



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #3
March 3, 2014
BZZ-6427

LAND USE APPLICATION SUMMARY

Property Location: 5025 Knox Avenue S
Project Name: Mount Olivet Entrance/Elevator Addition
Prepared By: [Kimberly Holien](#), Senior Planner, (612) 673-2402
Applicant: Mount Olivet Lutheran Church
Project Contact: Paul Humiston, Paul Meyer Architects, (763) 557-9081
Request: To construct a 1,400 square foot addition to the west side of the existing building.

Required Applications:

Site Plan Review	For a 1,400 square foot entrance/elevator addition on the west side of the existing building.
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SITE DATA

Existing Zoning	RI, Single-family District FP, Floodplain Overlay District and SH, Shoreland Overlay District
Lot Area	211,235 square feet / 4.85 acres
Ward(s)	13
Neighborhood(s)	Lynnhurst
Designated Future Land Use	Urban Neighborhood
Land Use Features	Community Corridor (50 th Street W)
Small Area Plan(s)	N/A

Date Application Deemed Complete	February 4, 2014	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	April 5, 2014	End of 120-Day Decision Period	N/A

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site is 4.85 acres and contains Mount Olivet Lutheran Church, a place of assembly, and a large surface parking lot. The surface parking lot comprises the entire west half of the site and contains 154 spaces. The church building is located on the eastern portion of the site. The existing building is 104,000 square feet in area.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The subject site is bordered by Minnehaha Creek to the south, the Burroughs Community School to the east, a church and two single family homes to the north and single family homes to the west.

PROJECT DESCRIPTION. The applicant is proposing a 1,400 square foot addition on the west side of the existing building. The addition will include an accessible entrance into the Narthex and a new elevator and stairs and will be constructed of materials matching the existing building. The addition will result in alterations to two west-facing building entrances. As part of the project, the applicant is also proposing a number of alterations and improvements to the parking lot. The parking lot currently has six curb cuts on Logan Avenue S and one on 50th Street W. The proposed project will reduce the number of curb cuts to two, one from the main parking area and one from the overflow parking area along the south property line. The parking lot would also include two curb cuts onto 50th Street W. In addition to reducing the number of curb cuts, the applicant is proposing to add a significant amount of landscaping to the existing parking lot. No changes are proposed to the remainder of the site or building.

PUBLIC COMMENTS. Staff had not received any correspondence from the Lynnhurst neighborhood as of the writing of this staff report. Any correspondence, if received, will be forwarded to the Commission for consideration.

ANALYSIS

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design –*Requires alternative compliance*

- The building addition is proposed as infill on the west side of the existing building. Due to the current layout of the building, the addition is oriented to the parking lot. The proposed addition will not have any impact on the building's interaction with the street.
- The first floor building wall is required to be located not more than 25 feet from the lot line adjacent to Logan Avenue S and not more than 10 feet from the corner side yard adjacent to 50th Street W. These setbacks are reflective of the minimum requirements in the R1 district and are greater than the 8-foot maximum requirement in Chapter 530. The addition will be setback approximately 320 feet from the west front property line along Logan Avenue S. Alternative compliance is required.
- The area between the addition and the front lot line is comprised of a large surface parking lot. The applicant is proposing a significant amount of landscaping within the surface parking lot as part of the project.

- The addition would contain an entrance that is oriented to the parking lot. The primary building entrance is currently oriented toward the parking lot. That condition will not change as part of the project.
- There is an existing accessory parking lot that comprises the entire west half of the site. This parking lot has frontage on Logan Avenue S and 50th Street W. This parking lot will remain as part of the project but will undergo a number of improvements to come closer into compliance with the requirements of Chapter 530, Site Plan Review.
- The addition does not contain any blank, uninterrupted walls in excess of 25 feet in length.
- Exterior materials are durable and include glass as well as stone to match the existing building .
- The addition will match the appearance of the existing building to provide compatibility.
- Plain face concrete block not proposed as a primary exterior material.
- The window requirement for the west elevation of the building is 30 percent because it faces on on-site accessory parking lot. The windows proposed are vertical in proportion and more or less evenly distributed. See **Table I** below for window calculations. The majority of the glazing proposed in the addition (218 square feet) is located within doors. Glazing within doors is not typically calculated toward the minimum window requirement. As such, alternative compliance is required.
- The west elevation of the building contains active functions for more than 70 percent of the building wall.
- The roof pitch will be similar to the existing building and the roof material will be red clay tile to match the existing building.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
Nonresidential Uses				
1 st Floor facing parking lot, addition only	30% minimum	266 sq. ft.	16.1%	143 sq. ft.

Access and Circulation – Meets requirements

- The proposed addition is connected to the public sidewalk along 50th Street W via an eight-foot walkway. This walkway extends to the south end of the site to provide pedestrian access to all portions of the parking lot. Said walkway is well lit and designed to clearly direct pedestrian movements. Crosswalks are proposed to be painted within the parking lot to guide pedestrians to the principal entrance. However, these crosswalks are provided adjacent to parking stalls only and do not extend through the drive aisles. As a condition of approval, staff will require that these crosswalks extend through the drive aisles to clearly guide pedestrian movements, in compliance with Section 530.130 of the zoning code.
- There are no transit shelters adjacent to the site and none are proposed at this time.
- Vehicle access and circulation is designed to minimize conflicts with pedestrians and adjacent residential uses. As noted above, the parking lot currently has six curb cuts onto Logan Avenue S. As part of the project, the number of curb cuts onto Logan Avenue S will be reduced to two. One provides ingress and egress into the primary parking lot and the other provides for ingress and egress into the southern parking lot. The reduction in curb cuts will significantly reduce the potential for conflicts between vehicle and pedestrian traffic along Logan Avenue S and reduce conflicts with residential traffic. The location of the proposed curb cuts will also reduce potential conflicts between vehicle and pedestrian traffic. The curb cuts will be located on the south end of the site to create a greater separation from the intersection of Logan Avenue S and 50th Street W. Along 50th Street W, the applicant is proposing two curb cuts. Striped

crosswalks will also be provided within the parking lot to guide pedestrian traffic to the primary entrance and all ADA accessible parking will be separated from the remainder of the parking lot with a large landscaped island to prevent conflicts between pedestrians and vehicles.

- The site does not utilize alley access and there are no residential uses on this block.
- The site plan has been designed to minimize the use of impervious surfaces. The site currently contains 115,870 square feet of impervious surface, largely due to the surface parking lot. The applicant is proposing 9,040 square feet of new landscaped area within the parking lot as part of this project. The southernmost portion of the parking lot will also contain pervious bituminous pavement to further reduce the amount of impervious surface on site.

Landscaping and Screening –Requires alternative compliance

- The majority of the existing landscaping on site is located on the north and east sides of the building. There is also a landscaped courtyard in the center of the site. The applicant is proposing 9,040 square feet of additional landscaping within and around the parking lot as part of the project. The proposed landscaping includes perimeter landscaping, landscaped islands within the parking lot and a large rain garden/infiltration basin on the south side of the parking lot. Overall, 29 percent of the site not occupied by buildings will be landscaped. This exceeds the minimum requirement of 20 percent.
- The parking lot will contain 152 parking spaces and therefore requires landscaped yards a minimum of nine feet in width between the parking lot and the public street. Said landscaped yards are required to contain screening that is a minimum of three feet in height and 60 percent opaque. The landscaped yard between the parking lot and 50th Street W will be a minimum of nine feet in width and up to 13 feet in width. The landscaped yard will include a row of shrubs that achieves the required opacity. Along Logan Avenue S, the proposed landscaped yard is only seven feet in width. This will require alternative compliance. Plantings in this area include dense shrubs and trees to achieve the required opacity. The portions of the parking lot that front along the public street require one tree for each 25 feet of parking lot frontage. Along Logan Avenue S, the parking lot has 262 feet of frontage, requiring 10 trees. The landscape plan proposed ten trees along this frontage. Along 50th Street W, the parking lot has 255 feet of frontage, requiring 10 trees. Again, ten trees are provided along this frontage, satisfying the minimum requirement.
- The corners of the parking lot will be landscaped with sod, trees and shrubs.
- If parking lots of 10 spaces or more, all parking stalls are required to be within 50 feet of the center of an on-site deciduous tree. There are four parking stalls in the center of the site that would be further than 50 feet from the center of a tree and alternative compliance is requested. All tree islands are a minimum of seven feet in width.
- All areas of the site not occupied by buildings or parking will be landscaped.
- The installation and maintenance of all landscape materials shall be required to comply with 530.210.

Table 2. Landscaping and Screening Requirements

	Site Conditions	
Lot Area	211,235 sq. ft.	
Building footprint	53,400 sq. ft.	
Remaining Lot Area	157,835 sq. ft.	
	Code Requirement	Proposed
Landscaping Required	31,567 sq. ft.	46,080 sq. ft.
Canopy Trees (1: 500 sq. ft.)	63 trees	49 trees
Shrubs (1: 100 sq. ft.)	316 shrubs	316 shrubs

Additional Standards – Meets requirements

- The applicant is proposing surmountable curb and gutter between the main parking lot and the southernmost section of the parking lot to allow for on-site retention of stormwater in an infiltration basin. Provisions for stormwater were reviewed as part of the Preliminary Development Review process and the fully copy of that report has been attached for reference.
- The proposed single-story addition will not block any important city view or shadow any significant public spaces or adjacent properties.
- The proposed addition will not create wind currents at ground level.
- The site includes crime prevention through environmental design. The site plan complies with crime prevention design elements as the entrances are clearly visible and accessed directly from the public sidewalks and there are windows through which people can see in and out along sides of the building. There is a significant amount of glass coverage provided within the addition to provide opportunities for patrons to observe adjacent spaces, including the parking lot. Striped walkways are provided through the parking lot to clearly guide pedestrian movements.
- The existing building is not historically designated and the site is not located with a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The place of assembly is a permitted use in the R1, Single-family District.

Off-street Parking and Loading – Meets requirements

Table 3. Vehicle Parking Requirements Per Use ([Chapter 54I](#))

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Place of assembly	10 percent of the capacity of persons	--	83 spaces	40 percent of the capacity of persons	152 spaces
Total	12,035 sf	N/A	83 spaces	824	152 spaces

The site is in compliance with the minimum parking requirement and below the maximum requirement. The proposed addition will include an entry and elevator only and will not increase the occupancy of the building. Therefore, the parking requirement does not increase. Even with the addition of a substantial amount of landscaping to the parking area, the number of off-street parking spaces would only be reduced by two spaces. The use does not have a minimum bicycle parking requirement.

Table 4. Bicycle Parking and Loading Requirements (Chapter 541)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Place of Assembly	N/A	N/A	N/A	4 spaces	2 small spaces	2 small spaces

Building Bulk and Height – Meets requirements

- The maximum floor area ratio in the RI district is 0.5. With the proposed addition, the building will be 105,400 square feet in area on a site that is 211,235 square feet in area. The resulting floor area ratio is .498, within the parameters allowed.
- The maximum height in the RI district is 2.5 stories or 35 feet. The applicant is proposing a single story addition that is within the parameters allowed.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	211,235 sq. ft.
Gross Floor Area (GFA)	--	105,400 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	0.5	0.498
Maximum Building Height	2 stories or 35 feet, whichever is less	1 story, 17'1".

Yard Requirements – Meets requirements

Table 7. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front	25 ft.	--	25 ft.	320 ft.
Corner Side (North)	10 ft.	--	7 ft.	43 ft.
Interior Side (South)	7 ft.	--	7 ft.	194 ft.
Rear	N/A	--	N/A	N/A

Signs – Meets requirements/Requires alternative compliance/Not applicable

- Signs are subject to Chapters [531](#) and [543](#) of the Zoning Code. No new signage is proposed as part of the project.

Dumpster Screening – Meets requirements

- Section 535.80 states that refuse storage containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential

uses located in a residence or office residence district and adjacent permitted or conditional residential uses. The existing refuse storage containers are on the east side of the building and enclosed on all four sides with wooden fencing.

Screening of Mechanical Equipment –*Not applicable*

- No new mechanical equipment is proposed as part of the project.

Lighting –*Not applicable*

- A photometric plan was submitted as part of the application. All lighting will be downcast and shielded to avoid undue glare. All lighting shall comply with Chapters 535 and 541 and CPED

Impervious Surface Area – *Meets requirements*

- The maximum amount of impervious surface allowed in the RI district is 65 percent. The site currently contains 115,870 square feet of impervious surface, equating to 54.8 percent of the total site area. The applicant is proposing to reduce the amount of impervious surface to 104,108 square feet (49 percent) as part of the project.

Floodplain Overlay District Standards – *Meets requirements*

- The property is in the SH, Shoreland Overlay district and the FP, Floodplain Overlay district. Specifically, the property is in the Flood Fringe district. All structures and additions to such structures in the flood fringe are required to be elevated on fill so that the lowest floor is at or above the regulatory flood protection elevation. The finished flood elevation for structures shall be no lower than one foot below the regulatory flood protection elevation. The regulatory flood protection elevation in this area is 845 feet. The finished floor elevation of the addition will be at 846.47 feet, complying with the regulations of the floodplain overlay district.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as urban neighborhood on the future land use map. The site has frontage on 50th Street W, which is a community corridor in this location. The following policies of the comprehensive plan apply to this project:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.9: Through attention to the mix and intensity of land uses and transit service, the City will support development along Community Corridors that enhances residential livability and pedestrian access.

Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.

- 10.8.8 Appropriate non-residential land uses, such as institutional, public and suitable commercial uses, should be integrated into low density residential areas through proper building location and design, landscaping, and other site improvements.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.

The proposed project is consistent with the above policies of the comprehensive plan. The applicant is proposing a significant amount of additional landscaping within the parking lot to minimize the visual impact of this large surface lot. The addition itself is small and will be well-integrated into the existing building.

