



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #1
 March 24, 2014
 BZZ-6442

LAND USE APPLICATION SUMMARY

Property Location: 4255-59 Sheridan Avenue S
Project Name: 4255 Sheridan
Prepared By: [Kimberly Holien](#), Senior Planner, (612) 673-2402
Applicant: 4255 Sheridan, LLC (Paul Blomquist and Kristin Eggerling)
Project Contact: Carl Gauley of Julie Snow Architects
Request: To construct a four-story residential building with three dwellings units.
Required Applications:

Conditional Use Permit	Conditional use permit to increase the height in the SH, Shoreland Overlay district from 2.5 stories or 35 feet to 4 stories, 46'9".
Variance	Variance to reduce the front yard setback along Sheridan Avenue from the setback established by connecting a line between the two adjacent structures from approximately 57 feet to 16 feet to allow for a three-unit building.
Variance	Variance to decrease the north side yard setback from 15 feet to nine feet to allow for a side facing principal entrance, from 11 feet to nine feet to allow for a new three-unit building, from 11 feet to approximately 6.8 feet to allow for upper level balconies and from five feet to approximately three feet to allow for a concrete terrace.
Variance	Variance to decrease the south side yard setback variance from 11 feet to approximately 9.5 feet to allow for an exterior stair and from five feet to zero to allow for a concrete terrace.

SITE DATA

Existing Zoning	R4, Multiple-family Residence District SH, Shoreland Overlay District
Lot Area	8,532 square feet / 0.19 acres
Ward(s)	13
Neighborhood(s)	Linden Hills
Designated Future Land Use	Urban Neighborhood
Land Use Features	N/A
Small Area Plan(s)	N/A

Date Application Deemed Complete	February 24, 2014	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	April 25, 2014	End of 120-Day Decision Period	N/A

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property consists of three structures on one parcel that fronts on Sheridan Avenue S. Two of the structures, addressed as 4255 and 4259 Sheridan Avenue S, contain single family homes. The third, addressed as 4257 Sheridan Avenue S, contains a duplex. These four dwelling units are currently vacant and the three structures would be demolished as part of the project.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding area contains a mix of residential densities. The property to the south at 4269 Sheridan Avenue S contains a multi-family residential building with 35 dwelling units. The property to the north contains a single family home. The property to the west, across Sheridan, is a multi-family residential structure containing 17 dwelling units. The properties to the east are primarily single family homes. The project site is just north of the neighborhood commercial node at 43rd Street and Upton Avenue S.

PROJECT DESCRIPTION. The applicant is proposing to demolish the three existing buildings and construct a three-unit multiple-family residential building with approximately 7,000 square feet of gross floor area. The proposed building will contain six below grade parking stalls and each of the first three floors will function as a dwelling unit. There is a partial fourth floor proposed that includes a small living space and provides access to a rooftop deck. The primary entrance faces Sheridan Avenue S. There are five concrete terraces proposed on the site, including one large common terrace in the rear yard. The first floor unit is designed to be ADA accessible.

The site is located on the within the Shoreland Overlay district, which limits height to 2.5 stories or 35 feet. The proposed building is four stories, 46'9" to the top of the penthouse. A conditional use permit to increase height has been submitted accordingly.

The applicant has also applied for a series of yard variances. The front yard setback requirement in the R4 district is 15 feet. However, that setback requirement increases where the established front yard of the closest principal building originally designed for residential purposes located on the same block face on either side of the property exceeds the front yard required by the zoning district. In such case, the required front yard shall be not less than such established front yard, provided that where there are principal buildings originally designed for residential purposes on both sides of the property, the required front yard shall be not less than that established by a line joining those parts of both buildings nearest to the front lot line. In this case, the established front yards of the two adjacent residential structures result in a front yard setback requirement of 57 feet. The proposed front yard setback of the structure is 16 feet and a variance has been requested accordingly. There is also a ground level patio within this front yard with a 42-foot front yard setback.

The interior side yard setback requirement is $5+(2x)$ where x is equal to the number of stories above the first floor. For this four-story building, the required side yard setback is 11 feet along the north and south property lines. The building wall is proposed at a setback of nine feet from the north property line and a variance from 11 feet to nine feet has been requested. There are upper level balconies on the north side of the building that project into the side yard and a variance from 11 feet to 6.8 feet has been requested for this component of the building. Additionally, there is a side-facing principal entrance on the north side of the building. This entrance is the only accessible route into the first floor dwelling unit and therefore requires an increased setback of 15 feet. The applicant is requesting a variance from 15 feet to nine feet to allow for this entrance.

Along the south property line, a variance from 11 feet to approximately 9.5 feet has been requested to allow for an exterior stair that provides a second means of access in and out of the building. There is also a concrete patio proposed in the interior side yard. The required setback for this ground level patio is five feet. A variance to reduce the interior side yard setback from five feet to zero has been requested for this patio.

PUBLIC COMMENTS. Staff received a letter from the Linden Hills Neighborhood Council Zoning Committee dated February 19, 2014. This letter summarizes the action taken by the Zoning Committee at its meeting of February 17, 2014. At this meeting, the Linden Hills Zoning Committee voted unanimously to not oppose the required land use applications. Said letter has been attached for reference.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the height of a building in the SH, Shoreland Overlay district from 2.5 stories, 35 feet to four stories, 46'9", based on the following [findings](#):

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The proposed height of the building will not be detrimental to or endanger the public health, safety, comfort or general welfare. The subject site is on the far western edge of the Shoreland Overlay district established around Lake Harriet. The site is located approximately 855 feet west of the lake edge. The proposed building is four stories, 46'9" to the top of the penthouse. However, the majority of the building will be three stories, 35'11" in height. There are developments of relative comparable height located within the immediate vicinity. The building directly south of the site is four stories per the zoning code definition and 37'9" overall. Properties to the east include low-density residential structures that are primarily two stories, as well as a three-story single family home to the east that received a variance for increased height in 1990. To the west, across Sheridan, there is a three-story multi-family residential structure. Additionally, there is an 18-unit building approved at the corner of 43rd Street and Upton Avenue S at a height of three stories, 42 feet.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

This property is located in a fully developed area and allowing additional height is not expected to be injurious to the use and enjoyment of other property in the vicinity nor should it impede on possible future development. As stated above, the majority of the building is three stories, 35'11" in height. The fourth story is only 511 square feet and steps back six feet from the front building wall, five feet from the north building wall, 12 feet from the south building wall and 63.5 feet from the east building wall. The design of the proposed building mitigates the potential impact on adjacent properties and the building will not be visible from Lake Harriet.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Adequate utilities, drainage and other facilities are provided. The site does not currently have vehicle access to any of the three structures. Access to the underground parking in the proposed building will be provided via a new curb cut from Sheridan Avenue S. The Public Works Department has reviewed the preliminary plan as part of the Preliminary Development Review Process and will review the final plan for compliance with standards related to access and circulation, drainage, and sewer/water connections. The applicant would be required to work closely with the Public Works Department, the Plan Review Section of the CPED and the various utility companies during the duration of the development should the plan be approved. This would be required to ensure that all procedures are followed in order to comply with city and other applicable requirements.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The proposed use should not contribute to traffic congestion in the adjacent public streets. The applicant is providing two parking spaces for each unit, or a total of six spaces. Maneuvers associated with the below-grade parking will occur on site.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed three-unit building at a maximum height of 46'9" would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.8: Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Housing Policy 3.1: Grow by increasing the supply of housing.

3.1.1 Support the development of new medium- and high-density housing in appropriate locations throughout the city.

Allowing three-unit building at the proposed height is consistent with the above policies of the comprehensive plan. The applicant is proposing to replace four existing dwelling units with a three-unit

building. The height of the building is in keeping with the character of the surrounding area and the fourth floor is stepped back to provide an adequate transition and limit the impact on adjacent uses.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With the approval of the requested conditional use permit and variance, the proposal will comply with all application regulations of the R4, Multiple-family Residence district. The proposed building will require administrative site plan review and will be required to comply with the applicable design standards in Section 530.280 of the zoning code. The project is also required to obtain 15 points from Table 530-2 of the zoning code. The project has obtained 16 points as follows:

- Providing a basement (5 points)
- Wood as a primary exterior building material (4 points)
- Providing windows for a minimum of 45 percent of the front elevation on the first three floors and 24 percent of the fourth floor (3 points)
- Providing windows for a minimum of 10 percent of side and rear elevations (3 points)
- Providing a deciduous tree in the front yard (1 point).

The project also complies with the following applicable standards of R4, Multiple-family Residence district:

Building Bulk and Height – Meets requirements

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	1,250 sf per dwelling unit but not less than 5,000 sf	8,532 sf / .19 acres
Maximum Floor Area Ratio (GFA/Lot Area)	1.5	.91

Residential Lot Requirements – Meets requirements

Table 6. Residential Lot Summary

	Code Requirement	Proposed
Dwelling Units (DU)	6 dwelling units	3 dwelling units
Density (DU/acre)	Comprehensive plan- Less than 20 DU/acre	15.7 DU/acre
Minimum Lot Area	Not less than 1,250 sf per DU with a minimum lot size of 5,000 sf	2,844 sq. ft. per DU
Minimum Lot Width	40 ft.	43.3 ft.
Impervious Surface	Not more than 85 percent of the zoning lot	68 percent
Lot coverage	Not more than 70 percent of the zoning lot	29 percent

ADDITIONAL STANDARDS TO INCREASE MAXIMUM HEIGHT

In addition to the conditional use standards, the city planning commission shall consider, but not be limited to, the following factors when determining the maximum height:

1. Access to light and air of surrounding properties.

This development will not have significant impacts on the amount of light and air that surrounding properties receive. As noted above, the partial fourth floor will step back from all building walls a minimum of five feet. The majority of the building is only 11 inches taller than what is allowed in the Shoreland Overlay district. Staff would expect some minimal effects on the adjacent residential uses according to the attached shadow survey.

2. Shadowing of residential properties, significant public spaces or existing solar energy systems.

There are no significant public spaces or solar energy systems that would be impacted by shadowing from the proposed building. The closest solar energy system is atop a three-story single family home at 4256 Linden Hills Boulevard. This property is southeast of the site and not impacted by shadowing. During the spring and fall equinox, the proposed building will produce some minimal shadowing that impacts the property immediately to the north. In the winter months, the proposed building will produce shadowing. However, the existing multi-family residential structure to the south already casts significant shadows on adjacent properties and the proposed building will not result in a substantial increase.

3. The scale and character of surrounding uses.

The scale and character of the buildings as well as the architectural styles of the surrounding properties in this area are varied. Staff finds that the proposal is compatible with the scale and character of other buildings in the area. As stated above, there are several other three story buildings of varying heights in the immediate area and one four story building. The design and allocation or distribution of height on site would be compatible with the surrounding uses.

4. Preservation of views of landmark buildings, significant open spaces or water bodies.

There are no landmark buildings, significant open spaces or water bodies near the development site that would be affected. While the property is in the Shoreland Overlay district, is approximately 850 feet away from Lake Harriet and not visible from this water body.

ADDITIONAL STANDARDS FOR DEVELOPMENT IN THE SHORELAND OVERLAY DISTRICT:

1. The prevention of soil erosion or other possible pollution of public waters, both during and after construction.

Staff finds that the proposed project will prevent soil erosion and other possible pollution during and after construction. The applicant has provided an erosion control plan that shows the locations of existing vegetation which will be protected, perimeter erosion control, a rock construction entrance and other measures. The proposed erosion control measures will be in place prior to and during construction and after determination that the site has been permanently stabilized. After construction, the project area will be fully landscaped. Therefore, the subject site will not be significantly altered to adversely affect the water quality of Lake Harriet.

2. Limiting the visibility of structures and other development from protected waters.

The proposed structure will not be visible from Lake Harriet. The project site is approximately 850 feet from the west edge of Lake Harriet. There are two blocks of residential development and significant amounts of mature vegetation between the site and the lake. The fourth story will step back 63.5 feet from the east building wall.

3. The suitability of the protected water to safely accommodate types, uses and numbers of watercraft that the development may generate.

The subject property is located approximately 850 feet from Lake Harriet and does not have access to the lake directly. As such, no watercraft will be generated by the use.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the front yard setback requirement from 57 feet to 16 feet based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The front yard setback requirement in the R4 district is 15 feet. However, that setback requirement increases where the established front yard of the closest principal building originally designed for residential purposes located on the same block face on either side of the property exceeds the front yard required by the zoning district. In such case, the required front yard shall be not less than such established front yard, provided that where there are principal buildings originally designed for residential purposes on both sides of the property, the required front yard shall be not less than that established by a line joining those parts of both buildings nearest to the front lot line. In this case, the established front yards of the two adjacent residential structures result in a front yard setback requirement of 57 feet. The proposed front yard setback of the structure is 16 feet and a variance has been requested accordingly. There is also a ground level patio within this front yard with a 42-foot front yard setback.

The circumstances upon which the setback variance is requested are unique to the parcel of land due to the location of the adjacent neighbor's house. The required setback is significantly increased from the district minimum based on the established setbacks of the adjacent residential structures. The property is also located on a curvilinear street which creates an even greater setback requirement when the string test is applied. The property to the north, which is also owned by the applicant, has an established front yard setback of approximately 58 feet. This single family home also has a front porch with an established setback of approximately 54 feet. The multi-family residential building to the south has an established setback of approximately 19 feet. Staff finds that these circumstances have created practical difficulties in complying with the ordinance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Staff finds that the applicant is proposing to use the property in a reasonable manner consistent with the spirit and intent of the ordinance and comprehensive plan. The applicant is proposing to decrease the

required front yard setback based on the established setback of the adjacent residential structures on this curvilinear street. The purpose of yard requirements is to provide for orderly development and use of land and to minimize conflicts among land uses by governing the location of accessory uses and structures. The proposed three-unit building would be in keeping with the character of the south side of this block, which contains the aforementioned multi-family dwelling, a second multi-family dwelling and two commercial buildings at the corner of Sheridan Avenue S and 43rd Street that are each located directly up to the front property line.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Staff finds that the granting of this variance would not negatively alter the essential character or be injurious to the use or enjoyment of other property in the area. Sheridan Avenue South is a curvilinear street that curves directly in front of the subject property. The structures north of the subject site are setback significantly further than the structures south of the site on this side of the block. The differing setbacks reflect the underlying zoning of the parcels. The subject parcel is R4, with a base front yard setback requirement of 15 feet, and the properties to the north are zoned R1, with a base front yard setback requirement of 25 feet. Staff finds that the proposed variance will not be detrimental to the health, safety or welfare of the general public.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to decrease the north side yard setback from 15 feet to nine feet to allow for a side facing principal entrance, from 11 feet to nine feet to allow for a new three-unit building, from 11 feet to approximately 6.8 feet to allow for upper level balconies and from five feet to approximately three feet to allow for a concrete terrace, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The interior side yard setback requirement is $5+(2x)$ where x is equal to the number of stories above the first floor. For this four-story building, the required side yard setback is 11 feet along the north and south property lines. The building wall is proposed at a setback of nine feet from the north property line and a variance from 11 feet to nine feet has been requested. There are upper level balconies on the north side of the building that project into the side yard and a variance from 11 feet to 6.8 feet has been requested for this component of the building. Additionally, there is a side-facing principal entrance on the north side of the building. This entrance is the only accessible route into the first floor dwelling unit and therefore requires an increased setback of 15 feet. The applicant is requesting a variance from 15 feet to nine feet to allow for this entrance.

Building wall and balcony: The circumstances upon which the setback variance is requested are unique to the parcel of land due to the shape of the parcel and the existing grade change from the street. Both of these elements create practical difficulties in siting the building and these circumstances have not been created by the property owner. Additionally, the setback requirement is 11 feet due to the partial fourth floor that is proposed. The majority of the building is only three stories in height.

Accessible entrance: Practical difficulties exist regarding the variance to decrease the side yard setback from 15 feet to 9 feet for the accessible entrance due to circumstances unique to the parcel. There is a fairly significant grade change from the street to the front of the building making it impractical for an accessible route to provide access to the front door. As such, the accessible route into the first floor unit leads to a side entrance. This is the most practical location for said entrance. These circumstances have not been created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

All variances: Staff finds that the applicant is proposing to use the property in a reasonable manner consistent with the spirit and intent of the ordinance and comprehensive plan. The applicant is proposing to decrease the required interior side yard setback for three elements; the building wall itself, the accessible entrance and balconies on the upper floors.

The purpose of yard requirements is to provide for orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The building wall would be located nine feet from the north property line. This proposed setback provides an adequate separation between the proposed building and the single family home to the north. The two balconies proposed are located on the upper floors and should have no impact on access to light and air for the property to the north. The location of the accessible entrance again should have no impact on access to light and air for the adjacent property and will allow for an adequate separation of uses. This entrance will be nine feet from the north property line and will be a second entrance to this unit. The primary entrance into the building is on the front of the building facing Sheridan Avenue S.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

All variances: Staff finds that the granting of this variance would not negatively alter the essential character or be injurious to the use or enjoyment of other property in the area. As noted above, the building wall will maintain a setback of nine feet. The nine feet proposed provide an adequate transition between the proposed building and the single family home to the north. The balconies proposed on the upper floors will maintain a setback of 6.8 feet. This interior side yard will include a dense row of shrubs and a 6-foot wood fence to assist in providing a buffer between this three-unit building and the property to the north. Of the structures currently on the property, the one at 4257 Sheridan Avenue South is only four feet from the north property line. The structure at 4255 Sheridan Avenue S is approximately 1.5 feet from the north property line at its closest point. The proposed project will more than double the setbacks of the existing structures. Therefore, staff finds that the proposed variance will not be detrimental to the health, safety or welfare of the general public.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to decrease the south side yard setback variance from 11 feet to approximately 9.5 feet to allow for an exterior stair and from five feet to zero to allow for a concrete terrace, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Along the south property line, a variance from 11 feet to approximately 9.5 feet has been requested to allow for an exterior stair that provides access in and out of the building. There is also a concrete patio proposed in the interior side yard. The required setback for this ground level patio is five feet. A variance to reduce the interior side yard setback from five feet to zero has been requested for this patio.

Both variances: The circumstances upon which the setback variance is requested are unique to the parcel of land due to the shape of the parcel and the existing grade change from the street. Both of these elements create practical difficulties in siting the building and these circumstances have not been created by the property owner. The exterior stair on the back (east) side of the building is proposed to provide a necessary second means of egress and the lot narrows from west to east. The concrete terrace that is located in the required yard connects the stairway to the driveway, essentially serving as an extension of the driveway.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Both variances: Staff finds that the applicant is proposing to use the property in a reasonable manner consistent with the spirit and intent of the ordinance and comprehensive plan. The applicant is proposing to decrease the required interior side yard setback from 11 feet to 9.5 feet for an exterior stair and from five feet to zero for a ground level terrace/patio. The purpose of yard requirements is to provide for orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The building wall itself would be located a minimum of 11 feet from the south property line. This proposed setback provides an adequate separation between the proposed building and the multi-family residential structure to the north. The exterior stair is of an open design that provides a secondary means of egress on the back side of the building. The ground level terrace is essentially a continuation of the driveway and abuts a three-foot retaining wall. This retaining wall will have a solid wood fence above it to buffer this space from the adjacent building.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Both variances: Staff finds that the granting of this variance would not negatively alter the essential character or be injurious to the use or enjoyment of other property in the area. As noted above, the building wall will maintain a setback of 11 feet. The setbacks proposed provide an adequate transition between the proposed building and the residential building to the south. The exterior stair will have an open design and the ground level terrace will not be visible from the adjacent property given the proposed retaining wall and fence along the south property line. Of the structures currently on the property, the one at 4259 Sheridan Avenue South is only 3.9 feet from the south property line. The structure at 4255 Sheridan Avenue S is approximately 2.8 feet from the south property line at its closest point. The proposed project will significantly increase the setbacks of the existing structures, with the exception of the terrace which functions as an extension of the driveway. Therefore, staff finds that the proposed variance will not be detrimental to the health, safety or welfare of the general public

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to increase the height in the SH, Shoreland Overlay district from 2.5 stories or 35 feet to 4 stories, 46'9" for the properties at 4255-59 Sheridan Avenue S, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the front yard setback along Sheridan Avenue from the setback established by connecting a line between the two adjacent structures from approximately 57 feet to 16 feet to allow for a three-unit building and from 57 feet to 42 feet for a ground level patio for the property located at 4255-59 Sheridan Avenue S.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to decrease the north side yard setback from 15 feet to nine feet to allow for a side facing principal entrance, from 11 feet to nine feet to allow for a new three-unit building, from 11 feet to approximately 6.8 feet to allow for upper level balconies and from five feet to approximately three feet to allow for a concrete terrace for the property located at 4255-59 Sheridan Avenue S.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to decrease the south side yard setback variance from 11 feet to approximately 9.5 feet to allow for an exterior stair and from five feet to zero to allow for a concrete terrace for the property located at 4255-59 Sheridan Avenue S.

ATTACHMENTS

- I. Written description and findings submitted by applicant

2. Correspondence
3. PDR Report
4. Zoning map
5. Site plan
6. Floor Plans
7. Elevations
8. Shadow studies
9. Photos

DESCRIPTION OF PROJECT:

The project is located on a .2 acre site "wedge"-shaped site at 4255 Sheridan Avenue South. The site is currently three dilapidated buildings housing four dwelling units. The site is bounded on the west by a Sheridan Avenue South and shares a property line with an R4 apartment building to the south, and R1 residential homes to the north and east. The site is zoned R4 (Multiple Family District) and SH (Shoreland Overlay District). The site is well located on a bus line and in one of the city's most sought after residential and commercial neighborhoods, Linden Hills. It is close to desirable amenities including shopping, dining, cultural and recreational areas such as Lake Harriet.

The project will be comprised of approximately 7,000 sf of living space in a single four story (including penthouse) residential building with three condominium units, a private penthouse and roof deck, and six resident parking spaces in a secure below grade parking garage. Site improvements include a private side yard for the first floor unit, a common terrace in the rear yard for all units, vehicular access (currently the site has no vehicle access, and improved landscaping and plantings.



2400 RAND TOWER
527 MARQUETTE AVENUE
MINNEAPOLIS MINNESOTA 55402
TEL 612 359 9430
FAX 612 359 9530

List of required applications:

1. Conditional Use Permit for Increasing Maximum Height in the Shoreland Overlay District:
 - a. The proposed building will have three stories (35'-11") of dwelling units and a small, setback fourth story penthouse (46'-9").
2. Variance to Front Yard Requirements:
 - a. Building extends into required front yard, accessible entrance north side of the building.
 - b. Sidewalk exceeds 6 feet in width.
3. Variance to Side Yard Requirements
 - a. The building extends into required side yards.
 - b. Open stair extends into required side yard on south side of property.
 - c. Concrete terrace on south side of open stair extends into required side yard.
 - d. Concrete terrace at ADA entrance on north side of building encroaches into required side yard.

