



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #4
 March 24, 2014
 BZZ-6393

LAND USE APPLICATION SUMMARY

Property Location: 118 60th Street West
Project Name: Le Jeune Steel
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: Le Jeune Steel Company
Project Contact: DSGW Architects
Request: To allow an approximately 2,300 square foot building addition.
Required Applications:

Expansion of nonconforming use	Located in the I1 Light Industrial District and I2 Light Industrial District for an existing legally nonconforming steel fabrication use with outdoor storage.
Variance	To reduce the minimum parking requirement from 86 spaces to 63 spaces, where 17 spaces are grandfathered.
Site Plan Review	For an approximately 2,300 square foot building addition.

SITE DATA

Existing Zoning	I1 Light Industrial District I2 Medium Industrial District AP Airport Overlay District
Lot Area	298,386 square feet / 6.85 acres
Ward(s)	11
Neighborhood(s)	Windom Community Council
Designated Future Land Use	Transitional Industrial
Land Use Features	Commercial Corridor (Nicollet Avenue); Major Retail Center (60 th & Nicollet)
Small Area Plan(s)	Not applicable

Date Application Deemed Complete	February 14, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	April 15, 2014	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. Le Jeune Steel is a steel fabrication use that has been located at 118 60th Street West since 1944. The site has both frontage and vehicle access to 60th Street and Nicollet Avenue. The main building entrance currently faces the on-site parking lot south of the building and 60th Street. Loading occurs on the east side of the building. Outdoor storage is located to the north and west of the building.

SURROUNDING PROPERTIES AND NEIGHBORHOOD.

- North: low density residential across alley
- East: Place of assembly adjacent to site; commercial uses across Nicollet Avenue
- South: low density residential across 60th Street
- West: Industrial uses adjacent to site

PROJECT DESCRIPTION. An approximately 2,300 square foot office addition is proposed on the south side of the building. The existing steel fabrication use with outdoor storage is classified as a medium industrial use, which is allowed in the I2 district, but not the I1 district. Because the site has split zoning, the most restrictive provisions of the primary zoning districts apply to the entire zoning lot. Therefore an expansion of nonconforming use application is required in order to allow the proposed building addition. Site plan review is also required for any addition to a nonresidential building that would increase its gross floor area by 1,000 square feet or more.

The addition will affect the on-site parking area. The parking area will be split into two areas each with a separate access to 60th Street. Some of the parking layout will be reconfigured and ultimately 5 parking spaces will be eliminated. The existing minimum parking requirement is 85 spaces, but there are currently only 68 existing on-site spaces. Therefore, the use has grandfather rights to 17 spaces. With the addition, the minimum parking requirement will increase to 86 spaces and 63 spaces will remain on-site. A variance is required to reduce the minimum parking requirement.

PUBLIC COMMENTS. As of the writing of this staff report, no correspondence has been received. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

EXPANSION OF A NONCONFORMING USE

The Department of Community Planning and Economic Development has analyzed the application to allow an approximately 2,300 square foot building addition to a steel fabrication use with outdoor storage located in the I1 and I2 districts based on the following [findings](#):

1. *A rezoning of the property would be inappropriate.*

The subject property is located in two primary zoning districts. The part of the site located approximately 100 feet from the north lot line is zoned I1. The remainder of the site is zoned I2. The split zoning was done intentionally to create a buffer to the residential uses to the north from more intense industrial uses. Medium industrial uses and outdoor storage are permitted in the I2 district, but not the I1 district. The I2 district also allows more industrial uses which have the

potential to produce greater amounts of noise, odor, vibration, glare or other objectionable influences than uses allowed the II district and which may have an adverse effect on surrounding properties. *The Minneapolis Plan for Sustainable Growth* designates the future land use of the site as transitional industrial. Without policy guidance to retain industrial uses for the long-term in this area, rezoning of the property is inappropriate.

2. *The enlargement, expansion, relocation, structural alteration or intensification will be compatible with adjacent property and the neighborhood.*

The building addition would be located on the south side of the site. The closest adjacent uses are low density residences and a place of assembly. The addition will house additional office space. The expansion to allow the addition is compatible with adjacent properties and the neighborhood. Further, additional landscaping and screening and other site improvements are required to improve transitions to surrounding properties through the site plan review.

3. *The enlargement, expansion, relocation, structural alteration or intensification will not result in significant increases of adverse, off-site impacts such as traffic, noise, dust, odors, and parking congestion.*

The lot area of the site is 298,386 square feet and the existing gross floor area of the building is 115,947 square feet. The proposed addition would increase the building size by 2,300 square feet. The applicant has indicated that the number of employees would not increase significantly, thus an increase in traffic and parking congestion is not expected. No additional noise, dust, or odors is expected with the expansion.

4. *The enlargement, expansion, relocation, structural alteration or intensification, because of improvements to the property, will improve the appearance or stability of the neighborhood.*

The primary exterior materials of the addition would be metal and glass. The materials would be durable. Additional landscaping and screening and other site improvements are required to improve transitions to surrounding properties through the site plan review.

5. *In districts in which residential uses are allowed, the enlargement, expansion, relocation, structural alteration or intensification will not result in the creation or presence of more dwelling units on the subject property than is allowed by the regulations of the district in which the property is located.*

Not applicable.

6. *The enlargement, expansion, relocation, structural alteration or intensification will not be located in the Floodway District.*

The property is not located in the Floodway District.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum parking requirement from 86 spaces to 63 spaces, where 17 spaces are grandfathered based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The minimum parking requirement for light industrial uses is equal to one space per 1,000 square feet of gross floor area (GFA) up to 20,000 square feet plus one space per 2,000 square feet of GFA in excess of 20,000 square feet plus one space per 5,000 square feet of outdoor storage area. With the addition, the total minimum parking requirement for the subject property is 86 spaces. The GFA of 118,254 square feet, including an increase of 2,307 square feet, has a requirement of 69 spaces. The approximately 85,000 square feet of outdoor storage requires an additional 17 spaces. The existing minimum parking requirement is 85 spaces, but there are currently only 68 existing on-site spaces. Therefore, the use has grandfather rights to 17 spaces. With the construction of the addition, 63 spaces will remain on the site. Therefore the applicant is requesting a variance of 6 spaces. The applicant has identified that there are approximately 105 employees between two work shifts. Also, the number of employees can vary slightly depending on production demand. The site is located in close proximity to bus transportation. There are bus stops for two bus routes within 3 blocks of the subject site.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The purpose of parking regulations is to provide for the parking needs of uses and structures and to enhance the compatibility between parking areas and their surroundings. The applicant has indicated that the proposed amount of parking will be sufficient to accommodate average parking demand. The site is also located in close proximity to bus transportation. Comprehensive plan policies call for providing a certain amount of parking while still maintaining an environment that encourages bicycle, pedestrian, and transit travel. The variance is in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The site is located in a mixed use area. Because parking would be provided that is sufficient to meet average demand, granting of the variance should not increase congestion in the area or effect surrounding properties. It would also not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Requires alternative compliance

- The placement of the building addition would not reinforce the street wall or be within 8 feet of an adjacent street. Alternative compliance is requested.
- The area between the building and 60th Street will be landscaped.
- The principal entrance will face 60th Street.

- On-site accessory parking is located between the building and 60th Street; however, this is an existing condition. The area of parking between the addition and 60th Street will be removed and replaced with landscaping.
- The addition would contribute to dividing the building into smaller identifiable sections.
- Blank, uninterrupted walls that do not include architectural elements would not exceed 25 feet in length on the addition.
- Exterior materials would be durable and include metal and glass.
- All sides of the building would be compatible with and similar to each other. The addition is intended to complement the existing office portion of the building.
- No plain face concrete block is proposed as an exterior material on the addition.
- The proposed principal entrance would be sheltered by a canopy and flanked by sidelights to emphasize its importance.
- The windows included in the calculations for **Table I** below would be located between 2 and 10 feet above the adjacent grade, distributed in a more or less even manner and vertical in proportion. However, the bottom of most of these windows would not be within 4 feet of the adjacent grade. The applicant is requesting alternative compliance.
- All of the space in the addition facing 60th Street would be occupied by active functions.
- A flat roof is proposed. The existing building has a flat roof and most of the other industrial buildings in the surrounding area have flat roofs.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
60 th St (south)	30% minimum	240 sq. ft.	36.7%	294 sq. ft.
Parking lot (east)	30% minimum	230.4 sq. ft.	32.7%	251 sq. ft.
Parking lot (west)	30% minimum	165.6 sq. ft.	31.5%	174sq. ft.

Access and Circulation – Meets requirements with condition of approval

- Well-lit walkways at least 4 feet in width will connect the building entrances to on-site parking. However, they are not connected to the adjacent public sidewalk. There is sufficient room to provide a 4-foot wide walkway from the 60th Street sidewalk to the principal entrance.
- A transit stop is not adjacent to the site.
- Circulation is designed to occur on-site. Three curb cuts would provide vehicle access to the site. The existing Nicollet Avenue curb cut provides truck access to the site. Two-24 foot wide curb cuts on 60th Street, one existing and one proposed, would provide access to the parking areas. Although an additional curb cut is proposed, the number of on-site spaces would not increase and it would not increase conflicts with pedestrians and surrounding residential properties.
- The north side of the site is adjacent to an alley with adjacent residential properties. No alley access is proposed.
- The applicant is proposing to increase the on-site landscaped area by 3,380 square feet. Removing additional paved area in the surface parking area would eliminate required parking.

Landscaping and Screening – Requires alternative compliance

- With the adoption of the staff recommendation, the composition and location of landscaped areas along 60th Street will complement the scale of development and surrounding area.
- The applicant is proposing to landscape 6.8 percent of the net lot area. Alternative compliance is requested.

- Adjacent to 60th Street, a 7-foot wide landscaped yard is required between the parking areas and the street. The landscaped yard of the west parking lot would be less than 7 feet. Alternative compliance is requested.
- Screening that is 3 feet high and at least 60 percent opaque and at least 4 canopy trees are required in each of the landscaped yards adjacent to 60th Street. No screening is proposed. Four canopy trees are proposed for the east parking lot, but none are proposed for the west parking lot. Alternative compliance is requested.
- The east parking area is adjacent to a residence district. A 7-foot wide landscaped yard with screening that is 6 feet tall and 95 percent opaque is required adjacent to the east lot line. The required screening will be provided with a solid wood fence, but a landscaped yard is not proposed. Alternative compliance is requested.
- All areas of the parking lot unavailable for parking or maneuvering will be landscaped.
- Only 17 of the 63 parking spaces would be located within 50 feet of an on-site deciduous canopy tree. Alternative compliance is requested.
- All other areas not occupied by buildings, parking and loading areas, driveways, and outdoor storage will be covered by landscaping.
- Installation and maintenance of all landscape materials will need to comply with sections 530.200 and 530.210 of the zoning code.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	298,386 sq. ft.
Building footprint	--	112,889 sq. ft.
Remaining Lot Area	--	185,497 sq. ft.
Landscaping Required	37,100 sq. ft.	12,588 sq. ft.
Canopy Trees (1: 500 sq. ft.)	75 trees	15 trees
Shrubs (1: 100 sq. ft.)	371 shrubs	31 shrubs

Additional Standards – Meets requirements

- The parking lots and driveways are designed with discontinuous curbing to provide on-site retention and filtration of stormwater.
- The proposed addition would not impede views of important elements of the city, and would be located and arranged to minimize shadowing on public spaces and adjacent properties and to minimize generation of wind currents at ground level.
- The proposal includes environmental design elements to prevent crime. Each side of the addition would contain windows to promote natural surveillance. Fencing would be used to distinguish between public and private spaces. A lighting plan has not been submitted. Lighting will need to comply with the required lighting standards.
- The existing structures are not historic structures that are locally designated or eligible to be locally designated.

2. Conformance with all applicable regulations of the zoning ordinance.

The property of 118 West 60th Street is zoned I1 and I2 and is located within the AP overlay district. The existing steel fabrication use is classified as a medium industrial use with outdoor storage, which is allowed in the I2 district, but not the I1 district. Because the site has split zoning, the most restrictive provisions of the primary zoning districts apply to the entire zoning lot. Therefore an expansion of nonconforming use application is required in order to allow the proposed building addition.

Off-Street Parking and Loading – Requires a variance

- The proposed gross floor area is 118,254 square feet and there is approximately 85,000 square feet of outdoor storage. The existing minimum parking requirement is 85 spaces, but there are currently only 68 existing on-site spaces. Therefore, the use has grandfather rights to 17 spaces. With the addition, the minimum parking requirement will increase to 86 spaces and 63 spaces will remain on-site. A variance is required to reduce the minimum parking requirement.
- At least 3 accessible parking spaces are also required to be provided. Three accessible spaces are proposed. Up to 25 percent of the required spaces, or 21, are allowed to be compact. Sixteen compact spaces are proposed. The remainder of the spaces will comply with the minimum dimensions for standard spaces.
- All areas where motor vehicles are located will be paved as required.

Table 3. Vehicle Parking Requirements Per Use (Chapter 541)

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Medium industrial	86	--	86	232	63

Table 4. Bicycle Parking and Loading Requirements (Chapter 541)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Medium Industrial	N/A	--	--	0	3 large	3+ large

Building Bulk and Height – Meets requirements

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	298,386 sq. ft. / 6.85 acres
Gross Floor Area (GFA)	--	118,254 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	2.7 (both I1 and I2)	0.4
Maximum Building Height	4 stories or 56 ft, whichever is less (both I1 and I2)	1 story and 18 ft.

Residential Lot Requirements – Not applicable

Yard Requirements – Meets requirements

- Yard requirements only apply where the lot lines abut lot lines of property located in a residence district. The property located to the southeast of the site is located in the RIA Single-Family District. The adjacency of the residential district results in front, interior side and rear yard requirements on the subject property. Parking, drive aisles, and driveways are currently located in the required yards, but were established prior to the yard requirements taking effect.

Signs – *Meets requirements*

- Signs are subject to Chapters [531](#) and [543](#) of the Zoning Code. All new signs are required to meet the requirements of Chapter 543 of the zoning code. Separate permits are required from the Zoning Office for any proposed signage.
- The applicant is proposing an approximately 12 square foot, non-illuminated sign above the main entrance on a primary building wall and 14.5 feet above grade. There are also other existing wall signs and an existing monument sign located next to the parking lot entrance that will remain. The proposed sign would comply with the applicable requirements.

Refuse Screening – *Location needs to be identified*

- Refuse and recycling storage containers are required to be enclosed on all four sides by screening compatible with the principal structure not less than two feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. The location of the refuse containers has not been identified on the plans. On the final plans, their location will need to be identified and screened as required.

Screening of Mechanical Equipment – *Meets requirements*

- All mechanical equipment is required to be arranged so as to minimize visual impact by using screening and must comply with Chapter [535](#) and district requirements.