4. Conformance with applicable development plans or objectives adopted by the City Council.

There are no adopted small area plans for this site.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Building Placement.** The first floor building wall is required to be located not more than 25 feet from the lot line adjacent to Logan Avenue S and not more than 10 feet from the corner side yard adjacent to 50th Street W. These setbacks are reflective of the minimum requirements in the RI district and are greater than the 8-foot maximum requirement in Chapter 530. Given the location of the parking lot and the existing building, the proposed setback from front lot line is approximately 320 feet and the setback from the corner side property line is approximately 43 feet. The proposed addition will infill an area of the building that is currently setback significantly from both of these property lines and the surface parking lot between the building and Logan Avenue S is existing. Staff recommends granting alternative compliance for this requirement accordingly.
- **Window requirement.** The window requirement for the west elevation of the building is 30 percent, or 266 square feet, because it faces on on-site accessory parking lot. The applicant is proposing a significant amount of glass within the addition, but only 143 square feet (16.1 percent) of this glazing is comprised of windows. The majority of the glazing proposed in the addition (218 square feet) is located within doors. Glazing within doors is not typically calculated toward the minimum window requirement. As such, alternative compliance is required. When the glazing within the doors is taken into account, 361 square feet of glass is provided on this elevation, equivalent to 40.6 percent of the total wall area in the addition. Staff recommends granting alternative compliance.
- **Minimum tree requirement.** In order to comply with Section 530.160 of the zoning code, a minimum of 63 canopy trees are required. The applicant is proposing a total of 49 trees on site as part of the project. Of these, 17 are existing and 32 are proposed as part of the project. The applicant has requested alternative compliance stating that the only location for addition trees would be on the northeast side of the church, which would block views. Additionally, the existing trees on site are very mature and therefore limit the amount of planting space available

within the other landscaped yards. The proposed trees will significantly improve the appearance of the parking lot and lessen the impact of this large lot on the adjacent residential uses. Staff recommends granting alternative compliance for this requirement.

- **9-foot landscaped yard along Logan Avenue S.** The parking lot will contain 152 parking spaces and therefore requires landscaped yards a minimum of nine feet in width between the parking lot and the public street. Said landscaped yards are required to contain screening that is a minimum of three feet in height and 60 percent opaque. Along Logan Avenue S, the proposed landscaped yard is only seven feet in width. However, there is additional landscaping provided in the right-of-way that will give the appearance of a 9-foot landscaped yard and the proposed landscaping in this location is a significant improvement over the existing site conditions. As such, staff recommends granting alternative compliance for this requirement.
- **Parking spaces within 50 feet of the center of an on-site deciduous tree.** There are four spaces in the center of the parking lot that are further than 50 feet from the center of an on-site deciduous tree. All of these spaces lie directly below overhead power lines, making trees impractical in this location. Staff recommends granting alternative compliance.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and approve the site plan review application to allow 1,400 square foot addition and site improvements to the property at 5025 Knox Avenue S, subject to the following conditions:

1. All site improvements shall be completed by March 3, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED Staff shall review and approve the final site, elevation, landscaping and lighting plans before building permits may be issued.
3. The crosswalks proposed within the parking lot shall extend through the drive aisles and connect to the public sidewalk along Logan Avenue S to clearly guide pedestrian movements, in compliance with Section 530.130 of the zoning code.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. PDR report
3. Correspondence
4. Zoning map
5. Survey, site plan
6. Elevations
7. Color rendering
8. Photos

Site Plan Review Application
Statement of Proposed Use and Project Description

Mount Olivet Lutheran Church
Narthex Expansion Project
5025 Knox Ave. S.
Minneapolis, MN 55419

January 22, 2014

Mount Olivet Lutheran Church is located on a 4.81 acre site at 5025 Knox Ave. S. The church structure is on the east half of the site and the west half is used for parking. The existing facility includes a main sanctuary which was constructed in 1947. The facility also includes chapels, a fellowship hall, administrative offices and classrooms, with a total building footprint of approximately 51,000 square feet.

Mount Olivet proposes to construct a 1,400 sq. ft. addition, which will increase the building footprint by just 2.7%. The proposed project includes the following features:

- New accessible Narthex floor level
- New elevator and stairs connecting the Narthex to the existing Sanctuary floor level and the existing Fellowship Hall floor level
- Alterations to two west facing building entrances
- New drop-off/pick-up drive lane adjacent to the west entrances
- Updates to the existing parking lot

The project must go through the city's Site Plan Review process, because the proposed addition exceeds 1,000 sq. ft. This process triggers the entire parking lot be upgraded to meet current zoning standards. Because of the required parking lot upgrades, the project includes storm water management upgrades to comply with City and Minnehaha Creek Watershed District requirements.

The proposed addition will look as though it was always part of the church building, by keeping with the size, scale and materials used to construct the original 1947 church. Exterior materials will be primarily Kasota stone walls and red clay tile roofing to match the existing building. Detailing of the windows, arches and gables will also match the west façade of the original sanctuary.

The proposed parking lot updates will include the addition of compliant landscaping and screening on all three outward facing sides, as well as compliant interior parking lot landscaping. To provide the required storm water collection and snow storage the impervious areas on the site will be reduced by 10%, or 17,000 sq. ft.

The proposed use is permitted within the current zoning district and floodplain overly district, so no variances are required.

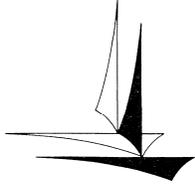
Mount Olivet is blessed to have a high attendance level at this location. They are distinctly aware of the traffic situation, the high percentage of elderly members and the need to turn over the parking spaces as quickly and safely as possible between their Sunday and holiday services. In addition to providing significant landscaped areas, the proposed changes to the parking lot include the following features:

- Maintain 252 of 254 existing parking spaces
- Maintain a single, 30 foot wide curb cut entrance on 50th Street
- Shift the entrance to the west, away from the church entrance
- Add a dedicated drop-off / pick-up lane adjacent to the church entrance
- Provide 24 foot wide drive aisles, which are 2 feet wider than the minimum required
- Maintain one-way traffic within the parking lot on Sundays and holidays
- Maintain active traffic management during peak hours

The 30 foot wide curb cut at the new entrance, which is equivalent to the existing curb cut, allows traffic to merge into the lot simultaneously from both the east and the west with ample maneuvering space without creating a bottleneck at the entrance.

Shifting the parking lot entrance west, away from the church entrance, allows the incoming traffic to keep flowing through the parking lot, while providing a safe area for drop-off / pick-up adjacent to the building.

Mount Olivet is committed to maintaining an orderly flow of traffic in the streets and within the lot. During peak hours they will continue its existing traffic management system, which includes four police officers in the street and a team of church volunteers within the lot.



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **PATRICIA MURZYN**
(612) 673-5827
patricia.murzyn@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001165
Applicant:	MOUNT OLIVET CHURCH 5025 KNOX AVENUE SOUTH MINNEAPOLIS, MN 55419
Site Address:	5025 KNOX AVE S
Date Submitted:	28-JAN-2014
Date Reviewed:	05-FEB-2014

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Proposed 1,500 sq ft addition to existing church and upgrades to existing parking lot.

Review Findings (by Discipline)

Zoning - Planning

- This project requires an application for site plan review. Specific conditions of approval will not be known until the staff report is prepared.

Addressing

- The proposed project does not require an address review.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Business Licensing

- There is no Minneapolis Business Licensing review required for the proposed project.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information or Contact Karon Cappaert at 651-602-1118 or karon.cappaert@metc.state.mn.us.
http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf.

❑ Fire Safety

- Maintain fire protection systems throughout addition. Any questions regarding these comments please contact Mike Raeker 612 673-2624.

❑ Parks - Forestry

- Contact Paul Martinson (612-499-9209) regarding removal or the process for protection of trees during construction in the city right of way.

❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: the sign and landscaping located at the corner of W. 50th St. and Logan Ave. S. encroaches into the Public right-of-way and should be identified on the required encroachment permit. Future improvements to the public sidewalk at this location may require alterations to the existing sign.

❑ Street Design

- All driveway aprons shall be designed and constructed to City standards. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Insure that all of the appropriate details from the ROAD-2000 Series: Driveways (ROAD-2000, ROAD-2001, ROAD-2002, ROAD-2003) have been included in the plans.

❑ Sidewalk

- The site plan indicates by notation on Sheet C2-1 of the plans that Pedestrian Ramps are to be installed at the driveway entrances to the parking lot. All driveway aprons shall be designed and constructed to City standards per the details provided on Sheet C8-1 of the plans which provides for an integral sidewalk as part of the apron; consequently Pedestrian Ramps are not required at these locations. Please remove the associated notes from the plans.
- Note to the Applicant: Any public sidewalk on the development project that is currently defective, or that is damaged as part of the development project, must be removed and replaced.

❑ Traffic and Parking

- The plan as submitted meets the requirements of the Public Works Traffic & Parking Services Division.

❑ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.

❑ Sewer Design

- Stormwater Management: Please identify the location of roof drains from the existing and proposed buildings. If stormwater from the building discharges to the proposed stormwater systems, this should be accounted for in the design and modeling.

- Some form of pre-treatment, such as a plunge pool, sump pit, filter strip, sedimentation basin, grass channel, or a combination of these practices, must be installed upstream of the infiltration practices. Please include this on the plan.
- The 12" outlet pipe should be included in the HydroCAD modeling of the infiltration basin, as it could possibly control the primary outflow.
- Please provide the HydroCAD model for a 1.25" rain event. Please note that if the infiltration practices discharge stormwater to the storm system during this event, the water quality model (P8) may need to be modified to take this into account.
- If the 54" perforated pipe system is expected to provide infiltration of stormwater, the HydroCAD model does not need to have the starting elevation set to the outlet elevation. If the system is expected to drawdown within 48 hours, the starting elevation can be equal to the invert of the system.
- The proposed perforated draitile near the infiltration basin and pervious pavement does not seem to be accounted for in the Hydrology Report. Please identify if this draitile is expected to discharge stormwater to the storm system, if so it should be accounted for in the modeling.
- It is unclear what the "GRASS" device is meant to model in the P8 model. Please clarify this. Please also name the watersheds in the model to be consistent with Proposed Drainage Areas Exhibit.
- It is recommended that a detail be provided for the underground infiltration system on the plans.
- The precipitation and temperature files used in the P8 model should be appropriate for the project location. Typically, the City water quality requirements are evaluated for a 1.25" rain event.
- Please provide a copy of any geotechnical reports for the site. In the absence of field measured infiltration rates, the design infiltration rates from the MN Stormwater Manual (http://stormwater.pca.state.mn.us/index.php/Design_infiltration_rates) should be used for the design of the infiltration practices. A minimum of 3' of separation between the infiltration systems and seasonal high groundwater elevation should also be provided.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or paul.chellsen@minneapolismn.gov).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- Please provide a copy of the SWPPP developed in compliance with the MPCA's NPDES/SDS Construction Stormwater General Permit.
- The proposed project is located within the Minnehaha Creek Watershed District, which has a separate review process from that of the City. Please note it may be necessary to obtain approvals or permits from Minnehaha Creek Watershed District.
- Utility: The sanitary sewer main crossing the property is an MCES Interceptor. Please contact Met Council to notify them of any impacts to their interceptor and receive any necessary approvals.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

□ Environmental Health

- In 1996 a 7,000 gallon underground fuel oil tank was removed and replaced with a 3,000 gallon underground fuel oil tank. No release was reported during that removal. If the addition will be in the vicinity of the old fuel oil tank, monitoring of the soil should be conducted for potential impacts that were not reported in 1996. If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

□ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time.

□ Construction Code Services

- Make sure that there is proper accessible route(s) from the parking to the church.

END OF REPORT

Paul Humiston

From: Ziring, Emily [Emily.Ziring@minneapolismn.gov]
Sent: Thursday, January 16, 2014 4:45 PM
To: Tom MacNally
Cc: Paul Humiston; Nancy S. Nash
Subject: RE: Lynnhurst Neighborhood Association

Mr. MacNally,

Council Member Palmisano and I would be happy to discuss your plan. Could we stop by the church on the evening of Feb. 13, around 5:00 p.m. (or shortly after, depending on traffic from downtown)? It would be a great opportunity for us to see the facility and meet you in person.

Thank you.

Emily Ziring

Emily Ziring
Senior Policy Aide to Council Member Linea Palmisano
City of Minneapolis, 13th Ward
phone: 612-673-3199

From: Tom MacNally [mailto:TomM@mtolivet.org]
Sent: Thursday, January 16, 2014 6:47 AM
To: Ziring, Emily
Cc: Paul Humiston; Nancy S. Nash
Subject: FW: Lynnhurst Neighborhood Association

Ms. Ziring,

We have decided to forego our request for a variance at this time, as we want to move ahead toward a construction start in May. If you or Council Member Palmisano would like to discuss our plan when there is available time – before this comes to the Council – we would be happy to meet with you.

I have made the Lynnhurst Neighborhood aware of the project – their response to the review is below.

Thank you for your time.

Thomas C. MacNally * Chief Operating Officer
Mount Olivet Church
L) (612) 767-2231 * C) (612) 916-6926 * F) (612) 926-4340
5025 Knox Ave South * Minneapolis MN 55419-1095
Post Office Box 153 * Victoria MN 55386-0153

From: Paul Ragozzino [mailto:pragozzino@gmail.com]
Sent: Wednesday, January 15, 2014 10:23 PM
To: Tom MacNally
Cc: Ruth Olson
Subject: Re: Lynnhurst Neighborhood Association

Hi Tom,

Thanks again for sending the information for the planned remodeling and site revisions. I reviewed the plans with the Lynnhurst Neighborhood Association (LYNAS) Board and everyone is quite supportive. The new entries look great, and the revised site plan seems like it should help traffic flow. The added landscaping will definitely improve the streetscape of the surrounding streets. We also appreciate Mt Olivet continuing the police parking and traffic assistance.

Also, the LYNAS Board also expressed a desire to work with Mt Olivet in the future on any items that would be beneficial to both organizations. With Mt Olivet being one of the largest draws in the neighborhood, it only seems natural that somehow we improve our connection.

Please let me know if we can be of assistance.

Thanks,
Paul

612.310.7868

On Thu, Dec 26, 2013 at 8:54 AM, Tom MacNally <TomM@mtolivet.org> wrote:

Actually – here is the letter from our architect I sent Paul plus a concept pic of the front of the Church and the parking/landscape layout that City staff has approved. We are not necessarily in favor of all they did, so are reviewing it right now.