Current Code:

1. Per the code – Table 546-13 R4 Lot Dimension and Building Bulk Requirements
 - a. Maximum Height for Multiple-Family Dwelling in R4 District: 4 stories, not to exceed 56 feet.
2. Per the code - 551.480. Height of structures (2008-Or-010, § 2, 2-1-08):
 - a. ...Except for structures subject to a more restrictive maximum height limitation in the primary zoning district, the maximum height of all structures within the SH Overlay District, except for single and two-family dwellings, shall be two and one-half (2.5) stories or thirty-five (35) feet, whichever is less...
3. Per the code - 546.510. Yard requirements (in R4 District)
 - a. The minimum yard requirements for uses located in the R4 District shall be as specified in Table 546-12, R4 Yard Requirements. (Front Yard 15')
 - b. The minimum yard requirements for uses located in the R4 District shall be as specified in Table 546-12, R4 Yard Requirements. The Side Yard requirement for multiple family dwellings is $5 + 2X$, where X is the number of stories above the first floor. For a 4-story building, the side yard requirement is 11 feet.
4. Per the code - 546.160. Yard Requirements (2000-Or-043, § 2, 5-19-2000):
 - a. ... the required front yard shall be not less than that established by a line joining the nearest front corners of both buildings...

5. Per the code – Table 535-1 Permitted Obstructions in Required Yards:
 - a. Walkways, not exceeding four (4) feet in width. Walkways for multiple-family dwellings of five (5) units or more shall not exceed six (6) feet in width. Walkways for Institutional and Public Uses shall not exceed eight (8) feet in width. Except for public recreational walkways and bicycle trails, walkways in required yards shall not be constructed of asphalt.
 - b. Balconies, decks and ground level patios not exceeding fifty (50) square feet in area and projecting not more than four (4) feet into the required yard. Such balcony, deck or ground level patio may project into a required interior side yard of a multiple family dwelling of four (4) or more stories, provided such balcony, deck or ground level patio shall be located no closer than ten (10) feet from the interior side lot line.

LHiNC Zoning Committee Meeting attended:

February 17th, 2014.

CONDITIONAL USE PERMIT FOR INCREASE TO MAXIMUM HEIGHT – REQUIRED FINDINGS

The proposed building will have three stories (35'-11") of dwelling units and a small, setback fourth story penthouse (46'-9").

Per the code - 551.480. Height of structures (2008-Or-010, § 2, 2-1-08):

Except for structures subject to a more restrictive maximum height limitation in the primary zoning district, **the maximum height of all structures within the SH Overlay District**, except for single and two-family dwellings, **shall be two and one-half (2.5) stories or thirty-five (35) feet, whichever is less.** The maximum height of single and two-family dwellings shall be two and one-half stories or thirty (30) feet, whichever is less. The height limitation of accessory structures and single and two-family dwellings may be increased by variance, as provided in Chapter 525, Administration and Enforcement. The height limitation of all other principal structures may be increased by conditional use permit, as provided in Chapter 525, Administration and Enforcement. In addition to the conditional use standards contained in Chapter 525, the city planning commission shall consider, but not be limited to, the following factors when determining maximum height:

- (1) Access to light and air of surrounding properties.
- (2) Shadowing of residential properties or significant public spaces.
- (3) The scale and character of surrounding uses.
- (4) Preservation of views of landmark buildings, significant open spaces or water bodies.

The proposed building meets these requirements and also meets the required findings for the issuance of a conditional use permit under chapter 525.340 of the Zoning Code as outlined below.

CHAPTER 525.340: REQUIRED FINDINGS FOR CONDITIONAL USE PERMITS:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Increasing the maximum height of the proposed building will not be detrimental or endanger the public health, safety, comfort, or general welfare. The building will be three stories of dwelling units, with a small, setback fourth story penthouse and will incorporate principals of the Minneapolis Comprehensive Plan. Public safety will be improved from the current dilapidated conditions which exist on site. Further, the requested height will not affect the intention of the Shoreline Overlay district as it is not viewable from the shoreline. The project will comply with all building and fire code requirements.

2. The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

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The increase in maximum height will not be injurious to the use and enjoyment of other properties in the vicinity, impede appropriate development in the area, or diminish property values. The increased height will allow for multi-family dwelling near a commercial center as outlined in the Minneapolis Comprehensive Plan. Refer to sections below regarding light/shadow studies as they pertain to the use and enjoyment other properties in the vicinity. The majority of the building will be three stories and will be shorter than the adjacent apartment building to the south.

3. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.

Adequate utilities, access, drainage, and other necessary facilities will be provided for the project. No unique utilities, roads, drainage and other facilities are required for increasing the maximum height. All necessary measures for typical development will be provided.

4. Adequate measures have been or will be taken to minimize traffic congestion in the public streets.

Adequate space has been provided for onsite maneuvering of vehicles into and out of the six below grade parking spaces. By providing below grade parking, the building is reducing the demand for on street parking.

5. The conditional use is consistent with the applicable policies of the comprehensive plan.

The design of the proposed building conforms to the following comprehensive plan policies related to urban design for multi-family residential dwellings:

Chapter 10: Urban Design: Multi-Family Residential

New housing development provides an opportunity to reinforce the urban character of specific areas of the city. Building more housing close to or within commercial developments is the key to stronger commercial and other mixed-use markets. *The location of new housing developments within close range of amenities such as shopping, cultural or recreational facilities, job targets, or transportation corridors focuses the city's growth into specific areas, as designated in this plan. At all times, multi-family residential development needs to have a clear connection to the street with adequate windows, architectural details and landscaping. The scale of the development should be compatible with the character of the surrounding area.*

Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.

10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city's existing housing stock.

10.4.3 Advance the understanding of urban housing and retail design among members of the design and development community

Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

10.5.1 Smaller-scale, multi-family residential development is more appropriate along Community Corridors and Neighborhood Commercial Nodes.

Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks. *(Although the design requires a conditional use permit and variance for increasing the height and decreasing the front yard requirements, the design still fulfills light, privacy and view requirements.)*

10.6.2 Promote the preservation and enhancement of view corridors that focus attention on natural or built features, such as the Downtown skyline, landmark buildings, significant open spaces or bodies of water. *(View corridors are not affected by the increased height or reduced front yard.)*

10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.

10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.

10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With approval of this application and site plan review, the building will conform to the applicable regulations of the R4 district and the SH overlay district.

SPECIFIC REQUIREMENTS FOR CONDITIONAL USE PERMIT FOR INCREASING MAXIMUM HEIGHT:**1. Access to light and air of surrounding properties.**

The project complies with all side and rear setback requirements, and will not impair the access of surrounding properties to light and air.

2. Shadowing of residential properties, significant public spaces, or existing solar energy systems.

Please refer to light/shadow study illustrating shadowing of adjacent residential properties at various time of day throughout the year.

- a. There are no significant public spaces, or existing solar energy systems negatively impacted by the shadowing created by the proposed building.
- b. On the summer solstice, the day when the sun appears highest in the sky, the proposed building has no significant change to the adjacent residential properties.
- c. On the spring and fall equinox's, the proposed building does cast more shadows on the property directly to the north (4253 Sheridan). However, there is little increased shadowing on other adjacent properties.
- d. On the winter solstice, when the sun appears lowest in the sky, the existing apartment building already casts significant shadows on adjacent properties. Again, other than the property directly to the north (4253 Sheridan), the proposed building does not significantly increase the amount of shadowing of adjacent properties.
- e. The applicants for this conditional use permit, Paul Blomquist and Kristin Eggerling, own the property most affected by the shadowing created by the proposed building (4253 Sheridan).

3. Scale and character of surrounding uses.

The scale and character of the proposed building is in keeping with the adjacent apartment building to the south and the R4 district for which it is zoned.

- a. The height of the apartment building at 4261 Sheridan Avenue South is 37'-9" high measured from the curb at the northwest corner of the building.
- b. The proposed top of wall at the front façade of the proposed building is 35'-11" measured at a point ten (10) feet away from the front center of the building. The top of the penthouse level, which is set back from the footprint of the building, is 46'-9" measured from the same point.

4. Preservation of views of landmark buildings, significant public spaces, or water bodies.

Views are not affected by the increased height as allowed by this conditional use permit.

2400 RAND TOWER
527 MARQUETTE AVENUE
MINNEAPOLIS MINNESOTA 55402
TEL 612 359 9430
FAX 612 359 9530

VARIANCE FOR FRONT YARD REQUIREMENTS:

Per the code - 546.160. Yard Requirements (2000-Or-043, § 2, 5-19-2000):

- a. In general. The minimum yard requirements for uses located in the residence districts shall be as set forth in each residence district, and in Chapter 535, Regulations of General Applicability, except as provided below. Required yards shall be unobstructed from the ground level to the sky, except as provided as a permitted obstruction in Chapter 535, Regulations of General Applicability.
- b. Front yard increased. The required front yard shall be increased where the established front yard of the closest principal building originally designed for residential purposes located on the same block face on either side of the property exceeds the front yard required by the zoning district. In such case, the required front yard shall be not less than such established front yard, provided that where there are principal buildings originally designed for residential purposes on both sides of the property, **the required front yard shall be not less than that established by a line joining the nearest front corners of both buildings.** Nothing in this provision shall authorize a front yard less than that required by the zoning district
- c. Corner side yard. Where a corner side yard is required, it shall not exceed the applicable front yard requirement.

Per the code - 546.510. Yard requirements:

The minimum yard requirements for uses located in the R4 District shall be as specified in Table 546-12, R4 Yard Requirements. (Front Yard 15')

Per the code – Table 535-1 Permitted Obstructions in Required Yards:

Walkways, not exceeding four (4) feet in width. Walkways for multiple-family dwellings of five (5) units or more shall not exceed six (6) feet in width. Walkways for Institutional and Public Uses shall not exceed eight (8) feet in width. Except for public recreational walkways and bicycle trails, walkways in required yards shall not be constructed of asphalt.

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Practical difficulties exist in complying with the above listed ordinances due to the irregular shape of the property, the vastly different setbacks of the two buildings on each side of the proposed building, and the significant grade change within the property.

- a. The irregular shape of the property, created by the curving of Sheridan Avenue South, makes development of the property difficult. The long and narrow lot conditions of the site are further intensified by the wedging of the property between two regular shaped lots.

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TEL 612 359 9430
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- b. The vastly different setbacks of the two buildings to either side of the property result in a greatly increased and irregular front yard requirement compared to the 15 foot setback that would typically be required in an R4 district. The setback of the house to the north is 61'-9", which exceeds the general 25 foot setback required in an R1 district. The setback of the apartment building to the south is 18'-10", which is also further than that required in an R4 district. Together these setbacks cut a diagonal line across one third of the property.
- c. The 3'-6" grade change from the public sidewalk to the first floor makes accommodating the required accessible route to an accessible entrance for the first floor dwelling unit difficult. Although achieving the accessible route on the interior side of the property is possible, placing the entrance on the side of the building requires the interior side yard to be increased to that required for a front yard. This requirement would further reduce the buildable area of the site.
- d. The connection of the walkway to the driveway to create a walkway along the side of the driveway creates a condition where the proposed walkway exceeds 6 feet in width.

2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

The proposed building will be used in a manner that will keep in spirit and intent of the ordinance and the comprehensive plan.

- a. A variance to decrease the front yard requirement for the proposed building is consistent with the front yard requirements for an R4 district. The proposed 16 foot set back from the front property line, is further than the 15 foot setback required for a typical R4 development. Additionally, the proposed building footprint steps back to 24 feet near the R1 district to the north.
- b. A variance to listed front yard requirements is consistent with the comprehensive plans policies relating to traditional urban form in residential areas. (See Number 5 of Required Findings For Conditional Use Permits as outlined above.)

3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

A variance to the listed front yard requirements of the proposed building is not detrimental to these and other conditions as outlined above.

Variance for Side Yard Requirements:

Per the code - 546.510. Yard requirements (in R4 District)

The minimum yard requirements for uses located in the R4 District shall be as specified in Table 546-12, R4 Yard Requirements. The Side Yard requirement for multiple family dwellings is $5 + 2X$, where X is the number of stories above the first floor. For a 4-story building, the side yard requirement is 11 feet.

Per the code – Table 535-1 Permitted Obstructions in Required Yards:

Balconies, decks and ground level patios not exceeding fifty (50) square feet in area and projecting not more than four (4) feet into the required yard. Such balcony, deck or ground level patio may project into a required interior side yard of a multiple family dwelling of four (4) or more stories, provided such balcony, deck or ground level patio shall be located no closer than ten (10) feet from the interior side lot line.

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the above listed ordinances due to the irregular shape of the property and the small size of a lot that is zoned R4.

- a. The irregular shape of the property, created by the curving of Sheridan Avenue South, makes development of the property difficult. The long and narrow lot conditions of the site are further intensified by the wedging of the property between two regularly shaped lots.
- b. Meeting the required side yard setback would negatively affect development of the property, as it further reduces the buildable area of the already limited site.
- c. The relatively small size of the lot and the irregular shape make it difficult to achieve the desired medium density of development called for in the R4 district without a yard variance.
- d. The accessible dwelling unit located on the north side of the building requires a concrete terrace for an accessible entrance.
- e. The open egress stair on the east of the proposed building requires a concrete terrace for egress from the building.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed building will be used in a manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

- a. The proposed building is less dense than typically encouraged for R4 property. This allows for the building to make a transition in height and scale between the high density R4 district to the south to the lower density R1 district to the north.
- b. The proposed building is in keeping with the spirit and intent of the ordinance because the building steps back to meet the required side yard setbacks as it increases in height.
 - i. The majority of the building is 3 stories and is setback 9'.
 - ii. The additional fourth story is setback more than 11'.
- c. The concrete terrace at the north side of the property is responding to the need for a required accessible entrance to the first floor unit. If not for this ordinance, the terrace would not be located in the required side yard.
- d. The concrete terrace at the south side of the property is providing egress from the building.

3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Reducing the required side yard of the proposed building is not detrimental to these and other conditions.

- a. The proposed variance does not alter the essential character of the locality or enjoyment of the other property as the majority of the building (which is essentially 3 stories and 35'-11") will be setback 9', meeting the setback requirement for a building of this height. The additional fourth story penthouse is setback more than 11' and therefore does not alter the character of the locality.
- b. The significant setback of the 4th story penthouse will mitigate its impact on the adjacent uses.
- c. The proposed side yard variance for the concrete terraces has little to no impact on other property in in the vicinity and will not alter the character of the locality.
- d. The proposed building improves the health, safety and welfare of the general public and those using the property and nearby properties by replacing the current dilapidated structures.

SPECIFIC REQUIREMENTS FOR CONDITIONAL USE PERMIT AND VARIANCE IN THE SHORELAND OVERLAY DISTRICT:

- 1. The prevention of soil erosion or other possible pollution of public waters, both during and after construction.***

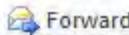
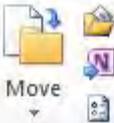
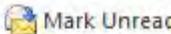
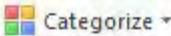
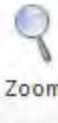
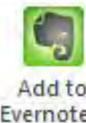
The project will comply with all City requirements for grading and erosion control during demolition and construction. The finished site will be graded and landscaped to manage storm water runoff.

- 2. Limiting the visibility of structures and other development from protected waters.***

The new building will not be visible from Lake Harriet.

- 3. The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.***

The development will not generate watercraft activity on the Chain of Lakes beyond that which can typically be expected and which is encourage by area residents.

 Delete
 Reply
 Reply All
 Forward
 4255 Sheridan
 To Manager
 Team E-mail
 Move
 Mark Unread
 Categorize
 Follow Up
 Editing
 Zoom
 Add to Evernote 5 Evernote

From: Carl Gauley
 To: 'info@linden hills.org'; 'Christy Prediger'; larry@larrylavercombe.com
 Cc: paul.blomquist@candmford.com; Kristin Eggerling (keggerling@gmail.com); Matthew Kreilich
 Subject: 4255 Sheridan Avenue South: 3 Unit Condominium
 Sent: Mon 2/10/2014 2:40 PM

Message  LUA_letter LHiNC.pdf (225 KB)

Christy,

Per the requirements of the City's General Land Use Application Checklist, I am writing to inform you that the three unit condominium project at 4255 Sheridan Avenue South is applying for the following required applications:

1. Conditional Use Permit for Increasing Maximum Height in the Shoreland Overlay District:
 - a. The height of the building will be 3 stories (35'-11") with a setback penthouse (46'-9").
2. Variance to Front Yard Requirements:
 - a. Building extends into required front yard, accessible entrance north side of the building.

Please see attached PDF for a complete description of the project and required land use applications.

Thank you,

Carl Gauley, Assoc. AIA

JULIE SNOW ARCHITECTS, INC.
 2400 Rand Tower
 527 Marquette Avenue
 Minneapolis MN 55402

612.752.0268 d
 612.359.9430 t
 612.359.9530 f

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TO: LHiNC Coordinator
Linden Hills Neighborhood Council (LHiNC)
P.O. Box 24049
Minneapolis, MN 55424
612-926-2906
info@lindenhills.org

FROM: Property Owner:
Paul Blomquist & Kristin Eggerling
4255 Sheridan LLC
425 S 3rd Street, Hallock MN 56728
Phone: 218-988-2658
Email: paul.blomquist@candmford.com
keggerling@gmail.com

Applicant's Representative:
Carl Gauley, Associate AIA
c/o Julie Snow Architects
527 Marquette Avenue South, Suite 2400
Phone: 612.752.0268
Email: carl@juliesnowarchitects.com

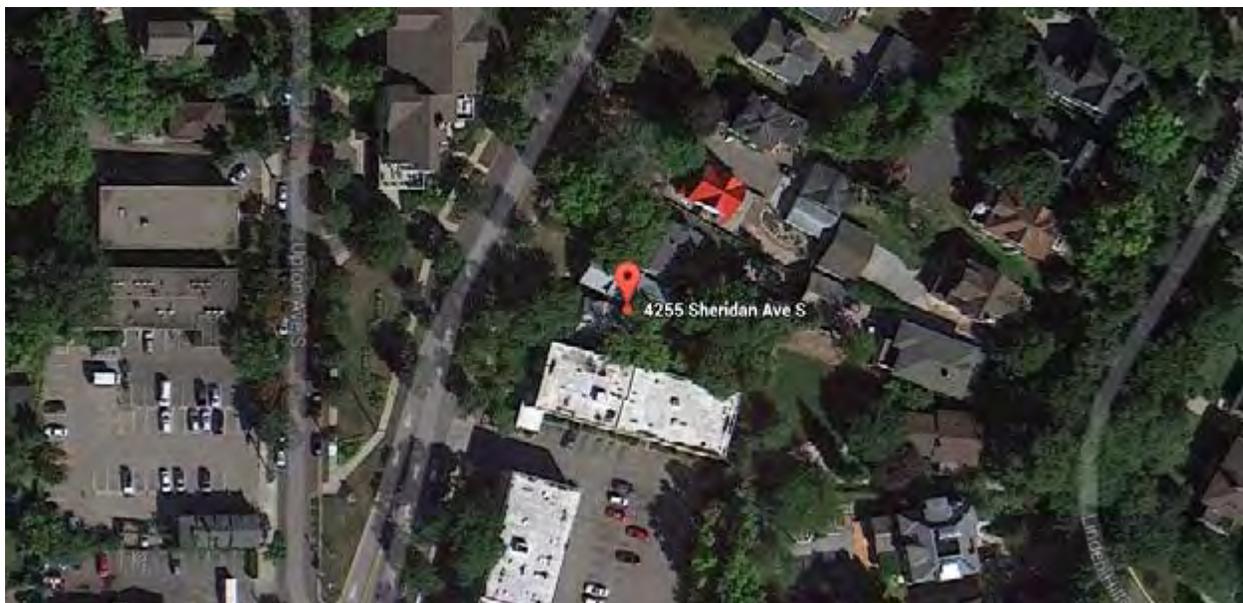
DATE: February 10th, 2014

RE: 4255 SHERIDAN AVENUE SOUTH CONDOMINIUM

Property Address(s):
4255, 4257, 4259 Sheridan Avenue South
Minneapolis, MN 55410
Property ID: 0802824410022

Property Zoning Classifications:
R4/ Multiple Family District
SH/ Shoreland Overlay District.

PROJECT LOCATION SITE MAP:



2400 RAND TOWER
527 MARQUETTE AVENUE
MINNEAPOLIS MINNESOTA 55402
TEL 612 359 9430
FAX 612 359 9530

DESCRIPTION OF PROJECT:

The project is located on a .2 acre site "wedge"-shaped site at 4255 Sheridan Avenue South. The site is currently three dilapidated buildings housing four dwelling units. The site is bounded on the west by a Sheridan Avenue South and shares a property line with an R4 apartment building to the south, and R1 residential homes to the north and east. The site is zoned R4 (Multiple Family District) and SH (Shoreland Overlay District). The site is well located on bus and transit lines and in one of the city's most sought after residential and commercial neighborhoods, Linden Hills. It is close to desirable amenities including shopping, dining, cultural and recreational areas such as Lake Harriet.

The project will be comprised of approximately 7,000 sf of living space in a single four story (including penthouse) residential building with three condominium units, a private penthouse and roof deck, and six resident parking spaces in a secure below grade parking garage. Site improvements include a private side yard for the first floor unit, a common terrace in the rear yard for all units, vehicular access (currently the site has no vehicle access, and improved landscaping and plantings.

**List of required applications:**

1. Conditional Use Permit for Increasing Maximum Height in the Shoreland Overlay District:
 - a. The height of the building will be 3 stories (35'-11") with a setback penthouse (46'-9").
2. Variance to Front Yard Requirements:
 - a. Building extends into required front yard, accessible entrance north side of the building.

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 527 MARQUETTE AVENUE
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Current Code:

1. Per the code - 551.480. Height of structures (2008-Or-010, § 2, 2-1-08):
 ...Except for structures subject to a more restrictive maximum height limitation in the primary zoning district, the maximum height of all structures within the SH Overlay District, except for single and two-family dwellings, shall be two and one-half (2.5) stories or thirty-five (35) feet, whichever is less...
2. Per the code - 546.160. Yard Requirements (2000-Or-043, § 2, 5-19-2000):
 ... the required front yard shall be not less than that established by a line joining the nearest front corners of both buildings...
3. 546.510. Yard requirements (in R4 District)
 The minimum yard requirements for uses located in the R4 District shall be as specified in Table 546-12, R4 Yard Requirements. (Front Yard 15')

Unique Circumstances:

Practical difficulties exist in complying with the above listed ordinances due to its unique location between a lower density R1 district and a higher density R4 district, the irregular shape of the property, the vastly different setbacks of the two buildings on each side of the proposed building, and the significant grade change within the property.

