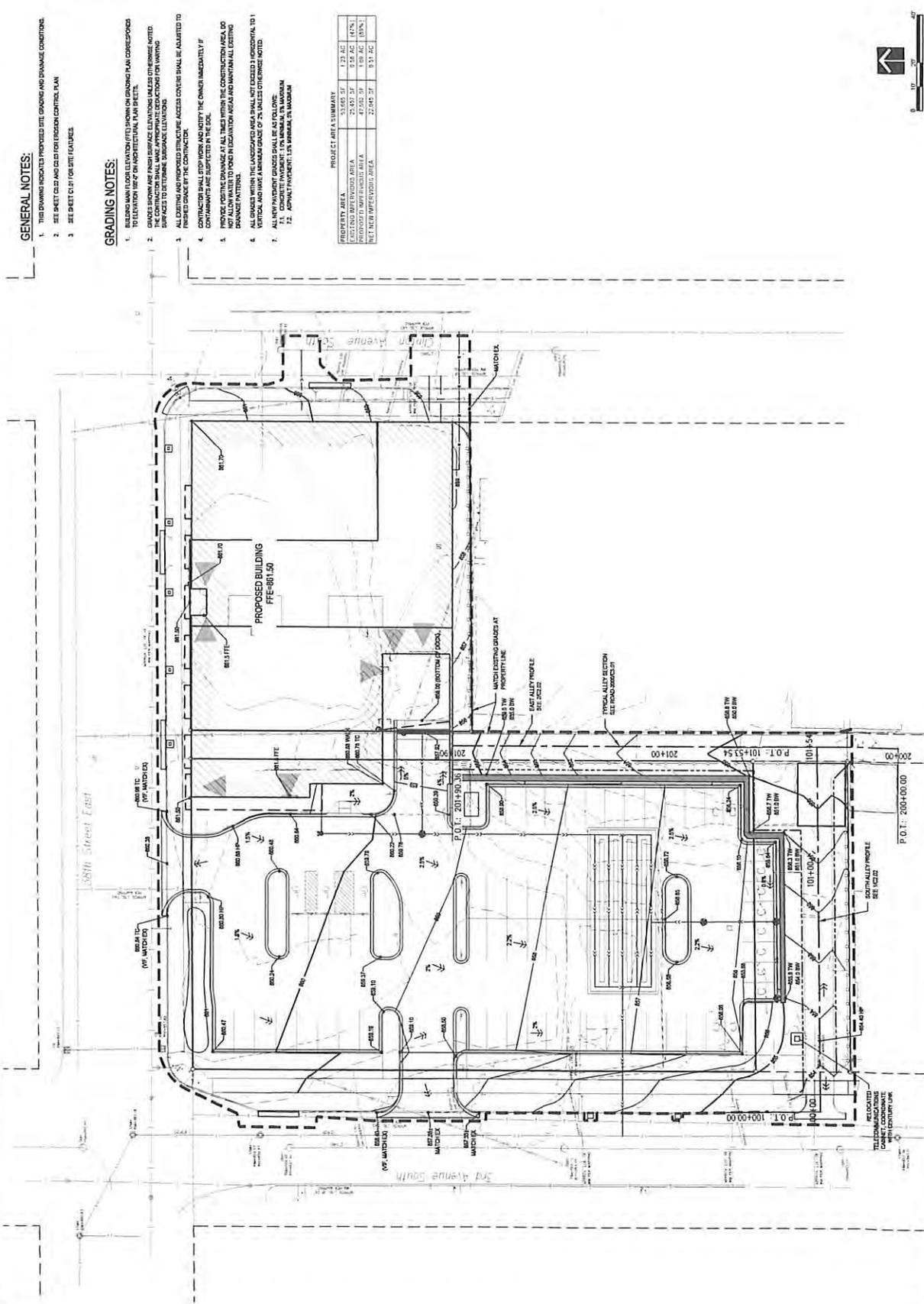
**GENERAL NOTES:**

1. THIS DRAWING INDICATES PROPOSED SITE, GRADING AND DRAINAGE CONDITIONS.
2. SEE SHEET C2.01 AND C2.02 FOR EROSION CONTROL PLAN.
3. SEE SHEET C2.03 FOR SITE FEATURES.

**GRADING NOTES:**

1. BUILDING MAIN FLOOR ELEVATION (FFL) SHOWN ON GRADING PLAN CORRESPONDS TO ELEVATION SHOWN ON ARCHITECTURAL PLAN SHEETS.
2. GRADES SHOWN ARE FINISH SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. THE GRADES TO BE OBTAINED MAY VARY DUE TO VARIATIONS IN FINISH SURFACE ELEVATIONS AND TO THE FINISH GRADE OF THE CONSTRUCTION AREA.
3. ALL EXISTING AND PROPOSED STREETS AND ALLEYS SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.
4. CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER IMMEDIATELY IF CONDITIONS ARE SUSPECTED IN THE SOIL.
5. PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO REMAIN IN COLLECTION AREAS AND MAINTAIN ALL EXISTING VERTICAL AND HORIZONTAL DRAINAGE SYSTEMS.
6. ALL GRADING WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETED TO 1% VERTICAL AND HORIZONTAL GRADIENT UNLESS OTHERWISE NOTED.
7. ALL NEW PAVEMENT GRADINGS SHALL BE AS FOLLOWS:  
 7.1. CONCRETE PAVEMENT: 1% MINIMUM TO MAXIMUM  
 7.2. ASPHALT PAVEMENT: 1.5% MINIMUM TO MAXIMUM

PROJECT AREA SUMMARY			
PROPERTY AREA	13,349.57 SF	7.2 AC	
EXISTING IMPAVED AREA	25,507.37 SF	9.18 AC	140%
NEW IMPAVED AREA	22,943.37 SF	9.31 AC	100%





PERFORMANCE  
DRIVEN DESIGN  
LDB.com

701 Washington Ave., 4th Floor | Minneapolis, MN 55401 | (612) 333-2255



Seward  
COMMUNITY CO-OP

CLIENT:  
Seward Co-op

2823 E. Franklin Avenue  
Minneapolis, MN 55406

THIS DRAWING APPROVED FOR 1"=20'  
FULL SIZE SHEET.

1. 03-31-2014 CITY/ADMINISTRATIVE  
NO. DATE

NO. DATE REVISION

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
03-31-2014

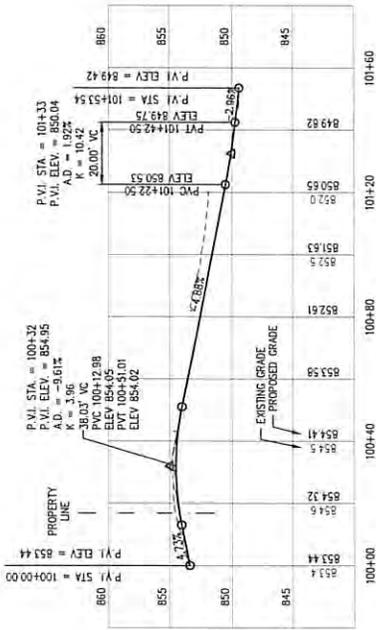
CONTRACT NO. 2014-00101-0101 ALL WORKS REQUIRED

PROJECT NAME:  
Seward Co-op  
Friendship Site

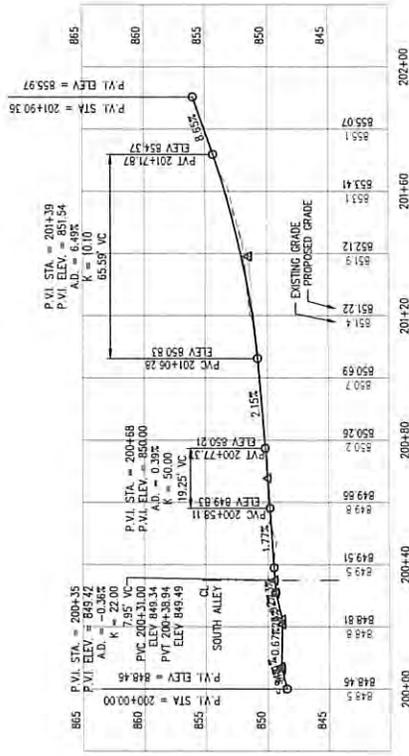
38th Street East  
Minneapolis, MN 55409

DRAWING TITLE:  
ALLEY PROFILES

DATE: 03/31/2014  
DRAWN BY: MAM  
CHECKED BY: MAM  
PLOT NO.: 12023  
DRAWING NO.: **C2.02**



1 SOUTH ALLEY PROFILE  
1"=20'



2 EAST ALLEY PROFILE  
1"=20'







CLIENT:  
**Seward Co-op**

2823 E. Franklin Avenue  
 Minneapolis, MN 55406

THIS DRAWING APPLICABLE TO ALL SIZES UNLESS NOTED OTHERWISE.  
 FULL SIZE SHEETS.

1	03-23-14	CITY SUBMITTAL
NO	DATE	REVISION

NO DATE REVISION

**PRELIMINARY  
 NOT FOR CONSTRUCTION  
 03-31-2014**

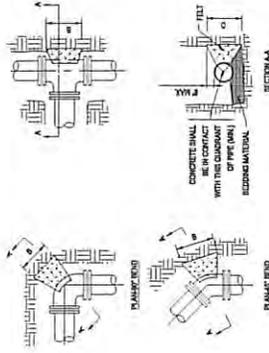
CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING WORK.

PROJECT NAME:  
**Seward Co-op  
 Friendship Site**

39th Street East  
 Minneapolis, MN 55409

DRAWING TITLE:  
**STANDARD UTILITY DETAILS**

DATE: 03/23/14  
 DRAWN BY: MJK  
 CHECKED BY: MJK  
 PLOT NO.: 10275  
 DRAWING NO.: **C5.03**



BLIND OR SLOTTED END	24" RINGS	36" RINGS	48" RINGS	60" RINGS	72" RINGS	90" RINGS	108" RINGS	126" RINGS	144" RINGS
1"	1 1/2"	1 3/4"	2"	2 1/4"	2 3/4"	3"	3 1/2"	4"	4 1/2"
1 1/2"	2"	2 1/4"	2 3/4"	3"	3 1/4"	3 1/2"	3 3/4"	4 1/4"	4 3/4"
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PERFORMANCE  
DRIVEN DESIGN.  
LDB.com

711 Washington Ave., N., Ste. 200 | Minneapolis, MN 55401 | (612) 339-3200



Seward  
COMMUNITY CO-OP

CLIENT  
Seward Co-op

2823 E. Franklin Avenue  
Minneapolis, MN 55406

THIS SQUARE MANHOLE IS 1'2" ON  
FULL SIZE SHEET

NO. DATE REVISION

NO. DATE REVISION

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
03-31-2014

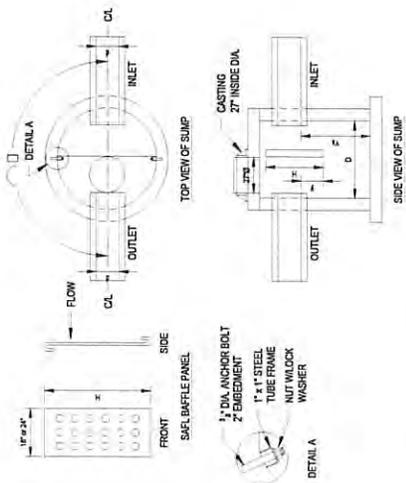
PROJECT NAME  
Seward Co-op  
Friendship Site

38th Street East  
Minneapolis, MN 55409

DRAWING TITLE  
STANDARD UTILITY DETAILS

FILE: \\S:\Projects\Drawings\2013\2013-03-31-Standard Manhole  
DRAWN BY: MUM  
CHECKED BY: MUM  
PLOT NO: 10273  
DRAWING NO: **C5.04**

d (IN)	H (IN)	(DEC)	Y	MIN. (IN)	MAX. (IN)	Ys	D	VARS
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18	34	100	200	12				
21	44	140	220	12				
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30	54	150	210	12				



1 SAFL BAFFLE STRUCTURE STANDARD SUMP MANHOLE WITH BAFFLE  
NOT TO SCALE









PERFORMANCE  
DRIVEN DESIGN.  
J&B.com

201 Main Street, Suite 201, Minneapolis, MN 55401 | (612) 332-2525



**Seward**  
COMMUNITY CO-OP

CLIENT  
**Seward Co-op**

2823 E. Franklin Avenue  
Minneapolis, MN 55405

THIS DRAWING APPLICABLE TO ALL  
FULL SIZE SHEETS

NO.	DATE	ISSUED FOR

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
08/24/14

CONTRACT NO. 14-018, INC. ALL RIGHTS RESERVED.

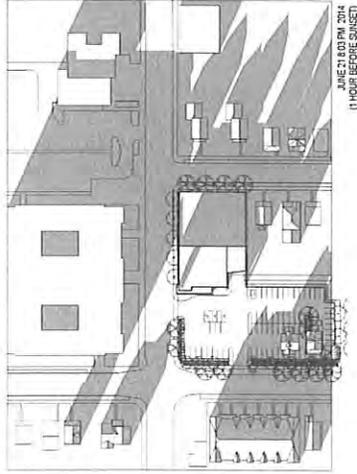
PROJECT NAME  
**Seward Co-op  
Friendship Site**

38th Street East  
Minneapolis, MN 55409

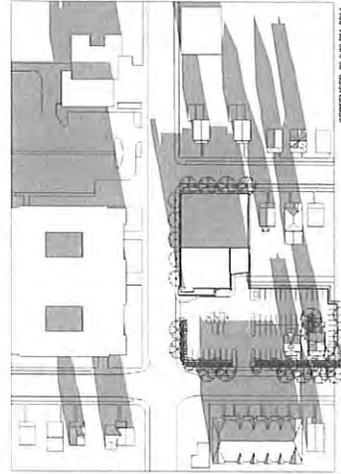
DRAWING TITLE  
**SHADOW STUDY**

FILE: 13075\Seward Co-op-F13-Cover.dwg  
DRAWN BY: RBG  
CHECKED BY: JHB  
PLOT NO: 13075  
DRAWING NO:

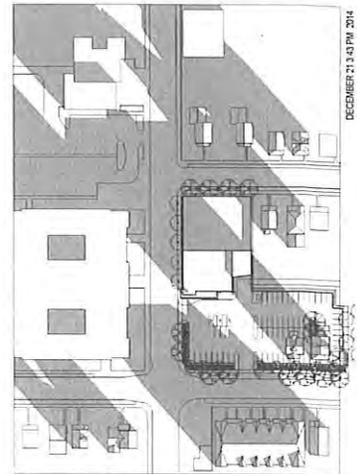
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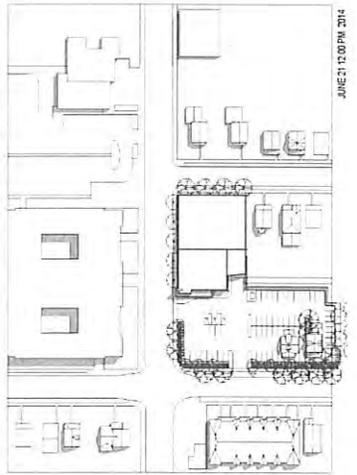
JUNE 21 8:00 PM 2014  
(1 HOUR BEFORE SUNSET)



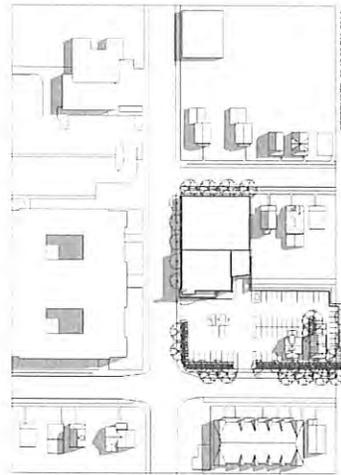
SEPTEMBER 23 8:00 PM 2014  
(1 HOUR BEFORE SUNSET)



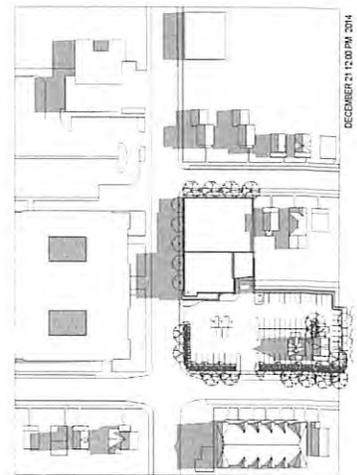
DECEMBER 21 3:43 PM 2014  
(1 HOUR BEFORE SUNSET)



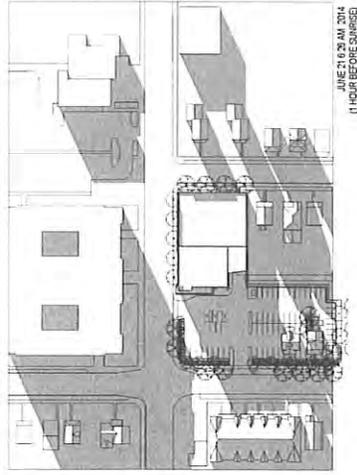
JUNE 21 12:00 PM 2014



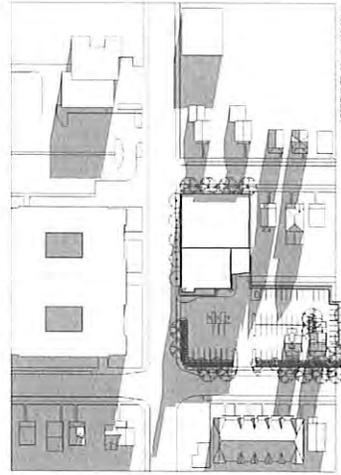
SEPTEMBER 23 12:00 PM 2014



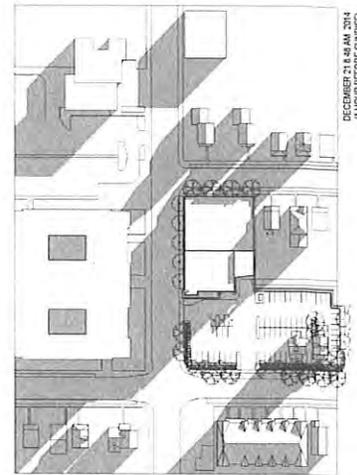
DECEMBER 21 12:00 PM 2014



JUNE 21 6:24 AM 2014  
(1 HOUR BEFORE SUNRISE)



SEPTEMBER 23 8:01 AM 2014  
(1 HOUR BEFORE SUNRISE)



DECEMBER 21 6:48 AM 2014  
(1 HOUR BEFORE SUNRISE)





PERFORMANCE  
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201 Washington Ave. N. Ste. 200 | Minneapolis, MN 55401 | 612.339.2929