Thomas C. MacNally

Chief Operating Officer

Mount Olivet Lutheran Church

5025 Knox Avenue South

Minneapolis MN 55419-1095

Direct [612-767-2231](tel:612-767-2231) * Mobile [612-916-6926](tel:612-916-6926)

Paul Humiston

From: Tom MacNally [TomM@mtolivet.org]
Sent: Thursday, January 16, 2014 4:51 AM
To: Paul Humiston; Nancy S. Nash
Subject: Fwd: Lynnhurst Neighborhood Association

I will send this to the new council member as well

Thomas C. MacNally, COO
Mount Olivet Lutheran Church
M) (612) 916-6926 L) (612) 767-2231

Begin forwarded message:

From: Paul Ragozzino <pragozzino@gmail.com>
Date: January 15, 2014 at 10:23:25 PM CST
To: Tom MacNally <TomM@mtolivet.org>
Cc: Ruth Olson <sr4olson@usfamily.net>
Subject: Re: Lynnhurst Neighborhood Association

Hi Tom,

Thanks again for sending the information for the planned remodeling and site revisions. I reviewed the plans with the Lynnhurst Neighborhood Association (LYNAS) Board and everyone is quite supportive. The new entries look great, and the revised site plan seems like it should help traffic flow. The added landscaping will definitely improve the streetscape of the surrounding streets. We also appreciate Mt Olivet continuing the police parking and traffic assistance.

Also, the LYNAS Board also expressed a desire to work with Mt Olivet in the future on any items that would be beneficial to both organizations. With Mt Olivet being one of the largest draws in the neighborhood, it only seems natural that somehow we improve our connection.

Please let me know if we can be of assistance.

Thanks,
Paul

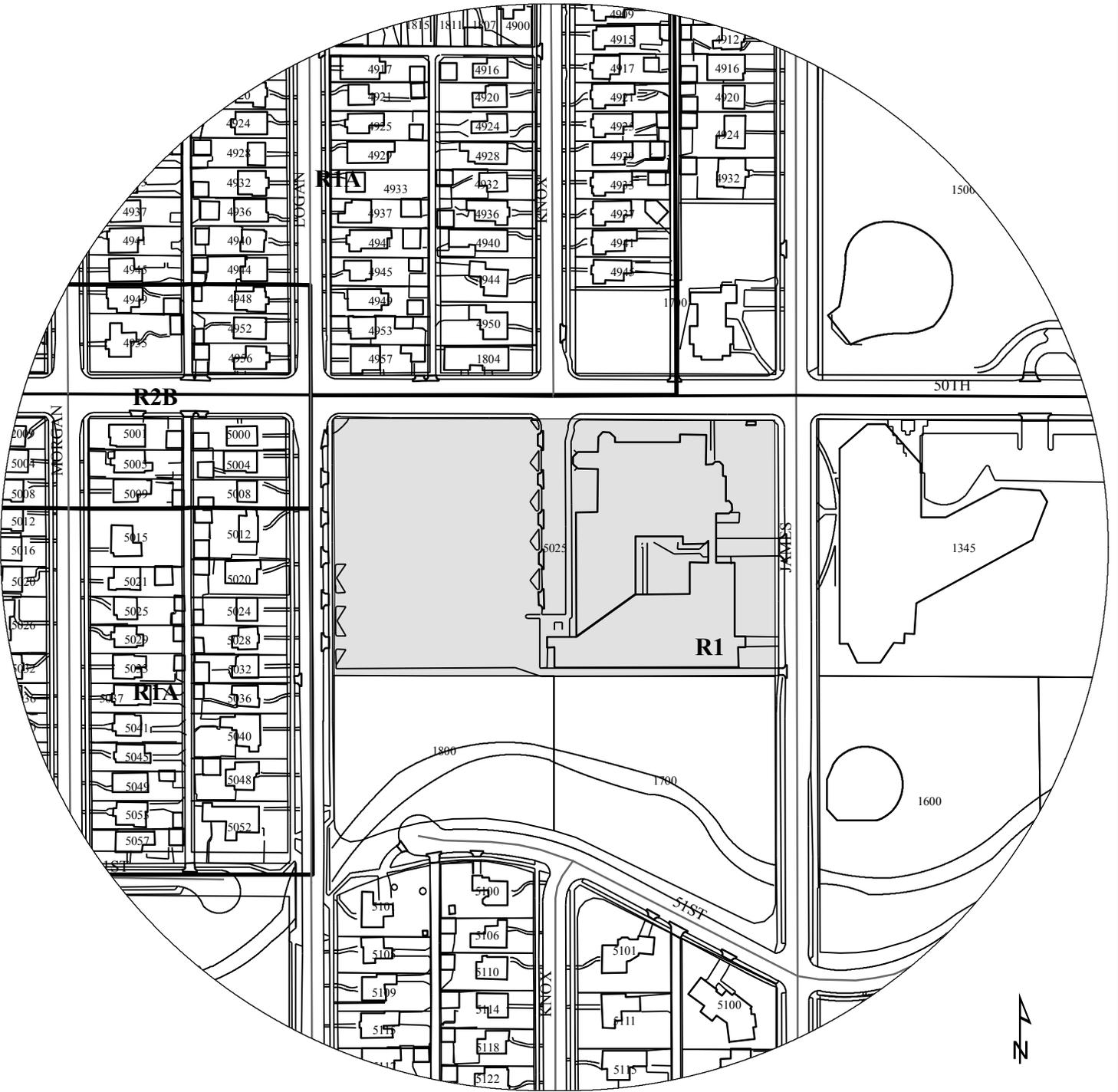
612.310.7868

Mount Olivet Lutheran Church

13

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
5025 Knox Avenue S

FILE NUMBER
BZZ-6427

Entrance / Elevator Addition

Mount Olivet Lutheran Church
Minneapolis, MN



CODE DATA

2007 MINNESOTA STATE BUILDING CODE, CHAPTERS 1305 & 1311

SCOPE OF WORK: - PROVIDE ACCESSIBLE ROUTE
- INCREASED EXIT CAPACITY

OCCUPANCY GROUPS: A-3 & B, NON-SEPARATED USES
A-3 MOST RESTRICTIVE

CONSTRUCTION TYPE: I-B
ALLOWABLE AREA PER FLOOR: UNLIMITED
EXISTING UPPER FLOOR AREA: +/- 52,000 S.F.
PROPOSED ADDITION: 1,410 S.F.

ALLOWABLE HEIGHT: 11 STORIES / 160 FT.
EXISTING HEIGHT: 2 STORIES / 48 FT.

FIRE SPRINKLERS: NONE EXISTING
NONE REQUIRED - SEE "CODE ALTERNATE
REQUEST" APPROVED 1/31/4

INCREASED EXIT CAPACITY: DOOR #1: INCREASED STAIR WIDTH
78' / .3 = 260 ADD'L OCC.S
DOOR #2: INCREASED DOOR WIDTH
TO EXCEED STAIR CAPACITY
= 154 ADD'L OCC.S

PROJECT TEAM

OWNER
MOUNT OLIVET LUTHERAN CHURCH
5025 KNOX AVE. S
MINNEAPOLIS, MN 55419

ARCHITECT
PAUL MEYER ARCHITECTS, INC.
15650 36TH AVE N SUITE 170
PLYMOUTH, MN 55446
TEL: 763-557-9081
FAX: 763-557-9233

CIVIL ENGINEER
LOUCKS ASSOCIATES
17200 HEMLOCK LANE, SUITE 300
MINNEAPOLIS, MN 55369
TEL: 763-424-5505
FAX: 763-424-5822

STRUCTURAL ENGINEER
LARSON ENGINEERING
3524 LABORE RD.
WHITE BEAR LAKE, MN 55110
TEL: 651-481-9120
FAX: 651-481-9201

GENERAL CONTRACTOR
KRAUS ANDERSON
525 SOUTH EIGHTH STREET
MINNEAPOLIS, MN 55404
TEL: 612-332-7281
FAX: 612-332-8739

SHEET INDEX

T1.1 TITLE SHEET

SURVEY

C1-2 SITE DEMOLITION PLAN
C2-1 SITE PLAN
C3-1 GRADING PLAN
C3-2 STORMWATER POLLUTION PREVENTION PLAN
C4-1 UTILITY PLAN
C8-1 CIVIL DETAILS
C8-2 CIVIL DETAILS
L1-1 LANDSCAPE PLAN

SL-1 SITE LIGHTING PLAN

A1.1 DEMOLITION PLANS
A2.1 FLOOR PLAN - LOWER LEVEL
A2.2 FLOOR PLAN - UPPER LEVEL
A4.1 EXTERIOR ELEVATIONS

Proposed Entrance / Elevator Addition For:
MOUNT OLIVET LUTHERAN CHURCH
5025 KNOX AVE. S
MINNEAPOLIS, MN

Paul Meyer
ARCHITECTS, INC.
15650 36TH AVENUE NORTH, SUITE 170
PLYMOUTH, MINNESOTA 55446
TEL: 763-557-9081 / FAX: 763-557-9233
PROJECT # 13995.01

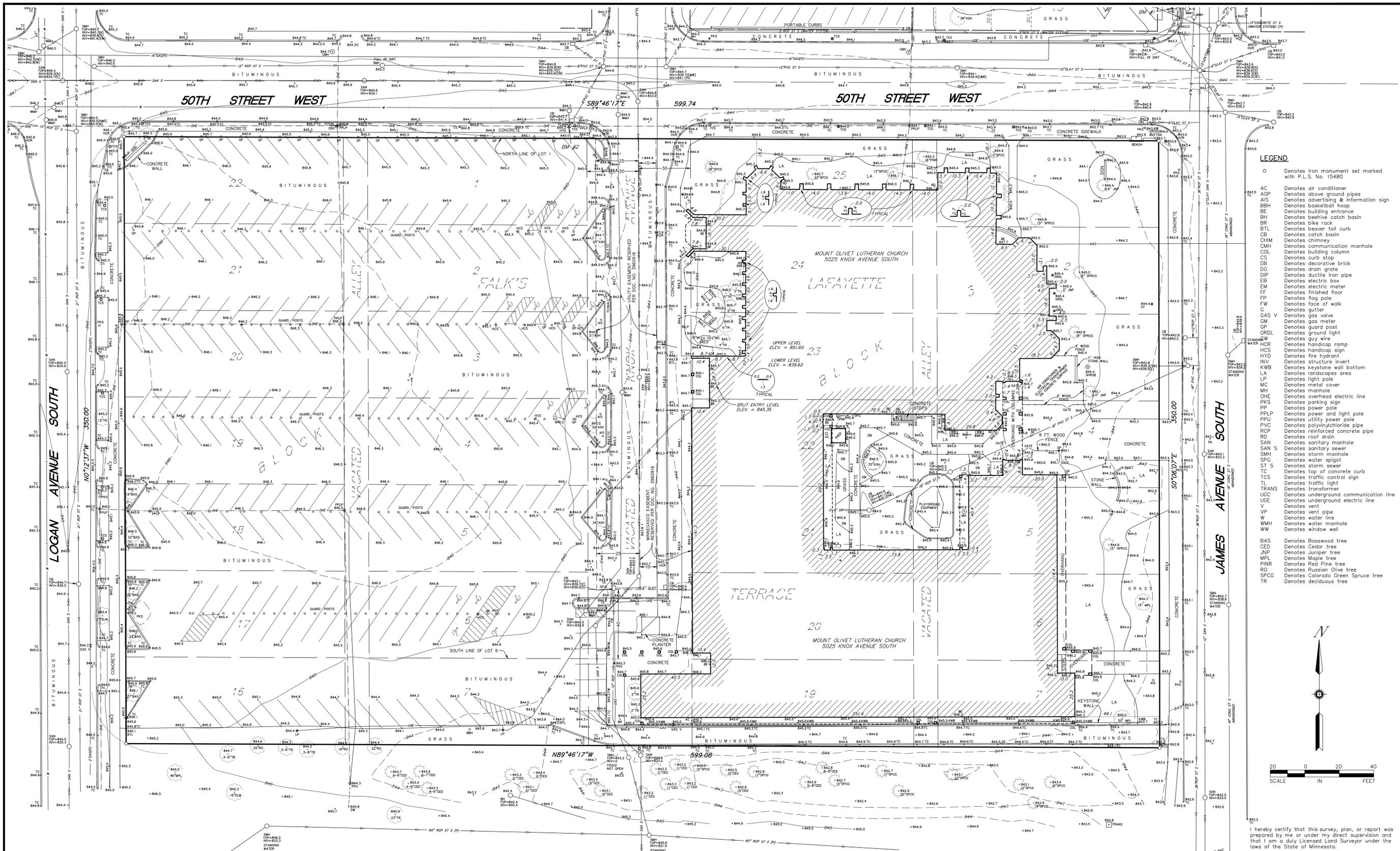
DESIGN
DEVELOPMENT

NOT FOR
CONSTRUCTION

ISSUE/REVISIONS
JAN 22, 2014 SITE PLAN
REVIEW / PDR.

