



CPED STAFF REPORT
Prepared for the City Planning Commission

CPC Agenda Item #2
March 3, 2014
BZZ-6375

LAND USE APPLICATION SUMMARY

Property Location: 600 Hennepin Avenue
Project Name: Mayo Clinic Square
Prepared By: [Hilary Dvorak](#), City Planner, (612) 673-2639
Applicant: Camelot
Project Contact: Carl Runck
Request: To allow modifications to an existing building.
Required Applications:

Site Plan Review	To allow modifications to an existing building.
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SITE DATA

Existing Zoning	B4S-2, Downtown Service District DP, Downtown Parking Overlay District
Lot Area	113,464 square feet / 2.60 acres
Ward(s)	7
Neighborhood(s)	Downtown West
Designated Future Land Use	Cultural/Entertainment
Land Use Features	Commercial Corridor (Hennepin Avenue) Activity center (Warehouse District)
Small Area Plan(s)	Downtown East/North Loop Master Plan

Date Application Deemed Complete	February 13, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	April 14, 2014	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The existing Block E development is located in downtown Minneapolis between North 6th Street, Hennepin Avenue, North 7th Street and 1st Avenue North. The building was first constructed in 2002 as an entertainment and retail complex. The development also included a hotel. Over the past several years the number of entertainment and retail businesses within Block E has shrunk. Currently there are a handful of food and beverage tenants still operating within the building in addition to the hotel.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The Block E development is surrounded by offices, hotels, entertainment uses, food and beverage uses and commercial uses. There are also several parking facilities, both structured parking ramps and surface parking lots, located in the area. The site is located in the Downtown West neighborhood.

PROJECT DESCRIPTION. The applicant is proposing to rehabilitate the Block E development (excluding the 601 Graves Hotel as this use is under separate ownership) on both the inside and the outside of the building. The existing tenants in the building (Starbucks, Jimmy Johns, Kieran's Irish Pub and the Shouhouse Dueling Piano Bar) will remain. All of these tenants are and will continue to be located on the first floor. The remainder of the first floor space (not less than 80 percent) will be marketed towards retail or restaurant tenants. The second floor will be marketed towards retail and office tenants. The third floor of the building will be occupied by the Minnesota Timberwolves and the Minnesota Lynx and the Mayo Clinic. The interior of the building will be modified so one can walk from Hennepin Avenue to 1st Avenue North without having to go up to the second floor of the building. The second floor skyway access points will remain. The exterior of the building will be modified. Windows will be added to all three levels of the building and the exterior materials will change significantly. A site plan review application is required in order to implement major changes to the approved site plan.

RELATED APPROVALS. In 2000, the City Planning Commission approved land use applications to allow a Planned Unit Development on the site. In 2002, the developer amended those approvals to allow changes to be made to the original design of the development. As part of the original approvals an exterior master sign plan was approved for the development.

PUBLIC COMMENTS. No public comments have been submitted. Any correspondence received prior to the public meeting will be forwarded on to the City Planning Commission for consideration.

ANALYSIS

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design –*Requires alternative compliance*

- The building reinforces the street wall, facilitates pedestrian access and maximizes natural surveillance. The building is set relatively close to the property lines, there are entrances and exits at street level that can be accessed by the public, there will be large windows on all sides of the building that maximize the opportunities for people to observe adjacent spaces and the

public sidewalks, and there will be new lights located on and around the building. The placement of the building is not changing.

- The majority of the building is located within eight feet of the front property lines. However, there are portions of the building that are set back further. This is an existing condition of the building and the building placement is not changing.
- Where the building is setback further than eight feet from the property lines there are outdoor patio areas, a porte-cochère and landscaping.
- The principal entrances to the building will face Hennepin Avenue and 1st Avenue North. Other ground floor tenants will have entrances facing a public street.
- All of the on-site parking is located below the building.
- A mixture of exterior building materials will be used to provide visual interest.
- The size of the building walls will be broken up into smaller identifiable sections using a mix of building materials and windows.
- There will be areas on each building wall that are over 25 feet in length and blank. Alternative compliance is needed.
- The exterior materials of the building include stone, metal, cement panel and glass. Where cement panel is used it does not make up more than 30 percent of any single building elevation.
- All four sides of the building will be similar to and compatible with each other.
- Plain face concrete block will not be used as an exterior building material.
- Windows will be added to the building where they currently do not exist? The windows in the development will be vertical in nature and will be more or less evenly distributed along the building walls. See **Table I**.
- More than 70 percent of each side of the building will contain active functions at the ground level.
- The roof pitch of the building is flat which is similar to other buildings in the area.
- All of the on-site parking is located below the building.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

Nonresidential Uses	Code Requirement		Proposed	
	1 st Floor, Hennepin Avenue	30% minimum	5,700 sq. ft.	55%
1 st Floor, North 7 th Street	30% minimum	5,655 sq. ft.	47%	2,674 sq. ft.
1 st Floor, 1 st Avenue North	30% minimum	4,693 sq. ft.	42%	1,973 sq. ft.
1 st Floor, North 6 th Street	30% minimum	4,192.5 sq. ft.	57%	2,391 sq. ft.
2 nd Floor and Above, Hennepin Avenue	10% minimum	4,800 sq. ft.	41%	1,950 sq. ft.
		11,100 sq. ft.	16%	1,721 sq. ft.
2 nd Floor and Above, North 7 th Street	10% minimum	4,640 sq. ft.	37%	1,704 sq. ft.
		8,880 sq. ft.	17%	1,478 sq. ft.
2 nd Floor and Above, 1 st Avenue North	10% minimum	4,368 sq. ft.	45%	1,950 sq. ft.
		5,278 sq. ft.	19%	1,020 sq. ft.
2 nd Floor and Above, North 6 th Street	10% minimum	3,440 sq. ft.	34%	1,184 sq. ft.
		8,510 sq. ft.	17%	1,470 sq. ft.

Access and Circulation – Meets requirements

- All ground floor building entrances are directly connected to the public sidewalks.
- The applicant is not proposing to construct any transit shelters as part of this development. All existing transit shelters will remain.
- All of the on-site parking is located below the building and is accessed off of North 7th Street.
- The area outside of the building footprint is not changing as part of this development. The applicant may make changes to the streetscape in the future and would do so with the permission of Public Works.

Landscaping and Screening – Not applicable

- This site is exempt from the general landscaping and screening requirements of Chapter 530, Site Plan Review as the site is located in the B4S-2 zoning district and the building is larger than 50,000 square feet.

