



# CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #6  
 May 5, 2014  
 BZZ-6500

## LAND USE APPLICATION SUMMARY

*Property Location:* 1618-20 West Lake Street and 2915 James Avenue South  
*Project Name:* 16Twenty  
*Prepared By:* [Hilary Dvorak](#), Principal Planner, (612) 673-2639  
*Applicant:* Daniel Oberpriller with CPM Development LLC  
*Project Contact:* Brent Nelson with Peterssen/Keller architecture  
*Request:* To construct a new 3-story, 28,284 square foot, mixed-use building.  
*Required Applications:*

<b>Conditional Use Permit</b>	To increase the height of the building located in the SH Shoreland Overlay District from the permitted 2.5 stories/35 feet to 3 stories/46 feet and in the CI zoning district from 3 stories/42 feet to 3 stories/46 feet.
<b>Variance</b>	To reduce the east interior side yard setback from the required 9 feet to 1 foot.
<b>Variance</b>	To reduce the north rear yard setback from the required 9 feet to 5 feet.
<b>Variance</b>	To reduce the off-street loading requirement from 1 small space to 0 spaces.
<b>Site Plan Review</b>	For a new 28,284 square foot, mixed-use building.

## SITE DATA

<b>Existing Zoning</b>	CI Neighborhood Commercial District SH Shoreland Overlay District
<b>Lot Area</b>	11,068 square feet / .25 acres
<b>Ward(s)</b>	10
<b>Neighborhood(s)</b>	East Isles; adjacent to East Calhoun Community Organization
<b>Designated Future Land Use</b>	Mixed use
<b>Land Use Features</b>	Commercial Corridor (West Lake Street)
<b>Small Area Plan(s)</b>	<a href="#">Uptown Small Area Plan</a>

<b>Date Application Deemed Complete</b>	April 9, 2014	<b>Date Extension Letter Sent</b>	Not applicable
<b>End of 60-Day Decision Period</b>	June 8, 2014	<b>End of 120-Day Decision Period</b>	Not applicable

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The property is located in southwest Minneapolis on the northeast corner of West Lake Street and James Avenue South. The site is currently occupied by three residential structures; two of them have been converted to commercial uses. The applicant will demolish all three structures as part of the development.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The site is surrounded by residential properties of varying densities and a variety of commercial uses. The site is located in the East Isles neighborhood and is located across West Lake Street from the East Calhoun neighborhood.

**PROJECT DESCRIPTION.** The applicant is proposing to construct a three-story, mixed-use development including approximately 14,000 square feet of office/commercial space, 6 dwelling units and 18 ground level enclosed parking spaces. The first and second levels of the building will be occupied by office/commercial space. In addition, the enclosed parking will be located on the first level. The parking area will be accessed via the public alley on the block. The third level of the building will be occupied by 6 dwelling units. Each dwelling unit will have outdoor balcony space.

The site is located in the SH Shoreland Overlay District which has a 2.5 story/35-foot height limitation. The height limitation in the CI zoning district, for a mixed-use building, is 3 stories/42 feet. The applicant is proposing to construct a 3 story/46-foot tall building. To increase the height of the building a conditional use permit is required.

**RELATED APPROVALS.** No land use applications have been reviewed for this site.

**PUBLIC COMMENTS.** The East Isles Residents Association has submitted a letter of support for the project and the East Calhoun Community Organization has submitted a letter not to oppose the project. The Minneapolis Park Board has also submitted a letter opposing the height increase in the SH Shoreland Overlay District. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the height of the building located in the SH Shoreland Overlay District from the permitted 2.5 stories/35 feet to 3 stories/46 feet and in the CI zoning district from 3 stories/42 feet to 3 stories/46 feet based on the following [findings](#):

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

Increasing the height of the building from 2.5 stories or 35 feet to 3 stories or 46 feet and from 3 stories or 42 feet to 3 stories or 46 feet will not be detrimental to or endanger the public health, safety, comfort or general welfare. The height of the building is proposed to be 40 feet. There are 4 skylights that will project above the roof by 2.5 feet for an overall height of 42.5 feet and the height of the screen wall around the mechanical equipment is proposed to be 46 feet. The skylights and the mechanical equipment are located towards the middle of the roof.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

Increasing the height of the building from 2.5 stories or 35 feet to 3 stories or 46 feet and from 3 stories or 42 feet to 3 stories or 46 feet will not be injurious to the use and enjoyment of other property in the vicinity or impede the normal or orderly development and improvement of surrounding property. The buildings immediately adjacent to the site are 2.5 to 3 stories in height. The 2.5 story house to the east of the development site has a 1-story commercial addition on the front of it with a billboard projecting 2 stories above it. Located between this site and Lake Calhoun there are two newer buildings that have been constructed. One is 5 stories in height and one is 6 stories in height.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Increasing the height of the building will have no impact on utilities, access roads or drainage.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Increasing the height of the building will have no impact on traffic congestion in the public streets. The parking requirement for the development will be met on site.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

**Land Use Policy 1.10: Support development along Commercial Corridors that enhances the street's character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.**

1.10.1 Support a mix of uses – such as retail sales, office, institutional, high-density residential and clean low-impact light industrial – where compatible with the existing and desired character.

1.10.4 Encourage a height of at least two stories for new buildings along Commercial Corridors, in keeping with neighborhood character.

**Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.**

**Urban Design Policy 10.11: Seek new commercial development that is attractive, functional and adds value to the physical environment.**

10.11.1 Require the location of new commercial development (office, research and development, and related light manufacturing) to take advantage of locational amenities and coexist with neighbors in mixed-use environments.

10.11.2 Ensure that new commercial developments maximize compatibility with surrounding neighborhoods.

The Minneapolis City Council adopted the Uptown Small Area Plan on February 1, 2008. This site is located in what the plan designates as the West Lake Street Live/Work character area. Policy for this area says that “This area is an eclectic mix of higher-density housing and residential converted

to retail/service uses. Significant features include the lake edge, the Mall, and the heavily traveled one-way Lake Street segment. The area is characterized as live/work partially due to the residential scale of smaller, independently-owned shops and offices. A portion of this area includes the Shoreland Overlay District.” Further policy in the Uptown Small Area Plan says that buildings should be primarily residential/live/work in nature and be between 2 and 5 stories in height.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With the approval of the conditional use permit, variances and site plan review this development will meet the applicable regulations of the CI Neighborhood Commercial District and the SH Shoreland Overlay District.

## **ADDITIONAL STANDARDS TO INCREASE MAXIMUM HEIGHT**

In addition to the conditional use standards, the city planning commission shall consider, but not be limited to, the following factors when determining the maximum height:

1. *Access to light and air of surrounding properties.*

The height of the proposed building will not impede access to light and air that surrounding properties receive. The adjacent building to the east is a mixed-use building and is located between 8 and 10 feet from the shared property line. The front portion of the adjacent building is commercial in use and the back portion is residential. The proposed building will be located between 1 and 7.5 feet from the shared property line although the entire first floor will be located 1-foot from the shared property line. All other surrounding properties are separated from the site by public streets or a public alley.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

A shadow study was done that depicts shadowing impacts at 9 am, 12 noon and 3 pm in June, March/September and December. The shadow study compares the proposed development to a development that does not exceed the 35-foot height limitation of the SH Shoreland Overlay District. The shadow study indicates that there will be shadows cast on the residential buildings to the north, east and west at different times of the day throughout the year. However, the shadowing impact between the proposed building and a building that is 35 feet in height is almost negligible.

3. *The scale and character of surrounding uses.*

The buildings along West Lake Street, in the surrounding area, range in height between 1 and 2.5 stories. The buildings to the north of the development site are generally 3 stories in height. Located between this site and Lake Calhoun there are two newer buildings that have been constructed. One is 5 stories in height and one is 6 stories in height. The proposed 3-story building will be compatible with the surrounding area.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

There are no landmark buildings, significant open spaces or water bodies that the proposed building would block views of.

## **CONDITIONAL USES AND VARIANCES**

In addition to the conditional use and variance standards contained in Chapter 525, Administration and Enforcement, the city planning commission and board of adjustment shall consider the following:

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The applicant will be working closely with CPED, the Public Works Department and the various utility companies during the duration of the development to ensure that all procedures are followed in order to comply with city and other applicable requirements.

2. *Limiting the visibility of structures and other development from protected waters.*

The development site is located over 2 blocks east of Lake Calhoun. Located between this site and Lake Calhoun there are two newer buildings that have been constructed. One is 5 stories in height and one is 6 stories in height. The visibility of the proposed building will be limited from the protected water.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

The proposed development will not generate watercraft activity on Lake Calhoun.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the east interior side yard setback from the required 9 feet to 1 foot based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The adjacent property to the east contains a residential use so the entire building is subject to the interior side yard setback requirement of  $5+2x$ , where  $x$  equals the number of stories above the first floor. The resulting setback for a 3-story building is 9 feet. The property itself is only 11,068 square feet in size. In order to provide active functions along both street walls and meet the off-street parking requirement the applicant has designed the building so the first floor of the building is set back 1 foot from the interior property line and the upper two floors are set back between 1 and 7 feet from the interior property line. For the upper floors of the building, the front 33 feet of the building is set back 1 foot from the interior property line and the back 82 feet is set back 7 feet from the interior property line. On the second floor of the building there is a balcony that spans the back 82 feet of the building that will be set back 1 foot from the interior property line and on the third floor of the building there are 2 balconies that will be set back 2 feet from the interior property line. One of the balconies is adjacent to the residential portion of the adjacent building and the other balcony is located towards the alley.

The front 38 feet of the adjacent building to the east is a 1-story commercial use and is located 10 feet from the interior property line. The back 28 feet of the adjacent building to the east is a 2.5-story residential use and is located between 8 and 10 feet from the interior property line. The existing building located at 1618 West Lake Street is a 2.5-story mixed-use building and is located 4.5 feet from the interior property line. While the first floor of the proposed building will be located closer to the adjacent building than the existing building, the upper two floors will be located further away. And while the balconies on the second and third floors of the building will be located closer to the interior property line than the existing building the majority of the balcony space is situated in back of the adjacent building.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of having yard controls is to provide for light and air to surrounding properties. There will be between 9 and 18 feet between the two building walls which will provide for adequate light and air.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The existing building located at 1618 West Lake Street is a 2.5-story mixed-use building and is located 4.5 feet from the interior property line. CPED has some concern with the setback of the proposed building given the residential nature of the adjacent building. However, the residential portion of the adjacent building is only 28 feet in length and is set back between 8 and 10 feet from the shared property line. While the first floor of the proposed building will be located closer to the adjacent building than the existing building, the upper two floors will be located further away. And while the balconies on the second and third floors of the proposed building will be located closer to the interior property line than the existing building the majority of the balcony space is situated in back of the adjacent building.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the north rear yard setback from the required 9 feet to 5 feet based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The first 2 floors of the building are not subject to a rear yard setback. However, because there are residential uses with windows facing the rear yard on the third floor of the building the building is subject to a 9-foot setback. The building is proposed to be set back 5 feet from the property line when measured to a mechanical chase and 7 feet when measured to the building wall where the residential windows are located. The rear property line abuts an alley. Between the proposed building wall and the residential properties to the north there is between 18 and 20 feet of open space.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of having yard controls is to provide for light and air to surrounding properties. Given the fact that the rear property line abuts a public alley, light and air will be provided for the residential properties to the north. There

will be between 18 and 20 feet of space between the proposed building and the adjacent residential properties to the north.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. Again, the rear property line abuts an alley. Between the proposed building wall and the residential properties to the north there is between 18 and 20 feet of open space.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the off-street loading requirement from 1 small space to 0 spaces based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The office portion of the development requires that 1 small loading space (10 feet by 25 feet) be provided on site. The property itself is only 11,068 square feet in size. In order to provide active functions along both street walls and meet the off-street parking requirement an on-site loading space could not be accommodated. The City would not encourage a loading space that required maneuvering in the public street or alley so a properly designed loading space would account for much of the ground floor of the building.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The minimum office size that requires a loading space is 10,000 square feet; in total there is 11,466 square feet of office space within the building. The applicant has indicated that they will be asking for a designated loading space on the street from the Public Works Department.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. Given the amount of office space within the building it is anticipated that small delivery vans and trucks would be used for delivery purposes, not large trucks. A designated loading space on the street would be able to accommodate the loading demands of this development and would allow for a more efficient use of the land.

## SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

### **I. Conformance to all applicable standards of Chapter 530, Site Plan Review.**

#### **Building Placement and Design – *Requires alternative compliance***

- The proposed building will reinforce the street wall, maximize natural surveillance and visibility and facilitate pedestrian access and circulation. The building will be located close to the front property lines, there will be entrances and exits at street level that can be accessed by employees, customers and residents and there will be large windows and balconies on all sides of the building that maximize the opportunities for people to observe adjacent spaces and the public sidewalks.
- The building is located between 0 and 3 feet from the front property line along West Lake Street and between 0 and 4 feet from the front property line along James Avenue South.
- Where the building is setback from the front property lines there will be landscaping.
- Each ground floor office/commercial space has an entrance facing either West Lake Street or James Avenue South and the principal entrance to the second floor office/commercial space and the third floor residential units faces James Avenue South.
- There will be 18 parking spaces provided on-site. All of the spaces will be located within the building.
- The entire first floor and the front 33 feet of the second floor of the east wall are over 25 feet in length and blank. CPED is recommending that the building be designed so as to not have any walls over 25 feet in length and void of windows, entries, recesses or projections, or other architectural elements.
- The primary exterior materials include stone, metal panels and cedar siding.
- The side and rear walls of the building are similar to and compatible with the front. However, painted concrete block is proposed to be used on a portion of the first floor building walls facing north and east. This material is not proposed to be used on the south or west walls of the building.
- Plain face concrete block is prohibited where fronting along a public street, public sidewalk, public pathway, or adjacent to a residence or office residence district. Painted concrete block is proposed to be used on a portion of the first floor building walls facing north and east. This material would be visible to the adjacent residential properties. CPED is recommending that no concrete block be used on the building.
- The windows in the building are vertical in nature and are spaced across the building walls. See **Table I**.
- The entire ground floor of the building facing both West Lake Street and James Avenue South contains active functions.
- The roofline of the building will be flat.
- There will be 18 parking spaces provided on-site. All of the spaces will be located on the first floor of the building.

**Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking**

	Code Requirement		Proposed	
<b>Residential Uses</b>				
3rd Floor facing West Lake Street	10% minimum	107 sq. ft.	Exceeds 10%	
3rd Floor facing James Avenue South	10% minimum	138 sq. ft.	Exceeds 10%	
<b>Nonresidential Uses</b>				
1 <sup>st</sup> Floor facing West Lake Street	30% minimum	712 sq. ft.	61%	432 sq. ft.
1 <sup>st</sup> Floor facing James Avenue South	30% minimum	920 sq. ft.	70%	640 sq. ft.
2 <sup>nd</sup> Floor facing West Lake Street	10% minimum	107 sq. ft.	Exceeds 10%	
2 <sup>nd</sup> Floor facing James Avenue South	10% minimum	138 sq. ft.	Exceeds 10%	

**Access and Circulation – Meets requirements**

- All of the entrances to the building are connected to the public sidewalk either directly or via a walkway of at least 4 feet in width.
- There is no transit shelter proposed as part of this development.
- There will be 18 parking spaces provided within the building on the first floor. Access to the parking garage will be provided via the public alley. Six of the parking spaces will be reserved for the residents of the building and the remaining 12 will be for the employees of the office/commercial uses. There is a mixture of residential and commercial uses on the block. Some of the residential properties have on-site parking that is accessed via the alley but the densest properties do not. There is a surface parking lot located towards the east end of the block that is accessed from Irving Avenue South. These parking spaces serve the commercial uses on the block. Allowing the office/commercial uses in the proposed development to access the off-street parking via the alley should not have a negative impact on the residential properties on the block.
- There is no maximum impervious surface requirement in the C1 zoning district. The applicant is proposing to have approximately 244 square feet of green space on the site or approximately 2 percent of the site.

**Landscaping and Screening – Meets requirements with Conditions of Approval**

- The zoning code requires that at least 20 percent of the site not occupied by the building be landscaped. The lot area of the site is 11,068 square feet. The footprint of the buildings is 10,108 square feet. When you subtract the footprint from the lot size the resulting number is 960 square feet. Twenty percent of this number is 192 square feet. According to the applicant’s landscaping plan there will be 244 square feet of landscaping on the site or approximately 25 percent of the site not occupied by the building.
- The zoning code requires at least 1 canopy tree for each 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space be planted on the site. The tree and shrub requirement is zero and 2 respectively. The applicant is proposing to plant a number of ornamental trees, shrubs and perennials on the site and in the public right-of-way. According to the landscaping plan the proposed shrubs will be planted in the boulevard.

CPED is recommending that the minimum amount of shrubs be planted on site. In addition, CPED is recommending that the 2 planting areas on the site be densely planted with a variety of plant materials to provide seasonal interest.

**Additional Standards – Meets requirements**

- There will be 18 parking spaces provided within the building on the first floor.
- The building will not block views of important city elements.
- A shadow study was done that depicts shadowing impacts at 9 am, 12 noon and 3 pm in June, March/September and December. The shadow study compares the proposed development to a development that does not exceed the 35-foot height limitation of the SH Shoreland Overlay District. The shadow study indicates that there will be shadows cast on the residential buildings to the north, east and west at different times of the day throughout the year. However, the shadowing impact between the proposed building and a building that is 35 feet in height is almost negligible.
- The building should not create wind effects on the surrounding area.
- The site plan complies with crime prevention design elements as there will be walkways that direct people to the building entrances, there will be large windows and balconies on all sides of the building that maximize the opportunities for people to observe adjacent spaces and the public sidewalks and there will be lights located near all of the building entrances.
- The site is neither locally designated nor located in a historic district.

**2. Conformance with all applicable regulations of the zoning ordinance.**

The proposed use is *permitted* in the CI District.

**Off-street Parking and Loading – Meets requirements with Conditions of Approval**

- The applicant has applied for a variance to reduce the off-street loading requirement from 1 small space to 0 spaces.
- The bicycle parking requirement for the office uses within the building requires that 2 long-term spaces be provided. CPED is recommending that there be 2 bicycle parking spaces provided within the parking garage for the office uses within the building.

**Table 2. Vehicle Parking Requirements Per Use (Chapter 54I)**

	<b>Minimum Parking Requirement</b>	<b>Applicable Reductions</b>	<b>Total Minimum Requirement</b>	<b>Maximum Parking Allowed</b>	<b>Proposed</b>
<b>Office</b>	11	Bicycle Incentive (2)	13	57	
<b>General retail sales and services</b>	4			16	
<b>Residential dwellings</b>	6	Transit Incentive (1)	5	None for enclosed parking spaces	6
<b>Total</b>	<b>21</b>	<b>(3)</b>	<b>18</b>	<b>73 plus the residential</b>	<b>18</b>

**Table 3. Bicycle Parking and Loading Requirements (Chapter 54I)**

	<b>Minimum Bicycle Parking</b>	<b>Minimum Short-Term</b>	<b>Minimum Long-Term</b>	<b>Proposed</b>	<b>Loading Requirement</b>	<b>Proposed</b>
<b>Office</b>	3	--	Not less than 50%	0	1 small loading space	0
<b>General retail sales and services</b>	3	Not less than 50%	--	8	None	0
<b>Residential dwellings</b>	3	--	Not less than 90%	6	None	0
<b>Total</b>	<b>9</b>	<b>--</b>	<b>--</b>	<b>14</b>	<b>1 small loading space</b>	<b>0</b>

**Building Bulk and Height – Meets requirements with Conditions of Approval**

- The maximum floor area of any commercial use allowed in the CI District is 8,000 square feet as there isn't any parking located between the building and the street and the building is at least 2 stories in height. None of the proposed commercial spaces are larger than 8,000 square feet.
- The applicant has applied for a conditional use permit to increase the height of the building.

**Table 4. Building Bulk and Height Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	11,068 square feet / .25 acres
<b>Gross Floor Area (GFA)</b>	--	23,194 sq. ft.
<b>Maximum Floor Area Ratio (GFA/Lot Area)</b>	1.7 +.34 for enclosed parking density bonus +.34 for mixed commercial-residential buildings density bonus 2.38	2.1
<b>Maximum Building Height in the CI District</b>	3 stories or 42 ft., whichever is less	3 stories or 46 feet ft.
<b>Maximum Building Height in the SH Shoreland Overlay District</b>	2.5 stories or 35 ft., whichever is less	3 stories or 46 feet ft.

**Residential Lot Requirements – Meets requirements**

**Table 5. Residential Lot Summary**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Dwelling Units (DU)</b>	--	6 DUs
<b>Density (DU/acre)</b>	--	24 DU/acre

**Yard Requirements – Meets requirements with Conditions of Approval**

- The applicant has applied for a variance to reduce the east interior side yard setback from the required 9 feet to 1 foot and a variance to reduce the north rear yard setback from the required 9 feet to 5 feet.

**Table 6. Minimum Yard Requirements**

	<b>Zoning District</b>	<b>Overriding Regulations</b>	<b>Total Requirement</b>	<b>Proposed</b>
<b>Front along West Lake Street</b>	0 ft.	--	0 ft.	0 ft.
<b>Front along James Avenue South</b>	1 ft. for the first 25 ft. south of the residence district boundary	--	1 ft. for the first 25 ft. south of the residence district boundary	4 ft. for the first 25 ft. south of the residence district boundary
<b>Interior Side (East)</b>	9 ft.	--	9 ft.	1 ft.
<b>Rear (north)</b>	9 ft.	--	5 ft.	5 ft.

**Signs – Not applicable**

- Signs are subject to Chapters [531](#) and [543](#) of the Zoning Code. In the CI zoning district there can be 1.5 square feet of signage for every 1 foot of primary building wall. However, if there is a freestanding sign on the zoning lot then signage is limited to 1 square foot for every 1 foot of primary building wall. Wall signs are limited to 45 square feet in size. Projecting signs are limited to 16 square feet in size and shall not extend outward from the building more than 4 feet. Both wall signs and projecting signs are limited to an overall height of 14 feet. Freestanding monument signs are limited to 54 square feet in size and can be no taller than 8 feet. The zoning code limits the number of freestanding signs on a zoning lot to one. Backlit signs are prohibited.
- The applicant is not proposing any signage at this time.

**Dumpster Screening – Meets requirements**

- The trash and recycling containers are proposed to be located towards the back of the building. They are proposed to be enclosed on all four sides by an 8-foot tall screen wall made out of fiber cement siding.

**Screening of Mechanical Equipment – Meets requirements with Conditions of Approval**

- The mechanical equipment is proposed to be located towards the back of the building. It is proposed to be screened by a 6-foot tall wall made out of metal panel. The wall would only screen the equipment from James Avenue South. CEPD is recommending that the screen wall be located on the north side of the equipment so as to screen it from the adjacent residential building to the north.

**Lighting – Meets requirements with Conditions of Approval**

- A lighting plan showing footcandles was not submitted as part of the application materials. CPED is recommending that a lighting plan that meets the requirements of Chapter [535](#) of the Zoning Code be met.

**Impervious Surface Area** – *Not applicable*

**Specific Development Standards** – *Not applicable*

**Overlay District Standards** – *Meets requirements with Conditions of Approval*

- The applicant has applied for a conditional use permit to increase the height of the building as it exceeds the height limitation in the SH Shoreland Overlay District.

**3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.**

*The Minneapolis Plan for Sustainable Growth* identifies the site as Mixed Use on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

**Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.**

10.9.1 Encourage both mixed-use buildings and a mix of uses in separate buildings where appropriate.

10.9.4 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

**Urban Design Policy 10.10: Support urban design standards that emphasize a traditional urban form in commercial areas.**

10.10.1 Enhance the city's commercial districts by encouraging appropriate building forms and designs, historic preservation objectives, site plans that enhance the pedestrian environment, and by maintaining high quality four season public spaces and infrastructure.

10.10.2 Identify commercial areas in the city that reflect, or used to reflect, traditional urban form and develop appropriate standards and preservation or restoration objectives for these areas.

10.10.4 Orient new buildings to the street to foster safe and successful commercial nodes and corridors.

10.10.6 Require storefront window transparency to assure both natural surveillance and an inviting pedestrian experience.

**Policy 10.11: Seek new commercial development that is attractive, functional and adds value to the physical environment.**

10.11.1 Require the location of new commercial development (office, research and development, and related light manufacturing) to take advantage of locational amenities and coexist with neighbors in mixed-use environments.

10.11.2 Ensure that new commercial developments maximize compatibility with surrounding neighborhoods.

10.11.3 Continue to curb the inefficient use of land by regulating minimum height, setbacks, build-to lines and parking through master planning methods and zoning code regulations.

#### **4. Conformance with applicable development plans or objectives adopted by the City Council.**

The Minneapolis City Council adopted the Uptown Small Area Plan on February 1, 2008. This site is located in what the plan designates as the West Lake Street Live/Work character area. Policy for this area says that “New development should resemble the current scale of buildings in the area. Over time single family homes between Lake St. and the Mall/Greenway will likely be redeveloped as small apartments or live/work buildings. In some cases, matching the scale of existing buildings will result in buildings taller than the 30 feet limit mandated by the Shoreland Overlay District (which extends 1000 feet from the Lakes to approximately Irving Avenue). To respect the intent of that ordinance, building heights should gradually step down from Irving Avenue (matching the height of the Sons of Norway Building, approximately 55 feet) towards the Lake (35 feet). Buildings on the north side of Lake St. should be set back and activate the street with forecourts, patios and galleries. Buildings on the south side should contain residential entrances and limited retail uses and be carefully integrated into the existing residential fabric by stepping down in scale as they approach existing residential buildings on the side streets. Buildings on West Lake Street should be intentionally eclectic and diverse. Like other buildings around the Lakes, the new buildings on West Lake Street are encouraged to have balconies, roof terraces, large bay windows, and tower rooms in order to capture views of the lake and the promenade. Buildings should range in style and expression.”

#### **5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is not required for this development.

## **RECOMMENDATIONS**

### **Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to increase the height of the building located in the SH Shoreland Overly District from the permitted 2.5 stories/35 feet to 3 stories/46 feet and in the C1 zoning district from 3 stories/42 feet to 3 stories/46 feet at the properties located at 1618-20 West Lake Street and 2915 James Avenue South, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the east interior side yard setback from the required 9 feet to 1 foot at the properties located at 1618-20 West Lake Street and 2915 James Avenue South.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the north rear yard setback from the required 9 feet to 5 feet at the properties located at 1618-20 West Lake Street and 2915 James Avenue South.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the off-street loading requirement from 1 small space to 0 spaces at the properties located at 1618-20 West Lake Street and 2915 James Avenue South.

**Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:**

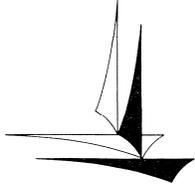
The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a new 28,284 square foot, mixed-use building at the properties located at 1618-20 West Lake Street and 2915 James Avenue South, subject to the following conditions:

1. Approval of the final site plan, landscaping plan and elevations by the Department of Community Planning and Economic Development
2. All site improvements shall be completed by May 5, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. The building shall be designed so as to not have any walls over 25 feet in length and void of windows, entries, recesses or projections, or other architectural elements as required by section 530.120 of the zoning code.
4. No concrete block shall be used as an exterior material on the building.
5. There shall be at least 2 shrubs planted on the site as required by section 530.160 of the zoning code.
6. The 2 planting areas on the site shall be densely planted with a variety of plant materials to provide seasonal interest.
7. There shall be 2 bicycle parking spaces provided within the parking garage for the office uses within the building as required by section 541.180 of the zoning code.
8. The screen wall around the mechanical equipment shall be located on the north side of the equipment so as to screen it from the adjacent residential building to the north as required by section 535.70 of the zoning code.

**ATTACHMENTS**

1. PDR report
2. Written description and findings submitted by applicant

3. Zoning map
4. Site plan
5. Site survey
6. Plans
7. Building elevations
8. Renderings
9. Exterior materials breakdown and examples
10. Shadow study
11. Photos
12. Correspondence



Minneapolis Development Review  
250 South 4<sup>th</sup> Street  
Room 300  
Minneapolis, MN 55415

## Preliminary Development Review Report

Development Coordinator Assigned: **PATRICIA MURZYN**  
**(612) 673-5827**  
**patricia.murzyn@minneapolismn.gov**

<b>Status *</b>

<b>Tracking Number:</b>	PDR 1001172
<b>Applicant:</b>	CPM DEVELOPMENT 2919 KNOX AVE S SUITE 200 MINNEAPOLIS, MN 55408
<b>Site Address:</b>	1620 LAKE ST W 1618 LAKE ST W 2915 JAMES AVE S
<b>Date Submitted:</b>	21-FEB-2014
<b>Date Reviewed:</b>	26-FEB-2014

### Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: [http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions\\_home.asp](http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp).

**DISCLAIMER:** *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

### Project Scope

A 3-story mixed use development with ground floor retail, second office space, and six two-bedroom apartments on the third floor.

### Review Findings (by Discipline)

#### Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of existing structures.

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\*Approved: You may continue to the next phase of developing your project.  
\*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

**□ Zoning - Planning**

- Likely applications include:
- Conditional use permit to increase the height of the building in the SH Shoreland Overlay District from 2.5 stories/35 feet to 3 stories/46 feet.
- Variances to reduce the east interior and rear (north) yard setbacks.
- Variance to reduce the off-street parking requirement from 19 spaces to 18 spaces.
- Variance to reduce the off-street loading requirement from 1 small space to zero spaces.
- Site plan review.

**□ Addressing**

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed 16TWENTY building will be as follows:
  - The northwest entrance for access to the second floor commercial spaces and the third floor apartment units will be addressed as 2915 James Avenue South.
  - The retail space titled Peterssen/Keller Architects will be addressed as 2919 James Avenue South.
  - The Lease 1B space identified on the first floor plans needs some clarification before it can be addressed. There are two doors identified. Which door will be the main entrance to the space?
- This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning suite sequences on the second floor offices and third floor apartments, the following guidelines are as follows:
  - The first one to two digits of the suite sequence number will designate the floor number of the site.
  - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
  - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
  - Please provide each condo, suite, unit or apartment number.

**□ Parks - Forestry**

- Contact Paul Martinson (612-499-9209) regarding removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance: <http://library.municode.com/index.aspx?clientId=11490>.
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project, the calculated dedication fee is as follows:
  - Park Dedication Fee Calculation =
  - Residential (2 units x \$1,500 per unit) = \$3,000
  - Non-Residential Commercial Space = \$4,000
  - 5% of \$XX (Administration Fee) = \$150
  - Total Park Dedication Administrative Fee: \$7,150
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Patty Murzyn at (612) 673-5827.

## ❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- It is not clear if the "mechanical enclosure" and the "recycling enclosure" along the alley have gates that could swing into the Public alley right-of-way. Gates out-swinging into the Public right-of-way are not an allowable encroachment.
- Contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way. If the racks are privately owned, they will require an encroachment permit.
- The Project limits fall within the boundaries of the Uptown Special Service District. Any improvements, modifications, and alterations to the streetscape are subject to the review and approval of the Uptown Special Service District, and will require the approval of the Special Service District Advisory Board. Please coordinate contact with the Advisory Board through Andy Carlson (612) 673-2836.

## ❑ Street Design

- Proposed water utility connections to the building shall not be located within the Public alley right-of-way; see Water comments for utility connection locations.
- All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Please refer to the following: [http://www.minneapolismn.gov/publicworks/plates/public-works\\_road](http://www.minneapolismn.gov/publicworks/plates/public-works_road).
- Add the appropriate details from the ROAD-1000 Series - Curbs and Gutters (ROAD-1003, and ROAD-1010) to the plans.

## ❑ Sidewalk

- ADA compliant pedestrian ramps are required at each crosswalk at the intersection of W. Lake St. and James Ave. S.. Construct two (2) ADA compliant pedestrian ramps at this location. Include the appropriate details and standard plates in the site plan; refer Mn/DOT Standard Plan 5-297.250 Pedestrian Curb Ramp Details at: <http://standardplans.dot.state.mn.us/stdplan.aspx>.
- In order to maximize the width of the public sidewalks it is recommended that the Applicant consider a 4'x6' tree grate rather than the 5'x5' grate identified in the plans.
- Proposed street trees appear to conflict with proposed building canopies; tree locations shall be modified to avoid any conflict with proposed canopy locations.
- Tree planting details shall be included in the plans. The Applicant shall provide some form of engineered/structured soil in the form of a tree trench or tree pit for all proposed street trees. Sidewalk layouts and landscaping in the Public right-of-way shall follow established design standards; refer to the following:
- City of Minneapolis Urban Forest Policy ([http://www.minneapolismn.gov/www/groups/public/@cped/documents/webcontent/convert\\_282934.pdf](http://www.minneapolismn.gov/www/groups/public/@cped/documents/webcontent/convert_282934.pdf).)
- Access Minneapolis - Design Guidelines for Streets and Sidewalks ([http://www.minneapolismn.gov/publicworks/transplan/comp/public-works\\_trans-plan\\_designguidelines](http://www.minneapolismn.gov/publicworks/transplan/comp/public-works_trans-plan_designguidelines).)

### □ Traffic and Parking

- The nature of the proposed development is such that traffic impacts could be an issue; please contact Allen Klugman at (612) 673-2743 to discuss the potential requirements of a Travel Demand Management Plan (TDMP).
- Note #9 on Sheet C1 of the site plans shall be revised to read "Contact Tim Drew at 612-673-2152".
- Curb cuts for loading in the Public right-of-way are not allowed. Remove the loading zones from the plans as both are within the Public right-of-way and are reviewed through other means. Please contact Lonn Koranda at (612) 673-5726 if a loading zone is desired.
- Proposed tree locations shall not be within 20' of the beginning of the curb radius at the intersection of W. Lake St. and James Ave. S.
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the delivery and trash removal operations and show turning maneuvers for all truck type vehicles that will be using the various loading zones.

### □ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.
- The location of the proposed water service lines are not acceptable; per City requirements, service lines can be no more than two feet outside the building line if the desired mechanical room needs to be located where it is shown on the plan.
- The water service connections from James Ave. S. should be designed to avoid bends into the proposed building; it is recommended that water service lines straight from the main into the proposed building to the meter location. Meters should be set at the nearest point of entry (as little exposed pipe necessary to set the meter) and allow enough room for the new required "By Pass for Domestic (larger than 4") water lines" (see handout). Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

### □ Sewer Design

- Utility Connections: Please identify if the existing sanitary sewer service to the properties is being removed or remaining in place. Please note these service connections are the responsibility of the property owner. If any damage occurs due to failure of any service the property owner is liable for the damage. As new services are proposed in close proximity, it is recommended that the existing service be removed.
- The proposed sanitary sewer and storm sewer service connections to the City mains must be installed with saddle tee fittings, per City of Minneapolis Standard Supplemental Specifications. Please note this on the plans.
- Please identify the invert elevations at the proposed connections to the City storm and sanitary sewer mains. The connections should be made in the middle third of the existing mains.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov).

**❑ Fire Safety**

- Provide the required automatic fire suppression and fire detection systems throughout the building.
- The fire department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Provide and maintain fire department access at all times.

**❑ Business Licensing**

- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information or Contact Karon Cappaert at 651-602-1118 or [karon.cappaert@metc.state.mn.us](mailto:karon.cappaert@metc.state.mn.us).  
[http://www.ci.minneapolis.mn.us/mdr/docs/sac\\_availability\\_charge.pdf](http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf).
- Continue to work with Patty Murzyn (612-673-5827) concerning a Food Plan Review should a food related business occupy any or all of the of the future retail space.

**❑ Construction Code Services**

- The canopy appears to be an awning per City ordinance sec 95.100.
- The east wall may need particular attention for fire resistance and opening protection per IBC Chapter 5, 6, and 7.
- Maintain a minimum 98 inch clearance to the van accessible parking space per MN Rules 1311 sec 502.6.
- Size the water service as needed for sprinkler and domestic needs.
- Foundation and canopy encroachments must comply with ordinance requirements.
- The interior property line must be removed as required to create a single lot.

END OF REPORT

## 16TWENTY DEVELOPMENT

### STATEMENT OF PURPOSE AND DESCRIPTION OF PROJECT

REVISED APRIL 8, 2014

The proposed 16Twenty Development is located on the northeast corner of West Lake Street and James Avenue South in Minneapolis. The site includes three properties, 1620 W. Lake Street, 1618 W. Lake Street, and 2915 James Ave S., with a combined lot area of 11,068 sf (0.25 acres). The properties are all zoned C-1, Neighborhood Commercial, and are within the Shoreland Overlay District. Located along the south border of the East Isles neighborhood, the site also lies within the West Lake Street Live/Work area as described in the *Uptown Small Area Plan*.

The project will replace three residential-style structures and surface parking with a 3-story, 24,000 sf mixed-use development with approximately 3,200 sf of ground level retail, 11,500 sf of office space on the first and second floors, and six, 2-bedroom apartments on the third floor. There will be no basement. The 3-story building will be 40 feet high at the top of the parapet and 46 feet high at the top of the mechanical screening on the rooftop.

The proposed building is designed to integrate with the existing Uptown commercial and neighborhood fabric. Additional landscaping and trees will add shade to the sidewalks and buffer pedestrians from the street. The ground floor will have floor to ceiling glass to create a high quality, sun-filled retail space. The second level will feature masonry, and the upper level will be clad in a textured, metal panel and cedar siding. Patios will give the residences views up and down Lake Street, as suggested by the *Uptown Small Area Plan*.

The required 18 parking spaces will be provided at ground level, within the building and accessed from the alley. Each of the 6 residential units will be provided one reserved parking space in the garage. The remaining 12 spaces will serve the office and retail uses. If additional employee parking is needed, it may be leased from a privately-owned lot nearby. The planned office uses (architect and builder) have a low level of walk-up traffic and are not foreseen to create strain on existing street parking. Approximately 14 bike parking spaces will be provided inside the building and on the public sidewalk to serve residents, employees and visitors.

The site has convenient access to transit options that will help reduce the traffic and parking impact of the development. Within 300 feet of the building's major entries, the site is served by the Numbers 12, 17, and 114 bus lines running east and west. The Uptown Transit Center is ¼ mile from the site, which will allow employees and residents to use transit to reach all parts of the Metropolitan area. The site is also approximately one mile from the proposed West Lake LRT station. The building tenants plan to encourage use of the area's extensive transit service by offering monthly passes to employees committed to transit use. Finally, the proposed development is 1½ blocks from the Midtown Greenway and is designed to take advantage of

the pedestrian and bicycle link. As an incentive for bicycle commuting, the building is designed with shower access for employees.

The project will comply with the City of Minneapolis' storm water management code. The site area is less than 1 acre threshold that would require full storm water management. However, the project will utilize the following temporary and permanent best management practices.

- Construction sediment will be controlled through the use of silt fence, rock construction entrances, construction sweeping, and downstream inlet protection.
- All on-site parking for this project is covered and, therefore, all salt, sediment and oils from the automobiles will be directed to the sanitary sewer, not the storm sewer, as would be the case with uncovered surface parking.
- All areas around the building that can be pervious will be landscaped areas.
- The developer is proposing large tree grates in the public right-of-way, which also encourage interception and infiltration of storm water.
- The developer plans to install planters on the patios of all of the apartment units on the third floor.
- The great majority of the storm water discharged from this site will be rainwater collected on the roof. Therefore, the discharged storm water will be relatively clean, because little to no sediment or other pollutant loads will be added when collected on the roof. It will be discharged into the City's storm sewer system.

The design team does not foresee non-stormwater discharge. The design calls for no basement and shallow foundations. The geotechnical report determined that the site's groundwater is at approximately 21'-0" (fluctuating seasonally) below ground level and is deeper than the proposed excavation.

**Required Zoning Applications:**

1. Conditional Use Permit (CUP) to increase allowed height in the Shoreland Overlay District from 2.5 stories/35 feet to 3 stories/46 feet.
2. Variances to reduce the east interior and north rear yard setbacks.
3. Variance to reduce the off-street loading requirement from one small space to zero spaces.
4. Site plan review.

**CONDITIONAL USE PERMIT FOR ADDITIONAL HEIGHT  
REQUIRED FINDINGS**

A conditional use permit is being applied for to allow a building height of 3 stories/46 feet, which exceeds the 2.5 story, 35-foot limit of the Shoreland Overlay District. The request for increased height for the project meets the required findings for the issuance of a conditional use permit under § 525.340 and the additional considerations for increased height and Shoreland development.

1) *That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

A new, 3-story building will not be detrimental to or endanger the public health, safety, comfort or general welfare. The height to the top of the parapet is 40 feet and to the top of the screening for the mechanical equipment is 46 feet. The mechanical equipment will be set back from the building edges to reduce its visibility. The development will comply with all applicable building codes, life safety ordinances and Public Works requirements.

2) *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district or substantially diminish property value.*

The proposed 3-story building will not be injurious to the use and enjoyment of other property, nor impede the normal and orderly development of the area. The proposed height is consistent with the 3-story/42-foot height limit for mixed-use buildings in the C1 District (which exempts the height of rooftop mechanical equipment) and with other 3-story buildings across the alley to the north and across James Avenue to the northwest. The reduced height limit in the Shoreland District is intended to preserve views from water bodies. The visibility of the 16Twenty Development from Lake Calhoun will be extremely limited because it is blocked by 5 and 6-story buildings located between Lake Calhoun and the project site.

3) *Adequate utilities, access roads, drainage, necessary facilities and other measures have been or will be provided.*

Adequate utilities, access, drainage, and other necessary facilities will be provided for the project and the development team will continue to work closely with Public Works, Plan Review and Planning staff to comply with City and other applicable requirements.

4) *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The additional height of the building will have no impact on traffic congestion in the public streets. The project will meet the parking requirements of the Zoning Code. As discussed in the Project Description, the site is well-served by alternative transit options and the project incorporates transit use incentives including bike racks, employee showers and employee bus passes. It is anticipated that the development will request designation of an on-street short-term loading zone for pickup and drop-off for the residences and commercial tenants. Garbage and recycling service will take place in the alley off of the street.

5) *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The City's comprehensive plan, the *Minneapolis Plan for Sustainable Growth*, guides the project site as Mixed Use, which allows for mixed use development, including mixed use with residential. Mixed use may include either a mix of retail, office or residential uses within a

building or within a district. 16Twenty will include this desired mix of retail, office and residential uses.

Lake Street is designated in the comprehensive plan as a Commercial Corridor, subject to the following land use guidance:

Land Use Policy 1.10: Support development along Commercial Corridors that enhances the street's character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic. Relevant implementation steps for this policy include:

- 1.10.1 Support a mix of uses – such as retail sales, office, institutional, high-density residential and clean low impact light industrial – where compatible with the existing and desired character.
- 1.10.4 Encourage a height of at least two stories for new buildings along Commercial Corridors, in keeping with neighborhood character.

The mix of uses, design, and height of the proposed project are consistent with the type of redevelopment encouraged on Commercial Corridors.

The following policy and implementation steps from the Urban Design chapter of the comprehensive plan are relevant to a request for increased building height:

Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.

- 10.9.1 Encourage both mixed-use buildings and a mix of uses in separate buildings where appropriate.
- 10.9.2 Promote building and site design that delineates between public and private spaces.
- 10.9.4 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

The building design incorporates substantial storefront glass and upper level patios that will engage with and enhance the pedestrian character of the street. The public realm will be further enhanced by the addition of street trees, landscaping, new pavement and bike racks.

The site is in the West Lake Street Live/Work area of the *Uptown Small Area Plan* (the USAP). The proposed height is squarely within the preferred 2-5 story, up to 56-foot height guidance for this segment of Lake Street and resembles the current scale of buildings in the area. The proposed uses are also consistent with the guidance that this area should continue to develop as a mixed-use live/work area. The design incorporates upper level patios/balconies and large windows designed to capture views of the lake and street.

*6) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With approval of the other zoning applications for the project, it will conform to the applicable regulations of the C1 and Shoreland Overlay zoning districts.

Additional factors to be considered when determining an increase in height per §548.110.

*(1) Access to light and air of surrounding properties.*

The proposed 3-story building will not impede access to light and air for surrounding properties. Public right-of-way separates the proposed development from other properties to the north, west and south. The upper two floors of the building will be set back 7 feet from the east property line and the building to the east is also setback at least 7 feet, so there will be at least 14 feet of separation between the upper levels of the buildings for access to light and air.

*(2) Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The building will not shadow significant public spaces or known solar energy systems. It will cast shadows on residential properties typically to be expected from buildings with heights allowed in the C1 and adjacent R6 districts and within the 2-5 story height guidance of the *Uptown Small Area Plan*.

*(3) The scale and character of surrounding uses.*

The structures to the west and east on Lake Street are 2 – 2½ stories, as are structures across Lake Street to the southwest. There are 1 and 2-story buildings across Lake Street to the south and southeast. There are two, 3-story apartment buildings across the alley to the north and across James Avenue to the northwest. Although of a more contemporary design, the proposed 3-story building is compatible in scale and character with the surrounding uses and eclectic character of West Lake Street.

*(4) Preservation of views of landmark buildings, significant open spaces or water bodies.*

The project will not significantly block views of landmark buildings, significant open spaces or water bodies. The new building will not alter views to any significant degree compared to the existing buildings on the site. Views of Lake Calhoun are also limited by existing development further west on Lake Street.

Additional factors to be considered for conditional use permits in the Shoreland Overlay District:

*(1) The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The project will comply with all City requirements for grading and erosion control during demolition and construction. As described above, the project will utilize best management practices to manage storm water runoff into landscaped area or the City's storm sewer.

*(2) Limiting the visibility of structures and other development from protected waters.*

The visibility of the 16Twenty Development from Lake Calhoun will be extremely limited because it is blocked by 5 and 6-story buildings located between Lake Calhoun and the project site.

*(3) The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

The development will not generate watercraft activity on the Chain of Lakes beyond that which can typically be expected and encouraged.

**VARIANCE FOR YARD SETBACKS  
REQUIRED FINDINGS**

Variations are being requested to allow a reduction of the required yards along the north rear and east interior side lot lines. Uses in the Commercial zoning districts are not generally subject to yard requirements; however, this project is subject to a 9-foot interior side yard requirement on the east because it is adjacent to a residential use. The third floor of the building is subject to a 9-foot rear and interior side yard requirement because it contains residential use with windows. The proposed east setback is: 1 foot on the first floor; 1 foot for the for the south 33.5 feet of the second floor and 7 feet for the rest of the second floor except where it is 5 feet for a mechanical chase covered by an architectural fin; 7 feet to the building wall on the third floor, except where it is 5 feet for the mechanical chase and fin, with two balconies that project 6 feet (balcony setback is 1 foot). The proposed setback of the third floor on the north side is 5 feet to the building. The Project meets the required findings for a variance under § 525.500 of the Zoning Code.

1) *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.* Practical difficulties exist in meeting the setback requirements and achieving the desired mix of uses and density called for on Commercial Corridors and in the USAP West Lake Live/Work Area. City policies encourage mixed-use, both within buildings and throughout separate buildings along the street, but the inclusion of residential uses imposes setbacks that would not otherwise be required in the Commercial Districts. Requiring a full 9-foot setback for the building on the east side would provide little benefit and would result in either a substantial loss of parking in the garage or a shift in the garage area that would eliminate active uses along the street. Requiring a full 9-foot setback on the north side would serve no meaningful purpose because it faces an alley and is distant from other residential uses. These are unique circumstances not created by the applicant.

2) *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.* The proposed setbacks are reasonable and consistent with the intent of the ordinances, the comprehensive plan policies applicable to the site, and the purpose of the C1 District. The intent of the setback requirement is to reinforce building code fire separation requirements and preserve access to light and air for residential uses. The proposed design is in keeping with the intent of the ordinance because it complies with the building code requirements. The building generally steps back to 7 feet from the east lot line for the upper levels, preserving access to light and air for the building to the east, which also has a 7-foot setback. The rear property line abuts a public alley, so the one-foot reduction in the building setback will not impact other development.

3) *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.* The granting of the variance will not alter the essential character of the area, be injurious to the use or enjoyment of other properties, or be detrimental to the public welfare. The variance will

not be detrimental because the design will comply with building and life safety codes. Building at or close to the lot line is common to the character of Commercial Corridors generally and along this particular block.

**VARIANCE FOR LOADING  
REQUIRED FINDINGS**

A variance is being requested to reduce the loading requirement from one small, off-street loading space to zero loading spaces. The developer will request designation of an on-street loading zone for deliveries to the site. Trash and recycling pickup will occur in the public alley. The Project meets the required findings for a variance under § 525.500 of the Zoning Code.

1) *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

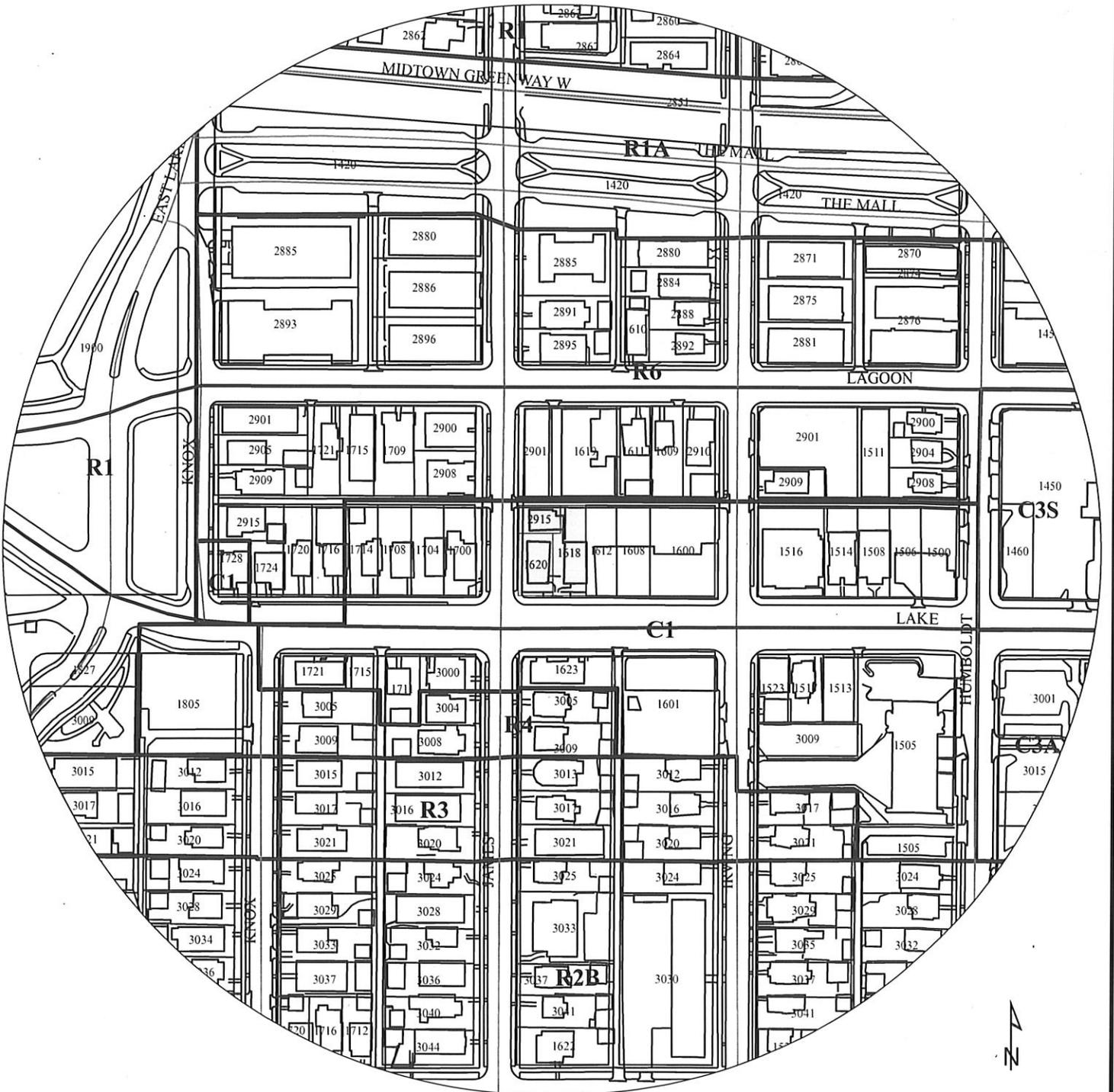
Practical difficulties exist in complying with the loading requirement because of the small size of the site. There is not room for on-site maneuvering and parking for trucks within the garage, which must be accessed from the alley. Designing a through drive that would not require maneuvering would require a new curb cut and driveway on the street, which would not be favorable. These circumstances are unique to the property and have not been created by the applicant.