TITLE SHEET

T1.1



LEGEND

O	Denotes iron monument set marked with P.L.S. No. 15480
AC	Denotes air conditioner
AIS	Denotes above ground pipes
AS	Denotes advertising & information sign
BBH	Denotes basketball hoop
BE	Denotes building entrance
BH	Denotes beehive catch basin
BR	Denotes bike rack
BTL	Denotes beaver tail curb
CB	Denotes catch basin
CHM	Denotes chimney
CMH	Denotes communication manhole
COL	Denotes building column
CS	Denotes curb stop
DB	Denotes decorative brick
DG	Denotes drain grate
DIP	Denotes ductile iron pipe
EB	Denotes electric box
EM	Denotes electric meter
FF	Denotes finished floor
FP	Denotes flag pole
FW	Denotes face of walk
G	Denotes gutter
GAS V	Denotes gas valve
GM	Denotes gas meter
GP	Denotes guard post
GRDL	Denotes ground light
GS	Denotes guy wire
HCR	Denotes handicap ramp
HCS	Denotes handicap sign
HYD	Denotes fire hydrant
INV	Denotes structure invert
KWB	Denotes keystone wall bottom
LA	Denotes landscapes area
LP	Denotes light pole
MC	Denotes metal cover
MH	Denotes manhole
OHE	Denotes overhead electric line
PKS	Denotes parking sign
PP	Denotes power pole
PPLP	Denotes power and light pole
PPU	Denotes utility power pole
PVC	Denotes polyvinylchloride pipe
RCP	Denotes reinforced concrete pipe
RD	Denotes roof drain
SAN	Denotes sanitary manhole
SAN S	Denotes sanitary sewer
SMH	Denotes storm manhole
SS	Denotes storm sewer
ST S	Denotes water spigot
TC	Denotes top of concrete curb
TCS	Denotes traffic control sign
TL	Denotes traffic light
TRANS	Denotes transformer
UCC	Denotes underground communication line
UGE	Denotes underground electric line
V	Denotes vent
VP	Denotes vent pipe
W	Denotes water line
WMH	Denotes water manhole
WW	Denotes window well
BAS	Denotes Basewood tree
CED	Denotes Cedar tree
JNP	Denotes Juniper tree
MPL	Denotes Maple tree
PINR	Denotes Red Pine tree
RO	Denotes Russian Olive tree
SPCG	Denotes Colorado Green Spruce tree
TR	Denotes deciduous tree

GENERAL NOTE

1.) Survey coordinate basis: Hennepin County Coordinate System

UTILITY NOTES

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 132131960.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

DESCRIPTION OF PROPERTY SURVEYED

(Per Certificate of Title No. 1324092)

Lots 1 to 7 inclusive, and Lots 19 to 25 inclusive, Block 3, and that part of the vacated alley in said Block 3, lying between the extensions across said alley of the North line of said Block and the South line of said Lots 7 and 19, "Falk's Lafayette Terrace" Minneapolis, Minnesota.
 Lots 1 to 7 inclusive, Block 4, and Lots 18 to 22 inclusive, Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota; and
 That part of the vacated alley in Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota, lying northerly of the westerly extension of the south line of Lot 5, said Block 4; and
 That part of the east half of the vacated alley in Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota, lying between the westerly extensions of the south line of Lot 7 and of the north line of Lot 6, said Block 4; and
 That part of vacated Knox Avenue South as dedicated in the plat of "Falk's Lafayette Terrace" Minneapolis, Minnesota, lying between the westerly extensions of the north line of Lot 25, Block 3, said plat, and of the south line of Lot 19, said Block 3.

AND

(Per Doc. No. A9566837)

Lots 16 and 17, Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota;

That part of the West half of the vacated alley in Block 4, "Falk's Lafayette Terrace" Minneapolis, Minnesota, lying between the westerly extensions of the south line of Lot 7 and the north line of Lot 6, Block 4.

TITLE COMMITMENT

This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.

AREA

Area = 209,788 square feet or 4.816 acres

BENCH MARKS (BM)

- Top of top nut of fire hydrant at northwest quadrant of 50th Street West and James Avenue. Elevation = 847.32 feet
- Top of top nut of fire hydrant at southwest quadrant of 50th Street West and Knox Avenue. Elevation = 848.31 feet

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 19th day of August, 2013

SUNDE LAND SURVEYING, LLC.

By: *Mark S. Hanson*
Mark S. Hanson, P.L.S., Minn. Lic. No. 15480

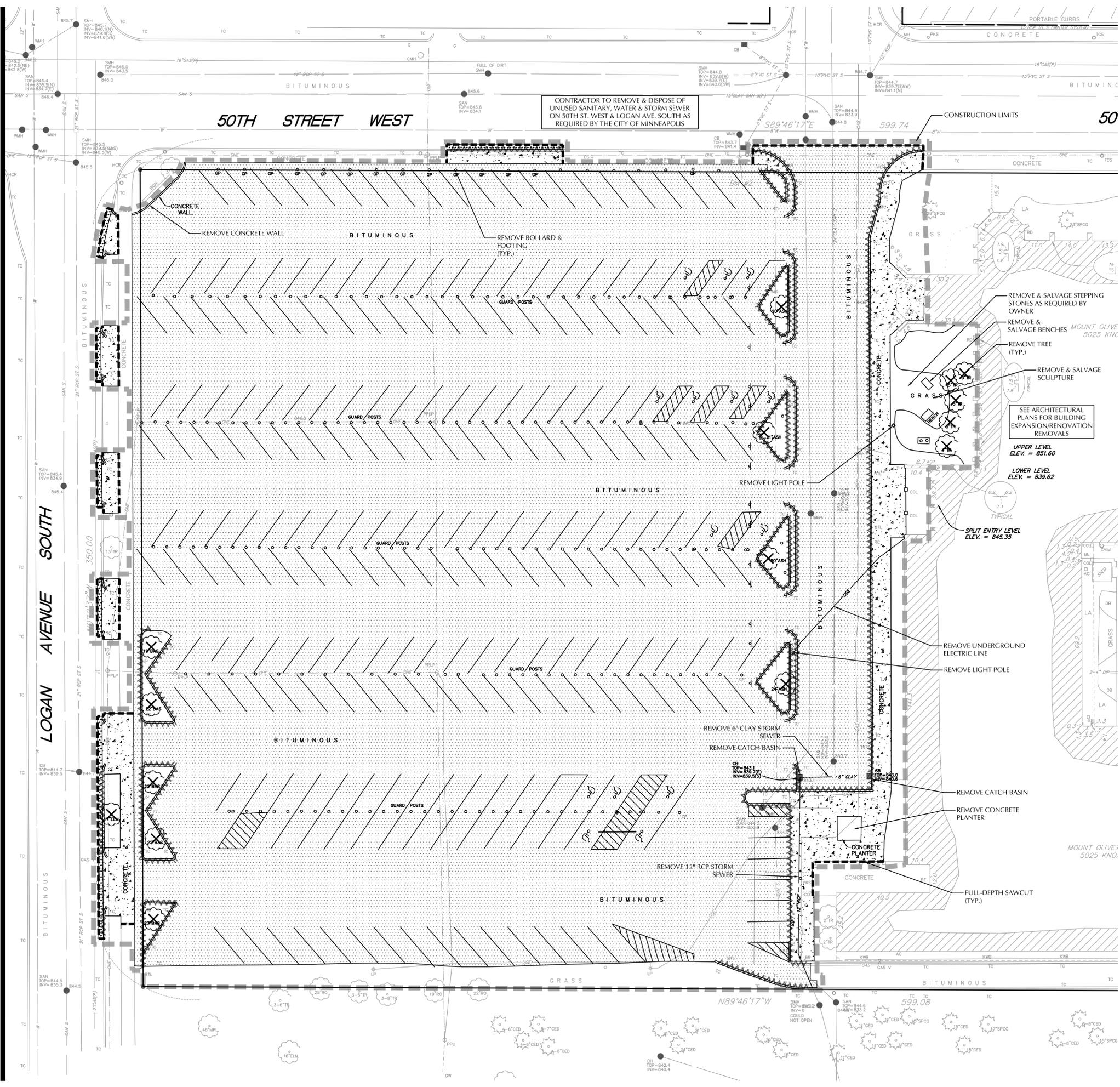
Revision	By	Date

Drawing Title:
BOUNDARY, LOCATION, TOPOGRAPHIC and UTILITY SURVEY FOR: MOUNT OLIVET LUTHERAN CHURCH 5025 KNOX AVENUE SOUTH

Main Office: 4001 East Bloomington Freeway (29W) • Suite 118
 Bloomington, Minnesota 55420-3435
 952-881-2455 (Fax: 952-888-9526)
 West Office: 10000 Hennepin Avenue
 Minneapolis, Minnesota 55424
 612-835-5562

Project: 97-033-9 Bk/Pg: 9/1
 Township: 28 Range: 24 Section: 16 Date: 8/19/2013
 File: 270338001.dwg Sheet: 1 of 1

Plotted: 01/21/2014 2:14 PM W:\2013\13438 - Mount Olivet Church\CADD\DATA\CIVIL_dwg Sheet Files



CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

SITE DEMOLITION NOTES

1. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
4. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
5. BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE PROJECT SITE. SAID ROCK ENTRANCE PAD SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT. SEE DETAIL SHEET(S).
6. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, CITY REQUIREMENTS AND THE DETAILS SHOWN ON THE DETAIL SHEET(S) OF THE PROJECT PLANS.
7. DEMOLITION AND UTILITY WORK MAY REQUIRE CITY, COUNTY, AND MNDOT PERMITS. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS.
8. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS, STRIP TOP SOIL, AND STOCKPILE ON-SITE. REFER TO GRADING PLAN AND SWPPP FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS. TREES UNDER 6" DIA. ARE INCIDENTAL TO CLEARING & GRUBBING.
9. EXISTING TOPOGRAPHY PROVIDED BY SUNDE LAND SURVEYING, BOUNDARY, LOCATION, TOPOGRAPHIC AND UTILITY SURVEY DATED 08/19/13.
10. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
11. MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.
12. CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
13. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.

SITE DEMOLITION LEGEND

	CONSTRUCTION LIMITS
	REMOVE CONCRETE
	REMOVE BITUMINOUS
	SAWCUT PAVEMENT
	REMOVE TREE
	REMOVE CURB & GUTTER

NOTE: ALL BOLD ITEMS TO BE REMOVED

NORTH

SCALE IN FEET

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

Project Name: **Mount Olivet Church**

MOUNT OLIVET LUTHERAN CHURCH
Believing. Belonging. Becoming.

Minneapolis, MN

Owner/Developer: **Mount Olivet Lutheran Church**

5025 Knox Ave S
Minneapolis, MN 55419

Paul Meyer ARCHITECTS, INC.
15650 36TH AVENUE NORTH, SUITE 170
PLYMOUTH, MINNESOTA 55446
TEL 763-557-9081 / FAX 763-557-9233

Professional Services: **LOUCKS ASSOCIATES**

Planning • Civil Engineering • Land Surveying
Landscape Architecture • Environmental

7200 Hemlock Lane - Suite 300
Maple Grove, MN 55369
Telephone: (763) 424-5505
www.LoucksAssociates.com

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CADD Qualification:
CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawings files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

C1-2 DEMO PLAN.DWG/SHEET

Submital: 1-22-14 PDR SUBMITTAL

Professional Signature:
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Jonathan J. Donovan - PE
44613 License No. 01/22/2014 Date

Quality Control: JJD TDG
Project Lead: JJD Drawn By: 01/22/14
Checked By: JJD Review Date:

Sheet Index:
C1-2 SITE DEMOLITION PLAN
C2-1 SITE PLAN
C2-1 GRADING PLAN
C2-2 STORMWATER POLLUTION PREVENTION PLAN
C8-1 CIVIL DETAILS
C8-2 CIVIL DETAILS
L1-1 LANDSCAPE PLAN

Sheet Title: **SITE DEMOLITION PLAN**

Project No.: **13438**

Sheet No.: **C1-2**

EROSION AND SEDIMENT CONTROL NOTES
INSTALL PERIMETER EROSION CONTROLS AS INDICATED IN PLANS PRIOR TO START OF WORK
HAY BALES ARE NOT ALLOWED AS EROSION & SEDIMENT CONTROL DEVICE IN MINNEAPOLIS.
ESTABLISH ROCK CONSTRUCTION ENTRANCES PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES
1 1/2" - 3" WASHED AGGREGATE IS RECOMMENDED FOR ROCK ENTRANCES. A GEOTEXTILE FABRIC IS REQUIRED.
REMOVE ALL SOILS AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVEMENT AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND IN SUCH A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
INSTALL INLET PROTECTION IN ALL DOWNSTREAM CATCH BASINS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREA. CATCH BASIN INSERTS ARE REQUIRED AT ALL LOCATIONS NOT WITHIN THE DISTURBED AREA WHICH RECEIVE RUNOFF AND/OR TYPE C INLET PROTECTION. NOTE HAY BALES AND SILT FENCE WRAPPED GRATES ARE NOT EFFECTIVE AND ARE NOT APPROVED FOR USE AS INLET PROTECTION DEVICES.
LOCATE ALL SOIL AND DIRT PILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. ALL STOCK PILES THAT REMAIN IN PLACE FOR 7 DAYS OR MORE SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPING OR OTHER MEANS. TEMPORARY STOCK PILES LOCATED ON PAVED SURFACES MUST BE AT LEAST 2 FEET OR MORE AWAY FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF REMAINING MORE THAN 24 HOURS.
MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A WEEKLY BASIS AND REPLACE/REPAIR/DAMAGED OR KOTTED EROSION CONTROL DEVICES IMMEDIATELY.
MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PERFORMED WHENEVER THE DEVICE IS 20% FULL. FAILURES TO MAINTAIN EROSION CONTROL DEVICES MAY LEAD TO FURTHER ENFORCEMENT ACTION. WEEKLY INSPECTIONS REQUIRED AND AFTER EACH 1/2" OR MORE RAIN EVENT WITHIN 24 HRS.
READY MIXED CONCRETE AND BATCH PLANT WASHOUTS PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. DESIGNATE CONCRETE WASHOUT AND MIXING LOCATIONS IN THE EROSION CONTROL PLANS. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO THE PUBLIC STORM DRAIN.
TEMPORARILY OR PERMANENTLY STABILIZE ALL DENIED AREAS WHICH HAVE BEEN FINISH GRADED WITHIN 7-14 DAYS (SLOPE DEPENDENT). USE SEEDING AND MULCHING, EROSION CONTROL MATTING AND/OR SOODING WITH TEMPORARY STAKING IN GREEN SPACE AREAS. USE EARLY APPLICATION OF CRACK BASE FOR AREAS DESIGNATED FOR PAVED SURFACING.
REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL AND NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. MINIMUM VEGETATION COVER OF 70% REQUIRED. ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL THE SITE HAS 70% ESTABLISHED VEGETATIVE COVER AND ALL PAVED AREAS HAVE BEEN STABILIZED WITH THE SELECTED PAVEMENT TYPE.
ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY OTHER PERMITTING AGENCIES. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO VERIFY THAT THE CITY AND ALL OTHER AGENCY REQUIREMENTS ARE MET.