Additional Standards – Meets requirements

- All of the on-site parking is located below the building.
- The height and location of the building is existing so views of important elements of the city will not change.
- Shadowing of public spaces and adjacent properties will not change as the height and location of the building is existing.
- The building has different setbacks and materials will project from the building at different depths which should help minimize wind effects on the surrounding area.
- The site plan complies with crime prevention design elements as the building entrances are connected to the public sidewalks, there will be large windows on all sides of the building that maximize the opportunities for people to observe adjacent spaces and the public sidewalks,

there will be lights located near all of the pedestrian entrances and there will be new lights located on and around the building.

- This site is neither historically designated nor located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The development was originally approved as a planned unit development which is a conditional use in the B4S-2 District.

Off-street Parking and Loading – Meets requirements with conditions of approval

- There are 540 parking spaces located below the building. No additional parking will be added to the building.
- In the downtown zoning districts the bicycle parking requirement is one space for every 20 automobile parking spaces provided. There are 540 automobile parking spaces in the building so the bicycle parking requirement is 27 spaces. No bicycle parking spaces are provided on site. CPED is recommending that a minimum of 27 bicycle parking spaces be provided on site.

Building Bulk and Height – Meets requirements

- No additional bulk will be added to the building as part of this development.

Table 3. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	1 acre	113,464 sq. ft. / 2.60 acres
Gross Floor Area (GFA)	--	271,654 sq. ft. (not including the hotel)
Minimum Floor Area Ratio (GFA/Lot Area)	2.0	2.39 (not including the hotel)
Maximum Floor Area Ratio (GFA/Lot Area)	8.0	2.39 (not including the hotel)
Maximum Building Height	None	4 stories (not including the hotel)

Residential Lot Requirements –Not applicable

Yard Requirements –Not applicable

Signs – Meets requirements

- As part of the original approvals for the development in 2000/2002 an exterior master sign plan was approved for the development. The building was permitted to have up to 26,000 square feet of signage on the building, including off-premise advertising signs. The overall amount of signage on the building, including the off-premise advertising signs, will be reduced significantly from what is currently on the building. All of the proposed signs are in conformance with the exterior master sign plan.

Dumpster Screening – *Meets requirements*

- The trash and recycling area is located within the building.

Screening of Mechanical Equipment – *Meets requirements*

- All mechanical equipment will be located on the roof of the building. The mechanical equipment is screened by the building itself.

Lighting – *Meets requirements*

- A lighting plan showing footcandles was not submitted as part of the application materials. All lighting shall comply with Chapter 535, Regulations of General Applicability and Chapter 541, Off-Street Parking and Loading. CPED staff shall review the lighting plan prior to permit issuance.

Impervious Surface Area –*Not applicable*

Specific Development Standards –*Not applicable*

DP Downtown Parking Overlay District Standards –*Not applicable*

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as Public and Institutional on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

- 10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.
- 10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.
- 10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.
- 10.2.4 Integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street.
- 10.2.5 Locate access to and egress from parking ramps mid-block and at right angles to minimize disruptions to pedestrian flow at the street level.
- 10.2.8 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

With the proposed changes to the building the development will be in conformance with the above policies of *The Minneapolis Plan for Sustainable Growth*.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The *Downtown East/North Loop Master Plan* was approved by the Minneapolis City Council in October of 2003. The future land use map in the *Downtown East/North Loop Master Plan* designates the site as Cultural/Entertainment. The plan divides the study area into different development precincts. This site is located in the West Hennepin precinct. The plan identifies this site as an area for high intensity (14 floors and taller) development. The plan also calls for street level retail. According to the principles and policies outlined in the *Downtown East/North Loop Master Plan*, the following apply to this proposal:

Design streets and buildings to eliminate long stretches of blank, inactive building walls.

Introduce building components that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along streets, especially where skyway alternatives don't or won't exist.

Encourage sidewalk retail and restaurants at locations specified in the Land Use Plan.

Design public spaces and private plazas to encourage their use and to place a strong emphasis on the creation of "green" in these new spaces. Open spaces should connect directly to city streets and they should be well-integrated into the public domain.

Design new and rehabbed buildings to have an urban street frontage with direct access to the public sidewalk.

Improve greening and landscaping along public sidewalks.

Include prominent front entrances and abundant window glass on building facades.

Face principal entrances of buildings – commercial, industrial, residential – to the street and public sidewalk.

With the proposed changes to the building the development will be in conformance with the above policies of the *Downtown East/North Loop Master Plan*.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Blank Walls.** There will be areas on each building wall that are over 25 feet in length and blank. The areas that are blank are primarily on the upper levels of the building but there are some blank areas on the first floor of the building facing North 7th Street. Many of the areas that will be blank are in areas where existing vertical circulation systems exist. In other areas large masses of one material will be used and will have joint lines between them. While the material will be continuous for more than 25 linear feet the building has been designed with a lot of movement so as to not appear blank. CPED recommends that the City Planning Commission grant alternative compliance.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow modifications to an existing building at the property located at 600 Hennepin Avenue, subject to the following conditions:

1. Approval of the final site, landscaping, elevation and lighting plans by the Department of Community Planning and Economic Development
2. All site improvements shall be completed by March 3, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. A minimum of 27 bicycle parking spaces shall be provided on site.

ATTACHMENTS

1. Written description submitted by applicant
2. Exterior master sign plan (2002)
3. Zoning map
4. Plans
5. Building elevations
6. Renderings
7. Photos
8. Correspondence

STATEMENT OF PROPOSED USE AND DESCRIPTION OF PROJECT

BLOCK E

Originally constructed in 2002 as an entertainment/retail destination, Block E has seen a slow, but steady attrition of occupancy over the last several years. At this time, essentially the only tenants that remain in the building are Starbucks, Jimmy Johns, Kieran's Irish Pub, and the Shouthouse Dueling Piano Bar.

Under new ownership, the building is now being redesigned to better attract market-based tenancies that will activate and energize the entire block. At this time, an unknown combination of office and restaurant/retail tenants are being marketed to occupy both the street, and skyway levels. A single tenant is intended to occupy the entire 3rd level (the former theater space) of the building. The That tenant will likely sublet some of their space to a synergistic tenant that will augment the quality of services for this floor of the building.