2) *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed use of an on-street loading zone for deliveries is reasonable for this development. There is no loading requirement for the residential or retail uses. There is a small loading space requirement for the office uses. The total area of the office uses is 11,466 sf, which exceeds the 10,000 sf threshold for the loading requirement by only 15%. Deliveries to the three properties that comprise the project site (and to most commercial uses along Lake Street) are currently made by small delivery trucks that park on the street. Formal designation of a loading zone will be an improvement over current conditions. It is in keeping with the spirit and intent of the City's ordinances and comprehensive plan policies to not require dedicated loading areas when the actual demand for an off-street loading space can be met in a way that makes more efficient use of the site.

3) *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The requested loading variance will not alter the character of the locality or be detrimental to the public or surrounding properties. Formal designation of a loading zone will be an improvement over current conditions.



200 100 0 200 400

PROPERTY ADDRESS

1618-20 West Lake Street and 2915 James Avenue South

FILE NUMBER

BZZ-6500

**PROJECT RENDERING**

IMAGE FOR PRESENTATION ONLY - DO NOT USE FOR CONSTRUCTION



**PROJECT TEAM**

**OWNER**

CMP DEVELOPMENT  
2919 KNOX AVE. S. SUITE 200  
MINNEAPOLIS, MN 55408  
P: 612.644.4391

**ARCHITECT**

PETERSEN/KELLER ARCHITECTURE  
1610 W. LAKE ST  
MINNEAPOLIS, MN 55408  
P: 612.353.4920

**LEAF DESIGN STUDIO**

1415 N 17TH STREET  
BISMARCK ND 58501  
P: 701.258.7094

**CIVIL ENGINEER**

REHDER & ASSOCIATES  
3440 FEDERAL DRIVE, SUITE 110  
EAGAN, MN  
P: 651.452.5051

**STRUCTURAL ENGINEER**

MATTSON MCDONALD  
901 N 3RD ST. SUITE 100  
MINNEAPOLIS, MN  
P: 612.827.7825

**GENERAL CONTRACTOR**

REUTER WALTON COMMERCIAL  
1516 W. LAKE ST  
MINNEAPOLIS MN 55408  
P: 612.823.3489

**SHEET INDEX**

**GENERAL**

T100 TITLE SHEET

**CIVIL**

C0 SITE SURVEY  
C1 EXISTING CONDITIONS  
C2 SITE PLAN  
C3 GRADING PLAN  
C4 DETAILS

**ARCHITECTURAL**

A001 SITE PLAN & PLANTING SCHEDULE  
A002 ENCROACHMENT PLAN  
A101 FIRST FLOOR PLAN  
A102 SECOND FLOOR PLAN  
A103 THIRD FLOOR PLAN  
A104 ROOF PLAN  
A201 EXTERIOR ELEVATIONS  
A202 EXTERIOR ELEVATIONS

**STRUCTURAL**

NO DRAWINGS

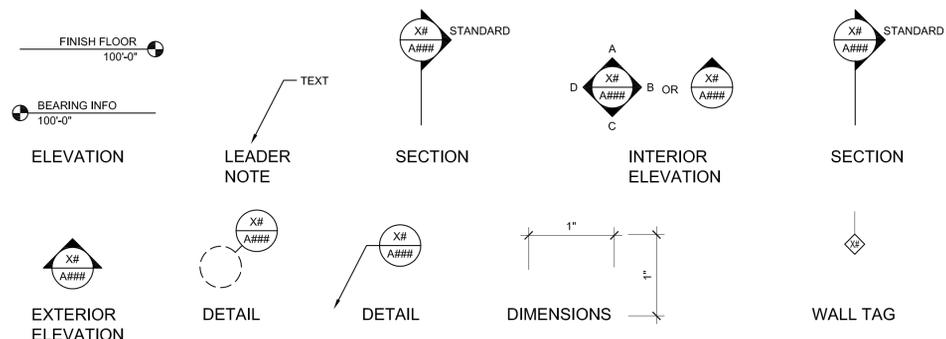
**MECHANICAL**

NO DRAWINGS

**ELECTRICAL**

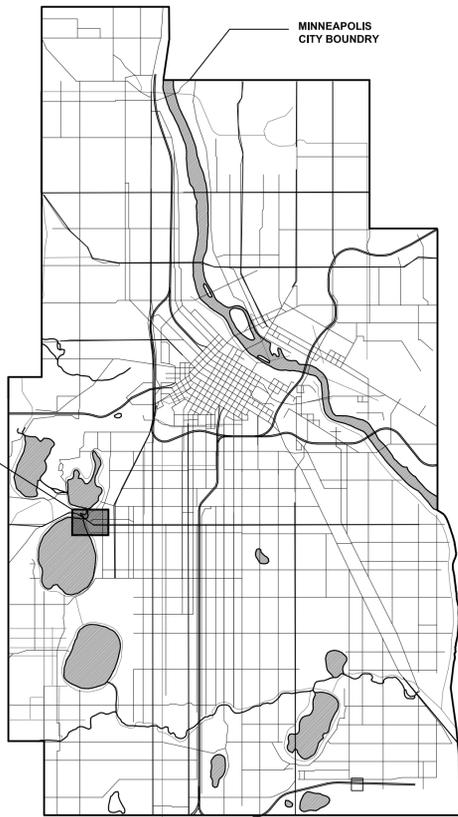
NO DRAWINGS

**SYMBOLS LEGEND**

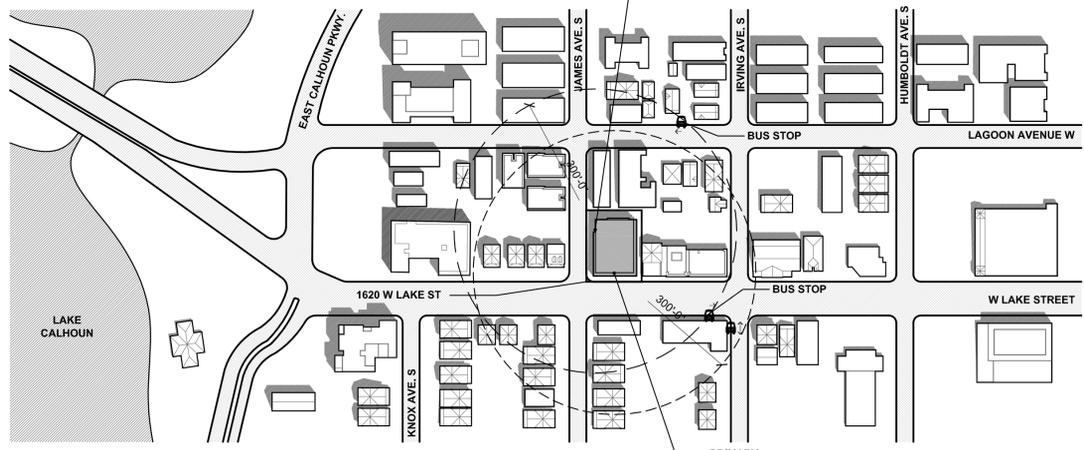


**ABBREVIATIONS**

AFF	ABOVE FINISH FLOOR	FB	FACE BRICK	MAX	MAXIMUM	UNFIN	UNFINISHED
ACC	ACCESSIBLE	FOC	FACE OF CONCRETE	ME	MECHANICAL ENGINEER	UNIF	UNIFORM
ACT	ACOUSTICAL CEILING TILE	FOW	FACE OF WALL	MED	MEDICAL		
A/C	AIR CONDITIONER	FT	FEET	MEMB	MEMBRANE	VTR	VENT THROUGH ROOF
ALT	ALTERNATE	FIN	FINISH	MTL	METAL	VER	VERIFY
AIA	AMERICAN INSTITUTE OF ARCHITECTS	FE	FIRE EXTINGUISHER	MEZZ	MEZZANINE	VB	VINYL BASE
ADA	AMERICANS WITH DISABILITIES ACT	FP	FIRE PROTECTION	MIN	MINIMUM	VCT	VINYL COMPOSITION TILE
ARCH	ARCHITECT	FLOOR	FLOOR	MR	MOISTURE RESISTANT	VWC	VINYL WALL COVERING
BRG	BEARING	FD	FLOOR DRAIN	MLDG	MOULDING	VOL	VOLUMN
BRD	BOARD	FLG	FLOORING				
BUR	BUILT-UP ROOFING	FL	FLOOR LINE	NIC	NOT IN CONTRACT	WTR	WATER
		FLUOR	FLUORESCENT	NTC	NOT TO SCALE	WD	WOOD
		FT	FOOT	OC	ON CENTER	XPS	EXTRUDED POLYSTYRENE
CAB	CABINET	FDN	FOUNDATION	OPNG	OPENING	YD	YARD
CUH	CABINET UNIT HEATER	FURN	FURNACE				
CPT	CARPET			PERP	PERPENDICULAR		
CIP	CAST IN PLACE	GALV	GALVANIZED	PLAS	PLASTER		
CLG	CEILING	GAL	GALLONS	PLAM	PLASTIC LAMINATE		
CTR	CENTER	GEN	GENERAL	PLBG	PLUMBING		
CL	CENTER LINE	GC	GENERAL CONTRACTOR	PC	PLYWOOD		
CLRM	CLASSROOM	GL	GLASS	PC	PLYWOOD		
CLR	CLEAR	GWT	GLAZED WALL TILE	PC	PLYWOOD		
COL	COLUMN	GB	GRAB BAR	PC	PLYWOOD		
CONC	CONCRETE	GYP	GYPSPUM	LB	POUND		
CONJ	CONSTRUCTION JOINT			PC	PRECAST CONCRETE		
CONT	CONTINUE	HCP	HANDICAP	PC	PRECAST CONCRETE		
CONTR	CONTRACTOR	HDWR	HARDWARE	PREFIN	PREFINISHED		
CF	CONTRACTOR FURNISHED	HY	HIGHWAY				
CJ	CONTROL JOINT	HC	HOLLOW CORE	QUAL	QUALITY		
COORD	COORDINATE	HM	HOLLOW METAL	QTY	QUANTITY		
CG	CORNER GUARD	HB	HOSE BIB	QT	QUARRY TILE		
CORR	CORRIDOR	HW	HOT WATER				
C&G	CURB AND GUTTER	HYD	HYDRANT				
				RAD	RADIUS		
DEG	DEGREE	ID	INSIDE DIAMETER	REINF	REINFORCE		
DET	DETAIL	INSUL	INSULATION	REQD	REQUIRED		
DIAG	DIAGONAL	IBC	INTERNATIONAL BUILDING CODE	RESIL	RESILIENT		
DIM	DIMENSION	INV	INVERT	RD	ROUGH OPENING		
DIST	DISTANCE			RO	ROUGH OPENING		
DR	DOOR	JAN	JANITOR				
DWG	DRAWING	KIT	KITCHEN	SAN	SANITARY		
DF	DRINKING FOUNTAIN	KD	KNOCK DOWN	SCHED	SCHEDULE		
				SV	SHEET VINYL		
EA	EACH			SHT	SHEET		
EW	EACH WAY	LAB	LABORATORY	SC	SOLID CORE		
ELEC	ELECTRIC	LAM	LAMINATE	SF	SQUARE FOOT		
EWC	ELECTRIC WATER COOLER	LAV	LAVATORY	STL	STEEL		
EC	ELECTRICAL CONTRACTOR	LL	LIVE LOAD	STR	STRUCTURAL		
ELEV	ELEVATOR	LKR	LOCKER				
EMER	EMERGENCY	LBR	LUMBER				
EQ	EQUAL			TOC	TABLE OF CONTENTS		
EQUIP	EQUIPMENT	MACH	MACHINE	TEMP	TEMPORARY		
EST	ESTIMATE	MAINT	MAINTENANCE	THK	THICK		
EXH	EXHAUST	MGT	MANAGEMENT	TLT	TOILET		
EX	EXISTING	MH	MANHOLE	TOF	TOP OF FOOTING		
EXP	EXPANSION	MFR	MANUFACTURER	TOF	TOP OF FOOTING		
EJ	EXPANSION JOINT	MO	MASONRY OPENING	TOW	TOP OF WALL		
EXP	EXPOSED	MATL	MATERIAL	TD	TRENCH DRAIN		
EXT	EXTINGUISHER						
EPS	EXPANDED POLYSTYRENE						



**1 CITY LOCATION MAP**  
T100 NOT TO SCALE



**2 NEIGHBORHOOD LOCATION MAP**  
T100 NOT TO SCALE

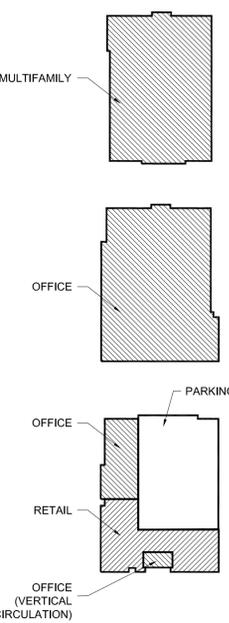
**SITE INFORMATION**

ADDRESS 1620 W LAKE ST, MINNEAPOLIS, MN 55408  
LOT SIZE 11,070 SF (0.25 ACRES)  
FOOTPRINT 10,108 SF (GFA)  
PROJECT 28,284 SF (GFA) (W/ PARKING GARAGE)  
23,194 SF (GFA) (W/O PARKING GARAGE)  
ZONING C-1  
FAR 2.10  
HEIGHT: 40'-0" +/- AT TOP OF PARAPET (+ MECHANICAL SCREEN)  
PERMEABLE RATIO: LESS THAN 1% PERMEABLE

**EXISTING INFORMATION**  
THE PROJECT IS CURRENTLY ON 3 LOTS; 1620 W LAKE ST, 2915 JAMES AVE, AND 1618 W LAKE ST. ALL EXISTING BUILDINGS TO BE DEMOLISHED AND COMBINED ONTO 1620 W LAKE ST.

**GROSS FLOOR AREAS (GFA) & FLOOR BREAKDOWN**

TOTAL BUILDING	28,284 SF (GFA)
TOTAL BUILDING W/O PARKING	23,194 SF (GFA)
THIRD FLOOR	8,525.21 SF (GFA)
MULTIFAMILY:	6 UNITS
SECOND FLOOR	9,650.57 SF (GFA)
OFFICE:	9,650.57 SF (GFA)
FIRST FLOOR	10,108.38 SF (GFA)
PARKING:	5,089.86 SF (GFA)
OFFICE:	1,825.40 SF (GFA)
RETAIL:	3,193.12 SF (GFA)



**16 TWENTY DEVELOPMENT**  
 1620 W Lake Street  
 MINNEAPOLIS, MN

DESCRIPTION	DATE
SD	01.24.14
SD	02.04.14
PDR SUBMITTAL	02.14.14
GENERAL LAND USE APPLICATION	03.20.14

TITLE SHEET

**T-100**

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NOT FOR CONSTRUCTION

DESCRIPTION	DATE
PDR SUBMITTAL	02-17-14
GENERAL LAND USE APPLICATION	03-20-14

DEMOLITION & EROSION CONTROL PLAN

**C1**

**MINNEAPOLIS STANDARD EROSION CONTROL NOTES**

- Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
- Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
- Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
- Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped grates are not allowed for inlet protection.
- Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
- Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
- Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated concrete mixing/washout locations as shown in the erosion control plan. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
- Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
- If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.

A PORTABLE CONCRETE WASHOUT BASIN SHALL BE PROVIDED DURING CONSTRUCTION FOR CONCRETE WASHOUT OPERATIONS.

**GENERAL PLAN NOTES**

- State law: 48 hours before excavating, call gopher one-call, 651-454-0002, for field location of underground utility lines. This is a free service which locates utility company lines but does not locate private lines. Contractors excavating on site shall provide for locating of private lines, including privately owned lines, by contractor service or other suitable means. Hence company is familiar with the chs campus.
- Contractor is responsible for providing all O.S.H.A. Safety measures during underground work. This includes providing and maintaining barricades and warning signs, and maintaining appropriate angle of repose on all exposed trenches to protect person and property. Provide shoring and sheeting as required.
- Contractor shall be responsible for locating and protection of existing structures and utilities as required during excavation and underground work.
- Contractor shall be responsible for disposal of all excavated material not suitable for backfill and all excess material remaining after backfilling has been completed.
- Contractor shall be responsible for establishing existing site conditions including elevations, grades, finished surfaces and existing utilities. All areas affected during construction shall be returned to their original condition upon completion of underground work.
- Contractor shall be responsible for obtaining and paying for all permits required prior to beginning work.
- Field verify all elevations, dimensions and distances.
- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at 612-673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roadway.net/> for a permit.
- Contact Tim Drew at 612-673-2152 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
- Contact Bill Prince at 612-673-3901 regarding impacts to the existing street lighting system.
- Contact Doug Maday at 612-673-5755 prior to construction for the removal of any City of Minneapolis right-of-way signs that may be in the way of construction.
- Permits and approval are required from Environmental Services for the following activities: After hours work, temporary storage of impacted soils on site prior to disposal or reuse, remediation of contaminated soil and groundwater, dewatering and discharge of accumulated storm water or ground water to City sewers, flammable waste traps, underground or above ground tank installation or removal, well construction or sealing, or on-site rock crushing. Contact Tom Frame at [tom.frame@ci.minneapolis.mn.us](mailto:tom.frame@ci.minneapolis.mn.us) for permit applications and approvals.
- No construction, demolition or commercial power maintenance equipment shall be operated within the City between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.

**DEMOLITION NOTES**

- Remove concrete pavement and steps.
- Remove bituminous pavement.
- Remove wood stairs and deck.
- Remove concrete curb.
- Remove overhead sign.
- Remove retaining wall.
- Remove patio pavers.
- Remove trees, grass and landscaping (Blvd trees to remain).
- Coordinate removal of overhead utility lines with appropriate Utility.
- Remove house.
- Coordinate removal of gas services as required.

NOTE: SEE ARCHITECTURAL FOR DEMOLITION OF EXISTING HOUSES.

**CONSTRUCTION SEQUENCE SCHEDULE**

- INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCE & INLET PROTECTION AS SHOWN ON THE PLANS.
- PERFORM DEMOLITION OF SITE ITEMS.
- REMOVE TOPSOIL FROM THE SITE AND PLACE IN TEMPORARY STOCKPILE LOCATION OR HAUL OFF-SITE.
- ROUGH GRADE THE SITE.
- INSTALL SITE UTILITIES.
- TEMPORARY SEED AND MULCH DISTURBED AREAS ON SITE.
- CONSTRUCT BUILDING, DRIVEWAY AND SIDEWALKS.
- FINAL GRADE SITE.
- STABILIZE SITE WITH SOD, SEED OR HARD SURFACE.
- REMOVE SILT FENCE, INLET PROTECTION AND ROCK CONSTRUCTION ENTRANCE.

PARTY RESPONSIBLE FOR MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES

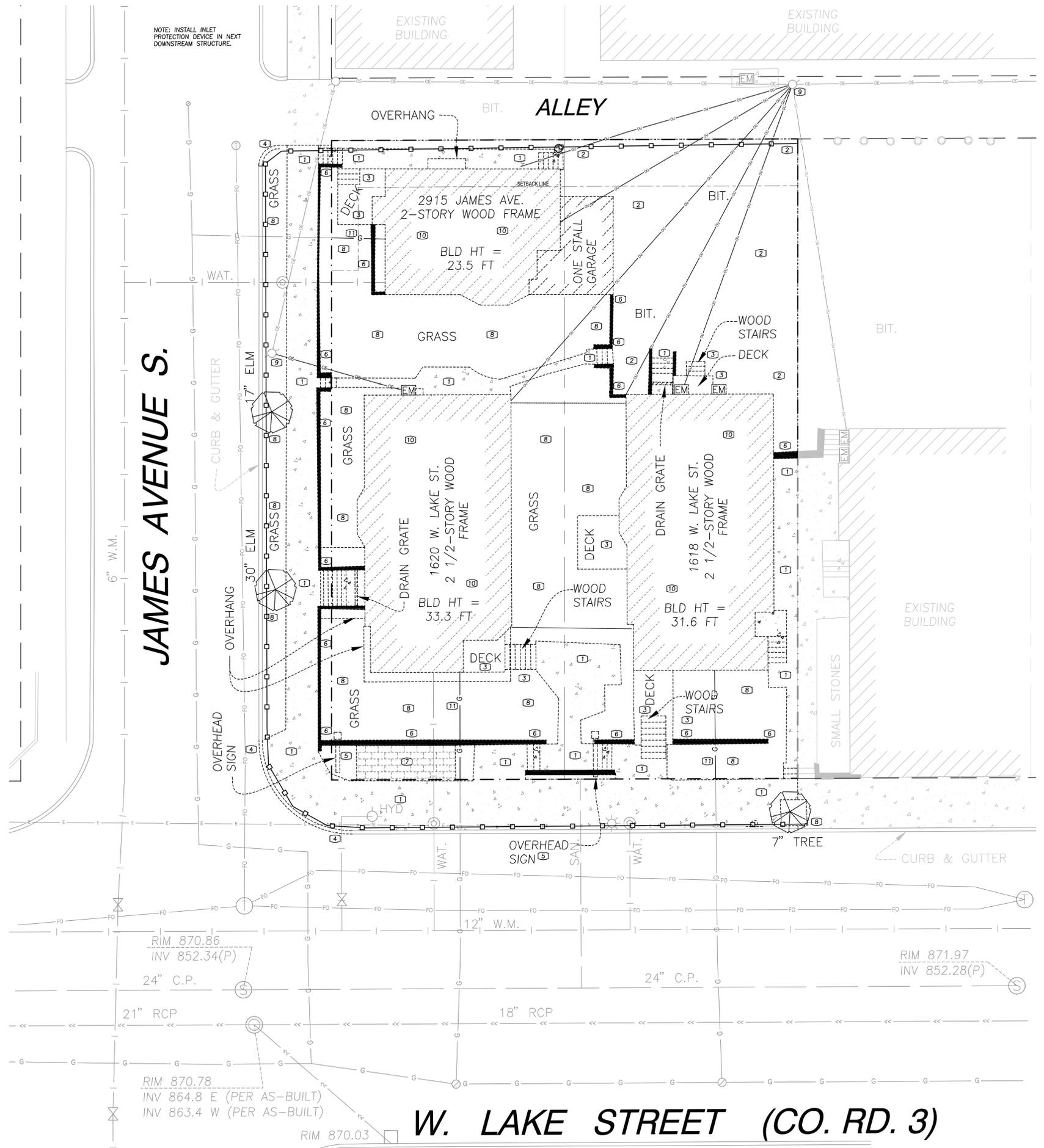
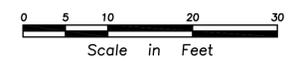
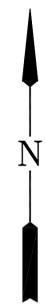
ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN

OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 DEVELOPER \_\_\_\_\_ DATE \_\_\_\_\_  
 CONTRACTOR \_\_\_\_\_ DATE \_\_\_\_\_

Boundary & Topographical information was prepared by Alliant Engineering, Inc.. This information has not been verified as to its accuracy or completeness by Rehder & Associates, Inc.