Lighting – *Additional information needed*

- Lighting must comply with Chapter [535](#) and Chapter [541](#) of the zoning code. A lighting plan was not provided as part of the application. If lighting is proposed, one will need to be provided with the final plans.

Impervious Surface Area – *Not applicable*

Specific Development Standards – *Not applicable*

AP Overlay District Standards – *Meets requirements*

- The addition would comply with the AP Overlay District height restrictions.

Outdoor storage – *Additional information needed*

- Outdoor storage exists on the site. It is subject to screening and landscaping requirements of Chapter [550](#) of the zoning code. Where fronting a public street or sidewalk or within 300 feet of a residence district or adjacent to any zoning district other than an I2 or I3 district, screening that is not less than 6 feet in height and 95 percent opaque is required. Also where it fronts a street, a 5 foot landscaped yard is required. The landscaped yard needs to contain:
 - not less than 1 canopy tree for every 500 sq. ft. of landscaped yard or fraction thereof
 - not less than 1 shrub for every 100 sq. ft. of landscaped yard or fraction thereof
 - the remainder of the landscaped yard needs to be covered with turf grass, native grasses or other perennial flowering plants, vines, shrubs or trees

The applicant is proposing to install a 6-foot tall, solid wood fence between the outdoor storage areas and 60th Street and surrounding residential and residentially zoned properties. A 20-foot landscaped yard will be provided adjacent to 60th Street as well. The tree and shrub

requirement based on the size of the required yard is 1 and 4 respectively. The applicant has indicated that the required number of trees and shrubs will be provided. This number, location, and types of trees and shrubs will need to be identified on the final plans.

Fencing – *Does not comply*

- Fences must comply with Chapter [535](#) of the zoning code. The proposed 6-foot tall, wood fencing complies with the applicable fence requirements. However, there is existing barbed wire on the perimeter fencing. Barbed wire is a prohibited fencing material when it is located within 100 feet of a residence district. The barbed wire will need to be removed to comply with the fencing requirements. Slats in chain link are also a prohibited material, but the applicant will be removing the chain link and replacing it with wood fencing.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as transitional industrial on the future land use map. With the adoption of the staff recommendation, the proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- 1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.

Urban Design Policy 10.12: Design industrial uses with appropriate transitions and other design features which minimize negative impacts on surrounding residential uses.

- 10.12.1 Provide appropriate physical transition and separation using green space, fencing, setbacks or orientation between industrial uses and other surrounding uses.
- 10.12.3 Require additional screening and buffering for new developments next to residential areas.
- 10.12.4 Design industrial sites to ensure direct access to major truck routes and freeways as a way to minimize automobile and truck impacts on residential streets and alleys.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.

10.19.7 Boulevard landscaping and improvements, in accordance with applicable city polices, are encouraged.

4. Conformance with applicable development plans or objectives adopted by the City Council.

Not applicable.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Building Placement.** The placement of building addition would not reinforce the street wall or be within 8 feet of an adjacent street. The addition will expand the existing office area which is inset from 60th Street. The addition will extend towards the street and the applicant will remove the area of parking between the building and the street bringing the building placement closer to compliance. For these reasons, staff recommends that the planning commission grant alternative compliance.
- **Windows.** The amount of windows located between 2 and 10 feet above the adjacent grade would exceed 30 percent of the wall area; however, the bottom of most of these windows would not be within 4 feet of the adjacent grade. The addition is expanding an existing office area and would tie in at the existing first floor elevation, which is located approximately 2.5 feet above the adjacent grade. Lowering the proposed windows would not increase views into and out of the building or natural surveillance. For these reasons, staff recommends that the planning commission grant alternative compliance.
- **General landscaping.** The applicant is proposing to landscape 6.8 percent of the net lot area and provide 15 (9 existing and 6 proposed) of the 75 required trees and 31 of the 371 required shrubs. Approximately 85,000 square feet of the 185,497 square feet of net lot area is occupied by outdoor storage. Most of the remainder of the site is needed for circulation and parking. The applicant is proposing to install landscaping improvements, including adding 3,380 square feet of landscaping, along 60th Street. There would be room to plant additional trees in front of the addition and in "Landscape Area A". Therefore staff is recommending that the planning commission require the applicant to plant at least 12 new canopy trees on the site. To further improve the frontage along 60th Street, staff is recommending that the planning commission require the applicant to remove the asphalt paving in the street boulevard and install sod and trees.
- **Parking landscaping and screening.** Adjacent to 60th Street, a 7-foot wide landscaped yard is required between the parking areas and the street. The landscaped yard of the west parking lot would be less than 7 feet. Screening that is 3 feet high and at least 60 percent opaque and at least 4 canopy trees are required in each of the landscaped yards. No screening is proposed. Four canopy trees are proposed for the east parking lot, but none are proposed for the west parking lot. Areas of the west-side parking area currently are located less than 7 feet from the

street. To prevent additional required parking from being eliminated, the applicant is proposing a 3-foot wide landscaped yard. To further improve the frontage along 60th Street, staff is recommending that the planning commission require the applicant to remove the asphalt paving in the street boulevard and install sod and trees. In both parking lots, it would not be impractical for screening to be provided. Therefore staff is also recommending that the planning commission require screening to be installed as required along 60th Street.

The east parking area is adjacent to a residence district. Therefore, a 7-foot wide landscaped yard with screening that is 6 feet tall and 95 percent opaque is required adjacent to the east lot line. The required screening will be provided with a solid wood fence, but a landscaped yard is not proposed. If a landscaped yard is provided, a required parking space would be eliminated. Also, additional room on the west side of the parking area is likely needed to accommodate an accessible route to the principal entrance. The east of the parking area abuts a parking lot for the adjacent placement of assembly. For these reasons, staff is recommending that the planning commission grant alternative compliance.

- **Distance to trees.** Only 17 of the 63 parking spaces would be located within 50 feet of an on-site deciduous canopy tree. Requiring landscaped islands would eliminate required parking. The recommended conditions of approval to plant more trees adjacent to and in the 60th Street boulevard will increase the number of spaces that would be within 50 feet of a tree.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Expansion of a Nonconforming Use:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the expansion of a nonconforming use to allow an approximately 2,300 square foot building addition for an existing legally nonconforming steel fabrication use with outdoor storage located at the property located at 118 60th Street West in the I1 Light Industrial District and I2 Light Industrial District.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the minimum parking requirement from 86 spaces to 63 spaces, where 17 spaces are grandfathered for the property located at 118 60th Street West.

Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

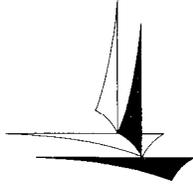
The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow an approximately 2,300 square foot building addition for the property located at 118 60th Street West, subject to the following conditions:

- I. A walkway at least 4 feet in width shall connect the principal entrance to the 60th Street sidewalk as required by section 530.130 of the zoning code.

2. Not less than 12 new canopy trees shall be planted on the site in the landscaped areas adjacent to 60th Street.
3. In the 60th Street boulevard, the asphalt shall be removed and replaced with sod and trees as an alternative to complying fully with the landscaping requirements of sections 530.160 and 530.170 of the zoning code.
4. Parking lot screening shall be provided as required by section 530.170 of the zoning code.
5. The outdoor storage areas shall be landscaped and screened from view as required by section 550.280 of the zoning code.
6. The barb wire, a prohibited fencing material, shall be removed as required by section 535.430 of the zoning code.
7. Department of Community Planning and Economic Development staff review and approval of the final building elevations, floor, site, lighting and landscape plans.
8. Site improvements required by Chapter 530 or by the City Planning Commission shall be completed by March 24, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Zoning map
4. Site plan
5. Site survey
6. Plans
7. Building elevations
8. Renderings
9. Photos
10. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**
(612) 673-2726
don.zart@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001175
Applicant:	LEJEUNE STEEL 118 W. 60TH STREET MINNEAPOLIS, MN 55419
Site Address:	118 60TH ST W 4415 NICOLLET AVE
Date Submitted:	11-MAR-2014
Date Reviewed:	14-MAR-2014

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Addition and renovation of existing business office area

Review Findings (by Discipline)

Parks - Forestry

- Contact Paul Martinson (612-499-9209) regarding removal or protection of trees during construction in the city right of way.
- Please also contact Paul Martinson for assistance in selecting trees that will be planted in the city right of way.
- The proposed additions is less than 5000 square feet and therefore is exempt from park dedication fees.

Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Zoning - Planning

- The following land use applications are required: Expansion of a nonconforming use located in the I1 Light Industrial District and I2 Light Industrial District for an existing legally nonconforming steel fabrication use with outdoor storage; Variance to reduce the minimum parking requirement from 86 spaces to 63 spaces, where 17 spaces are grandfathered; and Site plan review to allow an approximately 2,300 square foot building addition.
- Identify the location of where refuse containers are stored. If located in the building, include a note on the plans.
- Identify the the proposed number and types of shrubs and trees (botanical and common names) and specific location on the site plan.
- The applications have been scheduled for the 3/24/14 Planning Commission meeting. The commission may require additional changes.

❑ Addressing

- The address for the proposed LeJune Steel addition will be 118 W. 60th Street. This address meets the City of Minneapolis Street Naming and Address Standard requirements.

❑ Street Design

- For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>
- All driveway aprons shall be designed and constructed to City standards. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Driveway aprons shall be shown graphically correct on all related site plan sheets.
- All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the appropriate details from the ROAD-1000 Series - Curbs and Gutters (ROAD-1003, and ROAD-1010) to the plans.

❑ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.
- Note to the Applicant: The existing sidewalk and bituminous paved boulevard are not in compliance with City Ordinance. It is recommended that the Applicant consider new concrete sidewalk and a landscaped boulevard per the Minneapolis Code of Ordinances (Title 17, Chapter 427.10 - Boulevards).

❑ Traffic and Parking

- The plan as submitted meets the requirements of the Public Works Traffic & Parking Services Division.

❑ Business Licensing

- There is not a Business License requirement for this project.

❑ Water

- The proposed 6" water service is not allowed as shown on the plans; City requirements do not allow service line locations to be any farther than two feet outside the building line and should run in a line perpendicular from the watermain straight into the proposed building to the meter location. In addition, multiple service connections are generally not allowed to a single property; if the proposed 6" service is for fire protection only, the existing 1¼" service line can remain. Please contact Rock Rogers at (612) 673-2286 to confirm domestic water and fire service layout, manhole construction, connections, and sizes.

❑ Sewer Design

- Stormwater Management: Please note the land disturbing area associated with the project is identified as being just under 1 acre. If the scope of the proposed project expands to include land disturbing activity of 1

acre or more, the project would be subject to the stormwater treatment requirements in Chapter 54 of the Minneapolis Code of Ordinances. Given the size of the project, it is recommended that stormwater treatment practices be considered. There is a Stormwater Utility Fee credit that the property could be eligible for if stormwater treatment is provided.

- The proposed project is located within the Minnehaha Creek Watershed District, which has a separate review process from that of the City. Please note it may be necessary to obtain approvals or permits from Minnehaha Creek Watershed District. It is the owner's responsibility to obtain any of these necessary approvals.
- Erosion Control: Inlet protection should be provided at all downstream catch basins that will receive runoff from the project site area. Please note this on the plans and provide a detail of the device.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

❑ Construction Code Services

- The new main entry must be accessible and connected to accessible parking by an accessible route. Chapter 1341 section 1112.1
- Doors 114A & 114B may have inadequate maneuvering depending on hardware function.
- If matching roof slopes are less than ¼" per foot, the addition must be designed for water accumulation in accordance with Section 1611.2.
- The Application for Permit documents must demonstrate adequate fixture counts including the new occupant load from the addition.
- Contact David Bond (612)673-2118 with any questions to these comments.
- Contact the Met Council regarding a Service Availability Charge that may need to be collected. See this link for more information:
http://www.minneapolismn.gov/www/groups/public/@regservices/documents/webcontent/convert_281675.pdf

❑ Environmental Health

- If the office addition will be on soil that has been determined to be impacted by previous site activities that before excavation begins a remedial action plan should be submitted to the Minnesota Pollution Control Agency for approval. The reuse or temporary storage on site of impacted soils requires City approval and permits as identified below.
- The site Industrial Stormwater Plan for MPCA Permit # MNR05349T should be reviewed and updated as necessary to reflect site changes. If there are changes they should be submitted to the MPCA as required under the current permit.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

☐ Fire Safety

- Maintain fire suppression system throughout new addition and provide necessary permits
- Maintain fire department access at all times

☐ Historical Preservation Committee

- There is not a preservation review required for the proposed addition.

END OF REPORT



Re: LeJeune Steel Company Office Addition

Project description: Renovate the existing small office area and add 2,307 square feet on the main floor for new office space. There will be a parking lot restriping and better alignment of drive entry into the lots, a reduction in paving to create a green space on the public side of the LeJeune campus and working with City of Minneapolis staff. Site paving and new screening have been incorporated into the project. The office area will have a new exterior skin to blend into the new addition and to meet the zoning requirements for window area. For life safety, the office areas will also be sprinklered as part of this project. The project schedule is to begin construction in spring 2014 and preliminary meetings with City of Minneapolis staff (planning, zoning, and life safety) have taken place as part of the design approach.

Non conforming use: The LeJeune site has “split zoning” and with the guidance of City of Minneapolis zoning staff, the smaller zoning district will apply producing a non conforming use. The majority of the site is within a conforming district, but the second, smaller zoning district is beyond 5,000 square feet in an area resulting in the non conforming use status. This business has been in operation in this neighborhood since 1946.

Expansion or alteration of non conforming use:

1. Rezoning of the property would be inappropriate. City of Minneapolis staff have agreed that in this situation, rezoning is not a possibility.
2. The addition of the office area to existing office area is compatible with adjacent property and the neighborhood.
3. The addition of office area is not altering existing staff numbers significantly so traffic and noise are not expected to be an issue to our neighborhood.
4. This project includes the preservation of the existing boulevard trees and the creation of new green space on the south side of the property. New screening on the north, east, and south sides (partial) will also graciously improve our position in the existing neighborhood.
5. Not applicable.





6. Not applicable.
7. Parking variance: 70 spaces are required, 63 will be provided. Please note daily demands for parking are 65 average.
 - a. The site is limited in area to accommodate the regulation size parking status stalls.
 - b. Parking areas are remaining in similar locations but are being improved.
 - c. The variances will not alter the character of the property owner or adversely affect neighboring properties.

Rebecca J. Lewis, AIA, FACHA, CID
Partner, DSGW Architects



LEJEUNE
S T E E L C O M P A N Y

612/861-3321

118 W. 60TH ST. ♦ MINNEAPOLIS, MN 55419

612/861-2724 FAX

Dear neighbor,

Since 1944, LeJeune Steel Company has shared your neighborhood in Minneapolis proudly.