**Seward**  
COMMUNITY CO-OP

CLIENT  
Seward Co-op

2823 E. Franklin Avenue  
Minneapolis, MN 55406

THIS DRAWING APPLICABLE TO ALL SHEETS  
HALL SIZE SHEETS

NO.	DATE	ISSUED FOR
NO.	DATE	REVISION

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
8/8/14

CONTRACT: 2014-0118 AS ALL RIGHTS RESERVED

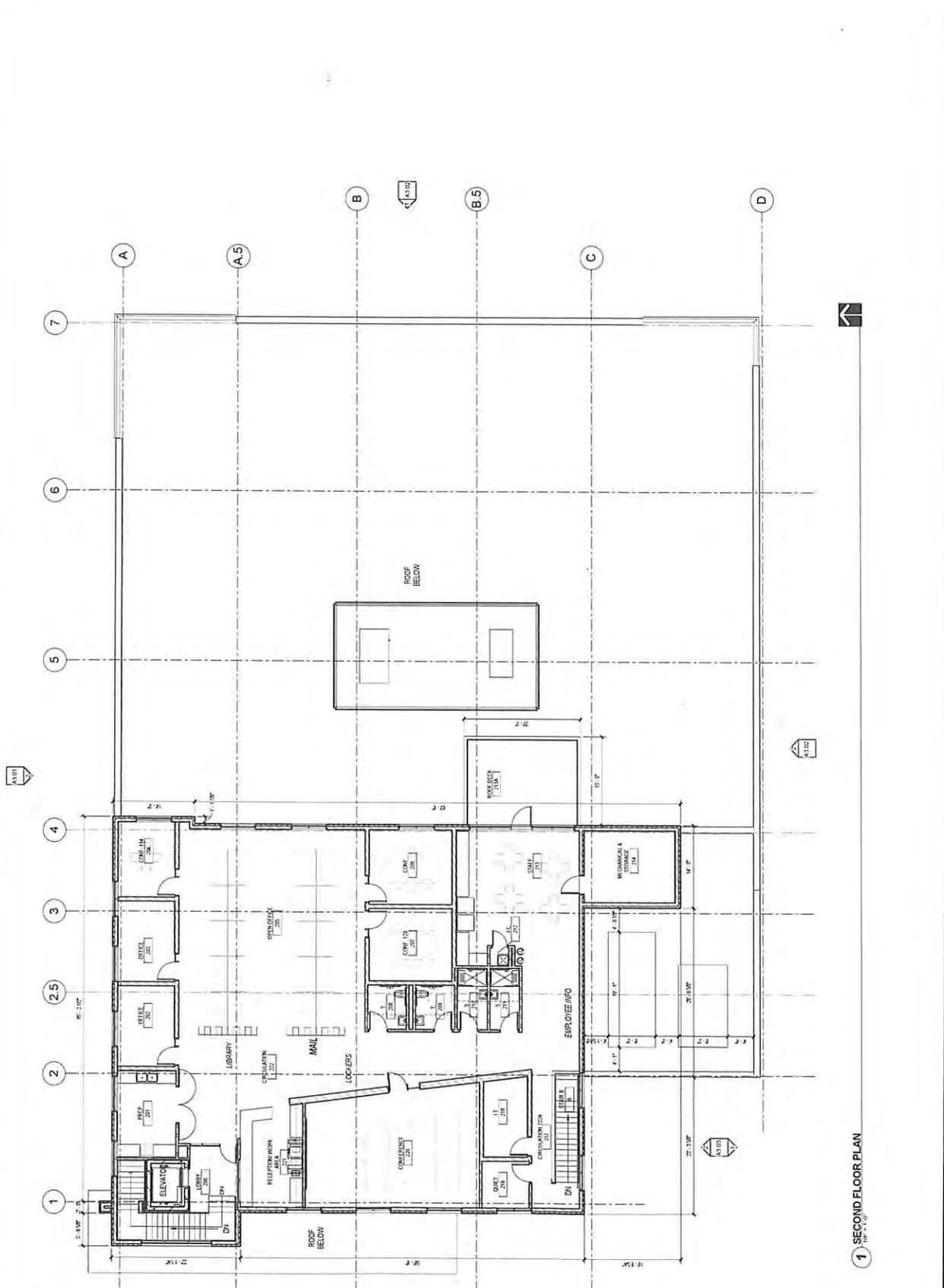
PROJECT NAME  
Seward Co-op  
Friendship Site

38th Street East  
Minneapolis, MN 55409

DRAWING TITLE  
SECOND FLOOR PLAN

FILE: 140118-Seward Co-op A11-02.rvt  
DRAWN BY: JHB  
CHECKED BY: JHB  
PROJ. NO.: 140118  
DRAWING NO.

**A2.02**



**1** SECOND FLOOR PLAN  
1/8\"/>





PERFORMANCE  
DRIVEN DESIGN.  
LDB.com

871 Washington Ave. N., Ste. 200 Minneapolis, MN 55401 | 612.333.2323



**Seward**  
COMMUNITY CO-OP

Client  
**Seward Co-op**

2823 E. Franklin Avenue  
Minneapolis, MN 55406

THIS DRAWING APPLIES TO 1/2" = 1" ON FULL SIZE SHEETS

NO.	DATE	ISSUED FOR

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
A101114

CONTRACT 2014 BY THE USE, INC. ALL RIGHTS RESERVED

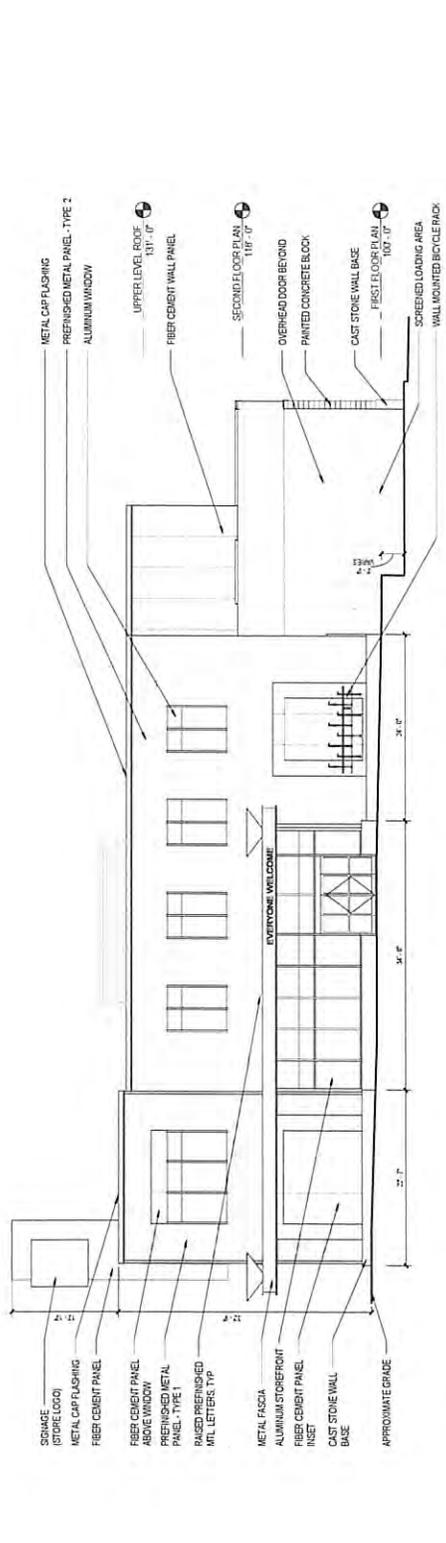
PROJECT NAME  
**Seward Co-op  
Friendship Site**

38th Street East  
Minneapolis, MN 55409

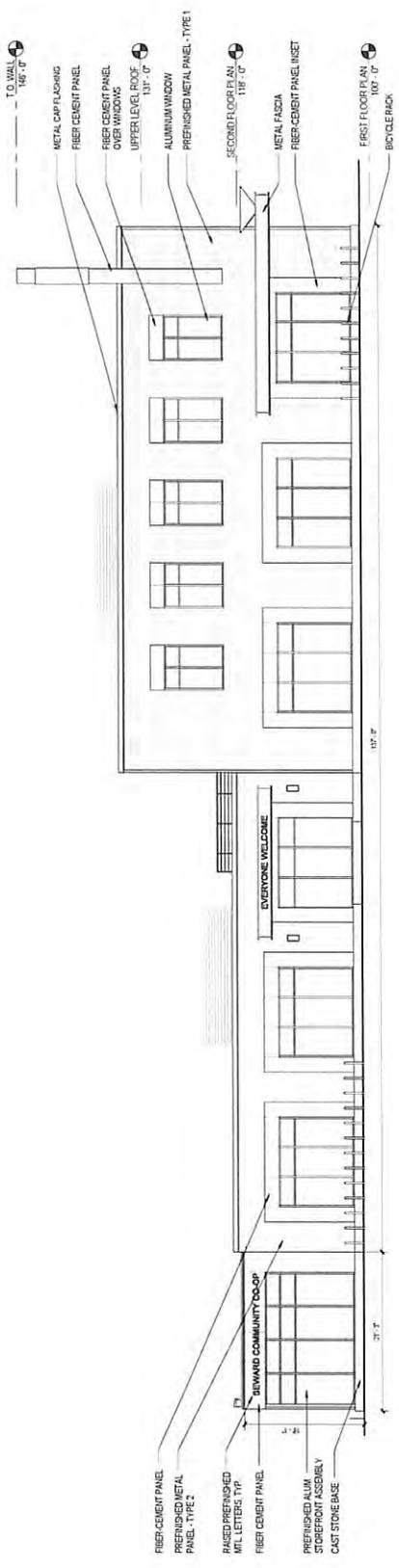
EXTERIOR ELEVATIONS

FILE: 130375\_Seward Co-op A13-001.rvt  
DRAWN BY: JHB  
CHECKED BY: JHB  
PROJ. NO.: 130375  
DATE: 08/08/14

**A3.01**



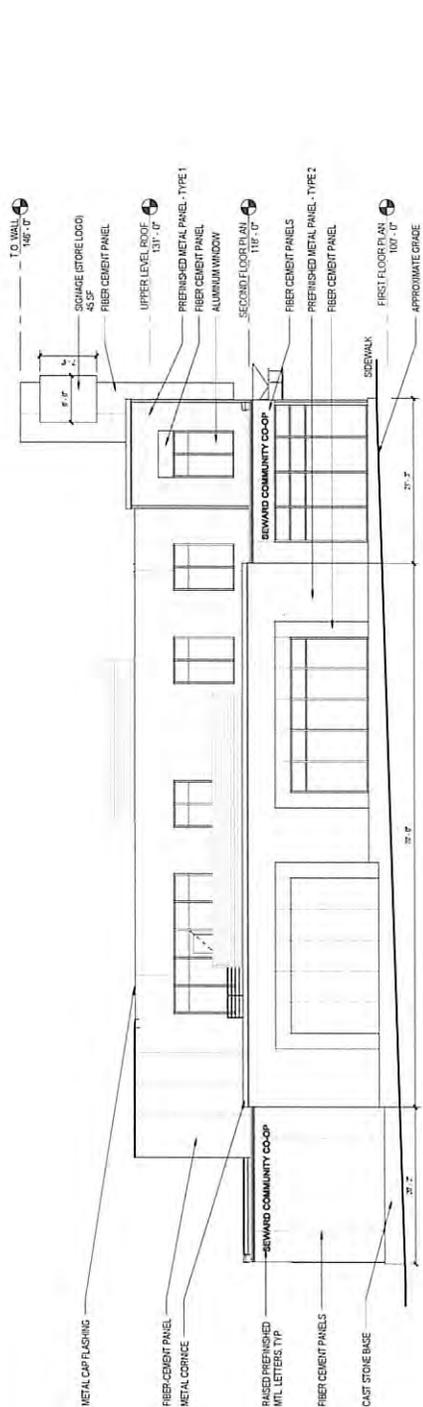
**1** WEST ELEVATION  
1/8" = 1/4"



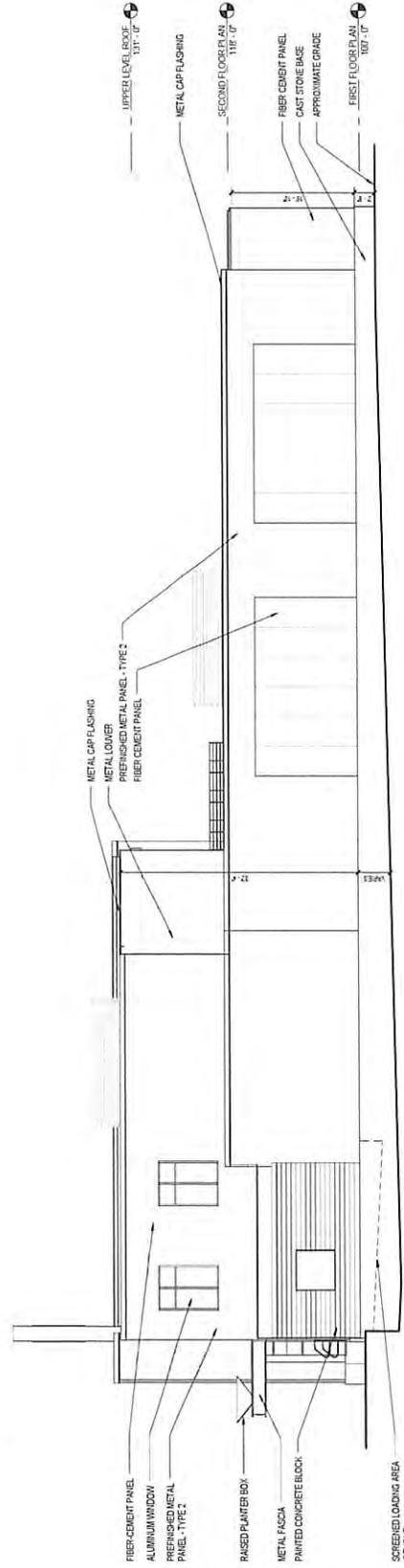
**2** NORTH ELEVATION  
1/8" = 1/4"



**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 4/8/14



**1 EAST ELEVATION**  
 10'-0" N



**2 SOUTH ELEVATION**  
 10'-0" N





**Seward**  
 COMMUNITY CO-OP

CLIENT  
**Seward Co-op**

2823 E. Franklin Avenue  
 Minneapolis, MN 55406

THIS DRAWING APPROVES THE USE OF  
 ALL LISTED ITEMS

NO.	DATE	ISSUED FOR

**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 4/11/14

CONTRACT 2012-01-01, INC. ALL RIGHTS RESERVED

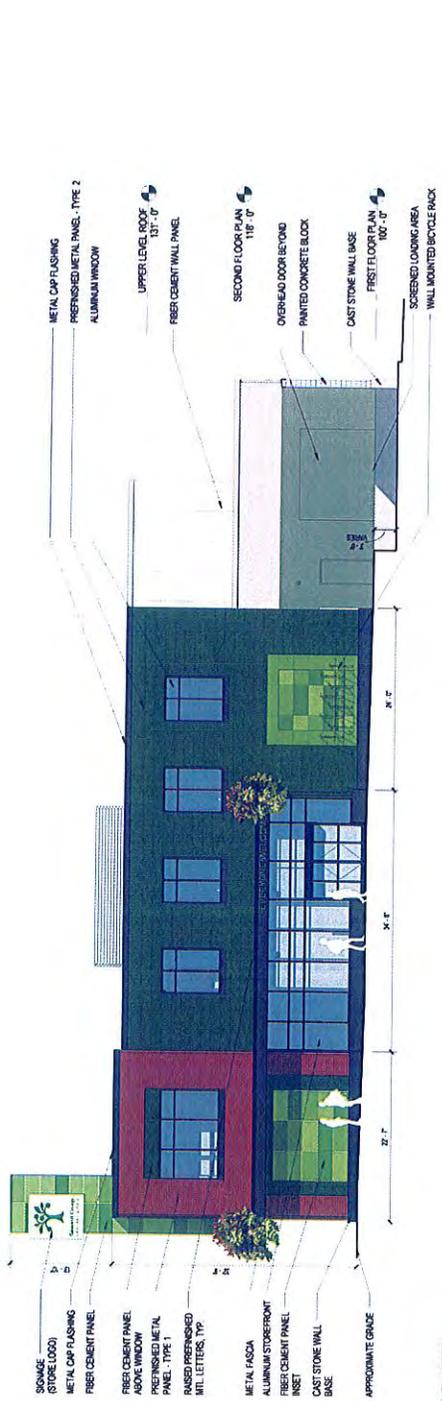
PROJECT NAME  
**Seward Co-op  
 Friendship Site**

38th Street East  
 Minneapolis, MN 55409

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

FILE 13075 Seward Co-op A13 Crane  
 DRAWN BY RBG  
 CHECKED BY UAG  
 PROJ. NO. 13075  
 DRAWING NO.