**LEGEND**

- INLET PROTECTION DEVICE
- SILT FENCE
- BOUNDARY/ROW/BLOCK LINE









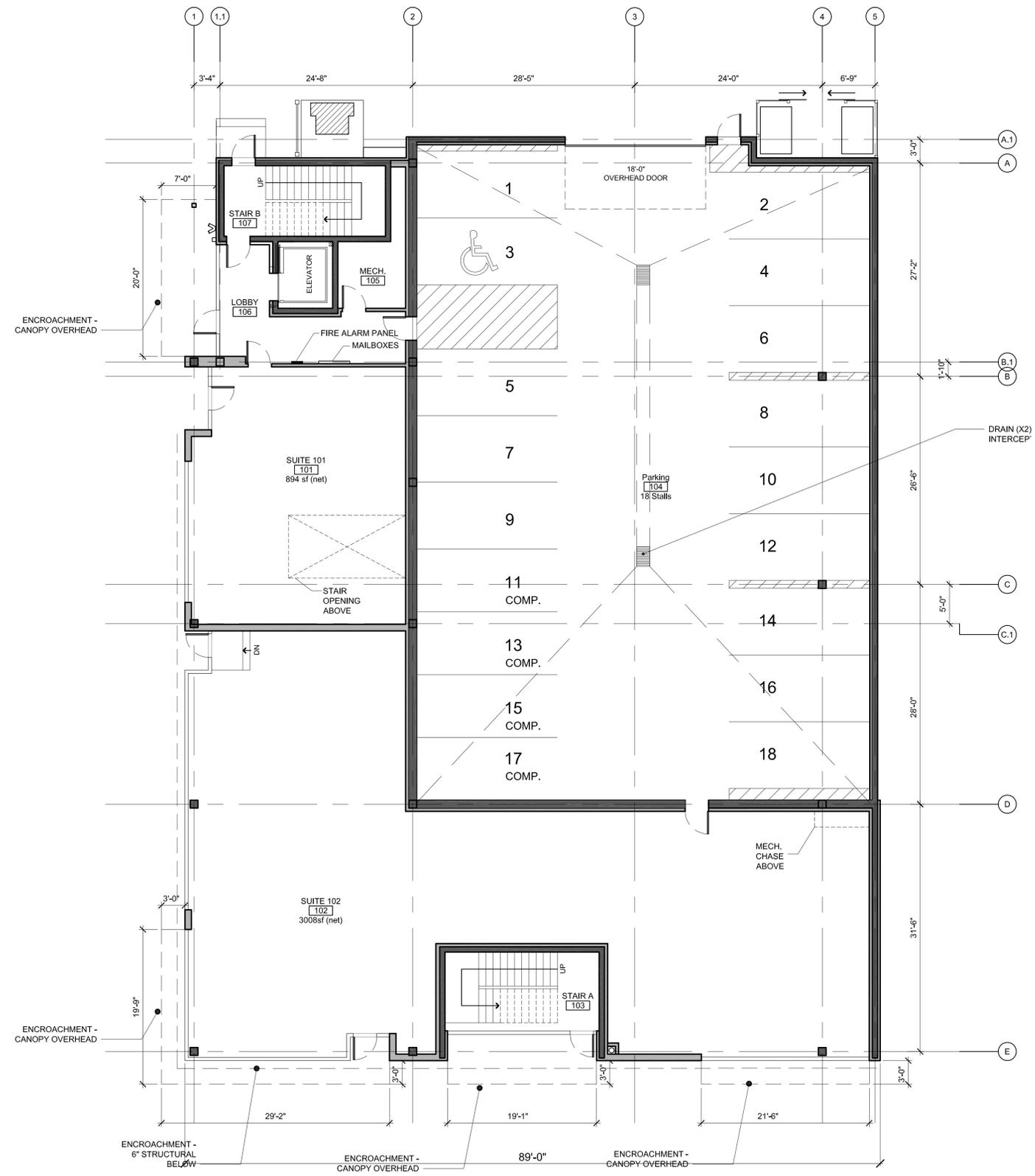


**16TWENTY DEVELOPMENT**  
 1620 W Lake Street  
 MINNEAPOLIS, MN

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SD	02.04.14
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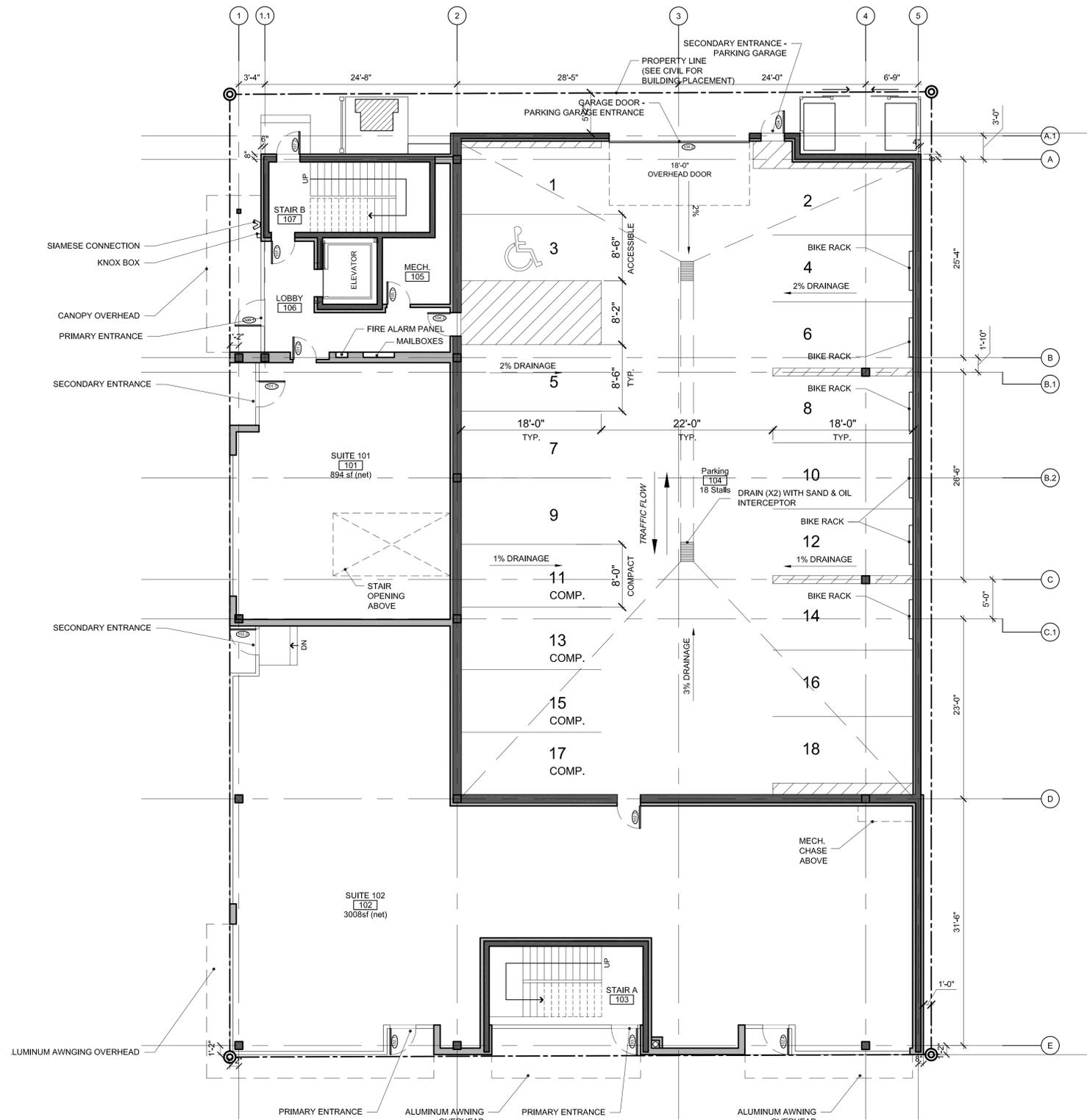
ENCROACHMENT PLAN

**A-002**  
 © 2013 PETERSEN/KELLER ARCHITECTURE



**1** ENCROACHMENT PLAN  
 A002 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



**1** FIRST FLOOR PLAN  
 A101 SCALE: 1/8" = 1'-0"

**P/K**  
**PETERSEN/KELLER**  
*architecture*  
 1610 W LAKE ST  
 MINNEAPOLIS, MN 55408  
 612.353.4920

**LEAF**  
**DESIGN**  
**STUDIO**  
 1415 N 17TH STREET  
 BISMARCK, ND 58501  
 701.258.7094

**CPM**  
**DEVELOPMENT**  
 2919 KNOX AVE. S. SUITE 200  
 MINNEAPOLIS, MN 55408  
 612.843.4888

**REUTERWALTON**  
**COMMERCIAL**  
 1516 W LAKE ST  
 MINNEAPOLIS, MN 55408  
 612.823.3489

**16TWENTY DEVELOPMENT**  
 1620 W LAKE STREET  
 MINNEAPOLIS, MN

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PETERSEN/KELLER  
architecture

1610 W LAKE ST  
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1415 N 17TH STREET  
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MINNEAPOLIS, MN 55408  
612.823.3489

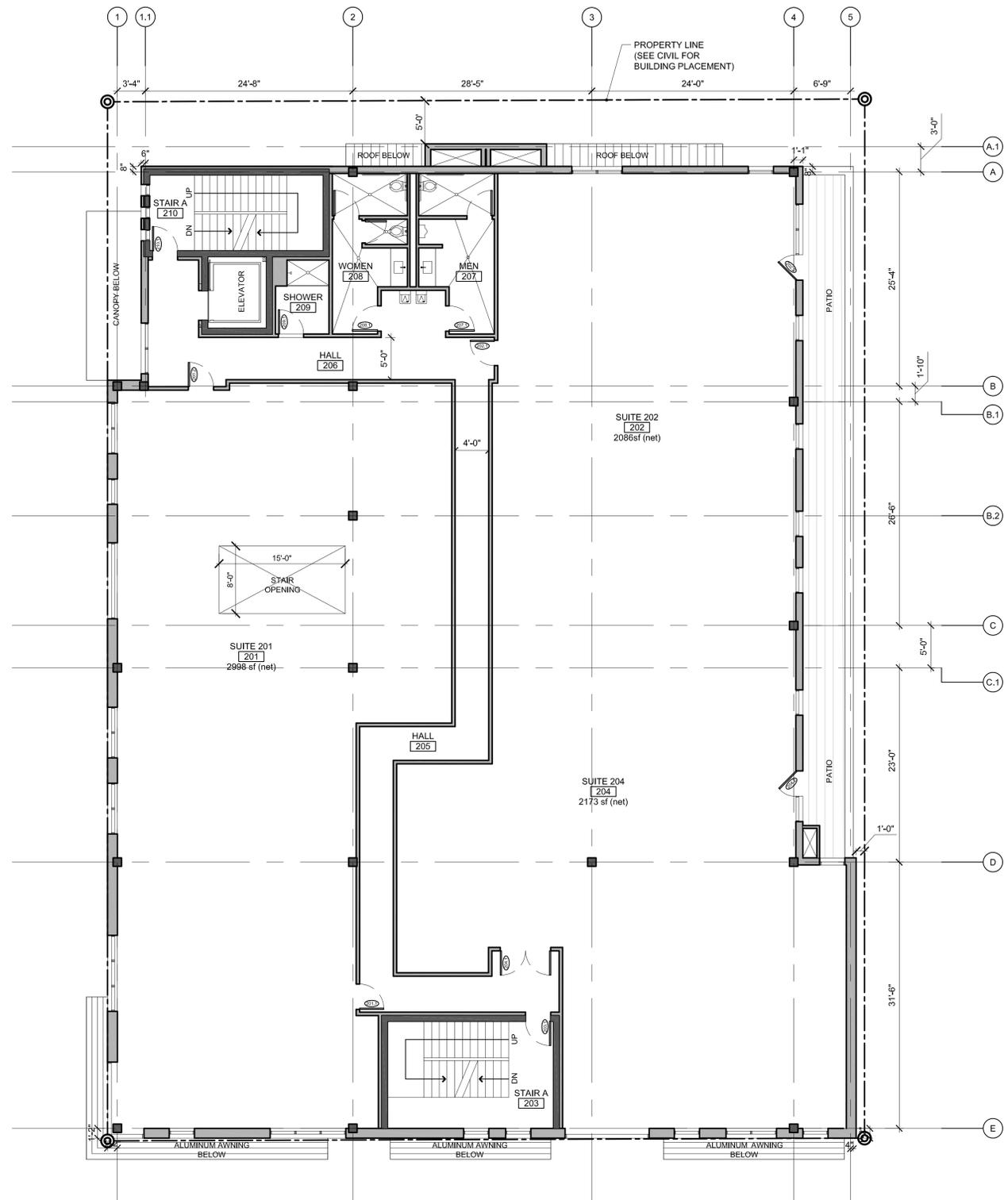
16TWENTY DEVELOPMENT  
1620 W LAKE STREET  
MINNEAPOLIS, MN

DESCRIPTION	DATE
SD	01.24.14
SD	02.04.14
PDR SUBMITTAL	02.14.14
GENERAL LAND USE APPLICATION	03.20.14

SECOND FLOOR PLAN

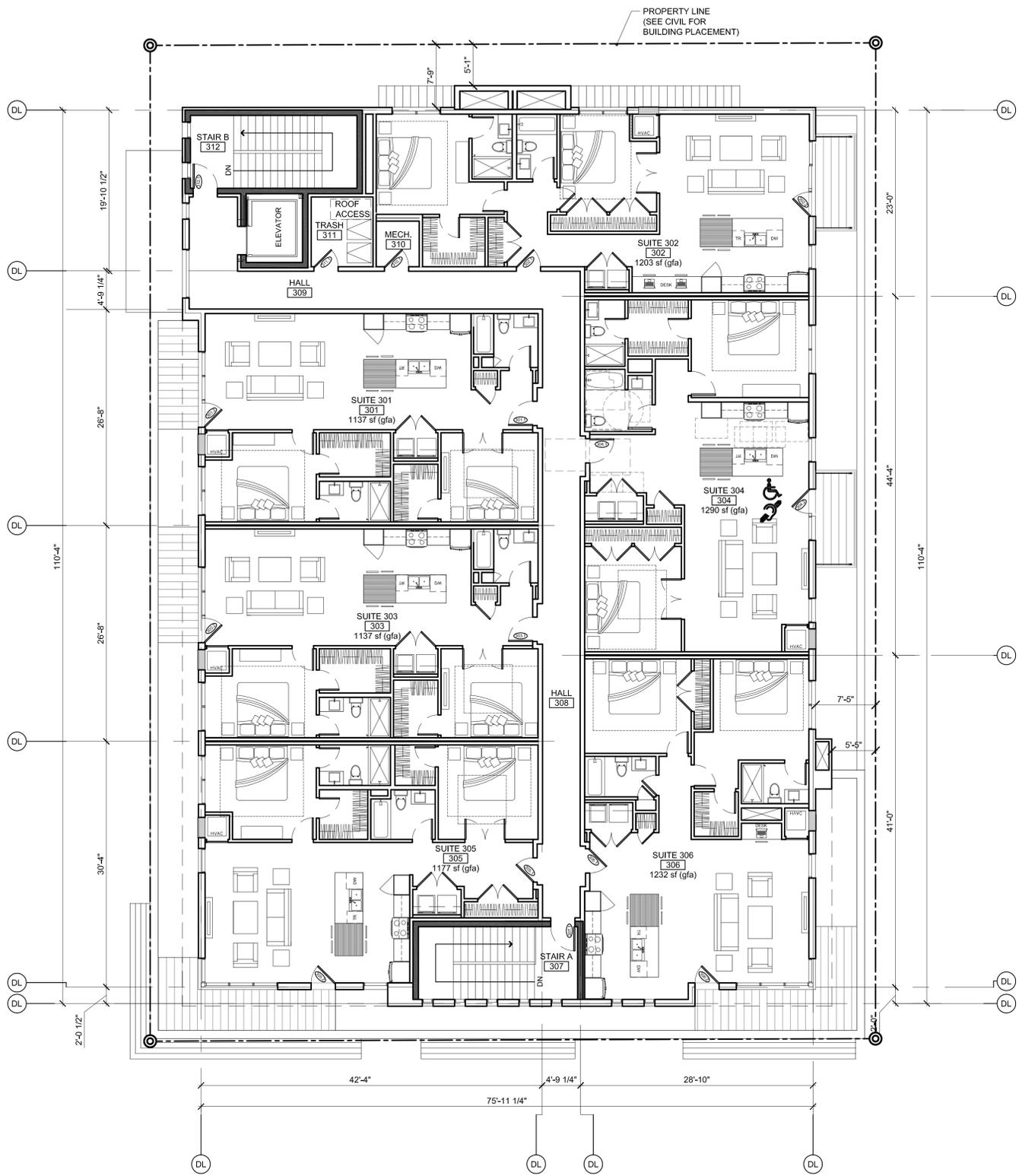
A-102

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1 SECOND FLOOR PLAN  
A102 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



1  
A103  
THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



PETERSEN/KELLER  
architecture

1610 W LAKE ST  
MINNEAPOLIS, MN 55408  
612.353.4920



1415 N 17TH STREET  
BISMARCK, ND 58501  
701.258.7094



2919 KNOX AVE. S. SUITE 200  
MINNEAPOLIS, MN 55408  
612.843.4888



1516 W LAKE ST  
MINNEAPOLIS, MN 55408  
612.823.3489

16TWENTY DEVELOPMENT  
1620 W LAKE STREET  
MINNEAPOLIS, MN

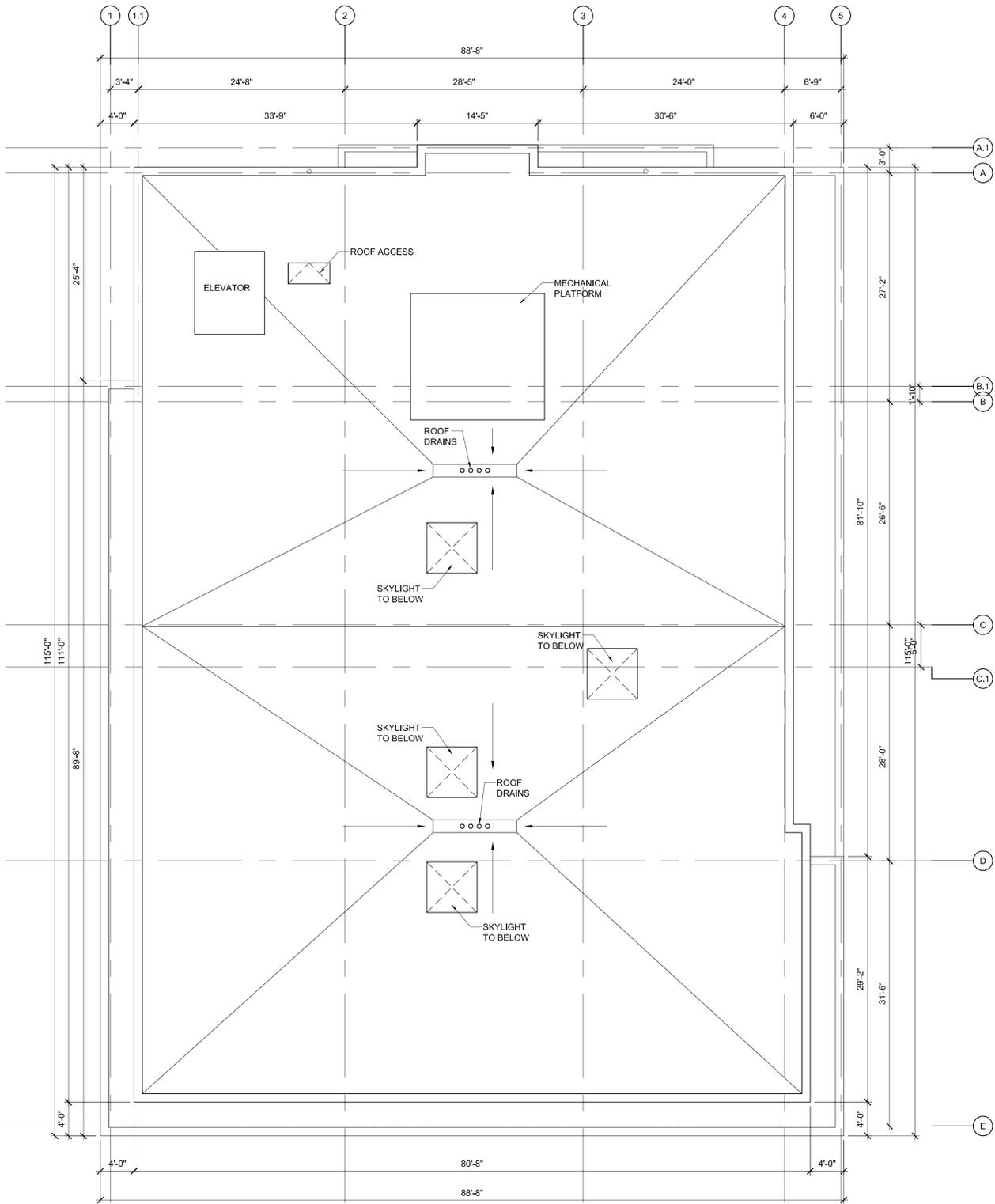
DESCRIPTION	DATE
SD	01.24.14
SD	02.04.14
PDR SUBMITTAL	02.14.14
GENERAL LAND USE APPLICATION	03.20.14

THIRD FLOOR PLAN

A-103

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1 ROOF PLAN  
 A104 SCALE: 1/8" = 1'-0"

**P/K**  
**PETERSEN/KELLER**  
*architecture*  
 1610 W LAKE ST  
 MINNEAPOLIS, MN 55408  
 612.353.4920

**LEAF**  
**DESIGN**  
**STUDIO**  
 1415 N 17TH STREET  
 BISMARCK, ND 58501  
 701.258.7094

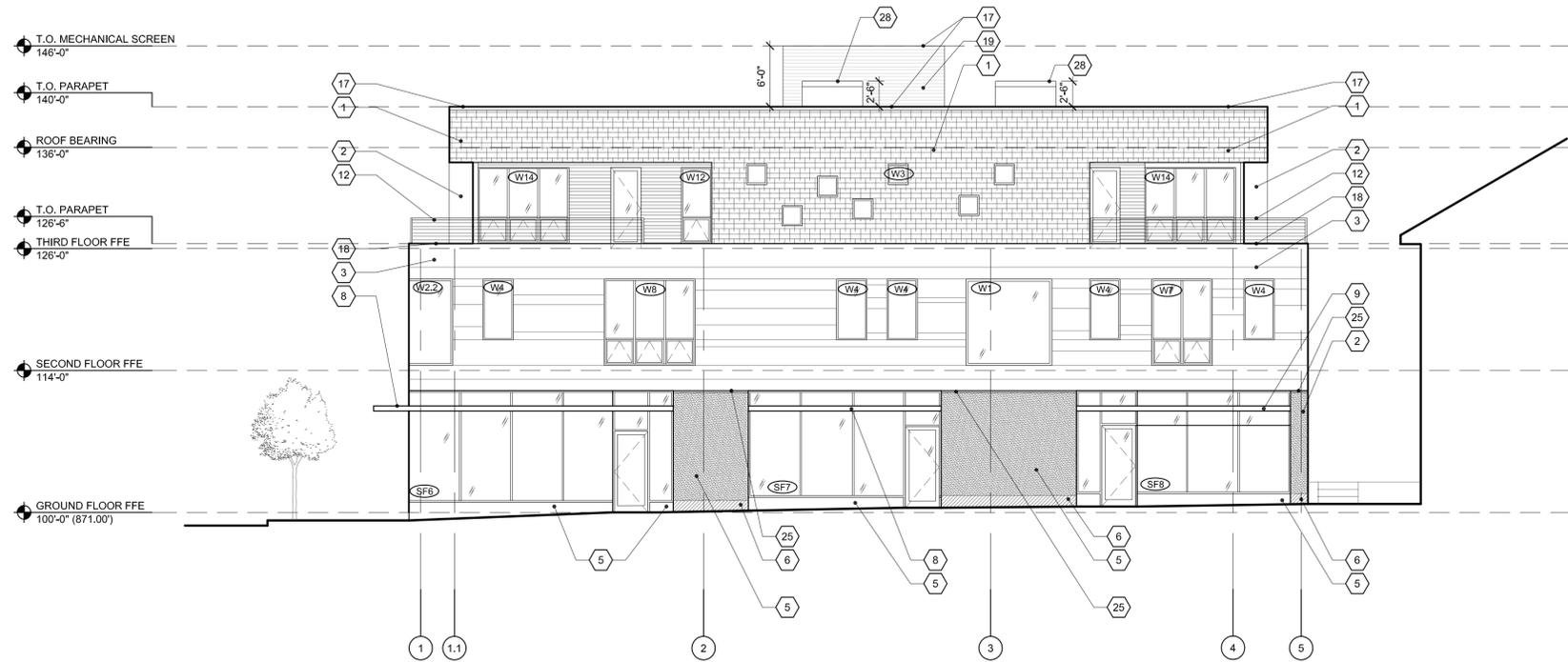
**CPM**  
**DEVELOPMENT**  
 2919 KNOX AVE. S. SUITE 200  
 MINNEAPOLIS, MN 55408  
 612.843.4888

**REUTERWALTON**  
**COMMERCIAL**  
 1516 W LAKE ST  
 MINNEAPOLIS, MN 55408  
 612.823.3489

**16TWENTY DEVELOPMENT**  
 1620 W Lake Street  
 MINNEAPOLIS, MN

DESCRIPTION	DATE
SD	01.24.14
SD	02.04.14
PDR SUBMITTAL	02.14.14
GENERAL LAND USE APPLICATION	03.20.14

NOT FOR CONSTRUCTION



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

NOTES

- 1 METAL PANEL 'A' - SEE SPEC
- 2 METAL PANEL 'B' - SEE SPEC.
- 3 STONE 'A' - SEE SPEC.
- 4 WD. CEDAR SIDING - SEE SPEC
- 5 CONCRETE SILL 'A'
- 6 CONCRETE SILL 'B'
- 7 BIKE RACK
- 8 PREFINISHED METAL CANOPY
- 9 ALUMINUM SUN LOUVER
- 10 ALUMINUM DIMENSIONAL LETTERING SIGN
- 11 NOT USED
- 12 CABLE GUARDRAIL
- 13 HANGING BALCONY W/ CABLE RAIL
- 14 LOCKERS - SEE ELEVATIONS - ALTERNATE G-3 - CASEWORK AND LOCKERS
- 15 OVERHEAD GARAGE DOOR
- 16 VINYL ADDRESS SIGN - TYP. - SEE SPEC.
- 17 PREFINISHED METAL FLASHING 'A'
- 18 PREFINISHED METAL FLASHING 'B'
- 19 FIBER CEMENT SIDING
- 20 C.M.U. BLOCK - PAINTED
- 21 LANDSCAPE FEATURE - SEE A101 FOR PLANTING INFORMATION
- 22 PREFINISHED MECHANICAL LOUVER
- 23 ROOFTOP MECHANICAL SCREEN
- 24 TENANT SIGN - N.I.C.
- 25 PREFINISHED REVEAL - HORIZONTAL
- 26 PREFINISHED REVEAL - VERTICAL
- 27 ELECTRICAL TRANSFORMER
- 28 SKYLIGHT

16 TWENTY DEVELOPMENT  
 1620 W LAKE STREET  
 MINNEAPOLIS, MN

DESCRIPTION	DATE
SD	01.24.14
SD	02.04.14
PDR SUBMITTAL	02.14.14
GENERAL LAND USE APPLICATION	03.20.14

BUILDING ELEVATIONS

A-201

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612.843.4888



1516 W LAKE ST  
MINNEAPOLIS, MN 55408  
612.823.3489





PETERSEN/KELLER  
architecture

REUTER/WALTON  
COMMERCIAL

TENANT SIGN



PETERSEN/KELLER  
architecture



REUTER/WALTON  
COMMERCIAL



TENANT SIGN

116 TWENTY

REUTERWALTON  
COMMERCIAL



PETERSSEN/KELLER  
architecture

CPM  
DEVELOPMENT

REUTERWALTON  
COMMERCIAL



16TWENTY



PETERSEN/KELLER  
architecture



REUTER WALTON  
COMMERCIAL



PETERSSSEN/KELLER  
architecture



REUTER WALTON  
COMMERCIAL



PETERSSEN/KELLER  
architecture





PETERSSEN/KELLER  
architecture



REUTER WALTON  
COMMERCIAL



PETERSEN/KELLER  
architecture



PARTNER WALTON  
COMMERCIAL



PETERSSEN/KELLER  
architecture



REUTER WALTON  
COMMERCIAL

# 16twenty - Elevation Breakdowns

Date: 04-08-2014

South Elevation			
Material	Area (sf)	%	Notes
Metal Panel 'A'	690	19.57%	
Metal Panel 'B'	268	7.60%	
Stone 'A'	961	27.25%	
WD. CEDAR SIDING	93	2.64%	
CONCRETE SILL 'A'	25	0.71%	
CONCRETE SILL 'B'	69	1.96%	
FIBER CEMENT SIDING	96	2.72%	
MECHANICAL LOUVER	0	0.00%	
CMU BLOCK 'PAINTED'	0	0.00%	
Glazing	1,324	37.55%	
<b>Total</b>	<b>3,526</b>	<b>100.00%</b>	