We wanted to let you know we are planning a small addition to the south side of our office area as well as the addition of some green space in front of our entry. New fencing, landscaping and other minor elements to "spruce the place up" are also planned. Don't worry, we are going to preserve the wonderful, existing boulevard trees the best we can!

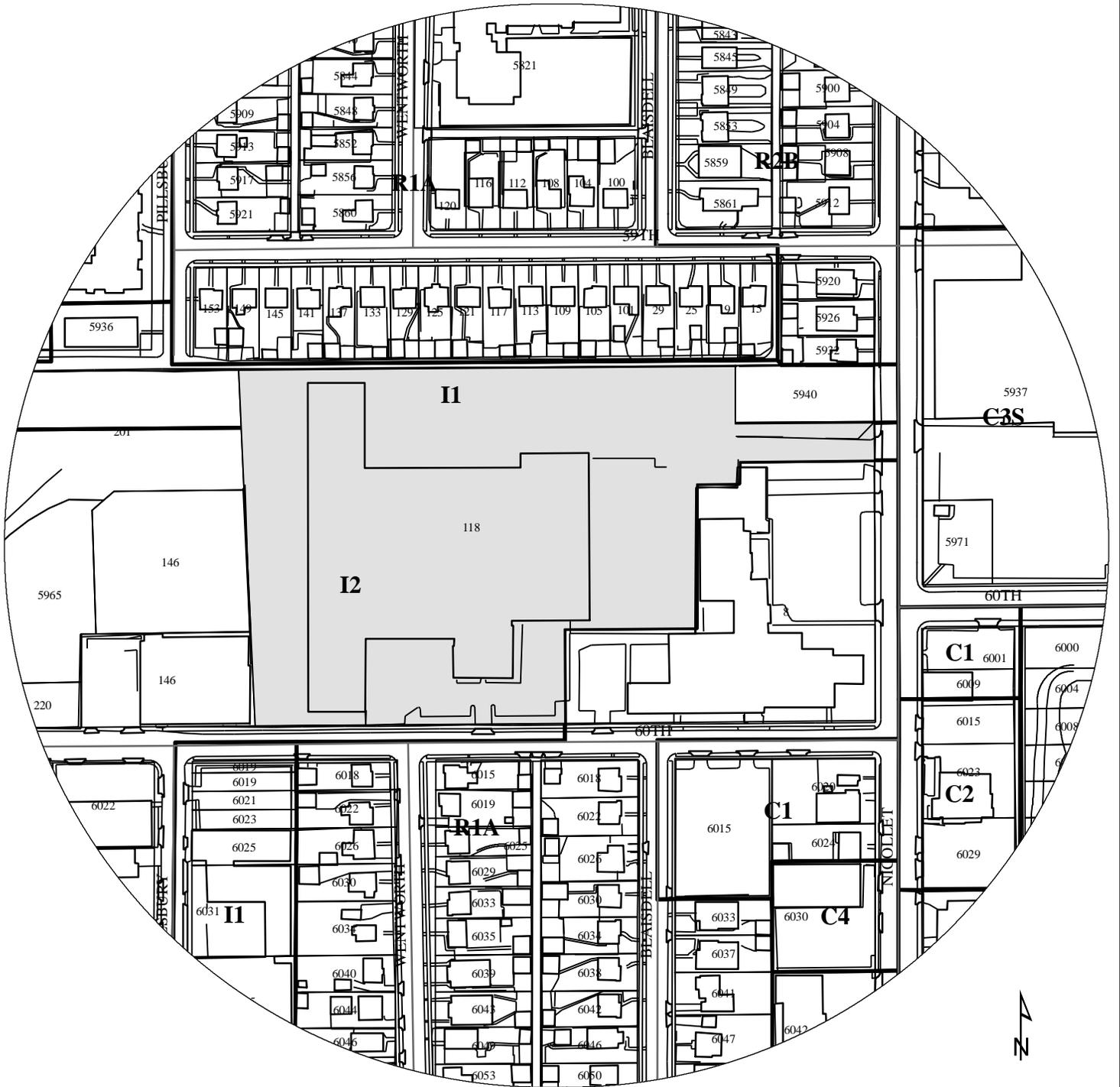
We plan on presenting our project to the Minneapolis Planning Commission at a future date and will also hold an open house so you can stop by and see our plans. The open house will be held for you, our neighbors. It will be a good opportunity to interact with the leadership at LeJeune to understand what we do, how we do it, and our commitment to the neighborhood.

Thanks for being our neighbors for so many years and we look forward to many more.

Sincerely,



Jim Torborg
President
LeJeune Steel Company



PROPERTY ADDRESS
118 60th St W

FILE NUMBER
BZZ-6425



Exhibit "B"

TOPOGRAPHIC SURVEY

~for~ LE JEUNE STEEL
 ~of~ 118 WEST 60TH STREET
 MINNEAPOLIS, MN 55419

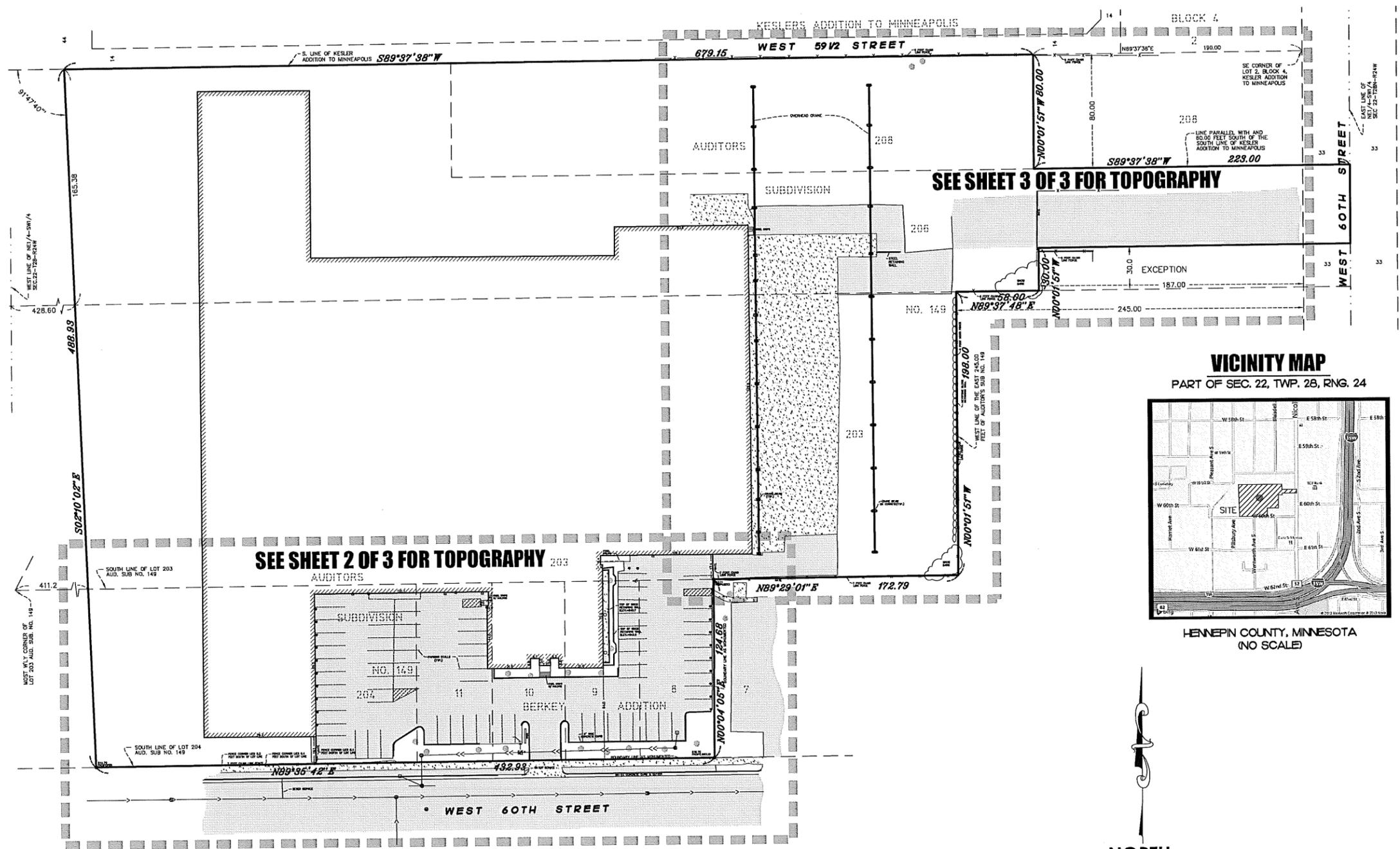
PROPERTY DESCRIPTION

Torrens Certificate of Title No. 479405
 Par 1: Lots 8, 9, 10 and 11, "Berkey Addition to Minneapolis", according to the plat thereof on file or of record in the office of the Register of Deeds in and for said County.
 Subject to certain rights and building restrictions as contained in deed Doc. No. 398297, Files of Registrar of Titles, as to Lot 8. Also
 Par 2: That part of Lot 203, Auditor's Subdivision Number 149 lying East of a line drawn from a point in the South line of said Lot distant 411.2 feet East, measured along said South line, from the most Westerly corner of said Lot, to a point in the North line of said Lot distant 428.6 feet East, measured along said North line and the same extended, from the West line of the Northeast Quarter of the Southwest Quarter of Section 22, Township 28, Range 24 and lying Westerly of the Easterly 245 feet thereof
 That part of Lot 204, Auditor's Subdivision Number 149, lying East of a line drawn from a point in the North line of Lot 203, Auditor's Subdivision Number 149, which is 428.6 feet East; measured along said North line and the same extended, from the West line of the Northeast Quarter of the Southwest Quarter of Section 22, Township 28, Range 24, through a point on the South line of said Lot 203 which point is distant 411.2 feet East, measured along said South line, from the most Westerly corner of said Lot, and extended to the South line of said Lot 204; according to the plat thereof on file or of record in the office of the Register of Deeds in and for said County.

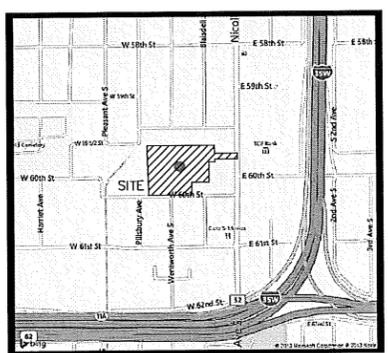
Torrens Certificate of Title No. 653538
 That part of the Northeast Quarter of the Southwest Quarter, Section 22, Township 28, Range 24, described as beginning at a point on the South line of "Kesler Addition To Minneapolis", distant 190 feet West from the Southeast corner of Lot 2, Block 4, "Kesler Addition To Minneapolis"; thence West along said South line a distance of 679.15 feet; thence South, deflecting to the left 91 degrees 47 minutes 40 seconds, a distance of 165.38 feet, more or less, to the North line of Lot 203, Auditor's Subdivision 149; thence East along said North line and its extension to the East line of said Northeast Quarter of the Southwest Quarter; thence North along said East line to its intersection with a line drawn parallel with and 80 feet South from the South line of "Kesler Addition To Minneapolis", and the extension East of said South line; thence West along said parallel line a distance of 223 feet to a line drawn South, parallel with the East line of said Northeast Quarter of the Southwest Quarter, from the point of beginning; thence North along the last described parallel line a distance of 80 feet to the point of beginning, according to the Government Survey thereof, except the Southerly 30 feet of the Westerly 187 feet of the most Easterly 220 feet thereof.

NOTES

- Parcel PIN NO. 22-28-24-31-0147.
- Field survey was completed by E.G. Rud and Sons, Inc. on 10/03/13 and 12/20/13.
- Project is on Hennepin County Coordinate System.
- Curb shots are taken at the top and back of curb.
- This survey is a partial boundary survey, supplemented with topographic information as required. A full boundary survey was not performed for this parcel. However, boundary information is shown based upon the monumentation found, supplemented with 2-18-1981 and 5-7-98 survey records.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.



VICINITY MAP
 PART OF SEC. 22, TWP. 28, RNG. 24



TOPOGRAPHIC SURVEY

~for~ LE JEUNE STEEL
 ~of~ 118 WEST 60TH STREET
 MINNEAPOLIS, MN 55419

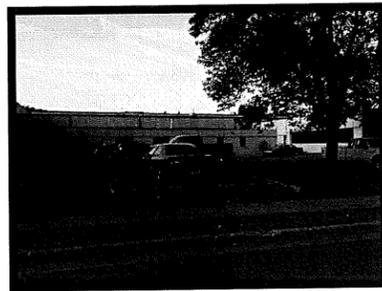


PHOTO A

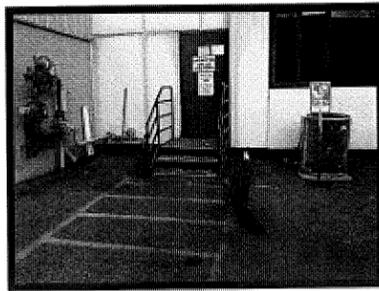


PHOTO B

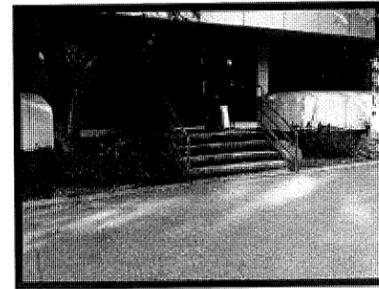


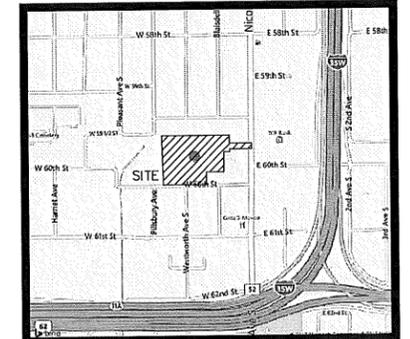
PHOTO C



PHOTO D

VICINITY MAP

PART OF SEC. 22, TWP. 28, RNG. 24



HENNEPIN COUNTY, MINNESOTA
 (NO SCALE)