**A3.01**



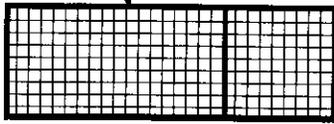
**1 WEST ELEVATION**  
 147'-2 1/2'



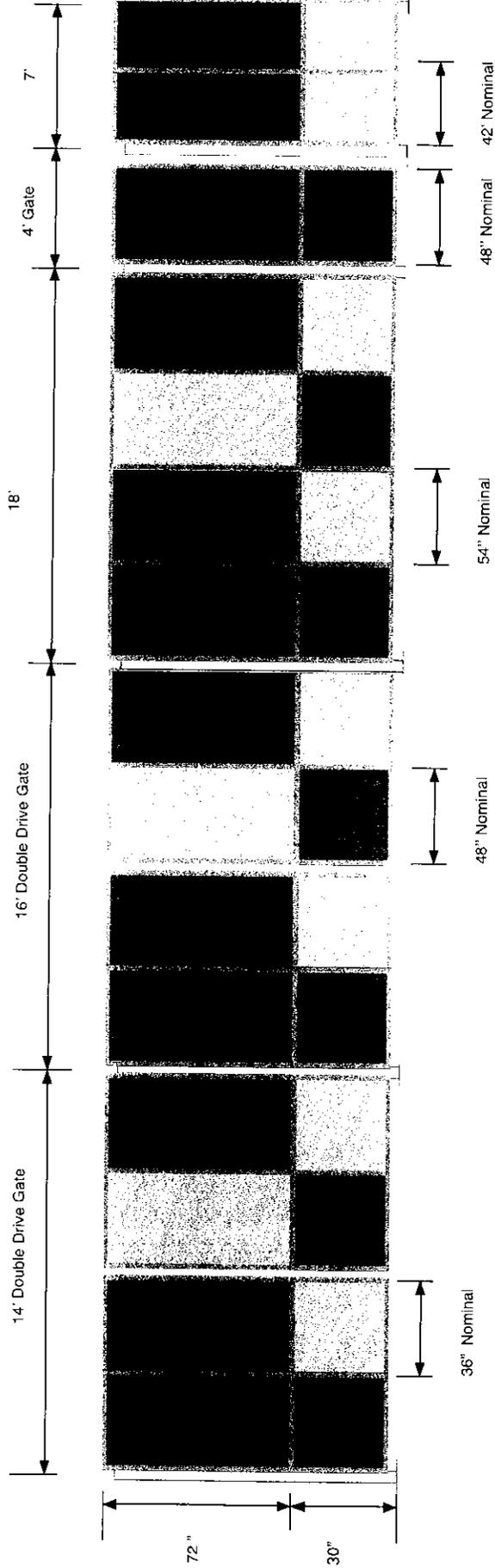
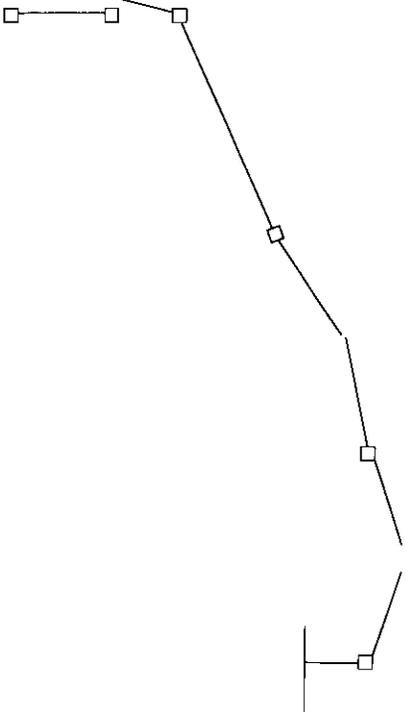
**2 NORTH ELEVATION**  
 147'-2 1/2'



**MWI SHOP**



1.1/2" square tube with expanded metal on inside of enclosure  
 Panels sizes will vary



**Verify All Dimensions**

Material Unless Otherwise Noted Shall Comply  
 With:  
 Shapes & Plates ASTM A 36  
 Wide Flange Shapes ASTM A572, GR 50  
 Tubes ASTM A500, Gr B  
 Pipe ASTM A53  
 Bolts ASTM A307  
 Anchor Bolts ASTM A449

**Trash Enclosure - Swards Coop**

Midwest Wrought Iron 1221 Broadway Street NE Mpls MN 55413

Drawn by E. T. Hamilton Drawing Not To Scale Oct. 22, 2007

Approved By SwardsCoopTE R8/23/13 Anchor Bolts

Material Unless Otherwise Noted Shall Comply  
 With:  
 Shapes & Plates ASTM A 36  
 Wide Flange Shapes ASTM A572, GR 50  
 Tubes ASTM A500, Gr B  
 Pipe ASTM A53  
 Bolts ASTM A307  
 Anchor Bolts ASTM A449



# SEWARD FRIENDSHIP ADDITION

R.T. DOC. No. \_\_\_\_\_  
C.R. DOC. No. \_\_\_\_\_

KNOW ALL PERSONS TO THESE PRESENTS, that Seward Community Co-op, Inc., a Minnesota corporation, has cause of the following described property situated in that county of Hennepin, State of Minnesota to wit:

Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 and 14, Block 1, Addition to Seward Community Co-op, Inc., a Minnesota corporation, for cause of the following described property situated in that county of Hennepin, State of Minnesota to wit:

Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 and 14, Block 1, Addition to Seward Community Co-op, Inc., a Minnesota corporation, for cause of the following described property situated in that county of Hennepin, State of Minnesota to wit:

Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 and 14, Block 1, Addition to Seward Community Co-op, Inc., a Minnesota corporation, for cause of the following described property situated in that county of Hennepin, State of Minnesota to wit:

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Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 and 14, Block 1, Addition to Seward Community Co-op, Inc., a Minnesota corporation, for cause of the following described property situated in that county of Hennepin, State of Minnesota to wit:

**MINNEAPOLIS, MINNESOTA**  
I hereby certify that the plan of FRIENDSHIP ADDITION was approved by the City Planning Commission of the City of Minneapolis, Minnesota, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and that the same is on file in the office of the Commissioner of Public Works, City of Minneapolis, Minnesota, and that the same is subject to the provisions of the Ordinance of the City of Minneapolis, Minnesota, Chapter 230.02, in the Ordinance Code of Ordinances.

**MINNEAPOLIS, MINNESOTA**  
I hereby certify that the plan of FRIENDSHIP ADDITION was approved by the City Planning Commission of the City of Minneapolis, Minnesota, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and that the same is on file in the office of the Commissioner of Public Works, City of Minneapolis, Minnesota, and that the same is subject to the provisions of the Ordinance of the City of Minneapolis, Minnesota, Chapter 230.02, in the Ordinance Code of Ordinances.

**MINNEAPOLIS, MINNESOTA**  
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**RECORD AND REAL ESTATE SERVICES** - Hennepin County, Minnesota  
I hereby certify that this plan has been filed for record in this office on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and that the same is on file in the office of the Commissioner of Public Works, City of Minneapolis, Minnesota, and that the same is subject to the provisions of the Ordinance of the City of Minneapolis, Minnesota, Chapter 230.02, in the Ordinance Code of Ordinances.

**SURVEY DIVISION** - Hennepin County, Minnesota  
I hereby certify that this plan has been approved by me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and that the same is on file in the office of the Commissioner of Public Works, City of Minneapolis, Minnesota, and that the same is subject to the provisions of the Ordinance of the City of Minneapolis, Minnesota, Chapter 230.02, in the Ordinance Code of Ordinances.

**REGISTER OF TITLES** - Hennepin County, Minnesota  
I hereby certify that this plan has been approved by me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and that the same is on file in the office of the Commissioner of Public Works, City of Minneapolis, Minnesota, and that the same is subject to the provisions of the Ordinance of the City of Minneapolis, Minnesota, Chapter 230.02, in the Ordinance Code of Ordinances.

**COUNTY RECORDER** - Hennepin County, Minnesota  
I hereby certify that this plan has been approved by me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and that the same is on file in the office of the Commissioner of Public Works, City of Minneapolis, Minnesota, and that the same is subject to the provisions of the Ordinance of the City of Minneapolis, Minnesota, Chapter 230.02, in the Ordinance Code of Ordinances.

# SEWARD FRIENDSHIP ADDITION

R.T. DOC. No. \_\_\_\_\_

C.R. DOC. No. \_\_\_\_\_

SECTION 16E  
 1/2 SECTION 16E  
 TOWNSHIP 16E  
 RANGE 16E

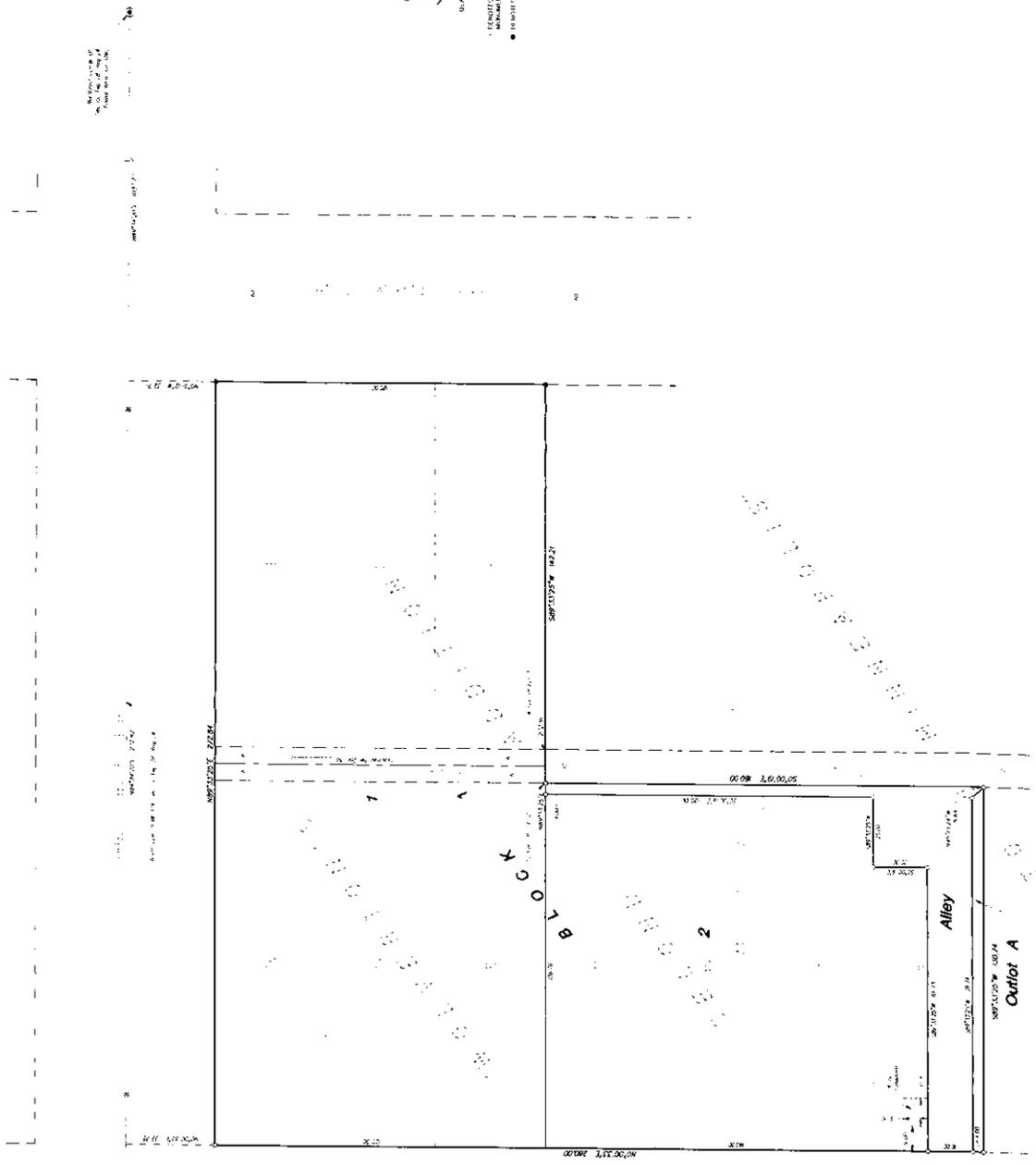
SECTION 16E  
 1/2 SECTION 16E  
 TOWNSHIP 16E  
 RANGE 16E

SECTION 16E  
 1/2 SECTION 16E  
 TOWNSHIP 16E  
 RANGE 16E

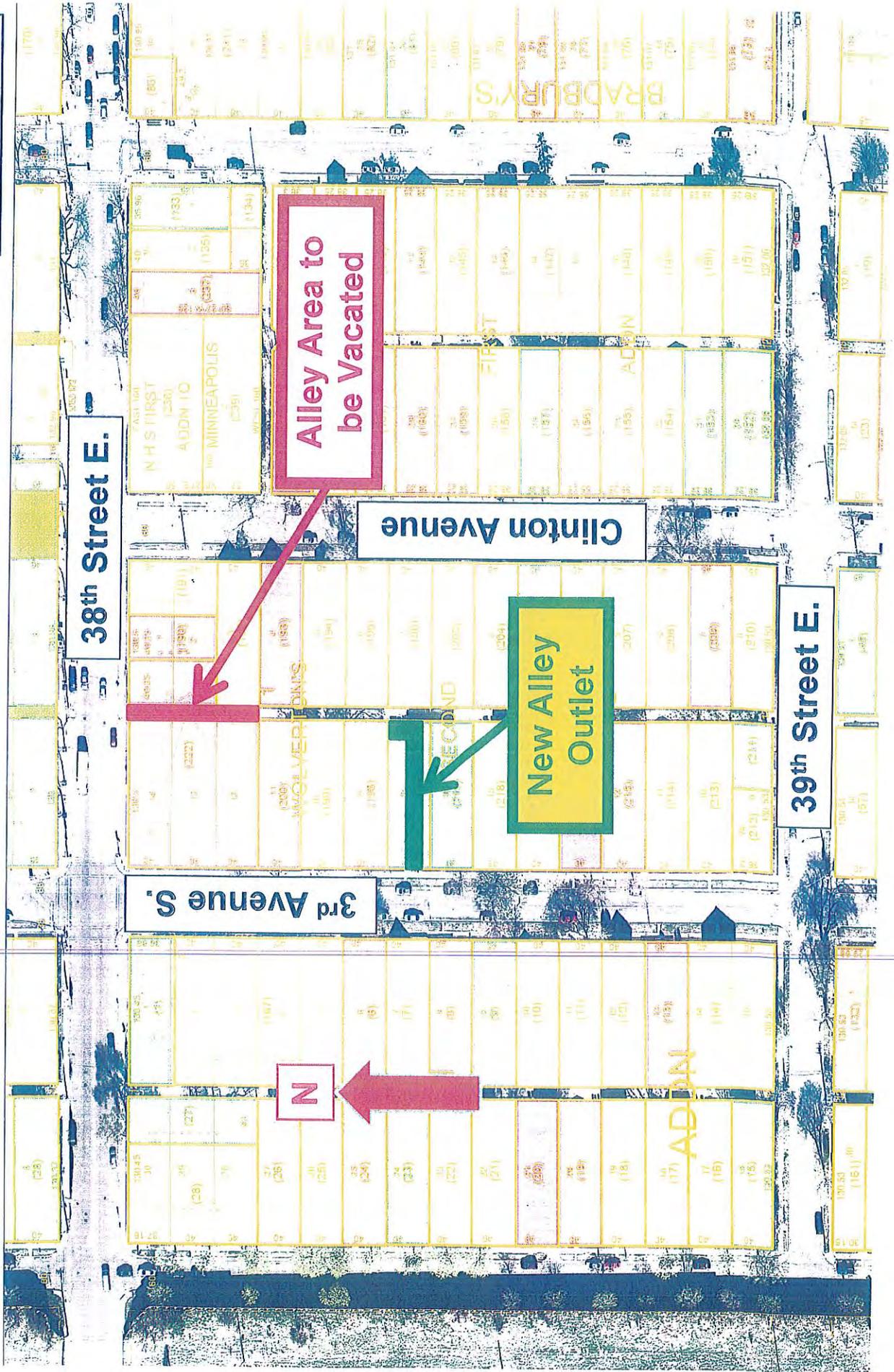
SECTION 16E  
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 RANGE 16E

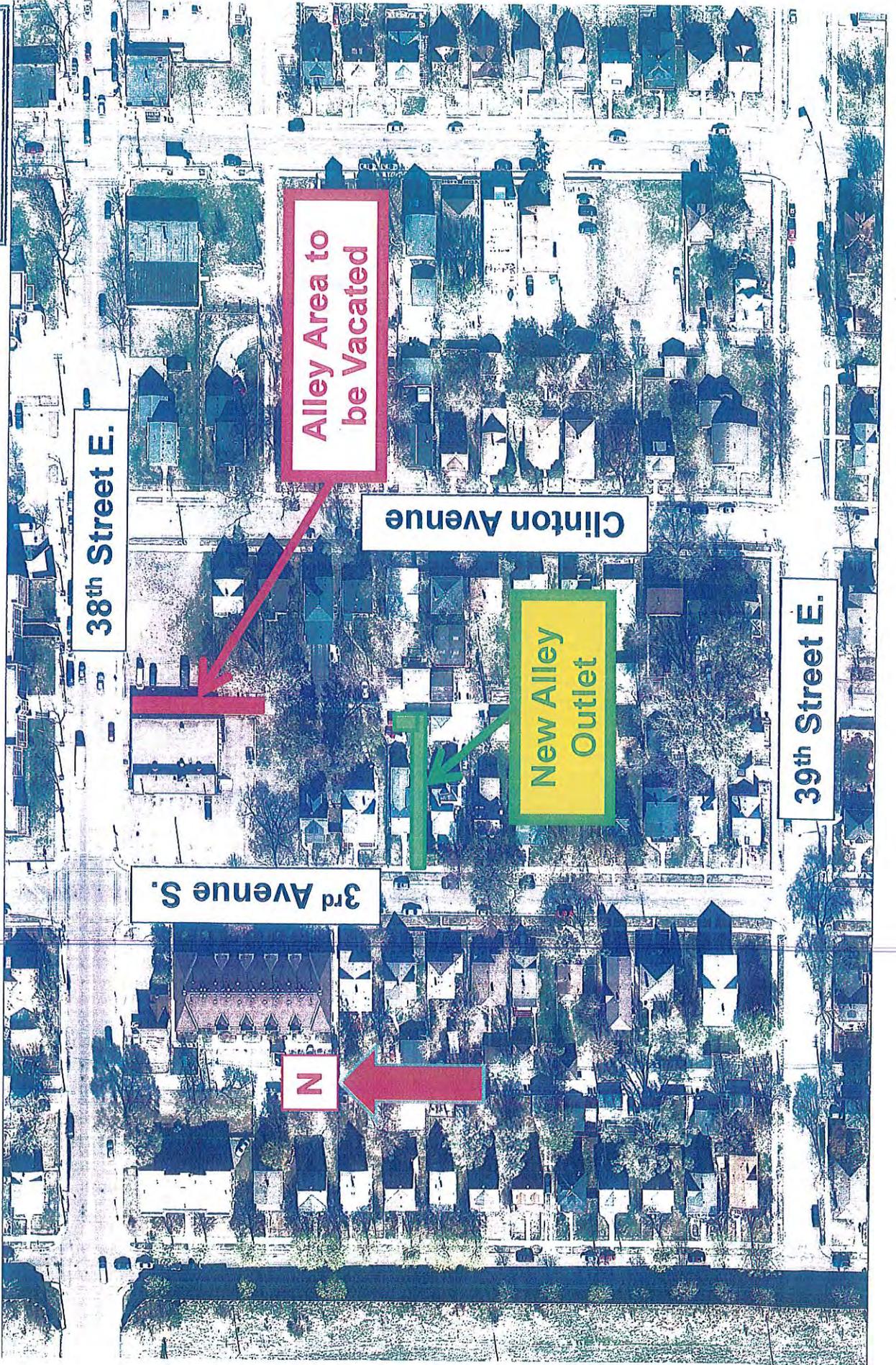


UNLESS OTHERWISE NOTED:  
 - DIMENSIONS ARE IN FEET AND INCHES  
 - DIMENSIONS TO CENTER OF WALL UNLESS NOTED OTHERWISE  
 - DIMENSIONS TO EXTERIOR UNLESS NOTED OTHERWISE



**LOUCKS**  
**ASSOCIATES**





38th Street E.

