



# CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #7  
 June 9, 2014  
 BZZ-6544

## LAND USE APPLICATION SUMMARY

**Property Location:** 5025 Knox Avenue South  
**Project Name:** Mount Olivet Lutheran Church James Avenue Addition  
**Prepared By:** [Janelle Widmeier](#), Senior City Planner, (612) 673-3156  
**Applicant:** Mount Olivet Lutheran Church  
**Project Contact:** Art Bartels, ESG Architects  
**Request:** To allow a 2-level, approximately 9,600 square foot addition to an existing church.

*Required Applications:*

<b>Conditional Use Permit</b>	To increase the maximum height from 2.5 to 3 stories to allow a building addition in the RI District and the SH and FP Overlay Districts.
<b>Variance</b>	To reduce the minimum front yard requirement adjacent to James Avenue from 25 feet to 13.5 feet to allow a building addition.
<b>Variance</b>	To increase the maximum floor area ratio from 0.5 to 0.52.
<b>Site Plan Review</b>	An amendment to allow an approximately 9,600 square foot building addition.

## SITE DATA

<b>Existing Zoning</b>	RI Single-family District FP Floodplain Overlay District SH Shoreland Overlay District
<b>Lot Area</b>	211,235 square feet / 4.85 acres
<b>Ward(s)</b>	13
<b>Neighborhood(s)</b>	Lynnhurst Neighborhood Association
<b>Designated Future Land Use</b>	Urban Neighborhood
<b>Land Use Features</b>	Community Corridor (50 <sup>th</sup> Street West)
<b>Small Area Plan(s)</b>	Not applicable

<b>Date Application Deemed Complete</b>	April 30, 2014	<b>Date Extension Letter Sent</b>	Not applicable
<b>End of 60-Day Decision Period</b>	June 29, 2014	<b>End of 120-Day Decision Period</b>	Not applicable

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** Mount Olivet Lutheran Church, a place of assembly, is located on the subject property. It was established on the site in 1949. The church building is located on the eastern portion of the site. A large surface parking lot with 152 spaces comprises the entire west half of the site.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The subject site is bordered by Minnehaha Creek to the south, the Burroughs Community School to the east, a church and single-family homes to the north, and single-family homes to the west.

**PROJECT DESCRIPTION.** A 2-level, approximately 9,600 square foot addition to an existing church is proposed at the property of 5025 Knox Avenue South. Classrooms and a music rehearsal room would be located in the addition.

The maximum height in the R1 district and the SH overlay district is 2.5 stories or 35 feet, whichever is less. The proposed addition is 35 feet in height. Story is defined in Chapter [525](#) of the zoning code. Although the addition would only have 2 floors, the addition is considered 3 stories because the second floor will exceed 14 feet in height. A conditional use permit is required to increase the maximum allowed height.

The maximum floor area ratio in the R1 district is 0.5. With the proposed addition, the building will be 109,541 square feet in area on a site that is 211,235 square feet in area. The resulting floor area ratio is 0.52, which requires a variance.

The minimum front yard requirement along James Avenue South is 25 feet. The proposed addition would be set back 13.5 feet. A variance is required to reduce the minimum yard requirement.

Site plan review is required for any nonresidential building addition that is 1,000 square feet or more.

**RELATED APPROVALS.** In March of this year, the Planning Commission approved a site plan review application (BZZ-6427) to allow a 1,400 square foot addition on the west side of the existing building that included an accessible entrance into the Narthex and a new elevator and stairs. Parking lot improvements, which included landscaping, significantly reducing impervious surface, and eliminating 3 curb cuts, were also approved. The approved parking lot improvement plan is attached for reference. No changes are proposed to this area of the site plan.

**PUBLIC COMMENTS.** Staff has not received any correspondence from the Lynnhurst neighborhood as of the writing of this staff report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum height from 2.5 to 3 stories to allow a building addition in the RI District and the SH and FP Overlay Districts based on the following [findings](#):

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

Construction of a 2-level, 35 foot tall building addition would not prove detrimental to public health, safety, comfort or general welfare provided the development complies with all applicable building codes and life safety ordinances as well as Public Works Department standards.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The subject site is bordered by Minnehaha Creek to the south, the Burroughs Community School to the east, a church and single-family homes to the north and single-family homes to the west. The addition would be located on the east side of the site, closest to the school. The proposed addition would be 35 feet in height. Other portions of the building exceed 35 feet in height. The adjacent school building is approximately 65 feet in height. Allowing an increase in the number of stories will not have an impact on surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site is served by existing infrastructure. The Public Works Department will review the project for appropriate drainage and stormwater management as well as to ensure the safety of the position and design of improvements in or over the public right-of-way.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Increasing the allowed height would have no impact on traffic congestion in the public streets. The proposed addition will not increase the minimum parking requirement. A 152 space parking lot exists on the site. In the previously approved plan, three curb cuts will be eliminated.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The development will conform to the applicable regulations of the districts in which it is located, upon approval of the conditional use permit, variances and site plan review.

**ADDITIONAL STANDARDS TO INCREASE MAXIMUM HEIGHT:**

1. *Access to light and air of surrounding properties.*

The proposed location of the addition will not have any effect on surrounding properties access to air and light. The site is north of the creek and separated from all other properties by streets.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The addition will not shadow any adjacent residential property or existing solar energy systems. The proposed addition would not significantly increase shadowing on the surrounding public spaces, James Avenue, than a 2.5 story/35 foot tall structure.

3. *The scale and character of surrounding uses.*

The subject site is bordered by Minnehaha Creek to the south, the Burroughs Community School to the east, a church and single-family homes to the north, and single-family homes to the west. The addition would be located on the east side of the site, closest to the school. The proposed addition would be 35 feet in height. Other portions of the building exceed 35 feet in height. The adjacent school building is approximately 65 feet in height. The proposed height is compatible with the surrounding uses.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

The proposal would not block views of landmark buildings, significant open spaces, or bodies of water. The site is not adjacent to any landmark buildings. Minnehaha Creek is located to the south of the site. The creek is well over 100 feet from the addition.

*In addition to the conditional use standards contained in Chapter 525, Administration and Enforcement, the city planning commission shall consider the following evaluation criteria for conditional uses located within the SH Shoreland Overlay District:*

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The Public Works Department will review the project for appropriate drainage and stormwater management both during and after construction. Once construction is complete, the areas not occupied by the building or paving will be landscaped with trees, perennials and grasses.

2. *Limiting the visibility of structures and other development from protected waters.*

Minnehaha Creek is located to the south of the site. The creek is well over 100 feet from the addition. Further, its visibility would be lessened by the existing trees along the creek.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum front yard requirement adjacent to James Avenue from 25 feet to 13.5 feet to allow a building addition based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

In the R1 district, the minimum front yard requirement is equal to 25 feet. A front yard is required adjacent to James Avenue. The proposed setback is 13.5 feet. Practical difficulties exist in complying with the ordinance. The underlying platting determines the location of the required yards. The site has frontage on three streets. The main entrance and front of the church fronts vacated Knox Avenue adjacent to 50<sup>th</sup> Street West. However, due to the existing platting, a front yard is required along James Avenue. The church is the only structure on the west side of James Avenue located between 50<sup>th</sup> Street and Minnehaha Creek. The Burroughs Community School, a building approximately 65 feet tall, is located on the east side of the street. The addition would connect to the existing education wing of the building.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. Policies of the comprehensive plan also support the purpose of the yard ordinances. The church is the only structure on the west side of James Avenue located between 50<sup>th</sup> Street and Minnehaha Creek. The 50<sup>th</sup> Street frontage is the perceived front yard. A 13.5 foot setback is proposed. The request is reasonable and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The church is the only structure on the west side of James Avenue located between 50<sup>th</sup> Street and Minnehaha Creek. Granting the variance would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum floor area ratio from 0.5 to 0.52 based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The maximum floor area ratio (FAR) allowed in the R1 district for a place of assembly is 0.5. The proposed FAR is 0.52, an approximately 4,647 square feet increase. In the R1 district, the minimum

lot size requirement for a place of assembly is 12,000 square feet. The perceived scale and massing of a building with a 0.5 FAR on a 12,000 square foot lot versus a nearly 5 acre site can be much different. Given the size of the site, the scale of the church building and the proposed addition is compatible with the scale of the surrounding residential community.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, building bulk regulations are established in order to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area. The site is 4.85 acres and is separated from surrounding development by streets. The massing of the building is spread out over the eastern half of the site. The remainder of the site is used for parking. The scale of the church building and the addition is compatible with the scale of the surrounding residential community. The request is reasonable and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The site is 4.85 acres and is separated from surrounding development by streets. The scale of the church building and the addition is compatible with the scale of the surrounding residential community. In comparison, the massing of the adjacent school building feels much larger. Granting the variance would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

## SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

### **I. Conformance to all applicable standards of Chapter 530, Site Plan Review.**

#### **Building Placement and Design – Meets requirements**

- Placement of building would reinforce the street wall with a 13.5 foot setback from James Avenue. An abundant amount of windows are proposed on the south and east walls of the addition. The addition will retain an entrance facing James Avenue.
- A 25-foot wide front yard is required along James Avenue. The addition would be set back 13.5 feet, which requires a variance. CPED is recommending approval of the variance.
- Landscaping would be provided between the addition and the front lot line.
- The addition will retain an entrance facing James Avenue.
- The existing parking lot is located on the west half of the site with frontage on 50<sup>th</sup> Street and Logan Avenue. The previous site plan approval included landscaping improvements along both street frontages.
- The proposed addition walls will provide architectural details and contain windows to create visual interest, increase security of adjacent outdoor spaces by maximizing natural surveillance and visibility.
- Recesses, projections, windows and other architectural elements are proposed to divide the building addition into smaller identifiable sections.

- Blank, uninterrupted walls that do not include architectural elements will not exceed 25 feet in length.
- The primary exterior materials would be stone veneer, stucco and glass, which are durable.
- All sides of the building would be similar and compatible.
- Plain face concrete block is not proposed as an exterior material.
- The proposed principal entrance is surrounded by a curtain wall and sheltered by a canopy to emphasize its importance. The main entrance will remain on the west side of the building.
- Windows are required on the elevation facing James Avenue. All window requirements will be met. See **Table I**.
- The active uses on the ground floor of the addition would occupy 100 percent of the frontage facing James Avenue.
- The proposed roof of the addition is flat. There is a mix of flat and pitched roofs in the surrounding area. A flat roof minimizes the impact of the massing of the building and addition.

**Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking**

	Code Requirement		Proposed	
	1 <sup>st</sup> Floor	30% minimum	278.4 sq. ft.	54.7%
2 <sup>nd</sup> Floor	10% minimum	116 sq. ft.	41.5%	482 sq. ft.
3 <sup>rd</sup> "Floor"	10% minimum	61 sq. ft.	31.4%	204 sq. ft.

**Access and Circulation – Meets requirements**

- The proposed addition is connected to the public sidewalk along James Avenue by a 12-foot wide walkway.
- There are no transit shelters adjacent to the site and none are proposed at this time.
- Vehicle access and circulation is designed to minimize conflicts with pedestrians and adjacent residential uses. The curb cut located to the north of the proposed addition will be reduced from 24 feet to 15 feet in width. This curb cut is needed for access to the refuse storage area. No changes to vehicle access and circulation are proposed to the previously approved plan. The previously approved plan eliminates 3 curb cuts and increases separation between curb cuts resulting in fewer potential conflicts between vehicle and pedestrian traffic. Striped crosswalks within the parking lot will guide pedestrian traffic to the primary entrance and all ADA accessible parking will be separated from the remainder of the parking lot with a large landscaped island to prevent conflicts between pedestrians and vehicles.
- The site does not utilize alley access and there are no residential uses on this block.
- The site plan has been designed to minimize the use of impervious surfaces. The site currently contains 115,870 square feet of impervious surface, largely due to the surface parking lot. As part of the previous site plan review, the applicant is proposing 9,040 square feet of new landscaped area within the parking lot. The southernmost portion of the parking lot will also contain pervious bituminous pavement to further reduce the amount of impervious surface on site.

**Landscaping and Screening – Meets requirements with Conditions of Approval**

- The majority of the existing landscaping on site is located on the north and east sides of the building. The previously approved plan proposed perimeter landscaping and landscaped islands within the parking lot. There is also a landscaped courtyard in the center of the site. Overall, 26.7 percent of the site not occupied by buildings will be landscaped. This exceeds the minimum requirement of 20 percent.