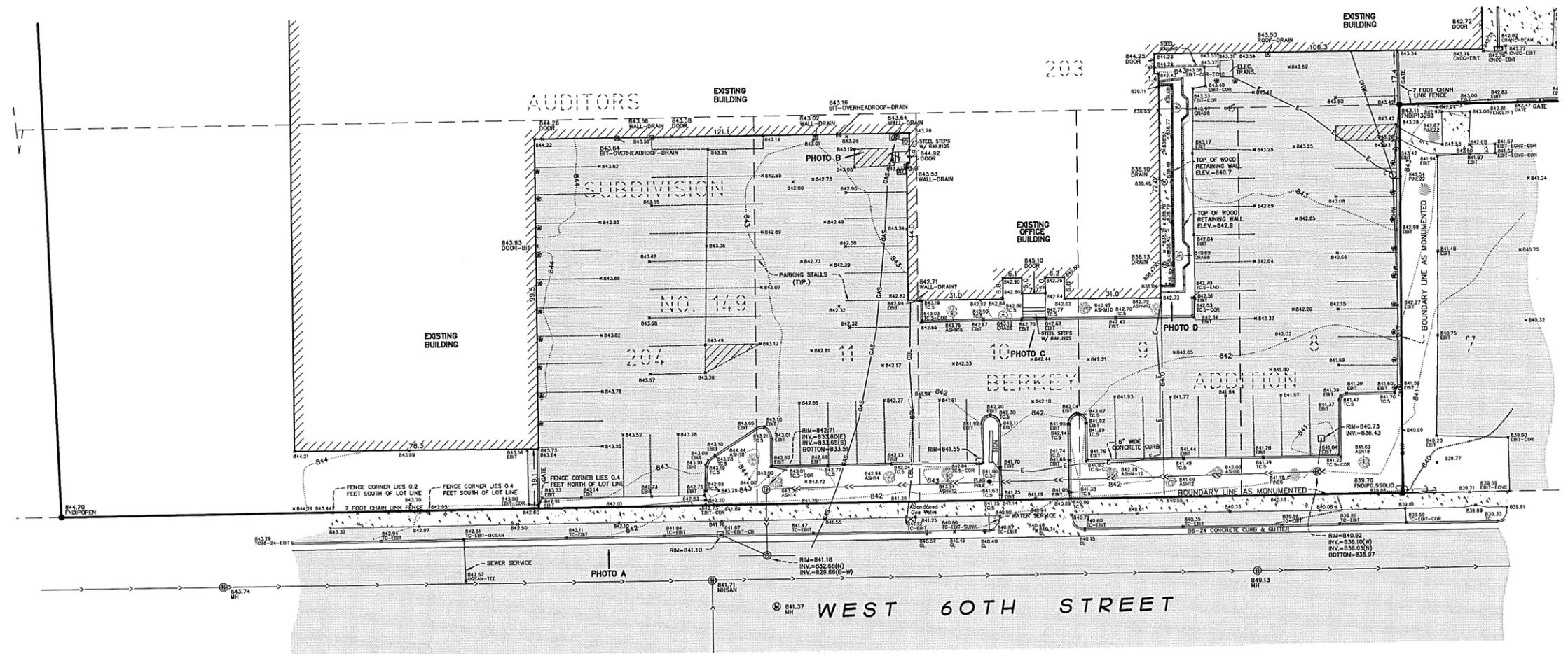
NOTES

- Parcel PIN NO. 22-28-24-31-0147.
- Field survey was completed by E.G. Rud and Sons, Inc. on 10/03/13 and 12/20/13.
- Project is on Hennepin County Coordinate System.
- Curb shots are taken at the top and back of curb.
- This survey is for topographic purposes only of a portion of the above legal description. A full boundary survey was not performed for this survey. However, monumented lot lines adjacent to the topographic area are shown.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Building dimensions are to the exterior face of the office building and not to the foundation under the building. See Photos B and C.
- Utilities shown hereon are observed. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation. United Locating Services (320-963-8511) was used for utility locates. The Gopher State Ticket number obtained by United Locating services for this survey locate request is 132700399. Utility Companies contacted by One Call are as follows:

CITY OF MINNEAPOLIS (612) 673-5600
 COMCAST (612) 522-8141
 CENTURYLINK (800) 283-4237
 CENTER POINT ENERGY (612) 342-5200
 TTM OPERATING CORP. (612) 309-8422
 XCEL ENERGY (612) 630-4366

Gopher State One Ticket Number 132700399 is in reference to only the utilities shown on this sheet.

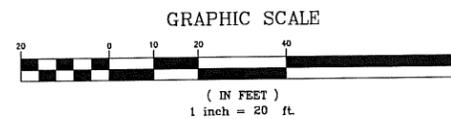
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.
- For boundary information see sheet 1 of 3 sheets.



LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- ⊙ DENOTES BOLLARD
- DENOTES CATCH BASIN
- ⊕ DENOTES STORM SEWER MANHOLE
- ⊗ DENOTES SANITARY SEWER MANHOLE
- ⊙ DENOTES MISCELLANEOUS MANHOLE
- ⊕ DENOTES GAS METER
- ⊕ DENOTES POWER POLE
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- ✓ DENOTES GUY WIRE
- - - - DENOTES FENCE
- ~ ~ ~ DENOTES EXISTING 1 FOOT CONTOURS
- - - - DENOTES EXISTING SANITARY SEWER
- - - - DENOTES EXISTING STORM SEWER
- - - - DENOTES EXISTING WATER MAIN
- OHW DENOTES OVERHEAD WIRE
- - - - DENOTES UNDERGROUND ELECTRIC LINE
- - - - DENOTES UNDERGROUND GAS LINE
- - - - DENOTES UNDERGROUND CABLE LINE
- DENOTES CONCRETE SURFACE
- ▨ DENOTES BITUMINOUS SURFACE

NORTH



BENCHMARK

CITY BENCHMARK 3062A LOCATED AT INTERSECTION OF 58TH AVE. E AND PLEASANT AVENUE. ELEV.=878.94 (NGVD29)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON F. RUD
 Date: 12/27/13 License No. 41578

DRAWN BY: JEN	JOB NO: 13691BT	DATE: 10/07/13
CHECK BY: JER	SCANNED	
1	12/27/13	Added to plan set
2		
3		
NO.	DATE	DESCRIPTION
		BY

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

TOPOGRAPHIC SURVEY

for LE JEUNE STEEL
of 118 WEST 60TH STREET
MINNEAPOLIS, MN 55419

KESLERS ADDITION TO MINNEAPOLIS

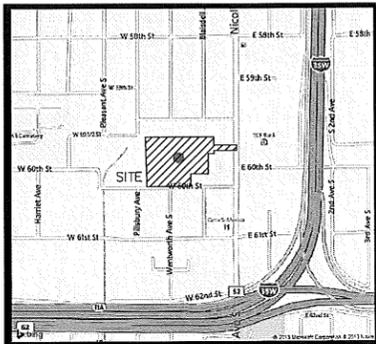
BLOCK 4

WEST 59 1/2 STREET

2

VICINITY MAP

PART OF SEC. 22, TWP. 28, RNG. 24



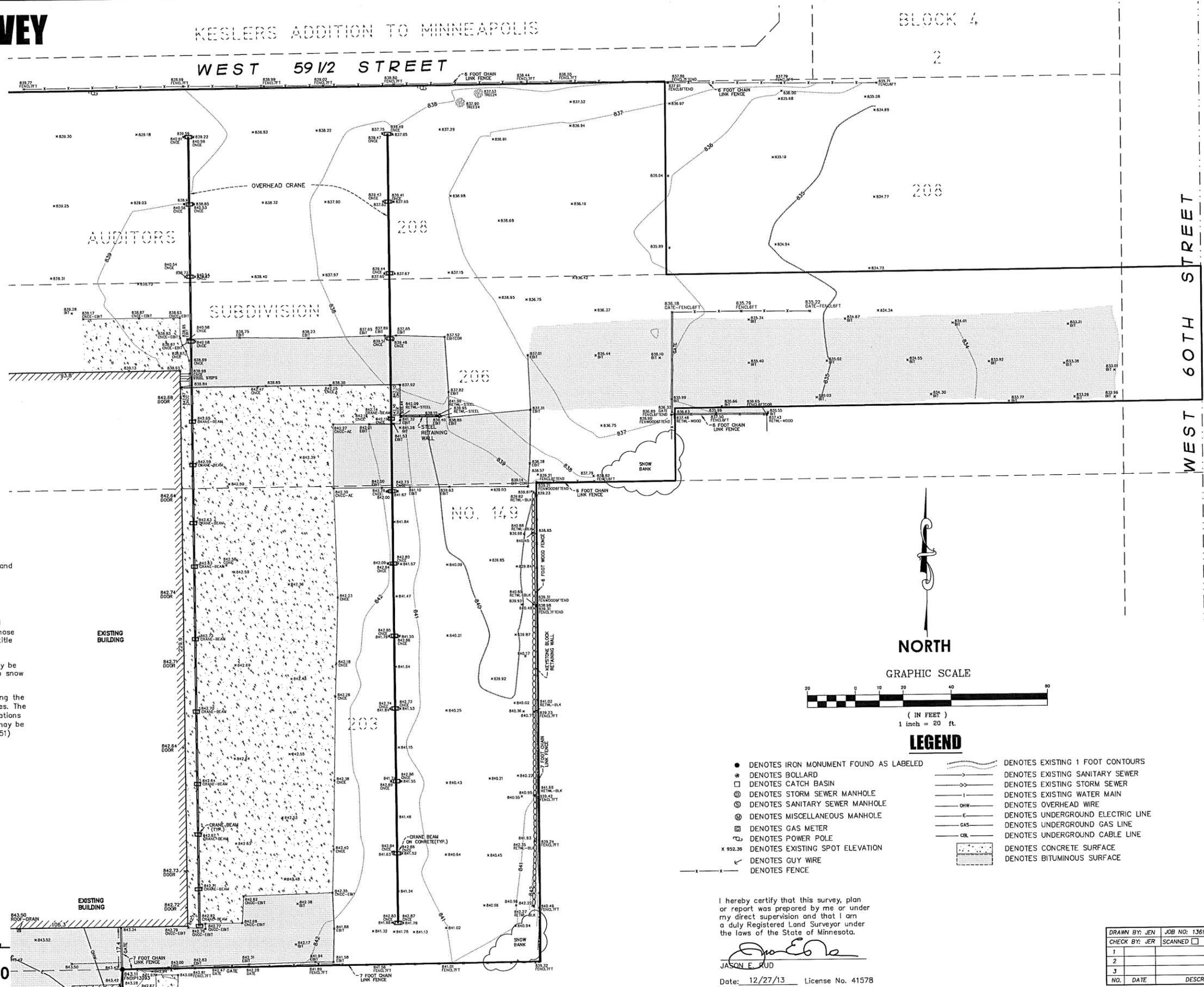
HENNEPIN COUNTY, MINNESOTA
(NO SCALE)

NOTES

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- Field survey was completed by E.G. Rud and Sons, Inc. on 10/03/13 and 12/20/13.
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- Curb shots are taken at the top and back of curb.
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- Utilities shown hereon are observed. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation. There is no Gopher State One Ticket No. for this sheet.
- For boundary information see sheet 1 of 3 sheets.

BENCHMARK

CITY BENCHMARK 3062A LOCATED AT INTERSECTION
OF 58TH AVE. E AND PLEASANT AVENUE.
ELEV.=878.94 (NGVD29)



NORTH

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- ⊠ DENOTES BOLLARD
- ⊞ DENOTES CATCH BASIN
- ⊕ DENOTES STORM SEWER MANHOLE
- ⊙ DENOTES SANITARY SEWER MANHOLE
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- DENOTES OVERHEAD WIRE
- DENOTES UNDERGROUND ELECTRIC LINE
- DENOTES UNDERGROUND GAS LINE
- DENOTES UNDERGROUND CABLE LINE
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
JASON E. RUD

Date: 12/27/13 License No. 41578

E.G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY: JEN	JOB NO: 13691BT	DATE: 12/27/13
CHECK BY: JER	SCANNED <input type="checkbox"/>	
1		
2		
3		
NO.	DATE	DESCRIPTION

GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.

THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

CONTACT CITY OF MINNEAPOLIS ENGINEERING DEPARTMENT FOR INSPECTION OF ALL UTILITY WORK.

NO PUBLIC SIDEWALK SHALL BE OBSTRUCTED.

THE CONTRACTOR AND OWNER SHALL MAKE AVAILABLE TO THE CITY A LIST OF CONTACTS TO BE NOTIFIED IF REPAIRS AND/OR MAINTENANCE TO SITE EROSION CONTROL MEASURES ARE REQUIRED.

NO CONSTRUCTION, DEMOLITION, OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 PM AND 7:00 AM ON WEEKDAYS, OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT.

TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF MNDOT AS OUTLINED IN THE MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).

A LICENSED AND BONDED CONCRETE CONTRACTOR MUST PERFORM ANY CONCRETE CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY.

A SIDEWALK CONSTRUCTION PERMIT MUST BE OBTAINED PRIOR TO THE START OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY.

PROTECT THE RIGHT-OF-WAY TREES WITH CHAIN LINK FENCING AT THE DRIP LINE DURING CONSTRUCTION.

CONTACT DENNIS DUERR AT (612) 673-2707 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT-OF-WAY SIGNS THAT MAY BE IN THE WAY OF CONSTRUCTION.