Architecturally, the entire exterior façade (excluding the 601 Graves Hotel) will be updated. Through a combination of removing the finicky, Italianate detailing of the existing building, and adding large, bold contemporary gestures to it, the façade will be transformed into a modern expression for the City of Minneapolis.

The ground level will maintain 30 percent (minimum) of glazed area as required by the zoning ordinance, and will also introduce expanses of natural, durable stone veneer. This quality material will add an expression of stability and sophistication to the pedestrian-scale street presence of the building. Levels 2 and three will incorporate bold gestures and combinations of metal panel, glass, and perforated, three-dimensional scrim. These materials will be curated in a way that reinforces the building massing and hierarchy, as well as composes updated digital media and billboards.

New sidewalk is also planned for the entire building perimeter, as well as a reorganized Kieran's patio. New seat walls and planters will also be incorporated into the site design to emphasize pedestrian scale and activity.

BLOCK E

EXTERIOR MASTER SIGN PLAN

REVISED AUGUST 2002

The Exterior Master Sign Plan for the planned unit development is governed by the following requirements:

1. Total exterior sign area of all exterior signs in the planned unit development shall not exceed a maximum of 26,000 square feet.
2. All exterior signage for the planned unit development shall be governed by the Downtown Entertainment Area provisions for on-premises signage, under Chapter 543 of the Minneapolis Zoning Code, except as modified herein. If there is a conflict between Minneapolis Zoning Code Chapter 543 and the Exterior Master Sign Plan, as set forth herein, the provisions of the Exterior Master Sign Plan shall govern.
3. Roof signage for the hotel in the planned unit development shall be of the size and area shown on Building Signage Elevation Sheets SK-529A and SK 529B dated June 21, 2002, attached hereto.
4. Building Signage Elevations Sheets SK-529A, SK-529B, SK-529C, and SK-529D dated June 21, 2002, attached hereto, set forth certain requirements for all exterior signage for the planned unit development.
 - a. Areas 1 through 30, three hotel signs, and T signs (formerly Areas A through N on the elevation sheets dated May 4, 2000; each elevation has its own Areas A through M3, or N2, or J6, or K3, as the case may be) ("Exterior Sign Locations") depict the locations in which exterior signage may be located in the planned unit development along Hennepin Avenue, Seventh Street, First Avenue North and Sixth Street. The Exterior Sign Locations establish:
 - i. the areas of permitted placement of exterior signage in the planned unit development;
 - ii. the maximum distance of tops and bottoms of signage above street level;
 - iii. the maximum distance of signage above the planned unit development roof line; and

iv. the maximum height and width of the areas for individual signs.

- b. Eight categories of sign type will be allowed on the exterior of the planned unit development. The eight categories are identified as Sign Types I through VIII and are depicted on Building Signage Details Sheets A-27 and A-28 dated May 4, 2000, attached hereto. The Sign Types are further defined in nine 11 inch X 17 inch drawings dated May 15, 2000, attached hereto. As to Sign Type VIII, none of the awning signs shall be back-lighted. In no event shall there be more than 2 signs of Sign Type I on the exterior of the planned unit development.
- c. A specific Sign Type or Types is allowed in each of the Exterior Sign Locations. The sign type allowed in each area is shown on the BLOCK E Sign Program July 2002, attached hereto.

5. The following provisions of the Minneapolis Zoning Code are not applicable to the planned unit development, subject to the Exterior Master Sign Plan set forth in paragraphs 1 through 4 above and within the areas set forth on the Building Signage Elevations Sheets SK-529A, SK-529B, SK-529C, and SK-529D dated June 21, 2002, attached hereto.

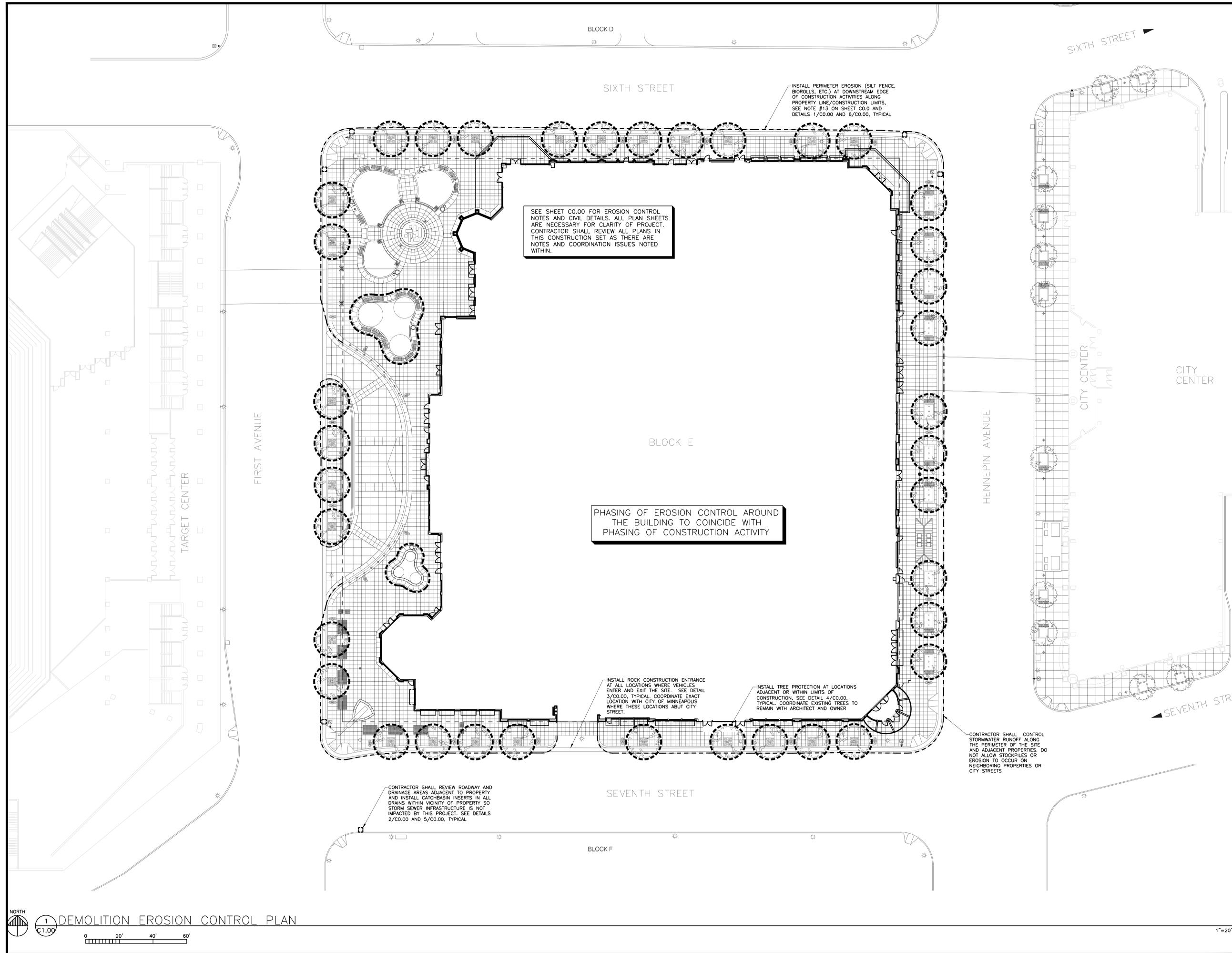
- a. The limitations of Sections 543.50 (2) (roof signs), (6) (audible signs) subject to acceptable standards to be developed by the City, (9) (searchlights only), and (10) (signs attached to skyway bridges and intended to be read from the public right-of-way).
- b. The limitations of Sections 543.180 (a)(2), (3), and (4) relating to theater marquees (maximum vertical dimension of theater changeable copy signs, maximum of 3 changeable copy signs on any one marquee or one changeable copy sign on any one face, and identification signs on or above the theater marquee).
- c. The limitations of Sections 543.210 (b)(1), (2), and (3) relating to banners (prohibiting commercial messages or logos from decorative banners, maximum aggregate area for decorative banners, and height limitation).
- d. The limitations of Section 543.320 relating to signs which mention a specific product or brand name sold or offered on the premises.