- Alternative compliance was previously granted to allow only 49 trees on the site. The landscaping plan shows that the 2 trees that will be removed to make way for the addition will be replaced by 2 trees after the construction of the addition resulting in no net loss.
- The applicant has not identified the total number of shrubs, but has indicated that 72 shrubs will be removed to make way for the building addition. The previously approved site plan proposed the minimum number of required shrubs. The proposed landscaping plan shows that 37 shrubs will be planted around the addition. These numbers indicate that the overall number of on-site shrubs could be deficient in meeting this requirement. There is sufficient room on the site to comply with the minimum shrub requirement.
- No changes are proposed to the parking lot landscaping and screening improvements that were previously approved.
- All areas not occupied by buildings or parking will be landscaped.
- The installation and maintenance of all landscape materials shall be required to comply with section 530.210 of the zoning code.

**Table 2. Landscaping and Screening Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	211,235 sq. ft.
<b>Building footprint</b>	--	56,813 sq. ft.
<b>Remaining Lot Area</b>	--	154,422 sq. ft.
<b>Landscaping Required</b>	30,885 sq. ft.	41,267 sq. ft.
<b>Canopy Trees (1: 500 sq. ft.)</b>	62 trees	49 trees
<b>Shrubs (1: 100 sq. ft.)</b>	309 shrubs	XX shrubs

**Additional Standards – Meets requirements**

- Surmountable curb and gutter between the main parking lot and the southernmost section of the parking lot that would allow for on-site retention of stormwater in an infiltration basin was approved as part of the previous plan.
- The proposed addition would not impede views of important elements of the city, and would be located and arranged to minimize shadowing on public spaces and adjacent properties and to minimize the generation of wind currents at the ground level.
- The site includes crime prevention through environmental design elements. The entrances are clearly visible and accessed directly from the public sidewalks. There are windows through which people can see in and out on all sides of the building. There is a significant amount of fenestration proposed within the addition to provide opportunities for patrons to observe adjacent spaces. Striped walkways are provided through the parking lot to clearly guide pedestrian movements.
- The existing building is not historically designated and the site is not located with a historic district.

**2. Conformance with all applicable regulations of the zoning ordinance.**

A place of assembly is a *permitted* use in the RI District.

**Off-street Parking and Loading – Meets requirements**

- According to the previous site plan review application, the main auditorium area is approximately 12,035 square feet. The proposed addition does not increase the minimum

parking requirement. The use does not have a minimum bicycle parking requirement, but 4 spaces are provided.

**Table 3. Vehicle Parking Requirements Per Use (Chapter 541)**

	<b>Minimum Parking Requirement</b>	<b>Applicable Reductions</b>	<b>Total Minimum Requirement</b>	<b>Maximum Parking Allowed</b>	<b>Proposed</b>
<b>Place of assembly</b>	10% of the capacity of persons	--	83 (no change)	40% of the capacity of persons	152
<b>Total</b>	<b>12,035 sq. ft.</b>	--	<b>83</b>	<b>321</b>	<b>152 (no change)</b>

**Table 4. Bicycle Parking and Loading Requirements (Chapter 541)**

	<b>Minimum Bicycle Parking</b>	<b>Minimum Short-Term</b>	<b>Minimum Long-Term</b>	<b>Proposed</b>	<b>Loading Requirement</b>	<b>Proposed</b>
<b>Place of assembly</b>	N/A	N/A	N/A	4	2 small spaces	2 small spaces

**Building Bulk and Height – Requires a variance and a conditional use permit**

- The maximum floor area ratio in the R1 district is 0.5. With the proposed addition, the building will be 109,541 square feet in area on a site that is 211,235 square feet in area. The resulting floor area ratio is 0.52, which requires a variance.
- The maximum height in the R1 district and the SH overlay district is 2.5 stories or 35 feet, whichever is less. The proposed addition is 35 feet in height. Story is defined in Chapter 525 of the zoning code. Although the addition would only have 2 floors, the addition is considered 3 stories because the second floor will exceed 14 feet in height. A conditional use permit is required to increase the maximum allowed height.

**Table 5. Building Bulk and Height Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	211,235 sq. ft. / 4.85 acres
<b>Gross Floor Area (GFA)</b>	--	109,541 sq. ft.
<b>Maximum Floor Area Ratio (GFA/Lot Area)</b>	0.5	0.52
<b>Maximum Building Height</b>	2.5 stories or 35 feet, whichever is less	3 stories, 35 ft.

**Lot Requirements – Meets requirements**

**Table 6. Lot Summary**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Minimum Lot Area</b>	12,000 sq. ft.	211,235 sq. ft.
<b>Minimum Lot Width</b>	100 ft.	350 ft.

**Applicable Yard Requirements – Requires a variance**

- For institutional and public uses, walkways and stairs up to 12 feet in width are permitted obstructions. The proposed walkway and stairs would comply with these requirements. A variance is required to reduce the minimum front yard requirement from 25 feet to 13.5 feet to allow the addition.

**Table 7. Minimum Yard Requirements**

	<b>Zoning District</b>	<b>Overriding Regulations</b>	<b>Total Requirement</b>	<b>Proposed</b>
<b>Front</b> (James Ave)	25 ft.	--	25 ft.	13.5 ft.
<b>Interior Side</b> (South)	6+2x ft.	--	10 ft.	41.6 ft.
<b>Corner Side</b> (50 <sup>th</sup> St)	10+2x ft.	--	14 ft.	100+ ft.

**Signs – Not applicable**

- Signs are subject to Chapters [531](#) and [543](#) of the Zoning Code.
- No new signage is proposed as part of the project.

**Refuse Storage Screening – Meets requirements**

- Refuse storage containers are required to be enclosed on all four sides by screening compatible with the principal structure not less than two feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. The existing refuse storage containers are located on the east side of the building and will be screened with 6-foot tall solid wood fencing.

**Screening of Mechanical Equipment – Meets requirements**

- All mechanical equipment is required to be arranged so as to minimize visual impact by using screening and must comply with Chapter [535](#) and district requirements. Mechanical equipment will be located behind the addition on the roof of the existing structure. The equipment will be screened by the proposed addition as well as a louvered enclosure.

**Lighting – Lighting plan required**

- Lighting must comply with Chapter [535](#) and Chapter [541](#) of the zoning code. A lighting plan was not provided as part of the application. One will need to be provided with the final plans.

**Lot Coverage – Meets requirements**

- In the RI district, the maximum allowed lot coverage is 50 percent, or 105,617 square feet for this site. The proposed building footprint is 56,813 square feet, which is equal to 27 percent of the lot area.

**Impervious Surface Area – Meets requirements**

- In the R1 district, the maximum allowed impervious surface is 65 percent, or 137,303 square feet for this site. The existing amount of impervious surface is approximately 173,369 square feet, or 82 percent of the site. The overall amount of impervious surface will be reduced to 153,800 square feet or 73 percent of the lot area. Because the site is being brought closer to compliance, a variance is not required to allow the addition.

**Specific Development Standards – *Not applicable***

**SH Shoreland and FP Floodplain Overlay District Standards – *Meets requirements***

- The property is located in the Flood Fringe district. All structures and additions to such structures in the flood fringe are required to be elevated on fill so that the lowest floor is at or above the regulatory flood protection elevation. The finished flood elevation for structures shall be no lower than one foot below the regulatory flood protection elevation. The regulatory flood protection elevation in this area is 845 feet. The finished floor elevation of the addition will be at 846 feet, which complies with the regulations of the overlay district.
- With the exception of the height of the addition, the proposal would comply with all other SH and FP overlay district requirements.

**3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.**

With the adoption of the staff recommendation, the site plan will be consistent with the applicable policies of the comprehensive plan. In addition to the principals and policies identified in the conditional use permit section of this report, the following also apply to this development:

Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.

- 10.8.8 Appropriate non-residential land uses, such as institutional, public and suitable commercial uses, should be integrated into low density residential areas through proper building location and design, landscaping, and other site improvements.

**4. Conformance with applicable development plans or objectives adopted by the City Council.**

Not applicable.

**5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). With the previous site plan approval, alternative compliance was granted for the building placement of and the minimum amount of windows on the west entrance addition, the minimum number of on-site trees, the width of the landscaped yard between the parking area and Logan Avenue, and the number of parking spaces within 50 feet of an on-site canopy tree. No additional alternative compliance is requested for the amendment to the site plan.

## RECOMMENDATIONS

### **Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to increase the maximum height from 2.5 to 3 stories to allow a building addition in the RI District and the SH and FP Overlay Districts located at the property of 5025 Knox Avenue South, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the minimum front yard requirement adjacent to James Avenue from 25 feet to 13.5 feet to allow a building addition located at the property of 5025 Knox Avenue South.

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase the maximum floor area ratio from 0.5 to 0.52 located at the property of 5025 Knox Avenue South.

### **Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow an approximately 9,600 square foot building addition located at the property of 5025 Knox Avenue South, subject to the following conditions:

1. At least 309 shrubs shall be provided on-site as required by section 530.160 of the zoning code.
2. Department of Community Planning and Economic Development staff review and approval of the final building elevations, floor, fixture, site, lighting and landscape plans.
3. Site improvements required by Chapter 530 or by the City Planning Commission shall be completed by April 23, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

## ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Aerial
4. Photos
5. Site survey
6. Site plan
7. Landscaping plan
8. Floor plans
9. Building elevations
10. Previously approved parking lot improvement plan
11. Correspondence

**MOUNT OLIVET LUTHERAN CHURCH**  
**JAMES AVENUE ADDITION (EAST ADDITION)**

**STATEMENT OF PURPOSE AND DESCRIPTION OF PROJECT**

**APRIL 25, 2012**

(BZZ-\_\_\_\_, Ward: 13), 5025 Knox Ave S

**Project Purpose and Vision**

For 94 years, Mount Olivet has been building on the foundation of God's promise of unconditional love for all people. Our education and music ministries have been and always will be integral parts of the foundation on which we build our witness and impact. We have been aware of accessibility, hospitality, education, and music needs at our Minneapolis facility for some time.

With the extent of education and music programming, expansion is needed to continue doing the good work of sharing God's love through teaching the gospel, and experiencing the joy of praising our Lord through the Ministry of music.

**Education and Music Programming Facility Needs:**

The proposed new education and music addition and remodeling of existing classroom space on the James Avenue side of the Mount Olivet Campus will provide excellent space for critical aspects of our mission and ministry. The expanded and enhanced education and music areas will provide much-needed flexible classroom and music rehearsal spaces to live out the church's mission for the future, including:

- A new large classroom space that will accommodate elements such as the confirmation program, with up to 280 students. This program is currently holding these classes in a neighboring facility, requiring the children to cross the busy 50<sup>th</sup> Street.
- Three additional small classrooms that will accommodate adult and children's educational programming.
- An upper-level tiered-floor space will accommodate music rehearsal for adult and children's choirs, band/ orchestra, and serve as a multifunction classroom space.
- New elevator and ADA-compliant restrooms will improve accessibility for the facility.
- Complete remodeling of the 10,300 SF Classroom wing.

Mount Olivet has placed great emphasis on its music ministry and programs. With its reputation for excellence, the music department holds a long standing tradition and is committed to extending exceptional musical experiences to all. The Mount Olivet School of music (MOSOM) is a primary community outreach service of the church:

*Mission Statement*

*"The Mount Olivet School of Music develops and encourages musical skill and appreciation in each student, regardless of age or ability. In an artistic, nurturing environment, teachers provide excellent musical instruction thus educating, strengthening and enriching the intellectual, spiritual and emotional person."*

- ***Play it Forward!*** is a service project which supports the musical activities of students in the Minneapolis community. Instruments donated to Play it Forward! are passed on to various Minneapolis schools that are in need of instruments for band and orchestra programs.
- ***Musikgarten*** at Mount Olivet is a musical experience designed to bring the joy of music to parent/caregiver and child.
- In cooperation with **Burroughs Community School**, band and orchestra are offered as fee based after school activities for all students in 4th and 5th grades. Both groups meet at Mount Olivet Church.

The purpose and vision for the Mount Olivet James Avenue (East) Addition is the creation of an appropriately scaled facility expansion to accommodate these program needs within a building envelope that is seamlessly cohesive with the existing classic mid-century architecture.

The project will include a 9,626 GSF addition on two levels that connect directly to the existing classroom wing to minimize circulation and remain compact. The street-level of the addition facing James Avenue will house flexible classroom spaces for Children's and Adult Education programming.

The Lynnhurt Neighborhood Association contact Paul Ragozzino and thirteenth Ward Council Member Linea Palmisano have been notified of the proposed project.

### **Architectural Description**

The architectural design and massing is designed to mimic the original 1953 Magney-Tussler & Setter, "Church School" building in its spare modern detailing. The primary façade of the addition is staggered both in varied setback along James Avenue and in building height to maintain a compatible pedestrian scale.