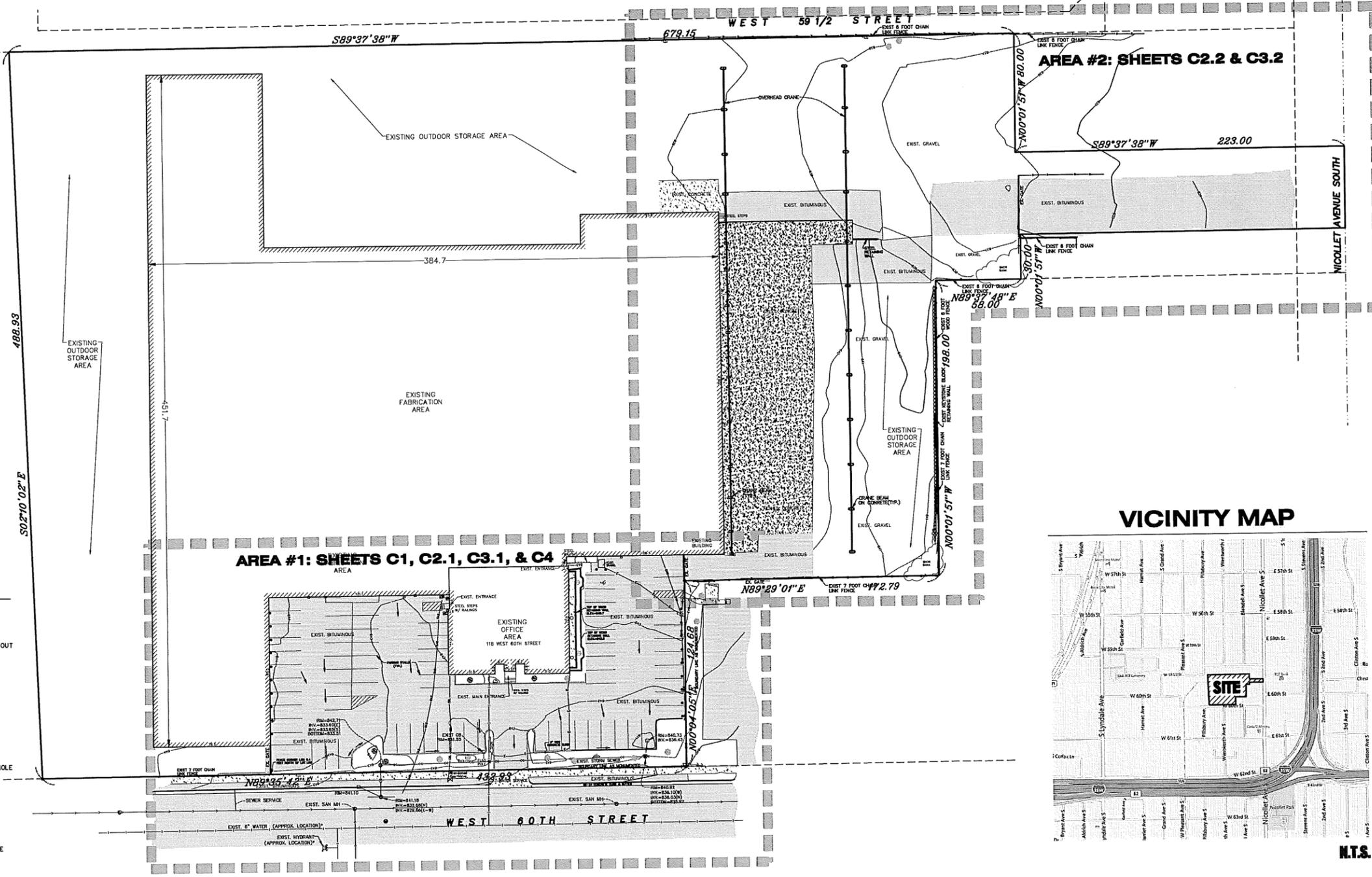
AN OBSTRUCTION PERMIT IS REQUIRED ANYTIME CONSTRUCTION WORK IS PERFORMED IN THE RIGHT-OF-WAY. LOG ONTO MINNEAPOLIS.MN.ROADWAY.NET FOR A PERMIT.

LEGEND

	EXISTING OVERHEAD ELECTRIC		PROPOSED WATER PIPE
	EXISTING UNDERGROUND TELEPHONE		PROPOSED SANITARY SEWER PIPE
	EXISTING UNDERGROUND CABLE		PROPOSED STORM SEWER PIPE
	EXISTING TELEPHONE PEDESTAL		PROPOSED DRAIN TILE AND CLEAN-OUT
	EXISTING ELECTRICAL PEDESTAL		PROPOSED ELECTRIC SERVICE *
	EXISTING CABLE PEDESTAL		PROPOSED GAS SERVICE *
	EXISTING UTILITY POLE		PROPOSED TELEPHONE SERVICE *
	EXISTING LIGHT POLE		PROPOSED STORM MANHOLE
	EXISTING STORM SEWER		PROPOSED CATCH BASIN
	EXISTING WATER MAIN		PROPOSED FLARED-END SECTION
	EXISTING SANITARY SEWER		PROPOSED GATE VALVE
	EXISTING FORCEMAIN		PROPOSED HYDRANT
	EXISTING STORM MANHOLE		PROPOSED SANITARY SEWER MANHOLE
	EXISTING CATCH BASIN		PROPOSED CONTOUR
	EXISTING FLARED-END SECTION		PROPOSED SPOT ELEVATION (OUTLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
	EXISTING GATE VALVE		PROPOSED SILT FENCE
	EXISTING HYDRANT		PROPOSED DIRECTION OF DRAINAGE
	EXISTING WELL		PROPOSED BITUMINOUS
	EXISTING SANITARY SEWER MANHOLE		PROPOSED CONCRETE
	EXISTING CONTOUR		PROPOSED RIP-RAP
	EXISTING SPOT ELEVATION		PROPOSED FILTRATION MEDIA
	EXISTING BITUMINOUS		PROPOSED INLET PROTECTION
	EXISTING BITUMINOUS (TO BE REMOVED)		
	EXISTING TREES		
	EXISTING TREES (TO BE REMOVED)		
	EXISTING RETAINING WALL		
	EXISTING FENCE		

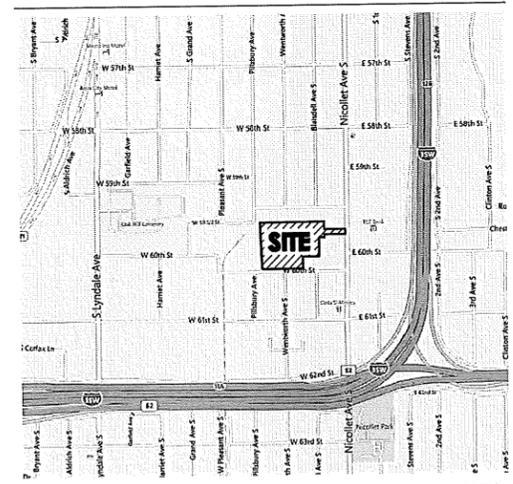
LIGHTING NOTE
PARKING LOTS AND BUILDING ARE LIT BY EXISTING ON-BUILDING LIGHTING WHICH WILL REMAIN IN PLACE.

AREA #1: SHEETS C1, C2.1, C3.1, & C4



AREA #2: SHEETS C2.2 & C3.2

VICINITY MAP



SHEET INDEX

- C0** EXISTING CONDITIONS PLAN
- C1** REMOVALS PLAN
- C2.1** SITE PLAN
- C2.2** SITE PLAN
- C3.1** GRADING, DRAINAGE, & EROSION CONTROL PLAN
- C3.2** GRADING, DRAINAGE, & EROSION CONTROL PLAN
- C4** UTILITY PLAN
- C5** DETAILS

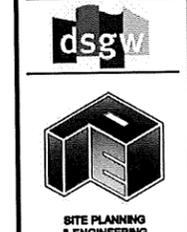
DRAWN BY: C.M.	DESIGN BY: C.W.P.
CHECK BY: C.W.P.	PROJ. NO. 13-1438
ORIGINAL DATE: OCTOBER 16, 2013	

DATE	REVISION DESCRIPTION
02/11/14	CITY COMMENTS
01/22/14	CITY COMMENTS
01/07/14	ADD AREA #2

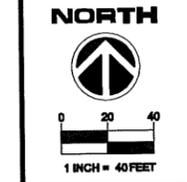
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Charles W. Plowe
CHARLES W. PLOWE
L.C. NO. 16227
DATE: 02.11.14

LE JEUNE STEEL COMPANY
110 WEST 60TH STREET
MINNEAPOLIS, MN
EXISTING CONDITIONS PLAN



PLOWE ENGINEERING, INC.
8778 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (861) 361-8210
FAX: (861) 361-8701



CO

EXISTING CONDITIONS PLAN
LE JEUNE STEEL COMPANY



7/21/2014 8:11 AM C:\Users\jplowe\Documents\13-1438\13-1438-001.dwg

GENERAL NOTES

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NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

CONTACT CITY OF MINNEAPOLIS ENGINEERING DEPARTMENT FOR INSPECTION OF ALL UTILITY WORK.

NO PUBLIC SIDEWALK SHALL BE OBSTRUCTED.

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A SIDEWALK CONSTRUCTION PERMIT MUST BE OBTAINED PRIOR TO THE START OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY.

PROTECT THE RIGHT-OF-WAY TREES WITH CHAIN LINK FENCING AT THE DRIP LINE DURING CONSTRUCTION.

CONTACT DENNIS DUERR AT (612) 673-2707 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT-OF-WAY SIGNS THAT MAY BE IN THE WAY OF CONSTRUCTION.

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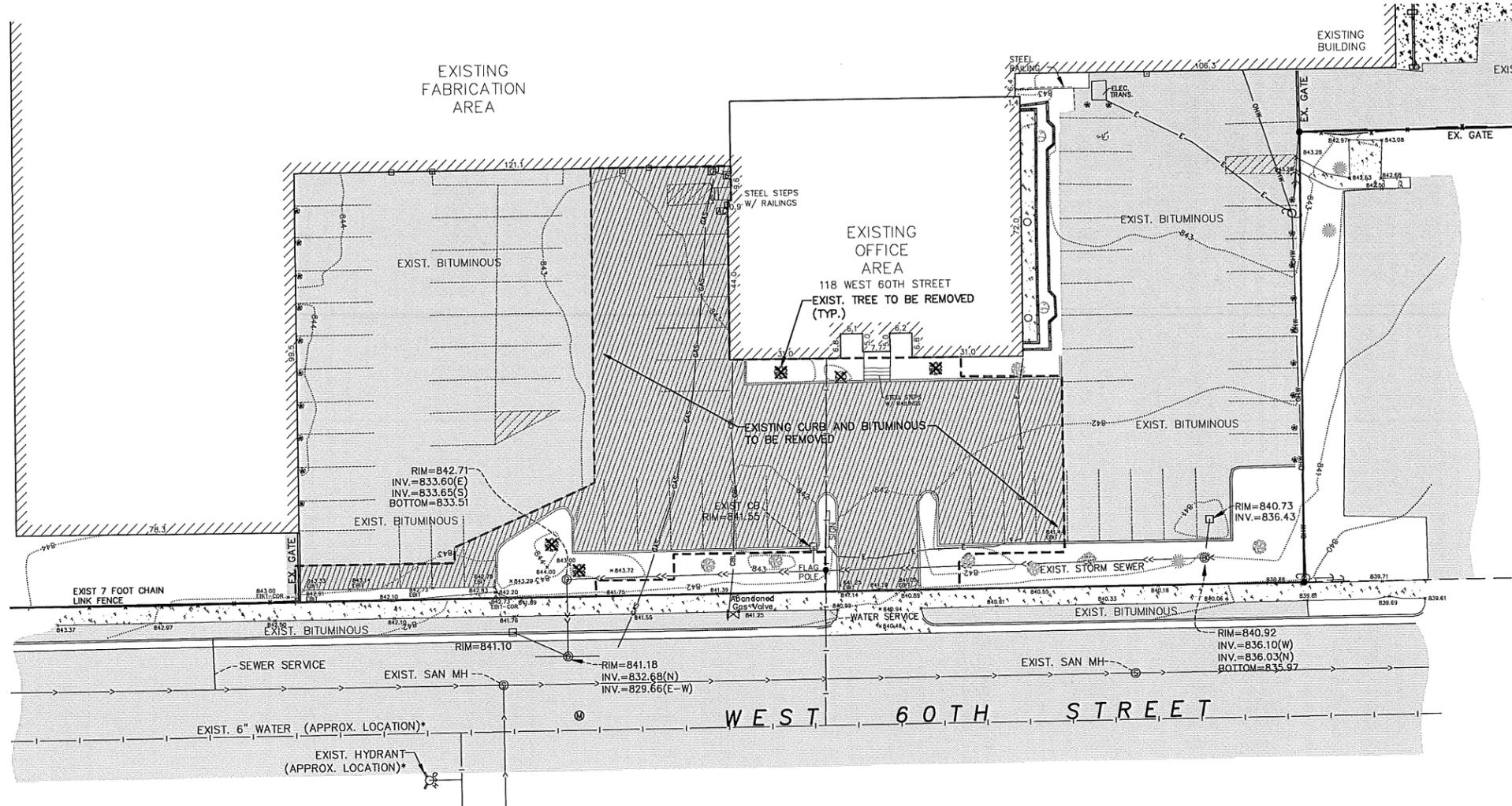
SAW-CUT EXISTING BITUMINOUS AND CONCRETE CURB TO PROVIDE BUTT-JOINT.

RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.

BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

FOUR INCHES OF CLASS 5 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.

CURB ENDS SHALL TERMINATE IN A THREE-FOOT BEAVER TAIL.



LEGEND

- | | | | |
|----------|-------------------------------------|----------|--------------------------------------------------------------------------------|
| —○— | EXISTING OVERHEAD ELECTRIC | — — | PROPOSED WATER PIPE |
| —□— | EXISTING UNDERGROUND TELEPHONE | — — | PROPOSED SANITARY SEWER PIPE |
| —○— | EXISTING UNDERGROUND CABLE | — — | PROPOSED STORM SEWER PIPE |
| □ | EXISTING TELEPHONE PEDESTAL | — — | PROPOSED DRAIN TILE AND CLEAN-OUT |
| □ | EXISTING ELECTRICAL PEDESTAL | —ELEC— | PROPOSED ELECTRIC SERVICE * |
| □ | EXISTING CABLE PEDESTAL | —GAS— | PROPOSED GAS SERVICE * |
| □ | EXISTING UTILITY POLE | —TEL— | PROPOSED TELEPHONE SERVICE * |
| □ | EXISTING LIGHT POLE | ⊙ | PROPOSED STORM MANHOLE |
| — — | EXISTING STORM SEWER | □ | PROPOSED CATCH BASIN |
| — — | EXISTING WATER MAIN | △ | PROPOSED FLARED-END SECTION |
| — — | EXISTING SANITARY SEWER | ⊗ | PROPOSED GATE VALVE |
| —FH— | EXISTING FORCEMAIN | ⊗ | PROPOSED HYDRANT |
| ⊙ | EXISTING STORM MANHOLE | ⊙ | PROPOSED SANITARY SEWER MANHOLE |
| □ | EXISTING CATCH BASIN | — — | PROPOSED CONTOUR |
| △ | EXISTING FLARED-END SECTION | — — | PROPOSED SPOT ELEVATION |
| ⊗ | EXISTING GATE VALVE | × 920.60 | (GUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED) |
| ⊗ | EXISTING HYDRANT | — — | PROPOSED SILT FENCE |
| ⊙ | EXISTING WELL | — — | PROPOSED DIRECTION OF DRAINAGE |
| ⊙ | EXISTING SANITARY SEWER MANHOLE | — — | PROPOSED BITUMINOUS |
| — — | EXISTING CONTOUR | — — | PROPOSED CONCRETE |
| × 920.99 | EXISTING SPOT ELEVATION | — — | PROPOSED RIP-RAP |
| — — | EXISTING BITUMINOUS | — — | PROPOSED FILTRATION MEDIA |
| — — | EXISTING BITUMINOUS (TO BE REMOVED) | — — | PROPOSED INLET PROTECTION |
| ⊙ | EXISTING TREES | | |
| ⊗ | EXISTING TREES (TO BE REMOVED) | | |
| — — | EXISTING RETAINING WALL | | |
| —x— | EXISTING FENCE | | |



Know what's below.
Call before you dig.