East Elevation			
Material	Area (sf)	%	Notes
Metal Panel 'A'	281	6.47%	
Metal Panel 'B'	16	0.37%	
Stone 'A'	481	11.08%	
WD. CEDAR SIDING	145	3.34%	
CONCRETE SILL 'A'	0	0.00%	
CONCRETE SILL 'B'	32	0.74%	
FIBER CEMENT SIDING	1,725	39.75%	
MECHANICAL LOUVER	13	0.30%	
CMU BLOCK 'PAINTED'	1,137	26.20%	
Glazing	510	11.75%	
<b>Total</b>	<b>4,340</b>	<b>100.00%</b>	

North Elevation			
Material	Area (sf)	%	Notes
Metal Panel 'A'	994	26.57%	
Metal Panel 'B'	76	2.03%	
Stone 'A'	59	1.58%	
WD. CEDAR SIDING	0	0.00%	
CONCRETE SILL 'A'	0	0.00%	
CONCRETE SILL 'B'	6	0.16%	
FIBER CEMENT SIDING	1,504	40.21%	
MECHANICAL LOUVER	7	0.17%	
CMU BLOCK 'PAINTED'	690	18.45%	
Glazing	236	6.31%	
Doors	169	4.52%	
<b>Total</b>	<b>3,741</b>	<b>100.00%</b>	

West Elevation			
Material	Area (sf)	%	Notes
Metal Panel 'A'	1,242	25.22%	
Metal Panel 'B'	16	0.32%	
Stone 'A'	927	18.83%	
WD. CEDAR SIDING	320	6.50%	
CONCRETE SILL 'A'	139	2.82%	
CONCRETE SILL 'B'	28	0.57%	
FIBER CEMENT SIDING	158	3.21%	
MECHANICAL LOUVER	20	0.41%	
CMU BLOCK 'PAINTED'	29	0.59%	
Glazing	2,045	41.53%	
<b>Total</b>	<b>4,924</b>	<b>100.00%</b>	

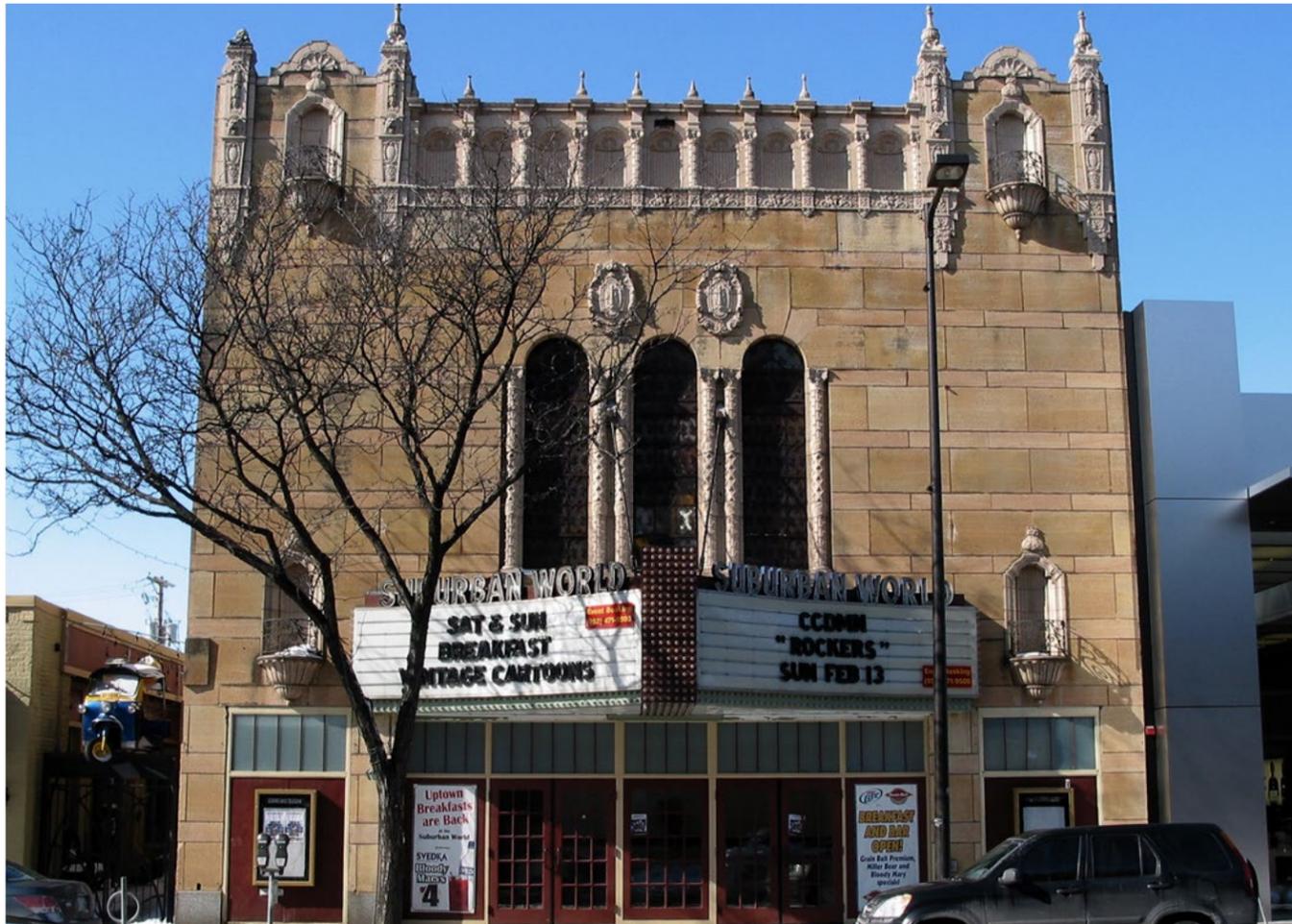


IMAGE SOURCE: [HTTP://MTPMCG.FILES.WORDPRESS.COM/2010/05/SUBURBAN-WORLD-D-FR-MTPMCG211-SM-0495.JPG](http://MTPMCG.FILES.WORDPRESS.COM/2010/05/SUBURBAN-WORLD-D-FR-MTPMCG211-SM-0495.JPG)



IMAGE SOURCE: [HTTP://WWW.VETTERSTONE.COM/WP-CONTENT/UPLOADS/2013/12/NORTHERN-PINK-BUFF-VEINE-HONED-JANUARY-EDIT-1024X1018.JPG](http://WWW.VETTERSTONE.COM/WP-CONTENT/UPLOADS/2013/12/NORTHERN-PINK-BUFF-VEINE-HONED-JANUARY-EDIT-1024X1018.JPG)



IMAGE SOURCE: [HTTP://UPLOAD.WIKIMEDIA.ORG/WIKIPEDIA/COMMONS/7/70/WCCO-ATT-MINNEAPOLIS-2005.JPG](http://UPLOAD.WIKIMEDIA.ORG/WIKIPEDIA/COMMONS/7/70/WCCO-ATT-MINNEAPOLIS-2005.JPG)



IMAGE SOURCE: [HTTP://STMEDIA.STARTRIBUNE.COM/IMAGES/OWS\\_137359763034838.JPG](http://STMEDIA.STARTRIBUNE.COM/IMAGES/OWS_137359763034838.JPG)



IMAGE SOURCE: PETERSSEN/KELLER ARCHITECTURE



HTTP://FILES.ARROWAY-TEXTURES.DE/CATALOG/IMAGES/MAPS/PREVIWS/PREVIEW\_WOOD-083\_CEDAR-WESTERN-RED-2-LIGHT\_D.JPG



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IMAGE SOURCE: [HTTP://STMEDIA.STARTRIBUNE.COM/IMAGES/630\\*420/1GLANCE1218.JPG](http://stmedia.startribune.com/images/630*420/1glance1218.jpg)



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IMAGE SOURCE: [HTTP://WW1.PRWEB.COM/PRFILES/2012/05/30/9558887/ELEMENT-WALL-PANELS.JPG](http://ww1.prweb.com/prfiles/2012/05/30/9558887/element-wall-panels.jpg)

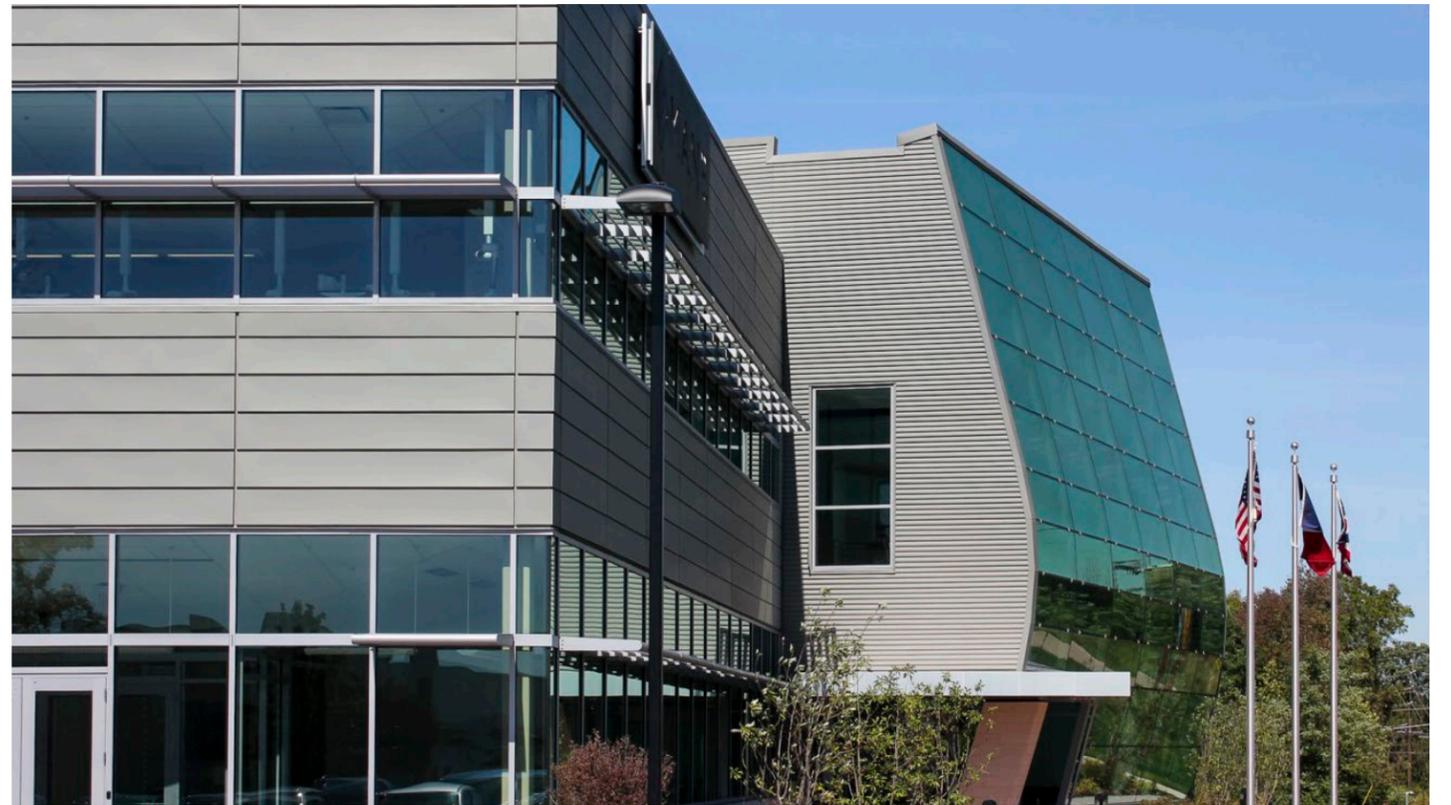


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IMAGE SOURCE: [HTTP://NICHIIA.COM/IMAGES/UPLOADS/SIERA-PREMIUM-SMOOTH-RESIDENTIAL-3.JPG](http://NICHIIA.COM/IMAGES/UPLOADS/SIERA-PREMIUM-SMOOTH-RESIDENTIAL-3.JPG)



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IMAGE SOURCE: [HTTP://WWW.DERCOLEGLASS.COM/FRAMELESS\\_123\\_1\\_.JPG](http://www.dercoleglass.com/frameless_123_1_.jpg)



IMAGE SOURCE: [HTTP://BUILDIPEDIA.COM/IMAGES/MASTERFORMAT/CHANNELS/AT\\_HOME/GRANVILLE\\_RESIDENCE/EXTERIORS/GLASS\\_FACADE.JPG](http://buildipedia.com/images/masterformat/channels/at_home/granville_residence/exterior/glass_facade.jpg)



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IMAGE SOURCE: [HTTP://WWW.ALLIEDCONCRETE.COM/WP-CONTENT/GALLERY/CMU039S/SFSMITH\\_061214\\_2108.GIF](http://www.alliedconcrete.com/wp-content/gallery/cm039s/sfsmith_061214_2108.gif)

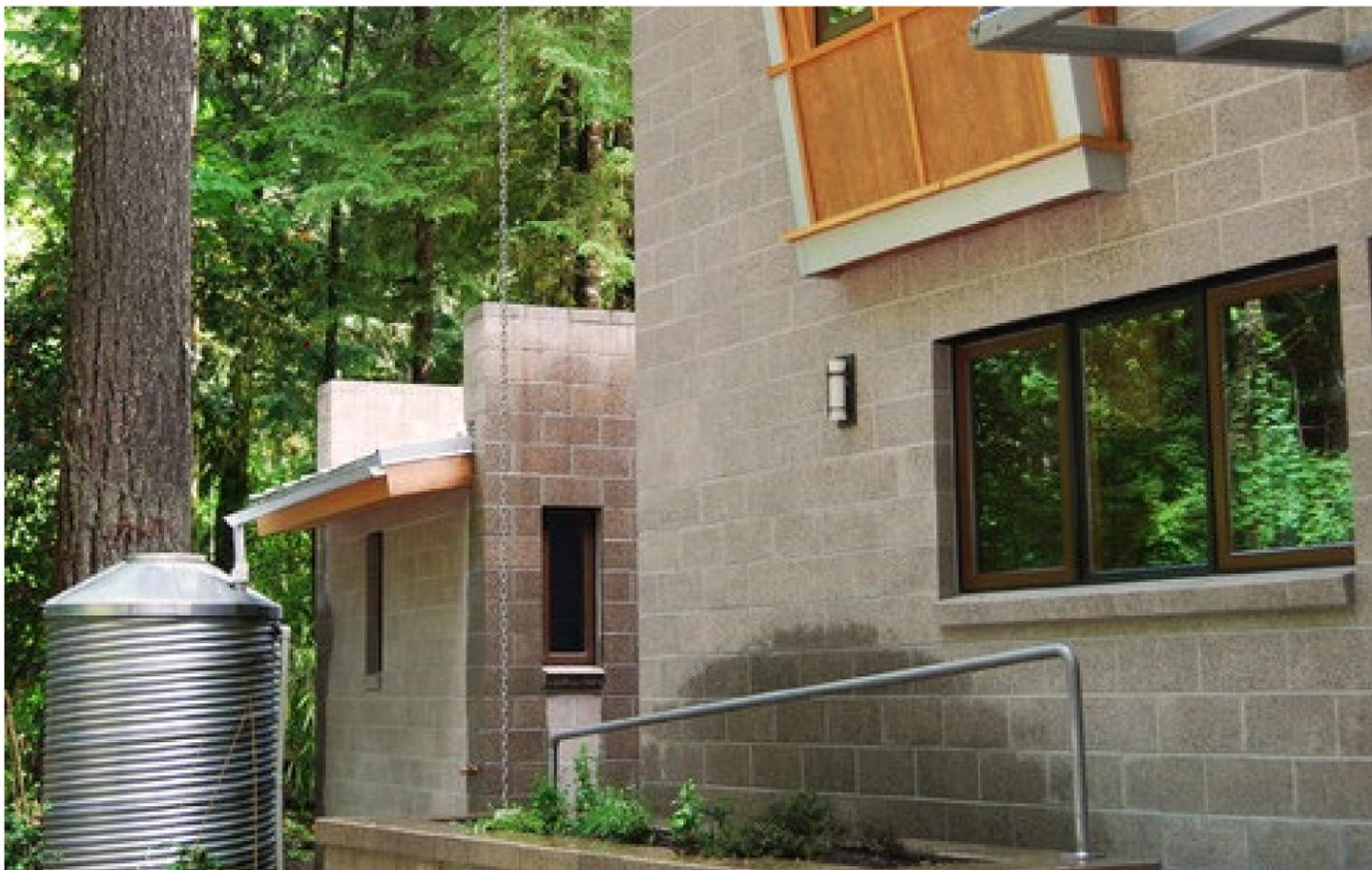


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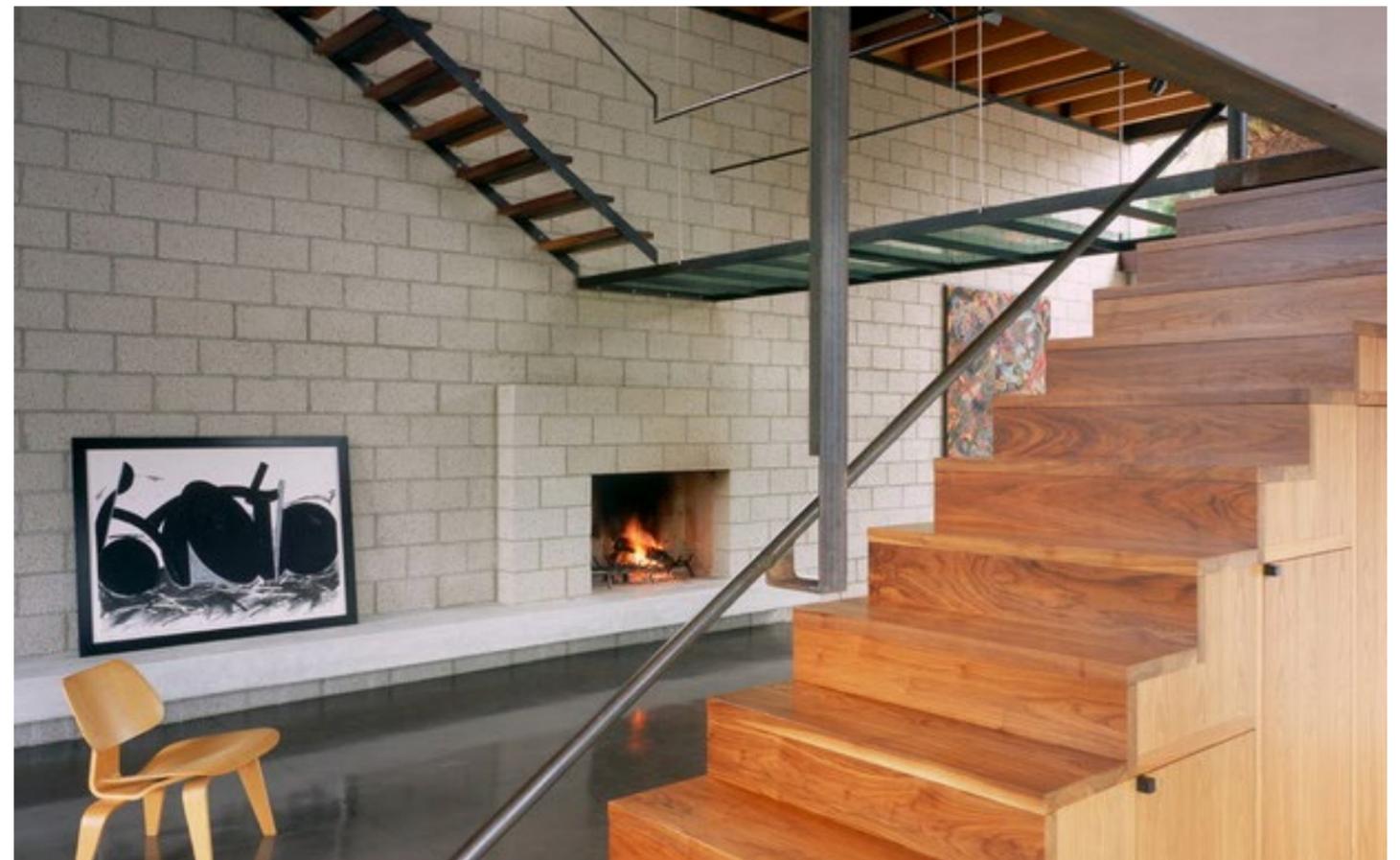
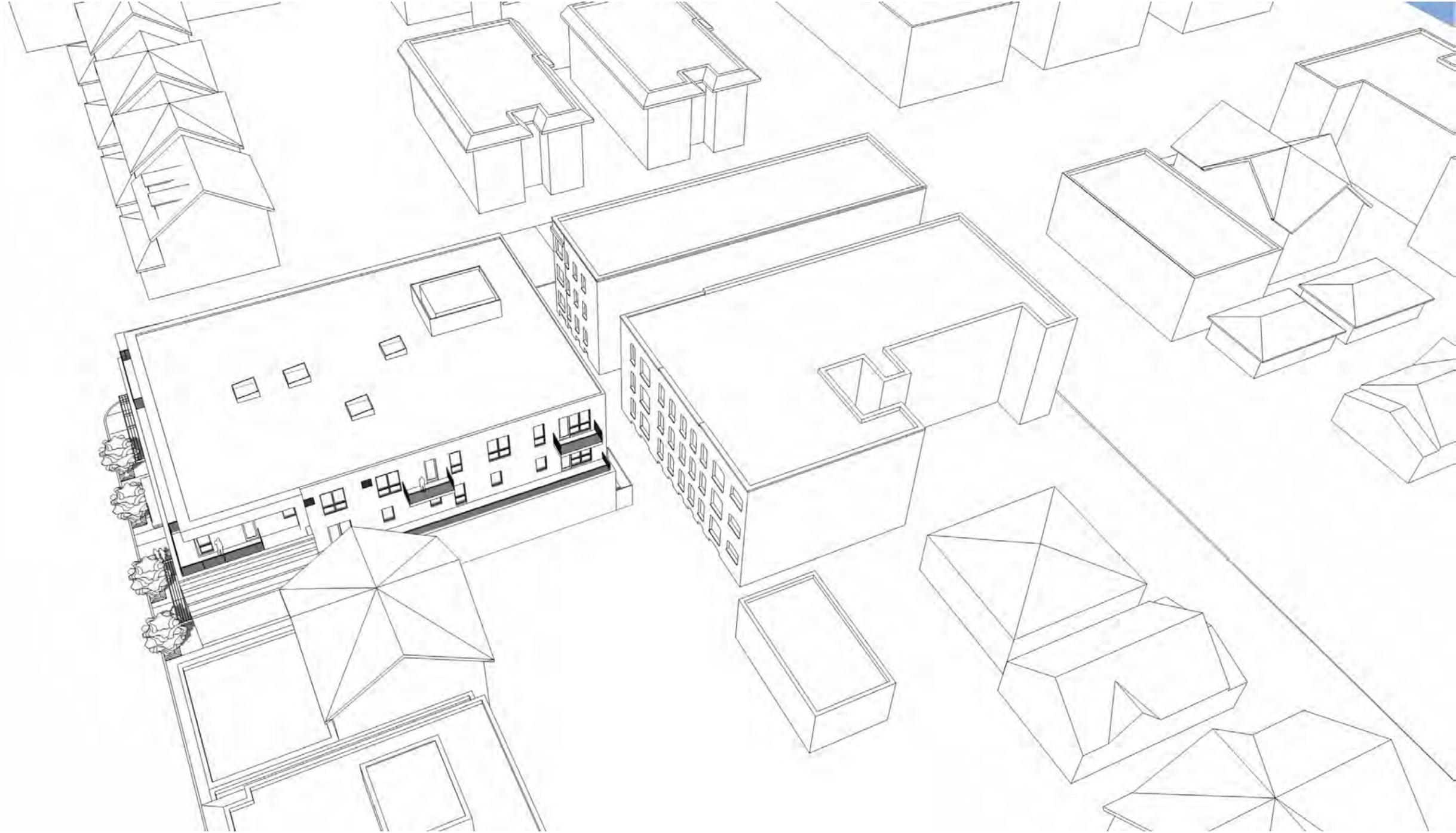


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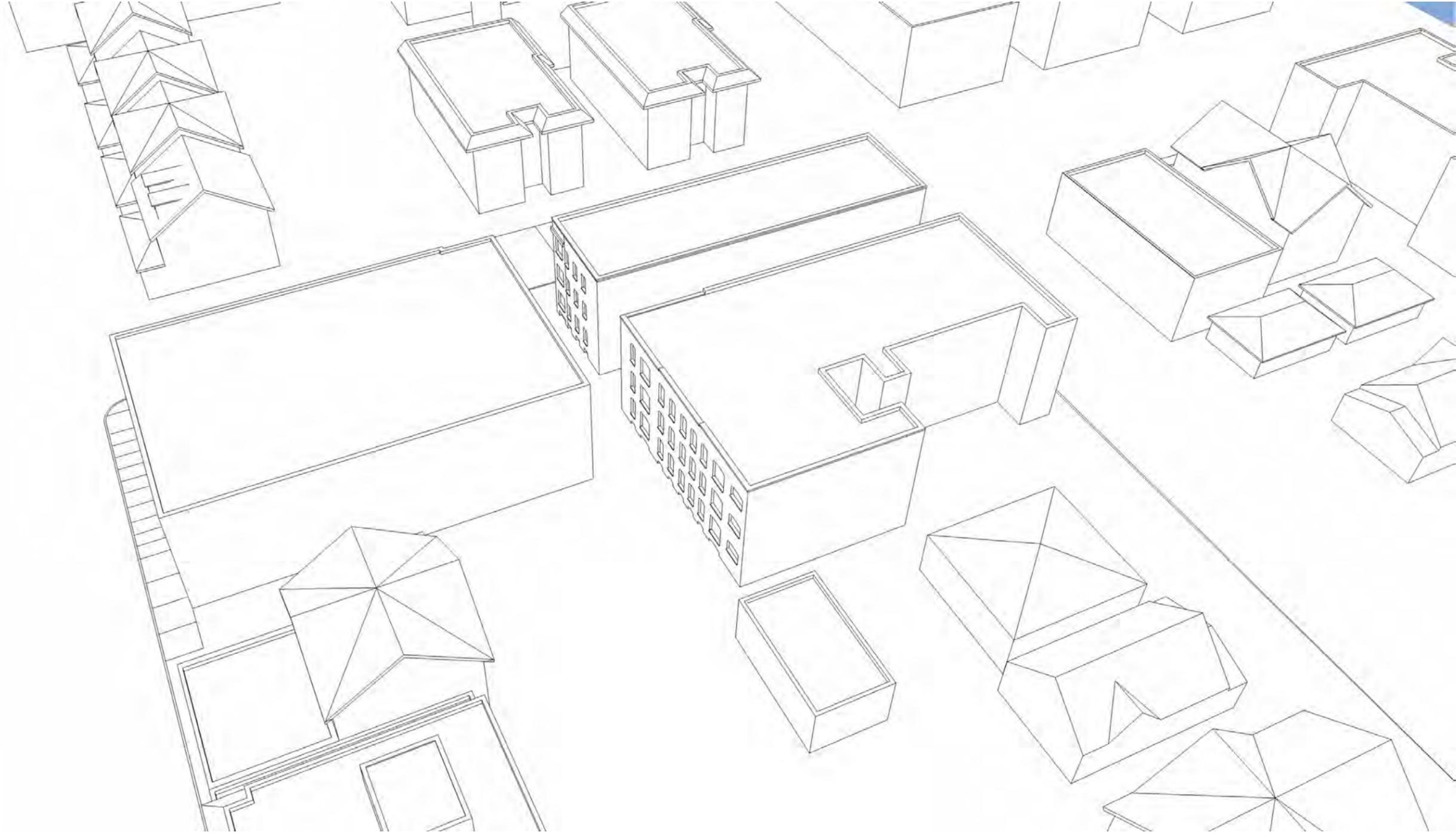
## 16TWENTY DEVELOPMENT - SHADOWING STUDY