The design features an active street-level, with classroom spaces and large transparent window areas articulated with architectural cast stone/ precast frame elements and natural limestone infill areas to match the original architecture. The taller tiered-floor music rehearsal/ classroom space are located in a central location on the upper floor

Approximately 32% of the area between 2 ft and 10 ft above grade on the primary street-facing facades is transparent glass. The main east entry vestibule will have a permanent canopy and transparent storefront doors and glazing. The north façade of the addition faces the courtyard entrance drive and the south wall of the original 1949 structure. The south facade are also articulated with variations in stone and architectural precast materials, and transparent glazing at the street level vestibule and glazed circulation area on the upper level.

Height:

The building addition consists of (2) levels. The street level is 12 ft high and the upper level is 23 ft for a total height of 35 ft, which is an appropriate scale on this section of James Avenue in the R-1 zoning district.

- a) Maximum height in this zoning district is 2 ½ stories and 35 ft. maximum.
- b) The proposed building addition is proposed to be at or under the 35 ft maximum height-OK.
- c) The proposed addition has a 12 ft floor-floor height for the at-grade level, and an approx. 21-23 ft high upper level.
- d) Minneapolis zoning code defines a “Story” as up to 20ft for ground level, but a maximum 14 ft for upper stories. The building as proposed will therefore be considered as three stories for zoning purposes.

A Conditional Use Permit is required for the “three story” addition to be built in this district in lieu of the two-story maximum. This height is in character with surrounding neighboring properties such as original 1949 Church structure, and Burroughs School (east across James Ave.) which is much taller the proposed addition.

**Summary of Applications Required:**

- 1. Site Plan Review**
- 2. Conditional Use Permit for 3 stories in lieu of 2 1/2 story max. in R-1 Zoning District**
- 3. Variance for 13.5 ft front yard setback in lieu of 25 ft.**
- 4. Variance for Floor Area Ratio (FAR greater than 0.50.**
- 5. Approval for 3 stories in lieu of the standard 2 1/2 story max. in Shoreland Overlay District**
- 6. Preliminary Development Review (PDR)**
  - Address Labels for Notification letters for the public hearing have been obtained and will need to be sent out by the owner to neighboring properties within 350 ft.
  - A letter of notification has been sent from the owner to the Neighborhood Group requesting a letter of no-objections.
  - A letter of notification from the owner to the district City Council person has been sent.

**1. Site Plan Review**

**530.110. Building placement.**

(a) In general. The placement of buildings shall reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation. The first floor of buildings shall be located not more than eight (8) feet from the front lot line, except where a greater yard is required by this zoning ordinance. In the case of a corner lot, the building wall abutting each street shall be located not more than eight (8) feet from the lot line, except where a greater yard is required by this zoning ordinance. The area between the building and the lot line shall include amenities such as landscaping, tables and seating. Buildings shall be oriented so that at least one (1) principal entrance faces the public street rather than the interior of the site. In the case of a corner lot, the principal entrance shall face the front lot line.

(b) Exceptions. The city planning commission or zoning administrator may approve alternatives to these requirements, subject to section 530.80, provided that where applicable, any adverse effects shall be mitigated by a decorative fence, masonry wall, or planted materials that reinforce the street wall. (2005-Or-038, § 14, 4-29-2005; 2013-Or-243, § 1, 12-13-2013)

**546.220. Yard requirements.**

The minimum yard requirements for uses located in the R1 District shall be as specified in Table 546-2, R1 Yard Requirements.

**Table 546-2 R1 Yard Requirements**

Yards	Required Yards for Single-family Dwellings and Permitted Community Residential Facilities (Feet)	Required Yards for All Other Uses (Feet)
Front	25	25
Rear and Interior Side	6	6+2X
Corner Side	10	10+2X

X = Number of stories above the first floor

The placement of the building addition does “reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation” as required by Section 530.10. The façade of the addition facing James Avenue has varying setbacks with portions set back 27.8 ft, 19.1 ft, and the closest area at 13.5 ft.

This block of James Avenue does not contain any residences. It is across James Avenue from the approx. 65 ft tall Burroughs School and to the north across 50<sup>th</sup> Street is another Church building. The south edge of the property is bounded by Lynnhurst Park and is also separated from residences by Minnehaha Creek.

Also, while the underlying lot layout makes the James Avenue frontage a “Front Yard”, the perceived “front” of Mount Olivet is along 50<sup>th</sup> Street and the main entry is on the west side. If the frontage were considered a corner side yard the required setback would be  $10 + 2x = 14$  ft.

**530.120. Building design.**

(a) Building walls. Building walls shall provide architectural detail and shall contain windows as required in this section in order to create visual interest and to increase the security of adjacent outdoor spaces by maximizing natural surveillance and visibility. In larger buildings, architectural elements, including recesses or projections, windows and entries, shall be emphasized to divide the building into smaller identifiable sections. Blank, uninterrupted walls that do not include windows, entries, recesses or projections, or other architectural elements, shall not exceed twenty-five (25) feet in length. Exterior materials shall be durable, including but not limited to masonry, brick, stone, stucco, wood, metal, and glass. The exterior materials and appearance of the rear and side walls of any building shall be similar to and compatible with the front of the

## Mount Olivet Lutheran Church- James Avenue Addition

### Land Use Application- Narrative

Page 5 of 12

building. The use of plain face concrete block as an exterior material shall be prohibited where fronting along a public street, public sidewalk, public pathway, or adjacent to a residence or office residence district.

The design features an active street-level, with classroom spaces and large transparent window areas articulated with architectural cast stone/ precast pier elements at 20 ft. on center (max) and natural limestone infill areas to match the original architecture. The taller tiered-floor music rehearsal/ classroom space are located in a central location on the upper floor

(b) Entrances, windows, and active functions.

(2) Nonresidential uses. Principal entrances shall be clearly defined and emphasized through the use of architectural features such as roofs, or other details that express the importance of the entrance. Multiple entrances shall be encouraged. Thirty (30) percent of the walls on the first floor and ten (10) percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows as follows:

- a. Windows shall be vertical in proportion.
- b. Windows shall be distributed in a more or less even manner.
- c. The bottom of any window used to satisfy the ground floor window requirement may not be more than four (4) feet above the adjacent grade.
- d. First floor or ground floor windows shall have clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher.
- e. First floor or ground floor windows shall allow views into and out of the building at eye level. Shelving, mechanical equipment or other similar fixtures shall not block views into and out of the building in the area between four (4) and seven (7) feet above the adjacent grade. However, window area in excess of the minimum required area shall not be required to allow views into and out of the building.
- f. Industrial uses in Table 550-1, (N/A)
- g. In multiple tenant buildings (N/A)

(3) Ground floor active functions. Except for industrial uses in Table 550-1, Principal Industrial Uses in the Industrial Districts, the first floor or ground level of buildings shall be designed to accommodate active functions by ensuring that parking, loading, storage, or mechanical equipment rooms are limited to no more than thirty (30) percent of the linear building frontage along each wall facing a public street, public sidewalk, or public pathway.

The design features an active street-level, with classroom spaces and large transparent window areas articulated in a vertical orientation set back within architectural cast stone/ precast frame elements and natural limestone infill areas to match the original architecture.

Approximately 32% of the area between 2 ft and 10 ft above grade on the primary street-facing facades is transparent glass. The main east entry vestibule will have a permanent canopy and transparent storefront doors and glazing.

(c) Roof lines. The form and pitch of roof lines shall be similar to surrounding buildings.

The design of the roof includes a flat roof, in keeping with the roof style of the existing education wing and with the perimeter of the Borroughs School.

(d) Parking garages. (N/A)

**530.130. Pedestrian access.**

Clear and well-lighted walkways shall connect building entrances to the adjacent public sidewalk and to any parking facilities located on the site. Such walkways shall be a minimum of four (4) feet in width.

The design of maintains the connection of entrances to public sidewalks and adds an accessible sidewalk connection where grade must be raised to comply with requirements of the Floodplain Overlay District.

**530.160. General landscaping and screening.**

(a) Required landscaping. Overall composition and location of landscaped areas shall complement the scale of the development and its surroundings. In general, larger, well-placed contiguous planting areas shall be preferred to smaller, disconnected areas. Not less than twenty (20) percent of the site not occupied by buildings including all required landscaped yards shall be landscaped as follows (for purposes of this provision, a canopy or service area canopy shall not be considered a building):

The landscaping shown on the submitted Landscape Plan is an extension of Landscaping submitted for the West Entry Addition Project and will utilize Alternative compliance to meet these requirements.

## **2. Conditional Use Permit for 3 stories in lieu of 2 story max.**

### **546.110. Increasing maximum height.**

The height limitations of principal structures located in the residence districts, except single and two-family dwellings, may be increased by conditional use permit, as provided in Chapter 525, Administration and Enforcement. In addition to the conditional use standards, the city planning commission shall consider, but not be limited to, the following factors when determining the maximum height:

- o Access to light and air of surrounding properties.
- o Shadowing of residential properties, significant public spaces, or existing solar energy systems.
- o The scale and character of surrounding uses.
- o Preservation of views of landmark buildings, significant open spaces or water bodies.

The building addition consists of (2) levels. The street level is 12 ft high and the upper level is 23 ft for a total height of 35 ft, which is an appropriate scale on this section of James Avenue in the R-1 zoning district. Consideration was given to depressing the ground floor ½ level to minimize the height, but floodplain overlay district regulations precluded this option.

#### ***Access to light and air of surrounding properties:***

The building addition does not impact access to light and air of surrounding properties. The maximum height in this zoning district is 2 ½ stories and 35 ft. maximum.

- a) The proposed addition has a 12 ft floor-floor height for the at-grade level, and an approx. 21-23 ft high upper level. Minneapolis zoning code defines a “Story” as up to 20ft for ground level, but a maximum 14 ft for upper stories. The building as proposed will therefore be considered as three stories (for zoning purposes only). It will have only two occupied levels.
- b) The proposed building addition is proposed to be at the 35 ft maximum height and therefore will not impact access to light and air more than an otherwise compliant 35ft high structure.

#### ***Shadowing of residential properties, significant public spaces, or existing solar energy systems.***

As this block of James Avenue does not contain any residences the addition will not shadow any residential properties. It is across James Avenue from the approx. 65 ft tall Burroughs School and is separated to residences to the north by the original 1949 church structure, 50<sup>th</sup> Street, and another existing Church building. The south edge of the property is bounded by Lynnhurst Park and is also separated from residences by Minnehaha Creek.

#### ***The scale and character of surrounding uses.***

This height is in character with surrounding neighboring properties such as the original 1949 original 1949 Mount Olivet church structure, the existing two story education wing, and the much taller Burroughs School facility, which is an institutional scaled brick and metal building with a masonry base at approx. 35 ft, top of metal wall at approx. 53’ and overall height of approx. 65 ft. It is separated to residences to the north by the original 1949 church sanctuary, 50<sup>th</sup> Street, and another existing Church building.

#### ***Preservation of views of landmark buildings, significant open spaces or water bodies.***

As it is set back from the site’s southeast corner, the proposed addition’s height does not block views to open spaces or to the taller landmark Mount Olivet original sanctuary structure.

### **3. Front Yard Variance Request for 13.5 ft minimum front yard setback in lieu of 25 ft.**

The façade of the proposed addition facing James Avenue has varying setbacks:

- 27.8 ft at the corners and entry, (for 13'-6" width at entry)
- 19.1 ft for the flanking classrooms, (41'-0" total width) and
- 13.5 ft at the center classroom and rehearsal space above (61'-4" width)

This block of James Avenue does not contain any residences.

It is across James Avenue from the approx. 65 ft tall Burroughs School with an approx. 25 ft setback minus encroachments by raised stoops and loading dock/ driveway.

To the north is the original 1949 sanctuary, and across 50<sup>th</sup> Street is another Church building. The south edge of the property it is separated from residences by Lynnhurst Park and also by Minnehaha Creek.

Also, while the underlying lot layout makes the James Avenue frontage a "Front Yard", the perceived "front" of Mount Olivet is along 50<sup>th</sup> Street and the main entry is on the west side. If the frontage were considered a corner side yard the required setback would be  $10 + 2x = 14$  ft.

***(1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.***

The site is located within the Flood Plain Overlay District and several exiting below-grade spaces are prone to seasonal flooding in years with high water. It is not feasible to add below-slab waterproofing in these existing areas.

The improvements planned to the west entrance to improve accessibility and kitchen areas have triggered the need to add landscaped areas and reduce the impervious lot coverage by reducing parking lot area to bring the site into closer compliance with current zoning regulations. There is therefore no site area available to locate programmed expansion areas on interior lot areas.

***(2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.***

The proposed development and proposed uses meet the spirit and the intended purposes and goals of the R1 Residential District as stated in Section 546.200 of the ordinance. It's religious, cultural, and educational uses are intended to serve the church's members and the local surrounding community with programs such as preschool, music lessons, and hosting orchestra & band programs to the Burroughs Community School.