6. The following exterior signage is expressly permitted in the planned unit development, subject to paragraphs 1 through 4 above: neon signs, moving

neon signs, electronic streaming text signs, flashing or chasing light signs, jumbo-tron signs and animated three dimensional signs with moving parts.

7. All signs shall be maintained and repaired in accordance with Section 543.370. The developer shall use commercially reasonable efforts to keep electronic, lighted or animated signs operational at all times.
8. Exterior signs in the planned unit development would direct attention to or promote a business, establishment, or activity conducted, or a product, service, interest or entertainment sold or offered, within the planned unit development. The advertised business, establishment, activity, product, service, interest or entertainment may be sold or offered through retail establishments or product or promotional displays.
9. All exterior signs that do not conform to the requirements of Chapter 543 as modified herein shall be subject to review by the Planning Director prior to installation to determine consistency with this planned unit development approval.

M1:622204.06



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Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Signature Rhonda S. Poiré
 Registration No. 41333
 Date 02/10/2014

Project For



MAYO CLINIC SQUARE

Project No.	2670.001
Drawn By	TPS
Checked By	RSP
Date	02/10/14

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Mark	Date	LAND USE APPLICATION	Description

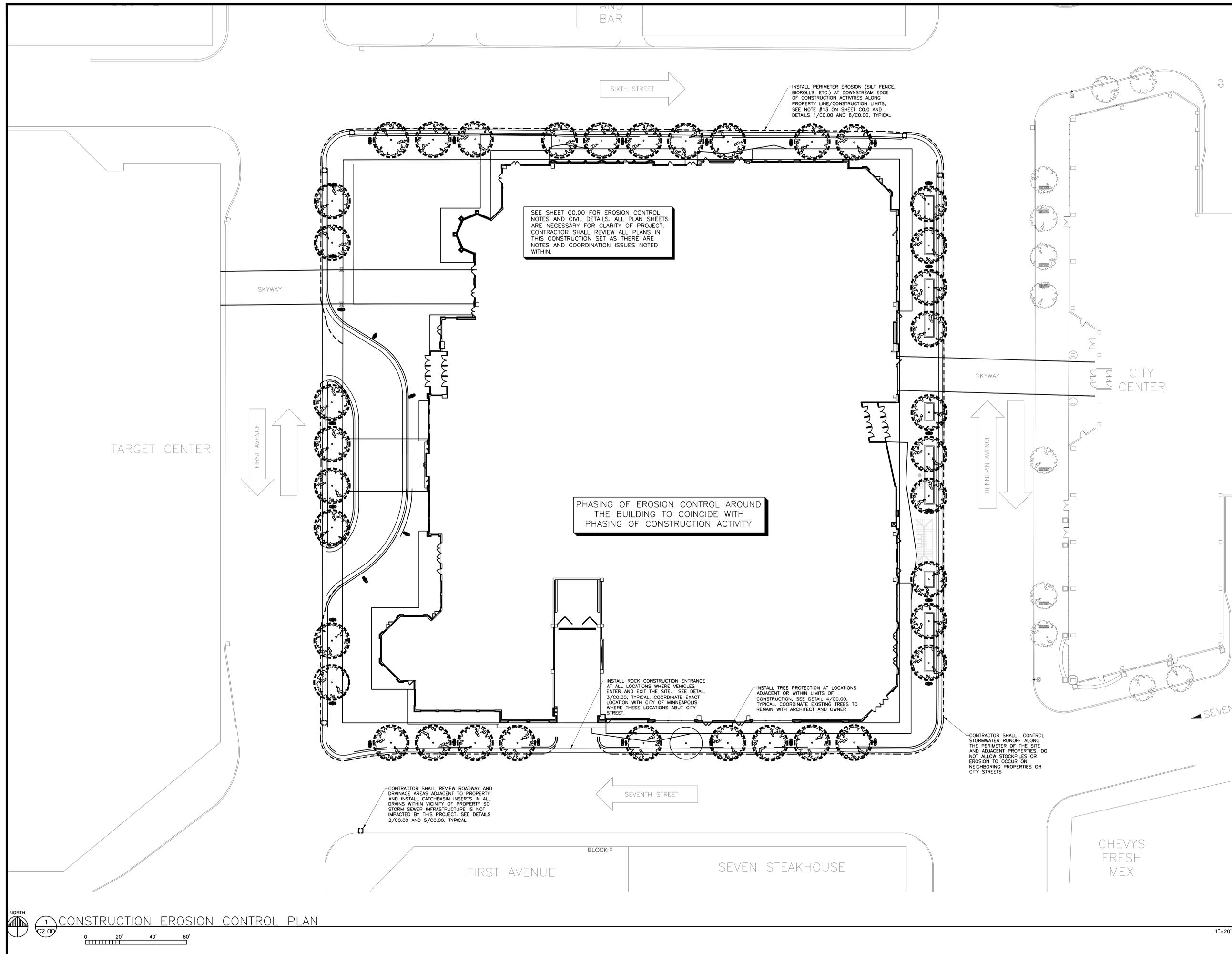
**MAYO CLINIC SQUARE
 DEMOLITION
 EROSION CONTROL
 PLAN**