INLET PROTECTION TYPE A & C
INLET PROTECTION TYPE C (CAN BE INSTALLED IN ANY AREA WITH SLOPE OF 1% OR GREATER)
INLET PROTECTION TYPE A (CAN BE INSTALLED IN ANY AREA WITH SLOPE OF 1% OR GREATER)
MINNEAPOLIS CUSTOM MNDOT SPEC. REF. 3573 NOT TO SCALE
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: GCD DATE: 1/16/10
APPROVED: HRS DATE: 1/16/10
EROSION CONTROL NOTES
STANDARD PLATE NO. SEWR-8007

SEDIMENT CONTROL - ROCK ENTRANCE
REMOVE TRACKED SEDIMENTS FROM PAVED SURFACES WITHIN 24 HOURS OF DEPOSITION PICK UP OR VACUUM SWEEPERS REQUIRED.
MINNEAPOLIS CUSTOM MNDOT SPEC. REF. 3573 NOT TO SCALE
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: GCD DATE: 1/16/10
APPROVED: HRS DATE: 1/16/10
SEDIMENT CONTROL - ROCK ENTRANCE
STANDARD PLATE NO. SEWR-8002

SILT FENCE INSTALLATION
SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REQUIRED WHEN 1/2" FULL WITHIN 24 HOURS OF DISCOVERY.
MAXIMUM RECOMMENDED STORAGE HEIGHT: 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND PERMANENTLY STABILIZED ALSO SEE SEWR-8009.
MINNEAPOLIS CUSTOM MNDOT SPEC. REF. 2573, 3888, 3889, 2 TYPE 1 NOT TO SCALE
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/10/07
APPROVED: GAS DATE: 9/10/07
SEDIMENT CONTROL - SILT FENCE
STANDARD PLATE NO. SEWR-8001

TYPICAL DRIVEWAY
MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-2002
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/10/07
APPROVED: GAS DATE: 9/10/07
TYPICAL DRIVEWAY
STANDARD PLATE NO. ROAD-2002

SAW CUT AT CURB AND GUTTER REMOVAL
MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-1010
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/10/07
APPROVED: GAS DATE: 9/10/07
SAW CUT AT CURB AND GUTTER REMOVAL
STANDARD PLATE NO. ROAD-1010

B612 CURB AND GUTTER
MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-1000
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/10/08
APPROVED: GAS DATE: 9/10/08
B612 CURB AND GUTTER
STANDARD PLATE NO. ROAD-1000

D-412 CURB AND GUTTER MODIFIED
MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-1007
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/10/07
APPROVED: GAS DATE: 9/10/08
D-412 CURB AND GUTTER MODIFIED
STANDARD PLATE NO. ROAD-1007

B-624 CURB AND GUTTER
MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-1003
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/10/07
APPROVED: GAS DATE: 9/10/08
B-624 CURB AND GUTTER
STANDARD PLATE NO. ROAD-1003

TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION
MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-2003
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/10/07
APPROVED: GAS DATE: 9/10/08
TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION
STANDARD PLATE NO. ROAD-2003

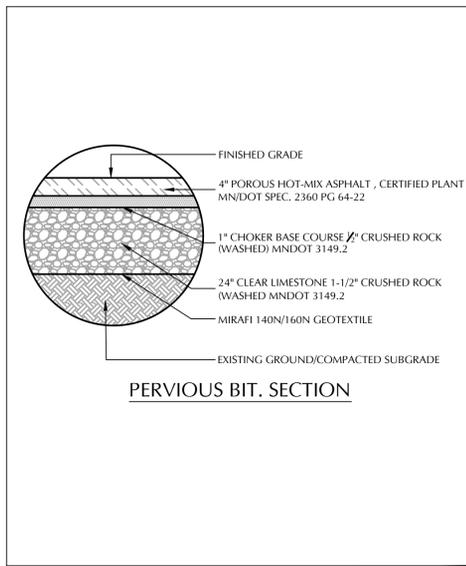
SAW CUT CURB AT JOINTS
MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-1010
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 9/10/07
APPROVED: GAS DATE: 9/10/08
SAW CUT CURB AT JOINTS
STANDARD PLATE NO. ROAD-1010

CASTING ASSEMBLY
MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-1000
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: GCD DATE: 1/16/10
APPROVED: HRS DATE: 1/16/10
TYPICAL MANHOLE CONSTRUCTION
STANDARD PLATE NO. SEWR-1001-1

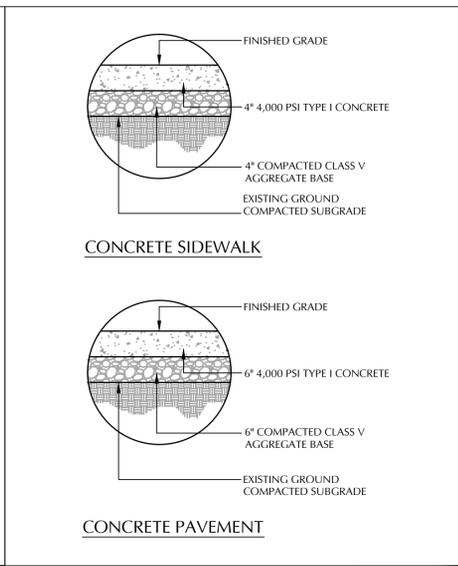
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MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-3133 NOT TO SCALE
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: GCD DATE: 1/16/10
APPROVED: HRS DATE: 1/16/10
RIPRAP AT RCP PIPE-ARCH OUTLETS
STANDARD PLATE NO. SEWR-3006

TABLE OF QUANTITIES - RIPRAP AT RCP OUTLETS
MINNEAPOLIS CUSTOM MNDOT STANDARD ROAD-3133 NOT TO SCALE
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: GCD DATE: 1/16/10
APPROVED: HRS DATE: 1/16/10
RIPRAP AT RCP PIPE-ARCH OUTLETS
STANDARD PLATE NO. SEWR-3006

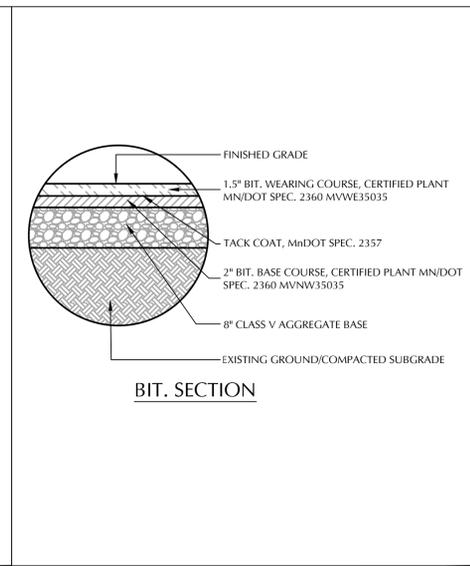
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MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: GCD DATE: 1/16/10
APPROVED: HRS DATE: 1/16/10
RIPRAP AT RCP PIPE OUTLETS
STANDARD PLATE NO. SEWR-3006



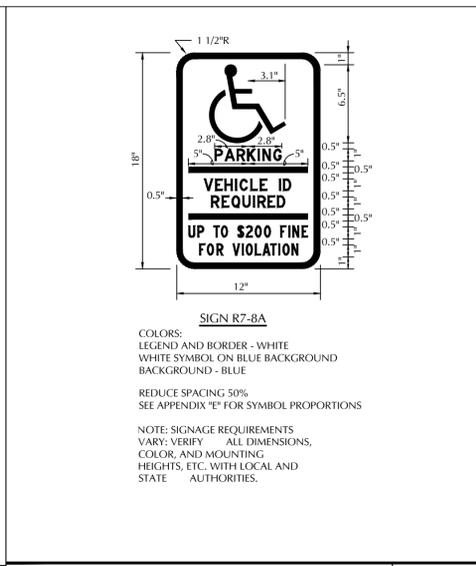
TYP. BITUMINOUS PERVIOUS PAVEMENT SECTION
SCALE: N/A



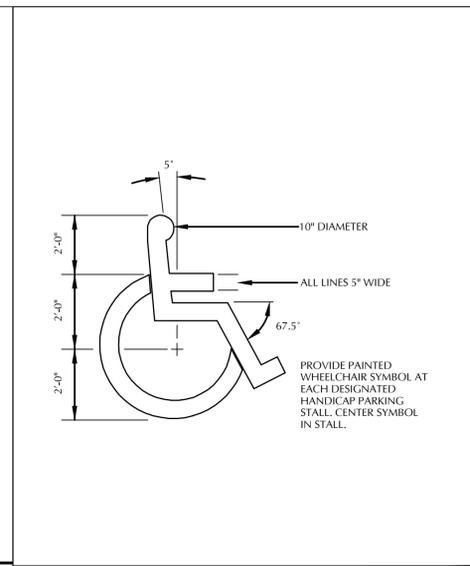
CONCRETE PAVEMENT SECTIONS
SCALE: N/A



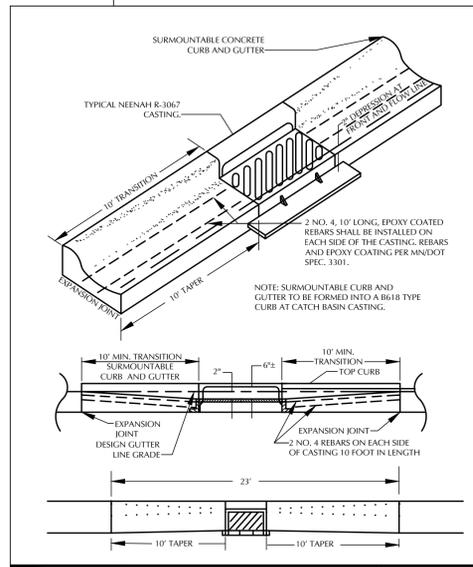
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SCALE: N/A



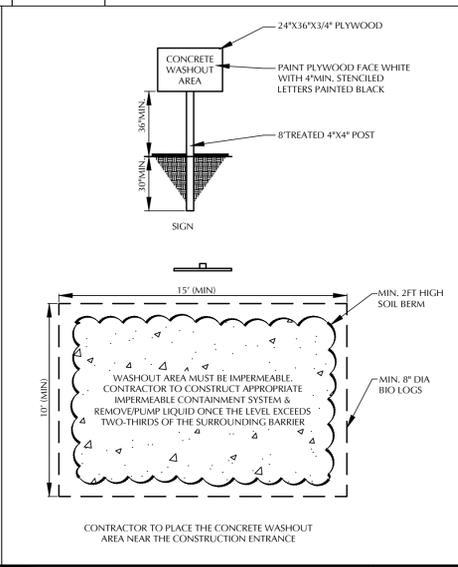
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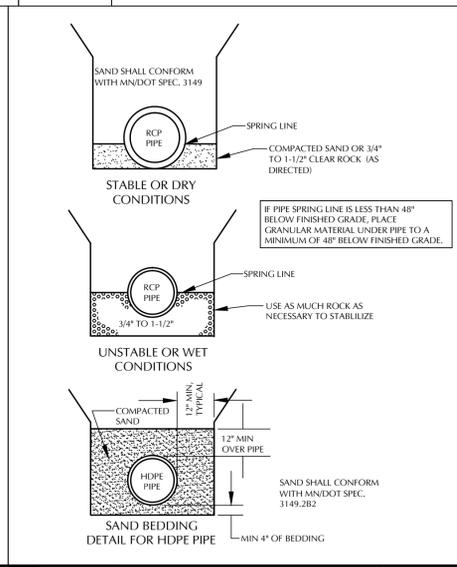
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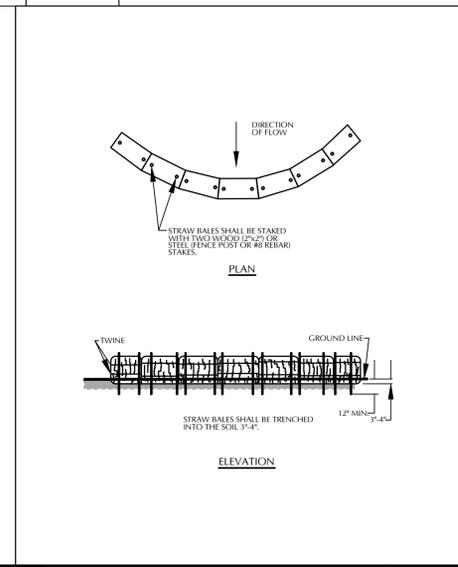
CATCH BASIN CASTING INSTALLATION
SCALE: N/A



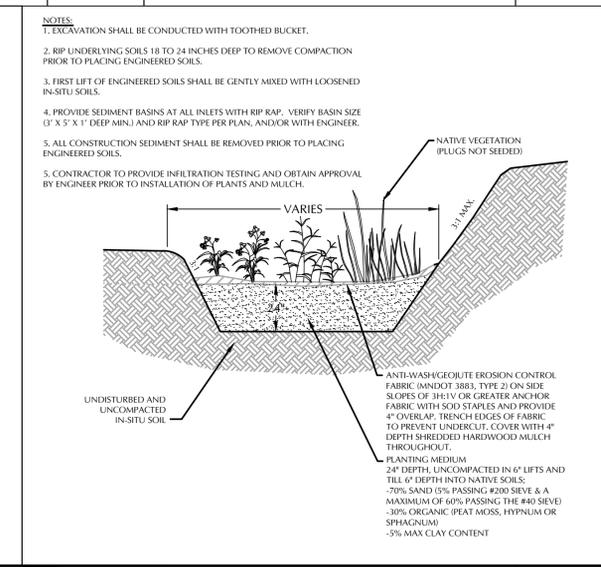
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SCALE: N/A



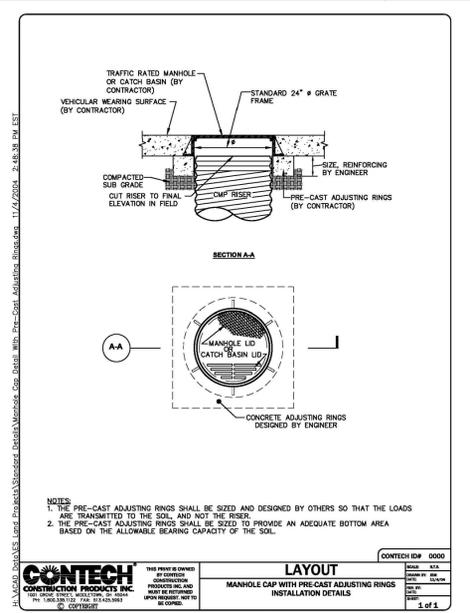
STORM SEWER PIPE BEDDING
SCALE: N/A



BIOLOG
SCALE: N/A



INFILTRATION BASIN TYPICAL SECTION
SCALE: N/A



LAYOUT
MANHOLE CAP WITH PRE-CAST ADJUSTING RINGS
INSTALLATION DETAILS
CONTECH CONSTRUCTION PRODUCTS INC.
1 of 1

Project Name:
Mount Olivet Church
MOUNT OLIVET LUTHERAN CHURCH
Believing. Belonging. Becoming.
Minneapolis, MN
Owner/Developer:
Mount Olivet Lutheran Church
5025 Knox Ave S
Minneapolis, MN 55419