This document studies the shadowing impact of the proposed 16twenty Development through the year at different times of day. The following pages compare the shadows cast by the proposed massing to those cast by a building that would require no varriance or C.U.P. (Conditional Use Permit)

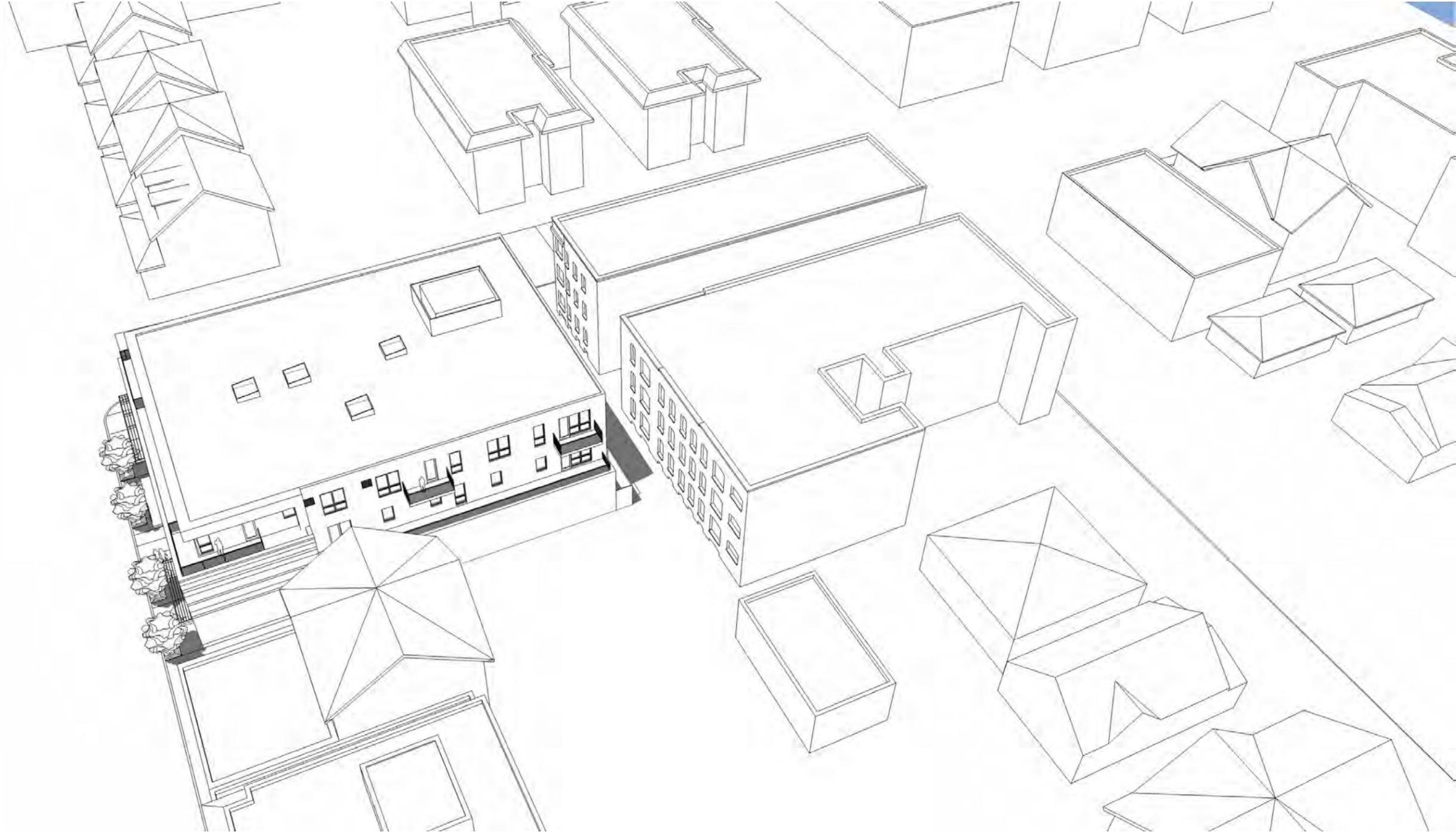




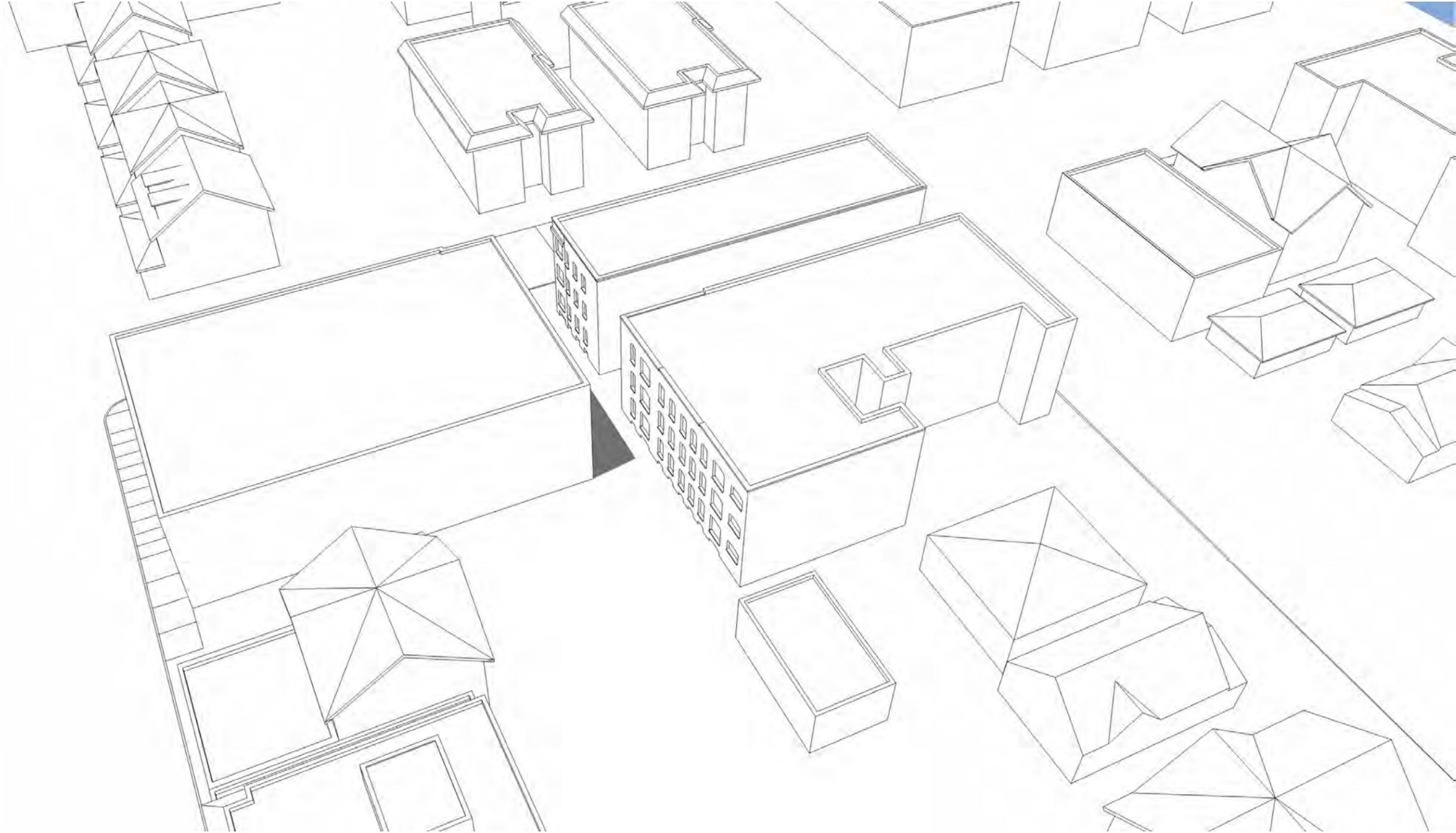
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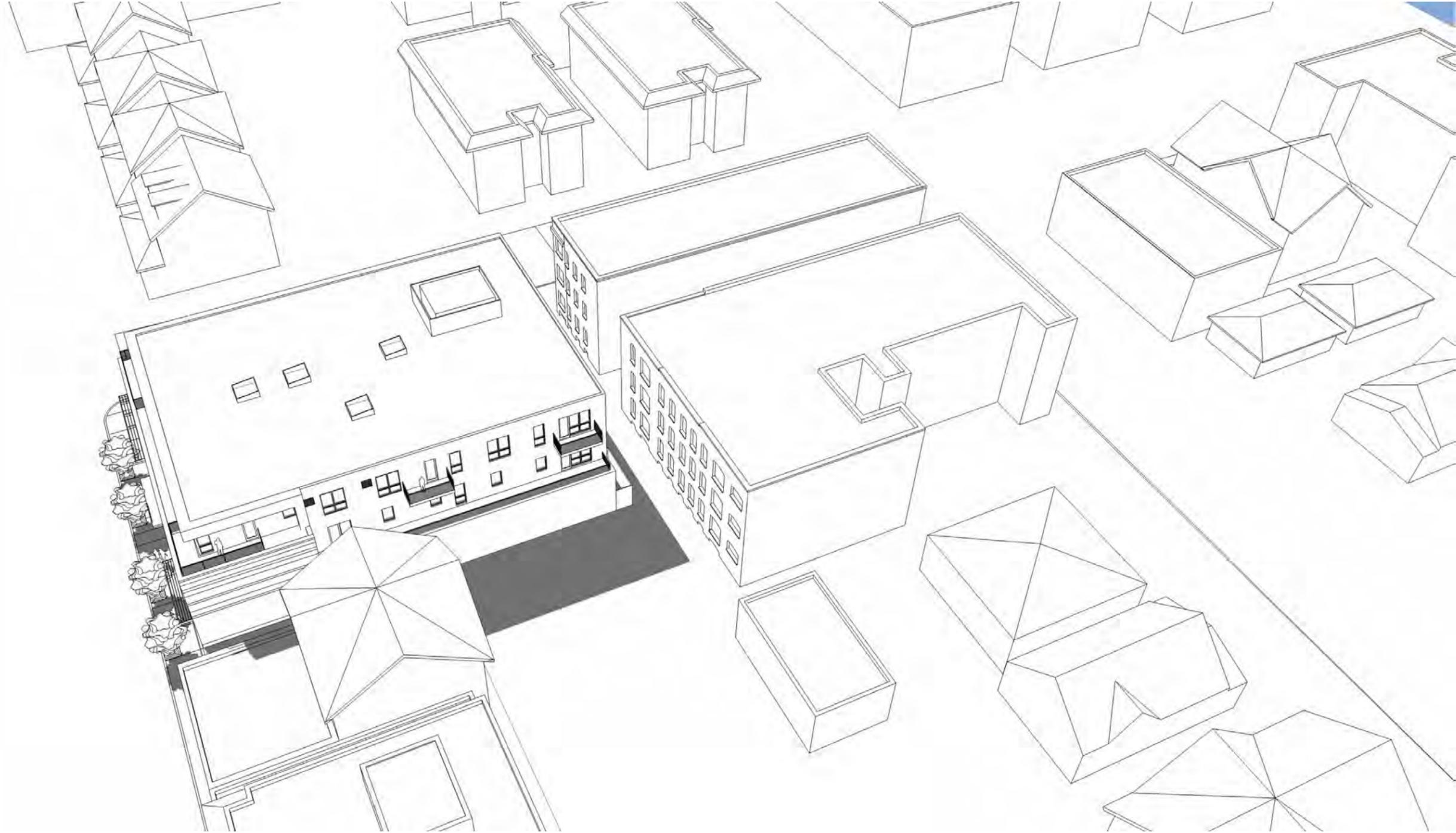
WITHOUT VARIANCE OR CUP - SUMMER SOLSTICE - 9AM



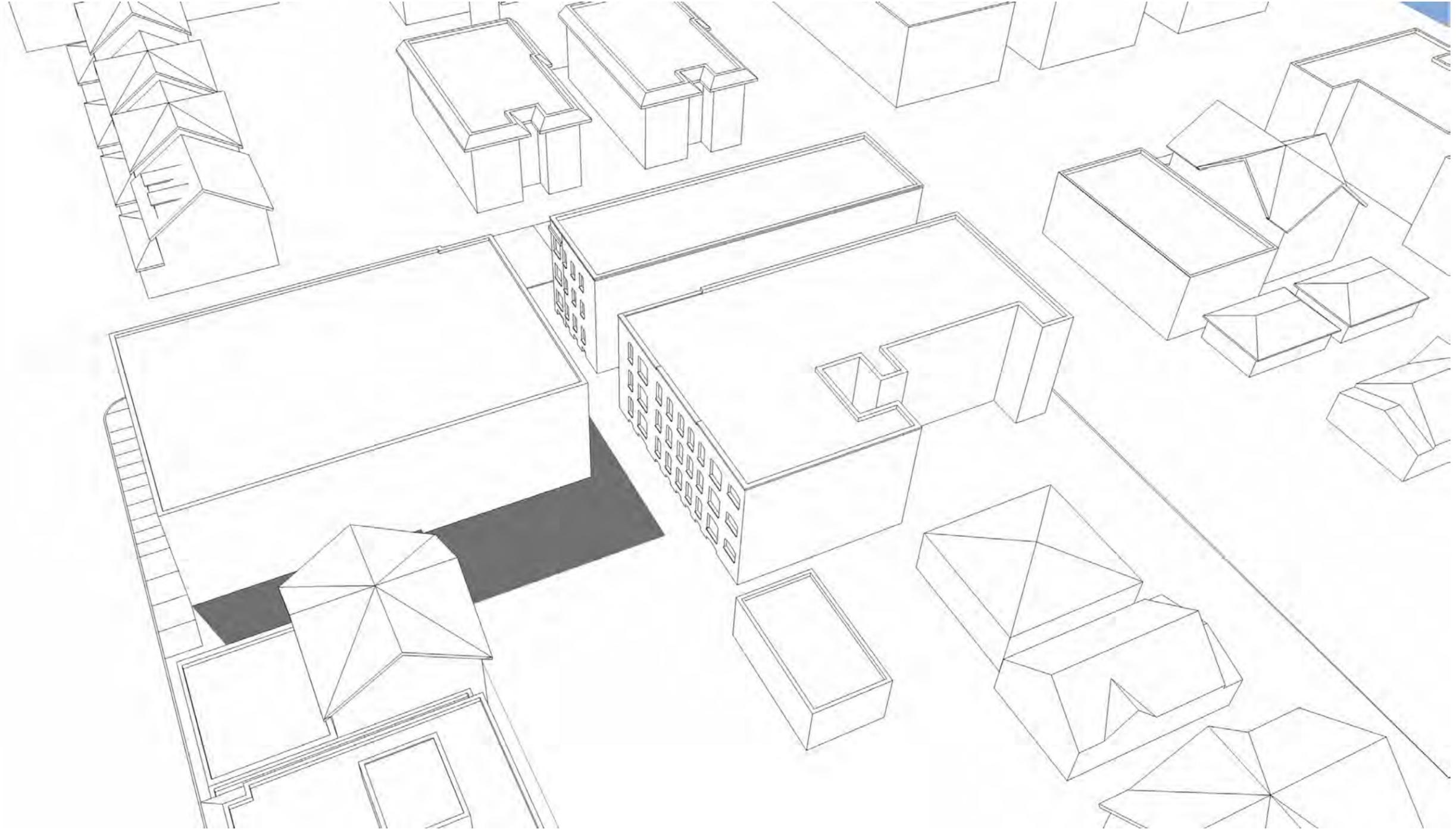
PROPOSED - SUMMER SOLSTICE- 12PM



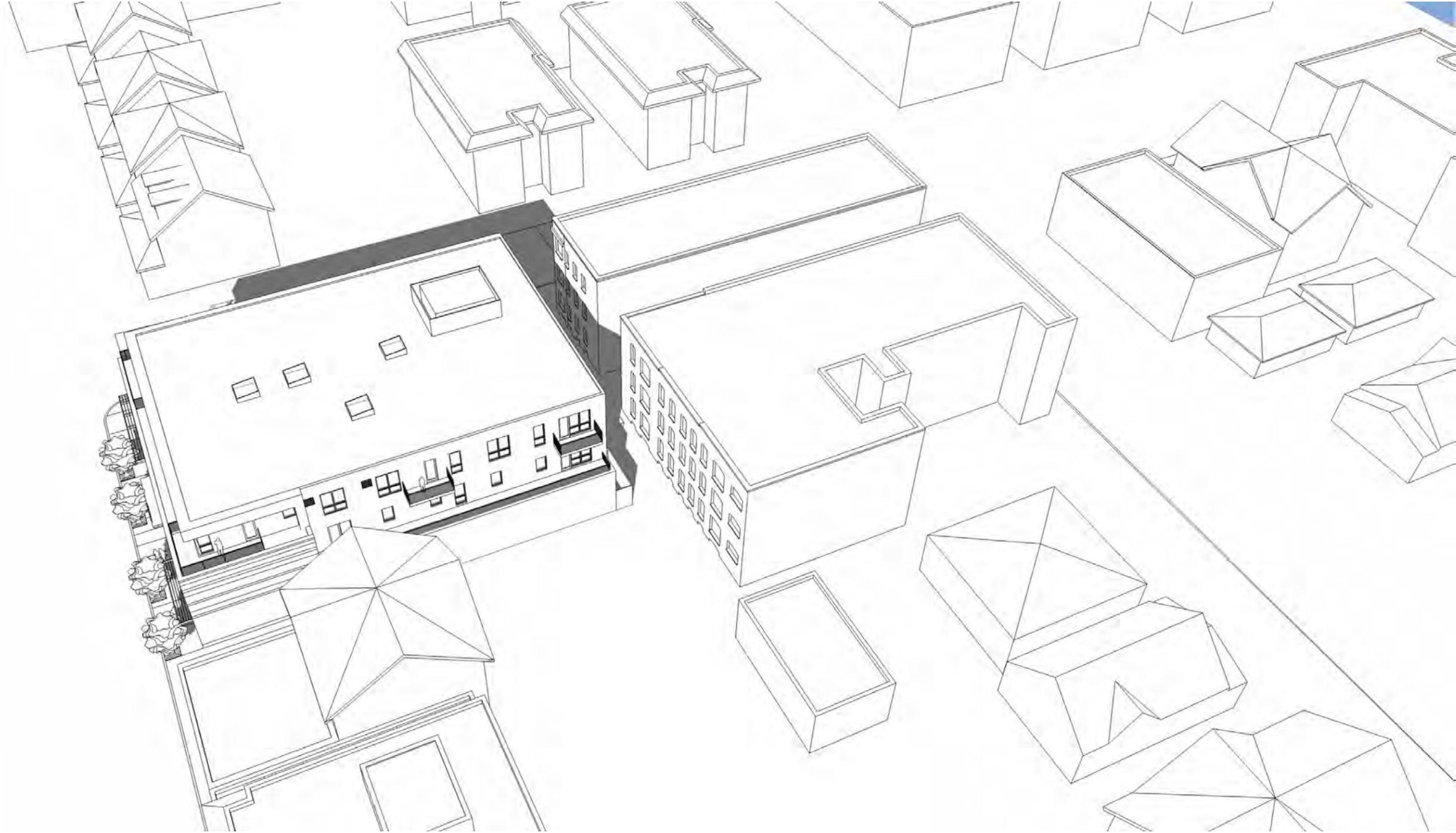
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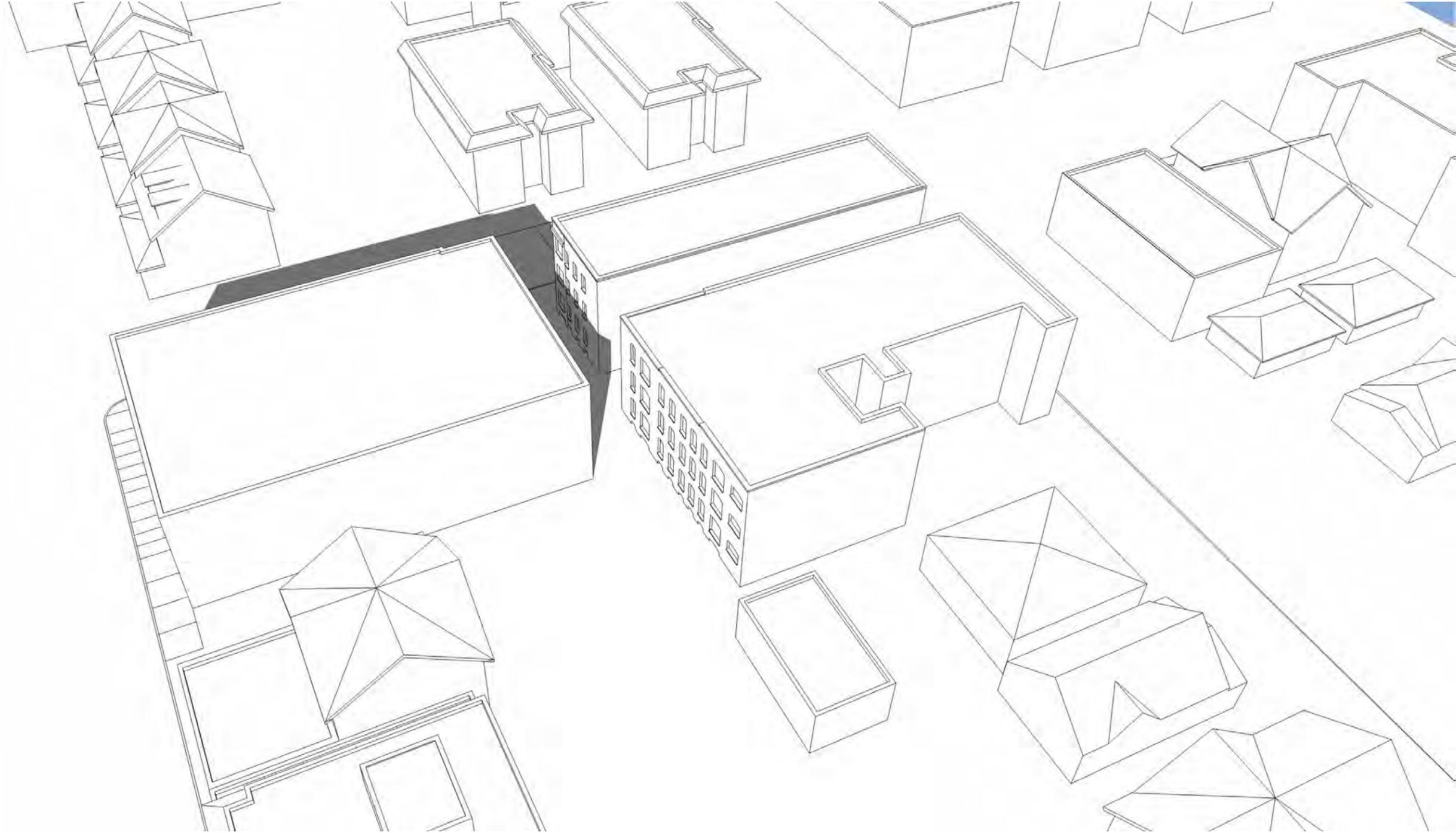
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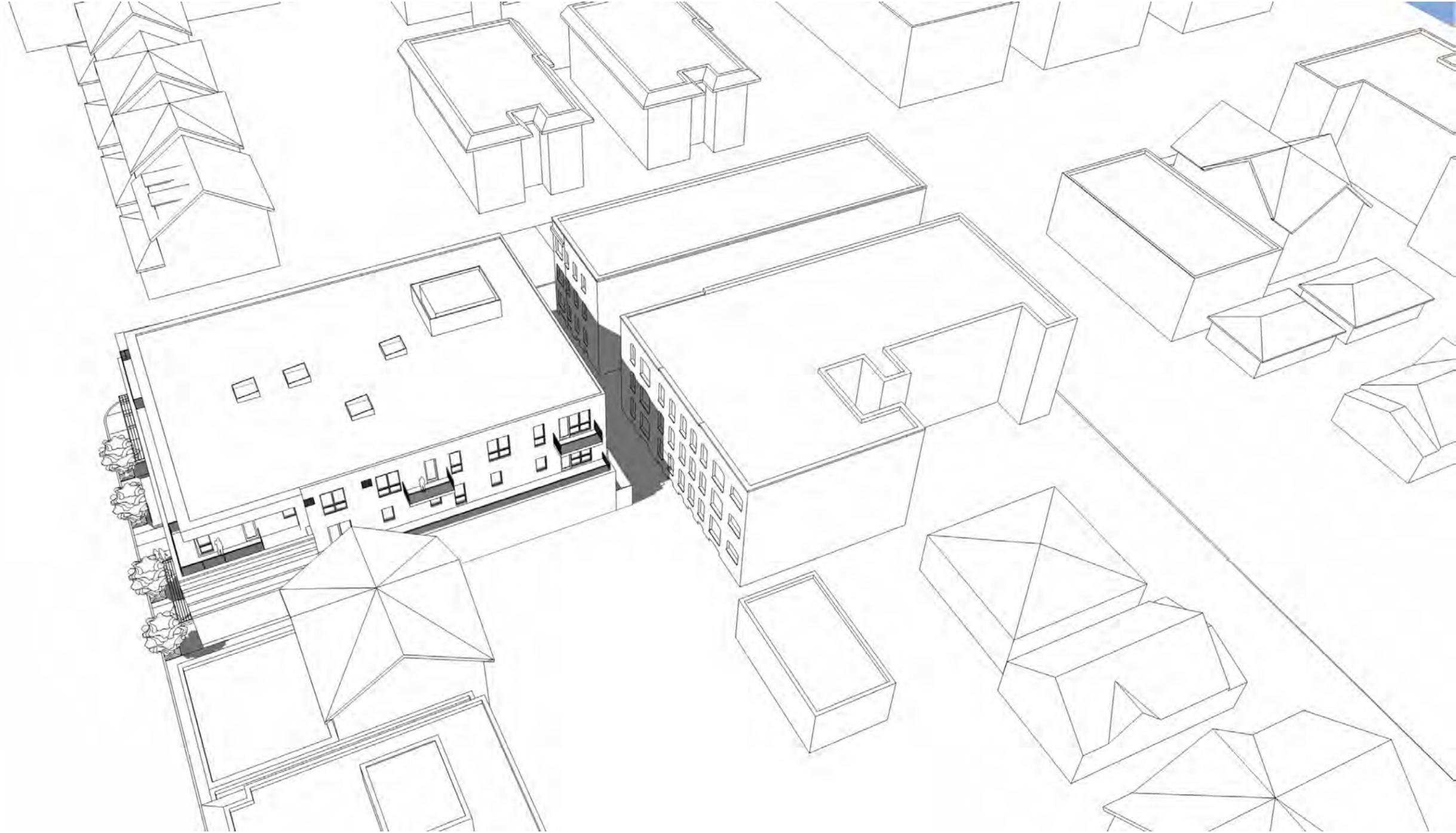
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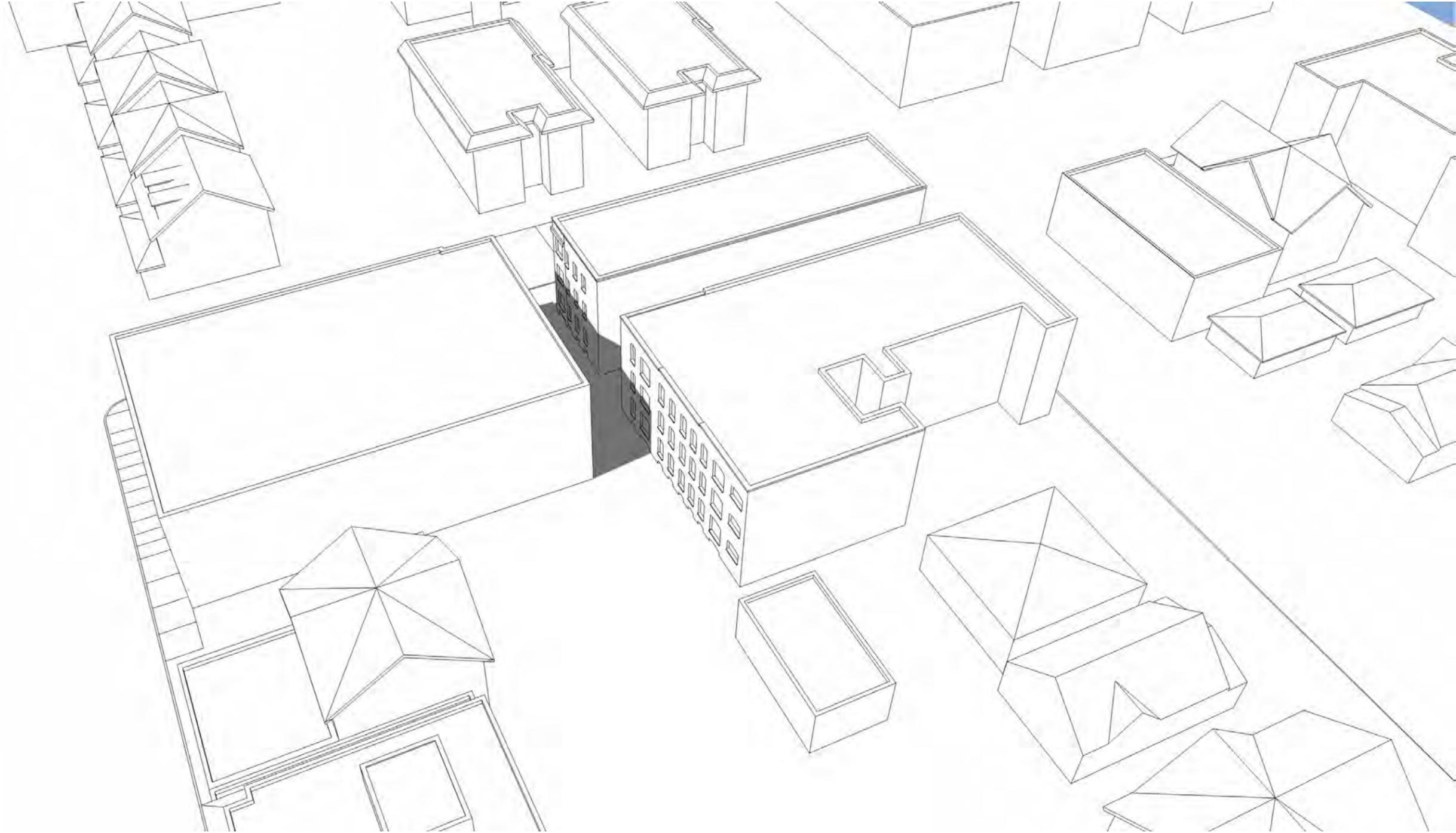
PROPOSED - EQUINOX - 9AM