C1.00

1
 DEMOLITION EROSION CONTROL PLAN



1"=20'



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Signature: *Rhonda S. Ponce*
 Registration No.: 41333
 Date: 02/10/2014

Project For



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Mark	Date	LAND USE APPLICATION	Description

MAYO CLINIC SQUARE
**CONSTRUCTION
 EROSION CONTROL
 PLAN**

C2.00





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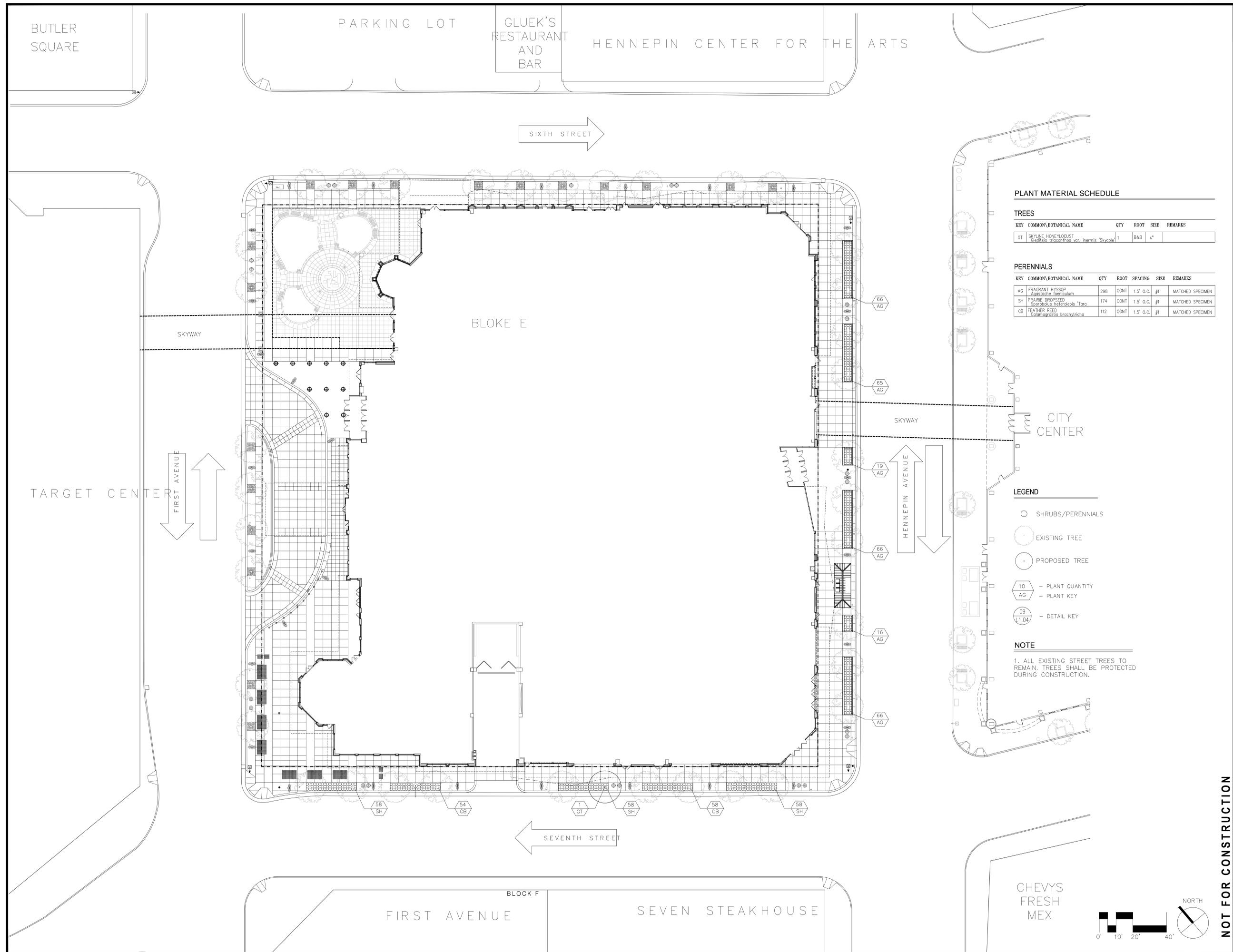
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Signature Jaw Khan
 Registration No. 24862
 Date 02/10/14

Project For



MAYO CLINIC SQUARE



PLANT MATERIAL SCHEDULE

TREES

KEY	COMMON/BOTANICAL NAME	QTY	ROOT SIZE	REMARKS
GT	SKYLINE HONEYLOCUST <i>Gleditsia triacanthos</i> var. <i>inermis</i> "Skycole"	1	B&B 4"	

PERENNIALS

KEY	COMMON/BOTANICAL NAME	QTY	ROOT SPACING	SIZE	REMARKS
AG	FRAGRANT HYSSOP <i>Agastache foeniculum</i>	298	CONT	1.5' O.C.	#1 MATCHED SPECIMEN
SH	RAIRIE DROPSIED <i>Sporobolus heterolepis</i> "Targ"	174	CONT	1.5' O.C.	#1 MATCHED SPECIMEN
CB	FEATHER REED <i>Calamagrostis brachytricha</i>	112	CONT	1.5' O.C.	#1 MATCHED SPECIMEN