#### **546.200. Purpose.**

The R1 Single-family District is established to provide for an environment of predominantly low density, single family dwellings and cluster developments on lots with a minimum of six thousand (6,000) square feet of lot area per dwelling unit. In addition to residential uses, institutional and public uses and public services and utilities may be allowed.

The site is well over the minimum lot area required for this use in the district and the slight increases in density from this and the recently approved projects (West Entry Addition and Kitchen Remodeling) are intended to serve members and the local neighborhood in this pedestrian and transit oriented neighborhood with a up-to-date facility that meets current program needs. The proposed setbacks of 27.8', 19.1', and 13.5' maintain the intent and spirit of the ordinance to reinforce the street wall and maintain pedestrian access, security, and circulation, while being in keeping with the scale of nearby buildings on the adjacent blocks, as stated in section 530.110:

**530.110. - Building placement.**

(a) In general. The placement of buildings shall reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation. Except in the C3S Community Shopping Center District, the first floor of buildings shall be located not more than eight (8) feet from the front lot line, except where a greater yard is required by this zoning ordinance. In the case of a corner lot, the building wall abutting each street shall be located not more than eight (8) feet from the lot line, except where a greater yard is required by this zoning ordinance. The area between the building and the lot line shall include amenities such as landscaping, tables and seating. Buildings shall be oriented so that at least one (1) principal entrance faces the public street rather than the interior of the site. In the case of a corner lot, the principal entrance shall face the front lot line. Except in the C3S Community Shopping Center District, on-site accessory parking facilities shall be located to the rear or interior side of the site, within the principal building served, or entirely below grade.

The proposed design maintains visible and accessible entrances on the James Avenue façade with transparent glass entry vestibules connected by wide and accessible walkways to the city sidewalk. The areas between the building and the lot line will contain landscaping well in excess of minimum standards.

***(3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.***

The proposed building placement meets the intent of the ordinance in developing buildings with appropriate scale and massing, located in a proximity to the property line to reinforce the public realm and street wall. Visible entries are provided to protect pedestrians and the active uses will maximize natural surveillance with transparent facades.

The two-level massing of the building with a height of 24 ft for 46% of its frontage and 35 ft for the remainder is in keeping with the 35 ft max height allowed in the district and well below the scale of any neighboring buildings within approx. 500 ft. The Burroughs Community School just across the street is much taller and more massive.

The site area immediately to the north of the proposed addition will remain open space to provide an open feeling at the corner and for neighborhood events such as the annual fall pumpkin sale.

#### **4. Variance Request for Density/ FAR Ratio of 0.522 in lieu or 0.50:**

The existing building perimeter has been surveyed to confirm an accurate site footprint area. Further verifications have been made to ascertain the actual Gross Building Areas of the various levels of the building. While much of the building area is below grade for more than ½ of its height, nearly all areas count towards the FAR calculation. Only unexcavated areas, exterior structural extensions, boiler & duct chase spaces, open-to-below two story spaces and below-grade storage rooms have been subtracted from the surveyed perimeter totals in verifying the Gross Building Area for FAR calculation.

With these confirmed floor areas, including the recently approved West Entry Addition, Kitchen Addition, and the proposed James Avenue (East) Addition the total FAR ratio after completion would be 0.522. This represents approx. 4647 SF over the base maximum zoning required FAR ratio of 0.5.

*(1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Due to the fact that the existing facility is comprised of a series of sequential additions to the original 1949 sanctuary building, its interior space layout is comprised of a high ratio of circulation-to-useable area (corridors, stairways, and elevators), and a high ratio of structure/ useable floor area (interior areas interrupted by thick former exterior stone walls).

Among the several additions that comprise the south Education/ Office/ Music wing, the small 20 ft x 20 ft structural grid also limits flexibility of use for larger class sizes. The proposed addition is intended to meet program needs by creating additional column-free large classroom and rehearsal areas that are not possible within the existing structural footprint.

*(2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed development and proposed uses meet the spirit and the intended purposes and goals of the R1 Residential District as stated in Section 546.200 of the ordinance. It's religious, cultural, and educational uses are intended to serve the church's members and the local surrounding community with programs such as preschool, music lessons, and hosting orchestra & band programs to the Burroughs Community School.

The proposed variance request for an additional 0.22 increase in FAR would result in a large increase in flexibility and usability of the facility with only a very small increase additional floor area.

#### **546.200. Purpose.**

The R1 Single-family District is established to provide for an environment of predominantly low density, single family dwellings and cluster developments on lots with a minimum of six thousand (6,000) square feet of lot area per dwelling unit. **In addition to residential uses, institutional and public uses and public services and utilities may be allowed.**

The site is well over the minimum lot area required for this use in the district and the slight increases in density from this and the recently approved projects (West Entry Addition and Kitchen Remodeling) are intended to serve members and the local neighborhood in this pedestrian and transit oriented neighborhood with an up-to-date facility that meets current program needs.

The ratio increase is so small that if the FAR measurements were taken excluding the thick exterior walls, the FAR ratio would be in compliance.

***(3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.***

The proposed building placement meets the intent of the ordinance in developing buildings with appropriate scale and massing, located in a proximity to the property line to reinforce the public realm and street wall. Visible entries are provided to protect pedestrians and the active uses will maximize natural surveillance with transparent facades.

The Burroughs Community School just across the street is much taller and more massive structure, and the nearest single family homes are greater than 450 ft from this proposed Mount Olivet addition.

The staggered massing of the façade, along with the varied heights and active, transparent ground-floor uses are designed to create appropriate and pleasing pedestrian scale in context with the neighborhood.

**7. Shoreland Overlay District:**

**551.480. Height of structures.**

Except for structures subject to a more restrictive maximum height limitation in the primary zoning district, the maximum height of all structures within the SH Overlay District, except for single and two-family dwellings, shall be two and one-half (2.5) stories or thirty-five (35) feet, whichever is less....

The height limitation of all other principal structures may be increased by conditional use permit, as provided in Chapter 525, Administration and Enforcement. In addition to the conditional use standards contained in Chapter 525, the city planning commission shall consider, but not be limited to, the following factors when determining maximum height:

1. Access to light and air of surrounding properties.

The building addition does not impact access to light and air of surrounding properties. The maximum height in this zoning district is 2 ½ stories and 35 ft. maximum.

- a) The proposed addition has a 12 ft floor-floor height for the at-grade level, and an approx. 21-23 ft high upper level. Minneapolis zoning code defines a “Story” as up to 20ft for ground level, but a maximum 14 ft for upper stories. The building as proposed will therefore be considered as three stories (for zoning purposes only). It will have only two occupied levels.
- b) The proposed building addition is proposed to be at the 35 ft maximum height and therefore will not impact access to light and air more than an otherwise compliant 35ft high structure.

2. Shadowing of residential properties or significant public spaces.

As this block of James Avenue does not contain any residences the addition will not shadow any residential properties. It is across James Avenue from the approx. 65 ft tall Burroughs School and is separated to residences to the north by the original 1949 church structure, 50<sup>th</sup> Street, and another existing Church building. The south edge of the property is bounded by Lynnhurst Park and is also separated from residences by Minnehaha Creek. Since the addition is to the north of both residences and the Lynnhurst it will not shadow any of these properties.

3. The scale and character of surrounding uses.

This height is in character with surrounding neighboring properties such as the original 1949 original 1949 Mount Olivet church structure, the existing two story education wing, and the much taller Burroughs School facility, which is an institutional scaled brick and metal building with a masonry base at approx. 35 ft, top of metal wall at approx. 53’ and overall height of approx. 65 ft. It is separated to residences to the north by the original 1949 church sanctuary, 50<sup>th</sup> Street, and another existing Church building.

4. Preservation of views of landmark buildings, significant open spaces or water bodies.

As it is set back from the site’s southeast corner, the proposed addition’s height does not block views to open spaces or to the taller landmark Mount Olivet original sanctuary structure.

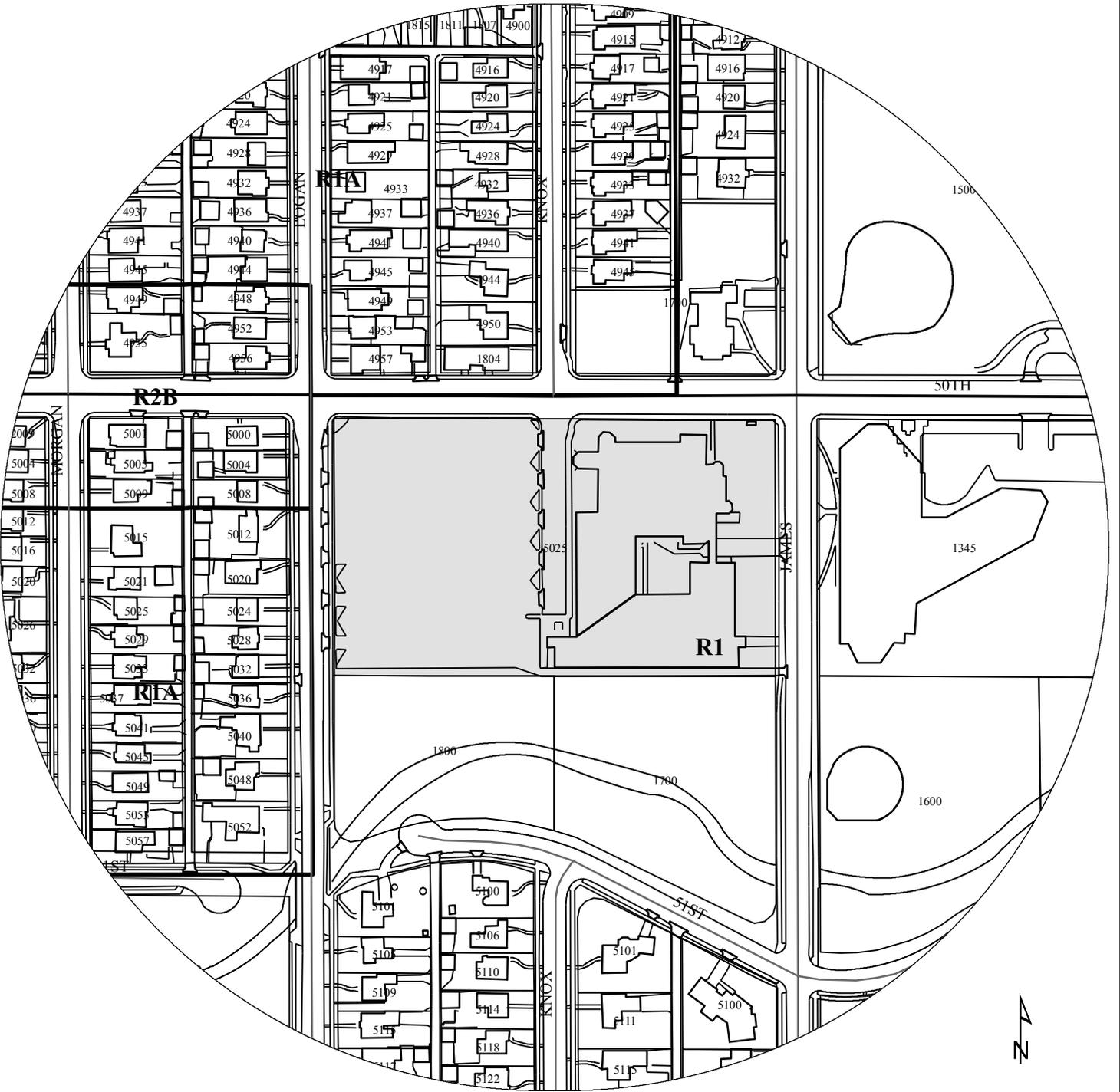
**End of Narrative**

# Mount Olivet Lutheran Church

13

NAME OF APPLICANT

WARD



PROPERTY ADDRESS  
**5025 Knox Ave S**

FILE NUMBER  
**BZZ-6544**



W 49th St

W 49th St

S James Ave

S Girard Ave

W Minnehaha Pkwy

W 50th St

21

Lynnhurst Field

S Morgan Ave

S Logan Ave

W 51st St

W 51st St

























# Mount Olivet Lutheran Church James Avenue (East) Addition



eIness swenson graham architects  
500 WASHINGTON AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA 55415  
P. 612.339.5508  
F. 612.339.5382  
WWW.ESGARCH.COM