Alley Area to  
be Vacated

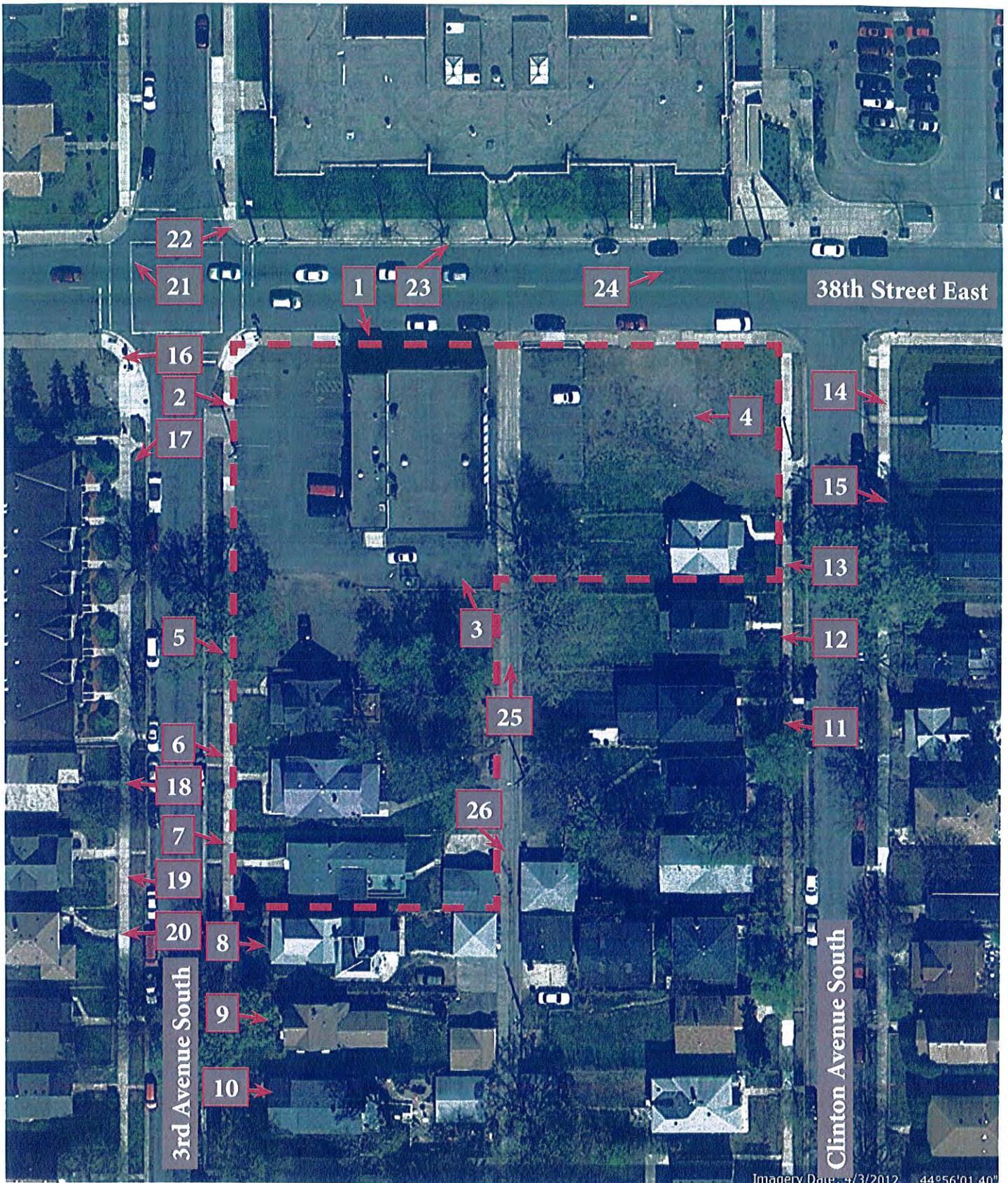
Clinton Avenue

New Alley  
Outlet

39th Street E.

3rd Avenue S.

N



--- Project Area



**Seward**  
COMMUNITY CO-OP

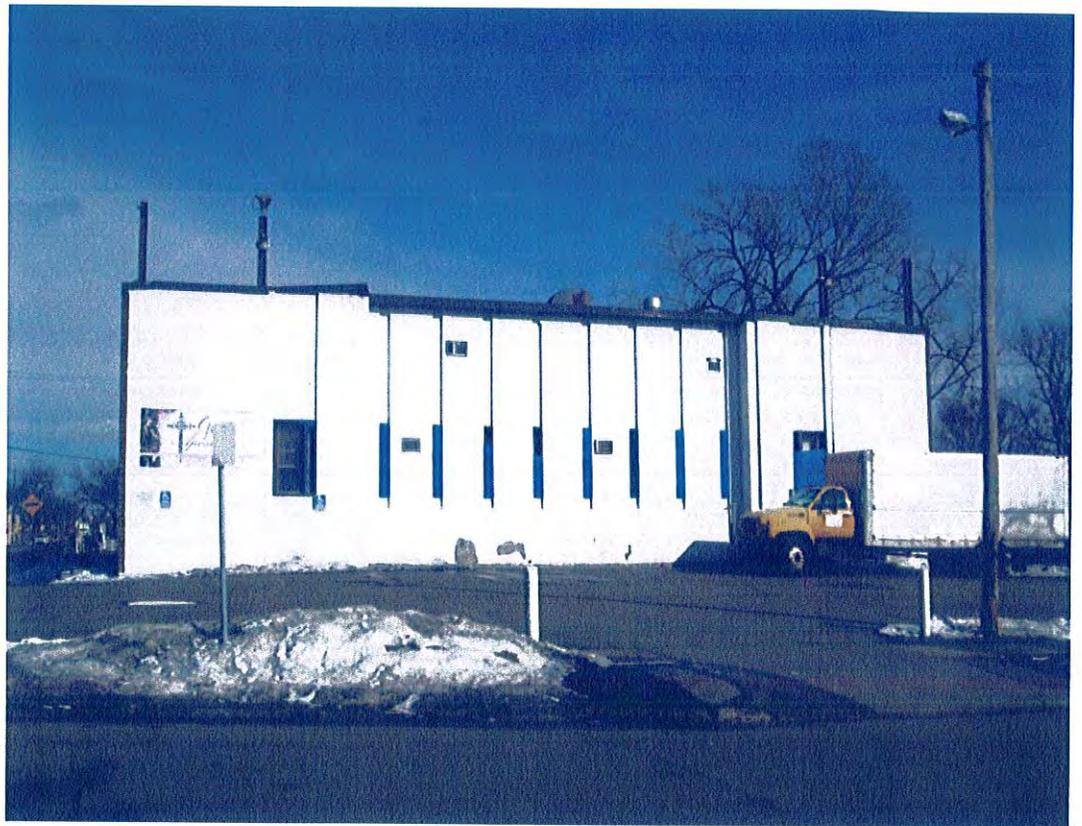
**Photo #1:**  
3805 3rd Ave South  
Greater Friendship  
Church, view from 38th  
Street E.

Scheduled for demolition.



**Photo #2:**  
3805 3rd Ave South  
Greater Friendship  
Church, view from 3rd  
Avenue S.

Scheduled for demolition.



**Photo #3:**  
**3805 3rd Ave South**  
Greater Friendship  
Church, view from the  
south.

Scheduled for demolition.



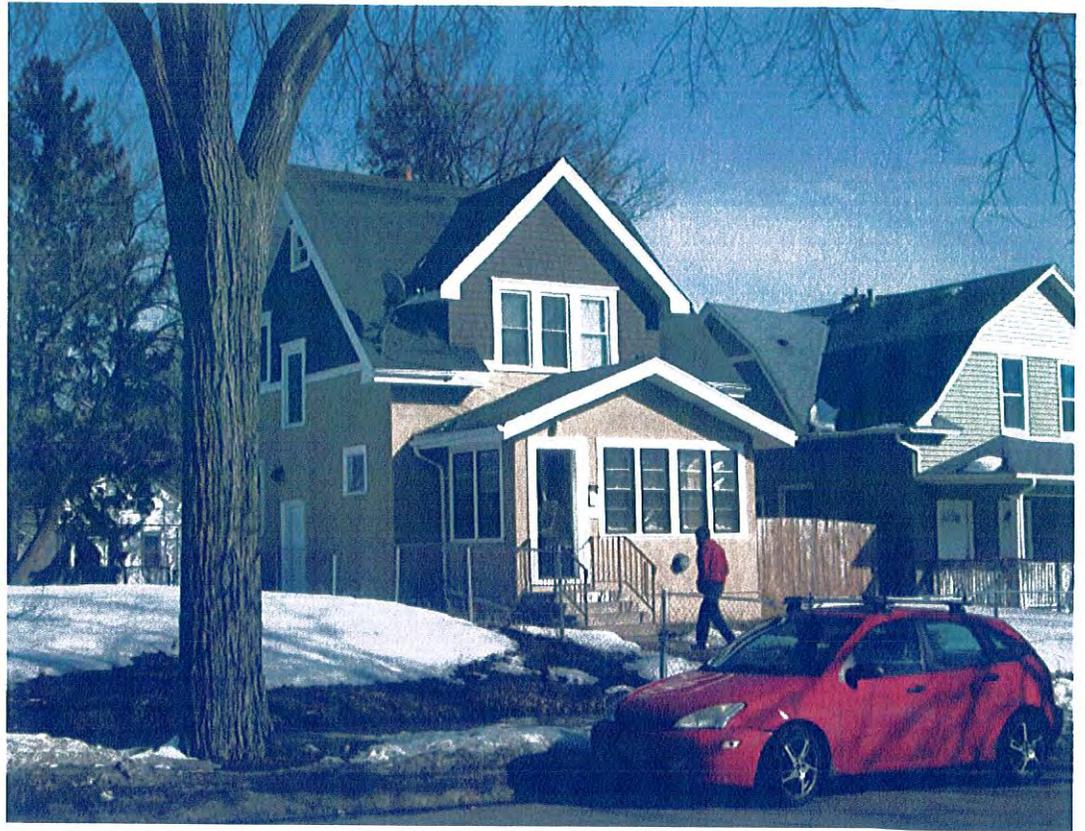
**Photo #4:**  
**3805 3rd Ave South**  
Greater Friendship  
Church, view from  
Clinton Avenue S.

Scheduled for demolition.



**Photo #5:**  
**3817 3rd Avenue S**  
Single family home

Scheduled for demolition



**Photo #6:**  
**3821 3rd Avenue S**  
Two-unit home

Scheduled for demolition



**Seward**  
COMMUNITY CO-OP

**Photo #7:**  
3825 3rd Avenue S  
Single family home

Scheduled for demolition



**Photo #8:**  
3829 3rd Avenue S  
Two-unit home

Property to the south of  
the project location.



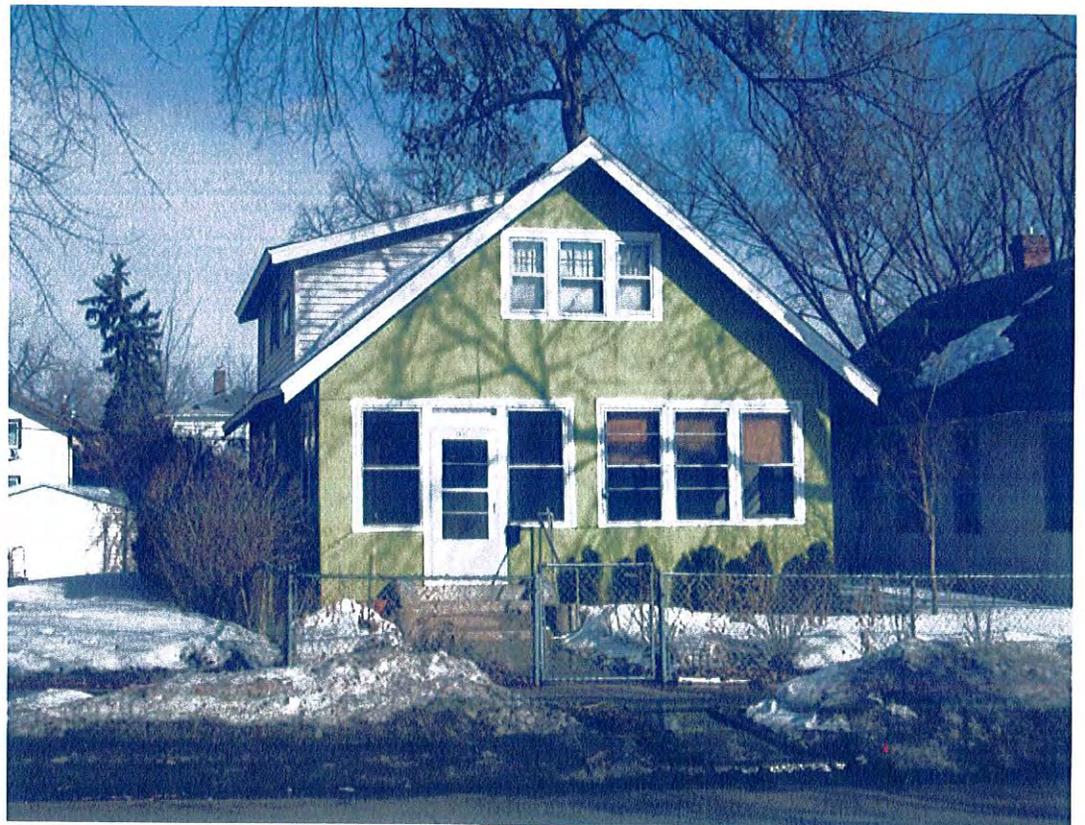
**Photo #9:**  
**3833 3rd Avenue S**  
Single family home

Property to the south of  
the project location



**Photo #10:**  
**3837 3rd Avenue S**  
Single family home

Property to the south of  
the project location



**Photo #11:**  
**3816 Clinton Avenue S**  
Single family home

Property to the south of  
the project location



**Photo #12:**  
**3812 Clinton Avenue S**  
Single family home

Property to the south of  
the project location



**Photo #13:**  
**3808 Clinton Avenue S**  
Single family home, formerly owned by Greater Friendship Church

Scheduled for demolition



**Photo #14:**  
**3801 Clinton Avenue S**  
Single family home

Located to the east of the project site.



**Photo #15:**  
**3803 Clinton Avenue S**  
Single family home

Located to the east of the project site.



**Photo #16:**  
**3800 3rd Avenue S**  
Commercial property,  
with surface parking lot  
along 3rd Avenue South

Located to the west of the project site.



**Photo #17:**  
**3806 3rd Avenue S**  
Low income rental  
housing

Located to the west of the  
project site



**Photo #18:**  
**3820 3rd Ave S**  
Single family home

Located to the west of the  
project site



**Photo #19:**  
3824 3rd Avenue S  
Single family home

Located to the west of the  
project site



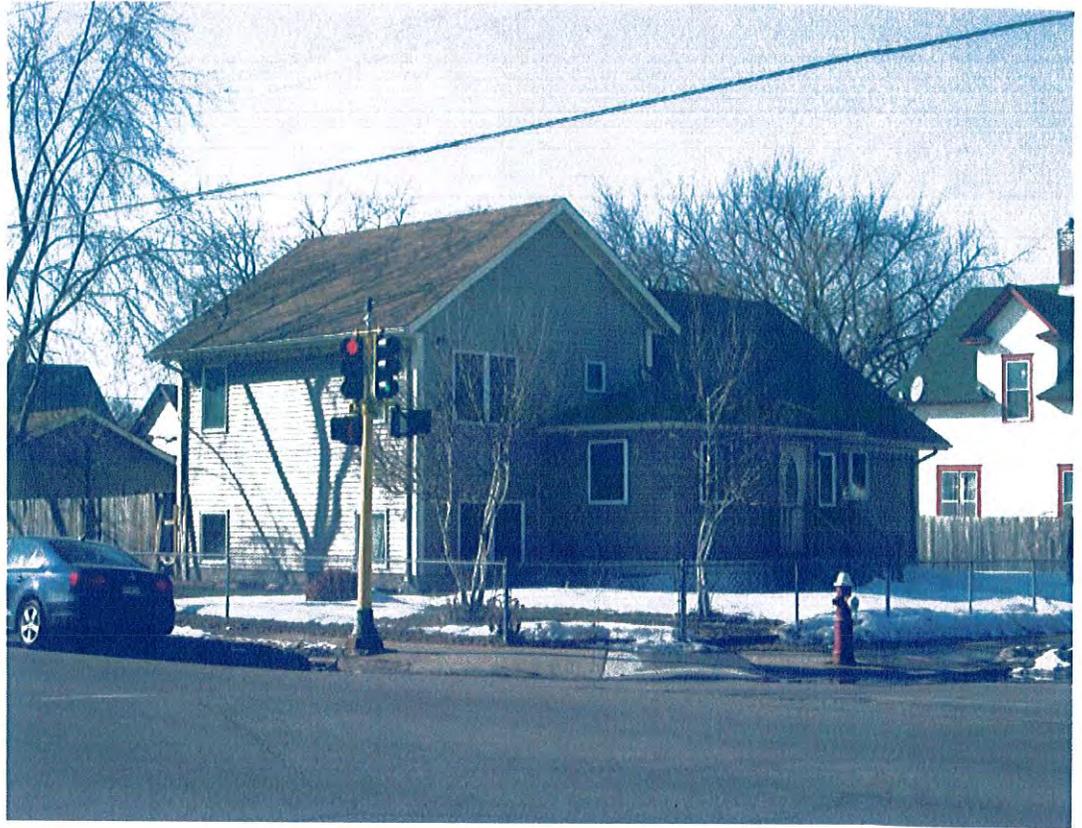
**Photo #20:**  
3828 3rd Avenue S  
Single family home

Located to the west of the  
project site



**Photo #21:**  
**3752 3rd Avenue S**  
Single family home

Located to the northwest  
of the project site



**Photo #22:**  
**310 38th Street E**  
Sabathani Community  
Center

Large community center  
directly north of the  
project site.



**Photo #23:**  
**310 38th Street E**  
Sabathani Community  
Center

Large community center  
directly north of the  
project site.