1. The site is located between the lower density R1 and higher density R4 district. An increase to the maximum height will allow the building to more closely fit the scale of the adjacent R4 apartment building, while stepping back in plan to fit into the context of the R1 district.
2. The irregular shape of the property, created by the curving of Sheridan Avenue South, makes development of the property difficult. The long and narrow lot conditions of the site are further intensified by the wedging of the property between two regular shaped lots.
3. The vastly different setbacks of the two buildings to either side of the property result in a greatly increased front yard requirement than the 15 feet that would typically be required for R4 district.
4. The 3'-6" grade change from the public sidewalk to the first floor makes accommodating the required accessible route to an accessible entrance for the first floor dwelling unit difficult. Although achieving the accessible route on the interior side of the property is possible, placing the entrance on the side of the building requires the interior side yard to be increased to that required for a front yard. This requirement would further reduce the buildable area of the site.

LHiNC Zoning Committee Meeting to be attended:

February 17th, 2014.

City Planner:

Kimberly Holien

Phone: 612.673.2402

Kimberly.Holien@minneapolismn.gov

2400 RAND TOWER
 527 MARQUETTE AVENUE
 MINNEAPOLIS MINNESOTA 55402
 TEL 612 359 9430
 FAX 612 359 9530

File

Message

Adobe PDF

From: Carl Gauley
 To: 'emily.ziring@minneapolismn.gov'
 Cc: paul.blomquist@candmford.com; Kristin Eggerling (keggerling@gmail.com); Matthew Kreilich
 Subject: 4255 Sheridan Avenue South: 3 Unit Condominium
 Sent: Mon 2/10/2014 2:45 PM

Message LUA_letter council member.pdf (225 KB)

Emily,

Per the requirements of the City's General Land Use Application Checklist, I am writing to inform you and council member (Linea Palmisano, Ward 13) that the three unit condominium project at 4255 Sheridan Avenue South is applying for the following required applications:

1. Conditional Use Permit for Increasing Maximum Height in the Shoreland Overlay District:
 - a. The height of the building will be 3 stories (35'-11") with a setback penthouse (46'-9").
2. Variance to Front Yard Requirements:
 - a. Building extends into required front yard, accessible entrance north side of the building.

Please see attached PDF for a complete description of the project and required land use applications.

Thank you,

Carl Gauley, Assoc. AIA

JULIE SNOW ARCHITECTS, INC.
 2400 Rand Tower
 527 Marquette Avenue
 Minneapolis MN 55402

612.752.0268 d
 612.359.9430 t
 612.359.9530 f

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See more about: Carl Gauley.



TO: Linea Palmisano, Ward 13
350 S. 5th St., Room 307
Minneapolis, MN 55415
(612) 673-2213
Emily Ziring, Council Aide
Email: emily.ziring@minneapolismn.gov

FROM: Property Owner:
Paul Blomquist & Kristin Eggerling
4255 Sheridan LLC
425 S 3rd Street, Hallock MN 56728
Phone: 218-988-2658
Email: paul.blomquist@candmford.com
keggerling@gmail.com

Applicant's Representative:
Carl Gauley, Associate AIA
c/o Julie Snow Architects
527 Marquette Avenue South, Suite 2400
Phone: 612.752.0268
Email: carl@juliesnowarchitects.com

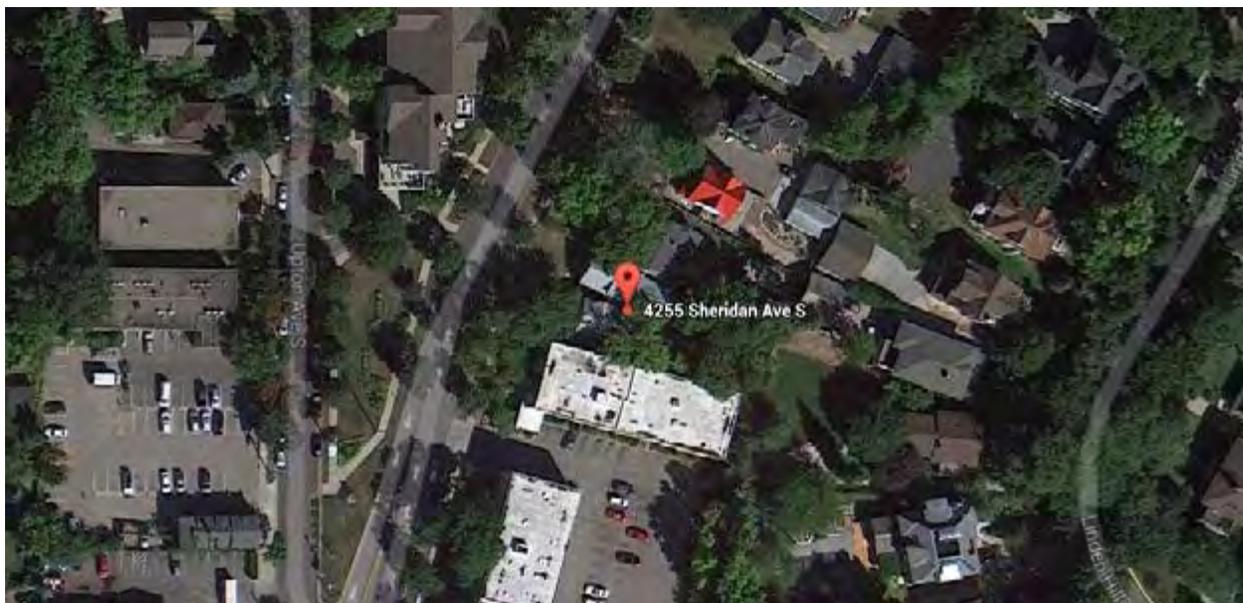
DATE: February 10th, 2014

RE: 4255 SHERIDAN AVENUE SOUTH CONDOMINIUM

Property Address(s):
4255, 4257, 4259 Sheridan Avenue South
Minneapolis, MN 55410
Property ID: 0802824410022

Property Zoning Classifications:
R4/ Multiple Family District
SH/ Shoreland Overlay District.

PROJECT LOCATION SITE MAP:



2400 RAND TOWER
527 MARQUETTE AVENUE
MINNEAPOLIS MINNESOTA 55402
TEL 612 359 9430
FAX 612 359 9530

DESCRIPTION OF PROJECT:

The project is located on a .2 acre site "wedge"-shaped site at 4255 Sheridan Avenue South. The site is currently three dilapidated buildings housing four dwelling units. The site is bounded on the west by a Sheridan Avenue South and shares a property line with an R4 apartment building to the south, and R1 residential homes to the north and east. The site is zoned R4 (Multiple Family District) and SH (Shoreland Overlay District). The site is well located on bus and transit lines and in one of the city's most sought after residential and commercial neighborhoods, Linden Hills. It is close to desirable amenities including shopping, dining, cultural and recreational areas such as Lake Harriet.

The project will be comprised of approximately 7,000 sf of living space in a single four story (including penthouse) residential building with three condominium units, a private penthouse and roof deck, and six resident parking spaces in a secure below grade parking garage. Site improvements include a private side yard for the first floor unit, a common terrace in the rear yard for all units, vehicular access (currently the site has no vehicle access, and improved landscaping and plantings.

**List of required applications:**

1. Conditional Use Permit for Increasing Maximum Height in the Shoreland Overlay District:
 - a. The height of the building will be 3 stories (35'-11") with a setback penthouse (46'-9").
2. Variance to Front Yard Requirements:
 - a. Building extends into required front yard, accessible entrance north side of the building.

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Current Code:

1. Per the code - 551.480. Height of structures (2008-Or-010, § 2, 2-1-08):
 ...Except for structures subject to a more restrictive maximum height limitation in the primary zoning district, the maximum height of all structures within the SH Overlay District, except for single and two-family dwellings, shall be two and one-half (2.5) stories or thirty-five (35) feet, whichever is less...
2. Per the code - 546.160. Yard Requirements (2000-Or-043, § 2, 5-19-2000):
 ... the required front yard shall be not less than that established by a line joining the nearest front corners of both buildings...
3. 546.510. Yard requirements (in R4 District)
 The minimum yard requirements for uses located in the R4 District shall be as specified in Table 546-12, R4 Yard Requirements. (Front Yard 15')

Unique Circumstances:

Practical difficulties exist in complying with the above listed ordinances due to its unique location between a lower density R1 district and a higher density R4 district, the irregular shape of the property, the vastly different setbacks of the two buildings on each side of the proposed building, and the significant grade change within the property.

1. The site is located between the lower density R1 and higher density R4 district. An increase to the maximum height will allow the building to more closely fit the scale of the adjacent R4 apartment building, while stepping back in plan to fit into the context of the R1 district.
2. The irregular shape of the property, created by the curving of Sheridan Avenue South, makes development of the property difficult. The long and narrow lot conditions of the site are further intensified by the wedging of the property between two regular shaped lots.
3. The vastly different setbacks of the two buildings to either side of the property result in a greatly increased front yard requirement than the 15 feet that would typically be required for R4 district.
4. The 3'-6" grade change from the public sidewalk to the first floor makes accommodating the required accessible route to an accessible entrance for the first floor dwelling unit difficult. Although achieving the accessible route on the interior side of the property is possible, placing the entrance on the side of the building requires the interior side yard to be increased to that required for a front yard. This requirement would further reduce the buildable area of the site.

LHiNC Zoning Committee Meeting to be attended:

February 17th, 2014.

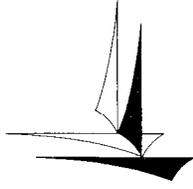
City Planner:

Kimberly Holien

Phone: 612.673.2402

Kimberly.Holien@minneapolisismn.gov

2400 RAND TOWER
 527 MARQUETTE AVENUE
 MINNEAPOLIS MINNESOTA 55402
 TEL 612 359 9430
 FAX 612 359 9530



Minneapolis Development Review
 250 South 4th Street
 Room 300
 Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **PATRICIA MURZYN**
(612) 673-5827
patricia.murzyn@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001171
Applicant:	4255 SHERIDAN LLC 425 3RD ST S HALLOCK, MN 56728
Site Address:	4255 SHERIDAN AVE S
Date Submitted:	12-FEB-2014
Date Reviewed:	19-FEB-2014

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Construction of multiple-family residence (3 unit condo)

Review Findings (by Discipline)

□ Addressing

- The address for the proposed condo building will be 4255 Sheridan Avenue South. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning unit numbers to the interior dwelling spaces the following guidelines apply:
- The first one to two digits of the suite sequence number will designate the floor number of the site.
- The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
- Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
- Please provide each condo, suite, unit or apartment number.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Zoning - Planning

- The project requires the following land use applications:
- Site Plan Review
- Side yard setback variances
- Front yard setback variance
- The following additional information is needed:
- A revised site plan showing the proposed balconies in relationship to the property line(s).
- A revised statement of findings addressing the front yard setback variance. In addition to the building wall being located in the required front yard, the walkway exceeds 6 feet in width where it meets the driveway and is therefore not a permitted encroachment.
- A revised statement of variance findings addressing all obstructions within the required side yard setbacks. The required side yard setback for this four-story building is 11 feet. In addition to the identified variance for the ADA entrance, the following obstructions have been identified:
- A setback variance from 11 feet to approximately 9.4 feet along the south property line for the open stair.
- The concrete terrace on the south side of the open stair is not a permitted encroachment and a setback variance from 5 feet to 0 is required.
- A setback variance from 11 feet to 9 feet for the building wall along the north property line.
- -The concrete terrace in front of the ADA entrance on the north side of the building is not a permitted encroachment and requires a side yard setback variance from 5 feet to approximately 3.5 feet.

□ Parks - Forestry

- Contact Paul Martinson (612-499-9209) regarding removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance: <http://library.municode.com/index.aspx?clientId=11490>.
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, the calculated dedication fee for your three unit condo is:
- 3 charges x \$1500 = \$4500
- 2 credits X \$1500 = \$3000
- 5% Admin Fee = \$ 75
- Total = \$1575
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Patty Murzyn at 612-673-5827.

□ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.

□ Street Design

- Typically, proposed sidewalks, curbs, and driveway aprons are detailed on the Grading Plan or a specific Civil Site Plan. The current site plan submittal includes these details on Sheet L1.0 (Site and Landscaping Plan) which could be confusing to contractors.
- Removal of an existing curb cut is noted on Sheet L1.0 of the plans but not identified on Sheet C2.0 (Site Demolition Plan). If the curb cut is intended for removal it shall be clearly noted on the Site Demolition Plan.
- All driveway aprons shall be designed and constructed to City standards; proposed driveway aprons shall be shown graphically correct on all related plan sheets. In addition to the details included on Sheet C7.0 of the plans, add the appropriate details from the ROAD-2000 Series: Driveways (ROAD-2000, ROAD-2001) to the plans. Please refer to the following:
http://www.minneapolismn.gov/publicworks/plates/public-works_road.
- Locations for curb replacement due to utility cuts and proposed demolitions shall be clearly noted on the plans. All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Please refer to the following:
http://www.minneapolismn.gov/publicworks/plates/public-works_road. . Add the appropriate details from the ROAD-1000 Series - Curbs and Gutters (ROAD-1003, and ROAD-1010) to the plans.

□ Sidewalk

- All Public sidewalks fronting the Project along Sheridan Ave. S. is noted and detailed on Sheet C2.0 (Site Demolition Plan) for removal, but identified on Sheet L1.0 to be saved and protected. The Applicant shall clarify the intent to remove or save sidewalk on all related plan sheets.

□ Traffic and Parking

- The driveway should be designed with a maximum grade of 4 percent for the first 20' in from the property line.

□ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.
- Note to the Applicant: A 6" combination line may be over sized; please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

□ Sewer Design

- Stormwater Management: The proposed project is located within the Minnehaha Creek Watershed District, which has a separate review process from that of the City. Please note it may be necessary to obtain approvals or permits from Minnehaha Creek Watershed District.
- Surface Drainage: Please provide stormwater modeling calculations identifying the high water levels expected for the various low spots and storage areas proposed with the project. The stormwater runoff must be managed in a manner that does not negatively impact adjacent properties or right-of-way. Any off-site drainage onto the property should also be identified and incorporated into the modeling. Please include any supporting documentation to evaluate the modeling (storage details, geotech reports, etc.)
- It is recommended that an emergency overflow be provided for the lower driveway so that any water ponding in this area has the opportunity to safely overflow prior to entering the proposed garage areas. It is also recommended that stormwater modeling be completed to evaluate the possible risk of flooding to the garage areas and improvements made accordingly.
- The emergency overflow for the permeable paver/stormwater storage area must be shown on the plan. The emergency overflow must be designed in a manner that does not negatively impact adjacent properties.
- The existing drainage pattern for the site, including off-site drainage that enters the property, should be clearly shown on the plans. The proposed project should not negatively impact any existing off-site drainage. The proposed berm along the east property line may impede the existing drainage pattern.

- Utility Connections: If possible, it is preferred that the sanitary sewer service connection be made at the existing manhole on the City main. The invert of the connection should be no more than 24" above the invert of the main. If a connection to the manhole is not feasible for the site, please contact Jeremy Strehlo, 612-673-3973, for alternative requirements.
- The City sanitary sewer main where the existing sanitary sewer service is proposed to be removed shall be bulkheaded, per the City of Minneapolis Standard Supplemental Specifications.
- Utility: All existing and proposed public utilities (water, sanitary, and storm sewer) on and adjacent to the property shall be shown on the plans with corresponding pipe sizes, types and invert elevations. For City sanitary and storm sewer infrastructure records contact (612) 673-2405. All existing service connections to the property shall also be shown and noted on the plans as being removed or remaining in place. For service connection records contact (612) 673-2451.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

❑ Construction Code Services

- Ensure water service sized and installed to meet domestic and sprinkler requirements.
- Energy design will be per MN Rules 1323.
- Retaining wall structures to be engineered.
- Identify special inspection requirements and provide proper forms with required signatures prior to future permit issuance.
- Provide stabilization plan to protect adjacent properties where damage may occur.
- Ensure mechanical room provided as may be needed for elevator.
- Verify with plumber garage drainage and interceptor requirements. A Service Availability Charge (SAC) determination may need to be submitted to for the proposed project. Please refer to this link for more information or see http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf.

❑ Fire Safety

- Provide required fire alarm system throughout building.

❑ Environmental Health

- If the site proposal calls for underground parking or subgrade structures they should be designed to prevent the infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- If dewatering is required during site construction see below for city permit requirements.
- If the project will be disturbing identified impacted soils on the site preapproval for removal, disposal and/or reuse of must occur from the MCPA and the City of Minneapolis prior to beginning excavation activities. If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.

- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

□ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of existing structures.

END OF REPORT

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

4255-59 Sheridan Avenue S

FILE NUMBER

BZZ-6442

4255 SHERIDAN AVENUE SOUTH

Client

4255 Sherldan LLC
425 South Third Street
Hallock, MN 56728

Architectural

Julie Snow Architects, Inc.
2400 Rand Tower
527 Marquette Avenue
Minneapolis, MN 55402
612.359.9430 t.
612.359.9530 f.

Structural Engineer

Meyer Borgman Johnson
18 South Sixth Street Suite 810
Minneapolis, MN 55402
612.338.0713 t.

Civil Engineer

Pierce Pini & Associates
9298 Central Avenue NE, Suite 202
Blaine, MN 55434
763.537.1311 t.
763.537.1354 f.

Landscape Architect

Travis Van Liere Studio, LLC
4146 Coffman Lane
Minneapolis, Minnesota 55406
612.760.0494 t.

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

Revisions

CITY SUBMITTAL 2014.02.10

Project Number 2013.01

Drawn By clg

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature Date

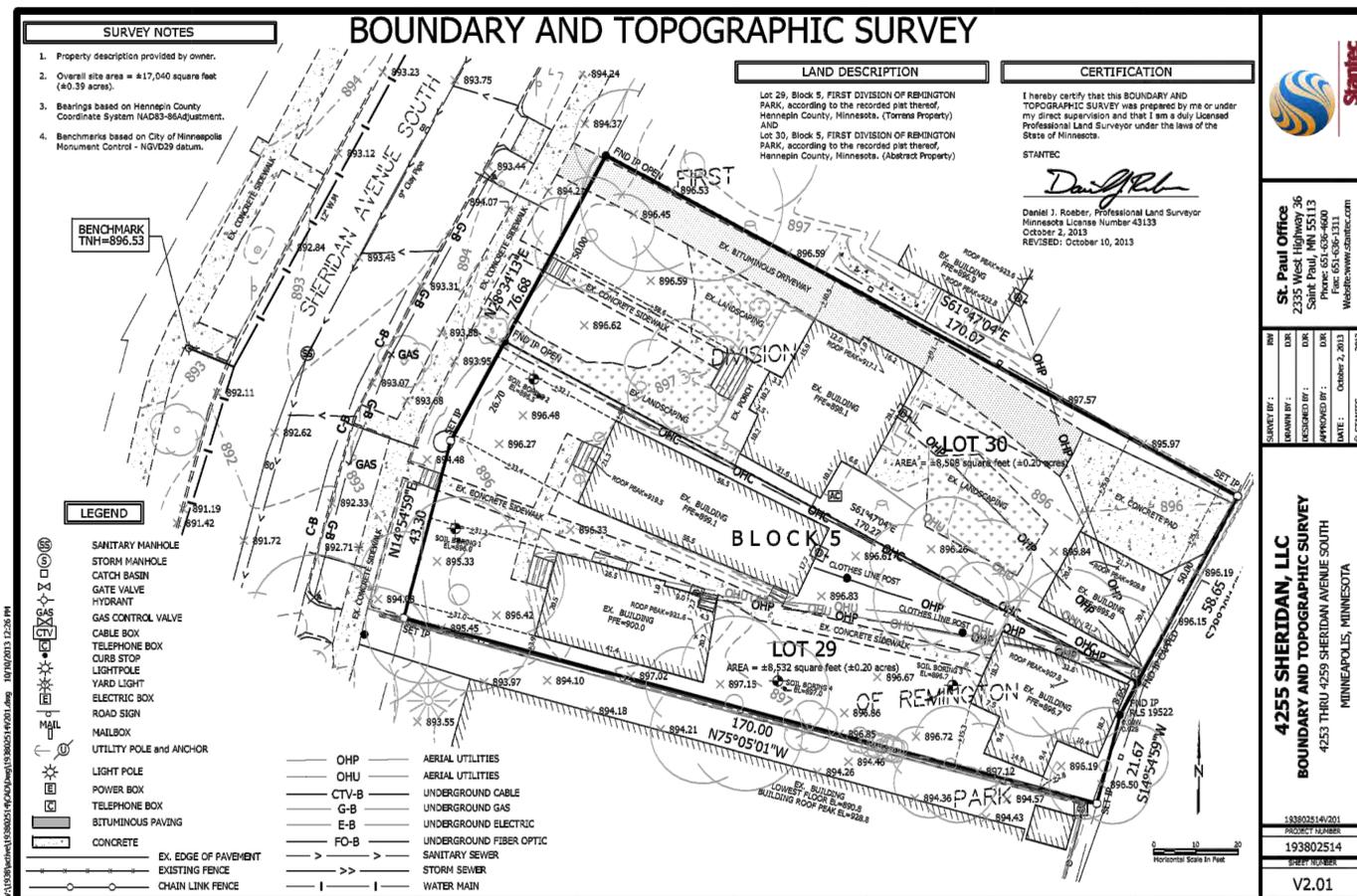
Typed or Printed Name: Matt Kreilich, AIA, LEED AP

Reg. No. 45716

SCALE: 1/16" = 1'-0"

EXISTING BOUNDARY AND TOPOGRAPHIC SURVEY

V2.01



SURVEY NOTES

- Property description provided by owner.
- Overall site area = ±17,040 square feet (±0.39 acres).
- Bearings based on Hennepin County Coordinate System NAD83-86 Adjustment.
- Benchmarks based on City of Minneapolis Monument Control - NGVD29 datum.

BOUNDARY AND TOPOGRAPHIC SURVEY

LAND DESCRIPTION

Lot 29, Block 5, FIRST DIVISION OF REMINGTON PARK, according to the recorded plat thereof, Hennepin County, Minnesota. (Torrens Property) AND Lot 30, Block 5, FIRST DIVISION OF REMINGTON PARK, according to the recorded plat thereof, Hennepin County, Minnesota. (Abstract Property)

CERTIFICATION

I hereby certify that this BOUNDARY AND TOPOGRAPHIC SURVEY was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Minnesota.