REMOVALS PLAN
LE JEUNE STEEL COMPANY

DRAWN BY: C.M.
CHKD BY: C.W.P.
PROJ. NO. 13-1438

ORIGINAL DATE:
OCTOBER 16, 2013

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Charles W. Plowe
CHARLES W. PLOWE
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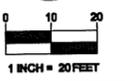
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MINNEAPOLIS, MN
REMOVALS PLAN



PLOWE ENGINEERING, INC.

6770 LAKE DRIVE
SUITE 110
LINO LAKE, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

NORTH



C1

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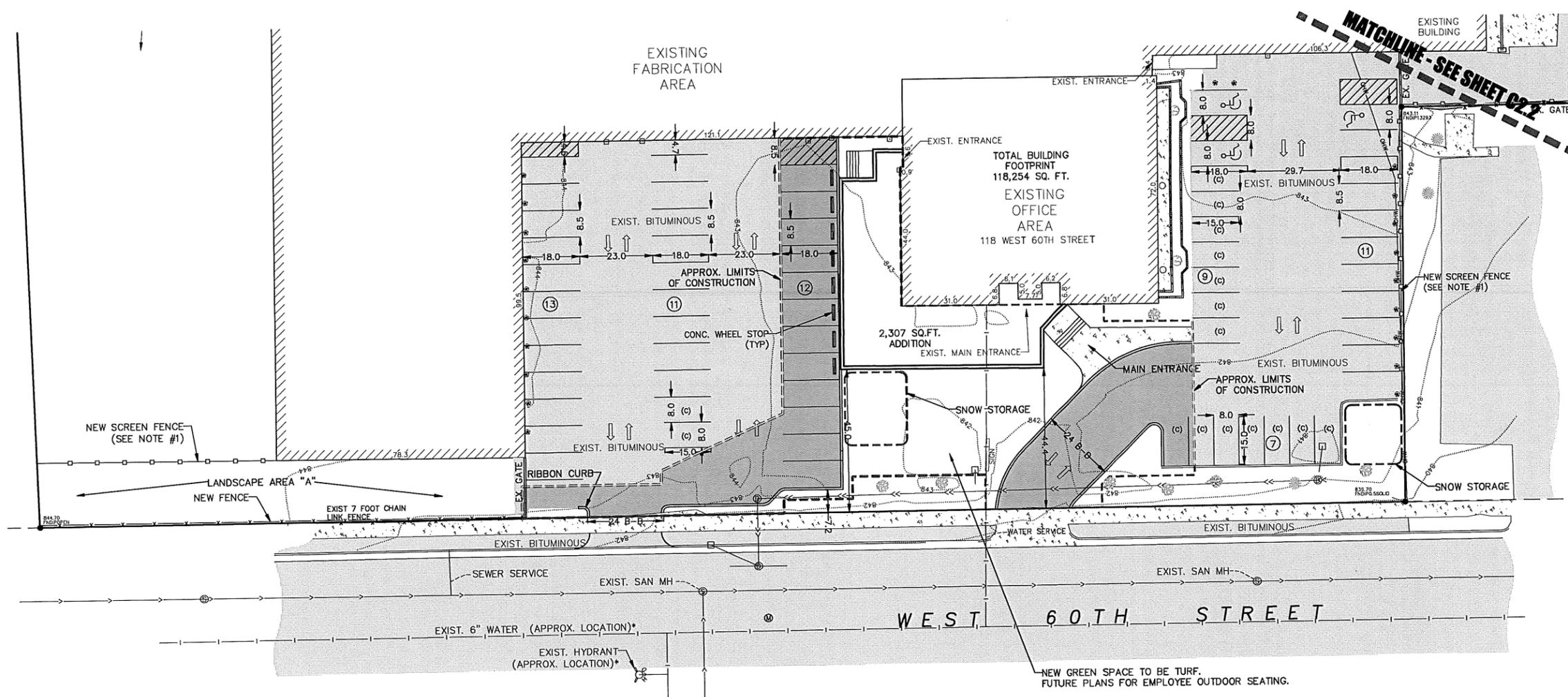
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LEGEND

	EXISTING OVERHEAD ELECTRIC		PROPOSED WATER PIPE
	EXISTING UNDERGROUND TELEPHONE		PROPOSED SANITARY SEWER PIPE
	EXISTING UNDERGROUND CABLE		PROPOSED STORM SEWER PIPE
	EXISTING TELEPHONE PEDESTAL		PROPOSED DRAIN TILE AND CLEAN-OUT
	EXISTING ELECTRICAL PEDESTAL		ELEC - PROPOSED ELECTRIC SERVICE *
	EXISTING CABLE PEDESTAL		GAS - PROPOSED GAS SERVICE *
	EXISTING UTILITY POLE		TEL - PROPOSED TELEPHONE SERVICE *
	EXISTING LIGHT POLE		SM - PROPOSED STORM MANHOLE
	EXISTING STORM SEWER		CB - PROPOSED CATCH BASIN
	EXISTING WATER MAIN		FE - PROPOSED FLARED-END SECTION
	EXISTING SANITARY SEWER		GV - PROPOSED GATE VALVE
	EXISTING FORCEMAIN		HY - PROPOSED HYDRANT
	EXISTING STORM MANHOLE		SSM - PROPOSED SANITARY SEWER MANHOLE
	EXISTING CATCH BASIN		928 - PROPOSED CONTOUR
	EXISTING FLARED-END SECTION		920.60 - PROPOSED SPOT ELEVATION (OUTERLINE, BITUMINOUS SURFACE OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
	EXISTING GATE VALVE		SF - PROPOSED SILT FENCE
	EXISTING HYDRANT		4.0% - PROPOSED DIRECTION OF DRAINAGE
	EXISTING WELL		BT - PROPOSED BITUMINOUS
	EXISTING SANITARY SEWER MANHOLE		CONC - PROPOSED CONCRETE
	EXISTING CONTOUR		RR - PROPOSED RIP-RAP
	EXISTING SPOT ELEVATION		FM - PROPOSED FILTRATION MEDIA
	EXISTING BITUMINOUS		IP - PROPOSED INLET PROTECTION
	EXISTING BITUMINOUS (TO BE REMOVED)		
	EXISTING TREES		
	EXISTING TREES (TO BE REMOVED)		
	EXISTING RETAINING WALL		
	EXISTING FENCE		

PARKING SUMMARY

20,000/1,000 = 20 SPACES
 98,254/2,000 = 50 SPACES
 TOTAL REQ. 70 SPACES

STANDARD SPACES (8'-6"x18') (75%) = 47
 COMPACT SPACES (8'x15') (25%) = 16 (C)

HANDICAP SPACES (AS SHOWN) = 3

TOTAL ACTUAL SPACES = 63

PROPOSED DISTURBED AREAS		
AREA	SHEET	SQ. FT.
AREA #1	C2.1	10814
AREA #2	C2.2	28543
TOTAL		39357

PROPOSED DISTURBED AREA #1		
	EXISTING	PROPOSED
PERVIOUS SQ.FT.	1606	2945
IMPERVIOUS SQ.FT.	9208	7869
TOTAL SQ.FT.	10814	10814

NOTES:
 1. ALL NEW SCREEN FENCING TO BE 6'0", WOOD, 95% TRANSLUCENT.
 2. LANDSCAPE AREA TO HAVE (#530.160) 1 TREE PER 500 SQUARE FEET, 1 SHRUB PER 100 SQUARE FEET; THEREFORE, LANDSCAPE AREA "A" TO HAVE:

3100 ÷ 500 = 6 TREES
 3100 ÷ 100 = 31 SHRUBS

PLANT SCHEDULE	
TREES:	ASH
SHRUBS:	TO BE SELECTED



Know what's below.
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 DESIGN BY: C.W.P.
 CHECK BY: C.W.P.
 PROJ. NO. 13-1438

ORIGINAL DATE: OCTOBER 16, 2013

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 118 WEST 60TH STREET
 MINNEAPOLIS, MN
 SITE PLAN



PLOWE
 ENGINEERING, INC.

6778 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (851) 361-9210
 FAX: (851) 361-9701



SITE PLAN
LE JEUNE STEEL COMPANY
C2.1

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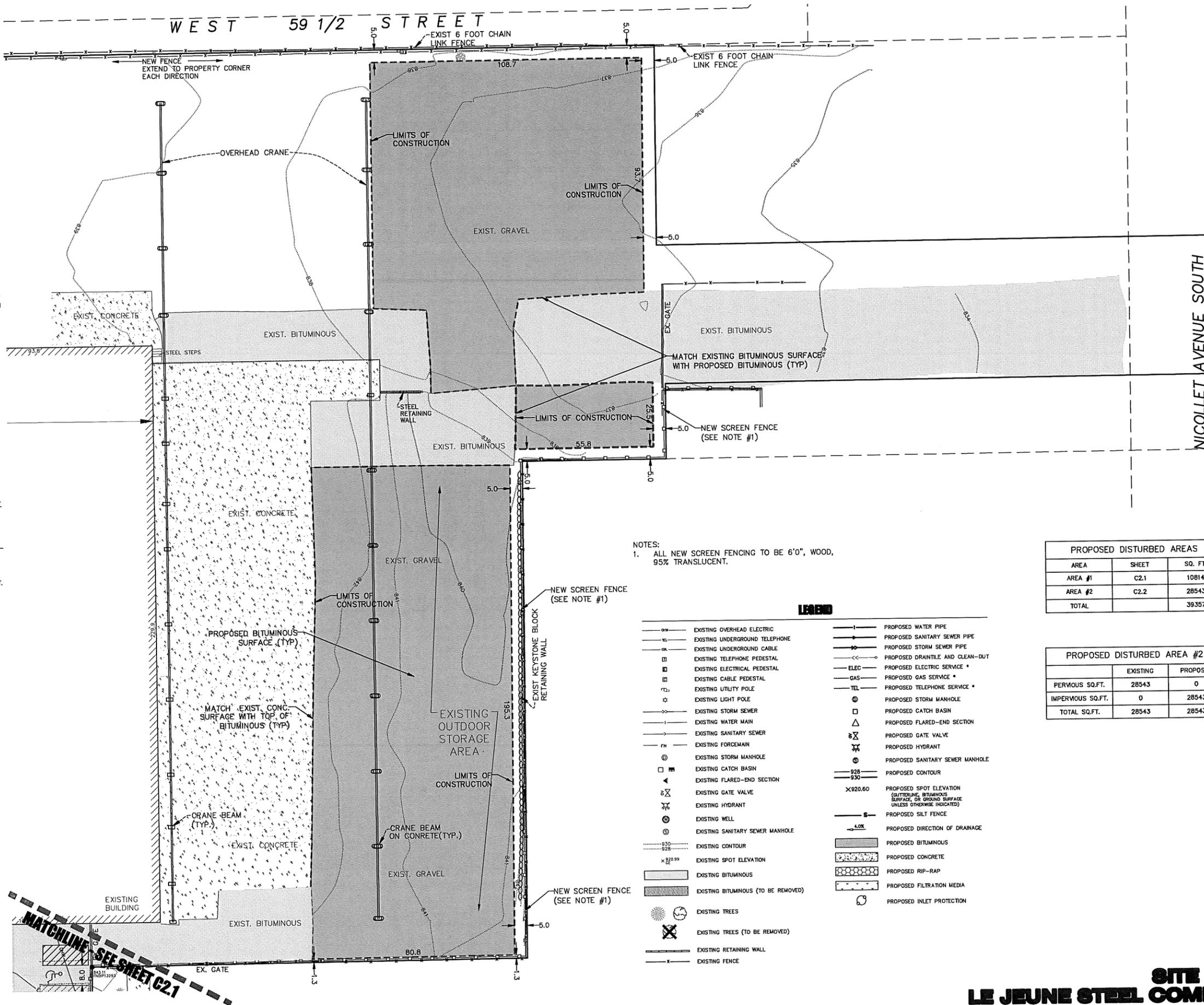
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PROPOSED DISTURBED AREAS		
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AREA #2	C2.2	28543
TOTAL		39357

PROPOSED DISTURBED AREA #2		
	EXISTING	PROPOSED
PERVIOUS SQ.FT.	28543	0
IMPERVIOUS SQ.FT.	0	28543
TOTAL SQ.FT.	28543	28543

LEGEND

- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND CABLE
- EXISTING TELEPHONE PEDESTAL
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- EXISTING CABLE PEDESTAL
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING FORCEMAIN
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING FLARED-END SECTION
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WELL
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING BITUMINOUS
- EXISTING BITUMINOUS (TO BE REMOVED)
- EXISTING TREES
- EXISTING TREES (TO BE REMOVED)
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- EXISTING FENCE
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- PROPOSED SANITARY SEWER PIPE
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- PROPOSED DRAINILE AND CLEAN-OUT
- PROPOSED ELECTRIC SERVICE *
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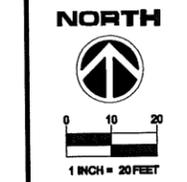
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SITE PLAN
LE JEUNE STEEL COMPANY
C2.2

2/11/2014 S:\dms\1438\1438.dwg LE JEUNE SHEET 110-1438 CAD\110-1438.BAS 4.dwg



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MINNEAPOLIS STANDARD EROSION CONTROL NOTES

CONTRACTOR MUST CALL FOR A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO ANY LAND DISTURBANCES (512-673-3867). FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.

INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO BEGINNING CONSTRUCTION. (HAY BALES ARE NOT AN ACCEPTABLE PERIMETER CONTROL.)

BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE. USE A GEOTEXTILE FABRIC BENEATH THE AGGREGATE IN ORDER TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.

REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CATCH BASIN INSERTS OR OTHER APPROVED PRODUCT ARE REQUIRED IN UNDISTURBED AREAS THAT RECEIVE RUNOFF FROM DISTURBED AREAS. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.

LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CONTROL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT FOR MORE THAN 24 HOURS.