Paul Meyer ARCHITECTS, INC.
15650 36TH AVENUE NORTH, SUITE 170
PLYMOUTH, MINNESOTA 55446
TEL 763-557-9081 / FAX 763-557-9233

Professional Services:
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Planning • Civil Engineering • Land Surveying
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7200 Hemlock Lane - Suite 300
Maple Grove, MN 55369
Telephone: (763) 424-5505
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C8-2 CIVIL DETAILS.DWG/SHEET

Submital:
1-22-14 PDR SUBMITTAL

Professional Signature:
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Jonathan J. Donovan - PE
44613 License No. 01/22/2014 Date

Quality Control:
JJD Drawn By: TDG
JJD Checked By: 01/22/14 Review Date

Sheet Index:
C1-2 SITE DEMOLITION PLAN
C2-1 SITE PLAN
C2-1 GRADING PLAN
C2-2 STORMWATER POLLUTION PREVENTION PLAN
C8-1 CIVIL DETAILS
C8-2 CIVIL DETAILS
L1-1 LANDSCAPE PLAN

Sheet Title:
CIVIL DETAILS

Project No.: 13436
Sheet No.:

Plotted: 01/21/2014 2:41 PM W:\2013\13436 - Mount Olivet Church\CADD\DATA\CIVIL.dwg Sheet Files



CALL BEFORE YOU DIG

Gopher State One Call

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

Project Name:

Mount Olivet Church



Minneapolis, MN

Owner/Developer:

Mount Olivet Lutheran Church

5025 Knox Ave S
Minneapolis, MN 55419



Professional Services:



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7200 Hemlock Lane - Suite 300
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L1-1.DWG/Layout1

Submital:

1-22-14 PDR SUBMITAL

Professional Signature:

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Douglas D. Loken, LA

45591 License No. 01/22/14 Date

Quality Control:

JJD Drawn By: DDL

JJD Checked By: 01/22/13 Review Date:

Sheet Index:

C1-2	SITE DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	STORMWATER POLLUTION PREVENTION PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN

Sheet Title:

LANDSCAPE PLAN

Project No.:

13436

Sheet No.:

L1-1

PLANT SCHEDULE/LEGEND

SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DECIDUOUS TREES					
RB	PAPER BIRCH	Betula papyrifera 'Renci'	8' HGT	B&B	CLUMP
GL	GREENSPIRE LINDEN	Tilia cordata 'Greenspire'	2.5' CAL	B&B	SINGLE STEM
NM	NORTHWOOD MAPLE	Acer rubrum 'Northwood'	2.5' CAL	B&B	SINGLE STEM
AE	ACLADE ELM	Ulmus 'Morton'	2.5' CAL	B&B	SINGLE STEM

SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DECIDUOUS SHRUBS					
CB	CONCORDE BARBERRY	Berberis thunbergii 'Concorde'	24" HGT	POT	PLANT 3' O.C.
TS	TIGER EYES SUMAC	Rhus typhina 'Balltiger'	24" HGT	POT	PLANT 8' O.C.
GM	GREEN MOUND ALPINE CURRANT	Ribes alpinum 'Green Mound'	24" HGT	POT	PLANT 4' O.C.
MR	MYSTIC FAIRY ROSE	Rosa 'Balfain'	24" HGT	POT	PLANT 4' O.C.
GS	GOLDFLAME SPIREA	Spiraea x bumalda 'Goldflame'	24" HGT	POT	PLANT 3' O.C.
LS	LITTLE PRINCESS SPIREA	Spiraea japonica 'Little Princess'	24" HGT	POT	PLANT 3' O.C.
MK	MISS KIM LILAC	Syringa patula 'Miss Kim'	24" HGT	POT	PLANT 4' O.C.

SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
CONIFEROUS SHRUBS					
MJ	MANEY JUNIPER	Juniperus chinensis 'Maney'	36" SPRD	POT	PLANT 4' O.C.
AJ	ANDORRA COMPACT JUNIPER	Juniperus horizontalis 'Plumosa Compacta'	36" SPRD	POT	PLANT 4' O.C.
BJ	BLUE PRINCE JUNIPER	Juniperus horizontalis 'Blue Prince'	36" SPRD	POT	PLANT 5' O.C.
TY	TAUNTON YEW	Taxus x media 'Taunton'	24" SPRD	POT	PLANT 4' O.C.

SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
PERENNIALS					
KG	KARL FOERSTER GRASS	Calamagrostis acutiflora 'Karl Foerster'	1 GAL	POT	PLANT 2' O.C.
RD	RUBY STELLA DAYLILY	Hemerocallis x 'Ruby Stella'	1 QT	POT	PLANT 1.5' O.C.

SOD

MNDOT 310 SEED MIXTURE

LANDSCAPE REQUIREMENTS

GENERAL LANDSCAPE REQUIREMENT	NEW TREES REQUIRED
1 CANOPY TREE/500 SF OF BUILDING SPACE (2,145 SF BUILDING EXPANSION)	4 NEW TREES REQUIRED 4 PROPOSED
1 SHRUB/100 SF OF BUILDING SPACE	21 REQUIRED (2,145 SF) 33 INTERIOR SHRUBS PROPOSED (PLUS VEGETATION ALONG BUILDING FASCIADE ADDED BY OWNER)

PARKING LOT LANDSCAPE REQUIREMENTS

SCREENING - (1) TREE FOR EACH 25 LF OF PARKING/LOADING LOT FRONTAGE	SHRUB ROW (HEDGE)
21 REQUIRED (530 LF)	21 REQUIRED (530 LF)
20 PROPOSED (1 EXISTING)	20 PROPOSED (1 EXISTING)
66 PROPOSED SHRUBS	66 PROPOSED SHRUBS

DISTANCE TO TREES - PARKING STALLS TO BE WITHIN 50' OF DEC. TREE.

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS.

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED SHRUB HEIGHT. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 7' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. LANDSCAPE ARCHITECT MUST APPROVE ALL STAKING OF PLANT MATERIAL PRIOR TO ANY AND ALL DIGGING.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL, OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 0-20-20 OF 12 OZ PER 2.5" CALIPER PER

TREE AND 6 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-10-10 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

BLACK STEEL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.

ALL TREES NOT IN PLANTING BEDS TO RECEIVE A 4" DIA. TREE RING WITH 4" DEEP SHREDDED HARDWOOD MULCH. NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO

OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO,

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

REPRODUCIBLE AS-BUILT DRAWING(S) OF ALL LANDSCAPE INSTALLATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

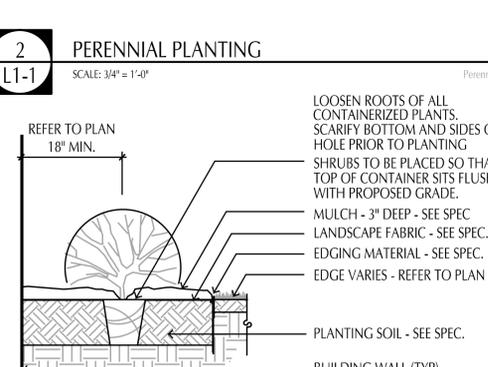
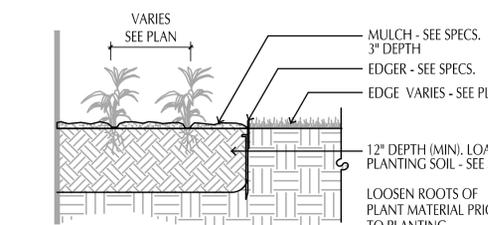
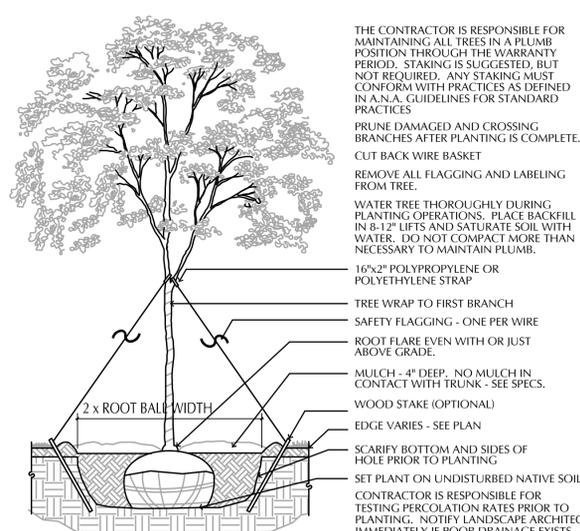
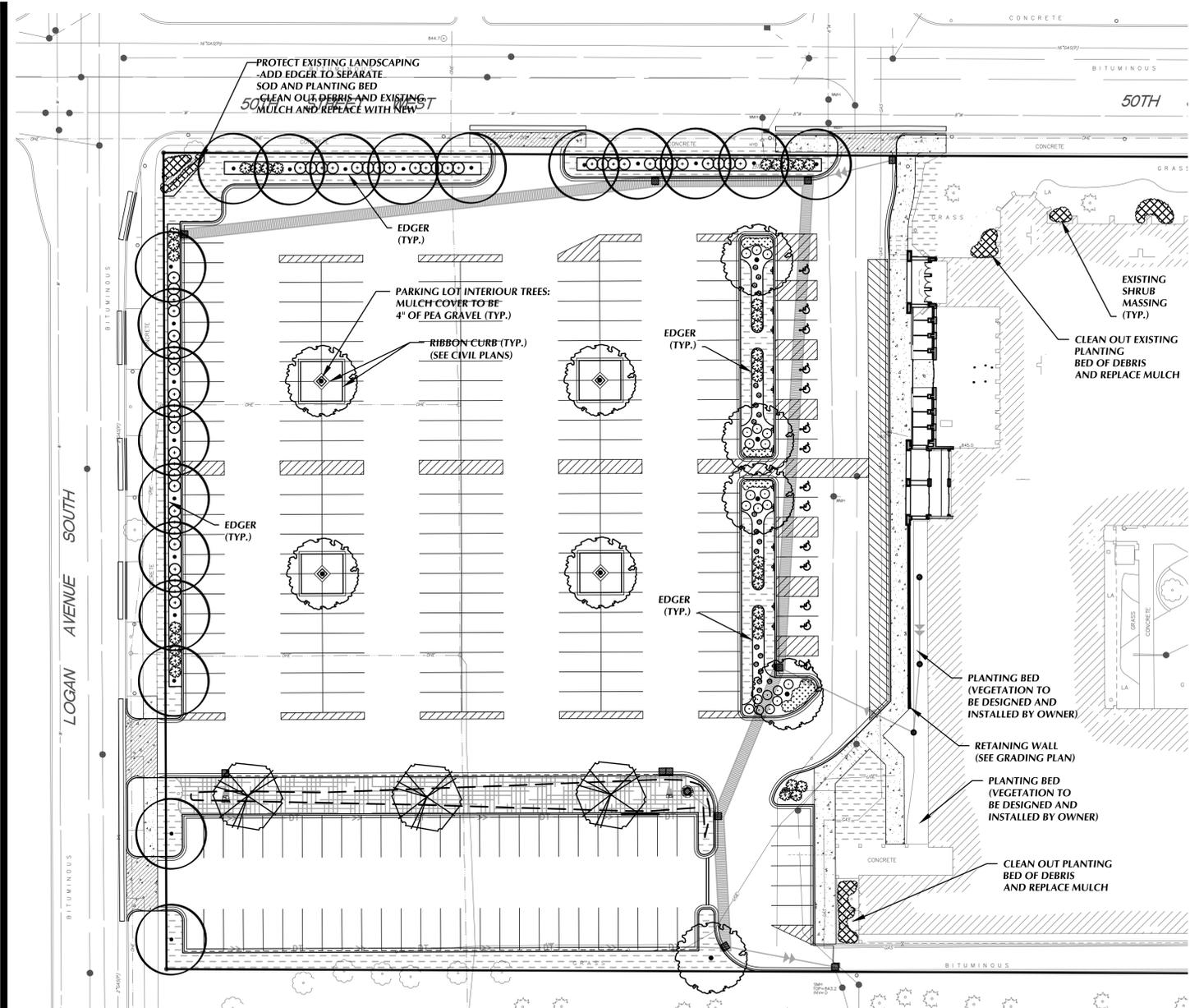
IRRIGATION NOTES:

VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION. CONTRACTOR IS NOT TO SPRINKLE ACROSS PAVEMENT.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS. CONTRACTOR TO INCORPORATE RAIN SENSOR INTO IRRIGATION SYSTEM. COORDINATE WITH OWNER FOR LOCATION WITH OWNER PRIOR TO INSTALLATION.

PLANTINGS ARE TO BE WATERED REGULARLY UNTIL IRRIGATION SYSTEM IS FULLY OPERATIONAL.