STANTEC

Daniel J. Roeber

Daniel J. Roeber, Professional Land Surveyor
Minnesota License Number 43133
October 2, 2013
REVISED: October 10, 2013



St. Paul Office
2335 West Highway 36
Saint Paul, MN 55113
Phone: 651-636-4600
Fax: 651-636-1311
Website: www.stantec.com

SURVEY BY:	RW
DRAWN BY:	DJR
DESIGNED BY:	DJR
APPROVED BY:	DJR
DATE:	October 2, 2013
© STANTEC	2013

4255 SHERIDAN, LLC
BOUNDARY AND TOPOGRAPHIC SURVEY
4253 THRU 4259 SHERIDAN AVENUE SOUTH
MINNEAPOLIS, MINNESOTA

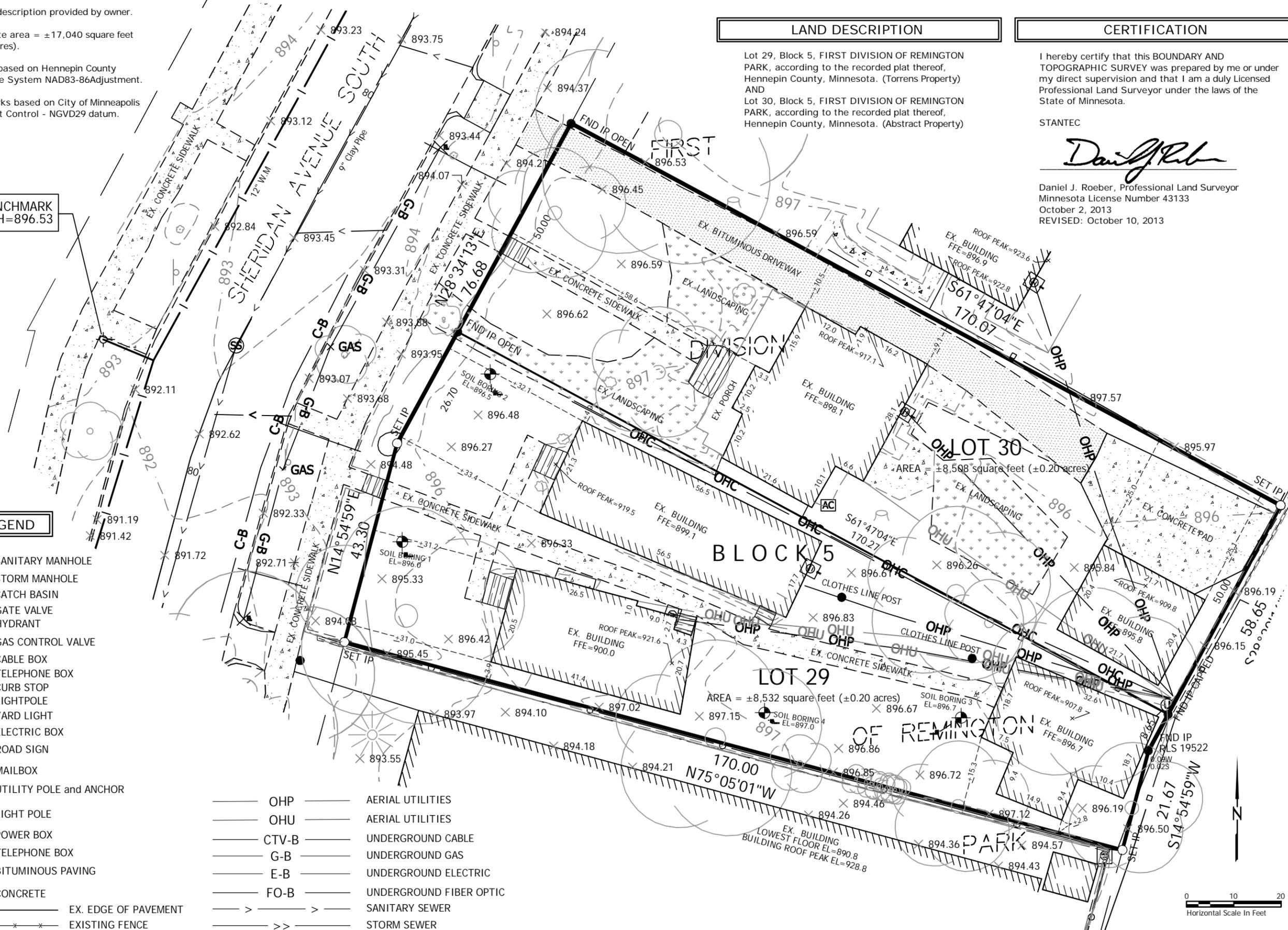
193802514V201
PROJECT NUMBER
193802514
SHEET NUMBER
V2.01

BENCHMARK
TNH=896.53

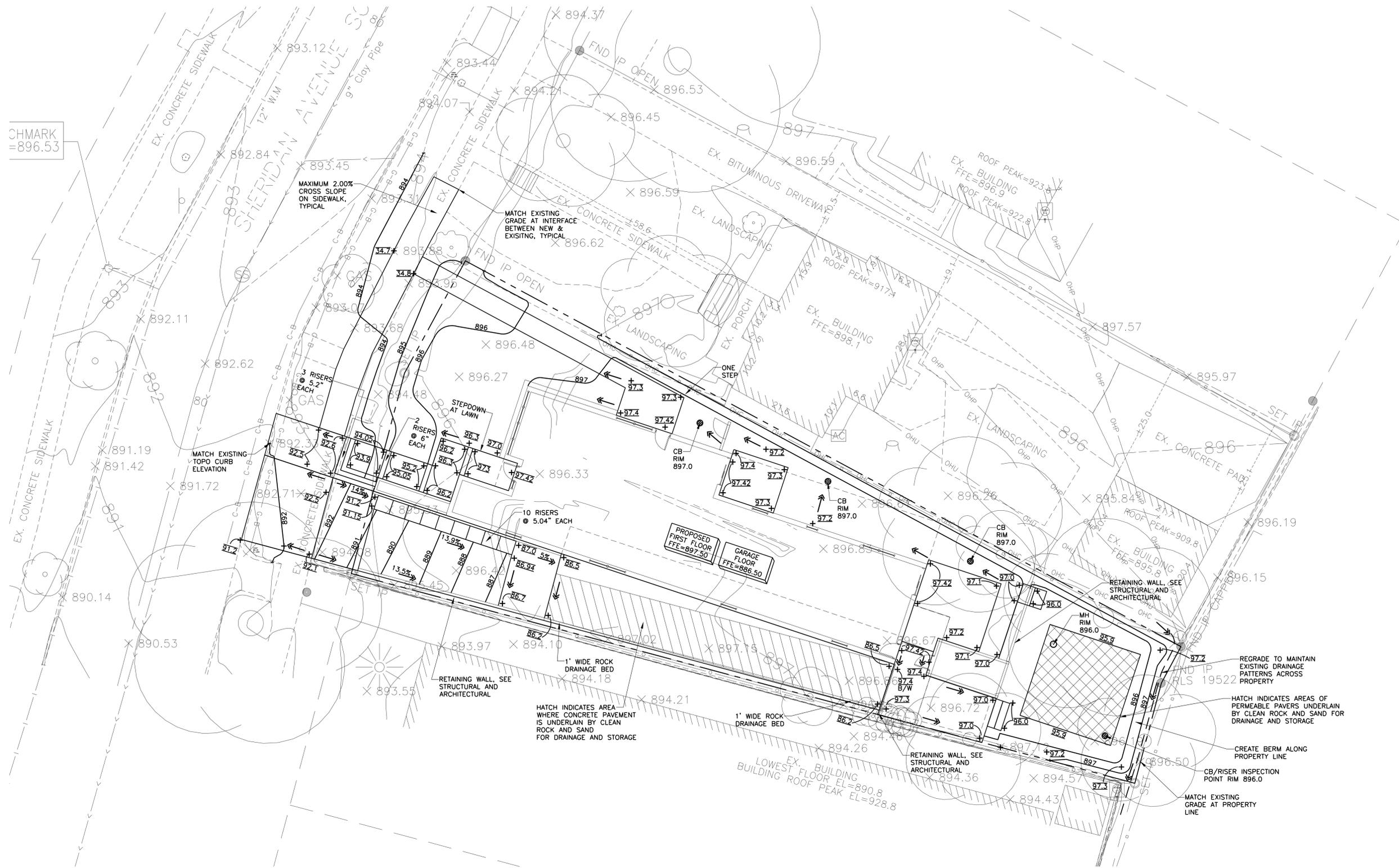
LEGEND

- | | | | |
|--|-------------------------|--|-------------------------|
| | SANITARY MANHOLE | | AERIAL UTILITIES |
| | STORM MANHOLE | | AERIAL UTILITIES |
| | CATCH BASIN | | UNDERGROUND CABLE |
| | GATE VALVE | | UNDERGROUND GAS |
| | HYDRANT | | UNDERGROUND ELECTRIC |
| | GAS CONTROL VALVE | | UNDERGROUND FIBER OPTIC |
| | CABLE BOX | | SANITARY SEWER |
| | TELEPHONE BOX | | STORM SEWER |
| | CURB STOP | | WATER MAIN |
| | YARD LIGHT | | |
| | ELECTRIC BOX | | |
| | ROAD SIGN | | |
| | MAILBOX | | |
| | UTILITY POLE and ANCHOR | | |
| | LIGHT POLE | | |
| | POWER BOX | | |
| | TELEPHONE BOX | | |
| | BITUMINOUS PAVING | | |
| | CONCRETE | | |
| | EX. EDGE OF PAVEMENT | | |
| | EXISTING FENCE | | |
| | CHAIN LINK FENCE | | |

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CHMARK
=896.53



NORTH
 1 GRADING AND DRAINAGE PLAN
 C5.0
 0 10' 20' 30'
 1"=10'

4255 Sheridan LLC
 425 South Third Street
 Hallock, MN 56728

Julie Snow Architects, Inc.
 2400 Rand Tower
 527 Marquette Avenue
 Minneapolis, MN 55402
 612.359.9430 t.
 612.359.9530 f.

Meyer Borgman Johnson
 18 South Sixth Street Suite 810
 Minneapolis, MN 55402
 612.338.0713 t.

Pierce Pini & Associates
 9298 Central Avenue NE, Suite 312
 Blaine, MN 55434
 763.537.1311 t.
 763.537.1354 f.

Travis Van Liere Studio, LLC
 4146 Coffman Lane
 Minneapolis, Minnesota 55406
 612.760.0494 t.

Revisions

CITY SUBMITTAL	2014.02.07
----------------	------------

Project Number	2013.01
Drawn By	ALA

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the state of Minnesota.

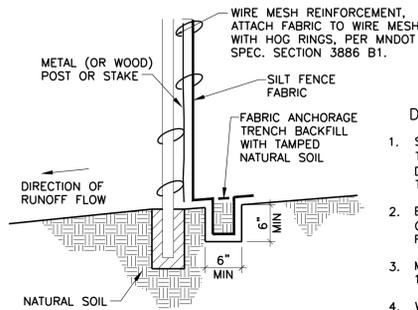
Signature _____ Date _____

Typed or Printed Name: Rhonda S. Pierce

Reg. No. 41333

GRADING AND DRAINAGE PLAN

C5.0



NOTE: SILT FENCE SHALL FOLLOW MNDOT SPEC. SECTION 3886.

FIGURE 1 TYPICAL INSTALLATION FOR SILT FENCE

DESIGN RECOMMENDATIONS

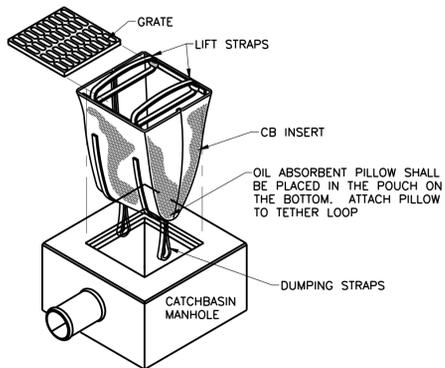
1. SILT FENCES SHOULD BE INSTALLED ON THE CONTOUR (AS OPPOSED TO UP AND DOWN A HILL) AND CONSTRUCTED SO THAT FLOW CANNOT BYPASS THE ENDS.
2. ENSURE THAT THE DRAINAGE AREA IS NO GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
3. MAKE THE FENCE STABLE FOR THE 10-YEAR PEAK STORM RUNOFF.
4. WHERE ALL RUNOFF IS TO BE STORED BEHIND THE SILT FENCE, ENSURE THAT THE MAXIMUM SLOPE LENGTH BEHIND THE FENCE DOES NOT EXCEED THE SPECIFICATIONS SHOWN IN TABLE 1.

TABLE 1 MAXIMUM SLOPE LENGTH AND SLOPE FOR WHICH SILT FENCE IS APPLICABLE

SLOPE H:V	PERCENT	BY CALCULATION	BY CALCULATION	BY ACCEPTED DESIGN PRACTICES
		SILT FENCE STORAGE EQUALS 2 FT FOR A 100-YEAR EVENT	SILT FENCE STORAGE EQUALS 2 FT FOR A 2-YEAR EVENT OR 3 FT FOR A 100-YEAR EVENT	MAXIMUM SLOPE LENGTH
100:1	1%	400 FT	900 FT	100 FT
50:1	2%	200 FT	450 FT	75 FT
25:1	4%	100 FT	225 FT	75 FT
20:1	5%	80 FT	180 FT	75-50 FT
17:1	6%	67 FT	150 FT	50 FT
12.5:1	8%	50 FT	112 FT	50 FT
10:1	10%	40 FT	90 FT	50-25 FT
5:1	20%	20 FT	45 FT	25-15 FT
4:1	25%	16 FT	36 FT	15 FT
3:1	33%	12 FT	27 FT	15 FT
2:1	50%	8 FT	18 FT	15 FT

1 HEAVY DUTY SILT FENCE DETAIL

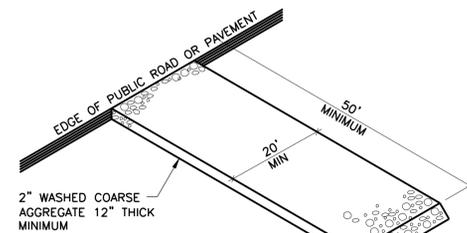
C7.1 NO SCALE



1. OIL ABSORBENT PILLOW SHALL BE REMOVED AND REPLACED WHEN NEAR SATURATION.
2. USE DANDY® BAG II AS MANUFACTURED BY DANDY® PRODUCTS, INC.
3. AN EQUIVALENT CATCHBASIN EROSION CONTROL INSERT METHOD OR PRODUCT MAY BE USED WITH PRIOR APPROVAL FROM ENGINEER.

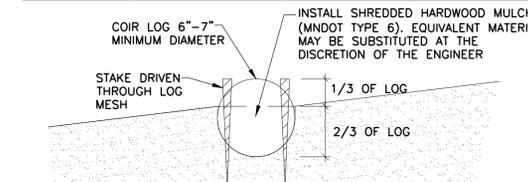
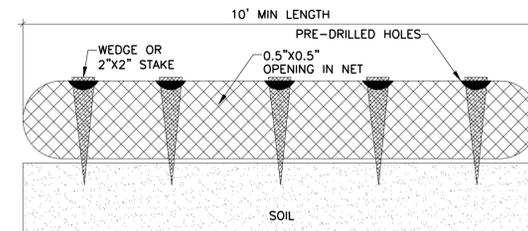
2 CB INSERT EROSION CONTROL

C7.1 NO SCALE



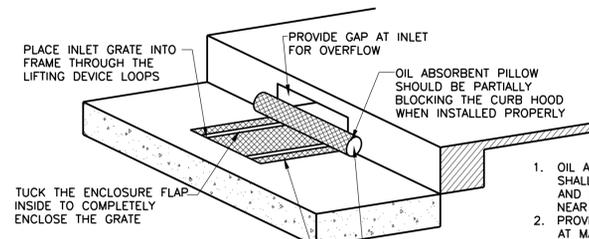
3 GRAVEL CONSTRUCTION ENTRANCE

C7.1 NO SCALE



4 COIR LOG

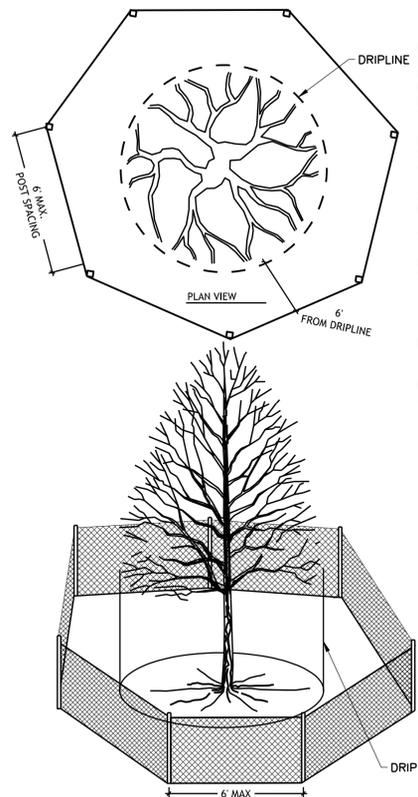
C7.1 NO SCALE



1. OIL ABSORBENT PILLOW SHALL BE REMOVED AND REPLACED WHEN NEAR SATURATION.
2. PROVIDE BEAVER DAM AT MANUFACTURED BY DANDY PRODUCTS, INC.
3. AN EQUIVALENT CURB INLET EROSION CONTROL METHOD OR PRODUCT MAY BE USED WITH APPROVAL FROM ENGINEER.

5 CATCHBASIN CURB BOX INLET EROSION CONTROL

C7.1 NO SCALE

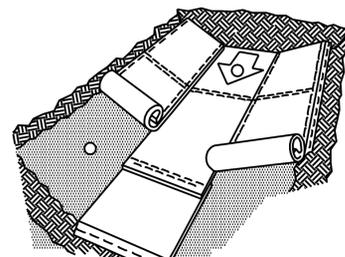


TREE PROTECTION NOTES:

- 1) ALL TREE PROTECTION FENCING AND EROSION CONTROL FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO ANY DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT. ALL TREE PROTECTION FENCING AND EROSION CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- 2) CONTRACTOR SHALL NOT STORE ANY MATERIALS OR PARK ANY VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
- 3) THE CONTRACTOR SHALL CLEANLY CUT ALL ROOTS EXPOSED BY GRADING AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- 4) THE CONTRACTOR SHALL USE DESIGNATED CONSTRUCTION ENTRANCES AND STAGING AREAS.

6 TREE PROTECTION DETAIL

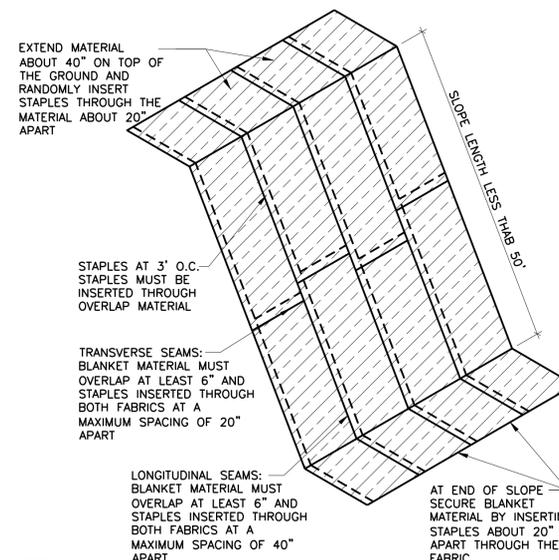
C7.1 NO SCALE



1. BEFORE INSTALLATION APPLY TOPSOIL, FERTILIZER AND SEED TO SURFACE.
2. BEGIN AT THE TOP OF THE CHANNEL, INSTALL MATS BY ANCHORING IN A 6\"/>
- 3. ROLL CENTER MATS IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL.
- 4. PLACE CONSECUTIVE AND ADJACENT MATS END OVER END (SHINGLE STYLE) WITH A MINIMUM 6\"/>
- 5. FULL LENGTH EDGE OF MATS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES APPROXIMATELY 12\"/>
- 6. THE TERMINAL END OF MATS MUST BE ANCHORED WITH A ROW OF STAPLES APPROXIMATELY 12\"/>
- 7. BACKFILL AND SEED AFTER STAPLING.
- 8. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER INSTALLATION.

7 EROSION STABILIZATION MATS

C7.1 NO SCALE



- NOTES:
1. EROSION CONTROL BLANKET TO BE CATEGORY 4-COCONUT 25 FOR SLOPES GREATER THAN 5:1 AND SIDES AND BOTTOM OF ALL DRAINAGE SWALES AND PONDING AREAS AND CATEGORY 2-STRAW 25 FOR ALL SLOPES LESS THAN 5:1 PER MNDOT SPEC. SECTION 3885.
 2. INSTALL PER MNDOT SPEC. SECTION 2575

8 EROSION CONTROL BLANKET

C7.1 NO SCALE

Revisions

CITY SUBMITTAL 2014.02.07

Project Number 2013.01

Drawn By ALA

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the state of Minnesota.