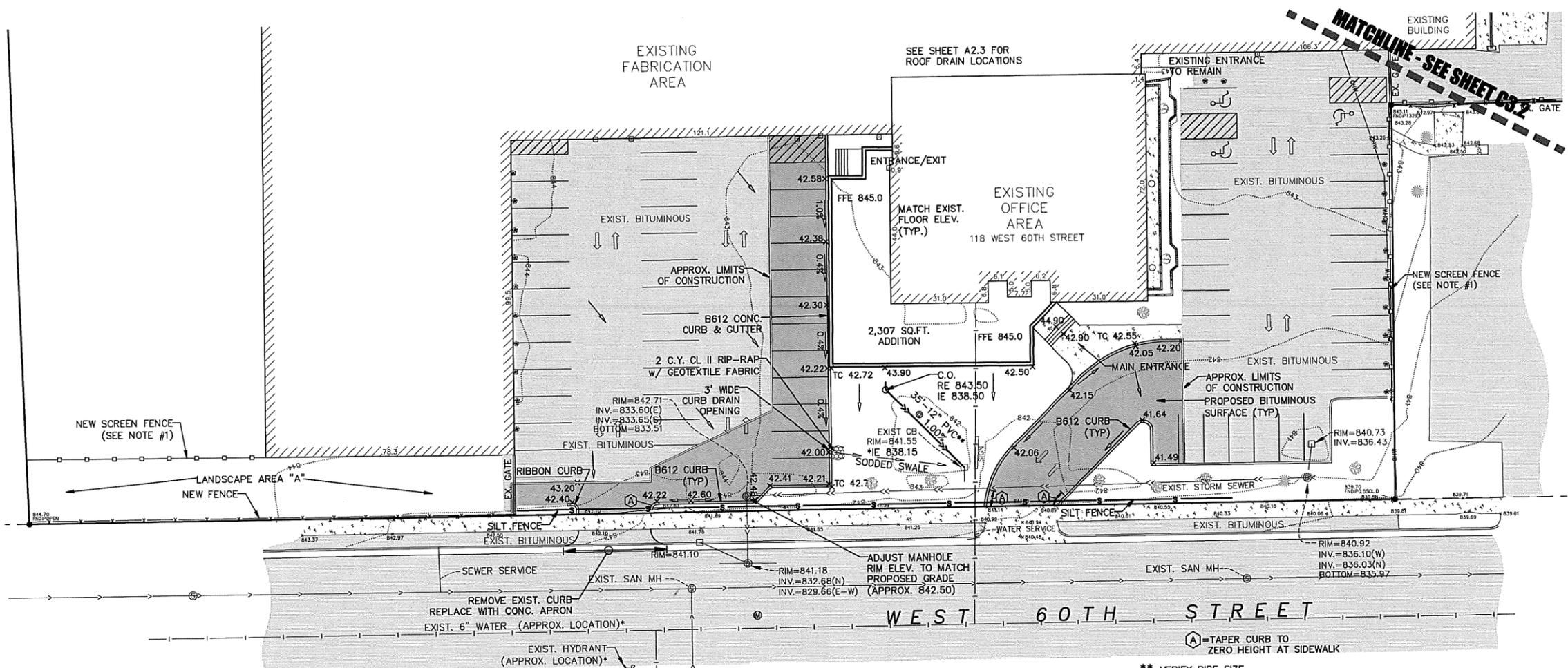
MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED CONTROL DEVICES IMMEDIATELY.

TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEEDING AND MULCHING, EROSION CONTROL MATTING, AND/OR SOODING AND STAKING IN GREEN SPACE AREAS. AN EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED RECOMMENDED MINIMIZING EROSION POTENTIAL.

REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. FINAL STABILIZATION FOR THE PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENuded AREAS.

READY MIXED CONCRETE AND CONCRETE BATCH PLANTS PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT AREA UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.

2/17/2014
S:\pww\3600\3600-1438-LE JEUNE STEEL-N3-1438-C3.1-1438-BASE.dwg



CURB & BITUMINOUS NOTES

REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.

SAW-CUT EXISTING BITUMINOUS AND CONCRETE CURB TO PROVIDE BUTT-JOINT.

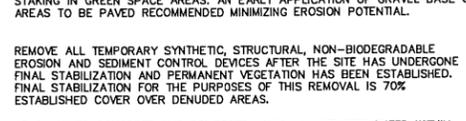
RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.

BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

FOUR INCHES OF CLASS 5 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.

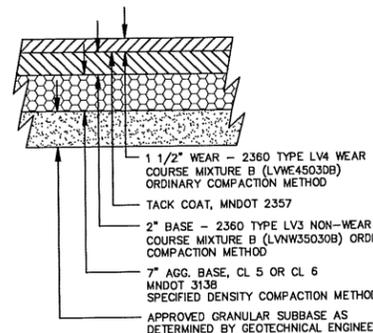
CURB ENDS SHALL TERMINATE IN A THREE-FOOT BEAVER TAIL.

- NOTES:
1. ALL NEW SCREEN FENCING TO BE 6'0", WOOD, 95% TRANSLUCENT.
 2. LANDSCAPE AREA TO HAVE (#530.160) 1 TREE PER 500 SQUARE FEET, 1 SHRUB PER 100 SQUARE FEET; THEREFORE, LANDSCAPE AREA "A" TO HAVE:
 - 3100 ÷ 500 = 6 TREES
 - 3100 ÷ 100 = 31 SHRUBS



LEGEND

—○—	EXISTING OVERHEAD ELECTRIC	— —	PROPOSED WATER PIPE
—□—	EXISTING UNDERGROUND TELEPHONE	— —	PROPOSED SANITARY SEWER PIPE
—○—	EXISTING UNDERGROUND CABLE	— —	PROPOSED STORM SEWER PIPE
—□—	EXISTING TELEPHONE PEDESTAL	— —	PROPOSED DRAIN TILE AND CLEAN-OUT
—□—	EXISTING ELECTRICAL PEDESTAL	— —	ELEC PROPOSED ELECTRIC SERVICE *
—□—	EXISTING CABLE PEDESTAL	— —	GAS PROPOSED GAS SERVICE *
—□—	EXISTING LIGHT POLE	— —	TEL PROPOSED TELEPHONE SERVICE *
—□—	EXISTING STORM SEWER	— —	PROPOSED STORM MANHOLE
— —	EXISTING WATER MAIN	— —	PROPOSED CATCH BASIN
— —	EXISTING SANITARY SEWER	— —	PROPOSED FLARED-END SECTION
— —	EXISTING FORCEMAIN	— —	PROPOSED GATE VALVE
— —	EXISTING STORM MANHOLE	— —	PROPOSED HYDRANT
— —	EXISTING CATCH BASIN	— —	PROPOSED SANITARY SEWER MANHOLE
— —	EXISTING FLARED-END SECTION	— —	PROPOSED CONTOUR
— —	EXISTING GATE VALVE	— —	PROPOSED SPOT ELEVATION (GUTTERLINE BITUMINOUS SURFACE OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
— —	EXISTING HYDRANT	— —	EXISTING BITUMINOUS
— —	EXISTING WELL	— —	EXISTING BITUMINOUS (TO BE REMOVED)
— —	EXISTING SANITARY SEWER MANHOLE	— —	EXISTING TREES
— —	EXISTING CONTOUR	— —	EXISTING TREES (TO BE REMOVED)
— —	EXISTING SPOT ELEVATION	— —	EXISTING RETAINING WALL
— —	EXISTING BITUMINOUS	— —	EXISTING FENCE
— —	EXISTING BITUMINOUS (TO BE REMOVED)	— —	
— —	EXISTING TREES	— —	
— —	EXISTING TREES (TO BE REMOVED)	— —	
— —	EXISTING RETAINING WALL	— —	
— —	EXISTING FENCE	— —	



PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S STANDARDS FOR STREET AND UTILITY CONSTRUCTION.

PAVING SECTION AND SUBGRADE SHALL BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO ANY INSTALLATIONS.

BITUMINOUS PAVEMENT (AREA 1)
N.T.S.

GRADING, DRAINAGE, & EROSION CONTROL PLAN
LE JEUNE STEEL COMPANY

DRAWN BY: C.M.
DESIGN BY: C.W.P.
CHKD BY: C.W.P.
PROJ. NO. 13-1438

ORIGINAL DATE: OCTOBER 16, 2013

DATE	REVISION DESCRIPTION
02/11/14	CITY COMMENTS
01/29/14	CITY COMMENTS
01/07/14	CITY COMMENTS
11/14/13	CITY COMMENTS

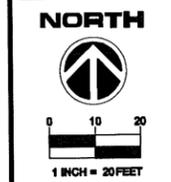
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Charles W. Plowe
CHARLES W. PLOWE
LIC. NO. 02.11.14
DATE: 02.11.14

LE JEUNE STEEL COMPANY
110 WEST 60TH STREET
MINNEAPOLIS, MN
GRADING, DRAINAGE, & EROSION CONTROL PLAN



PLOWE ENGINEERING, INC.
8778 LAKE DRIVE
SUITE 110
LINO LAKE, MN 55014
PHONE: (651) 361-4210
FAX: (651) 361-4701



C3.1

GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.

THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

CONTACT CITY OF MINNEAPOLIS ENGINEERING DEPARTMENT FOR INSPECTION OF ALL UTILITY WORK.

NO PUBLIC SIDEWALK SHALL BE OBSTRUCTED.

THE CONTRACTOR AND OWNER SHALL MAKE AVAILABLE TO THE CITY A LIST OF CONTACTS TO BE NOTIFIED IF REPAIRS AND/OR MAINTENANCE TO SITE EROSION CONTROL MEASURES ARE REQUIRED.

NO CONSTRUCTION, DEMOLITION, OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 PM AND 7:00 AM ON WEEKDAYS, OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT.

TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF MNDOT AS OUTLINED IN THE MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).

A LICENSED AND BONDED CONCRETE CONTRACTOR MUST PERFORM ANY CONCRETE CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY.

A SIDEWALK CONSTRUCTION PERMIT MUST BE OBTAINED PRIOR TO THE START OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY.

PROTECT THE RIGHT-OF-WAY TREES WITH CHAIN LINK FENCING AT THE DRIP LINE DURING CONSTRUCTION.

CONTACT DENNIS DUERR AT (612) 673-2707 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT-OF-WAY SIGNS THAT MAY BE IN THE WAY OF CONSTRUCTION.

AN OBSTRUCTION PERMIT IS REQUIRED ANYTIME CONSTRUCTION WORK IS PERFORMED IN THE RIGHT-OF-WAY. LOG ONTO MINNEAPOLIS.MN.ROADWAY.NET FOR A PERMIT.

SANITARY SEWER, WATERMAIN, & STORM SEWER NOTES

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER AND WATERMAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

WATERMAIN SHALL BE DIP CLASS 52 AND COPPER TYPE K.

SANITARY SEWER SHALL BE PVC SCHEDULE 40.

A UTILITIES CONNECTION PERMIT IS REQUIRED FOR SANITARY SEWER CONNECTION. CONTACT (612) 673-2451 FOR ADDITIONAL PERMITTING INFORMATION.

A PLUMBER LICENSED WITH THE CITY OF MINNEAPOLIS IS REQUIRED FOR ALL SANITARY SEWER WORK.

EXPOSE EXISTING SANITARY SEWER SERVICES NOT USED AND BULKHEAD BEHIND CURB.

WATERMAIN AND SEWER TO BE TESTED IN ACCORDANCE WITH THE MINNESOTA PLUMBING CODE.

CURB & BITUMINOUS NOTES

REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.

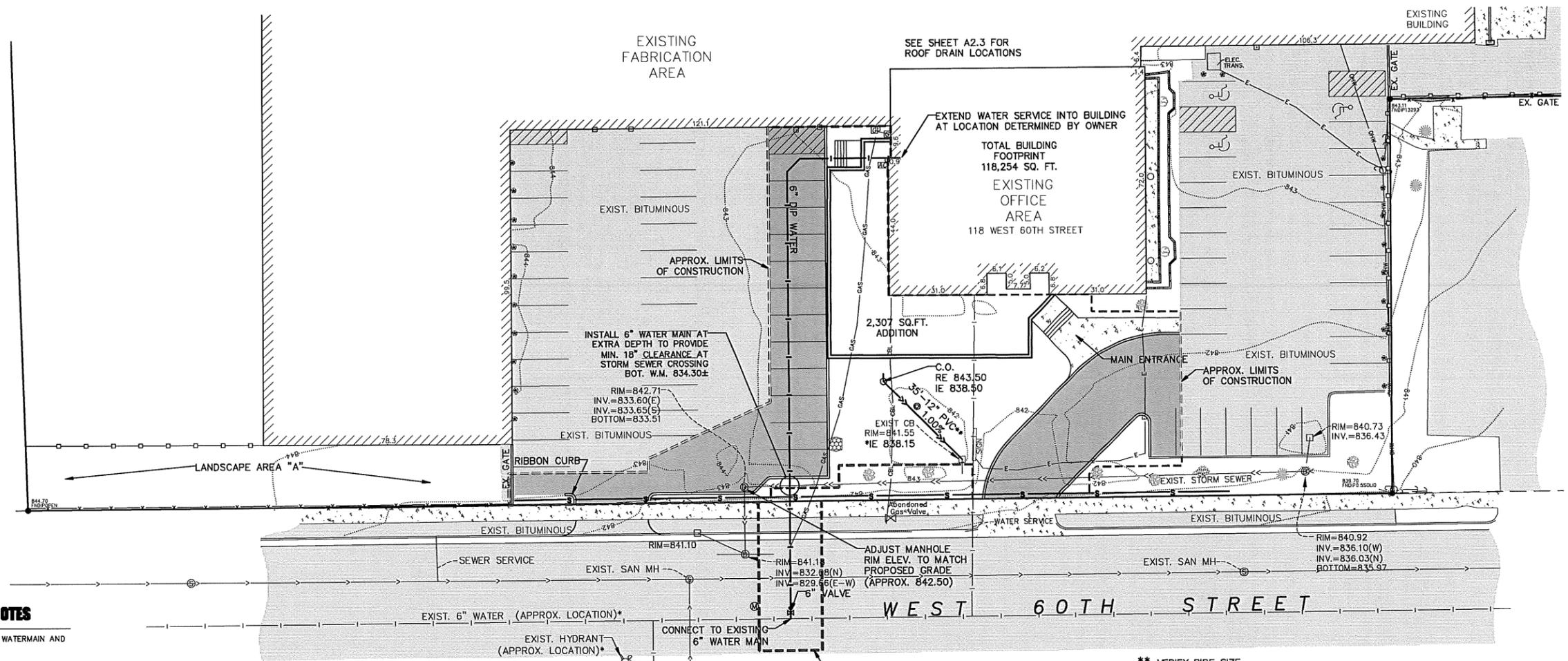
SAW-CUT EXISTING BITUMINOUS AND CONCRETE CURB TO PROVIDE BUTT-JOINT.

RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.

BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

FOUR INCHES OF CLASS 5 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.

CURB ENDS SHALL TERMINATE IN A THREE-FOOT BEAVER TAIL.