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature \_\_\_\_\_

Typed or Printed Name \_\_\_\_\_

License # \_\_\_\_\_ Date \_\_\_\_\_

**NOT FOR  
CONSTRUCTION**

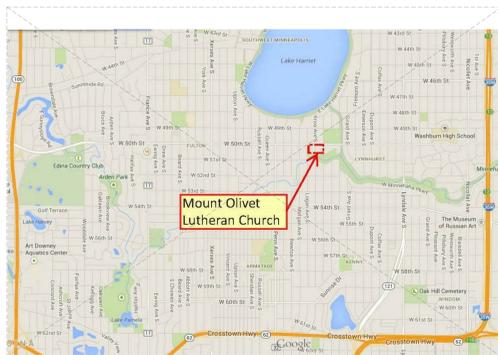


## 5025 Knox Avenue South Minneapolis, MN

### SHEET INDEX

SHEET NUMBER	SHEET NAME	ISSUE 1	ISSUE 2	ISSUE 3
<b>GENERAL INFORMATION</b>				
T1.1	TITLE SHEET	•	•	•
<b>CIVIL</b>				
C1-2	SITE DEMOLITION PLAN	•		
C1	Surveys	•		
C2-1	EXISTING CONDITIONS SURVEY	•		
C2-2	SITE PLAN	•		
C3-1	OVERALL SITE PLAN	•		
C3-1	GRADING PLAN	•		
C8-1	CIVIL DETAILS	•		
<b>LANDSCAPE</b>				
L1.1	LANDSCAPE PLAN	•		
<b>ARCHITECTURAL</b>				
A1.1	FIRST & SECOND LEVEL PLAN	•		
A1.2	THIRD & FOURTH LEVEL PLAN	•		
A3.1	EXTERIOR ELEVATIONS	•		
A3.2	ELEVATION + SECTION	•		

### PROJECT LOCATION



Vicinity



Site Location

### PROJECT TEAM

- Owner/Developer:** Mount Olivet Lutheran Church  
5025 Knox Avenue South  
Minneapolis, MN
- Architect:** EIness Swenson Graham Architects Inc.  
500 Washington Ave. South, Suite 1080  
Minneapolis, MN 55415  
Ph: 612-339-5508  
Fx: 612-339-5382
- Contractor:** Kraus Anderson Construction Co.  
525 South 8th Street  
Minneapolis, MN 55404  
Ph: (612) 332-7281
- Civil:** Loucks Associates  
7200 Hemlock Lane, Suite 300  
Minneapolis, MN 55369  
Ph: (763) 424-5505
- Structural Engineer:** John Paul Gille, P.E.  
Paulson & Clark Engineering, Inc.  
2352 East County Road J  
White Bear Lake, Minnesota 55110  
Ph: (651) 407-6056
- Mechanical, Electrical, Plumbing Engineers:** T.B.D.

### SYMBOLS LEGEND

- SECTION AND ELEVATION REF
- INTERIOR ELEVATION REF
- DETAIL REF
- WALL TYPE (SEE SHEET A10.1)
- WINDOW TYPE (SEE SHEET A11.2)
- ELEVATION REF
- SPOT ELEVATION REF
- FLOOR FINISH TRANSITION REF
- EXTERIOR ELEVATION KEYNOTE REF
- ROOM NAME AND NUMBER
- DOOR NUMBER
- SECTION KEYNOTE REF
- REVISION NUMBER
- FIRE EXTINGUISHER CABINET
- FIRE EXTINGUISHER - WALL MOUNTED

### Land Use Application / PDR Set

ORIGINAL ISSUE:  
REVISIONS  
No. Description Date

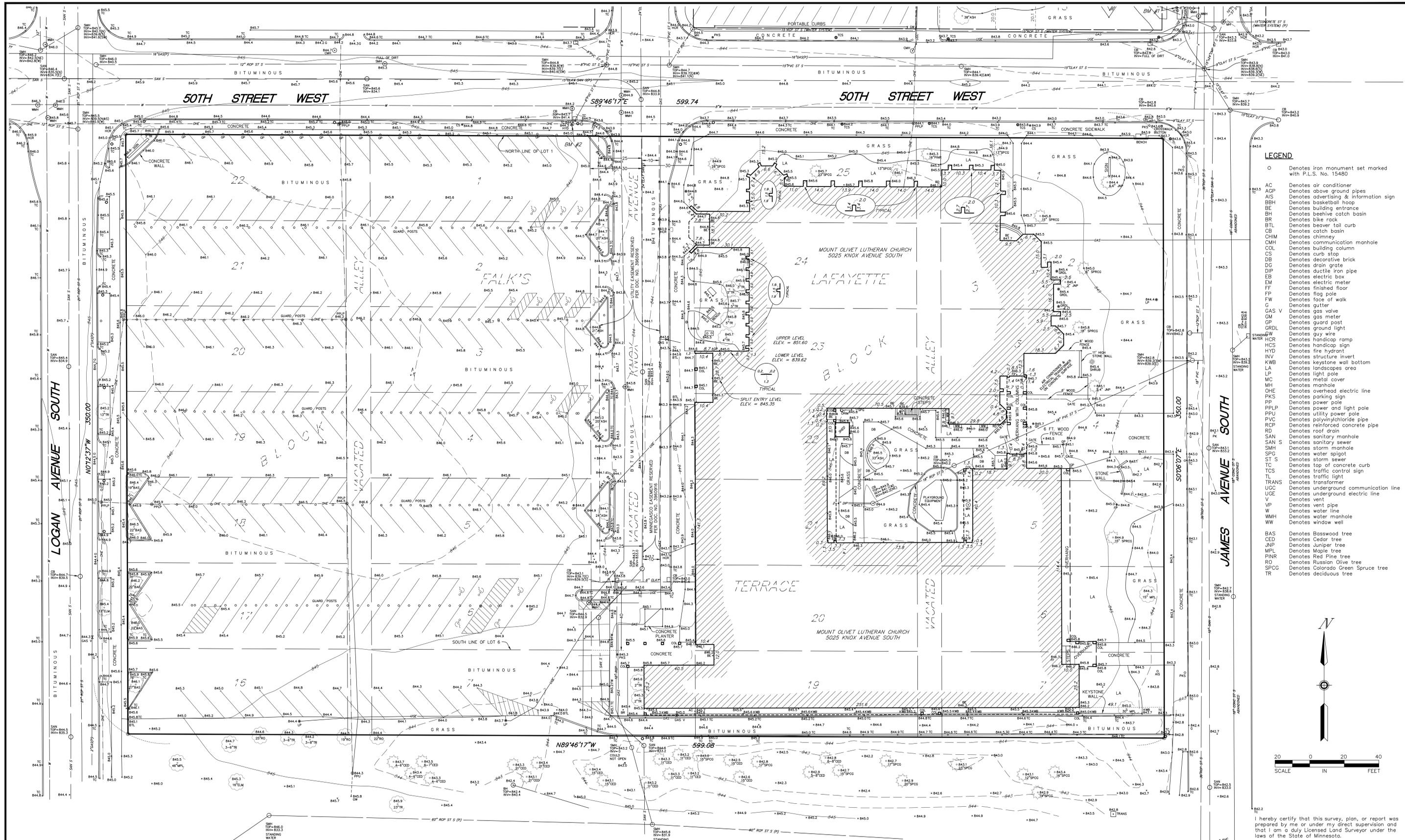
212804  
PROJECT NUMBER

ESG DRAWN BY ESG CHECKED BY

KEY PLAN

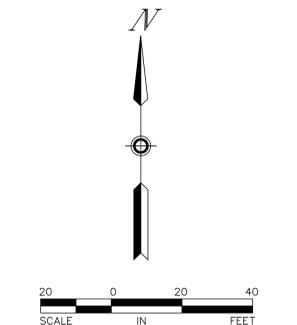
Mount Olivet Lutheran  
Church Addition

TITLE SHEET  
**T1.1**



**LEGEND**

○	Denotes iron monument set marked with P.L.S. No. 15480
AC	Denotes air conditioner
AGP	Denotes above ground pipes
AIS	Denotes advertising & information sign
BBH	Denotes basketball hoop
BE	Denotes building entrance
BH	Denotes beehive catch basin
BR	Denotes beaver tail curb
BT	Denotes beaver tail curb
CB	Denotes catch basin
CHM	Denotes chimney
CMH	Denotes communication manhole
COL	Denotes building column
CS	Denotes curb stop
DB	Denotes decorative brick
DC	Denotes drain grate
DIP	Denotes ductile iron pipe
EB	Denotes electric box
EM	Denotes electric meter
FF	Denotes finished floor
FP	Denotes flag pole
FW	Denotes face of walk
G	Denotes gutter
GAS V	Denotes gas valve
GM	Denotes gas meter
GP	Denotes guard post
GRDL	Denotes ground light
GRDW	Denotes guy wire
HCR	Denotes handicap ramp
HCS	Denotes handicap sign
HYD	Denotes fire hydrant
INV	Denotes structure invert
KWB	Denotes keystone wall bottom
LA	Denotes landscape area
LP	Denotes light pole
MC	Denotes metal cover
MH	Denotes manhole electric line
OHE	Denotes overhead electric line
PKS	Denotes parking sign
PP	Denotes power and light pole
PPU	Denotes utility power pole
PVC	Denotes polyvinylchloride pipe
RPC	Denotes reinforced concrete pipe
SAN	Denotes sanitary manhole
SAN S	Denotes sanitary sewer
SMH	Denotes storm manhole
SPG	Denotes water spigot
ST S	Denotes storm sewer
TC	Denotes top of concrete curb
TCS	Denotes traffic control sign
TL	Denotes traffic light
TRANS	Denotes transformer
UGC	Denotes underground communication line
UGE	Denotes underground electric line
V	Denotes vent pipe
VP	Denotes vent pipe
W	Denotes water line
WMH	Denotes water manhole
WW	Denotes window well
BAS	Denotes Basewood tree
CED	Denotes Cedar tree
JNP	Denotes Juniper tree
MPL	Denotes Maple tree
PINR	Denotes Red Pine tree
RO	Denotes Rosin Olive tree
SPCG	Denotes Colorado Green Spruce tree
TR	Denotes Deciduous tree



**GENERAL NOTE**

1.) Survey coordinate basis: Hennepin County Coordinate System

**UTILITY NOTES**

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 132131960.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

**DESCRIPTION OF PROPERTY SURVEYED**

(Per Certificate of Title No. 1324092)

Lots 1 to 7 inclusive, and Lots 19 to 25 inclusive, Block 3, and that part of the vacated alley in said Block 3, lying between the extensions across said alley of the North line of said Block and the South line of said Lots 7 and 19, "Falk's Lafayette Terrace" Minneapolis, Minnesota.

Lots 1 to 7 inclusive, Block 4, and Lots 18 to 22 inclusive, Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota.

That part of the vacated alley in Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota, lying northerly of the westerly extension of the south line of Lot 5, said Block 4; and

That part of the east half of the vacated alley in Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota, lying between the westerly extensions of the south line of Lot 7 and of the north line of Lot 6, said Block 4; and

That part of vacated Knox Avenue South as dedicated in the plat of "Falk's Lafayette Terrace" Minneapolis, Minnesota, lying between the westerly extensions of the north line of Lot 25, Block 3, said plat, and of the south line of Lot 19, said Block 3.

AND

(Per Doc. No. A9566837)

Lots 16 and 17, Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota;

That part of the West half of the vacated alley in Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota, lying between the westerly extensions of the south line of Lot 7 and the north line of Lot 6, Block 4.

**TITLE COMMITMENT**

This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.

**AREA**

Area = 209,788 square feet or 4.816 acres

**BENCH MARKS (BM)**

- Top of top nut of fire hydrant at northwest quadrant of 50th Street West and James Avenue. Elevation = 847.32 feet
- Top of top nut of fire hydrant at southwest quadrant of 50th Street West and Knox Avenue. Elevation = 848.31 feet

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 19th day of August, 2013

SUNDE LAND SURVEYING, LLC.