LEGEND

- SHRUBS/PERENNIALS
- EXISTING TREE
- PROPOSED TREE
- 10 AG - PLANT QUANTITY
- AG - PLANT KEY
- 09 L1.04 - DETAIL KEY

NOTE

1. ALL EXISTING STREET TREES TO REMAIN. TREES SHALL BE PROTECTED DURING CONSTRUCTION.

NOT FOR CONSTRUCTION

Project No. 2670.001
 Drawn By HZH
 Checked By TK
 Date 02/10/14

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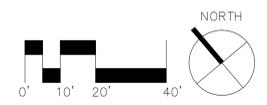
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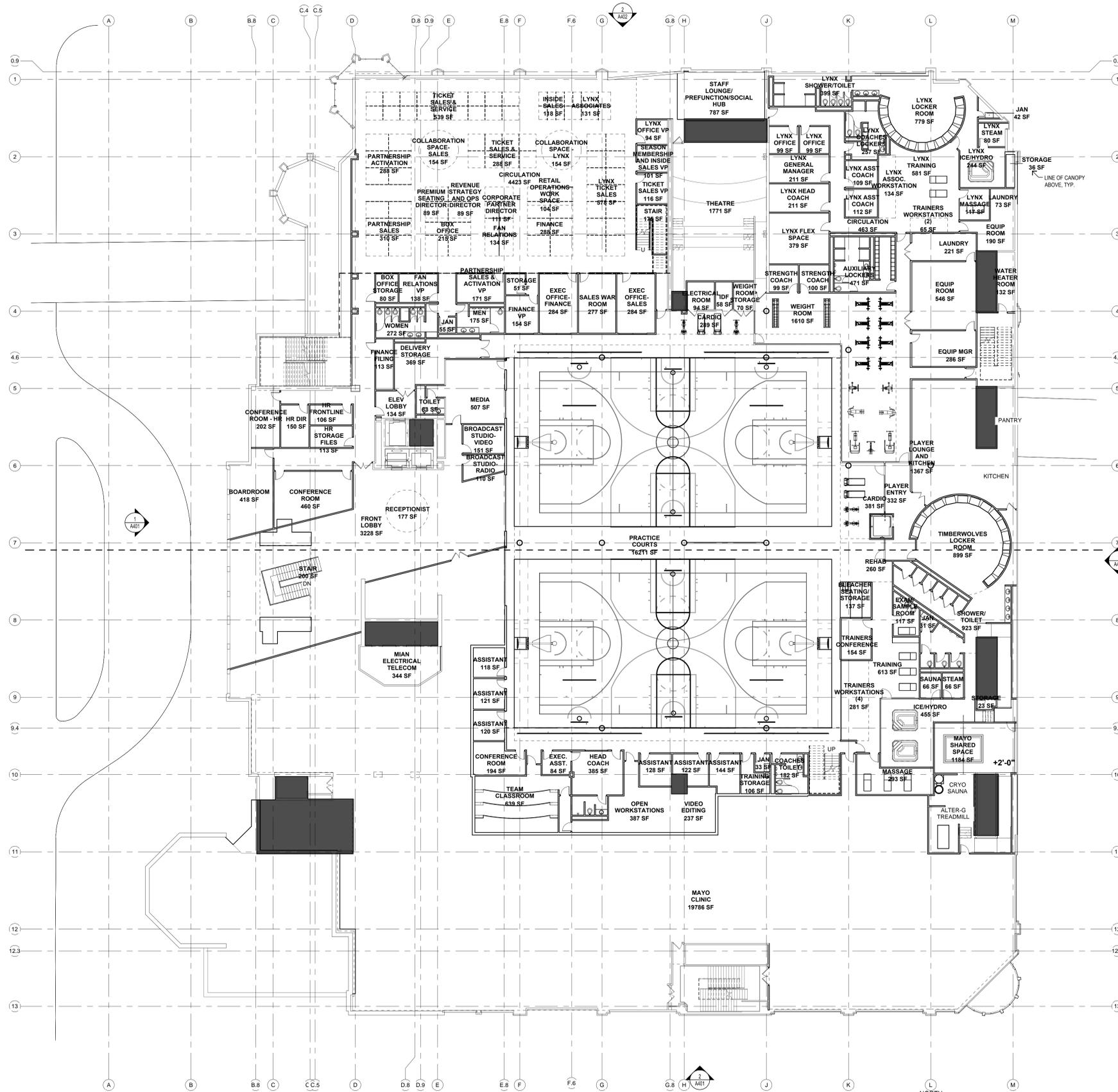
MAYO CLINIC SQUARE

LANDSCAPE PLAN

L2.00



***INTERIOR LAYOUT SHOWN FOR REFERENCE ONLY,
SEE TIMBERWOLVES PLANS FOR EXACT LAYOUT.



1 THIRD FLOOR PLAN
1/8" = 1'-0"



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Signature

Registration No.

Date

Project For



MAYO CLINIC SQUARE

Project No. 2558.001.00

Drawn By SS

Checked By CLK

Date 02/10/14

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Mark	Date	Description

MAYO CLINIC SQUARE

THIRD LEVEL FLOOR PLAN

A103



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Signature

Registration No.

Date

Project For



MAYO CLINIC SQUARE

Project No. 2558.001.00

Drawn By SS

Checked By CLK

Date 02/10/14

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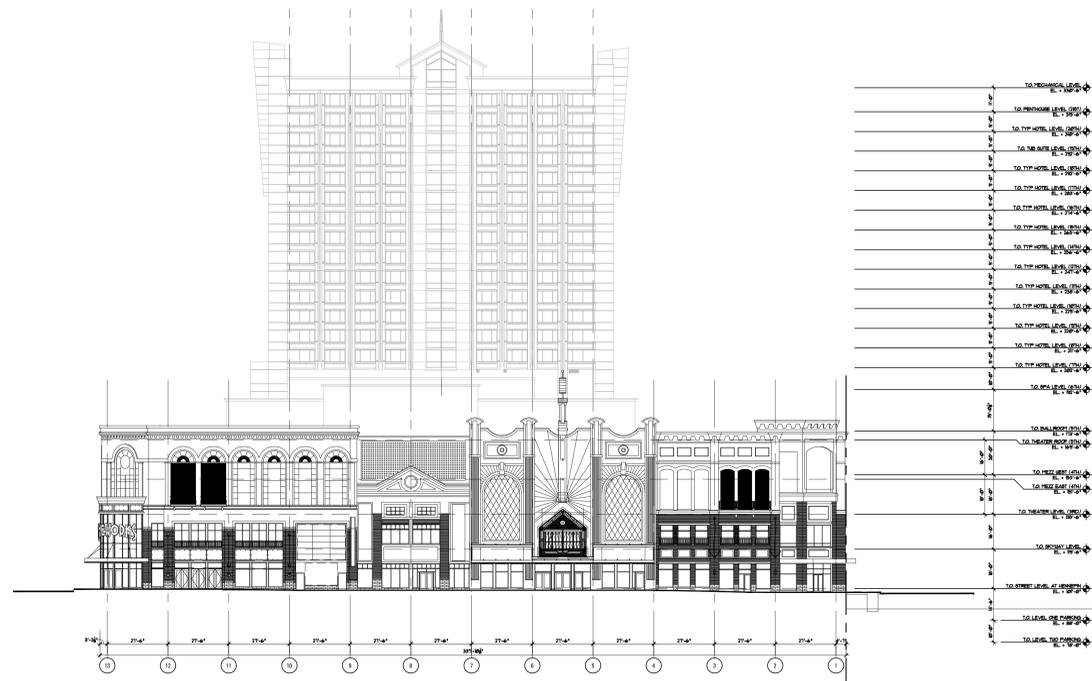
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Mark	Date	Description
2/10/14		LAND USE APPLICATION