Signature Date

Typed or Printed Name: Rhonda S. Pierce

Reg. No. 41333

EROSION CONTROL DETAILS

C7.1

EXISTING HARDCOVER		PROPOSED HARDCOVER	
BUILDINGS	2,656 SF	CONDO UNIT	2,465 SF
PAVING	776 SF	STAIR TOWER	127 SF
WALLS	144 SF	DRIVEWAY	1,542 SF
		PAVING	1,565 SF
		WALLS	130 SF
TOTAL EXISTING HARDCOVER	3,576.00	TOTAL NEW HARDCOVER	5,829.00
AREA OF LOT	8,532 (.20 AC)	AREA OF LOT	8,532 (.20 AC)
PERCENTAGE OF HARDCOVER TO LOT	41.9%	PERCENTAGE OF HARDCOVER TO LOT	68.3%

IRRIGATION SCHEDULE

- ALL PROPOSED PLANTING AREAS TO RECEIVE DRIP IRRIGATION SYSTEMS.
- ALL SOD AREAS TO RECEIVE ROTOR HEAD SPRAY SYSTEMS.
- PROVIDE IRRIGATION FOR ALL BOULEVARD AREA AND GARDEN PLANTERS

MULCH SCHEDULE

- ALL NEW PLANTINGS TO RECEIVE 3" OF FINELY SHREDDED HARDWOOD MULCH
- ALL GROUNDCOVER PLANTING AREAS TO RECEIVE 3" FINELY SHREDDED PINE BARK MULCH
- MULCH AROUND EXISTING TREES AS INDICATED BY LANDSCAPE ARCHITECT

EDGING SCHEDULE

- ALL PROPOSED PLANTING AREAS AND AGGREGATE MAINTENANCE AREAS TO RECEIVE 3" WIDE PERMALOC CLEAN LINE ALUMINUM EDGING - MILL FINISH

PLANTING SCHEDULE

TREES & SHRUBS

SYM	DESCRIPTION	QTY	SIZE	COMMENTS
AG	AMELANCHER X GRANDIFLORA AUTUMN BRILLIANCE SERVICEBERRY	1	9' HT B+B	VERIFY FINAL LOCATIONS IN FIELD. TREE TO BE 3-5 STEM CLUMP
BP	BETULA POPULIFOLIA WHITESPIRE	4	2.5" CAL. B+B	VERIFY LOCATION IN FIELD. SINGLE STEM SPECIES. PLANTS TO BE FULL FORM AND MATURING
TC	TAXUS 'CUSPIDATA' CAPITATA UPRIGHT JAPANESE YEW	68	5' HT B+B	VERIFY LOCATION IN FIELD. PLANT 36" O.C. ADJUST QUANTITY AND SPACING IF NEEDED SO PLANTS ARE TOUCHING
BGM	BUXUS 'GREEN MOUNTAIN' GREEN MOUNTAIN BOXWOOD	24	36" HT B+B OR SIM. HT IN CONT.	VERIFY LOCATION IN FIELD. PLANTS TO FULL FORM AND MATURING

PERENNIALS, VINES, GROUNDCOVERS AND ANNUALS

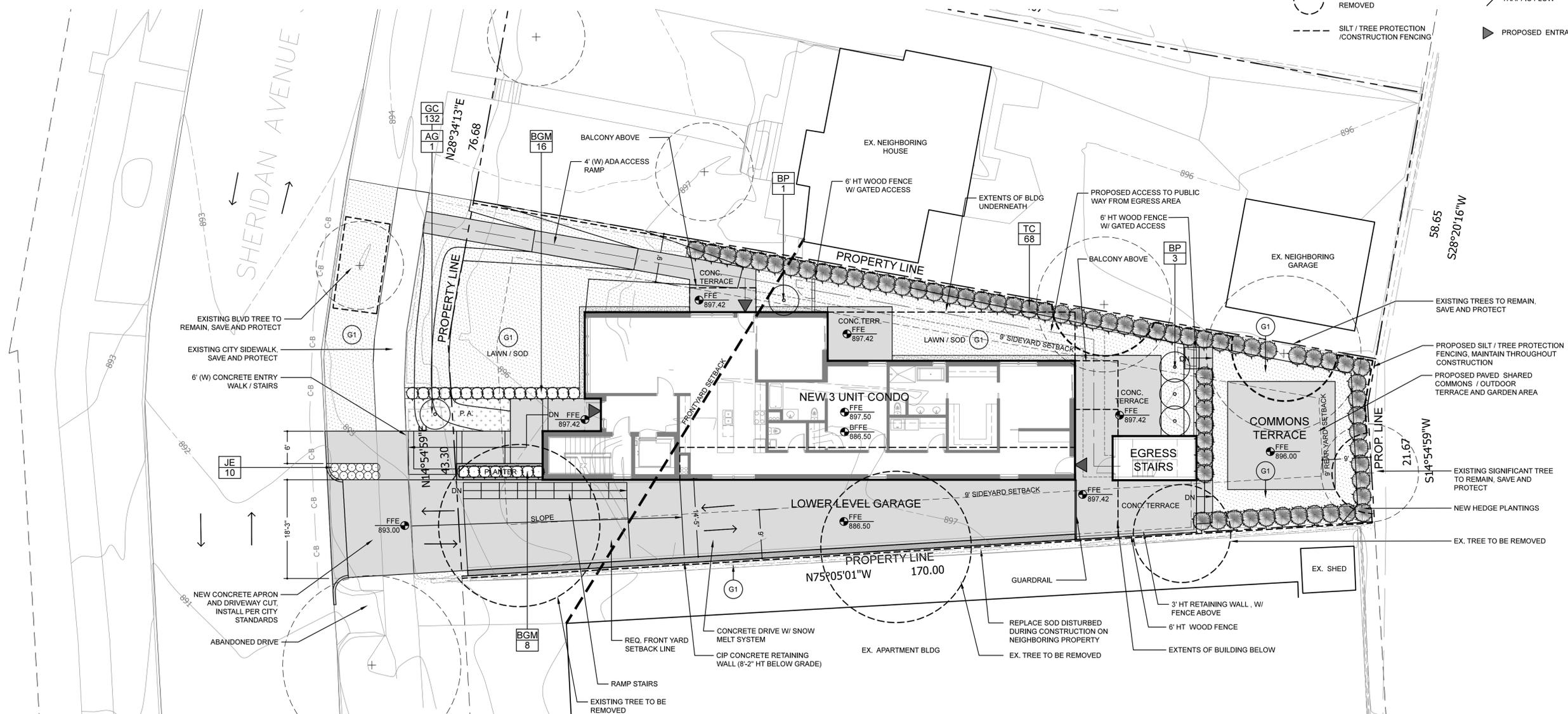
SYM	DESCRIPTION	QTY	SIZE	COMMENTS
JE	JUNCUS EFFUSUS COMMON RUSH GRASS	10	#1 CONT.	VERIFY FINAL LOCATIONS IN FIELD. PLANT 18" O.C. TRIANGULAR PATTERN
GC	EUONYMUS 'FORTUNEI' COLORATUS WINTERCREEPER	132	PLUGS (22-6 PACKS)	VERIFY FINAL LOCATIONS IN FIELD. PLANT 12" O.C. SEE PLANS FOR LOCATIONS.
G1	SOD / LAWN	SEE PLAN		ALL AREAS INDICATED ON PLAN. STAGGER JOINTS OF SOD MATS. LAY SOD PERPENDICULAR TO CONTOURS.

GENERAL NOTES:

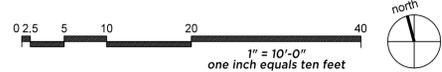
1. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
2. ELECTRICAL CONTRACTOR, MECHANICAL CONTRACTOR, AND IRRIGATION CONTRACTOR TO COORDINATE W/ PAVING, CONCRETE, AND WALL CONTRACTORS ON SLEEVE LOCATIONS UNDER DRIVEWAYS, WALKS, AND WALLS.
3. REFER TO SITE SURVEY FOR BOUNDARY INFORMATION. ALL CONSTRUCTION STAKING MUST BE PERFORMED BY A REGISTERED LAND SURVEYOR.
4. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ARE TO BE USED FOR ALL LAYOUT WORK.
5. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY LAYOUT DISCREPANCIES.
6. ALL SITE ELEMENTS SHALL BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
7. AUTOCAD FILE AVAILABLE TO CONTRACTOR UPON REQUEST FOR FIELD LAYOUT.
8. VERIFY ALL GRADES IN FIELD PRIOR TO FINAL GRADING. EXISTING CONDITIONS AT NEIGHBORING PROPERTY ASSUMED TO BE DIFFERENT THAN WHAT IS SHOWN ON PLAN.

LEGEND

	LAWN / SOD		SEEDED AREA
	AGGREGATE SURFACING		CONCRETE / STONE SURFACING
	GROUNDCOVER PLANTING		WOOD DECKING
	EXISTING CONTOUR		PROPOSED CONTOUR
	EXISTING SPOT ELEVATION		PROPOSED SPOT ELEVATION
	EXISTING TREES TO BE PROTECTED AND SAVED		PROPOSED NEW TREE
	EXISTING TREES TO BE REMAIN		PROPOSED SHRUB / PERENNIAL
	EXISTING TREES TO BE REMOVED		TRAFFIC FLOW
	SILT / TREE PROTECTION / CONSTRUCTION FENCING		PROPOSED ENTRANCES



1 SITE & LANDSCAPE PLAN
SCALE: 1" = 10' - 0"



4255 SHERIDAN AVENUE SOUTH

Client

4255 Sheridan LLC
425 South Third Street
Hallock, MN 56728

Architectural

Julie Snow Architects, Inc.
2400 Rand Tower
527 Marquette Avenue
Minneapolis, MN 55402
612.359.9430 t.
612.359.9530 f.

Structural Engineer

Meyer Borgman Johnson
18 South Sixth Street Suite 810
Minneapolis, MN 55402
612.338.0713 t.

Civil Engineer

Pierce Pini & Associates
9298 Central Avenue NE, Suite 202
Blaine, MN 55434
763.537.1311 t.
763.537.1354 f.

Landscape Architect

Travis Van Liere Studio, LLC
4146 Coffman Lane
Minneapolis, Minnesota 55406
612.760.0494 t.

Revisions

CITY SUBMITTAL	2014.02.10
CITY SUBMITTAL REVISIONS	2014.02.20

Project Number 2013.01

Drawn By tvl

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the state of Minnesota.

Signature _____ Date _____

Typed or Printed Name: Travis Van Liere, ASLA, PLA

Reg. No. 43728

SITE & LANDSCAPE PLAN

L1.0

4255 SHERIDAN AVENUE SOUTH

Client

4255 Sheridan LLC
425 South Third Street
Hallock, MN 56728

Architectural

Julie Snow Architects, Inc.
2400 Rand Tower
527 Marquette Avenue
Minneapolis, MN 55402
612.359.9430 t.
612.359.9530 f.

Structural Engineer

Meyer Borgman Johnson
18 South Sixth Street Suite 810
Minneapolis, MN 55402
612.338.0713 t.

Civil Engineer

Pierce Pini & Associates
9298 Central Avenue NE, Suite 202
Blaine, MN 55434
763.537.1311 t.
763.537.1354 f.

Landscape Architect

Travis Van Liere Studio, LLC
4146 Coffman Lane
Minneapolis, Minnesota 55406
612.760.0494 t.

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

Revisions

CITY SUBMITTAL 2014.02.10

Project Number 2013.01

Drawn By clg

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Signature Date

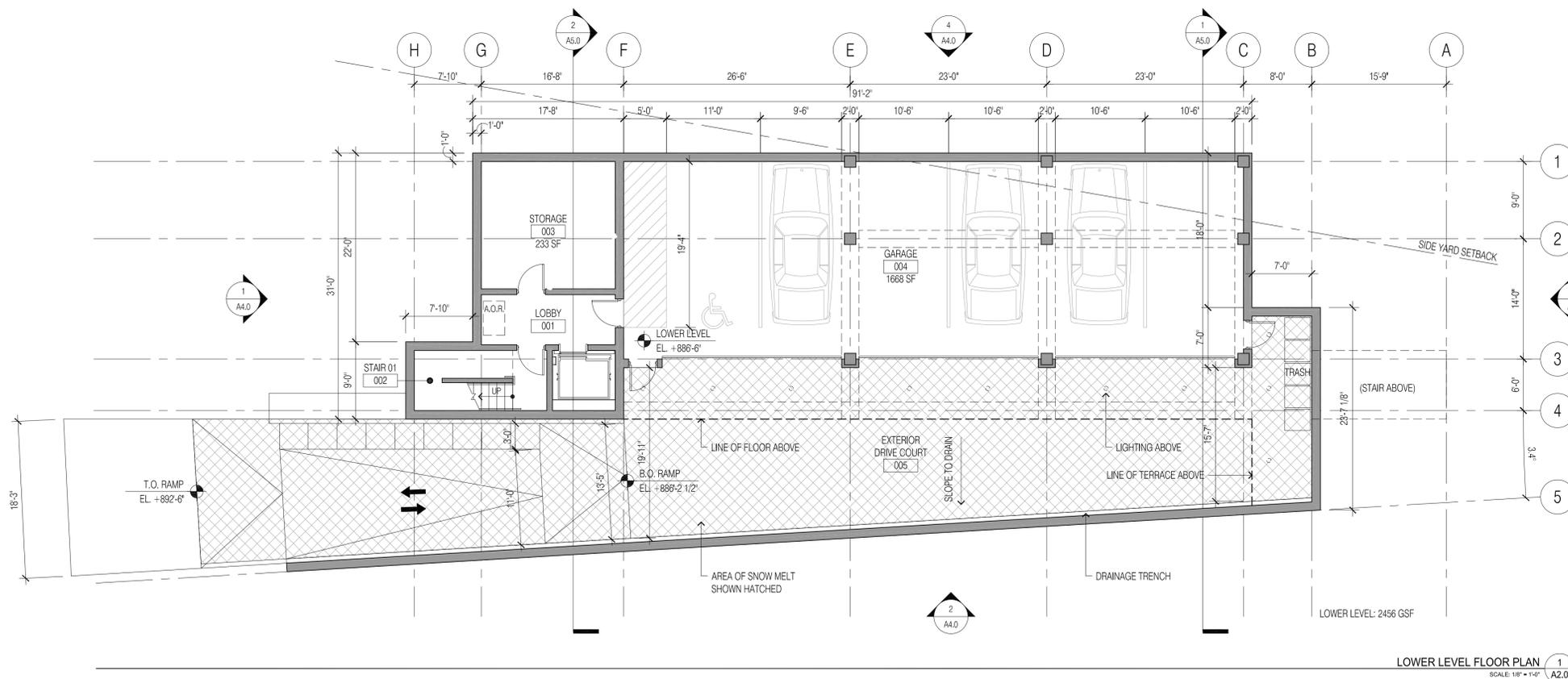
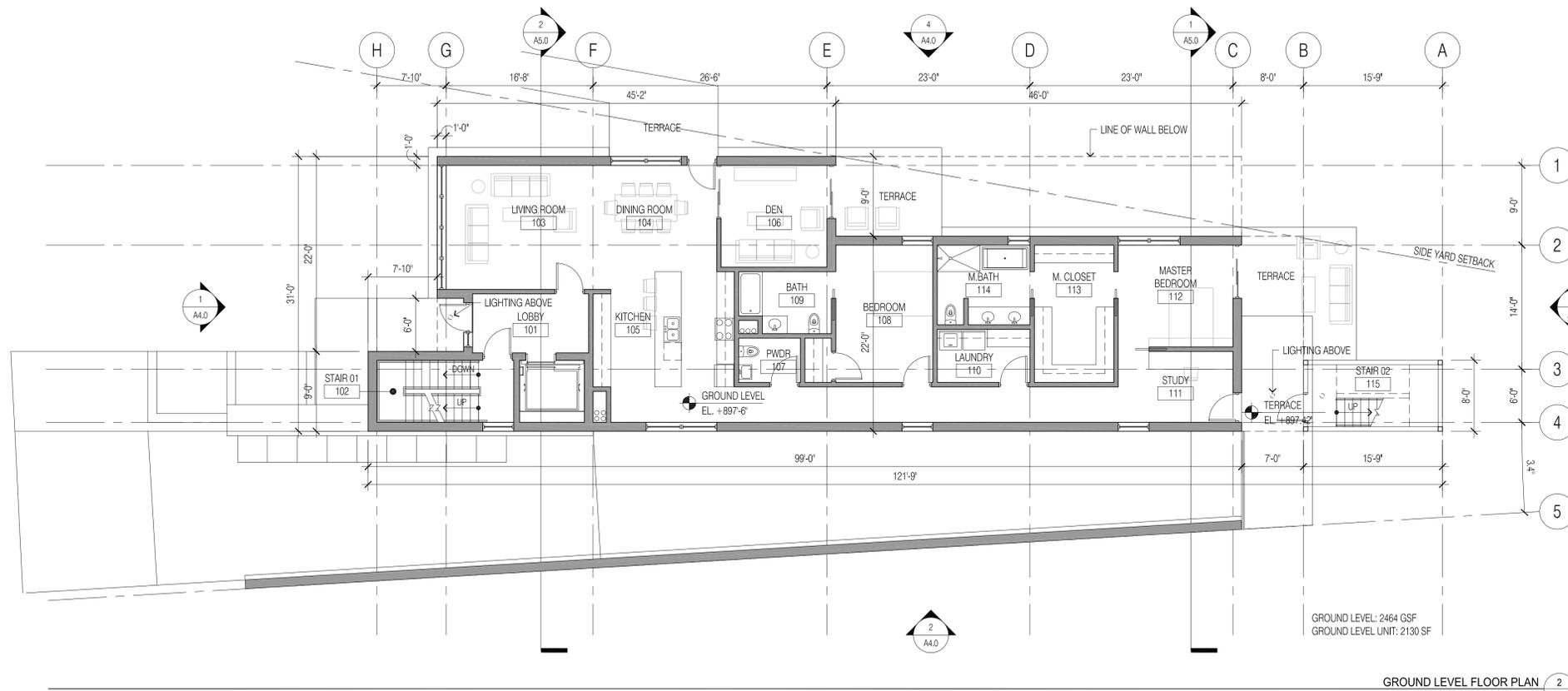
Typed or Printed Name: Matt Krellich, AIA, LEED AP

Reg. No. 45716

SCALE: 1/8" = 1'-0"

LOWER LEVEL FLOOR PLAN
GROUND LEVEL FLOOR PLAN

A2.0



4255 SHERIDAN AVENUE SOUTH

Client

4255 Sheridan LLC
425 South Third Street
Hallock, MN 56728

Architectural

Julie Snow Architects, Inc.
2400 Rand Tower
527 Marquette Avenue
Minneapolis, MN 55402
612.359.9430 t.
612.359.9530 f.

Structural Engineer

Meyer Borgman Johnson
18 South Sixth Street Suite 810
Minneapolis, MN 55402
612.338.0713 t.

Civil Engineer

Pierce Pini & Associates
9298 Central Avenue NE, Suite 202
Blaine, MN 55434
763.537.1311 t.
763.537.1354 f.

Landscape Architect

Travis Van Liere Studio, LLC
4146 Coffman Lane
Minneapolis, Minnesota 55406
612.760.0494 t.

PRELIMINARY PLANS
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Revisions

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Project Number 2013.01

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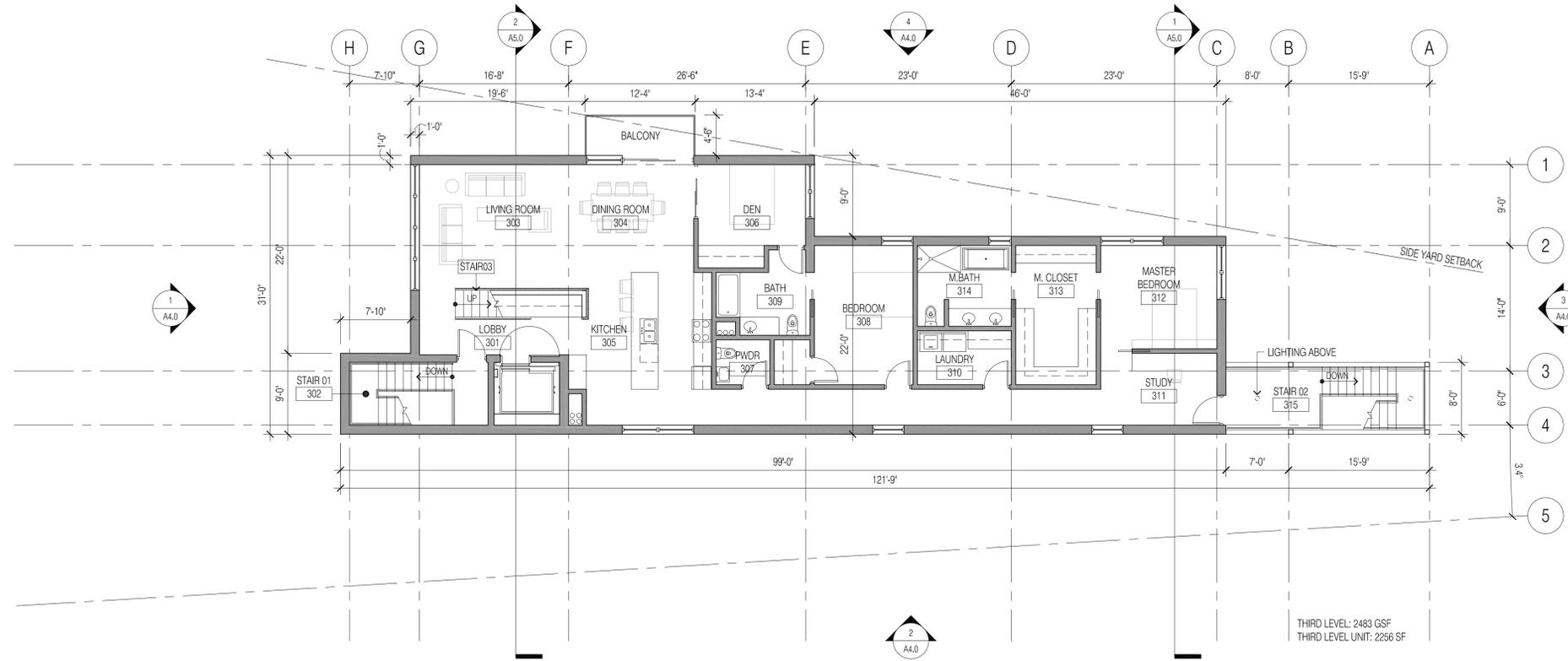
Signature Date

Typed or Printed Name: Matt Krellich, AIA, LEED AP

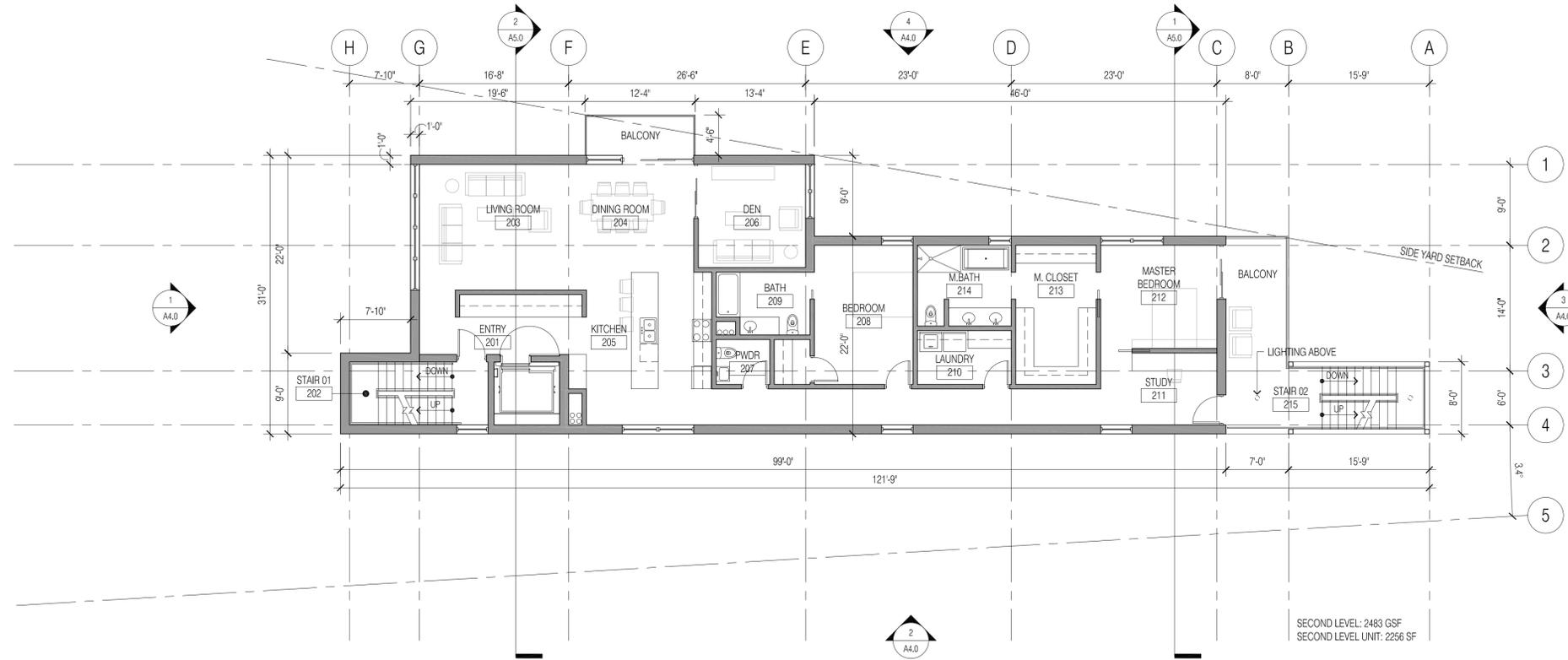
Reg. No. 45716

SCALE: 1/8" = 1'-0"
SECOND LEVEL FLOOR PLAN
THIRD LEVEL FLOOR PLAN

A2.1



THIRD LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



4255 SHERIDAN AVENUE SOUTH

Client

4255 Sheridan LLC
425 South Third Street
Hallock, MN 56728

Architectural

Julie Snow Architects, Inc.
2400 Rand Tower
527 Marquette Avenue
Minneapolis, MN 55402
612.359.9430 t.
612.359.9530 f.