**Photo #24:**  
**310 38th Street E**  
Sabathani Community  
Center signage

Large existing sign near  
corner of 38th Street E  
and Clinton Avenue S



**Photo #25:**

**Alley**

View of the north portion of the alley between 3rd Avenue S and Clinton Avenue S

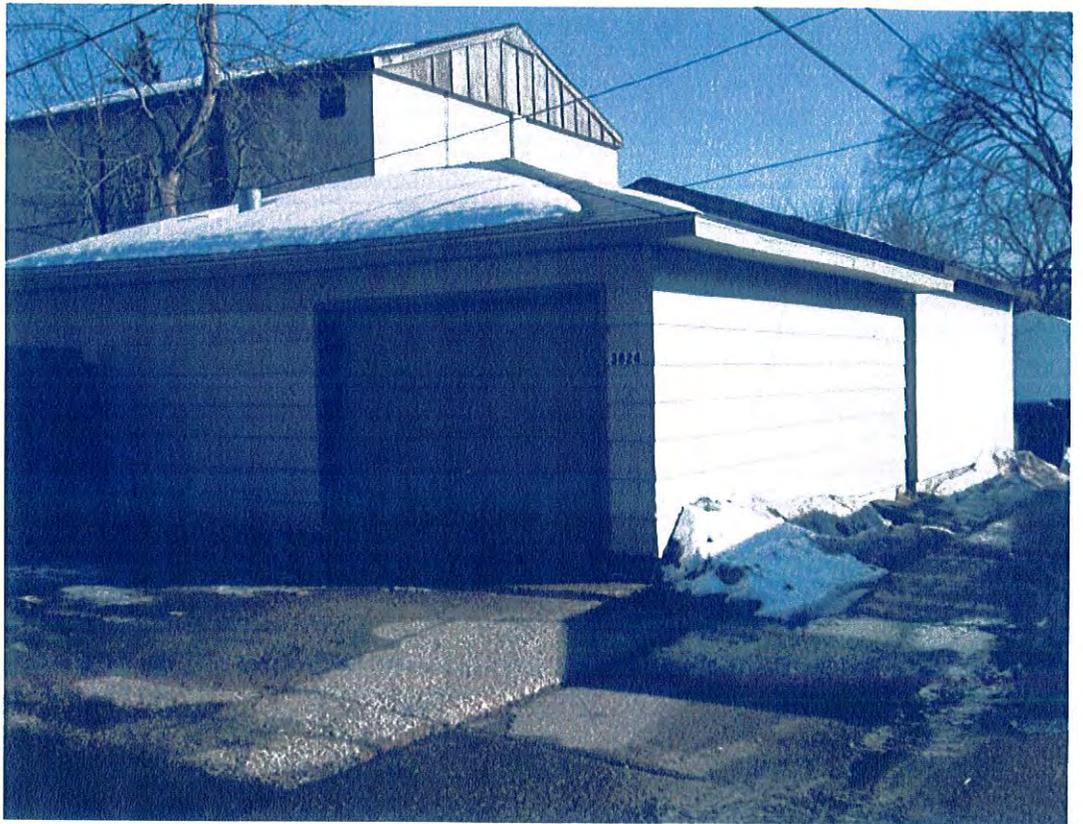
Note: This portion of the alley is included in the alley vacation application



**Photo #26:**

**Alley**

This garage is near the end of the vacated alley where it will turn towards 3rd Avenue S. Seward Co-op has worked with the Owner to discuss access issues related to the alley vacation. To simplify access into the garage, the overhead door will be relocated to the west side.



**Farrar, Rebecca D.**

---

**From:** Laura Schilling <schilling.l.j@gmail.com>  
**Sent:** Tuesday, May 06, 2014 8:32 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-Op Expansion Support

Hi Becca,

I am currently a resident of the Bancroft neighborhood and find that our neighborhood is a bit of a food desert. I am writing in support of the Seward Co-ops expansion to our neighborhood.

To get healthy food at a low cost, I have to drive at least 15 minute to a different neighborhood grocery store (uptown, longfellow, seward, nokomis) Being a one car family with two working parents, this can making shopping for our family difficult. Thankfully, we have a car. I know that many of the residents in this neighborhood are even more isolated than us.

I was thrilled to hear about the possible expansion of the Seward Co-op to the Central/Bryant neighborhood. This location would make healthy food much more accessible to my family. We also personally agree with much of what Co-ops can do for the local economy and the health of its people. We are regular supporters of the Seward Co-op as it is - I'd love to bring that business and support even closer to home.

Please feel free to reach out to me with any questions. I am happy to do whatever I can to see this change to our community.

Thank you for your time and consideration,  
Laura Schilling

--  
Laura Schilling  
[Schilling.l.j@gmail.com](mailto:schilling.l.j@gmail.com)

**Farrar, Rebecca D.**

---

**From:** Heather Willy <hrwilly@gmail.com>  
**Sent:** Tuesday, May 06, 2014 3:12 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op Friendship Store

Hi Becca,

Thank you for your work on the Seward Co-op Friendship Store. I am a resident of the Central neighborhood and am extremely excited about the prospect of having a co-op so close to my home. I believe that the Seward Co-op is a much needed addition to the neighborhood and will be an excellent addition to the community. I also think its is a highly compatible and natural extension of the 38<sup>th</sup> Street and Chicago Avenue Small Area / Corridor Framework Plan and will help connect 38th and Chicago to the rapid development along Nicolette Ave.

Again, thank you for your continued work on this project.

--

Heather Willy  
3737 4th Ave S  
Minneapolis, MN 55409  
6124231775

**Farrar, Rebecca D.**

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**From:** Greg Klave <gregklave@msn.com>  
**Sent:** Friday, May 02, 2014 2:30 PM  
**To:** Cano, Alondra; Farrar, Rebecca D.  
**Subject:** Support for Seward Co-op in Central neighborhood

Dear Minneapolis government official/council member,

I'd like to use this communication to express my support for the Seward Co-op new store in the Central neighborhood.

I think they would be an asset to the community and a good employer and focus for community cohesion.

Please help change any license barriers that are outdated and would impede the development of this project and bring about undue extra costs to the cooperative owners/members, people from the community.

Respectively,

Greg Klave

2636 30th Ave S.

Minneapolis, Mn 55406

**Farrar, Rebecca D.**

---

**From:** Bree Sieplinga <breesiep@gmail.com>  
**Sent:** Monday, April 28, 2014 12:52 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Support for Friendship Coop

Ms. Farrar,

I am writing to express my support of the plans for the Friendship Coop to be built in my neighborhood. I am a resident of Powderhorn, and one of the leaders of my Block Club of the 3700 Block of Elliot. I have to drive well outside of my neighborhood to buy groceries, and I would welcome the addition of the Friendship Coop in the vicinity, as a closer option to buy my groceries. I have talked to many of my neighbors on my block, and they feel the same.

There continues to be groups that want to stop this initiative without giving good reasons as to why this initiative would be harmful for the neighborhood. Most of the people on my block have lived in their houses for 10 to 25+ years. They are not newcomers coming in and overtaking this dialogue. They are the people that have always been here, that want to shop in the same community in which they live. I urge you to listen to whole community when considering what support does or does not exist for this project.

Thank you,  
Bree Sieplinga  
Resident of Powderhorn

**Farrar, Rebecca D.**

---

**From:** Chandler Molbert <chandler.molbert@gmail.com>  
**Sent:** Monday, April 28, 2014 2:00 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op in Central neighborhood

Ms. Farrar

I wanted to send a short email in support of the proposed co-op in the central neighborhood. My family lives at 3745 5th Ave S. We love our neighborhood. We love the diversity, the young families (like ours), the proximity to wonderful parks and city centers. It is a great place to live and we look forward to many wonderful years in our home.

A new Seward Co-op would be an invaluable addition to our neighborhood. My wife and I are committed to our local co-ops and are members at the Wedge, a 15-20 minute drive. We would love a closer option. Moreover, we look forward to the new co-op becoming a neighborhood fixture where we can visit with people from the neighborhood.

Please let me know if I can be of assistance in making this proposal a reality.

Best regards,  
Chandler Molbert

## Farrar, Rebecca D.

---

**From:** Erik Addy <erikaddy@yahoo.com>  
**Sent:** Monday, April 28, 2014 4:15 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Friendship Store

To whom it may concern,

I am writing today to express my support of the Steward Co-Op "Friendship Store" proposal for 38<sup>th</sup> Street. I am a strongly in favor of this development and I would like to know where you stand on this issue. There are many reasons why I feel this co-op is absolutely critical to our neighborhood:

1. Unused space- The proposed location is currently mostly vacant, which does nothing for the area. Presumably the new store would increase property tax revenues.
2. Jobs- this is an economically depressed area, adding jobs can only help the neighborhood. The co-op will provide decent jobs to many people in the neighborhood. Furthermore, I suspect the store will serve as an "anchor" to economic development along the 38<sup>th</sup> Street corridor. As I'm sure you know, the 38<sup>th</sup> and Chicago corner in particular needs that development, and although there has been substantial progress, it is tenuous (as indicated by my conversations with some of the business owners). Further business development is needed to ensure the "critical mass" needed for success of all involved.
3. Lack of alternatives- Despite what some have said, the "food desert" moniker does apply to this area. There is currently no significant grocer in the vicinity, nor will there be if this development is not completed. I have a close relative who is a leader in market analysis for the grocery industry and he is quite confident that no large grocer will develop anywhere near this area. A Rainbow or Cub simply does not build stores that small. It is not going to happen.
4. Population Growth- The city of Minneapolis needs population growth to pay its pension obligations, to repair its aging infrastructure, and continue to provide all the services its

I know that there are some who have said things like “we don’t need outsiders help.” That is not what is happening here- by definition, the co-op is member owned, so it is us helping ourselves. Those who do not want to shop at the Friendship store are under no obligation to, and the store is not preventing other options or taking away any other community assets. As described earlier, the store is going on largely unused land, and no other grocer is considering building in the area.

Further, I feel strongly that approving this project fits in very well with Mayor Hodge’s “One Minneapolis”, and the “three questions” that she references as on her office whiteboard to guide decision making.

To the best of your ability, please help expedite the approval process for this important, locally driven, project.

Thank You,

Erik Addy

[erikaddy@yahoo.com](mailto:erikaddy@yahoo.com)

952-270-0934

## Farrar, Rebecca D.

---

**From:** Erin Swenson-Klatt <erin.swenson-klatt@usfamily.net>  
**Sent:** Monday, April 28, 2014 10:37 PM  
**To:** Farrar, Rebecca D.  
**Subject:** In support of the Seward Friendship Co-op

Dear Ms. Farrar,

I am writing as a young person who lives and works in the Kingfield neighborhood to express my strong support and enthusiasm for the Seward Friendship Co-op project on 38th Street. While I understand the process for this project has been controversial, I believe that the co-op will be an immense asset for all of our neighborhoods.

My family owns a small restaurant which will only be a few blocks from the co-op, and we are excited for the increased traffic inside our neighborhood, the jobs it will create for our neighbors, and the time it will save us to have a wider variety of produce and other groceries a few minutes away. We often run errands to pick up groceries for our restaurant, and while we can buy a few things from corner stores in Kingfield, we typically drive a few miles to uptown or further afield for these errands. Time and gas money are both precious – a neighborhood grocery store will be a great help to us, and allow us to live more sustainably!

Furthermore, while a full service grocery store of any kind would be a huge help to us, but we couldn't be more thrilled that it will be a community owned, co-operative grocery store that supports local food producers, farmers, and its workers. While no development process can be perfect, I am convinced that the Seward Co-op has approached this opportunity with excellent intentions and solid plans, and that they will continue to be a great neighbor in this corner of Minneapolis. Our community, and the city of Minneapolis, should be supporting such enterprises to every extent possible in order to follow through on our commitments to building a dense, livable, sustainable city and region.

Thank you so much for your time!  
Erin Swenson-Klatt  
Cafe Manager, Butter Bakery Cafe

**Farrar, Rebecca D.**

---

**From:** Ince, Wilbur <wilbur@wilbur.us>  
**Sent:** Thursday, May 01, 2014 1:51 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Coop Project Support

My name is Wilbur Ince, and I live at 4137 Elliot Avenue in Minneapolis. I am writing in support of the new Seward Coop project, planned for the space across from the Sabathani center.

As a local resident and gardener, I have a strong interest in having access to good food in my neighborhood. It's important that we get approval for this because we really need it. It seems that building a local store goes against a number of ordinances. We need to remove these obstacles and provide local food.

Currently our neighborhood is considered a food desert, meaning that local residents do not have access to healthy food. We must change this.

Please show your support for making Minneapolis a healthy livable city.

Contact me with any questions, and Thank you.

Wilbur Ince  
651.488.6112

**Farrar, Rebecca D.**

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**From:** Kara Yorkhall <karayorkhall@gmail.com>  
**Sent:** Friday, April 25, 2014 8:41 PM  
**To:** Farrar, Rebecca D.; Chandler Yorkhall  
**Subject:** Seward Coop at 38th St. and 3rd Ave.

Hi Becca,

Our family lives at 4023 3rd Ave. S. We have been here for 9 years and we have started our family here. We have three daughters- ages 8, 5 and 2. We are well connected to our neighbors, and love the diversity and strength of our neighborhood. As long time coop shoppers and holistic health care practitioners we are thrilled that Seward Coop is planning to open a store 2 blocks from our house. We ask that you do everything you can to support this project to completion.

Thank you.

Sincerely,

Kara and Chandler Yorkhall

Kara Yorkhall, L.Ac, MaOM, FABORM  
Fertile Ground Natural Care  
2457 Lyndale Avenue South  
Minneapolis, MN 55405  
[www.fertilegroundnaturalcare.com](http://www.fertilegroundnaturalcare.com)  
612.308.7993

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**Farrar, Rebecca D.**

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**From:** Quam, Jennifer <jennifer.quam@medtronic.com>  
**Sent:** Friday, April 25, 2014 8:48 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Powderhorn park deserves a co-op  
  
**Categories:** Red Category

Hello,

Please support our work to get quality, organic food in our neighborhood. My 2 young children, husband, and myself deserve access to a co-op.

Please support us!  
Jennifer Quam  
3457 11th Ave S.  
Mpls. MN.

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**Farrar, Rebecca D.**

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**From:** Nancy St. Germaine <nancystg@yahoo.com>  
**Sent:** Sunday, April 27, 2014 3:10 PM  
**To:** Farrar, Rebecca D.; Glidden, Elizabeth A.; Cano, Alondra; Warsame, Abdi; Bender, Lisa; Quincy, John; Johnson, Andrew  
**Subject:** We support the Friendship store in Bryant

Hello all,

It is my desire to share with you our households enthusiastic support of the Friendship store becoming a reality in Bryant. We look forward to the local fresh foods available as well as the jobs that will become available in our neighborhood. Currently we drive to Richfield and St.Louis Park to grocery shop as well as the local mercado- Cinco de Mayo for the foods that our bi-cultural household require. With the friendship store moving in we expect to support more of our food needs by shopping there as well as still shopping at our local mercado.

I know at least half a dozen families and teenagers that look forward to applying for jobs there and learning skills that have the potential for upward mobility that pays a livable wage and benefits. I know many families are living on top of each other because they cannot live on minimum wage and look forward to getting a better paying job locally rather than taking the bus for 1.5hours per day to work at a fastfood restaurant without benefits. Our neighborhood is very multicultural and has varying food needs that will not be met solely by the Friendship Store, but the Friendship store will supply more nutritional options than highly processed foods from the gas station can provide. I know that many of our other neighbors are very excited about this too.

The Seward Co-op has proven that it is a community store and hires primarily local people and donates a huge amount of money each month/year to local organizations. How can that possibly be a bad thing?!!! There are so many local organizations that could use an influx of funds. I have heard many nay sayers speak about how the Seward Cooperative is a "white" food movement which means that the food cooperative is a safe place for white people and not people of color. I have to say that this is ignorant. They have obviously never been to the Seward Cooperative as a huge number of the staff and customers walking around are non-white.

Without the Seward's Friendship Store moving into Bryant the influx of money to local families who would work their and to the local organizations through donations and jobs will go to another neighborhood. I for one would find this devastating to the neighborhood.

I hope that you will continue to work with the Seward to pursue the Friendship Store moving in.

Thank you,

Nancy St. Germaine-Diaz  
3rd Ave/40th St.

**Farrar, Rebecca D.**

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**From:** Matt Steele <mattaudio@gmail.com>  
**Sent:** Sunday, April 27, 2014 5:45 PM  
**To:** Farrar, Rebecca D.  
**Cc:** Quincy, John; Glidden, Elizabeth A.  
**Subject:** Seward Co-Op Friendship Store

Rebecca,

I hear you are the planner assigned to this project. I live in the Northrop neighborhood, and I am eager to see this project move forward so I can have a co-op close to home.

Actually, if I could pick any location, I'd hope for a full redevelopment of the block along Bloomington between 40th-41st anchored by a coop (selfishly walkable from my house). But the proposed location is a much better spot in terms of density within walking distance, serving a population that lacks access to fresh groceries, and connecting more people through proximity to bus lines.

If this is the site Seward has picked out, I hope we as a city can welcome their investment in our neighborhoods. The proposal looks like a winner which will add to sidewalk vibrancy, looks good, represents substantial investment in the 38th St commercial corridor, and will serve an important community function.

I hope this can go forward! Thanks for consideration of my input.

Matt Steele  
4412 18th Ave S  
612-293-9091

**Farrar, Rebecca D.**

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**From:** Sue Schroeder <schro124@umn.edu>  
**Sent:** Monday, April 28, 2014 11:19 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Please support Seward Co-op Friendship Store

April 28, 2014

Dear Ms. Farrar,

I am writing to express my strong support for City of Minneapolis approval for the Seward Co-op Friendship Store. My husband and I live nearby at 3900 4<sup>th</sup> Avenue South, and we would love having a grocery store with quality fresh produce and other grocery items within walking distance from our home. Currently, there are no grocery retailers offering a good selection of produce and other nutritious food within easy walking distance. The nearest stores are Cub Food on 60<sup>th</sup> St., Kowalskis on Lyndale, Everett's on 38<sup>th</sup> Street, and SuperValu on Lake Street. These all require us to use automobile, bike, or transit as they are too distant for walking.

I have lived in the Bryant neighborhood for about 20 years, and I love our diverse community. I understand the concerns of some residents who worry about the co-op gentrifying the neighborhood and driving out residents of color. However, the Friendship Store could offer fresh, nutritious foods—which are currently unavailable—to all residents of our neighborhood. This store could also provide quality, living-wage jobs to local residents. Rather than oppose this store, I would like to see the City and concerned residents push for a substantive portion of jobs at the new co-op to go to people of color from the neighborhood. Staffing the co-op with local residents would attract local folks to the store, and potentially make it a hub for community building. It would be great to have a grocery store that brought people together and built social capital in the neighborhood.

Please support the Seward Co-op at the Friendship Site.

Sincerely,

Susan Schroeder

3900 4<sup>th</sup> Avenue South

Minneapolis MN 55409

**Farrar, Rebecca D.**

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**From:** chrys carroll <omlloomllo@gmail.com>  
**Sent:** Wednesday, April 23, 2014 11:09 PM  
**To:** Farrar, Rebecca D.  
**Subject:** I'm against the coop

I live in the neighborhood and don't believe the answer to the grocery store desert is to put in a store that will not serve the population it is in. The coop has the highest prices of all of the local stores and would not be a good fit for the income bracket of the people living in our community.