By: Mark S. Hanson, P.L.S. Minn. Lic. No. 15480

Revision	By	Date
Drawing Title: <b>BOUNDARY, LOCATION, TOPOGRAPHIC AND UTILITY SURVEY FOR: MOUNT OLIVET LUTHERAN CHURCH 5025 KNOX AVENUE SOUTH</b>		
<b>SUNDE LAND SURVEYING</b>		Main Office: 8001 East Bloomington Freeway (35W) • Suite 118 Bloomington, Minnesota 55420-3435 952-881-2455 (Fax: 952-881-8565)
www.sunde.com		West Office: Mandan, North Dakota 58542-5562
Project: 97-033-B	By: Pgs 97/1	Date: 8/19/2013
Township: 28	Range: 24	Section: 16
File: 97033001.dwg	Sheet: 1 of 1	



CALL BEFORE YOU DIG!  
**Gopher State One Call**  
 TWIN CITY AREA: 651-454-0002  
 TOLL FREE: 1-800-252-1166

Project Name:

Mount Olivet Church



Minneapolis, MN

Owner/Developer:

Mount Olivet Lutheran Church

5025 Knox Ave S  
 Minneapolis, MN 55419



Professional Services:



Planning • Civil Engineering • Land Surveying  
 Landscape Architecture • Environmental

7200 Hemlock Lane - Suite 300  
 Maple Grove, MN 55369  
 Telephone: (763) 424-5505  
 www.LoucksAssociates.com

© 2014

CADD Qualification:

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services. For use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of the party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

C1-2 SITE DEMOLITION PLAN.DWG/SHEET

Submittal:

04/25/14 PDR SUBMITTAL

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Professional Signature:

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan - PE

44613 License No. \_\_\_\_\_ Date \_\_\_\_\_

Quality Control:

Project Lead: JJD Drawn By: TDG

Checked By: JJD Review Date: 04/25/14

Sheet Index:

C1-2 SITE DEMOLITION PLAN

C2-1 SITE PLAN

C2-2 OVERALL SITE PLAN

C3-1 GRADING, DRAINAGE & EROSION CONTROL PLAN

C8-1 CIVIL DETAILS

L1-1 LANDSCAPE PLAN

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Sheet Title:

SITE DEMOLITION PLAN

\_\_\_\_\_

Project No.:

13436A

Sheet No.:

C1-2

**SITE DEMOLITION NOTES**

1. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.

2. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.

3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

4. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.

5. BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE PROJECT SITE. SAID ROCK ENTRANCE PAD SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT. SEE DETAIL SHEET(S).

6. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, CITY REQUIREMENTS AND THE DETAILS SHOWN ON THE DETAIL SHEET(S) OF THE PROJECT PLANS.

7. DEMOLITION AND UTILITY WORK MAY REQUIRE CITY, COUNTY, AND MNDOT PERMITS. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS.

8. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS, STRIP TOP SOIL, AND STOCKPILE ON-SITE. REFER TO GRADING PLAN AND SWPPP FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS. TREES UNDER 6" DIA. ARE INCIDENTAL TO CLEARING & GRUBBING.

9. EXISTING TOPOGRAPHY PROVIDED BY SUNDE LAND SURVEYING, BOUNDARY, LOCATION, TOPOGRAPHIC AND UTILITY SURVEY DATED 08/19/13.

10. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.

11. MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.

12. CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

13. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.

**SITE DEMOLITION LEGEND**

CONSTRUCTION LIMITS

REMOVE CONCRETE

REMOVE BITUMINOUS

REMOVE TREE (TYP.)

REMOVE LANDSCAPING AREA AS NEEDED

REMOVE & RELOCATE FLAGPOLE (SEE LANDSCAPE PLAN FOR PROPOSED LOCATION)

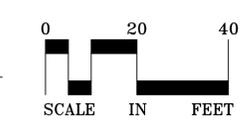
REMOVE TREE

NOTE: ALL BOLD ITEMS TO BE REMOVED

FULL-DEPTH SAWCUT (TYP.)

REMOVE & RELOCATE "ELEVATOR ACCESS" SIGN. LOCATION TO BE DETERMINED BY OWNER.

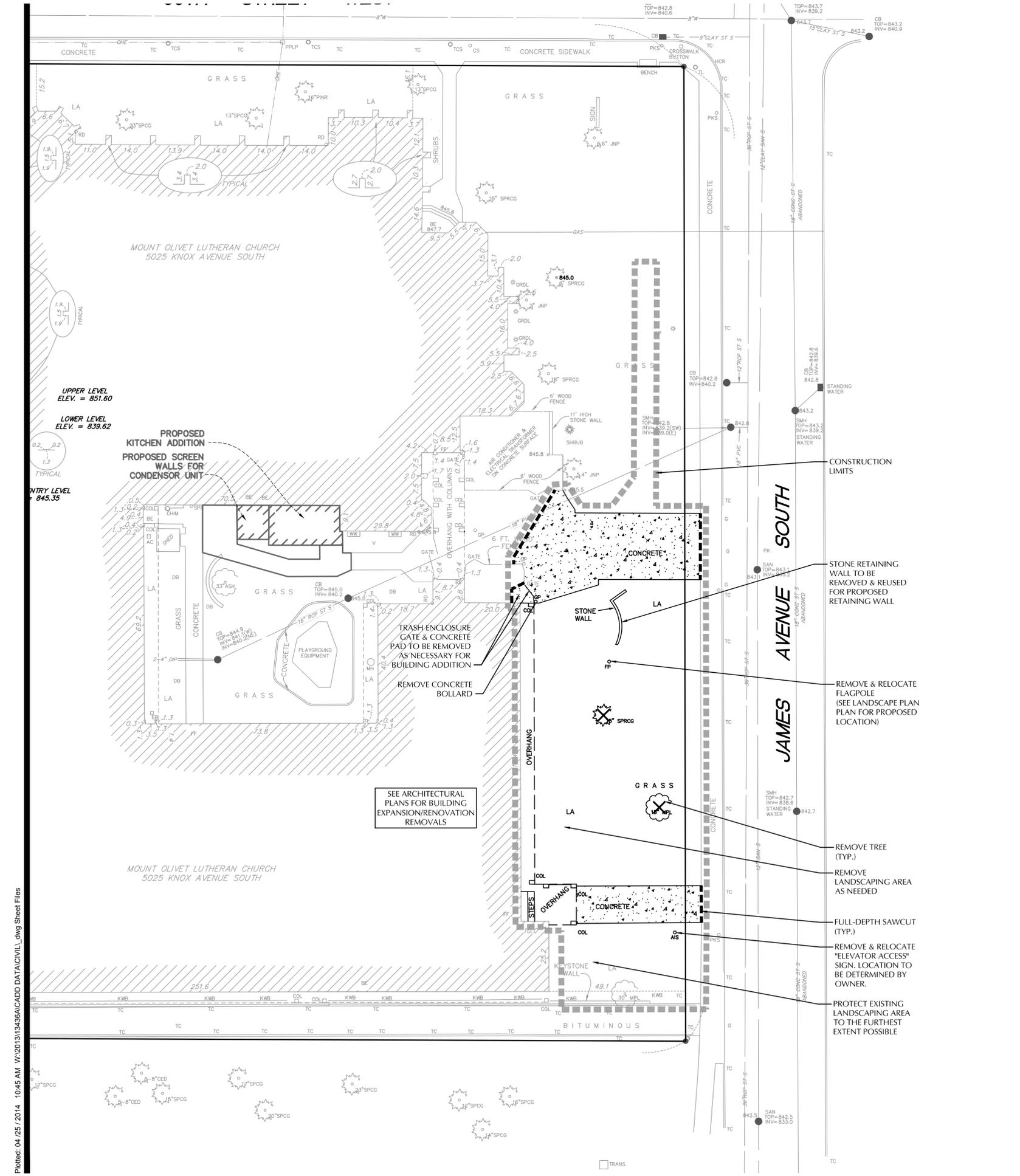
PROTECT EXISTING LANDSCAPING AREA TO THE FURTHEST EXTENT POSSIBLE



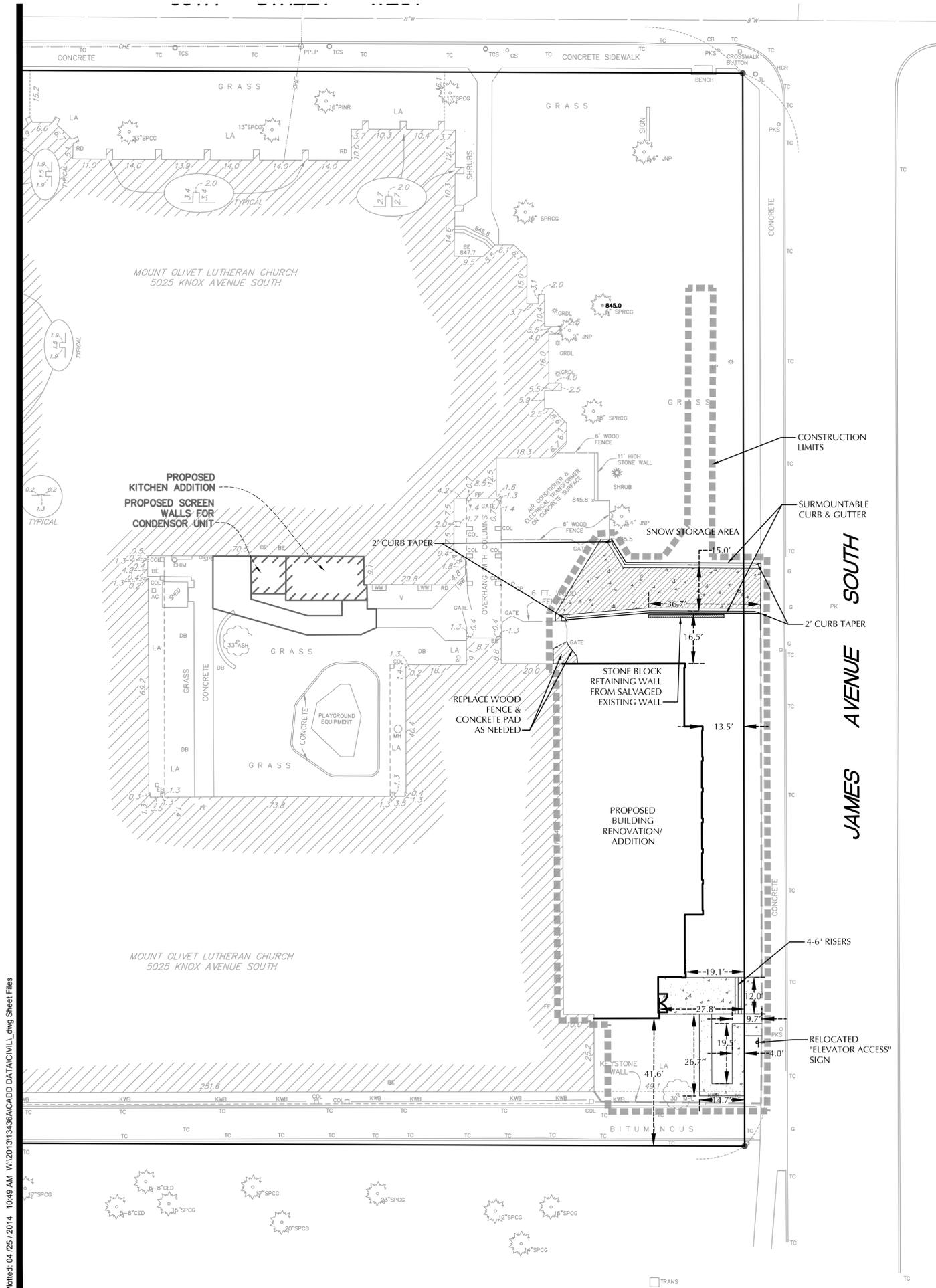
**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



Plotted: 04/25/2014 10:45 AM W:\2013\13436A\CADD DATA\CIVIL.dwg Sheet Files



**CALL BEFORE YOU DIG!**  
**Gopher State One Call**  
 TWIN CITY AREA: 651-454-0002  
 TOLL FREE: 1-800-252-1166

**SITE DATA**

**CURRENT ZONING:** RESIDENTIAL DISTRICT (R1)  
**DISTURBED AREA:** 0.26 AC  
**EXISTING IMPERVIOUS AREA:** 0.07 AC (27%)  
**PROPOSED IMPERVIOUS AREA:** 0.15 AC (58%)

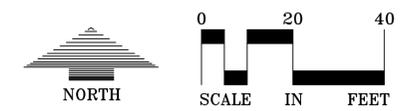
**SITE NOTES**

- MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND CITY STANDARDS.
- MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.
- A SIGNIFICANT PORTION OF SITE IMPROVEMENTS NOT SHOWN ON THIS SHEET ARE DESCRIBED AND PROVIDED IN FURTHER DETAIL ON THE ARCHITECTURAL AND LANDSCAPE PLANS.
- ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
- BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.