Structural Engineer

Meyer Borgman Johnson
18 South Sixth Street Suite 810
Minneapolis, MN 55402
612.338.0713 t.

Civil Engineer

Pierce Pini & Associates
9298 Central Avenue NE, Suite 202
Blaine, MN 55434
763.537.1311 t.
763.537.1354 f.

Landscape Architect

Travis Van Liere Studio, LLC
4146 Coffman Lane
Minneapolis, Minnesota 55406
612.760.0494 t.

PRELIMINARY PLANS
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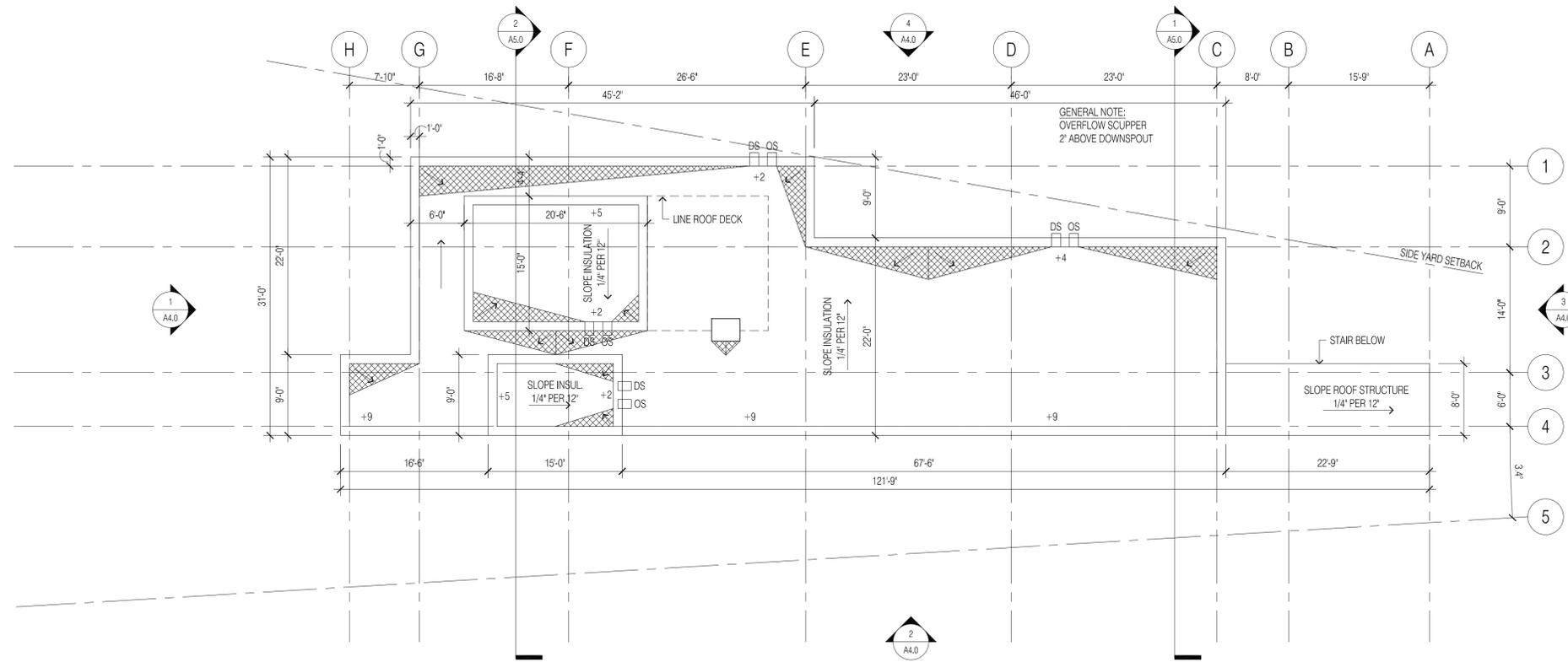
Typed or Printed Name: Matt Krellich, AIA, LEED AP

Reg. No. 45716

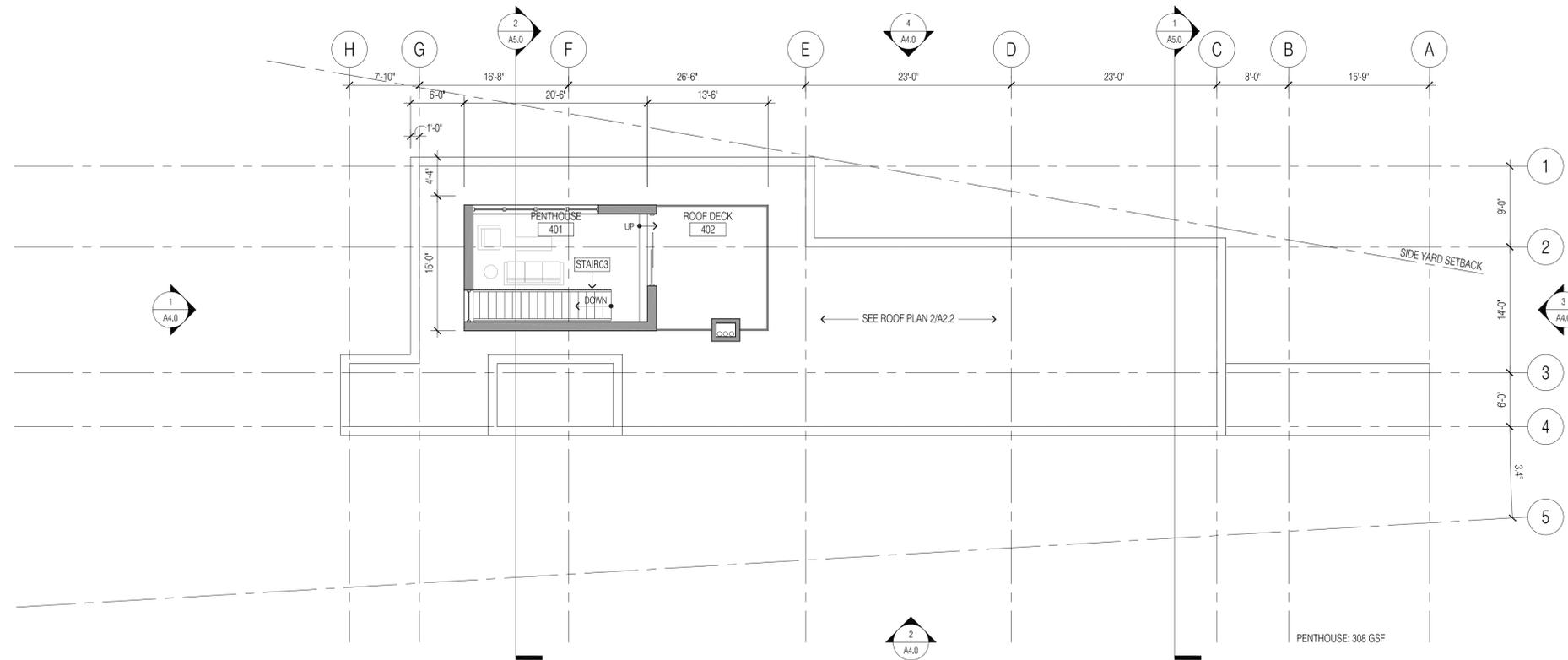
SCALE: 1/8" = 1'-0"

PENTHOUSE FLOOR PLAN
ROOF PLAN

A2.2



ROOF PLAN 2
SCALE: 1/8" = 1'-0"



PENTHOUSE FLOOR PLAN 1
SCALE: 1/8" = 1'-0"



4255 SHERIDAN AVENUE SOUTH

Client

4255 Sheridan LLC
425 South Third Street
Halcon, MN 56728

Architectural

Julie Snow Architects, Inc.
2400 Rand Tower
527 Marquette Avenue
Minneapolis, MN 55402
612.359.9430 t.
612.359.9530 f.

Structural Engineer

Meyer Borgman Johnson
18 South Sixth Street Suite 810
Minneapolis, MN 55402
612.338.0713 t.

Civil Engineer

Pierce Pini & Associates
9298 Central Avenue NE, Suite 202
Blaine, MN 55434
763.537.1311 t.
763.537.1354 f.

Landscape Architect

Travis Van Liere Studio, LLC
4146 Coffman Lane
Minneapolis, Minnesota 55406
612.760.0494 t.

PRELIMINARY PLANS
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Revisions

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Project Number 2013.01

Drawn By c/g

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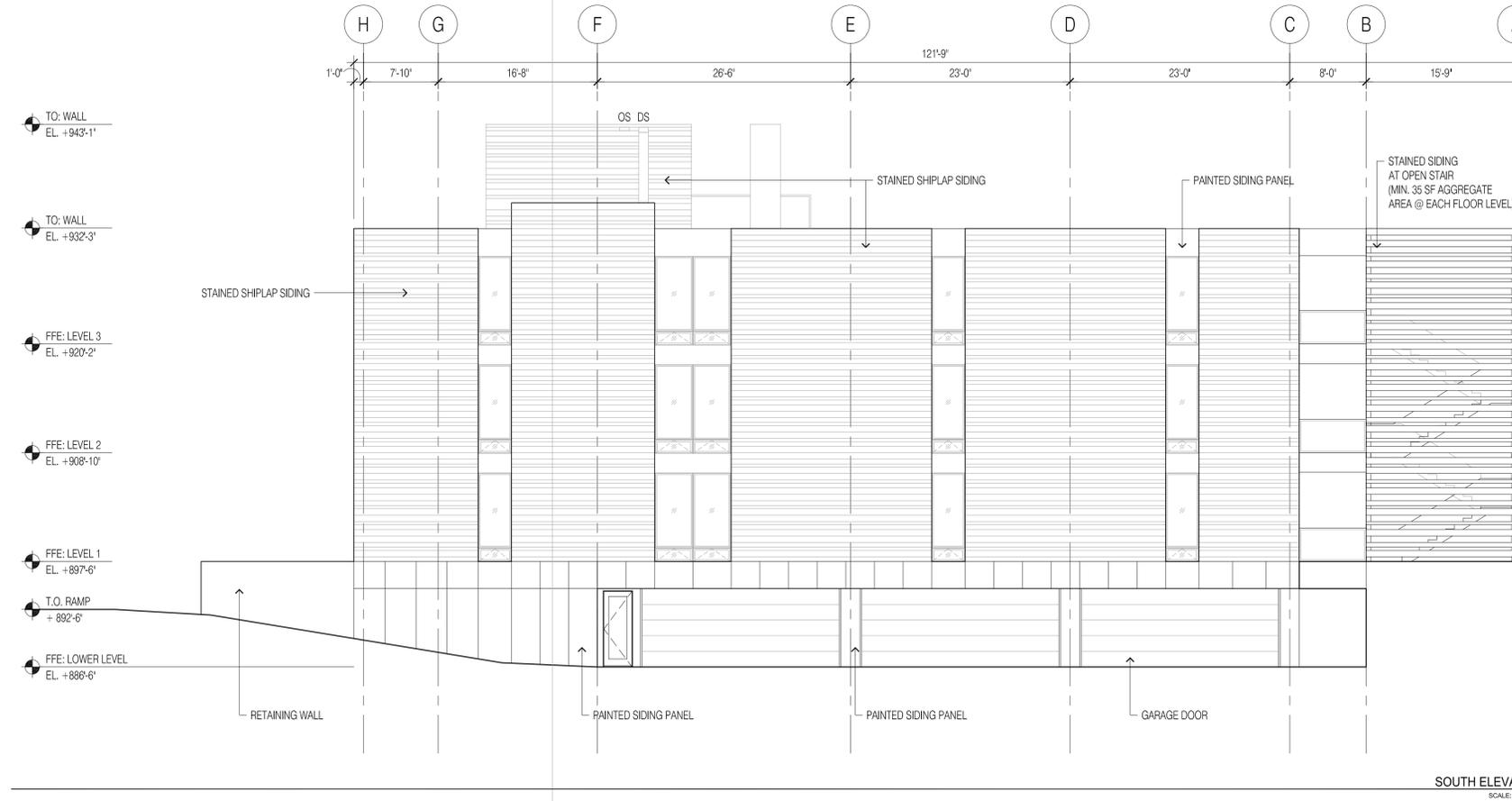
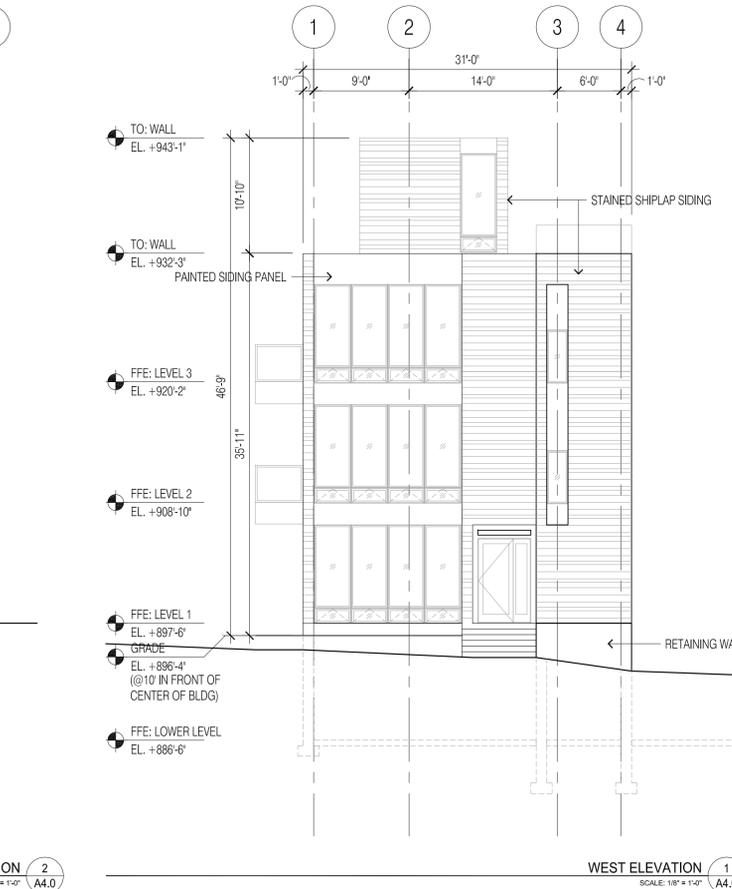
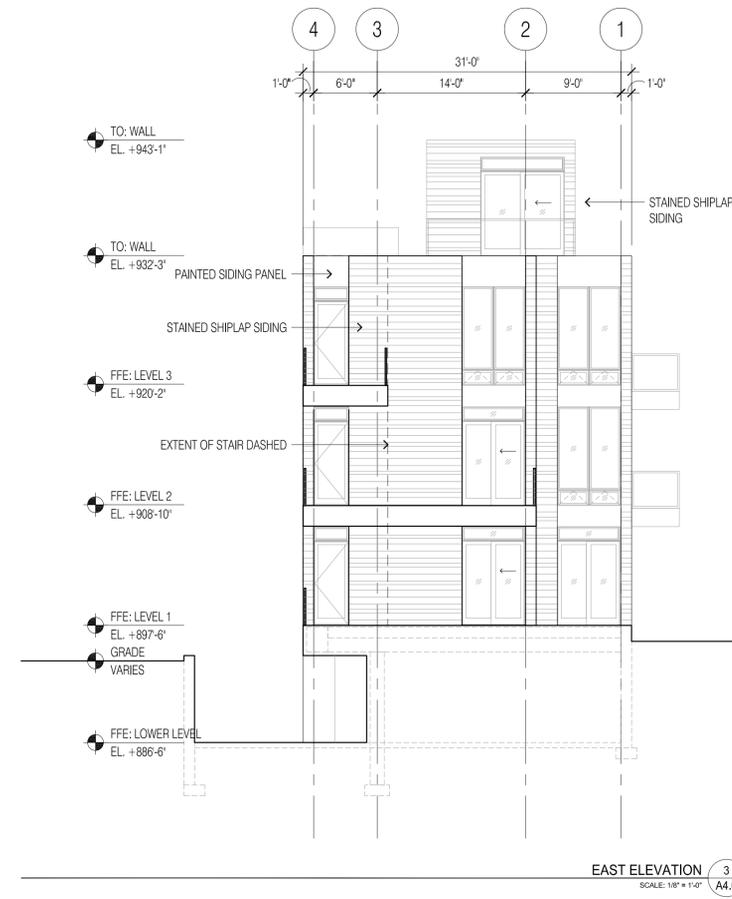
Typed or Printed Name: Matt Krellich, AIA, LEED AP

Reg. No. 45716

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

A4.0



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

Revisions

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Project Number 2013.01

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Signature Date

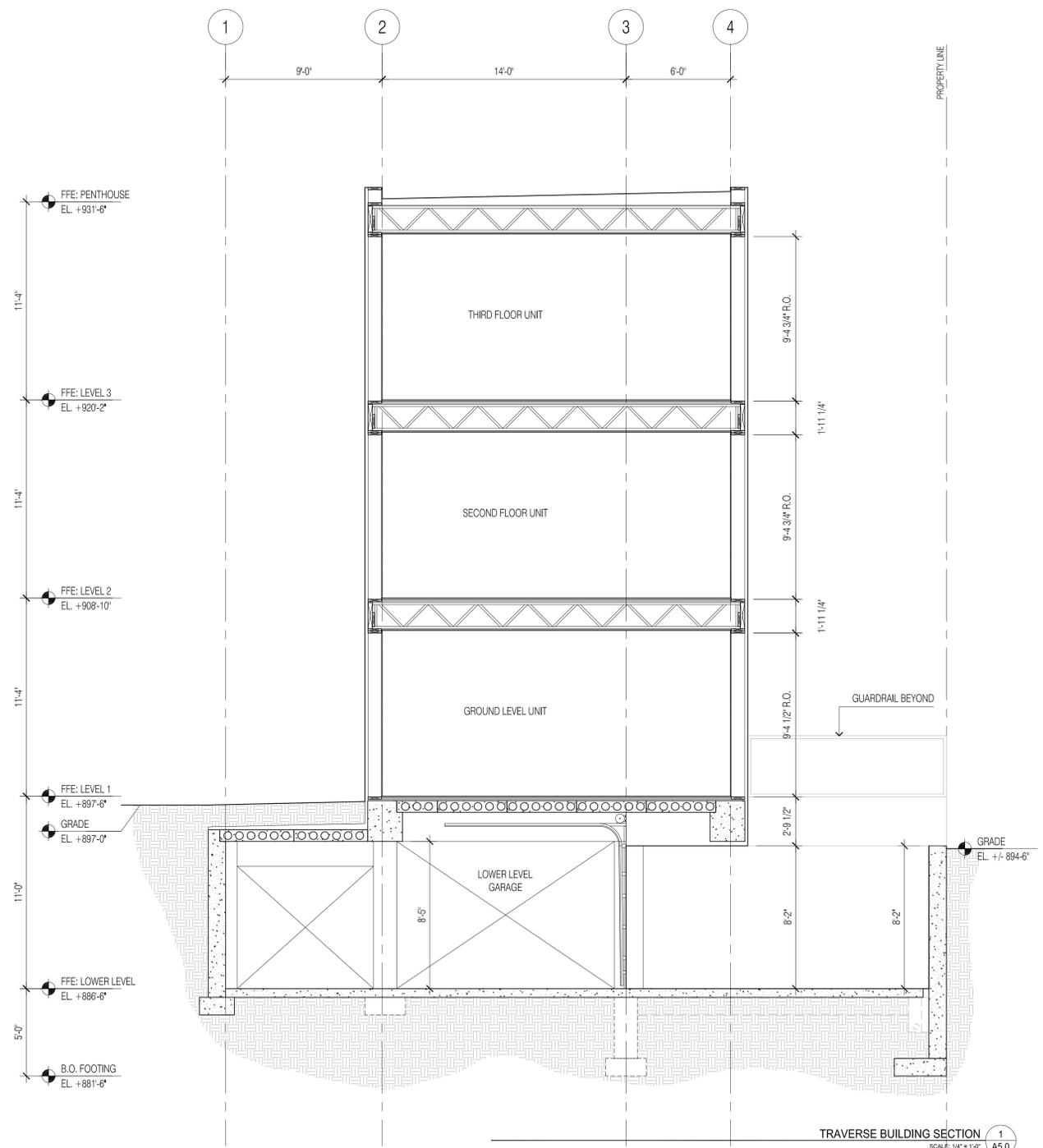
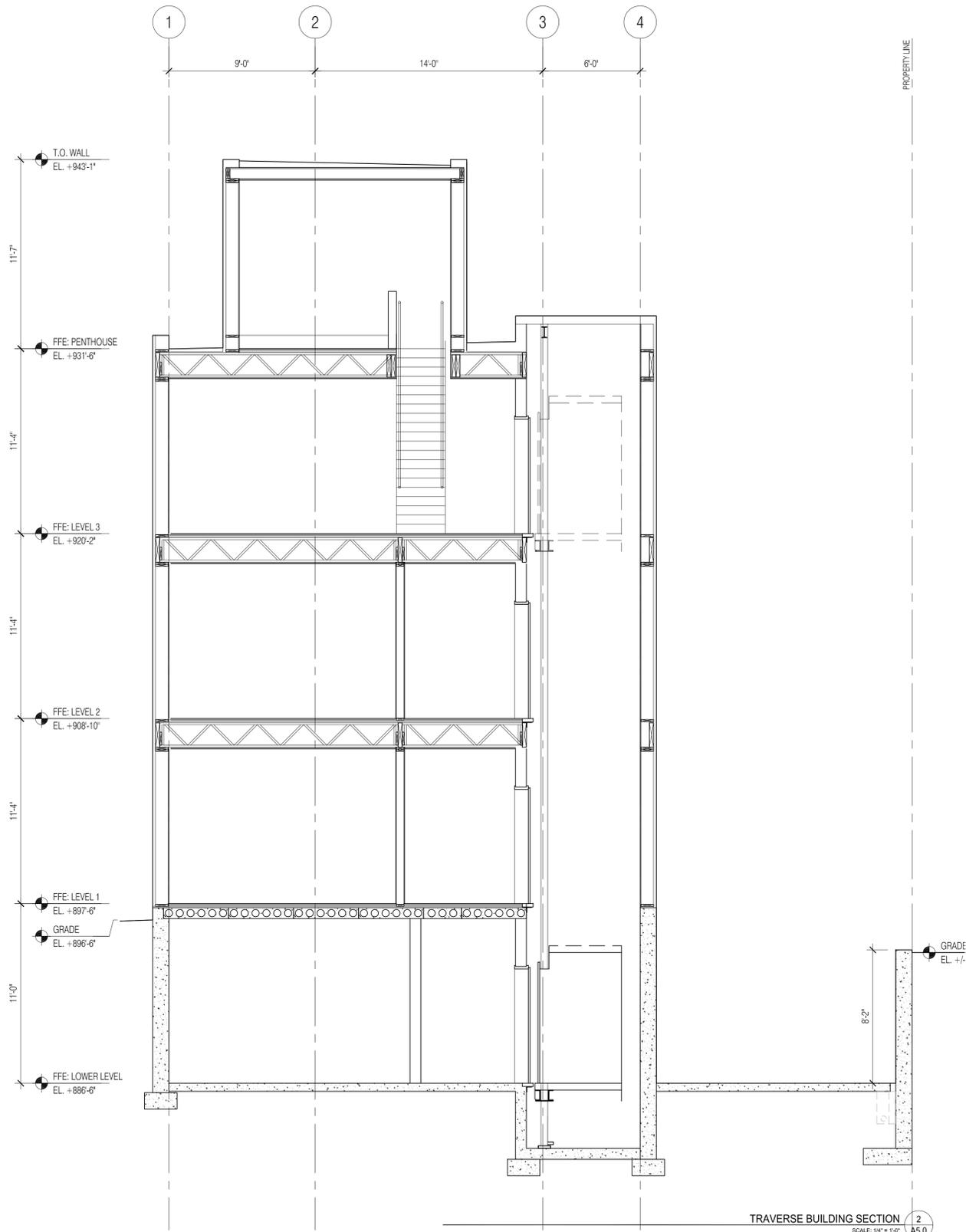
Typed or Printed Name: Matt Krellich, AIA, LEED AP