MAYO CLINIC SQUARE

COMPARISON ELEVATIONS

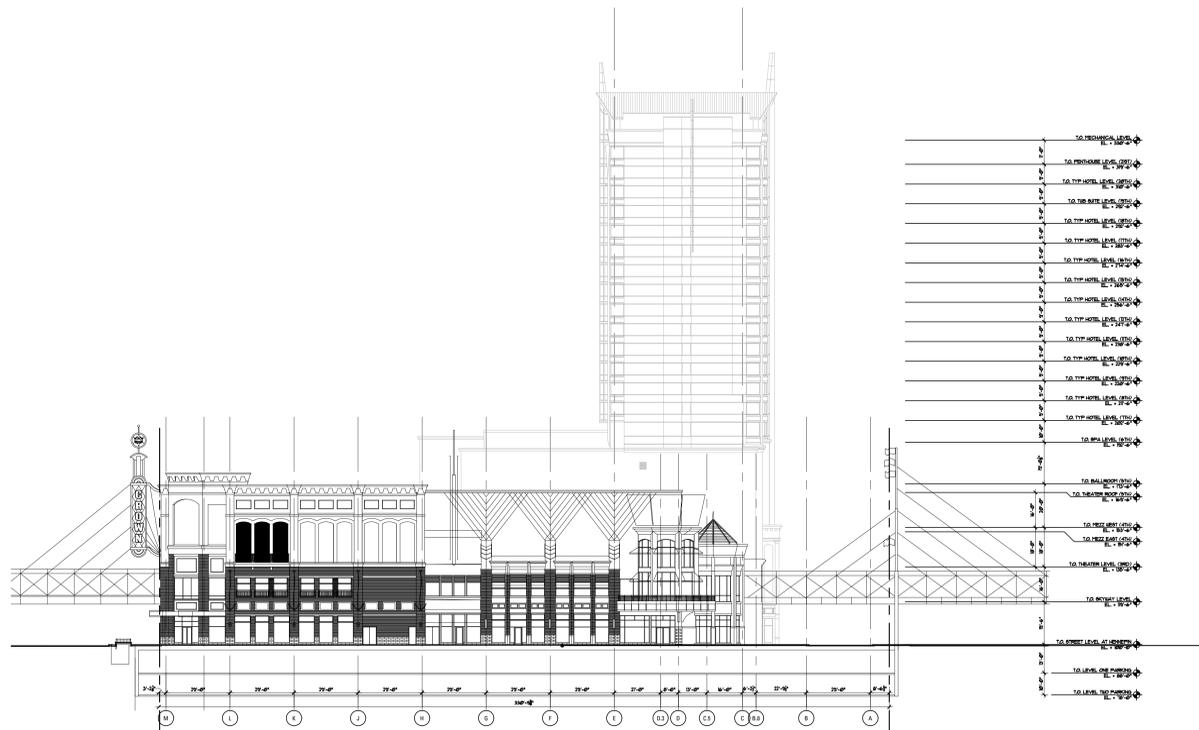
A404



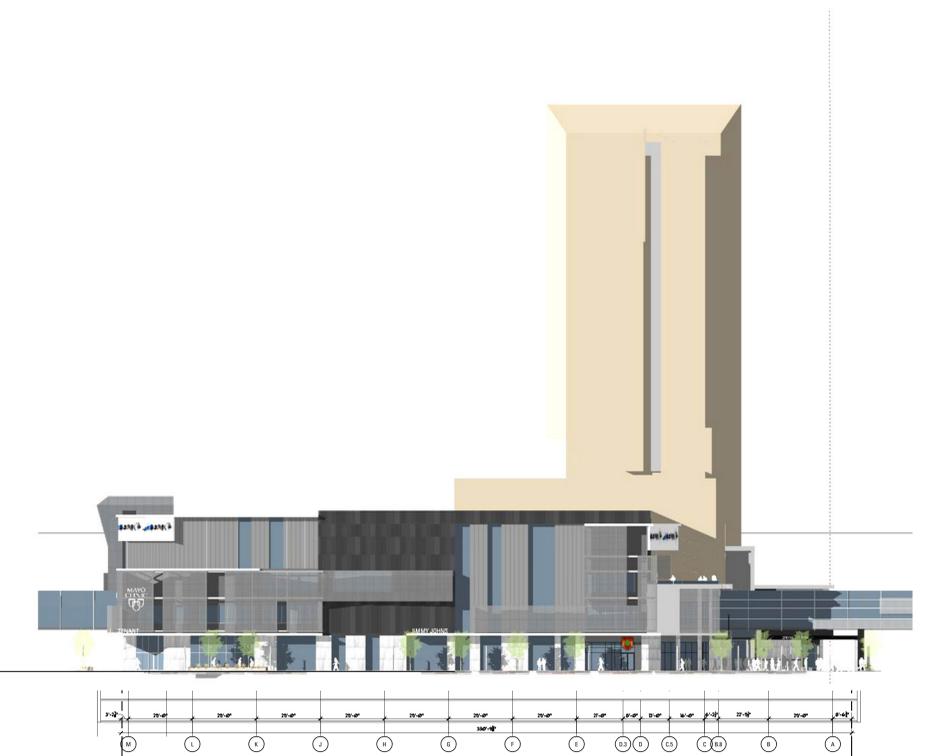
1 HENNEPIN AVENUE ELEVATION-BEFORE
 1/32" = 1'-0"



2 HENNEPIN AVENUE ELEVATION-AFTER
 1/32" = 1'-0"



3 6TH STREET ELEVATION-BEFORE
 1/32" = 1'-0"



4 6TH STREET ELEVATION-AFTER
 1/32" = 1'-0"

*** DASHED YELLOW AREAS INDICATE APPROXIMATE LOCATIONS OF EXISTING CLEAR CHANNEL SIGNAGE RIGHTS ON THE BUILDING (TOTAL OF 17,036 S.F.)