**PAVEMENT TYPES**

- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- BITUMINOUS PAVEMENT
- PERVIOUS BITUMINOUS

**NOTE:**  
 SEE PAVEMENT SECTIONS ON SHEET C8-2 FOR TYPE AND DEPTH INFORMATION



**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

**Project Name:** Mount Olivet Church

**esg architects**

**Professional Services:**

**LOUCKS ASSOCIATES**

Planning • Civil Engineering • Land Surveying  
 Landscape Architecture • Environmental

7200 Hemlock Lane - Suite 300  
 Maple Grove, MN 55369  
 Telephone: (763) 424-5505  
 www.LoucksAssociates.com

© 2014

**CADD Qualification:**

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services. For use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of the party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

C2-1 SITE PLAN.DWG/SHEET

**Submittal:**

04/25/14 PDR SUBMITTAL

**Professional Signature:**

Jonathan J. Donovan - PE  
 License No. 44613 Date

**Quality Control:**

Project Lead: JJD Drawn By: TDG  
 Checked By: JJD Review Date: 04/25/14

**Sheet Index:**

- C1-2 SITE DEMOLITION PLAN
- C2-1 SITE PLAN
- C2-2 OVERALL SITE PLAN
- C3-1 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C8-1 CIVIL DETAILS
- L1-1 LANDSCAPE PLAN

**Sheet Title:** SITE PLAN

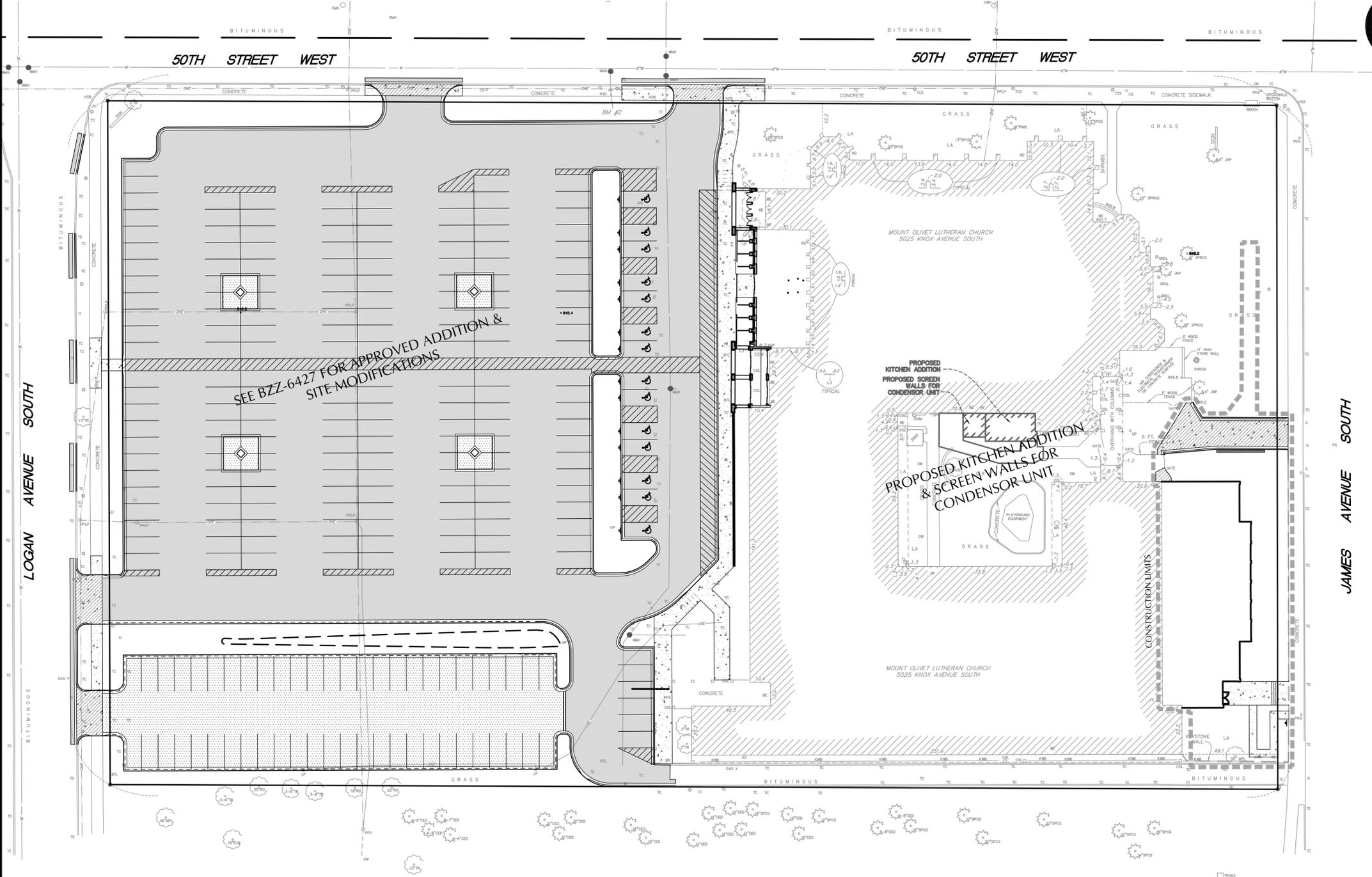
**Project No.:** 13436A

**Sheet No.:** C2-1

Plotted: 04/25/2014 10:49 AM W:\2013\13436A\CADD DATA\CIVIL.dwg Sheet Files



CALL BEFORE YOU DIG!  
**Gopher State One Call**  
 TWIN CITY AREA: 651-454-0002  
 TOLL FREE: 1-800-252-1166



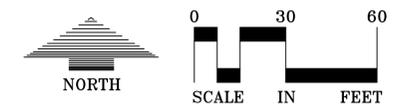
SEE BZZ-6427 FOR APPROVED ADDITION & SITE MODIFICATIONS

PROPOSED KITCHEN ADDITION & SCREEN WALLS FOR CONDENSER UNIT

**IMPERVIOUS SITE DATA**

OVERALL SITE AREA:	4.81 ACRES
EXISTING OVERALL SITE IMPERVIOUS AREA:	3.98 ACRES (83%)
PROPOSED OVERALL SITE IMPERVIOUS AREA WITHOUT EAST ADDITION :	3.45 ACRES (72%)
PROPOSED OVERALL SITE IMPERVIOUS AREA:	3.53 ACRES (73%)
EAST ADDITION DISTURBED AREA:	0.26 ACRES
EXISTING EAST ADDITION SITE IMPERVIOUS AREA:	0.07 ACRES (27%)
PROPOSED EAST ADDITION SITE IMPERVIOUS AREA:	0.15 ACRES (58%)

\*SEE HYDROLOGY REPORT FOR IMPERVIOUS SURFACE EXHIBITS



**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

Project Name:

**Mount Olivet Church**



Minneapolis, MN

Owner/Developer:

Mount Olivet Lutheran Church

5025 Knox Ave S  
 Minneapolis, MN 55419



Professional Services:



Planning • Civil Engineering • Land Surveying  
 Landscape Architecture • Environmental

7200 Hemlock Lane - Suite 300  
 Maple Grove, MN 55369  
 Telephone: (763) 424-5505  
 www.LoucksAssociates.com

© 2014

CADD Qualification:

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

C2-2 OVERALL SITE PLAN.DWG/SHEET

Submittal:

04/25/14 PDR SUBMITTAL

Professional Signature:

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jonathan J. Donovan - PE  
 44613 License No. Date

Quality Control:

Project Lead: JJD Drawn By: TDG  
 Checked By: JJD Review Date: 04/25/14

Sheet Index:

- C1-2 SITE DEMOLITION PLAN
- C2-1 SITE PLAN
- C2-2 OVERALL SITE PLAN
- C3-1 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C8-1 CIVIL DETAILS
- L1-1 LANDSCAPE PLAN

Sheet Title:

**OVERALL SITE PLAN**

Project No.:

13436A

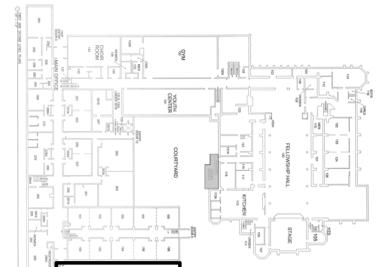
Sheet No.:

**C2-2**









**ADDITION**  
**KEY PLAN**

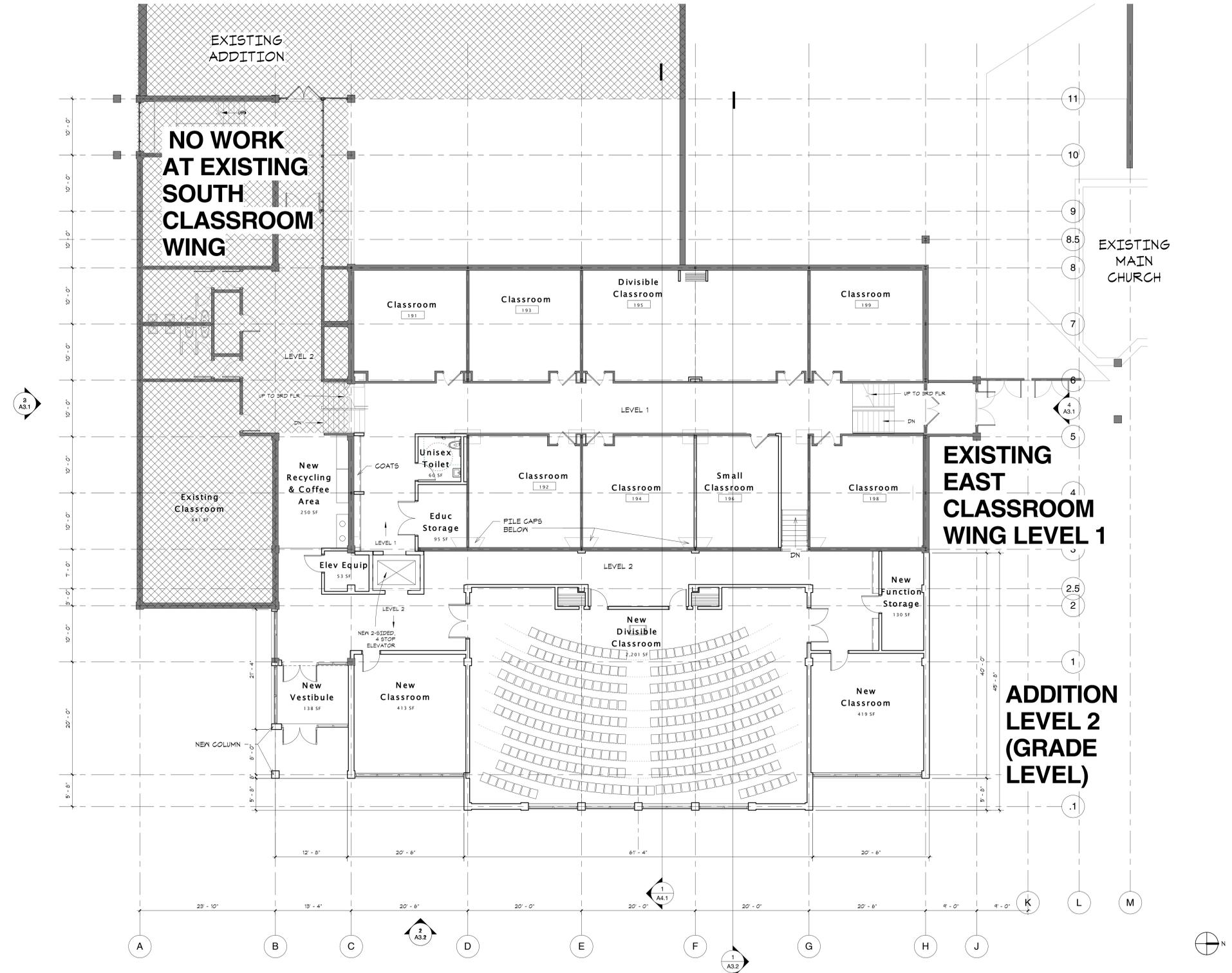


eIness swenson graham architects  
500 WASHINGTON AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA 55415  
P. 612.339.5508  
F. 612.339.5382  
WWW.ESGARCH.COM

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature \_\_\_\_\_  
Typed or Printed Name \_\_\_\_\_  
License # \_\_\_\_\_ Date \_\_\_\_\_

**NOT FOR CONSTRUCTION**



**1 LEVELS 1 AND 2**  
A1.1 1/8" = 1'-0"

**Land Use Application / PDR Set**

ORIGINAL ISSUE:  
REVISIONS

No.	Description	Date

212804 PROJECT NUMBER

LV MS  
DRAWN BY CHECKED BY

KEY PLAN

Mount Olivet Lutheran Church Addition

FIRST & SECOND LEVEL PLAN  
**A1.1**



ADDITION

KEY PLAN



einess swenson graham architects  
500 WASHINGTON AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA 55415  
P. 612.339.5508  
F. 612.339.5382  
WWW.ESGARCH.COM