Reg. No. 45716

SCALE: 1/4" = 1'-0"

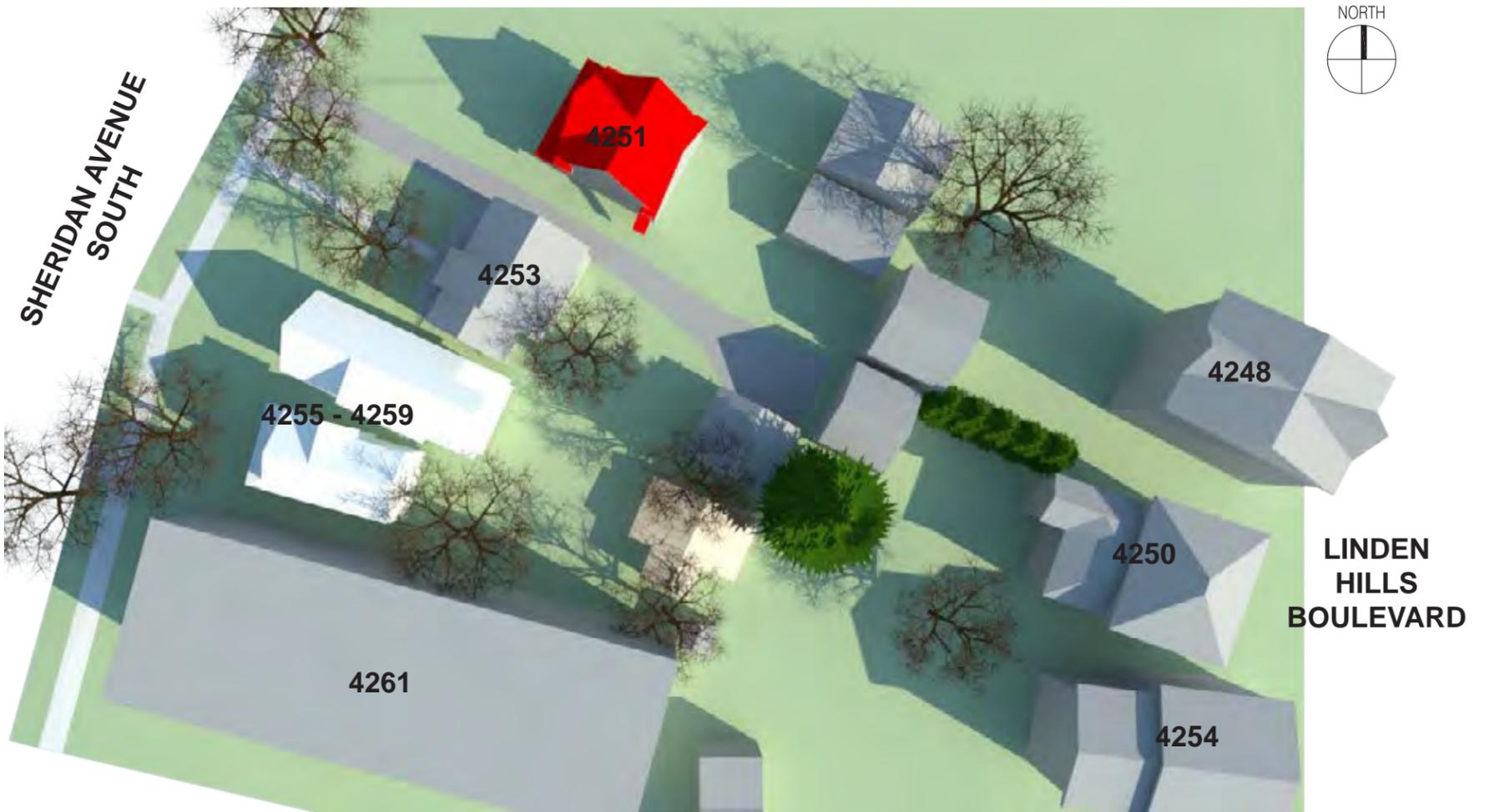
BUILDING SECTION

A5.0

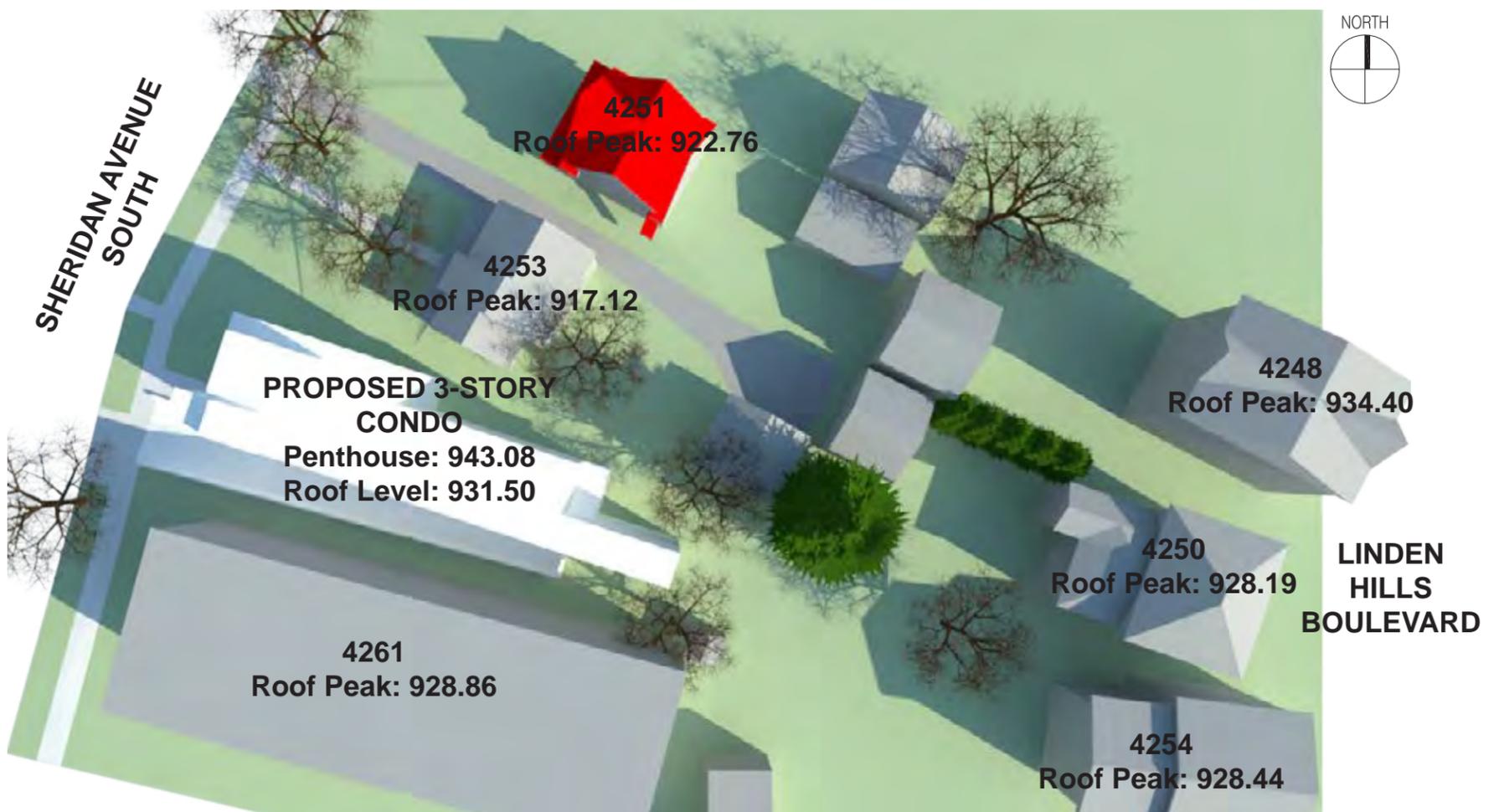


SITE SHADOW STUDY - KEY PLAN

CURRENT CONDITIONS

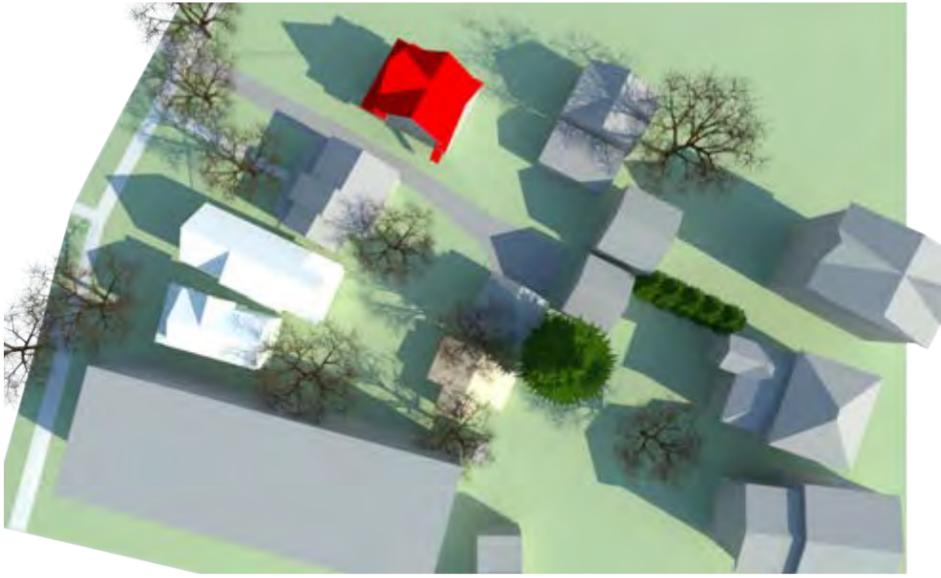


PROPOSED CONDITIONS



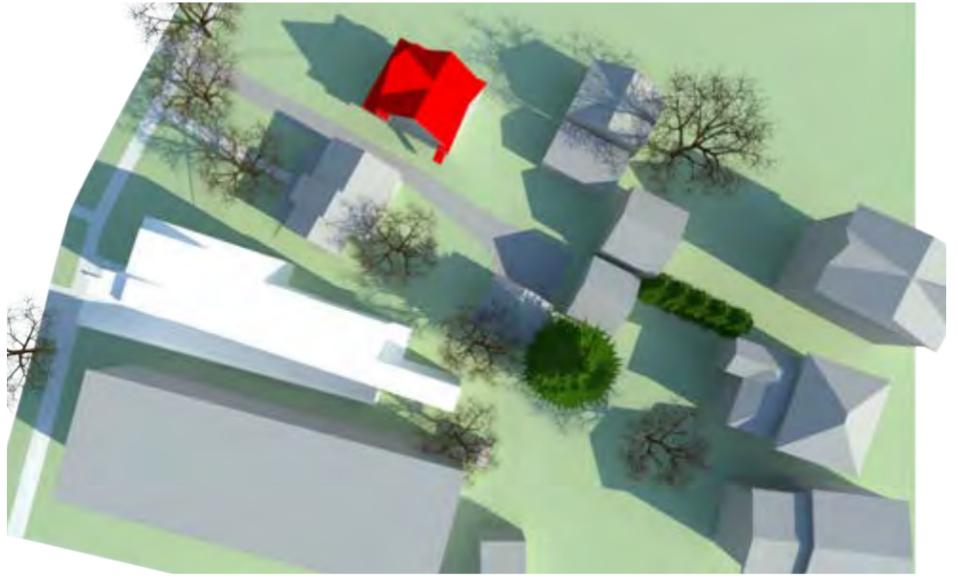
SITE SHADOW STUDY - MARCH 20TH

CURRENT CONDITIONS

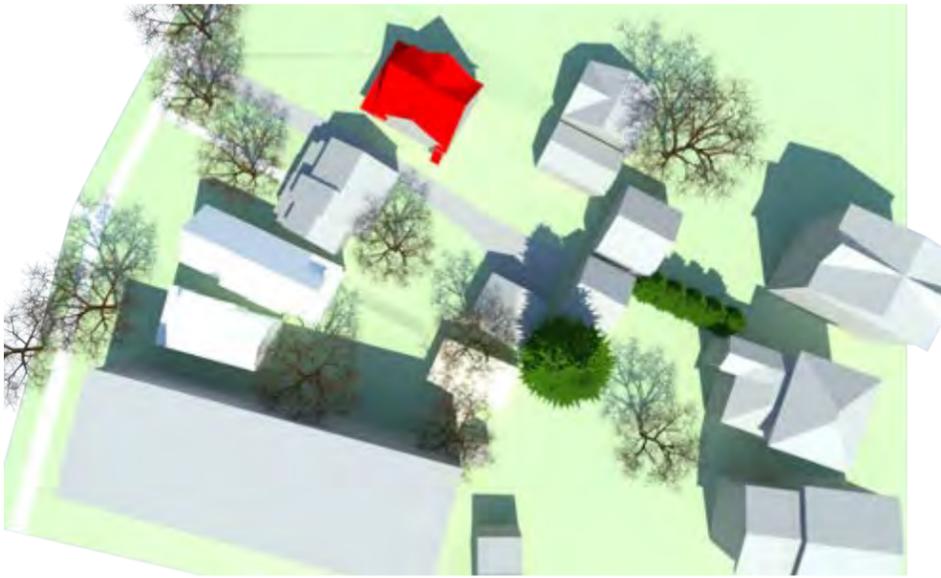


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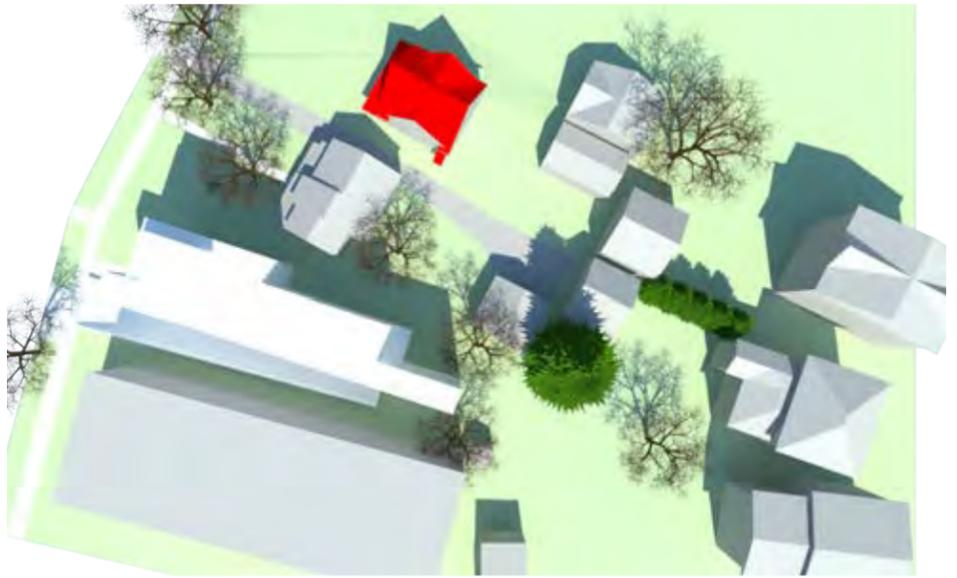
PROPOSED CONDITIONS



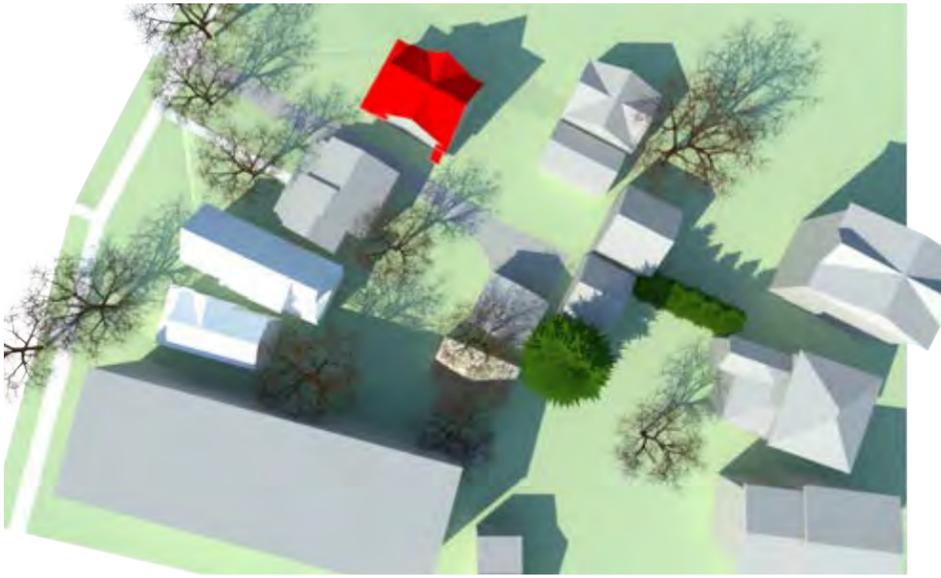
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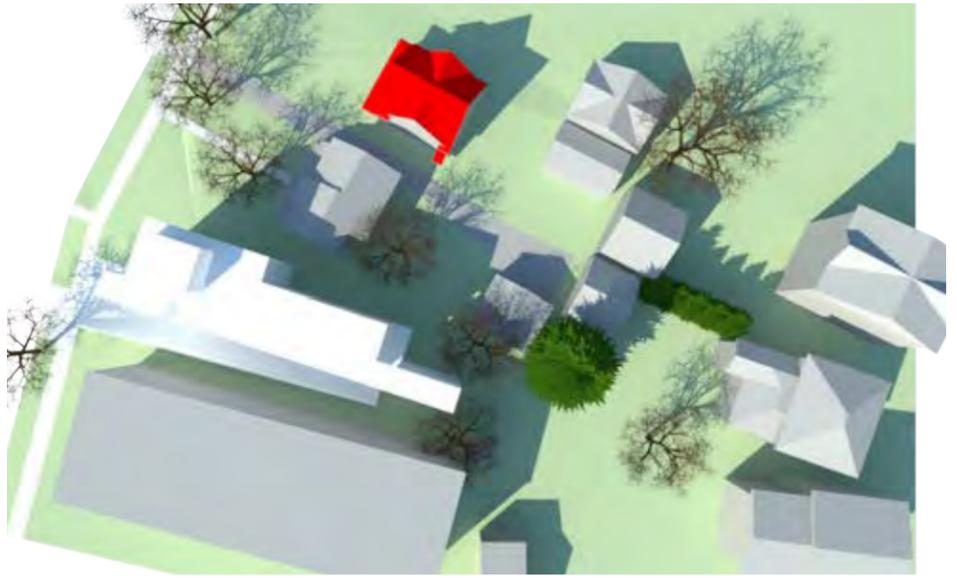
12 NOON



12 NOON



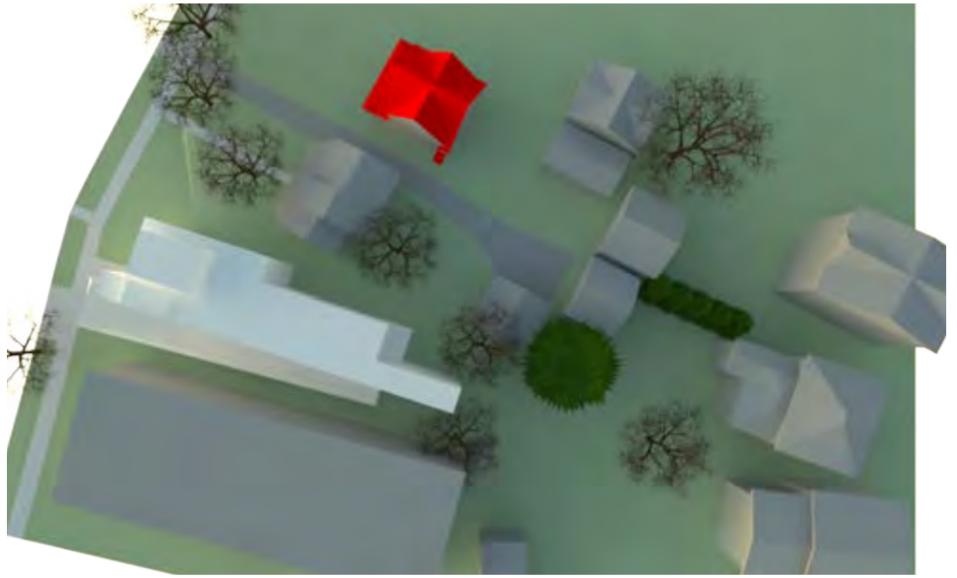
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3 PM