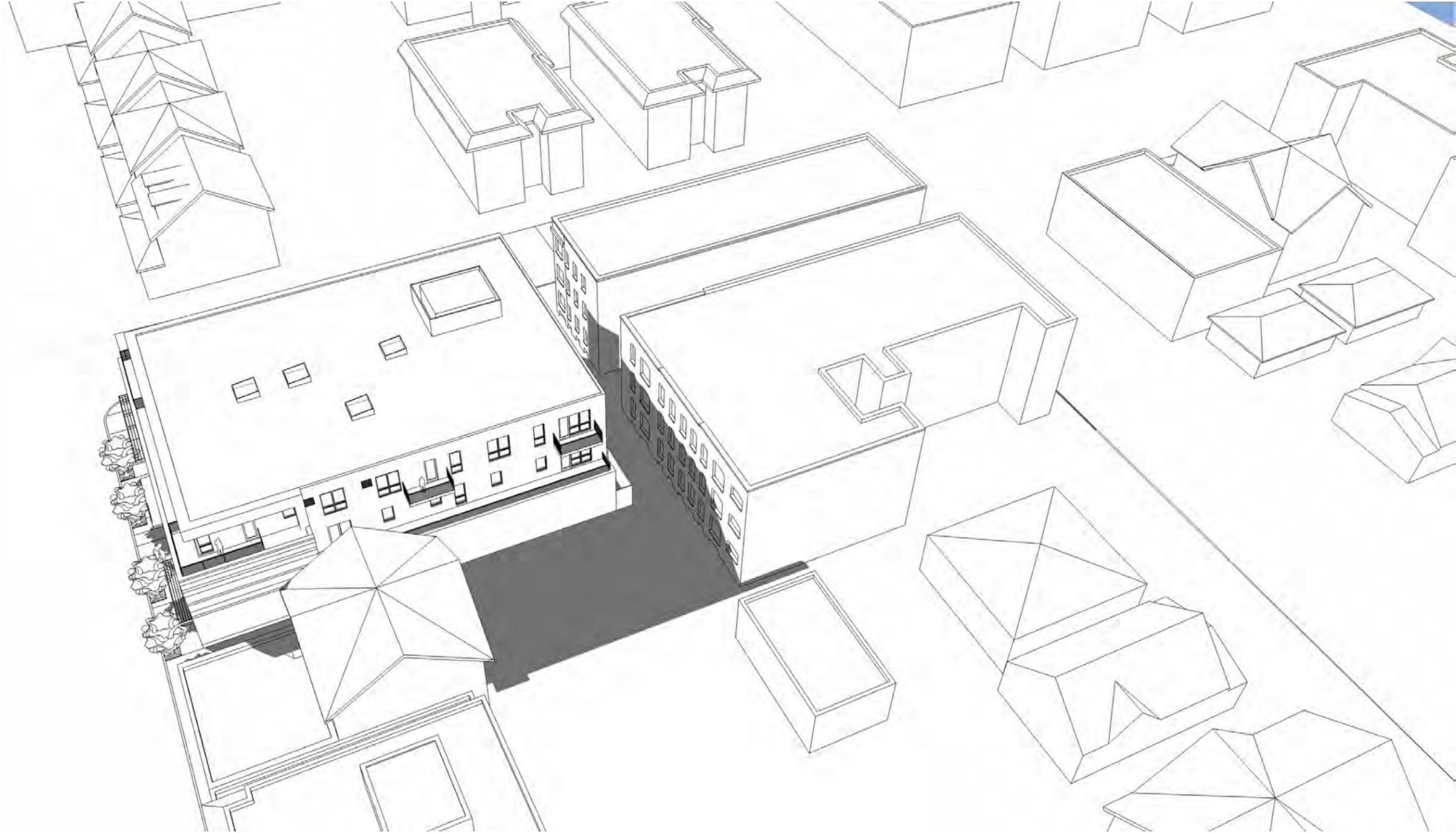
WITHOUT VARIANCE OR CUP - EQUINOX - 9AM



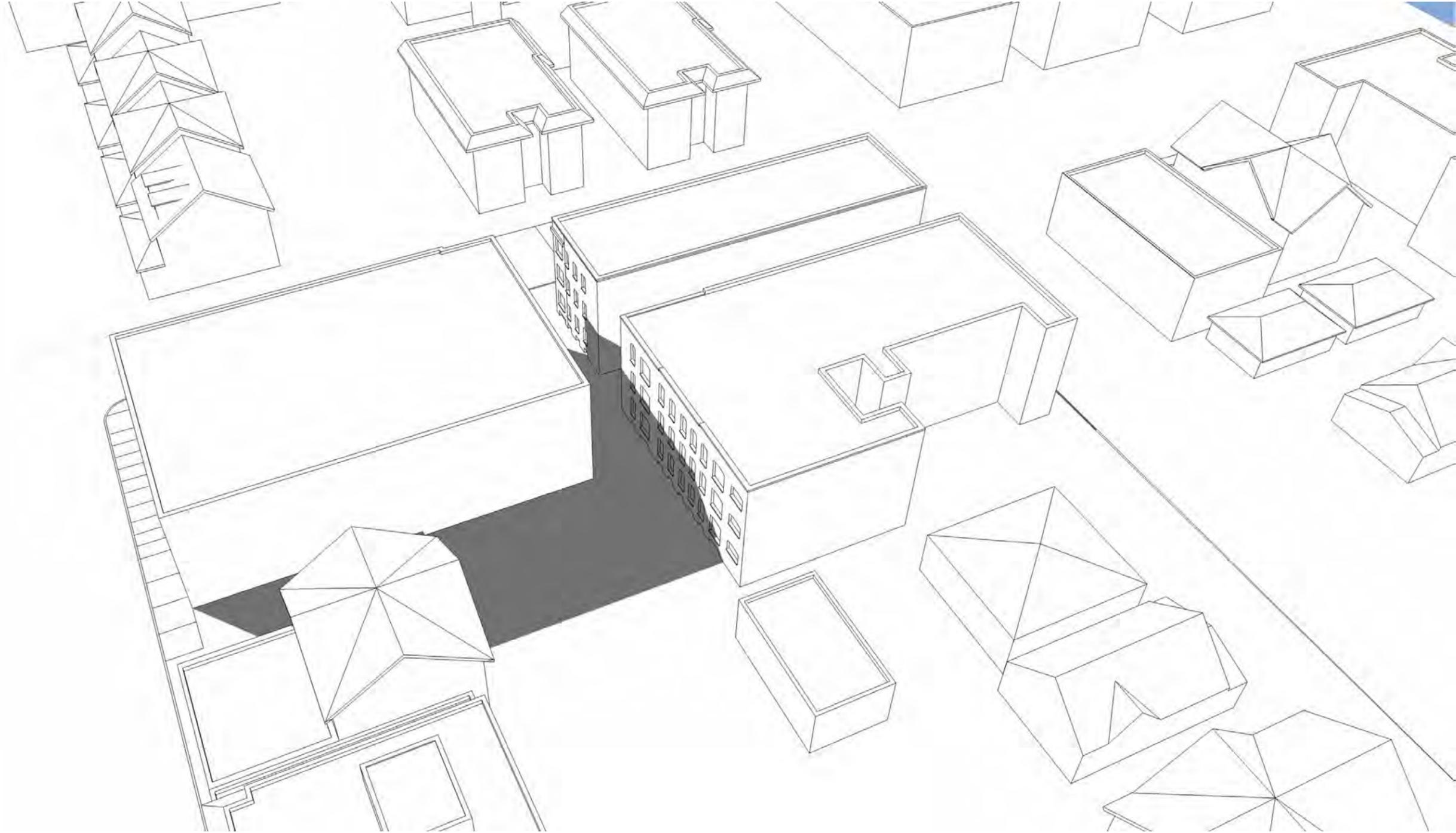
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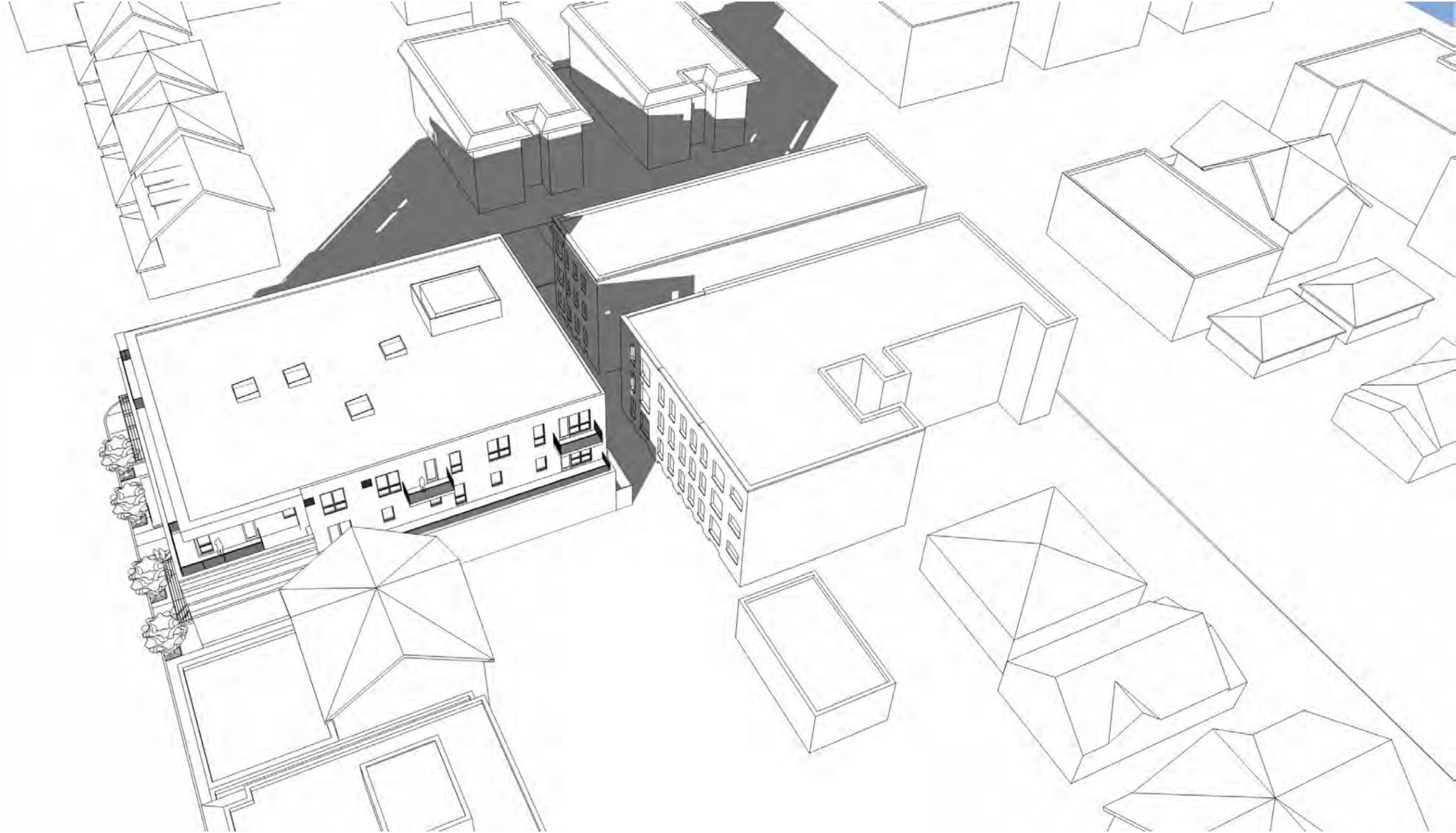
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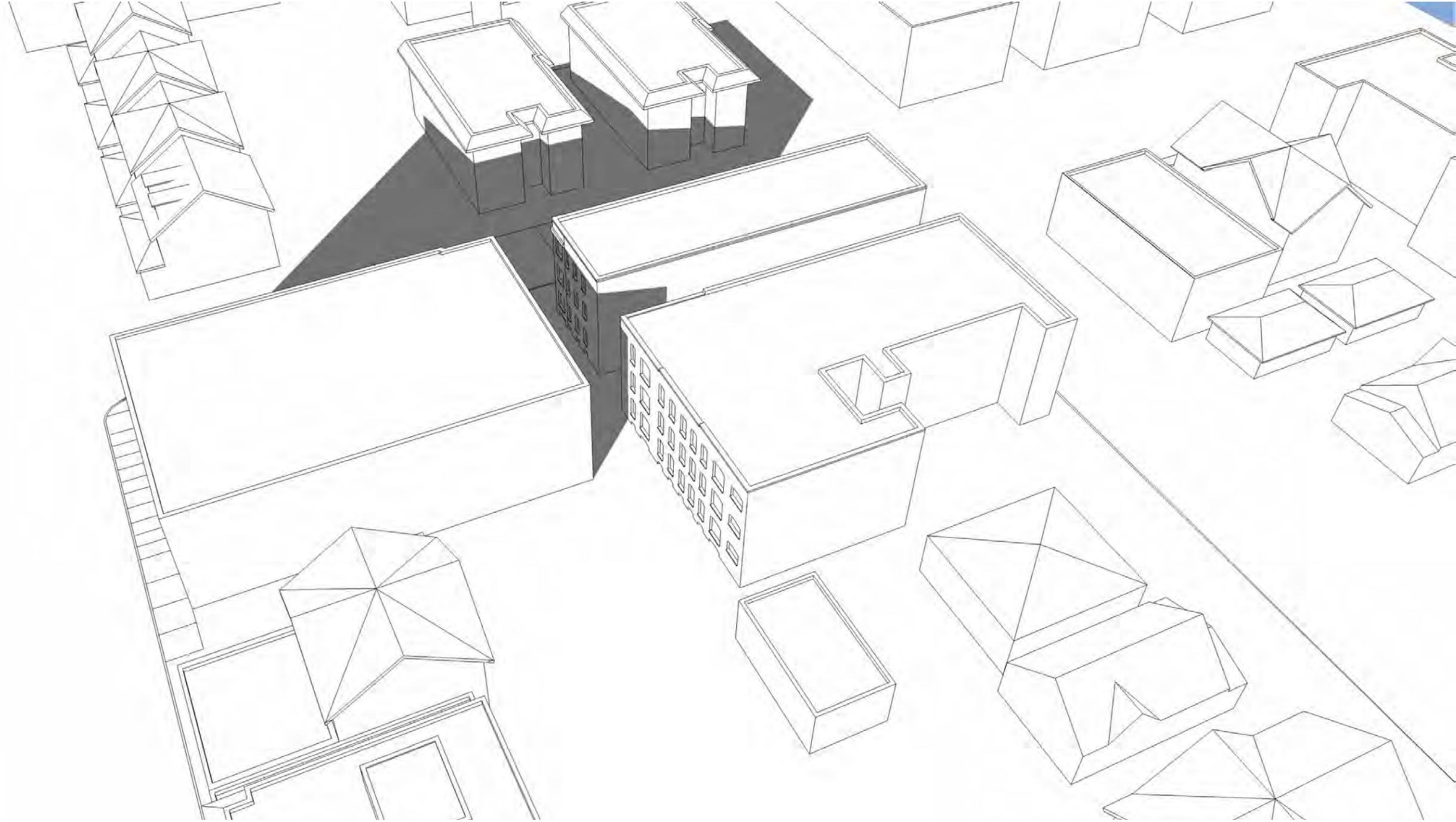
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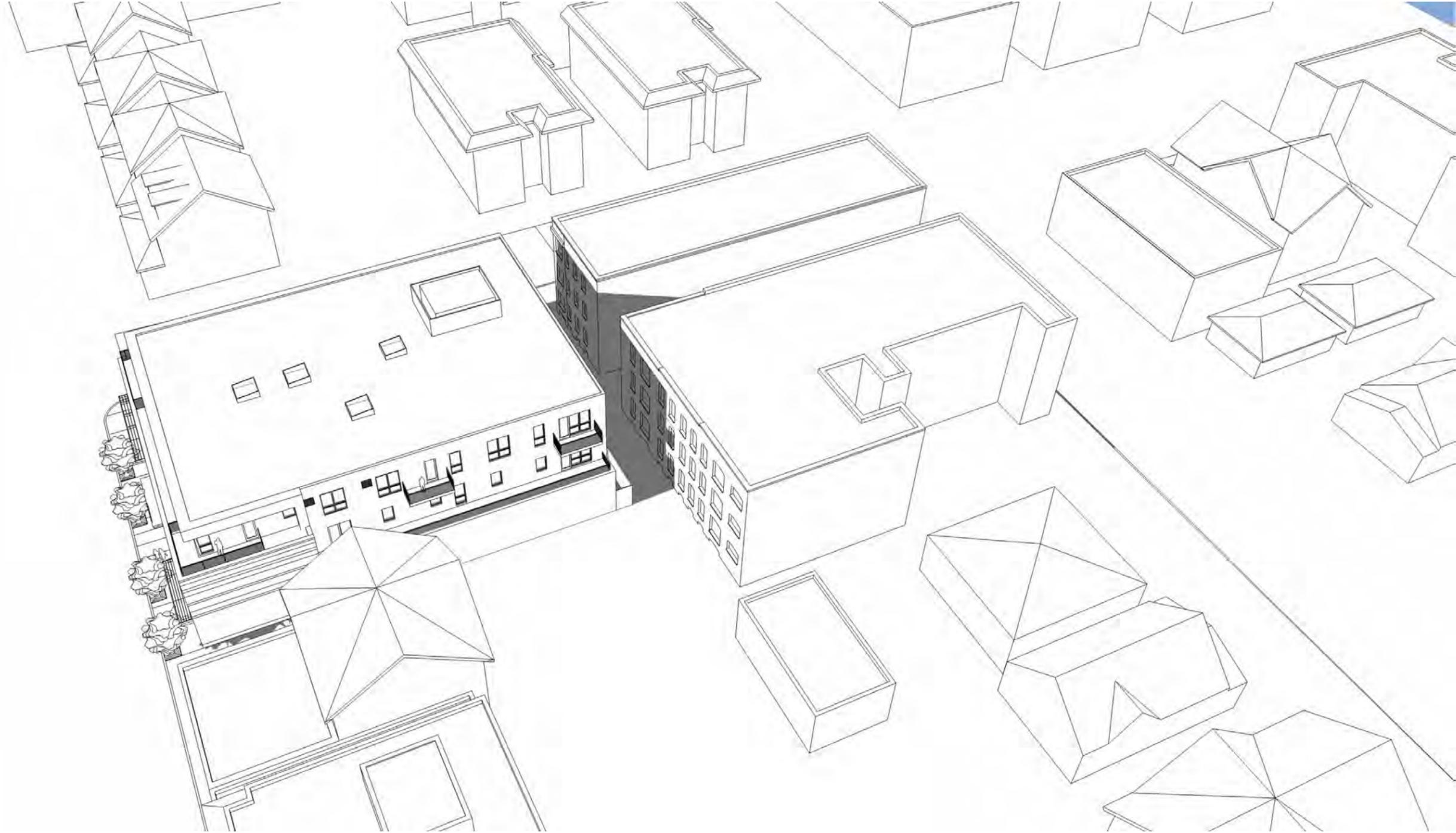
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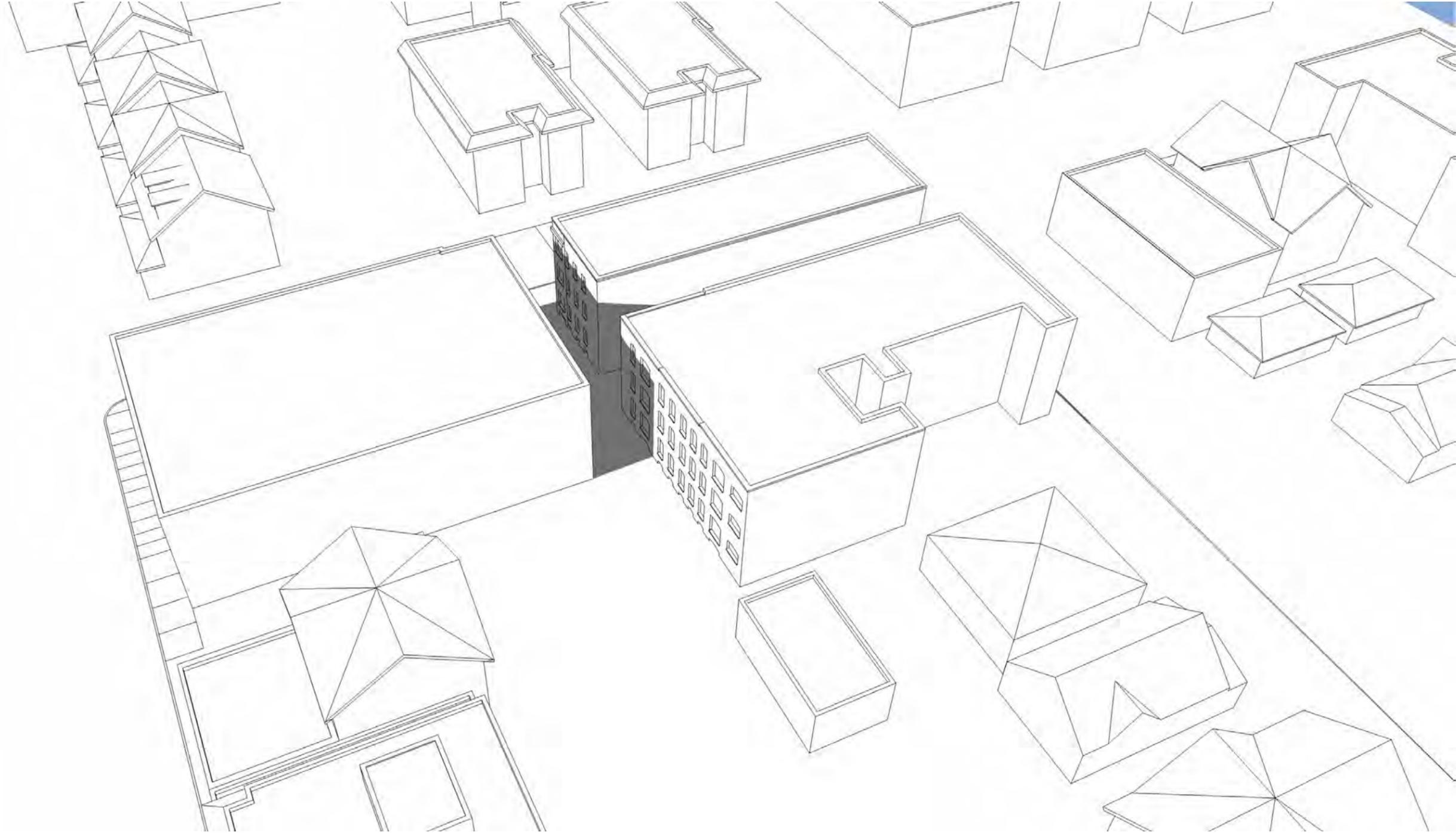
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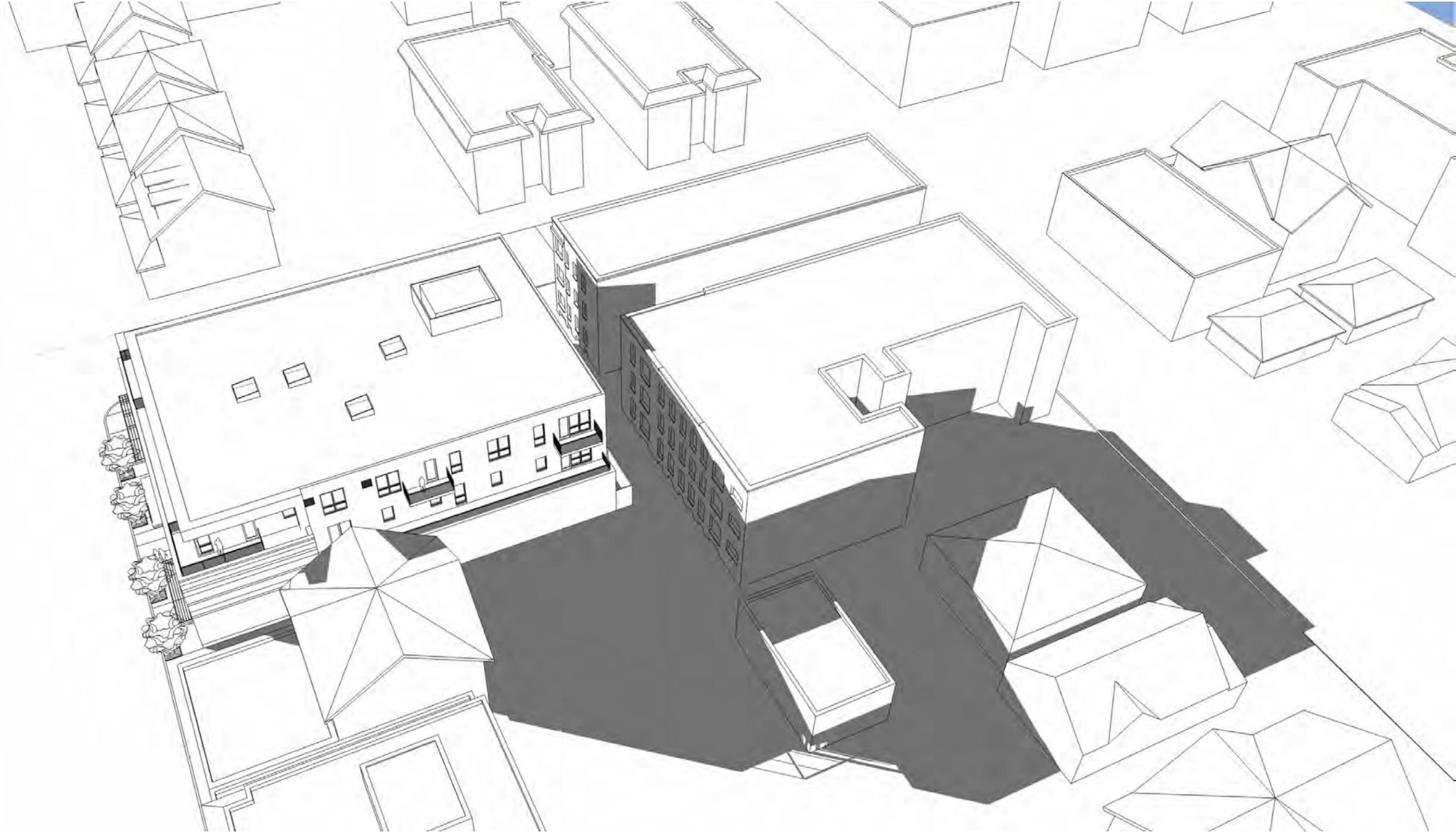
WITHOUT VARIANCE OR CUP - WINTER SOLSTICE - 9AM