Chrys

**Farrar, Rebecca D.**

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**From:** Alex DeArmond <alex@alexdearmond.com>  
**Sent:** Thursday, April 24, 2014 10:51 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-Op Friendship Store

Hi Becca -

I'm writing to express my support for the Seward Co-Op Friendship Store project. As a resident living within 10 blocks of the proposed site I just wanted you to know that many of us that live in the neighborhood really want this to happen. In my conversations with neighbors and friends I've found universal support for it and everyone has their fingers crossed that it will really happen. We know there are hurdles and that the process is complicated, but simply put, we need more grocery options within biking / walking distance. We are all tired of running the gauntlet of Lyndale avenue to get our shopping done and we really want to support a neighborhood store rather than the big retailers like Rainbow.

We think the store would be a huge amenity for the neighborhood and would benefit everyone.

I hope you'll do everything in your power help make it happen!

Thank you,  
Alex

**Farrar, Rebecca D.**

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**From:** Cassandra Schorn <cassandraschorn@gmail.com>  
**Sent:** Wednesday, April 23, 2014 4:19 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-Op Bryant

Hi Rebecca, I am writing in support of the Seward Co-op project proposed for 38th and 3rd Ave. My husband and I bought a house four years ago, less than two blocks from the site and couldn't think of a better neighborhood improvement. We just welcomed our daughter into the world and it would improve our life greatly to have such an entity so close by. We are long time members of The Wedge and strongly believe in organic, sustainable, non-GMO foods. We want what's best for our neighborhood and our daughter and plan to continue to support this effort. We'd like to do everything we can to make it happen!!! It makes me crazy to think that there is negativity and suspicion aimed at such an amazing possibility. Thanks so much for all you do!!!-Cassandra and Jason Schorn

**Farrar, Rebecca D.**

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**From:** es1968 <es1968@yahoo.com>  
**Sent:** Wednesday, April 23, 2014 6:42 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward co op

I am a long time resident of the Bancroft neighborhood and am in favor of a new grocery store on 38th street. I am also a long time seward co op member and would love the convenience of a closer store.

Ellie Skelton  
4044 13th ave S

Sent from my Samsung Epic™ 4G Touch

**Farrar, Rebecca D.**

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**From:** pamcostain@visi.com  
**Sent:** Wednesday, April 23, 2014 8:56 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Coop in the Neighborhood

Rebecca,

My name is Pam Costain, and I am writing to express my strong support for Seward Coop opening a second store in my neighborhood. I have lived in the Powderhorn/Bancroft neighborhoods for over forty years, 30 of them in my current home. As one of the founders of the Powderhorn Food Community (located in the same building that currently houses the May Day Café) I have a long history with the coop movement. We built the Powderhorn Food Community with a strong commitment to serving the needs of the neighborhood and bringing good, wholesome food to regular folks. We were committed to food justice and educating about the politics of food. I am proud of that legacy of our original coop and really look forward to having a source of high quality, nutritious food nearby again.

Despite having a diverse and vibrant community, we lack several services that other neighborhoods enjoy. We lack a coop or any kind of full-service grocery store. We lack a hardware store. We lack great places to eat in the neighborhood, though the Tiny Diner which is to open at 11<sup>th</sup> Street and 38<sup>th</sup> Avenue will be a great start. We need you to help energize and renew our part of town.

Please persevere in your efforts to move into the Central/Bryant/Powderhorn/Bancroft area. We need you. I am sick of driving to coops far away from my home and would love to walk or bike to pick up my food.

Sincerely yours,

Pam Costain  
3952 12<sup>th</sup> Ave S  
Minneapolis, MN 55407  
612-280-1112

**Farrar, Rebecca D.**

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**From:** Erin Schwarzbauer <ernoforlife@gmail.com>  
**Sent:** Wednesday, April 23, 2014 10:10 PM  
**To:** Farrar, Rebecca D.; Glidden, Elizabeth A.; Cano, Alondra; Warsame, Abdi; Bender, Lisa; Quincy, John; Johnson, Andrew  
**Subject:** Seward Coop - Friendship project

As a resident of the Bryant neighborhood, I would like to share my enthusiasm and support for the Seward Coop - Friendship project. This would be an incredible asset to the health of our neighborhood and larger community, both physically and economically. While I have learned from my involvement in this project through the Bryant Neighborhood Organization and the Carrot Initiative that food can be a divisive issue, I believe that people have and will come together around food. A grocer will bring the opportunity to run into a longtime resident, meet the new neighbor that move in down the block, share recipes, take a class, etc. In addition to meeting some (not all) of my grocery needs, I'm excited about the community conversations that this development has inspired and the community building opportunities that it will bring. I can think of a better neighbor than the Seward Coop.

In your respective roles, please support the future development of the Seward Coop Friendship project.

Sincerely,

Erin Schwarzbauer  
41XX 5th Ave S  
(612)251-6340

**Farrar, Rebecca D.**

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**From:** Lynn Coleman <Lynn.Coleman@mpls.k12.mn.us>  
**Sent:** Thursday, April 24, 2014 6:48 AM  
**To:** Farrar, Rebecca D.  
**Subject:** FW: FEEDBACK FORM RE: Inappropriate Comments (Bryant Neighborhood Organization)

Dear Ms. Farrar:

Please consider the under represented in this matter. The negative innuendos are unnecessary.

Thank you.

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**From:** Lynn Coleman  
**Sent:** Thursday, April 24, 2014 5:28 AM  
**To:** Glidden, Elizabeth A.  
**Subject:** RE: FEEDBACK FORM RE: Inappropriate Comments (Bryant Neighborhood Organization)

Greetings Ms. Glidden:

Thank you for your response. The point is individuals from the neighborhood are part of the neighborhood organization. If this type of conversation is taking place; best believe there are more that feel this way.

There are many low-income families in this neighborhood that use Sabathani food shelf. How ironic that a co-op will be directly across the street from families seeking food. What a slap in the face for economically disadvantaged families. The co-op has a membership fee. How many of these families are going to be able to afford it? This still does not resolve the problem. Many families will still be going to Cup or other grocery stores outside of this neighborhood.

Who does this really benefit?

You also mentioned that you had not seen the posting - but go on to give an explanation for the individual? If you are not sure; why comment? Why not investigate? I represent many of the under served families in this neighborhood. There are many options. As the saying goes "give a man a fish, he will eat for a day, teach a man to fish and he will eat for a lifetime".

We will not be disrespected and bullied by those associated with this self-serving venture.

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**From:** Glidden, Elizabeth A. [Elizabeth.Glidden@minneapolismn.gov]  
**Sent:** Wednesday, April 23, 2014 5:47 PM  
**To:** Lynn Coleman; Jenkins, Andrea D.  
**Cc:** Glidden, Elizabeth A.  
**Subject:** FEEDBACK FORM RE: Inappropriate Comments (Bryant Neighborhood Organization)

Thank you for the feedback Ms. Coleman.

No, I have not seen the neighborhood group or the posting below – however, I am not sure that what is on that is a statement from the neighborhood organization or just from an individual neighbor.

Elizabeth

**Farrar, Rebecca D.**

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**From:** Eirik Erickson <e.haaken@gmail.com>  
**Sent:** Wednesday, April 23, 2014 3:13 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op

Rebecca,

I've resided in Minneapolis since last October, six months now, specifically the Central/Powderhorn neighborhood.

Since arriving I see many uplifting, hopeful and good things about south Minneapolis-- its neighborhoods and the grass-roots community involvement of its people. A glaring negative is the lack of a good grocery store offering healthy food options. As I don't own a car, getting to-and-from the grocery is a chore, thus I often rely on area convenience stores, which are sorely lacking in quality produce and product; despite this, their produce and product proves expensive.

It's my opinion and that of several people in the area with whom I've become acquainted that the Seward Co-op could only stand to improve the quality of life for local residents and their families, especially those without easy access to a solid grocery store due to lack of car or lack of time in navigating a potentially complicated bus route. The Seward Co-op would bring jobs, good health, activity and the potential for various types of growth to the area. I heartily support it.

Thanks for listening.

Eirik Erickson  
3725 Columbus Ave.

**Farrar, Rebecca D.**

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**From:** Suzanne McCurdy <suzanne.mccurdy@gmail.com>  
**Sent:** Wednesday, April 23, 2014 11:37 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op Friendship Store

Hello Ms. Farrar,

I just wanted to take a moment to contact you and express my support of the proposed Seward Co-op Friendship Store in South Mpls. My family and I live in Bancroft, and are members of Seward Co-op. We are thrilled at the idea of Seward coming closer to us and bringing healthful foods to the neighborhood!

Thank you for your time. Have a wonderful day.

Suzanne McCurdy

--

Suzanne Gilchrist McCurdy  
Instructional Support Consultant  
[suzanne.mccurdy@gmail.com](mailto:suzanne.mccurdy@gmail.com)  
651-402-2096

**Farrar, Rebecca D.**

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**From:** T. Flock-Johnson <tflockj@earthlink.net>  
**Sent:** Tuesday, April 22, 2014 7:10 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Coop

Hello Ms. Farrar -

My name is Trish Flock-Johnson and I live in Lyndale neighborhood and work in the Phillips neighborhood. I am thrilled that Seward Coop is proposing to build a COOP in the nearby Central neighborhood. What a gift! With little access to fresh fruits and vegetables in close proximity, this store would end that.

In addition, it would inject jobs and add a business that has a history of being a committed community partner.

Count us as committed supporters to this project!

Thank you for your work!

Trish Flock-Johnson  
3548 Pillsbury Ave. So.  
Minneapolis, MN 55408

**Farrar, Rebecca D.**

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**From:** Bethany <bethany\_beyer@yahoo.com>  
**Sent:** Tuesday, April 22, 2014 4:23 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward coop

To whom it may concern:

I am praying for the Seward coop to establish a grocery store in Bryant neighborhood. It is very difficult getting to the grocery store with young children, and having a real grocery within walking distance would be relieve much stress from our family. I recently heard that there is some people in opposition of establishing the store, and I was hoping to find out more information regarding this issue.

Thank you so much,  
Bethany Beyer

**Farrar, Rebecca D.**

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**From:** Holly Robbins <holly@thisisfolly.com>  
**Sent:** Tuesday, April 22, 2014 3:27 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Voicing my support for the Seward Friendship Store

Hi Rebecca,

I wanted to contact you to let you know how strongly I support the Seward Co-op going in on 38th.

I've been a shopper and then member of the Wedge since 1994. Every week, I drive from my home, now on 47th and Pillsbury, all the way to the Wedge to do my shopping. The parking lot and store are over-crowded. While I am happy for our success, it is clear that the demand exceeds the location. As much as I love, love, LOVE the Wedge, I have a hard time justifying driving just for groceries (we work at home and try to avoid driving as much as possible). At the same time, south Minneapolis is a food desert. There is virtually nowhere for people to buy healthy local food.

I've already mapped out my bike route to the new Seward location so that I can ride my bike to get my groceries rather than drive. I'm so looking forward to having options closer to my house so I can shop more frequently and waste less because I'm over-buying so I don't have to drive so often.

I also believe strongly in community owned co-ops. Increasingly, corporations are not listening to what people want and neither are our representatives. But my co-op is owned by me, listens to my needs and delivers what I want. Co-ops are good for communities and for people. Seward is the best option to give south Minneapolis better food.

Fingers crossed everyone else sees the value I see.

Best,

Holly Robbins

4715 Pillsbury Ave S



Holly Robbins  
Creative Director, Partner

**Farrar, Rebecca D.**

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**From:** Emily Jarrett Hughes <emily@wisdomdances.com>  
**Sent:** Tuesday, April 22, 2014 8:35 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Please support Seward Co-op

Hello Ms. Farrar,

I am a member owner of Seward Co-op but live too far to bike to it. I really want to see them open a second site at a location farther south in Minneapolis that will be much easier for me to reach. Please support their project for a second store.

Thank you,  
Emily Jarrett Hughes 4244 24th Ave S,

--

Emily Jarrett Hughes  
Wisdom Dances  
(612) 314-5413  
[www.wisdomdances.com](http://www.wisdomdances.com)  
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**Farrar, Rebecca D.**

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**From:** Jennifer Heimlich <Jennifer.Heimlich@hopkinsschools.org>  
**Sent:** Wednesday, April 23, 2014 7:21 AM  
**To:** Farrar, Rebecca D.  
**Subject:** support

Hello!

As a long time (22 year) resident of the Bryant neighborhood, I am thrilled at the prospect of having Seward Coop move into our neighborhood! Please understand that any stable, useful business is a huge asset to our neighborhood, especially one that offers produce in what basically is a "food desert" in this part of the city. Since the grocer on 42nd and Bloomington and the Powderhorn Coop closed years ago, we have no full-service grocery within miles of our homes. I fully support this plan, and actually hope my children can find jobs there, perhaps bagging groceries, in the years to come. Thank you so much!

Sincerely,

Jennifer Heimlich  
3924 Park Av. S.  
Mpls, MN 55407

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## Farrar, Rebecca D.

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**From:** C <divarags@aol.com>  
**Sent:** Tuesday, April 22, 2014 1:38 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Concerns about Carrot Initiative

Greetings Ms. Becca Farrar,

My name is Ms. Ashley Lauren; Entrepreneur, Leader, Community Outreach worker and Stephanie Ball Bailey Youth Leadership Award recipient.

I am writing you, because I am very concerned as well as disturbed about the negative tactics deriving from the Carrot Initiative in regard to the proposed Seward Co-op store. An individual from the Bryant Neighborhood blog sent out an email this morning and the tone was very negative.

I've provided the excerpts;

*"2. Neighborhood Opposition:*

- A group of loosely organized, not clearly identified, people have chosen to focus on the perceived negative aspects of this project. They have been very vocal in expressing their opposition to the project without offering any real solutions or alternative answers.*
- We need to ensure that neighborhood and city leaders also hear voices that are enthusiastic in their support for the project."*

The Carrot Initiative also wrote;

*"Given the hurdles, what can YOU do to help us win this **race**?*

- 1. Contact Becca Farrar, the senior planner assigned the project, to express your support for the Seward Co-op. She can be reached at [rebecca.farrar@minneapolisismn.gov](mailto:rebecca.farrar@minneapolisismn.gov).*
- 2. E-mail, call, or meet with your city council member and tell them why you support this project. ([elizabeth.glidden@minneapolisismn.gov](mailto:elizabeth.glidden@minneapolisismn.gov), [alondra.cano@minneapolisismn.gov](mailto:alondra.cano@minneapolisismn.gov), [abdi.warsame@minneapolisismn.gov](mailto:abdi.warsame@minneapolisismn.gov), [lisa.bender@minneapolisismn.gov](mailto:lisa.bender@minneapolisismn.gov), [john.quincy@minneapolisismn.gov](mailto:john.quincy@minneapolisismn.gov), [andrew.johnson@minneapolisismn.gov](mailto:andrew.johnson@minneapolisismn.gov))*
- 3. Share the online petition with friends, family, and neighbors. Make others aware that there are people who oppose this project*
- 4. Attend neighborhood, Planning Commission, and/or City Council meetings. There will be a number of public hearings in the coming months to review various elements of the project."*

Based on the lack of accuracy surrounding the excerpts written by the Carrot Initiative and other issues surrounding unethical as well as unprofessional conduct of the organization, I think it's important to have a Community Conversation (Forum) that is more inclined toward collectivism rather than individualism; self serving agendas that fail to take into account all issues and viewpoints of ALL individuals who reside in the Food Desert.

There is nothing wrong with having opposing viewpoints surrounding the proposed co-op, but when individuals take it upon themselves to

**Farrar, Rebecca D.**

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**From:** ianbicking@gmail.com on behalf of Ian Bicking <ian@ianbicking.org>  
**Sent:** Tuesday, April 22, 2014 12:25 PM  
**To:** Farrar, Rebecca D.  
**Cc:** Cano, Alondra  
**Subject:** Seward co-op project

I'd like to write to express my enthusiastic support for the Central/Bryant Seward co-op project. They are redeveloping run-down properties, and I'm confident they will provide a lovely benefit to the neighborhood. I'm baffled anyone would complain about taking out a couple houses, it's the prerogative of those homeowners to sell those houses. This project is going to be a great benefit to the neighborhood and surrounding neighborhoods.

--  
Ian Bicking | <http://ianbicking.org> | 3015 10th Ave S

**Farrar, Rebecca D.**

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**From:** Laura Vest Klein <lvestklein@gmail.com>  
**Sent:** Tuesday, April 22, 2014 12:59 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op Friendship store

Dear Rebecca,

I wanted to let you know that I am really looking forward to the new grocery store in the Powderhorn neighborhood. I am a biker and bus rider and it would make my, and my families lives so much easier to have healthy food close by. I really hope this co-op happens, and know all of my friends and family agree with this! Great for the neighborhood, community, city, health of the city etc. Thank you for your work on this !

Best,  
Laura Klein  
612 229 2378

## Farrar, Rebecca D.

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**From:** Amy Washburn <a.leigh.washburn@gmail.com>  
**Sent:** Tuesday, April 22, 2014 10:11 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Community Co-op

Hi Becca,

I am writing you today to express my support of the Seward Community Co-op Friendship Store! I live in the Powderhorn Neighborhood and find that my access to fresh, local & healthy food to be extremely limited. At the current time, I drive FAR out of my way to purchase groceries. I believe it is important & that our community DESERVES immediate access to healthy food. It is imperative for the health of our community. As a member of this neighborhood, I fully support the Seward Community Co-op Friendship Store & believe they will become a vital & active member of this community.

Thank You

Amy Washburn  
Master Designer | Matrix Artistic Educator Regis Salon - Mall of America  
Salon: 952-854-8484  
Cell: 612-749-3639  
[www.facebook.com/amywashburnhair](http://www.facebook.com/amywashburnhair)

**Farrar, Rebecca D.**

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**From:** Matt Walvatne <mattwalvatne@yahoo.com>  
**Sent:** Tuesday, April 22, 2014 10:21 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op Expansion

Hi Rebecca,

Just wanted to send you an email to tell you how excited we are for the Seward Co-op expansion to the 38th St. in South Minneapolis. We have lived in the Bancroft neighborhood for 7 years. While we think this is a great neighborhood to raise a family, it is in desperate need of this Co-op expansion. We don't currently have a store in the area that offers fresh organic produce (fruits and vegetables), organic dairy products, as well as many other healthy eating options. We feel this will be an important cornerstone for this neighborhood. The Co-op will become an active partner in the community, offering healthier food options, employment with fair wages, and much more!