6 PM



6 PM

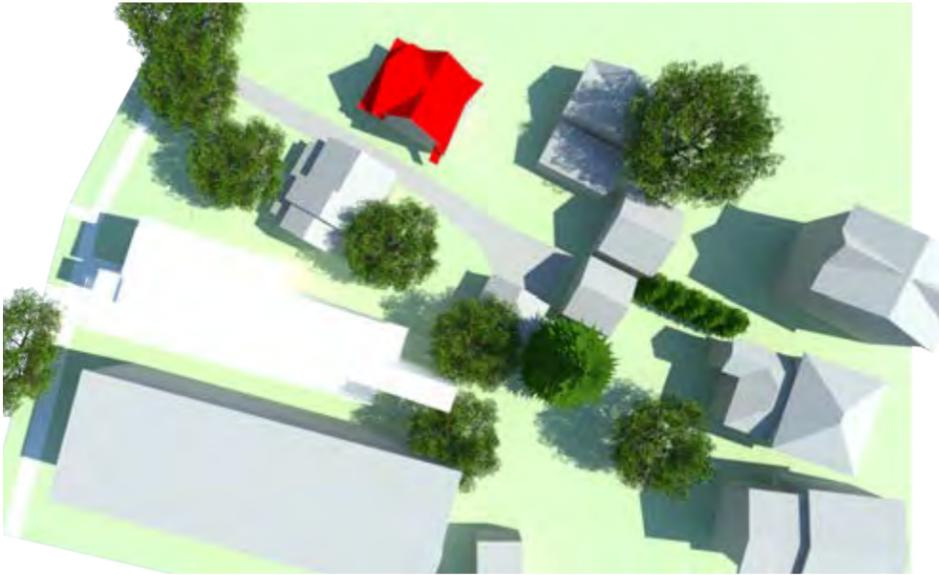
SITE SHADOW STUDY - JUNE 20TH

CURRENT CONDITIONS



9 AM

PROPOSED CONDITIONS



9AM



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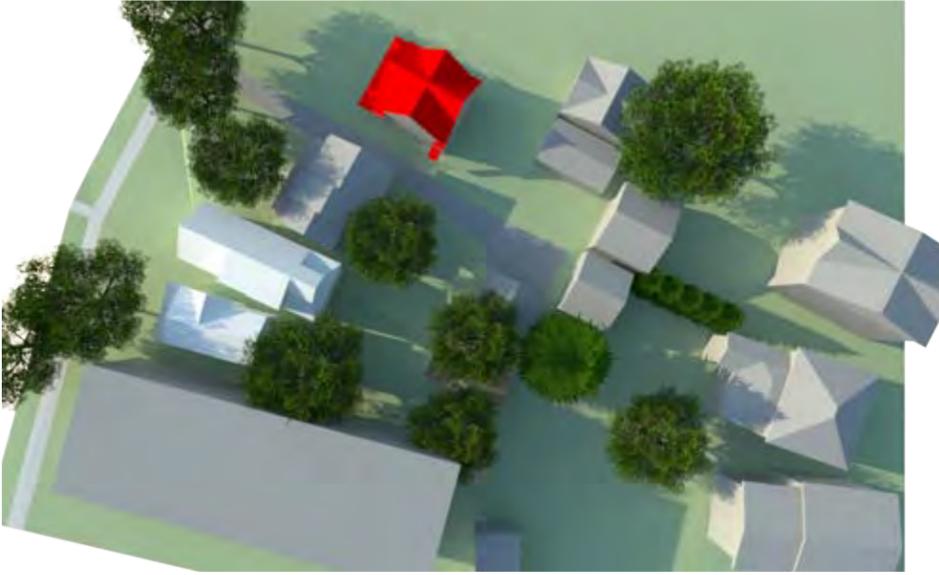
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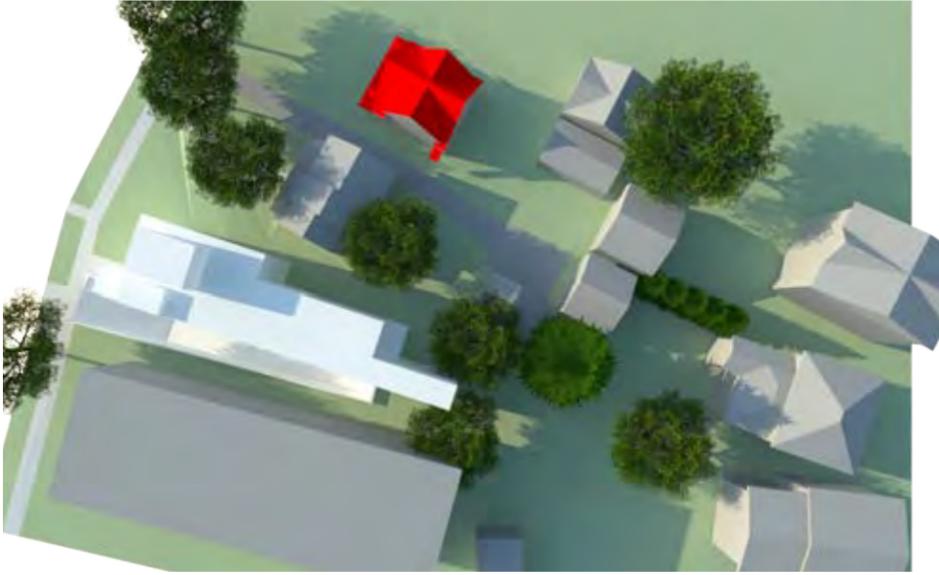
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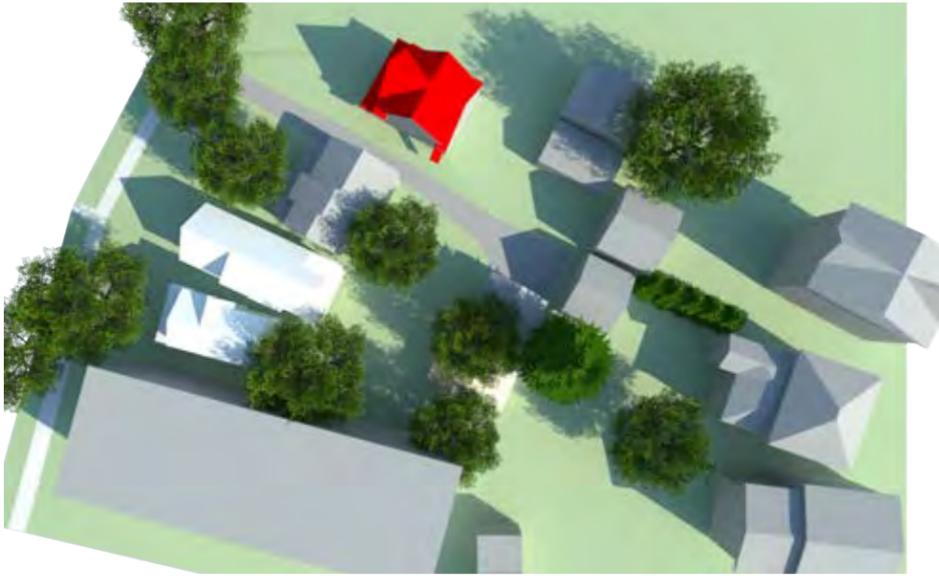
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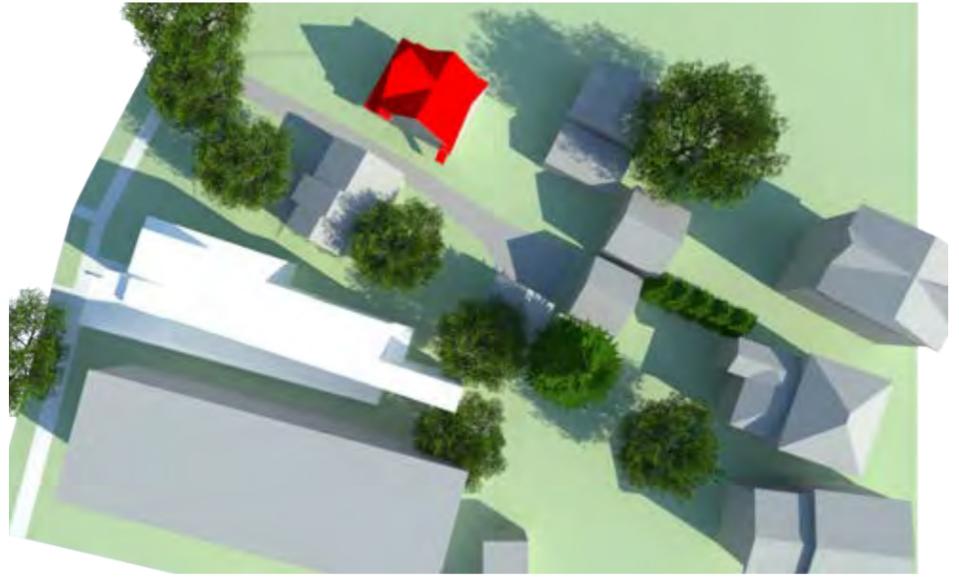
SITE SHADOW STUDY - SEPTEMBER 20TH

CURRENT CONDITIONS



9 AM

PROPOSED CONDITIONS



9 AM



12 NOON



12 NOON



3 PM



3 PM



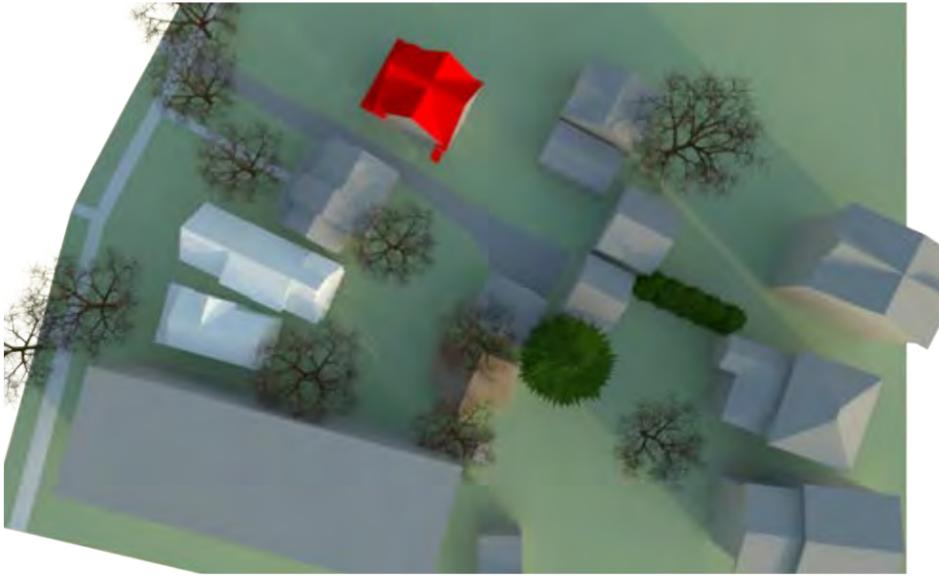
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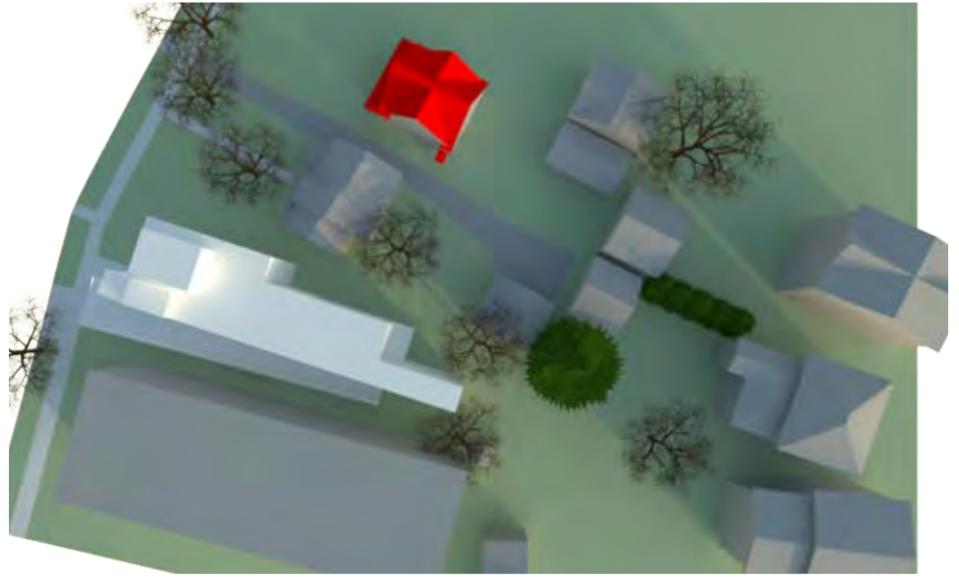
SITE SHADOW STUDY - DECEMBER 20TH

CURRENT CONDITIONS



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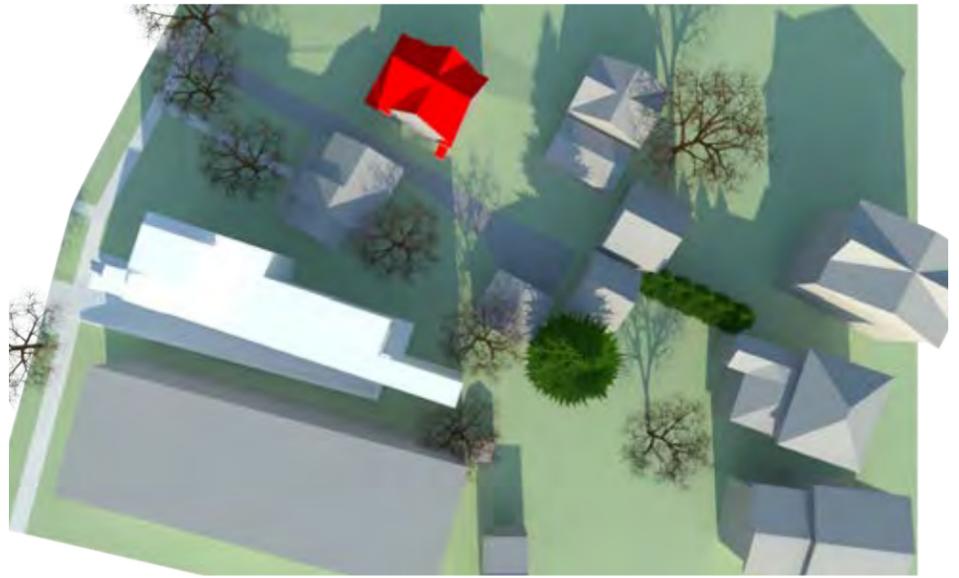
PROPOSED CONDITIONS



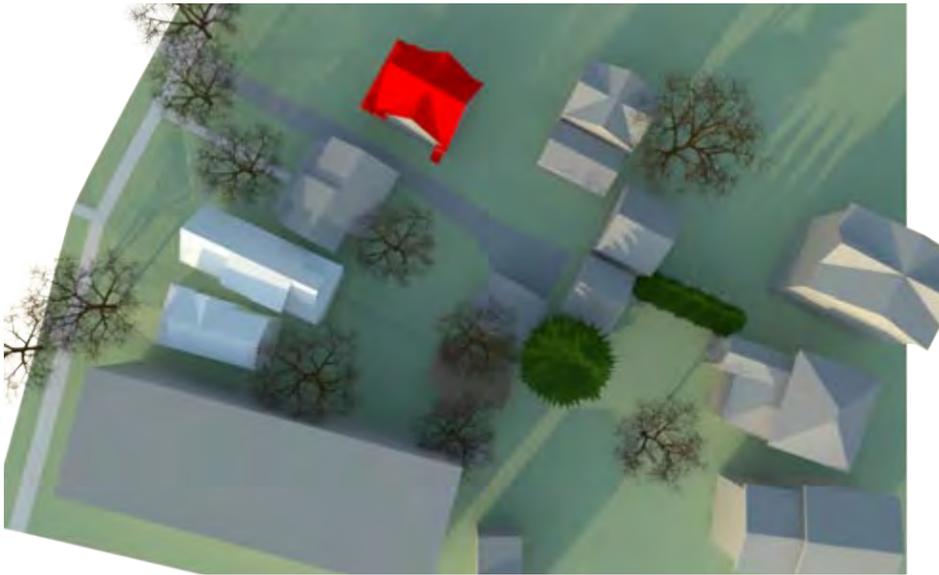
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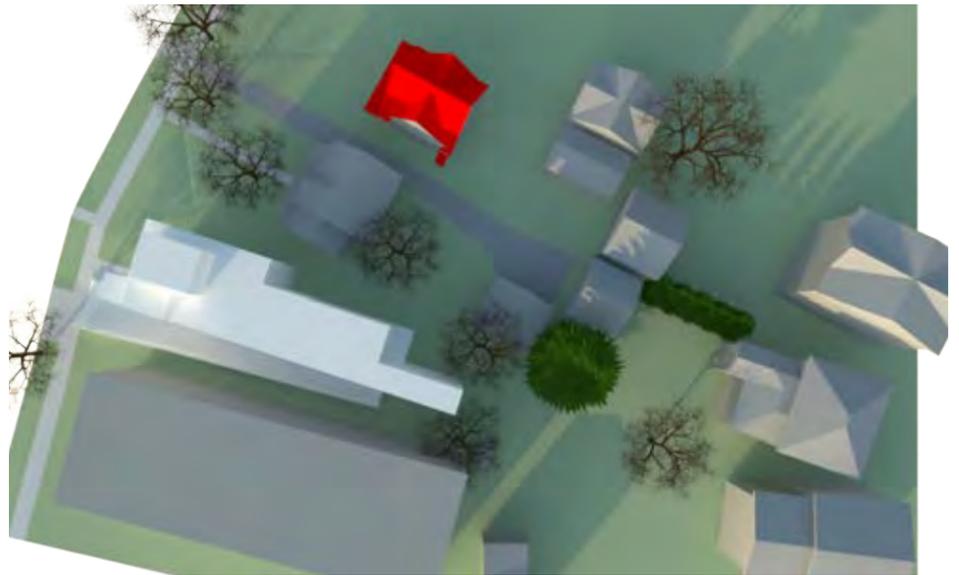
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12 NOON



3 PM



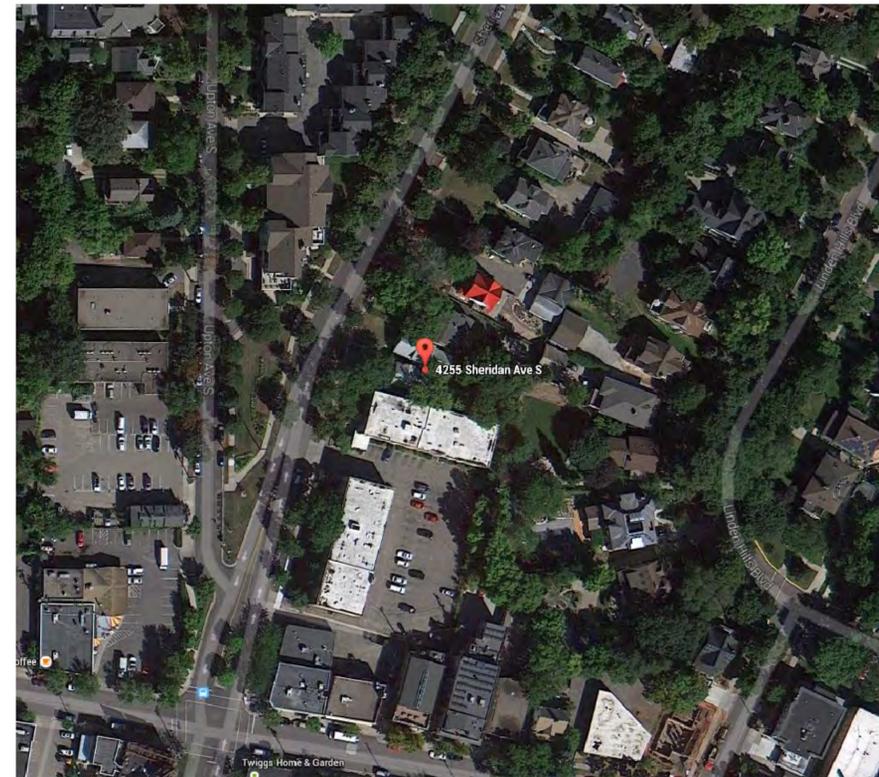
3 PM



6 PM



6 PM



LOCATION - NOT TO SCALE
4255, 4257, 4259 Sheridan Avenue South

4255 SHERIDAN AVENUE SOUTH

Client

4255 Sheridan LLC
425 South Third Street
Hallock, MN 56728

Architectural

Julie Snow Architects, Inc.
2400 Rand Tower
527 Marquette Avenue
Minneapolis, MN 55402
612.359.9430 t.
612.359.9530 f.

Structural Engineer

Meyer Borgman Johnson
18 South Sixth Street Suite 810
Minneapolis, MN 55402
612.338.0713 t.

Civil Engineer

Pierce Pini & Associates
9298 Central Avenue NE, Suite 202
Blaine, MN 55434
763.537.1311 t.
763.537.1354 f.

Landscape Architect

Travis Van Liere Studio, LLC
4146 Coffman Lane
Minneapolis, Minnesota 55406
612.760.0494 t.

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

Revisions

CITY SUBMITTAL 2014.02.10

Project Number 2013.01

Drawn By clg

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Signature Date

Typed or Printed Name: Matt Krellich, AIA, LEED AP

Reg. No. 45716

SCALE: 1/16" = 1'-0"

COVER PAGE
DRAWING INDEX

GO.0



4255 Sheridan Avenue South



4257 Sheridan Avenue South



4259 Sheridan Avenue South



Existing Retaining Wall and Fence Along South Property Line



Rear Elevations of 4259 and 4257 Sheridan Avenue South



Front Elevations of 4257 and 4259 Sheridan Avenue South

DRAWING INDEX

GENERAL

G0.0 Cover Page - Drawing Index

SURVEY

V2.01 Existing Boundary and Topographic Survey

CIVIL

- C1.0 Civil Notes And Legend
- C2.0 Site Demolition Plan
- C3.0 Existing Conditions Erosion Control Plan
- C4.0 Proposed Conditions Erosion Control Plan
- C5.0 Grading And Drainage Plan
- C6.0 Utility Plan
- C7.0 Civil Details and City Standard Details
- C7.1 Erosion Control Details

LANDSCAPE

L1.0 Site & Landscape Plan

ARCHITECTURAL

- A 2.0 Lower Level and Ground Level Floor Plans
- A 2.1 Second Level and Third Level Floor Plans
- A 2.2 Penthouse Floor Plan and Roof Plan
- A 4.0 Building Elevations
- A 5.0 Building Section