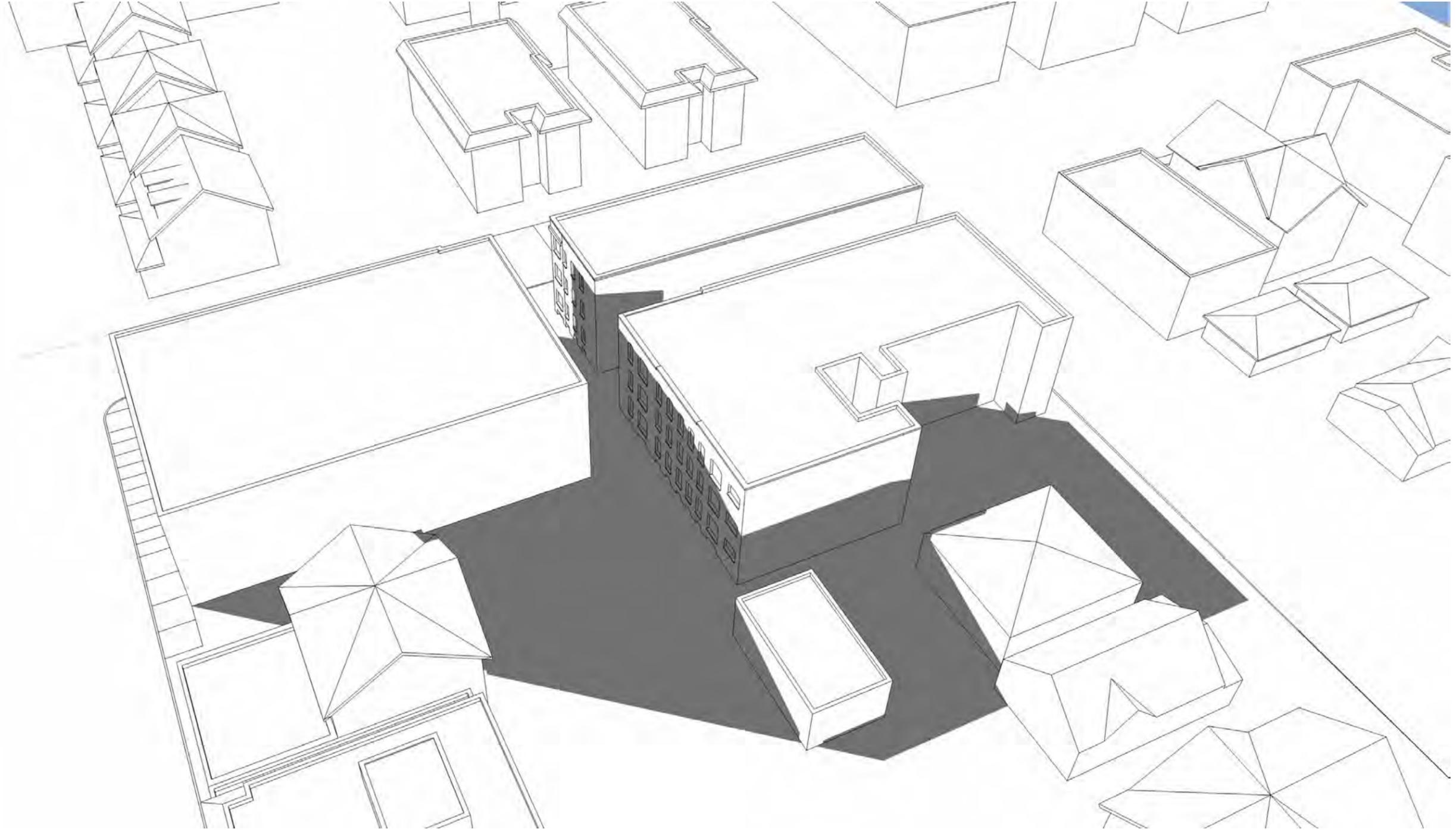
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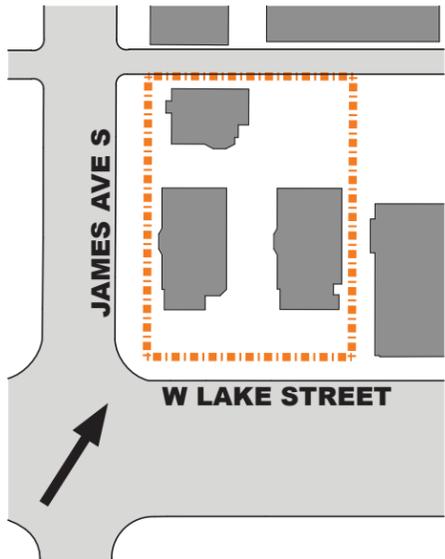
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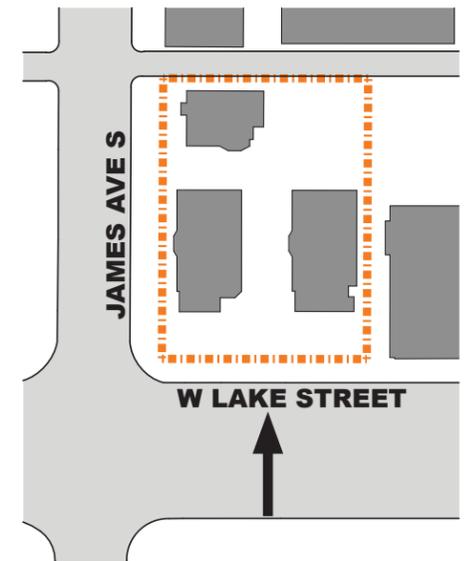


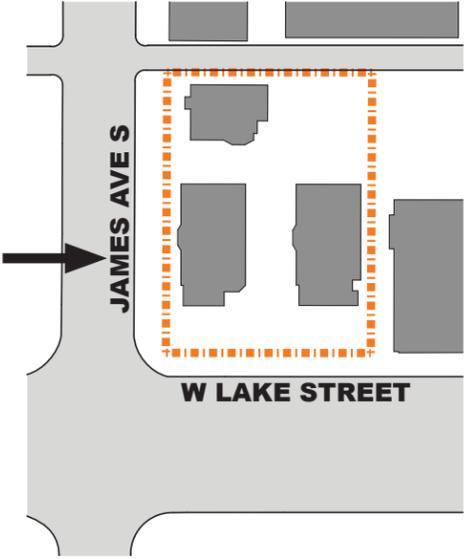
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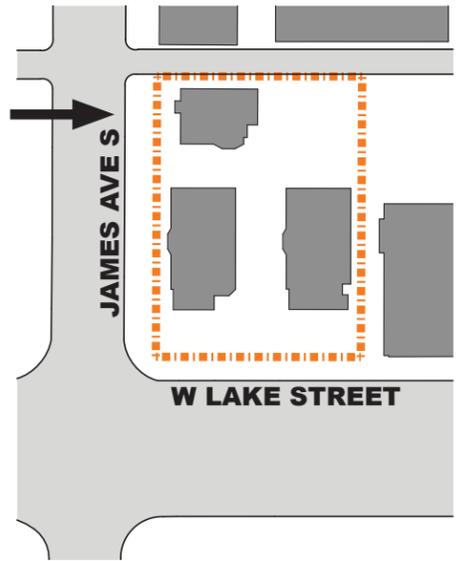


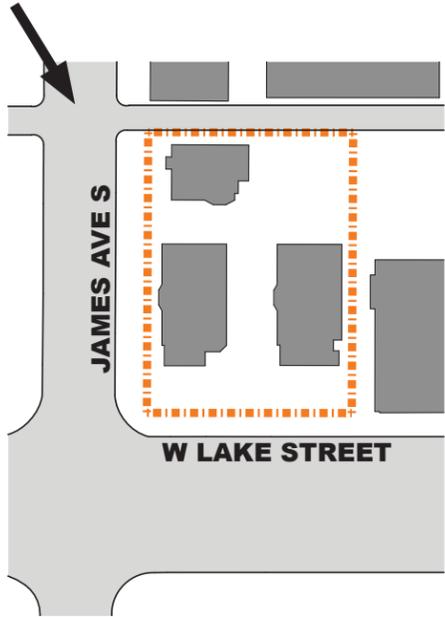
WITHOUT VARIANCE OR CUP - WINTER SOLSTICE - 3PM

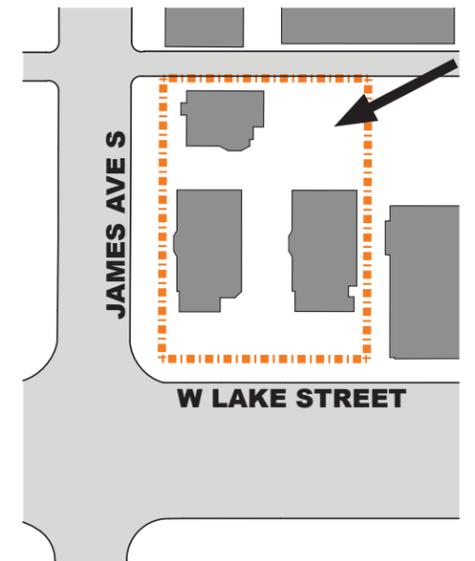


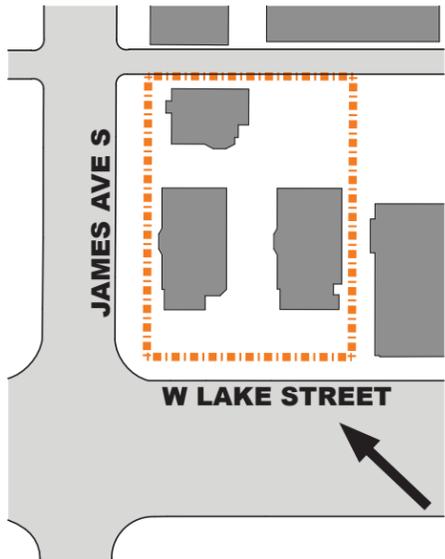


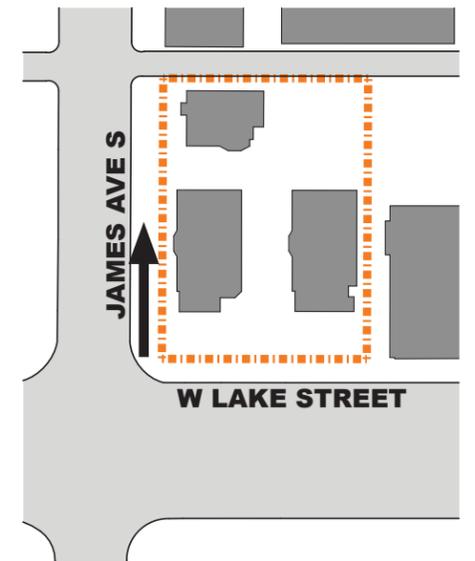


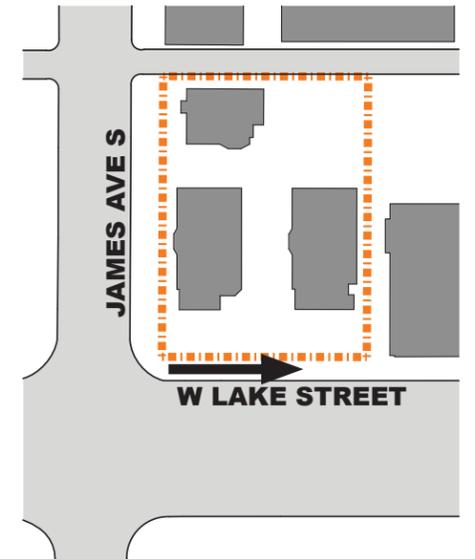


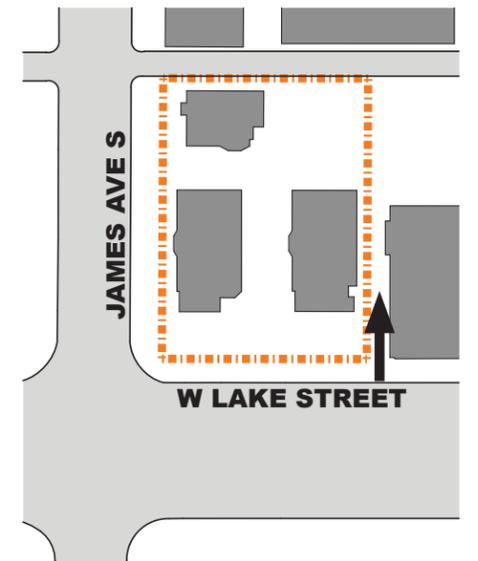












## Lars Peterssen

---

**From:** Lars Peterssen <lars@pkarch.com>  
**Sent:** Friday, March 21, 2014 1:28 PM  
**To:** 'lisa.bender@minneapolismn.gov'  
**Cc:** Lansing, Carol (Carol.Lansing@FaegreBD.com); Dan Oberpriller (Daniel@reuterwalton.com)  
**Subject:** Land Use Application submittal for 1620 W. Lake St.

Dear Councilperson Bender,

On behalf of Peterssen/Keller Architecture, I am writing to formally notify you that we are submitting land use applications for the redevelopment of the parcel located at 1620 W Lake Street (with additional street addresses of 1618 W Lake Street and 2915 James Ave).

The project plan is to demolish the existing buildings and replace them with a mixed-use residential building that will have ground level retail use, indoor parking, second level office use, and six apartments on the third floor. The applications required for the project are:

1. Conditional Use Permit (CUP) to increase allowed height in the Shoreland Overlay District from 2.5 stories/35 feet to 3 stories/46 feet.
2. Variances to reduce the east interior and north rear yard setbacks.
3. Variance to reduce the off-street loading requirement from one small space to zero spaces.
4. Site plan review.

We anticipate that these applications will be presented to the Planning Commission on May 5, 2014. Please let me know if you have any questions or would like any further information. My contact information is below. Thank you.

Best,

Lars

Lars Peterssen, AIA  
**PETERSSEN/KELLER** architecture  
1610 West Lake Street  
Minneapolis, Minnesota 55408  
612.353.4920 p  
612.353.4932 f  
612.840.4331 m  
[www.pkarch.com](http://www.pkarch.com)  
[lars@pkarch.com](mailto:lars@pkarch.com)

## **Land Use Application submittal for 1620 W. Lake St.**

From: Brent Nelson <brent@pkarch.com>

To: Monica Smith <nrp@eastcalhoun.org>

Cc: daniel@cpmcos.com, Carol Lansing <clansing@faegre.com>

Date: 3/21/2014 2:40 PM

---

Dear Monica,

On behalf of Peterssen/Keller Architecture, I am writing to formally notify EIRA and ECCO neighborhoods that we are submitting land use applications for the redevelopment of the parcel located at 1620 W Lake Street (with additional street addresses of 1618 W Lake Street and 2915 James Ave).

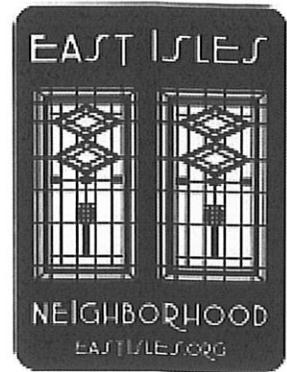
The project plan is to demolish the existing buildings and replace it with a mixed-use residential building that will have ground level retail use, indoor parking, second level office use, and six apartments on the third floor. The applications required for the project are:

1. Conditional Use Permit (CUP) to increase allowed height in the Shoreland Overlay District from 2.5 stories/35 feet to 3 stories/46 feet.
  - a. *note: Height will be no greater than 40'-0" to top of parapet. Height will be no greater than 46'-0" to top of mechanical screens.*
2. Variances to reduce the east interior and north rear yard setbacks.
3. Variance to reduce the off-street loading requirement from one small space to zero spaces.
4. Site plan review.

We anticipate that these applications will be presented to the Planning Commission on May 5, 2014. Please let me know if you have any questions or would like any further information. My contact information is below. Thank you.

Best,

Brent



April 10, 2014

Hilary Dvorak  
Principal City Planner, Community Planning & Economic Development  
250 South 4<sup>th</sup> St, Room 300  
Minneapolis, MN 55415

Re: 16Twenty project, 1618 W Lake St, 1620 W Lake St and 2915 James Ave S

Dear Ms. Dvorak,

On March 11, 2014, the East Isles Residents' Association (EIRA) Board of Directors approved a motion to support the 16Twenty building proposal as presented by Peterssen/Keller Architecture on February 18, 2014 and March 11, 2014 at a height not to exceed 38-40 ft to the top of the parapet and variances as outlined in the written submission.

Sincerely,

A handwritten signature in cursive script that reads "Dan B. McLaughlin".

Dan McLaughlin, President

Cc: Council Member Lisa Goodman  
Daniel Oberpriller, CPM  
Gabriel Keller, Peterssen/Keller Architecture  
Allan Amis, Chairman of EIRA Zoning and Land Use Committee

## East Calhoun Community Organization



April 10, 2014

To: Planning Commission  
RE: "16Twenty" project proposal, 1620 & 1618 W Lake St &  
2915 James Ave S

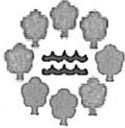
On April 3, 2014, the East Calhoun Community Organization Board of Directors voted to not oppose the 16Twenty building project proposal as presented by Peterssen/Keller Architecture on March 17, 2014 at a height not to exceed 38-40 ft to the top of the parapet and variances as outlined in the written submission.

The ECCO Livability Committee also recognizes Peterssen/Keller Architecture for designing a project that fits acceptably well within the C1 Zoning as well as the Shoreland Overlay District. The mixed uses of retail on the first floor, a daytime employer on the second floor and 6 residential units on the third floor fulfill the goals envisioned for this Live/Work designated area of the Uptown Small Area Plan. The additional landscaping around the site and well placed bike racks are additional pedestrian/bike friendly amenities that integrate this property well into the predominantly residential neighborhoods surrounding this site. The step backs on the third floor are consistent with design features cited in the Uptown Plan. The shadowing studies presented at the March 17, 2014 meeting appeared to demonstrate that this proposal would not unduly impact the light and air for the neighbors to the north of the site.

Thanks for your consideration,

Linda Todd  
President, East Calhoun Community Organization

Cc: Hilary Dvorak, Principal City Planner  
Lisa Goodman, 7<sup>th</sup> Ward City Council Member  
Lisa Bender, 10<sup>th</sup> Ward City Council Member  
Daniel Oberpriller, CPM  
Gabriel Keller, Peterssen/Keller Architecture  
Heather Wulfsberg and Kate Davenport, ECCO Livability Committee



**Minneapolis  
Park & Recreation Board**

*Administrative Offices*  
2117 West River Road  
Minneapolis, MN 55411-2227

*Operations Center*  
3800 Bryant Avenue South  
Minneapolis, MN 55409-1000

*Phone*  
612-230-6400  
*Fax:*  
612-230-6500

[www.minneapolisparks.org](http://www.minneapolisparks.org)

April 24, 2014

Hilary Dvorak  
Principal Planner  
City of Minneapolis  
250 South 4<sup>th</sup> Street, Room 300  
Minneapolis, MN 55415

Re: Proposed Conditional Use Permit at 1618-20 West Lake Street  
And 2915 James Avenue South  
Your File BZZ-6500

Dear Ms. Dvorak:

I am writing to express the concerns of the Park Board regarding the proposed height increase from 35 to 46 feet for this project. The Park Board has and continues to support the current height restrictions in the Shoreland Overlay District, which we feel are important to the continuity of Chain of Lakes area development and park amenities. This proposed conditional use permit to increase the height of the building would set a negative precedent for future proposals, so we do not support it.

Sincerely,

Renay Leone  
Real Estate Planner

*President*  
Liz Wielinski

*Vice President*  
Scott Vreeland

*Commissioners*  
Brad Boum  
John Erwin  
Meg Fomey  
Steffanie Musich  
Jon C. Olson  
Anita Tabb  
M. Annie Young

*Superintendent*  
Jayne Miller

*Secretary to the Board*  
Pamela French