Thank you for helping this project move forward for our community!

Matt Walvatne  
Bancroft Resident

## Farrar, Rebecca D.

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**From:** Kevin Stramer <rivecboy@yahoo.com>  
**Sent:** Tuesday, April 22, 2014 10:41 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op

Hi Rebecca,

Yes, yes, yes to this project. I'm tired of giving my money to large supermarkets and boutique grocery stores and not getting quality, healthy food for my time and trouble to drive across town.

Count me as an enthusiastic proponent of this project.

Kevin Stramer  
4152 5th Ave S  
Bryant Neighborhood

Sent from my iPad

**Farrar, Rebecca D.**

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**From:** Shanda Hunt <shanda.lee.hunt@gmail.com>  
**Sent:** Tuesday, April 22, 2014 11:02 AM  
**To:** Shanda Hunt  
**Subject:** Seward Co-op Proposal

Greetings!

I am a resident of Bryant neighborhood living on the 4100 block of Portland Avenue. I have lived at this address for just under two years. When we moved into the neighborhood, we were surprised to find that grocery stores were not easily accessible. We very often travel to the suburbs to grocery shop.

I am a social science researcher in the School of Public Health at the University of Minnesota. Healthy food options and community progress are very important to me.

My partner and I fully support the Seward Community Co-op in their endeavors to open a location in our neighborhood. It would encourage stronger ties among residents of the neighborhood (we may meet someone new as we WALK to our local grocery store), offer healthy food alternatives (so important and so often overlooked in impoverished areas!), and benefit business growth in the area.

I understand that there are some who are opposing this project, and to be honest, I have not heard their list of concerns. However, I do not see how a health food store could have a negative impact. It's true that some items at co-ops can be on the expensive side, but there are plenty of options that are very affordable.

Thank you for hearing me and considering my input.

Sincerely,  
Shanda Hunt

**Farrar, Rebecca D.**

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**From:** Jennifer Bryan <jennifer.bryan@mindspring.com>  
**Sent:** Tuesday, April 22, 2014 11:05 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Support for Friendship Initiative

Hello,

I am long-time resident of the Powderhorn Neighborhood, having resided in the 3700 block of Elliot for 25+ years. My husband also grew up in the Central neighborhood, attended both the middle school formerly at the Sabathani site, and we both attended Central High School.

As long-time residents we have been impacted by the blight, neglect, and stagnation in our community. We have been around long enough to see former grocery stores come and go (IE- Red Owl on Niccollet and 40th; as well as another store in the former stripmall location at approx 4100 Bloomington).

We have driven miles out of our community to buy groceries for many years, or, had to settle with marginal quality, and high prices at the corner store that has dominates our neighborhood for many years.

I have been part of community development activities attempting to lure grocers (Aldi) to our community with no luck.

As a result, I see nothing but possitive results from a Coop coming into the neighborhood. I am distressd to hear that some of my neighbors (generally newer residents) are opposed to the Seeward Coop expansion.

I am baffled that anyone would rather see NO development, than development that would bring basic healthy foods, numerous living wage jobs, and long-needed development to the 38th Street Corridor.

While I understand that some of the products in coops are priced to high for most people to afford, they certainly are more afforable than what we have, and healthier.

In addition, this generally blighted area has suffered from prostitution in the alleys and streets right around this area. I welcome the addition of a new, walkable, bikable market, accessible by public transportation that can help to push the crime out and make it safer for children and families.

Please listen to the truly long-term residents of this community, who have suffered the most from the lack of access to food, undeveloped/underdeveloped buildings, and the crime that has sprung from the neglect and blight.

As a resident of Powderhorn just on the cusp of Central, and in a location still suffering from gang-related violence always surrounded the only corner stores we have at 38th and Chicago and 37th and Chicago (one drive by shooting and two armed robbery so far in 2014) this kind of development can't come soon enough.

Thank You,

Jennifer Bryan  
3745 Elliot

**Farrar, Rebecca D.**

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**From:** Brent Johnson <brenttjohnson@me.com>  
**Sent:** Tuesday, April 22, 2014 9:31 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Coop Friendship Site

Ms. Farrar,

As a home owner in the Central Neighborhood, i would like to express my support for the Seward COOP Friendship site. I recognize that there are some hurdles that need to be overcome to get this project finalized and started, but i feel as a part of this community that a store like the Friendship project will have a lasting POSITIVE effect on our community. We are members of two of the larger food COOPs in Minneapolis (The Wedge, and Seward) and I can't think of a stronger magnet to help our community stronger and economically viable. In short, I fully support this project and welcome it into our community. Please contact me if you have any other suggestions or if you would like more information.

Regards,

Brent Johnson  
3734 Columbus Ave.  
Minneapolis, MN 55407

651-964-8805

## **Farrar, Rebecca D.**

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**From:** Kristin Davis <KristinP@pimw.org>  
**Sent:** Tuesday, April 22, 2014 10:01 AM  
**To:** Farrar, Rebecca D.  
**Subject:** I support Seward Coop Friendship Store

Good Morning Ms. Farrar,

I have lived in the Bryant Neighborhood since 1999, I have witnessed decent change, but nothing that I would suggest as earth shattering. We have stayed in the neighborhood, updating our home 2 times in major remodels. We plan to stay, our biggest problem in the neighborhood is lack of decent businesses in the area, the biggest issue I have is a store that I could bike to/walk to/drop by after work? It amazes me how we don't have a problem with businesses on 38<sup>th</sup> street that provide fried food and look like pieces of junk (Venus – not sure what it is called now), the SA, CUP foods all in line with each other, across the street from Venus on 38<sup>th</sup> and Portland is a questionable daycare that is it really a daycare? So finally we could have something in our neighborhood that we could be proud of and it has to jump through hoops, fight to open, and face opposition? Please support this project Ms. Farrar, I want so badly to be proud of my neighborhood, I don't want to have to be embarrassed or my children be embarrassed of our address, we have been long standing residents and spend our money out of the neighborhood for groceries and food, we would spend money at this store, we would support this store, it is time for our city to support this and not fight it! Work for the home owners of this neighborhood. We go to 48<sup>th</sup> and Bryant, we go to Kowolskis, we go to Lunds in Richfield, occasionally Cub on 60<sup>th</sup>, we go to Target in Richfield. Give us a store as stated that I can walk to, bike to, drive by on our way home from work or a soccer game.

Thank you for your consideration.

Resident 3941 Oakland Avenue, MSP 55407

Kris Pilling-Davis - Education Director  
PIM  
1700 HWY 36 W. Ste. 510  
Roseville, MN 55113

651-789-5508 (Direct)  
651-789-5520 (Fax)  
[kdavis@pimw.org](mailto:kdavis@pimw.org)  
<http://www.pimw.org/>

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Quoting the Great Homer Simpson: "Uh huh. Uh huh. Okay. Um, can you repeat the part of the stuff where you said all about the... things. Uh... the things?"

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**Farrar, Rebecca D.**

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**From:** MARTA KNUTSON <knutsonhomes@earthlink.net>  
**Sent:** Tuesday, April 22, 2014 9:07 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward

Hi, Becca,

I only just got your name through the forum and wanted to express to you that I am so happy with the idea of the Seward Coop going in near me. I'm a Powderhorn resident for 15 years and own a business in the neighborhood as well. I know that having a coop will be a great asset for me. I've got many friends and neighbors all abuzz, all of them that I know, talking about how great it will be for our neighborhood to have this coop.

I just wanted to send support.

Thanks for what you do,

Marta Knutson  
Owner/Broker  
Knutson Realty Inc.  
Awarded "Super Agent" by Mpls/St Paul Magazine 2012  
612-729-8600 (office)  
612-486-9000 (fax)  
[knutsonhomes@earthlink.net](mailto:knutsonhomes@earthlink.net)

**Farrar, Rebecca D.**

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**From:** Shannon Plourde <shannon@shannonplourde.com>  
**Sent:** Tuesday, April 22, 2014 9:17 AM  
**To:** Farrar, Rebecca D.

I would like to express my support for the Seward Co-op Friendship store.  
I believe that this is the type of retail that is important to our neighborhood and believe we need to support their project.

Thank you,

Shannon Plourde  
Ph: 612.298.4623  
Fax: 612.767.5803

SHANNONPLOURDE  .COM

south mpls & lakes specialist

**Farrar, Rebecca D.**

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**From:** jberg3@gmail.com on behalf of Jessica Tank <jessbergmantank@gmail.com>  
**Sent:** Tuesday, April 22, 2014 9:22 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op Friendship store

Hello Becca,

My name is Jessica Tank and I would like to voice my support of the proposed Friendship co-op in south Minneapolis. I am a Bancroft resident who currently shops primarily at Seward Co-op and I welcome with open arms a co-op in my neighborhood (or very close by).

I have heard there is some opposition to this new store and I just wanted to offer my support as I truly believe the new store would be a great thing for our neighborhood.

Feel free to contact me with any questions or for further input.

Best,  
Jessica Bergman Tank

**Farrar, Rebecca D.**

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**From:** Erin Kelly-Collins <nelly12mn@gmail.com>  
**Sent:** Tuesday, April 22, 2014 9:29 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Community Co-op in Central/Bryant Neighborhood

Hello Becca,

I am writing to you this morning in support of the Seward Community Co-op in the Central/Bryant Neighborhoods. I have lived in the Central neighborhood since 2005 and have been a homeowner on Oakland Avenue since 2009. I love my neighborhood and the great diversity of people and experiences that surround our family.

One thing I do not love is the lack of healthy foods that are available within walking distance of my home. Although my husband and I both have motor vehicles, which provide us with many options for where we buy our groceries, many of our neighbors struggle to access fresh and affordable foods without a bus ride. The addition of the Seward Community Co-op at 38th and Clinton could eliminate a significant barrier to healthful eating and living in our community.

I acknowledge that all the details of this project are not perfect and I still have some concerns that, I hope, will be addressed as the process continues. However, I don't think my concerns should stop the timely approval of the Seward Community Co-op project for our neighborhood. I hope to see major progress made in the planning and approval process within the next few months.

Thank you for the planning work you are and will be doing on this project.  
Have a lovely day.

--  
Erin Kelly-Collins  
[nelly12mn@gmail.com](mailto:nelly12mn@gmail.com)  
3025 Oakland Ave

**Farrar, Rebecca D.**

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**From:** amykru <amykru@yahoo.com>  
**Sent:** Tuesday, April 22, 2014 8:49 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op - New Location

Hello,

I am writing to encourage you to show strong support for the proposed Seward Co-op friendship store. Our community needs access to fresh, high quality, grocery options which is currently not the case.

Thank you,  
Amy Krueger

**Farrar, Rebecca D.**

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**From:** Nathan Syverson <admin@robbinsdaleucc.org>  
**Sent:** Monday, April 21, 2014 10:07 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward friendship store project

Dear Ms Farrar,

By now I assume you have gotten many emails about the friendship store project. I would like to voice my support. Our neighborhood would benefit from the presence of a coop in our neighborhood. Please help to make this a reality.

Thank you  
Nathan Syverson  
4030 15th Ave S # 15C  
612.770.9308

**Farrar, Rebecca D.**

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**From:** miriam holsinger <miriam\_holsinger@yahoo.com>  
**Sent:** Monday, April 21, 2014 10:09 PM  
**To:** Farrar, Rebecca D.  
**Subject:** I support Seward Co-op and Carrot Initiative Friendship store

Becca,

Although I no longer live near 38th and 3rd, for years I lived on 3rd ave and 33rd street so am familiar with that neighborhood. I have also been a member of Seward Co-op since I first moved to Minneapolis nearly 20 years ago. Without the co-op my transition to our city would not have been as successful. The co-op not only provides healthy food at affordable prices but it also provides a gathering place to build community and fair wage jobs.

I heard you are the senior planner on this project and needed to hear from those who support the co-op.

Thank you,

Miriam Holsinger  
4504 45th Ave S,  
Minneapolis MN

**Farrar, Rebecca D.**

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**From:** Jayne Kainulainen <jaynekain59@gmail.com>  
**Sent:** Monday, April 21, 2014 10:11 PM  
**To:** Farrar, Rebecca D.  
**Subject:** The Seward Coop

Rebecca,

I live one block away from the proposed Seward Coop site. I have lived in this neighborhood for about 15 years.

I am in full support of the New Seward Coop on 38 th Street. Our grocery store choices in the neighborhood are miserable. The SuperValue on Lake Street is just an overpriced store for EBT Card users. Their prices are very expensive. The service is ????. And the parking lot crowd there is questionable.

Then you have CUP Foods on 38th and Chicago, once the favored hangout of the 'Bloods', a neighborhood street gang. Talk about an intimidating place to shop.

We need a decent place to shop for groceries in the neighborhood. The Seward is a quality organization. Please do not let antiquated city rules ruin this opportunity for our neighborhood.

Thank you,

Jayne Kainulainen  
3608 CLINTON AVE  
MPLS, MN 55409  
[jaynekain59@gmail.com](mailto:jaynekain59@gmail.com)

**Farrar, Rebecca D.**

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**From:** JW <jwmppls.biz@gmail.com>  
**Sent:** Monday, April 21, 2014 10:16 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Co-op Project

Hi, Rebecca!

I'm writing you to voice my support for the Seward Co-op proposal. I'm a homeowner in Kingfield at 37th & Blaisdell Ave. A successful completion of this project would be a huge boon for all of the neighborhoods in the area and would significantly contribute to the turnaround we're already seeing in south Minneapolis. We dearly need this. Thank you for your efforts in this area!

- Joshua Williams

**Farrar, Rebecca D.**

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**From:** S Dodge <susdodge@gmail.com>  
**Sent:** Monday, April 21, 2014 10:21 PM  
**To:** Farrar, Rebecca D.; Glidden, Elizabeth A.; Cano, Alondra; Warsame, Abdi; Bender, Lisa; Quincy, John; Johnson, Andrew  
**Subject:** I support the Seward coop plan on 38 th and Clinton

I would like to voice my support for Seward coop to open a store in my neighborhood at 38th and Clinton. I own a duplex between 35th and 36th on Chicago Ave and recently moved (after living there for 3 years) because someone died on the walkway 2 doors down last summer from a gunshot. I don't know the details of the crime but it scared me out of the area to Northeast Minneapolis. My new neighborhood has at least 3 large or medium grocery stores with fresh fruit and veggies within a mile- which has been very convenient!

I support Seward coop because Central neighborhood needs a place that will invest in our area and is up for the challenge of providing affordable healthy food options. I perceive them as having a higher mission to serve the communities where they are located, which is rare in a grocery store! I think they will bridge the gap with what they offer for sale between the varied income levels in the neighborhood. They are already great neighbors in Seward and I think they will be great neighbors in Central.

I appreciate your time,

Sincerely,

Susannah Dodge

**Farrar, Rebecca D.**

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**From:** Jamie Radel <jlradel@gmail.com>  
**Sent:** Monday, April 21, 2014 10:38 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Support for the Seward Co-op in my neighborhood

Dear Ms. Farrar:

I am writing to support the development of a new Seward Co-op north of my home at 4444 5th Avenue S. Has a staff report been written for review yet? What type of approvals does the store need to move forward? Will a public hearing be held? I hope the city is working with the store to move this much needed project forward. I look forward to the day I can walk or bike eight blocks to pick up my groceries for the day. This store will be a catalytic project in a neighborhood that that could very much benefit from outside reinvestment and jobs.

Regards,  
Jamie Radel

**Farrar, Rebecca D.**

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**From:** Steve Young-Burns <steveyoungburns@gmail.com>  
**Sent:** Tuesday, April 22, 2014 7:46 AM  
**To:** Farrar, Rebecca D.  
**Subject:** Looking forward to the new Seward Co-op location on 38th Street

Hi Rebecca. Just a quick note from one family that is very excited to hear about the proposed new Seward Co-op location on 38th Street. This locally-owned resource will bring a much-needed source of healthy food to our community, and one of the benefits of the new store will be to encourage conversation and engagement in public health and nutrition from neighborhood residents.

I understand there are some questions about zoning and proposed use of the property, and I certainly hope the city will continue to help this project move forward.

Please feel free to contact me if you have questions or need other input.

Steve

--

Steve Young-Burns  
612-819-1924

**Farrar, Rebecca D.**

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**From:** Maureen Hunt <hunt.maureen@gmail.com>  
**Sent:** Wednesday, May 21, 2014 6:44 PM  
**To:** Farrar, Rebecca D.  
**Subject:** Seward Coop -new branch

Rebecca Farrar,

I read in a letter from my Council member Glidden that "Seward Coop has submitted its land use applications to the City of Minneapolis, describing its site plan and how the space for its proposed grocery store and parking lot in the Bryant neighborhood will be designed and used. This application process includes a request for rezoning lots from residential (R1A) to commercial (C1), which would allow the operation of a grocery store."

I live close to this area, and I have friends who also live in the area. Everyone I speak with about this idea expresses overwhelming support for this proposition.

Please allow this area to be re-zoned as a commercial property.

Thank you for your consideration,

Maureen Hunt  
Long time Minneapolis resident  
4011 18th Ave S 55407

[hunt.maureen@gmail.com](mailto:hunt.maureen@gmail.com)  
612-529-3135 (cell/text)



Central Area Neighborhood Development Organization  
CANDO

Becca Farrar, Senior Planner  
250 South 4<sup>th</sup> St. Room 300  
Minneapolis, MN 55415

Becca Farrar,

Please see attached letter regarding the Bryant/Central Co-op Development Project that is being brought to the City by the Seward Co-op. This letter is written on behalf of the CANDO Board, and includes our perspective on the Project.

Thank you for your consideration.

Sincerely,

Claire Stoscheck  
Board Member  
Central Area Neighborhood Development Organization (CANDO)

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Minneapolis, MN 55407  
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E [eduardo@thecentralneighborhood.com](mailto:eduardo@thecentralneighborhood.com)  
[www.thecentralneighborhood.com](http://www.thecentralneighborhood.com)



Eric Hatting-Seward Co-op Initiatives Mgr.  
Sean Doyle-Seward Co-op General Mgr.  
Leah Janus-Seward Co-op Board of Directors President  
2823 East Franklin Avenue  
Minneapolis, MN 55406

May 21, 2014

Re: Bryant/Central Co-op Development Project

We appreciate the effort that the Seward has made to engage our community regarding the Bryant/Central Co-op store development project including the hiring of LaDonna Redmond as Community Outreach Liaison, as well as The Seward's participation in community meetings and the work of the Bryant and Central neighborhood's 'Seward' task force. We recognize that the Seward is a community driven enterprise and strives to be responsive to the needs of the customers, members and neighbors it serves.