1 L1-1 DECIDUOUS TREE PLANTING DETAIL SCALE: 1/2" = 1'-0"

2 L1-1 PERENNIAL PLANTING SCALE: 3/4" = 1'-0"

3 L1-1 SHRUB PLANTING DETAIL SCALE: 3/4" = 1'-0"

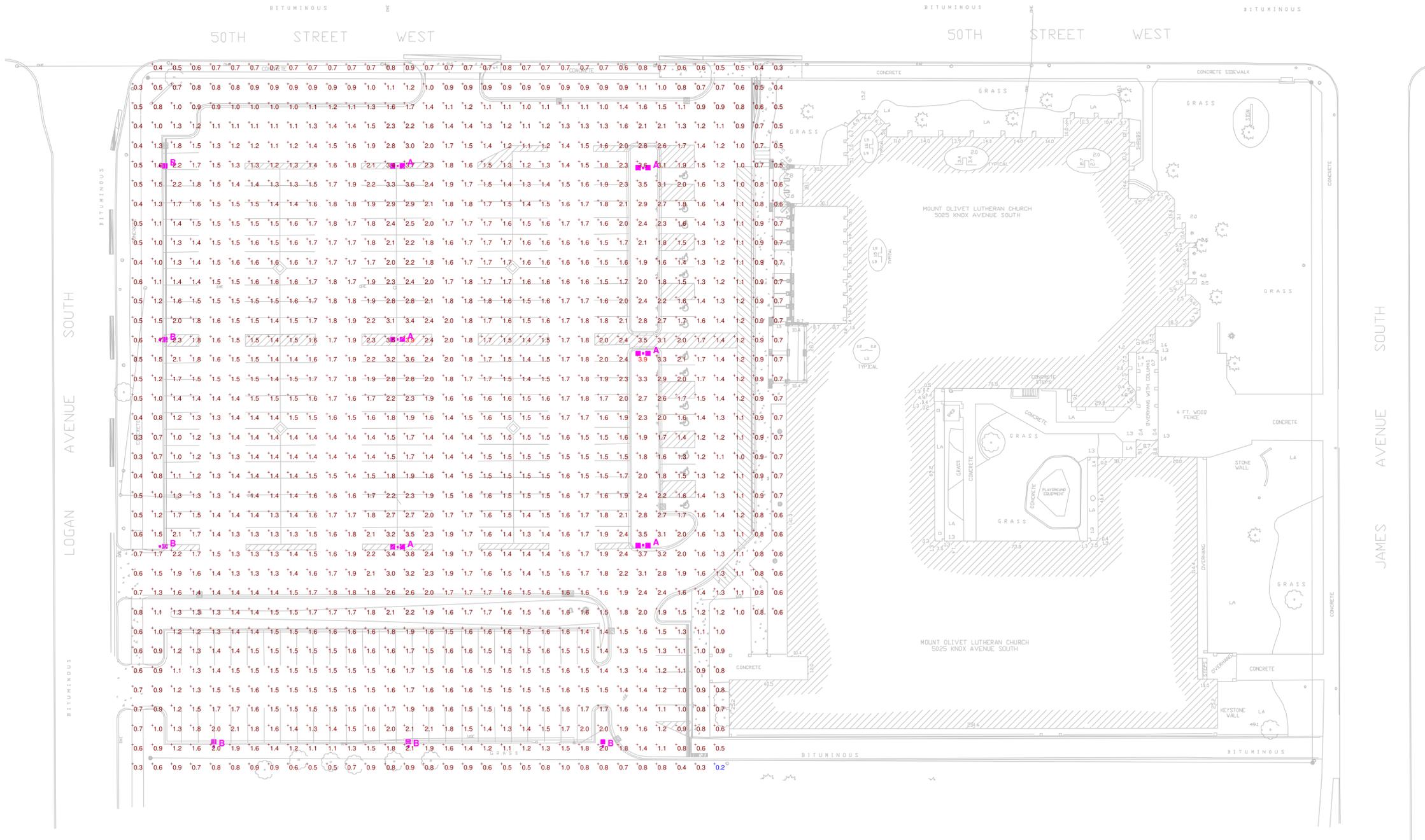
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STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Ground	+	1.5 fc	3.9 fc	0.2 fc	19.5:1	7.5:1

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
+	A	6	DSX0 LED 40C 1000 40K T4M MVOLT	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T4M OPTIC, 4000K, @ 1000mA	LED	DSX0_LED_40 C_1000_40K_T 4M_MVOLT.ie	Absolute	0.95	276
+	B	6	DSX0 LED 40C 1000 40K T4M MVOLT	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T4M OPTIC, 4000K, @ 1000mA	LED	DSX0_LED_40 C_1000_40K_T 4M_MVOLT.ie	Absolute	0.95	138

LUMINAIRE LOCATIONS							
No.	Label	X	Location Y	Z	MH	Orientation	Tilt
1	A	-549.8	302.3	30.0	30.0	90.0	0.0
2	A	-423.3	301.3	30.0	30.0	90.0	0.0
3	B	-644.5	3.5	30.0	30.0	0.0	0.0
4	A	-549.8	213.0	30.0	30.0	90.0	0.0
5	A	-549.8	106.3	30.0	30.0	90.0	0.0
6	B	-444.0	3.5	30.0	30.0	0.0	0.0
7	B	-544.3	3.5	30.0	30.0	0.0	0.0
8	A	-423.3	205.8	30.0	30.0	90.0	0.0
9	A	-423.3	107.0	30.0	30.0	90.0	0.0
10	B	-672.3	302.3	30.0	30.0	90.0	0.0
11	B	-672.3	212.8	30.0	30.0	90.0	0.0
12	B	-672.3	106.5	30.0	30.0	90.0	0.0

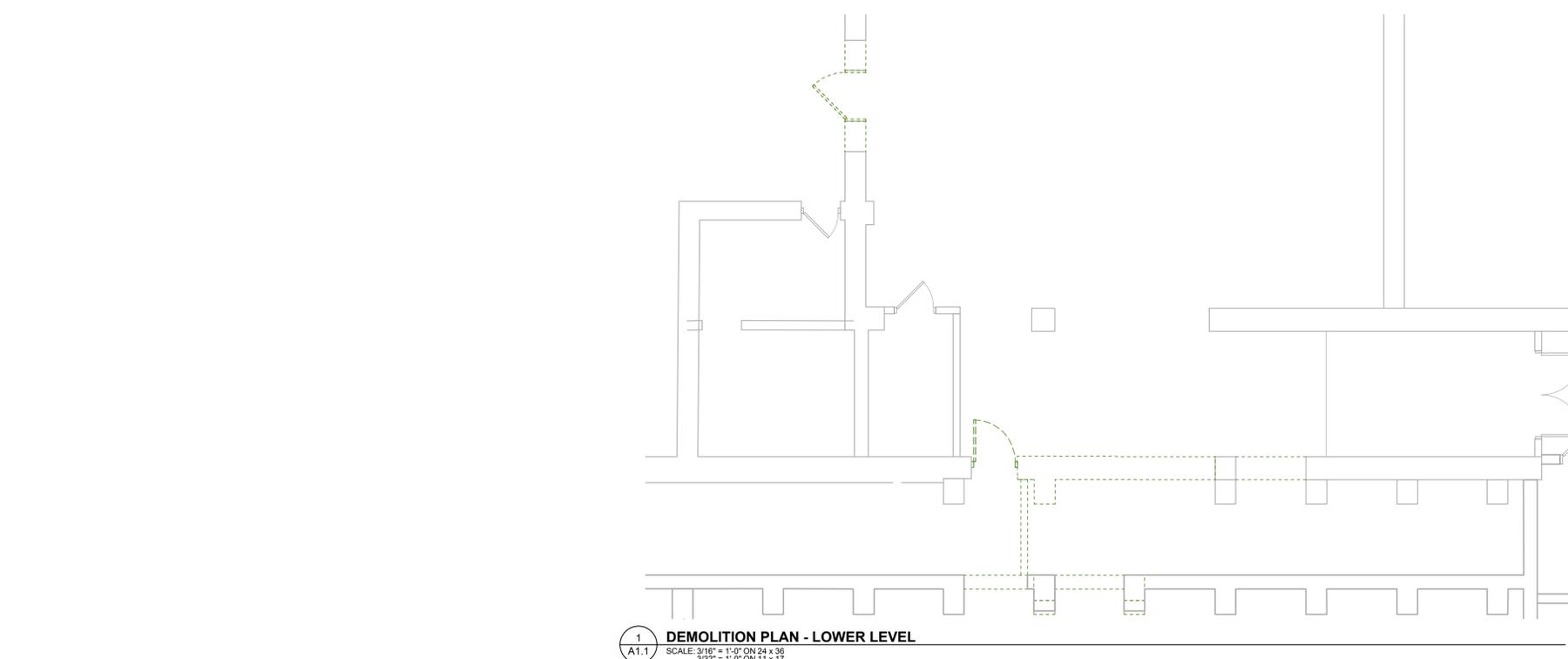
NOTES
1. Type A & B Fixtures mounted at 30'.



Plan View
Scale 1" = 30'

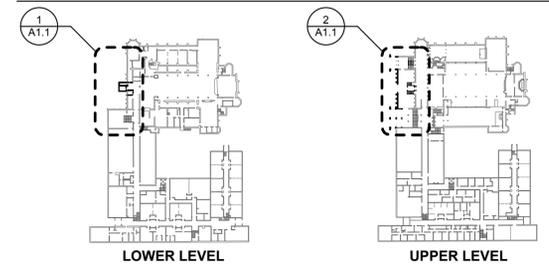
Mount Olivet Church
LED Option
Site Lighting Remodel

Designer	KJ
Date	Sep 9 2013
Scale	As Noted
Rev - Date	1 - 1/14/14



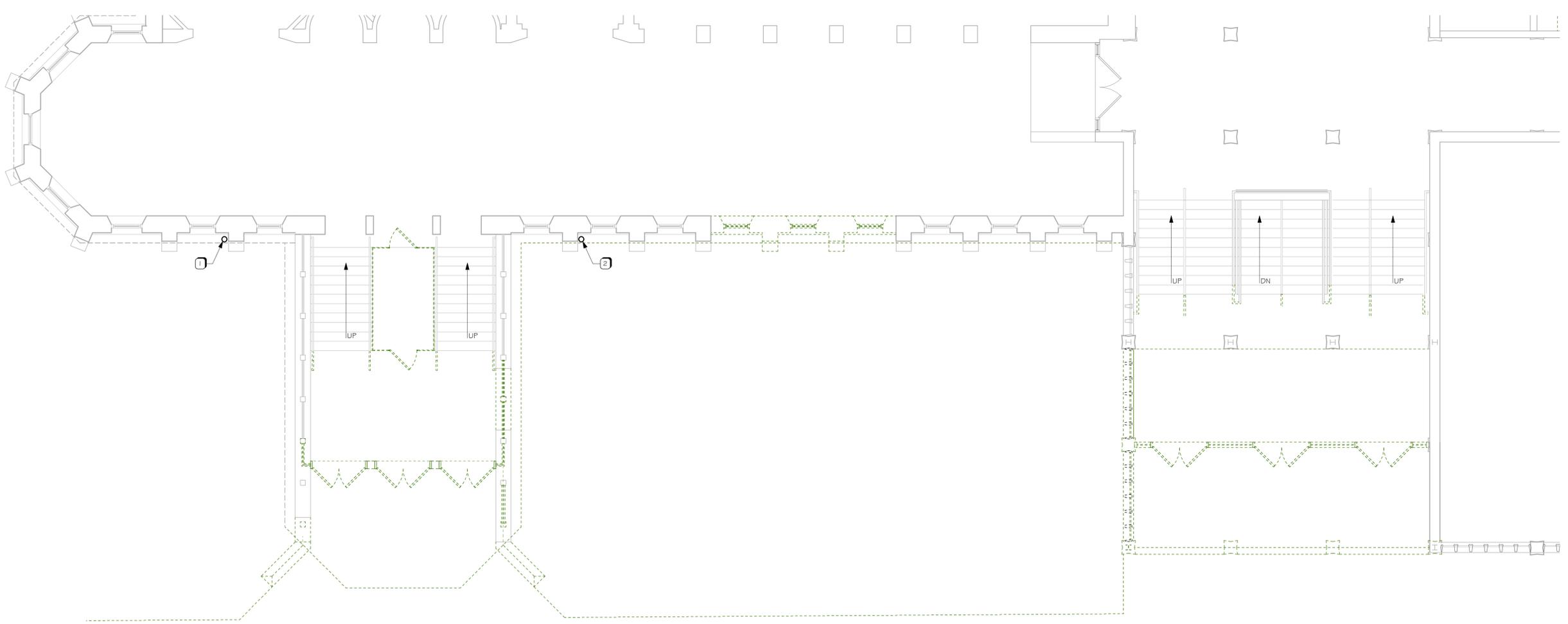
1
A1.1
DEMOLITION PLAN - LOWER LEVEL
SCALE: 3/16" = 1'-0" ON 24 x 36
3/32" = 1'-0" ON 11 x 17

KEYPLANS



ROOF DRAINAGE KEY NOTES - DEMOLITION PLANS

- 1 EXISTING RAIN WATER LEADER CONNECTED TO EXISTING ROOF DRAINAGE SYSTEM, TO REMAIN
- 2 EXISTING RAIN WATER LEADER AND GUTTERS, REMOVE.



2
A1.1
DEMOLITION PLAN - UPPER LEVEL
SCALE: 3/16" = 1'-0" ON 24 x 36
3/32" = 1'-0" ON 11 x 17

Proposed Entrance / Elevator Addition For:
MOUNT OLIVET LUTHERAN CHURCH
5025 KNOX AVE. S
MINNEAPOLIS, MN

Paul Meyer
ARCHITECTS, INC.
15650 36TH AVENUE NORTH, SUITE 170
PLYMOUTH, MINNESOTA 55446
TEL 763-557-9081 / FAX 763-557-9233
PROJECT # 13995.01

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

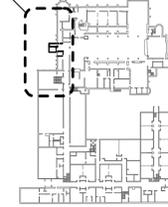
ISSUE/REVISIONS
JAN 22, 2014 SITE PLAN
REVIEW / PDR.