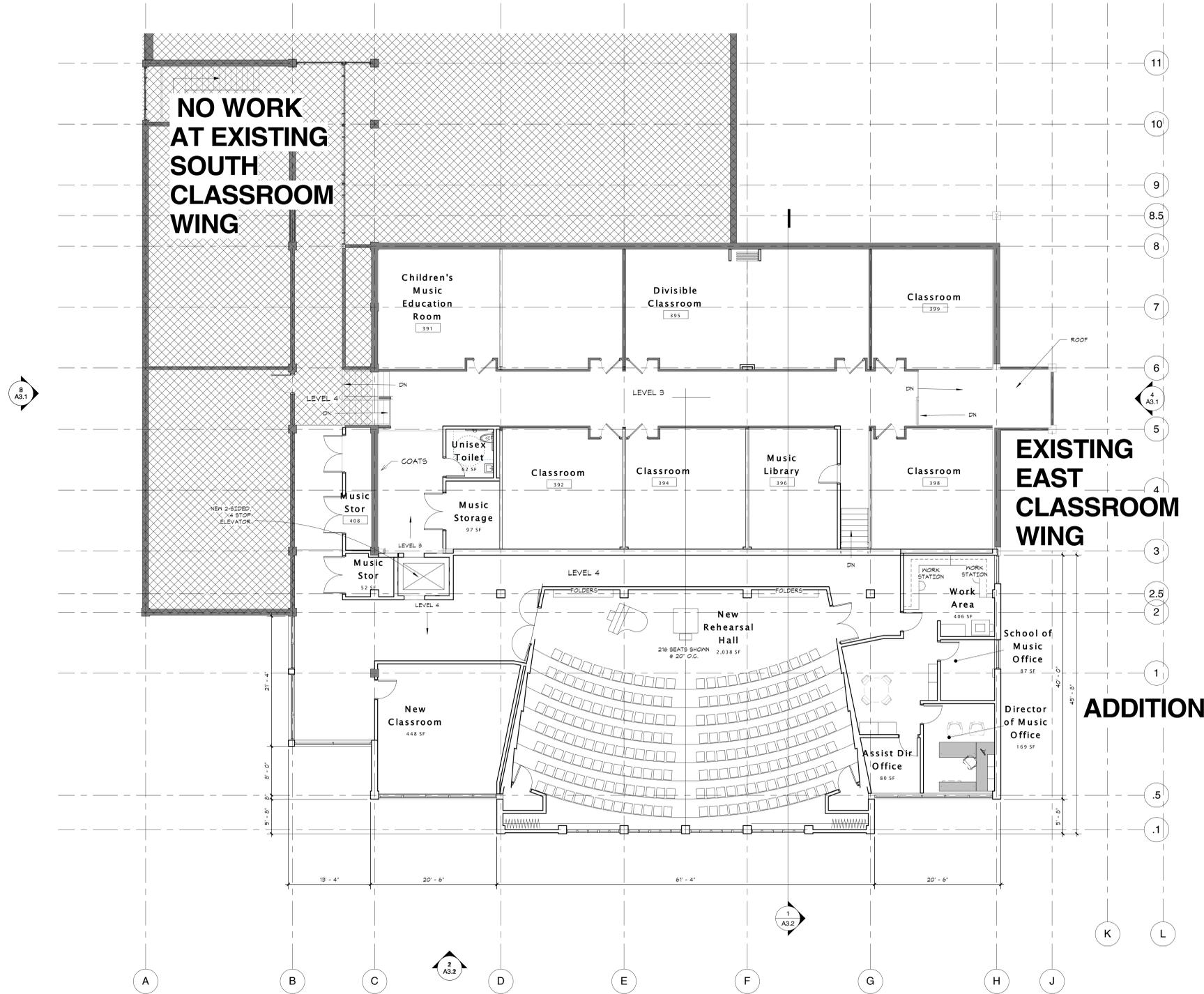
I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature \_\_\_\_\_

Typed or Printed Name \_\_\_\_\_

License # \_\_\_\_\_ Date \_\_\_\_\_

**NOT FOR CONSTRUCTION**



1 LEVELS 3 AND 4  
A1.2 1/8" = 1'-0"

Land Use  
Application/ PDR  
Set

ORIGINAL ISSUE: 02/18/14

REVISIONS  
No. Description Date

212804  
PROJECT NUMBER

Author \_\_\_\_\_ Checker \_\_\_\_\_  
DRAWN BY \_\_\_\_\_ CHECKED BY \_\_\_\_\_

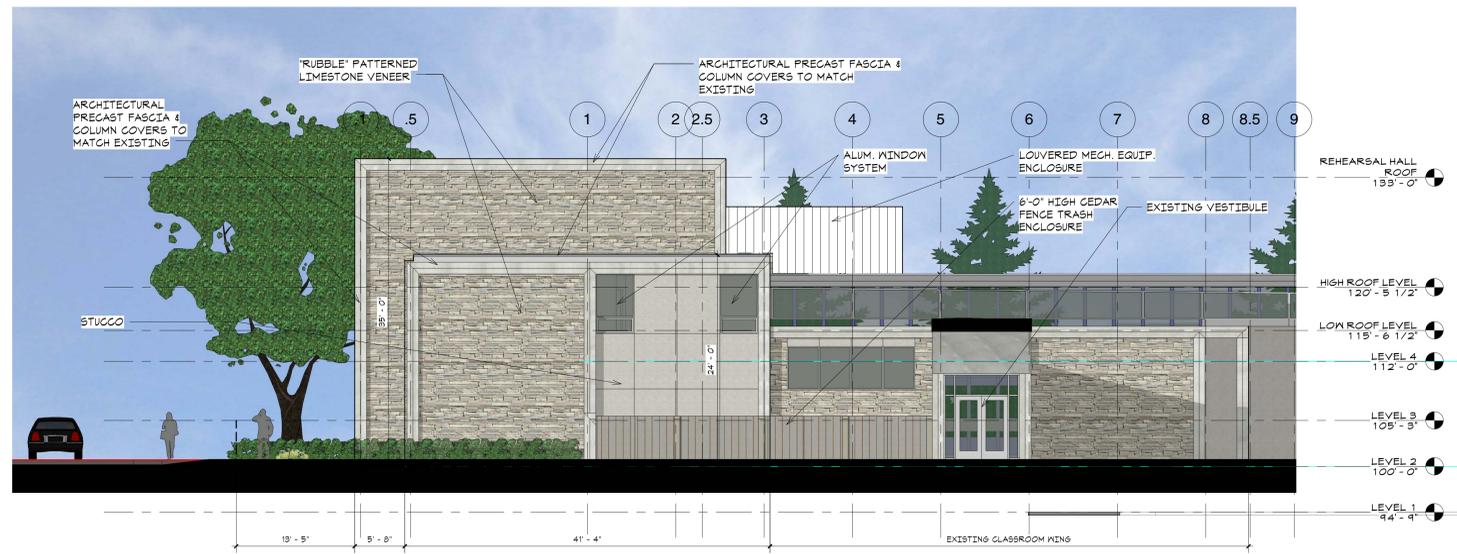
KEY PLAN

Mount Olivet Lutheran  
Church Addition

THIRD & FOURTH LEVEL PLAN  
A1.2



3 RENDERING SE  
A3.1 1/8" = 1'-0"



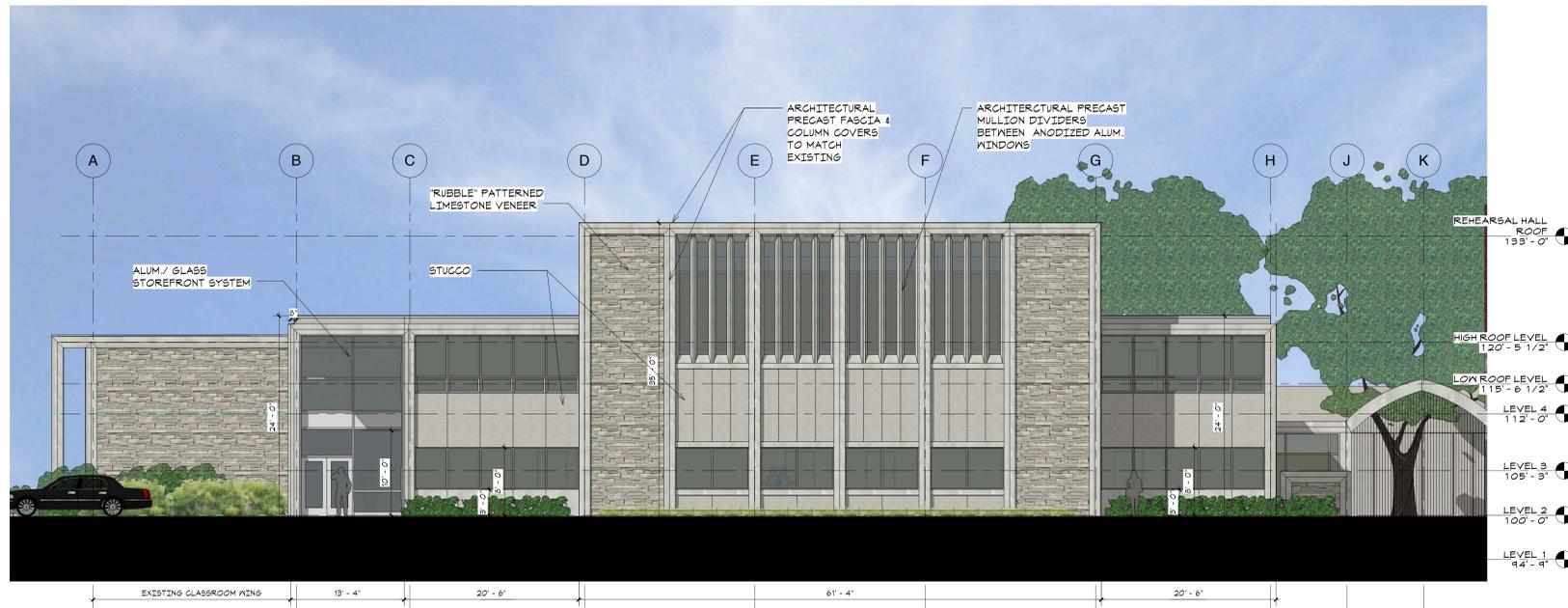
4 NORTH ELEVATION  
A3.1 1/8" = 1'-0"



5 RENDERING NE  
A3.1 1/8" = 1'-0"



2 SOUTH ELEVATION  
A3.1 1/8" = 1'-0"



1 EAST ELEVATION  
A3.1 1/8" = 1'-0"



I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature \_\_\_\_\_

Typed or Printed Name \_\_\_\_\_

License # \_\_\_\_\_ Date \_\_\_\_\_

**NOT FOR CONSTRUCTION**

Land Use  
Application/ PDR  
Set

ORIGINAL ISSUE:

REVISIONS

No.	Description	Date

212804  
PROJECT NUMBER

ESG DRAWN BY ESG CHECKED BY

KEY PLAN

Mount Olivet Lutheran  
Church Addition

EXTERIOR ELEVATIONS  
**A3.1**



einess swenson graham architects  
500 WASHINGTON AVENUE SOUTH  
MINNEAPOLIS, MINNESOTA 55415  
P. 612.339.5508  
F. 612.339.5382  
WWW.ESGARCH.COM

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature \_\_\_\_\_

Typed or Printed Name \_\_\_\_\_

License # \_\_\_\_\_ Date \_\_\_\_\_

**NOT FOR CONSTRUCTION**



1 E-W SECTION @ REHEARSAL RM COLOR  
A3.2 1/8" = 1'-0"



2 OVERALL EAST ELEVATION  
A3.2 1/8" = 1'-0"

**Land Use Application/ PDR Set**

ORIGINAL ISSUE: 04/27/14

REVISIONS

No.	Description	Date

212804 PROJECT NUMBER

NVW/TJ AB  
DRAWN BY CHECKED BY

KEY PLAN

Mount Olivet Lutheran Church Addition

ELEVATION + SECTION  
**A3.2**

4/29/2014 9:00:14 AM



## Widmeier, Janelle A.

---

**From:** maryaschmit@usfamily.net  
**Sent:** Sunday, June 01, 2014 4:12 PM  
**To:** Widmeier, Janelle A.  
**Subject:** Comment re Mt. Olivet addition

Comment for the public hearing regarding the Mt. Olivet application for a building addition:

Living within 350 feet of Mt. Olivet, my husband and I received a notice of the public hearing regarding Mt. Olivet's application for a building addition.

**We heartily approve of this addition.** While we are not members of the Mt. Olivet congregation, we have lived 1/2 block from the church for over 50 years and have found them to be excellent "neighbors." We have seen the plans for the addition and feel it will add considerably to the church campus and to the entire neighborhood.

We strongly urge the City Planning Commission to approve Mt. Olivet's application.  
If you need this comment in another form (mailed or faxed), please contact me - Mary Schmit.

David & Mary Schmit  
5025 Morgan Ave. So.  
Mpls, 55419  
612-926-5023