The Central Area Neighborhood Development Organization (CANDO) is committed to supporting inclusive and representative processes through which our residents can have meaningful participation in shaping our community. In our efforts to live up to this commitment regarding the proposed development of the Bryant/Central Co-op store we worked with the Bryant Neighborhood Organization on a task force, which sought to gather the input of our community on the project. This task force convened a community meeting on November 6th and created a survey that was mailed to every household in our neighborhood and made available on the internet. CANDO also co-commissioned the Breaking Ice theatrical performances and conversations, and hosted presentations and discussions of the project at our August 12th Board of Directors meeting, our October 19th annual meeting and our February 11th Board of Directors meeting.

We have compiled and synthesized the results of these efforts and while we recognize that we have not captured every opinion and that the contributions of portions of our community, primarily people of color, low income residents and renters are underrepresented, we feel that we have gathered a comprehensive spectrum of perspectives.

The survey produced by the Task Force was mailed to over 3,000.00 households in the Central and Bryant neighborhoods and was also made available on a website. As the overview of the task force survey report shows, (Appendix A) the demographic make-up of the responses to the

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survey was predominantly white and female which does not reflect the majority non-white demographic make-up of our neighborhood. While a majority of those responses (67%) cited support for the project, in reference to the overall population of our community they represent slightly less than 3% of residents.

The following are a few notable comments that were included in the survey responses that we feel are illustrative of the sentiments of our community:

“I’m very excited for this to happen. I think it will be great for our neighborhood to have access to natural foods (local, organic, plant based)”

“I think the affordability issue is paramount. Will this store reach a small sliver of the community by pricing the rest out? Gentrification is the issue.”

“Qualified staff is the most important thing. I feel this store would be a wonderful addition to our neighborhood but the residents need to be educated about why organic is more expensive.”

“Can’t wait to have the Seward co-op so close! I believe efforts to connect with the surrounding neighborhoods will go a long way, and will be better for everyone. Targeting certain groups in the area (such as immigrant/non-English speaking residents, lower income households) to better inform them on how co-ops work, and how they can benefit from the co-op would also be important.”

“I’m really excited about the prospect of the co-op moving into the neighborhood, but also happy to see a serious conversation around it so that we make sure it works for our community.”

“Please prioritize financial and cultural accessibilities for our diverse neighborhood population. This is a low-income area with a significant percentage of immigrant groups. I don’t want this to be a place only white Americans feel able to frequent.”

The joint task force’s report is attached to this letter as Appendix A. Also included as attachments are the notes from the November 6<sup>th</sup> Community Meeting (Appendix B) and the February 11<sup>th</sup> CANDO Board of directors meeting notes (Appendix C)

Much of the feedback which we gathered can be characterized as trepidatiously optimistic in that there seems to be enthusiasm for the convenience which the store will provide for many residents who are already supporters of such grocery co-ops, but also concern that the economic benefits of the project, both directly and indirectly, may not benefit our community.

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While this project has the potential to be of great economic development benefit in our community the prospect of it contributing to gentrification is of particular concern to many Central residents. We need to address this proactively and collaboratively to ensure that the value this development brings to the neighborhood does not create economic pressure on our long-time residents but instead provides direct economic opportunity for them.

We recognize our community's skepticism and understand it in light of the assertions made by the New York Law School's report on structural racism's contribution to food deserts; "the lack of supermarkets within low-income inner-city minority communities is not a demographic accident or a consequence of "natural" settlement patterns. Rather, government policies and their resulting incentives have played a significant role in shaping the segregated land-scape of American cities"<sup>1</sup> These policies and their legacy's continue to negatively affect the health and wellbeing as well as the economic and political power of this community and its majority black and Latino residents, and efforts to address our community's access to healthy food must be analyzed in this context.

We should also recognize that being a food desert is a complex notion and does not mean that there is no food available in our neighborhood. We recognize that there exists a food gap, just as there exists an academic achievement gap and an employment gap and achieving sustainable impacts for the health and overall quality of life for all of our community, requires overcoming multiple barriers to accessibility and that geographic proximity of healthy foods is only a first step toward this goal. We need to support community-rooted cultural revitalization by people of color of healthy food traditions to overcome both the economics and cultural barriers of accessibility to quality foods. "Without vigilance, efforts to change dominant whiteness that use progressive social ideals can end up reinforcing it"... "Exclusion occurs through 'a' massing of bodies that may or may not desire this effect. Certainly community food advocates and co-op shoppers would not want to exclude by their bodily presence and the way that presence links with wealth, cars, location, leisure time and specific knowledge. Exclusion occurs in many little and larger ways that work to make people uncomfortable in a neighborhood, financially unable to purchase organic fruit and not part of the right networks to get employment at a community food non-profit. It is an exclusion that cannot be overcome by inclusion on the terms of a white dominant society."<sup>2</sup>

We are aware that the Seward sought a New Markets Tax Credit (NMTC) allocation for this

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<sup>1</sup> Unshared Bounty <http://www.racialjusticeproject.com/racial-justice-project-releases-food-deserts-report/> p. 6

<sup>2</sup> Whiteness, Space and Alternative Food Practice, Rachel Slocum  
[http://sppsfoundation.org/sites/default/files/best\\_practices\\_for\\_tutoring\\_programs\\_-\\_low\\_res\\_0.pdf](http://sppsfoundation.org/sites/default/files/best_practices_for_tutoring_programs_-_low_res_0.pdf)

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project, which is for projects located in low-income neighborhoods to help support job growth and revitalization, and to be eligible an organization must: “demonstrate a primary a mission of serving, or providing investment capital for, low-income communities or low-income persons.”<sup>3</sup> We want to help the Seward to carry out this mission in our neighborhoods. We are also aware that the Seward has applied for other public dollars for this project. It is very important therefore that this project help contribute to the public good, in particular the low-income communities in which it will be situated.

The Seward is a business that has experienced tremendous success in recent years (exceeding \$20 million in sales annually in the last 4 years at the Franklin Ave. store) even while many people in this city and especially in the Central neighborhood have struggled economically. It is self-evident that the Seward expects similar future success with the Bryant/Central Co-op expansion (predicting over \$20 million/year by the fifth year). This current and future economic success will provide the Seward with the opportunity to take bold strides toward reaching their vision of “sustaining a healthy community that has equitable economic relationships, positive environmental impacts and inclusive, socially responsible practices”.

This is a vision, which we share, and we ask that the Seward, in order to fulfill this vision and to address the concerns of our community, take the following steps as a framework for a Community Benefits Agreement with CANDO and the Bryant Neighborhood Organization.

1. We welcome the introduction of the new Nourish program at the Co-op, and invite the Co-op to engage neighborhood organizations in giving feedback about this program as it is developed. We ask that the Co-op ensure that the foods chosen for the Nourish program are culturally relevant to the Central-Bryant communities by meeting with community leaders from various cultures in the Central-Bryant communities.

2. We applaud the Co-op for its “Community Participation Plan” that has been released with your Site Plan, which focuses on hiring practices. The issue of living wage jobs was one of the most important issues brought up by our community, and it is affirming that the Seward has already begun to respond to this issue.

We appreciate that your “goal is to hire a staff that reflects the diversity of the community,” but the language in this Plan is quite vague. If the Seward can require that its General Contractor must meet specific minimum benchmarks for hiring people of color, and for workers who reside in or near the immediate area around the new store site, why can’t the Seward? We request that

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<sup>3</sup> [http://www.cdfifund.gov/what\\_we\\_do/programs\\_id.asp?programID=5](http://www.cdfifund.gov/what_we_do/programs_id.asp?programID=5)

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the Seward set its own benchmarks for hiring people of color which will bring accountability to your desire to “hire a staff that reflects the diversity of the community.” This benchmark should include a minimum percentage of employees of color of approximately 70%, or the average percentage of people of color living in the Central and Bryant Neighborhoods, at entry level, mid-level and managerial positions. Candidates of color from the local communities should receive the first priority. We ask that the Seward provide the necessary job training in order to meet this benchmark. We would also like the store to hire individuals who speak our community’s predominant, non-English languages (Spanish, Hmong, Lao, Somali) at all levels of leadership in the store, and to, at a minimum, have cashiers who speak Spanish at all times during store operations.

We applaud the fact that Seward will hold a job fair two-months prior to opening the store, and we ask that Seward and its General Contractor also hold a job fair (with excellent local outreach in multiple languages) for construction related jobs at least two months prior to breaking ground—in order to ensure that local people of color and women know about this opportunity to have a construction job in their neighborhood. This will help the General Contractor meet the stipulation made by the Co-op for the General Contractor to hire at least 10 workers who reside in or near the immediate areas around the Friendship store.

We approve strongly of the fact that the Seward will require its General Contractor to report monthly on the status of meeting these goals and that progress will be posted on the co-op’s project web page. We ask that the Seward also give monthly reports on meeting its own hiring goals, and the other goals surrounding community engagement, to the community. We ask that these reports also be posted on the web-site and sent to the neighborhood associations and other interested community organizations. This transparency will promote trust in the Central-Bryant Neighborhoods.

3. We ask that the Seward Co-op provide sufficient bike racks, bike lanes, Crime Prevention Through Design (CPTD), wide sidewalks and pedestrian friendly landscapes. We applaud the Seward for putting in 30 bike racks that will be ready on opening day, and we encourage the Seward to set goals to double that number by year three of operation of the new store.

4. We ask that the Seward Co-op allocate a certain number of Board seats to people in the Bryant/Central communities to be voted on by members of the new store (the number could possibly be based on the percentage of overall revenue brought in by the new store). This is important for Seward to continue to be a democratic institution and to represent the new store’s community in its governing body.

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5. We ask that the Seward Co-op ensure that the SEED grants or other Seward grant programs financed from expenditures at the New Store are awarded to organizations and locally owned businesses that work directly in our neighborhood and our surroundings.

6. We ask that the Seward Co-op make every effort it can to source food/products for the co-op from the immediate neighborhoods; we ask that the Seward actively works with local producers and the neighborhood associations to source food and other products locally. This should include trainings and start-up grants for urban agriculturalists to create businesses that can provide Seward with quality local products and produce. We ask that you prioritize products that are produced in the communities surrounding the new store over products produced in other geographical areas, in the case that they meet all the other product standards that the Seward requires.

7. We ask that the Seward Co-op involve the local neighborhoods in naming the new store as to increase buy-in and engagement in the store, and so that neighbors feel that the store is theirs.

8. We ask that the Seward Co-op participate in an active outreach campaign so that local residents become members of the Co-op, and so that the membership represents the demographics of the community. We applaud your efforts to advertise on the Spokesman Recorder and your goal of reaching out to the Latino media. These efforts are a good start.

9. We ask that the Seward Co-op give stipends to community members to teach or co-teach classes/hands-on workshops about co-ops and food systems and which encourage local residents to join the Co-op, for the community in general and for specific underserved groups i.e. youth, single parents, etc. For example, the Co-op could contract a local organization like Youth Farm to run a youth-focused event which educates neighborhood youth on sustainable food and co-ops.

10. We ask that the Seward Co-op do on-going evaluation of the Co-op's clientele, analyze who is using the Co-op and who is not, and use that information for future outreach and investment efforts in the Bryant and Central neighborhoods. We ask that the Seward collect this data and report back to the CANDO and Bryant Neighborhood Organization annually regarding this evaluation. In order to ensure we are all meeting the goals of equity, on an annual basis, the report to CANDO and BNO should cover:

- Who is shopping at the store, by neighborhood, and by income and race.
- The amount of the 'cultural' items purchased (the products you are specifically stocking for the new store that are for the Latino and African American community)

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- o Track area property taxes trends
- o Which cultural communities are accessing the NOURISH program (so not just tracking income, but also race).
- o SEED and other COOP grant recipients and amounts.
- o Etc.

11. We ask that the space engages the community that surrounds the Co-op. We ask for classes that openly engage residents in learning about the Co-op, food justice, food policy, fair trade, farmworker rights, etc. We ask that space within and without the Co-op's four walls can be utilized by the community for meetings for free. We find it imperative that classes be offered in both Spanish and English because between Central and Bryant neighborhoods well over 60 percent of the population is Latino.

12. We ask that the Seward Co-op that the Seward Co-op helps to support the development of people of color and locally owned businesses in its vicinity so as to mitigate the gentrifying effect of the store. This could include supporting new people of color owned businesses in navigating processes to get tax credits or other financial support, or providing direct grants to small start-up businesses to open up shop in the area directly next to the Co-op, and by providing them with free advertising among your membership.

We look forward to developing a strong relationship between our organizations and among the residents of the Central neighborhood and the Bryant/Central Co-op store.

And, we look forward to your response regarding a Community Benefits Agreement.

Sincerely,

Eduardo Cardenas on behalf of  
The CANDO Board of Directors

Appendix A

## Report to Board Form



<b>Task Force</b>	Seward Friendship Co-op Task Force
<b>Date</b>	2/3/14
<b>Work Summary</b>	<p><i>See attached documents: Seward Friendship Co-op Task Force Overview Packet</i></p> <ul style="list-style-type: none"><li>• <b>Work Scope:</b> The Seward Friendship Co-op Task Force was a working and advisory task force focused on getting information out to the community and providing a forum for broad community input. The task force then makes recommendations to both the Bryant Neighborhood Organization (BNO) and Central Area Neighborhood Development Organization (CANDO) Board of Directors.</li><li>• <b>Group Participants:</b> Participants from both Bryant Neighborhood Organization, Central Area Neighborhood Development Organization, Carrot Initiative and At the Roots made up the group. There were also participants from Sabathani Community Center, Kingfield Neighborhood Association and neighborhood residents.</li><li>• <b>Timeline:</b> The task force began meetings in August of 2013 and met a total of six times. The group ends at this report (February 2014).</li><li>• <b>Outreach Methods:</b> The group had tables at the Central Neighborhood Fair and the Food Justice Forum in Martin Luther King Park. The group sent out community meeting notices, posters in public spaces and a survey in both english and spanish. The group door knocked many of the blocks closest to the proposed site and collected surveys in both Spanish and English.</li><li>• <b>Engagement Methods:</b> There was a Community Meeting on November 6th, 2013 with 63 recorded participants and approximately 75 people in total attendance. A survey was sent to all households in Central and Bryant Neighborhoods with a return self addressed stamped envelope. The same survey was sent out to 7 surrounding neighborhoods electronically,. These neighborhoods were chosen because they may be impacted from the development. A theatrical performance and facilitated discussion was organized by the neighborhoods and Neighborhood Community Relations to talk about the potential social impacts of the Co-op.</li></ul>

## Outreach and Engagement Summary

See attached documents: *Community Meeting Report*, *Seward Friendship Co-op Survey Results*.

- Community Meeting: (See full report for details) There were 63 registered participants at the Community Meeting, 46 were from Bryant and Central neighborhoods, the majority of participants were white. The meeting agenda started with a Seward Co-op presentation on the current site plans. Then the group broke into small groups to discuss the pluses and minuses of the design and thoughts or comments on the proposed development. Small groups then choose their top three themes to bring to the larger group. The Focus of this breakout was not to determine whether individuals were in support of the co-op proposal or not, but to help highlight any questions and/or concerns. The top themes were:
  - Money/Jobs: Concerns about property value and tax implications. Concerns about cost of the food. Hiring local people and especially people of color. Possible fees for a parking permit.
  - Parking/Traffic: Slowing down traffic around the site. Comments surrounding parking permits (cost and use). There is too much parking in the design and need for more parking were both stated.
  - Community: Ensuring people in the neighborhoods have access to opportunities and jobs at the co-op, several feeling a need for recognition of past efforts to bring a co-op to the neighborhood.
  - Building/Infrastructure: Some had a desire to maximize space with classrooms (possibly expand second story). Some participants felt using brick would better match existing neighborhood aesthetics. Comments for and against the hammerhead design presented.
- Survey: (See full report for details) A survey was sent out and 477 people participated, 96 were from Bryant Neighborhood and 117 were from Central. Surveys that come in after the close date totaled in XX with XX from Bryant and XX for Central. The survey was available online and mailed to each household in Bryant and Central neighborhood in both English and Spanish . Breakdown of results by income level and neighborhood level are included in the attached data.
- Breaking Ice: Was a play developed explicitly by the pillsbury house and theater company. The play was commissioned to explicitly explore the issues surrounding the Seward friendship food co-op. It explored issues of affordability, gentrification, excitement, fears and solutions. The production was paid for by NCR, Cando and the BNO. There was also a facilitated discussion at the end of each performance where members of the audience could give feedback and we could learn from it. The attendance over the 3 night of performances totaled 168 people.
- Continuous and ongoing community engagement has been conducted by community board members from the Bryant Neighborhood Organization and Central Area Neighborhood Development Organization
- Outreach has been done to low income families and households of color- primarily through mailers, and minimally through door knocking.
- It has been identified as important to community members that the development hosts classes on educating community members on co-op shopping techniques, increasing knowledge on membership options,

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## **Appendix B**

**November 6th Community Meeting Convened by Central/Bryant Task Force.  
Attended by over 70 community members.**

### **Selected themes/comments:**

#### Money/Jobs

Long-term economic effects, concern around property values, increasing rent in area, cost of food, prioritize hiring from neighborhood for construction and for store, create leadership opportunities for people of color—having POC management.

#### Parking/Traffic

More parking, too much parking, residents having to pay for permit parking a concern, traffic flow—ways to slow traffic in neighborhood, nicer bus stops on 38th, concern around congestion, suggestion of permeable pavers to mitigate runoff.

#### Community

Ensuring that people in neighborhood have access to jobs, public recognition of past efforts to bring a co-op to Bryant/Central, having demographics of store match that of neighborhoods.

#### Building Infrastructure

Wanting to maximize the space in grocery store—have classrooms upstairs, concerns around the alley, safety, not wanting any “dead” or hidden spots behind walls or along ally, some for and some against the hammerhead design, having a brick facade to match the feeling of the neighborhood.

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## **Appendix C**

### **February 11<sup>th</sup> CANDO Board of directors meeting discussion facilitated by Christopher Malik Holt.**

- That the Co-Op development benefits my neighbors: living wage jobs, affordability.
- Most of the past engagement was mainly with white neighbors, not the rest of the neighbors.
- That there is all-encompassing outreach and the outreach and engagement is truly representative and high neighborhood participation from all groups.
- Traffic and parking are issues for me being close to the future Co-Op development.
- Concern with the Co-Op being actually built and open for business and its overall progress.
- Progress of the Co-Op, but with concerns of gentrification, property values rising, and new residents coming into the area via the new Co-Op development and displacing existing residents.
- Jobs (i.e. short-term: construction, and long term: permanent jobs, maintenance jobs, Co-Op retail staff, and other connected occupations - setting benchmarks for these jobs and goals should include leadership and management jobs at the Co-Op and the opportunity for people of color to access this future resource.
- Access – “I want to walk to the grocery store [and], address the ‘food desert’.