DEMOLITION PLANS

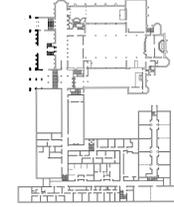
A1.1

KEYPLANS

1
A2.1



LOWER LEVEL



UPPER LEVEL



Proposed Entrance / Elevator Addition For:
MOUNT OLIVET LUTHERAN CHURCH
5025 KNOX AVE. S
MINNEAPOLIS, MN

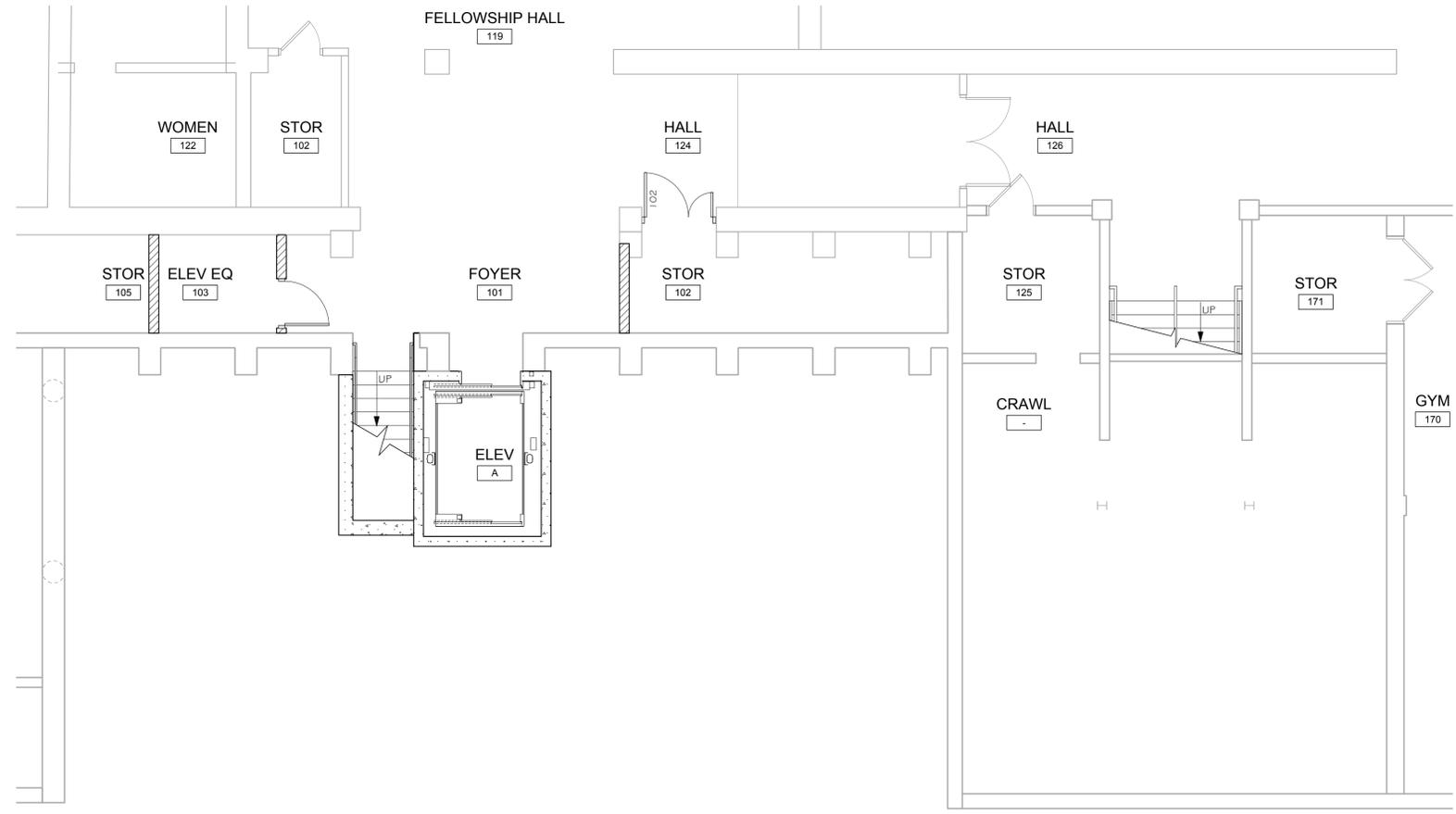
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JAN 22, 2014 SITE PLAN
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FLOOR PLAN -
LOWER LEVEL

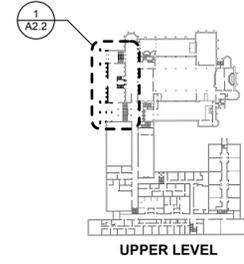
A2.1



1
A2.1 FLOOR PLAN - LOWER LEVEL
SCALE: 3/16" = 1'-0" ON 24 x 36
3/32" = 1'-0" ON 11 x 17

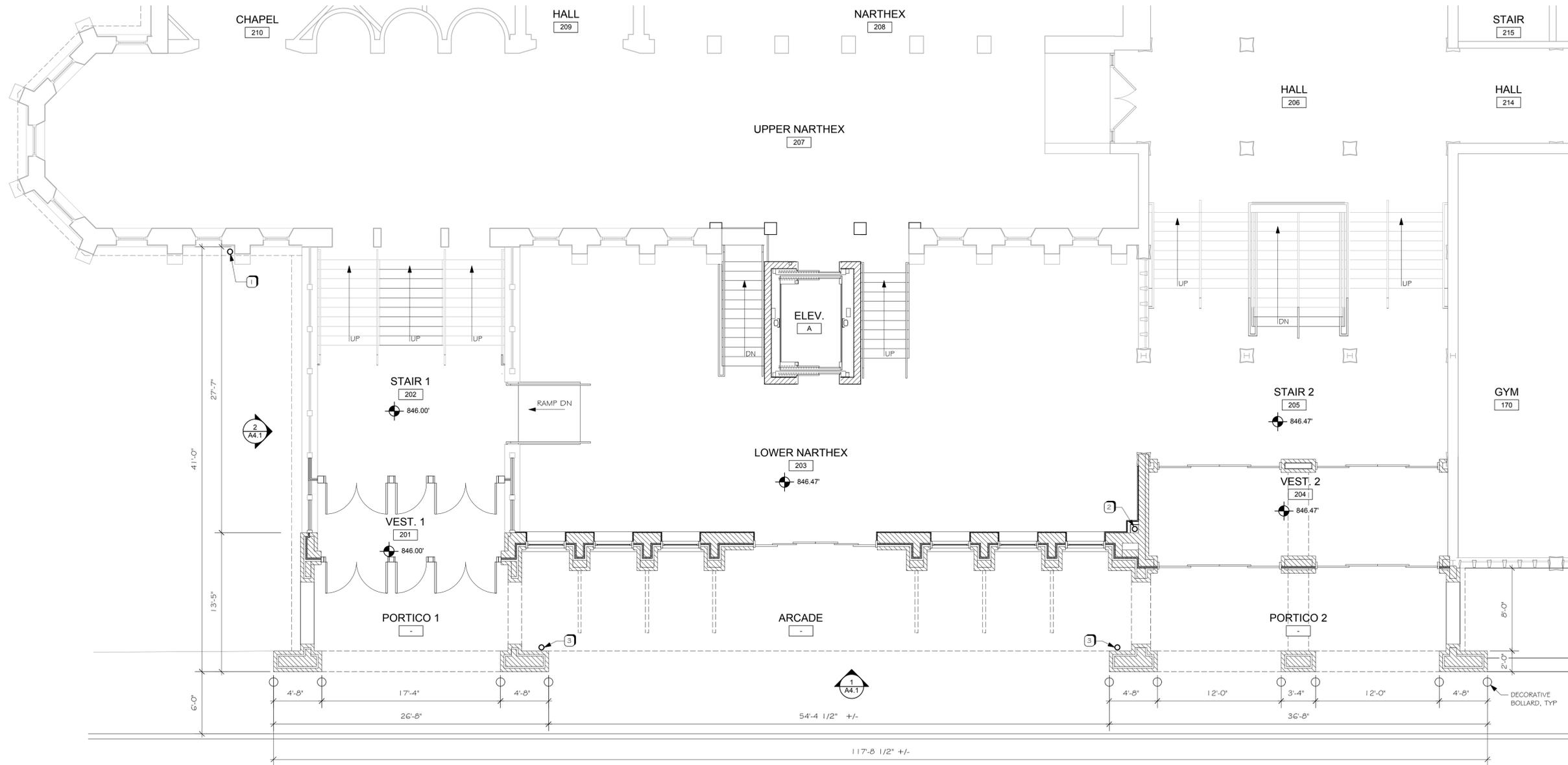


KEYPLANS



ROOF DRAINAGE KEY NOTES - FLOOR PLAN

- 1 EXISTING RAIN WATER LEADER, CONNECTED TO EXISTING ROOF DRAINAGE SYSTEM
- 2 NEW RAIN WATER LEADER FOR NEW FLAT ROOF AREA. CONNECT TO EXISTING ROOF DRAINAGE SYSTEM.
- 3 NEW RAIN WATER LEADER AND GUTTER FOR SLOPED ROOF AREAS. CONNECT TO EXISTING ROOF DRAINAGE SYSTEM.



2 FLOOR PLAN - UPPER LEVEL
A2.2 SCALE: 3/16" = 1'-0" ON 24 x 36
3/32" = 1'-0" ON 11 x 17

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FLOOR PLAN - UPPER LEVEL
A2.2



Proposed Entrance / Elevator Addition For:
MOUNT OLIVET LUTHERAN CHURCH
 5025 KNOX AVE. S
 MINNEAPOLIS, MN

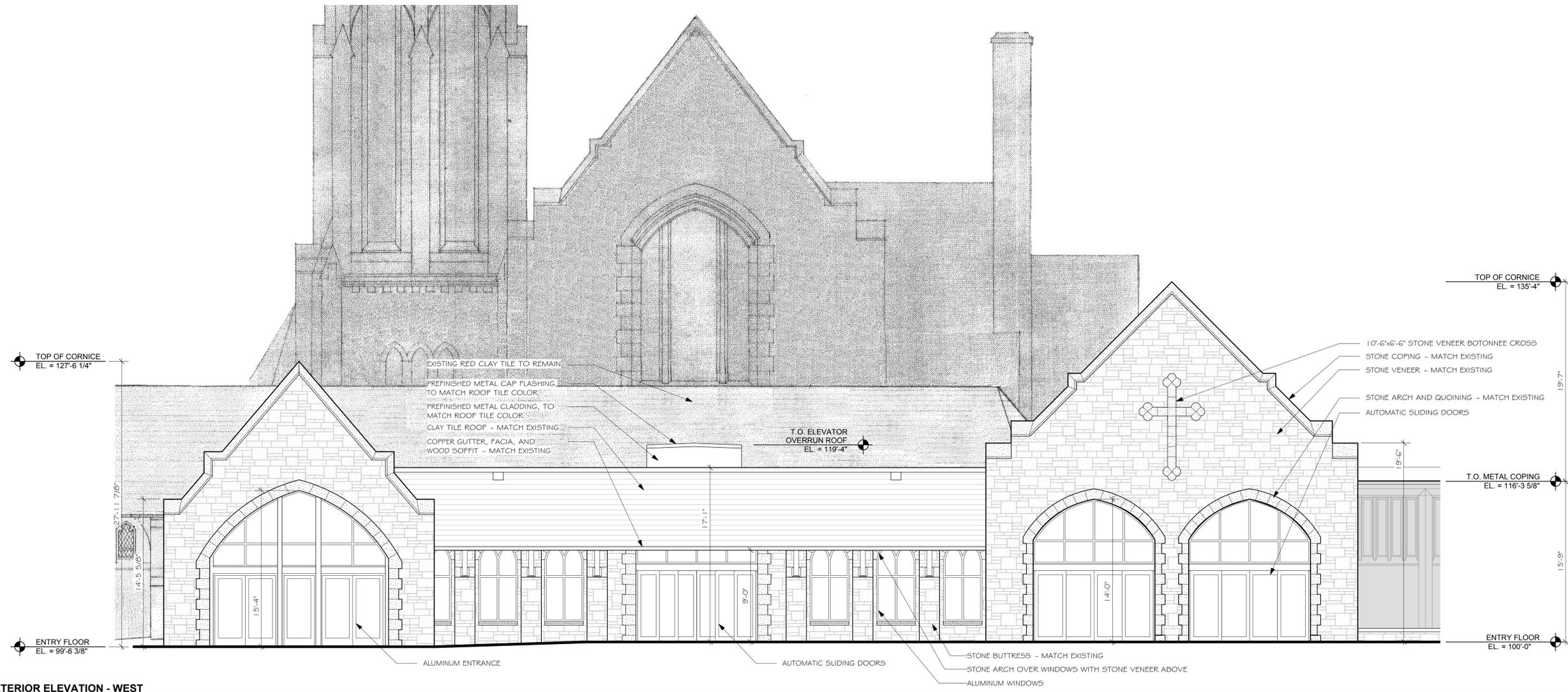
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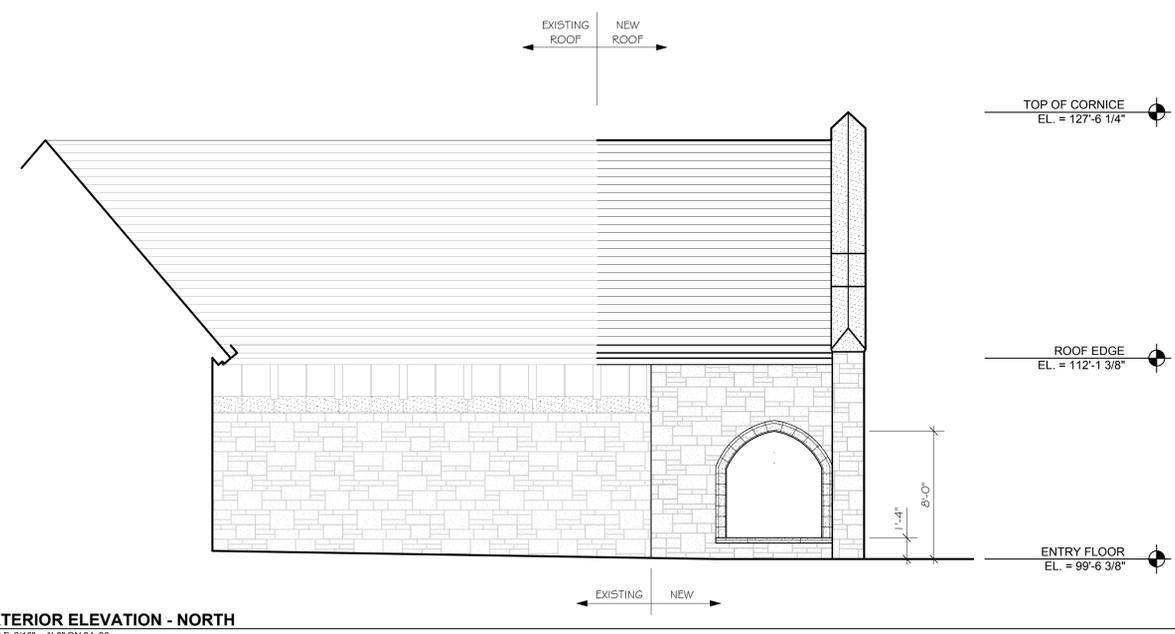
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 REVIEW / PDR

**EXTERIOR
 ELEVATIONS**

A4.1



1 EXTERIOR ELEVATION - WEST
 SCALE: 3/16" = 1'-0" ON 24x36
 3/32" = 1'-0" ON 11x17



2 EXTERIOR ELEVATION - NORTH
 SCALE: 3/16" = 1'-0" ON 24x36
 3/32" = 1'-0" ON 11x17





SPEED LIMIT 4

MOUNT OLIVET PARKING LOT

Handicap parking sign

Handicap parking sign

Handicap parking sign





SPEED
LIMIT
30
CENTER
LANE
ONLY





WELCOME

DOOR #2