* BASED ON INFORMATION CITY OF MPLS WATER DEPT. (NOT VERIFIED)

REPLACE STREET, CURB, AND SIDEWALK TO EXISTING OR BETTER SECTION AS APPROVED BY ENGINEER

** VERIFY PIPE SIZE WITH MECHANICAL & MN DEPT. OF LABOR

LEGEND

—OW—	EXISTING OVERHEAD ELECTRIC	— —	PROPOSED WATER PIPE
—UL—	EXISTING UNDERGROUND TELEPHONE	—S—	PROPOSED SANITARY SEWER PIPE
—CL—	EXISTING UNDERGROUND CABLE	—D—	PROPOSED STORM SEWER PIPE
□	EXISTING TELEPHONE PEDESTAL	—C—	PROPOSED DRAIN TILE AND CLEAN-OUT
□	EXISTING ELECTRICAL PEDESTAL	ELEC	PROPOSED ELECTRIC SERVICE *
□	EXISTING CABLE PEDESTAL	GAS	PROPOSED GAS SERVICE *
U	EXISTING UTILITY POLE	TEL	PROPOSED TELEPHONE SERVICE *
U	EXISTING LIGHT POLE	⊙	PROPOSED STORM MANHOLE
—>>	EXISTING STORM SEWER	□	PROPOSED CATCH BASIN
— —	EXISTING WATER MAIN	△	PROPOSED FLARED-END SECTION
—S—	EXISTING SANITARY SEWER	⊗	PROPOSED GATE VALVE
—FH—	EXISTING FORCEMAIN	⊗	PROPOSED HYDRANT
⊙	EXISTING STORM MANHOLE	⊙	PROPOSED SANITARY SEWER MANHOLE
□	EXISTING CATCH BASIN	—928—	PROPOSED CONTOUR
◀	EXISTING FLARED-END SECTION	—930—	PROPOSED CONTOUR
⊗	EXISTING GATE VALVE	X 920.60	PROPOSED SPOT ELEVATION (GUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
⊗	EXISTING HYDRANT	—S—	PROPOSED SILT FENCE
⊙	EXISTING WELL	—4.0X	PROPOSED DIRECTION OF DRAINAGE
⊙	EXISTING SANITARY SEWER MANHOLE	▨	PROPOSED BITUMINOUS
—930—	EXISTING CONTOUR	▩	PROPOSED CONCRETE
—928—	EXISTING CONTOUR	▩	PROPOSED RIP-RAP
X 920.60	EXISTING SPOT ELEVATION	▩	PROPOSED FILTRATION MEDIA
▨	EXISTING BITUMINOUS	⊙	PROPOSED INLET PROTECTION
▩	EXISTING BITUMINOUS (TO BE REMOVED)		
⊙	EXISTING TREES		
⊗	EXISTING TREES (TO BE REMOVED)		
—	EXISTING RETAINING WALL		
—X—	EXISTING FENCE		



Know what's below. Call before you dig.

DRAWN BY:	DESIGN BY:
C.M.	C.W.P.
CHKD BY:	PROJ. NO.
C.W.P.	13-1438
ORIGINAL DATE:	
OCTOBER 18, 2013	

DATE	REVISION DESCRIPTION	DATE	COMMENTS
09/11/14		01/07/14	NOTES

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Charles W. Plowe
 CHARLES W. PLOWE
 DATE: 02.11.14 LIC. NO. 18227

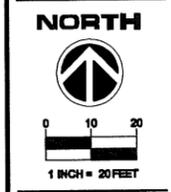
LE JEUNE STEEL COMPANY
 118 WEST 60TH STREET
 MINNEAPOLIS, MN
 UTILITY PLAN

dsgw

SITE PLANNING & ENGINEERING

PLOWE
 ENGINEERING, INC.

6776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (851) 361-8210
 FAX: (851) 361-8701



UTILITY PLAN
LE JEUNE STEEL COMPANY
C4

DATE	REVISION DESCRIPTION
01/07/14	CITY COMMENTS
11/17/13	ADD DRIVEWAY DETAILS

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

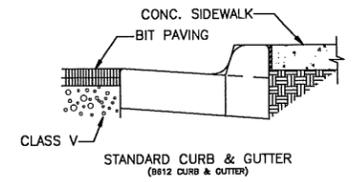
Charles W. Plowe
 CHARLES W. PLOWE
 DATE: 01-07-14 LIC. NO. 18227

LE JEUNE STEEL COMPANY
 110 WEST 60TH STREET
 MINNEAPOLIS, MN

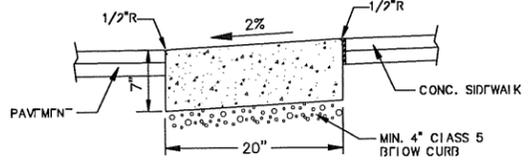


SITE PLANNING & ENGINEERING
PLOWE
 ENGINEERING, INC.
 6778 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (851) 961-8210
 FAX: (851) 961-6701

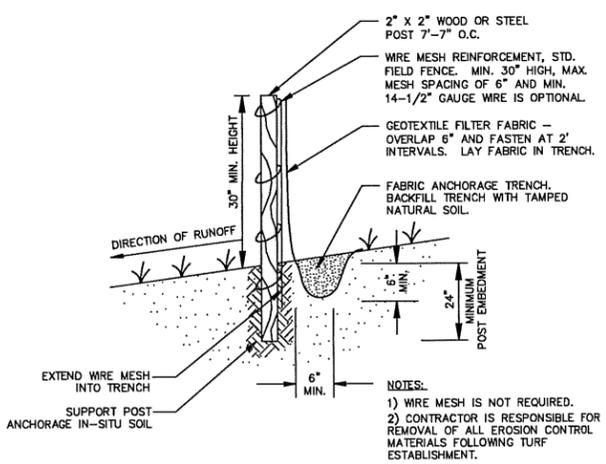
DETAILS
C5



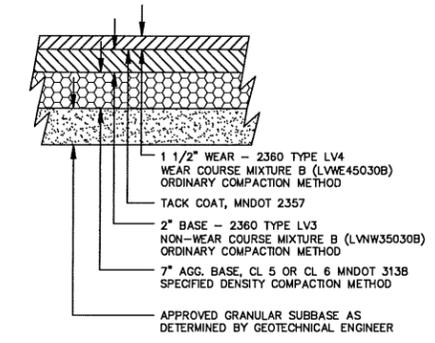
CURB @ SIDEWALK
 N.T.S.



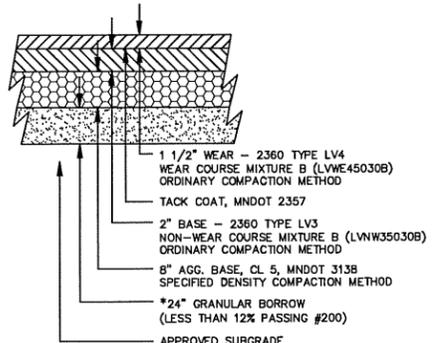
CONCRETE RIBBON CURB
 N.T.S.



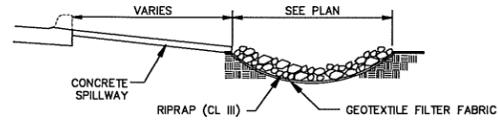
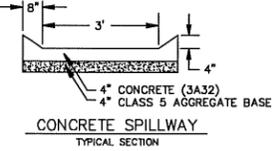
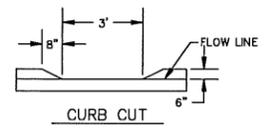
SILT FENCE
 N.T.S.



BITUMINOUS PAVEMENT (AREA 1)
 N.T.S.

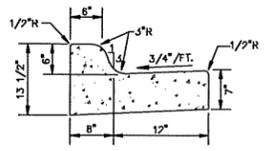


BITUMINOUS PAVEMENT (AREA 2)
 N.T.S.



CURB DRAIN OPENING
 N.T.S.

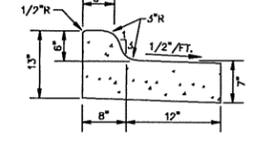
PROVIDE 4" CLASS 5 UNDER CURB (TYP)



NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

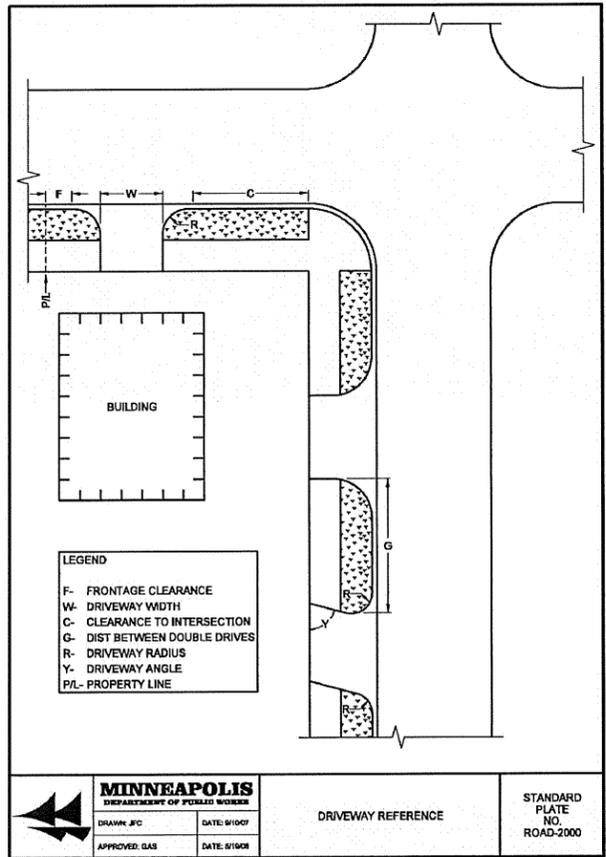
B612 CONCRETE CURB & GUTTER
 N.T.S.

PROVIDE 4" CLASS 5 UNDER CURB (TYP)

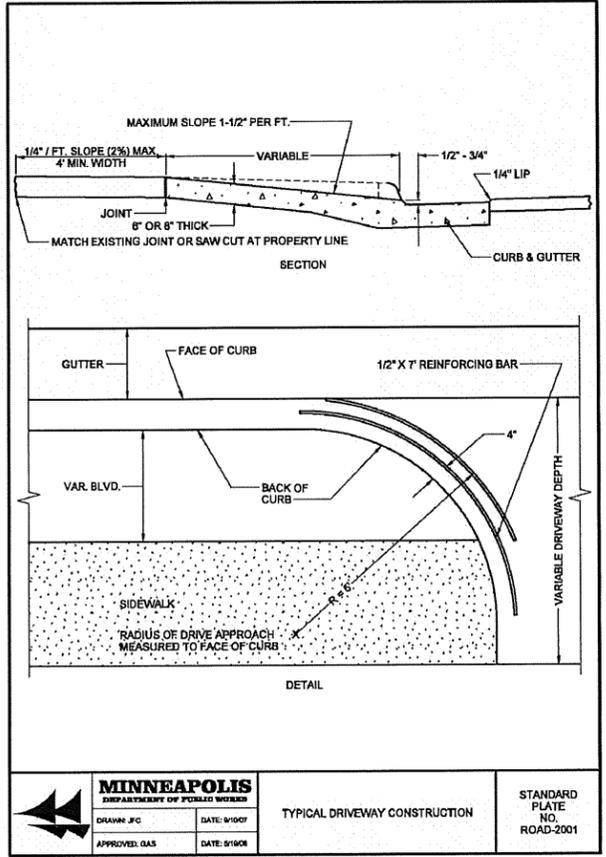


NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

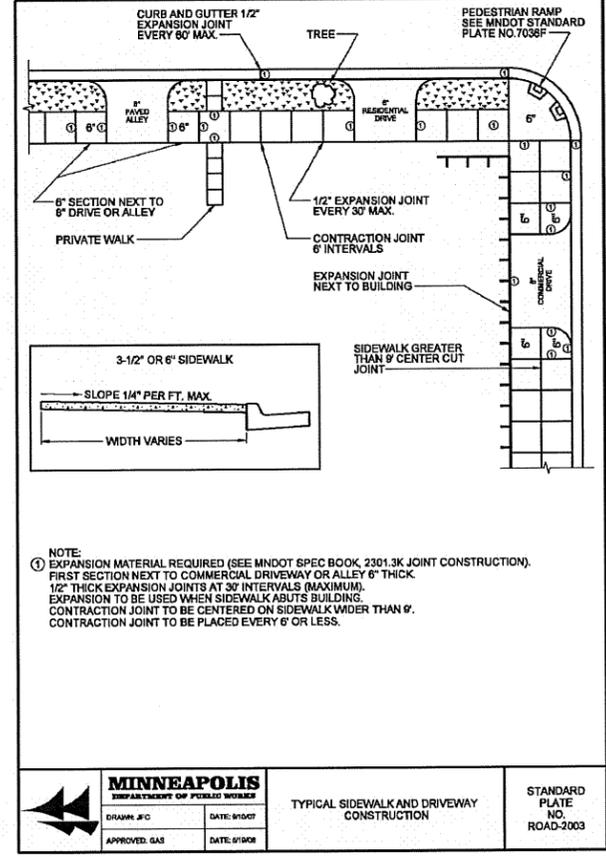
B612 CONCRETE CURB & GUTTER (TIP-OUT)
 N.T.S.



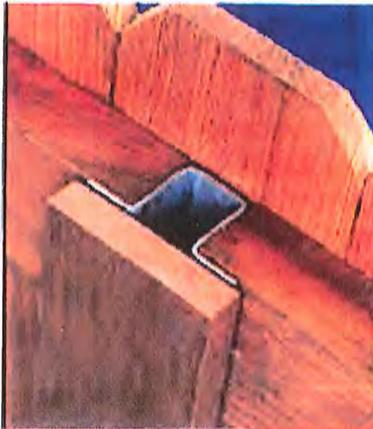
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	DRIVEWAY REFERENCE	STANDARD PLATE NO. ROAD-2000
DRAWN: JFC	DATE: 9/10/07	
APPROVED: GAS	DATE: 9/10/08	



MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	TYPICAL DRIVEWAY CONSTRUCTION	STANDARD PLATE NO. ROAD-2001
DRAWN: JFC	DATE: 9/10/07	
APPROVED: GAS	DATE: 9/10/08	



MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION	STANDARD PLATE NO. ROAD-2003
DRAWN: JFC	DATE: 9/10/07	
APPROVED: GAS	DATE: 9/10/08	



We are proposing to leave the existing chain link fence posts in place which would be attached with brackets similar to this. We would also need to install the PostMaster posts with the flat side toward the boards with the 2x4 over the post so it would line up with the round posts



Solid Privacy

The proposed style would be solid with boards placed side by side. An option would be to space them approximately 2" apart and place a 1x4 (3 1/2" wide) board over the space which would make the fence 100% opaque. The 1x4 board could be the same height and style as the background fence, or higher with a pointed top which would make to fence more difficult to climb if security is a concern.



The back side of the fence (facing the LeJeune property) would look similar to this, but the metal posts would be visible

2/11/14
photo documentation



View from S.W. to OFFICE AREA



View from S.E. to OFFICE AREA + PUBLICATION
AREA.



View from S.W. to OFFICE AREA



View from Northwest looking south.



View from S.E. to office area and fabrication area



View from S.W. looking north



View from S.E. to office area and fabrication area



View from S.E.



View from N.W. to N.E.



View from East



View from East