RSP Architects 612.677.7100
 1220 Marshall Street NE 612.677.7499 fax
 Minneapolis MN 55413-1036 www.rsparch.com

Consultants

Certification

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Signature

Registration No.

Date

Project For



MAYO CLINIC SQUARE



Project No. 2558.001.00

Drawn By SS

Checked By CLK

Date 02/10/14

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Mark	Date	Description
2/10/14		LAND USE APPLICATION

MAYO CLINIC SQUARE

SIGNAGE EXHIBIT

A407

*** DASHED YELLOW AREAS INDICATE APPROXIMATE LOCATIONS OF EXISTING CLEAR CHANNEL SIGNAGE RIGHTS ON THE BUILDING (TOTAL OF 17,036 S.F.)



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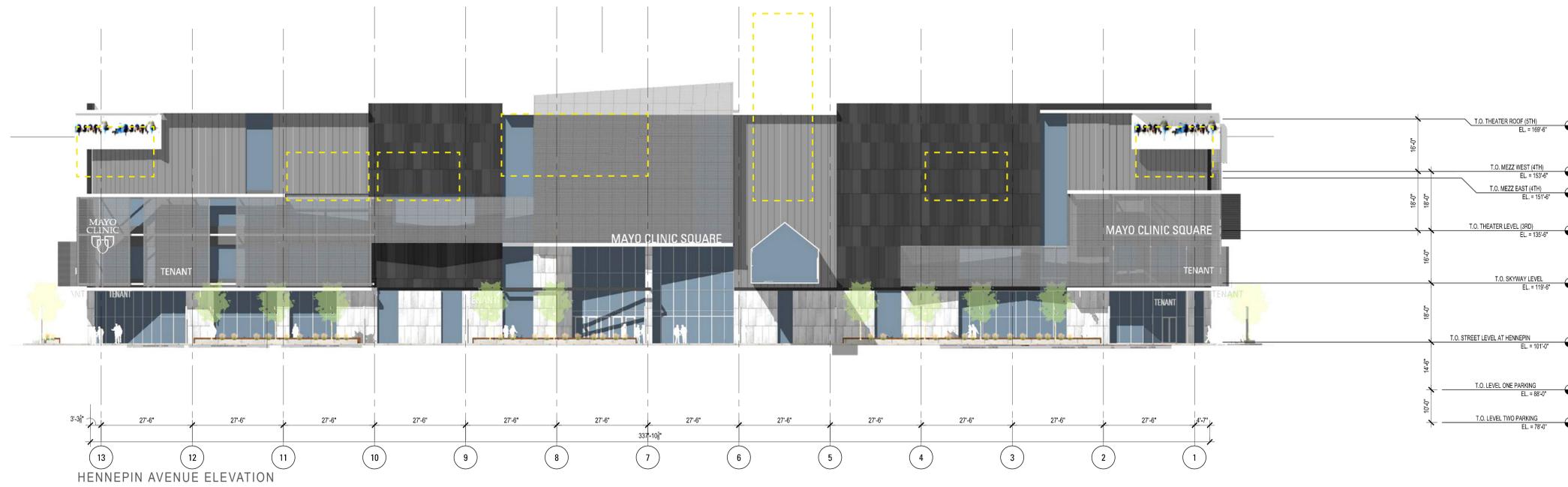
Registration No.

Date

Project For



MAYO CLINIC SQUARE



HENNEPIN AVENUE ELEVATION



SIXTH STREET ELEVATION

Project No. 2558.001.00

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Date 02/10/14

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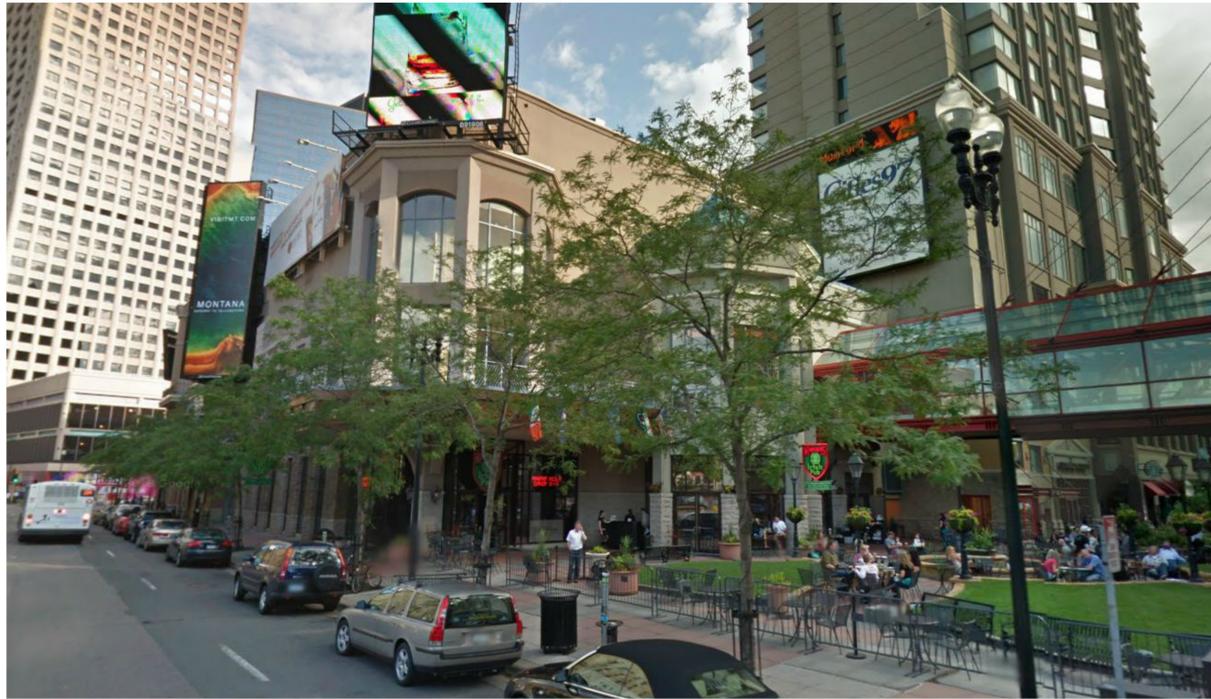
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Mark	Date	Description
2/10/14		LAND USE APPLICATION

MAYO CLINIC SQUARE

SIGNAGE EXHIBIT

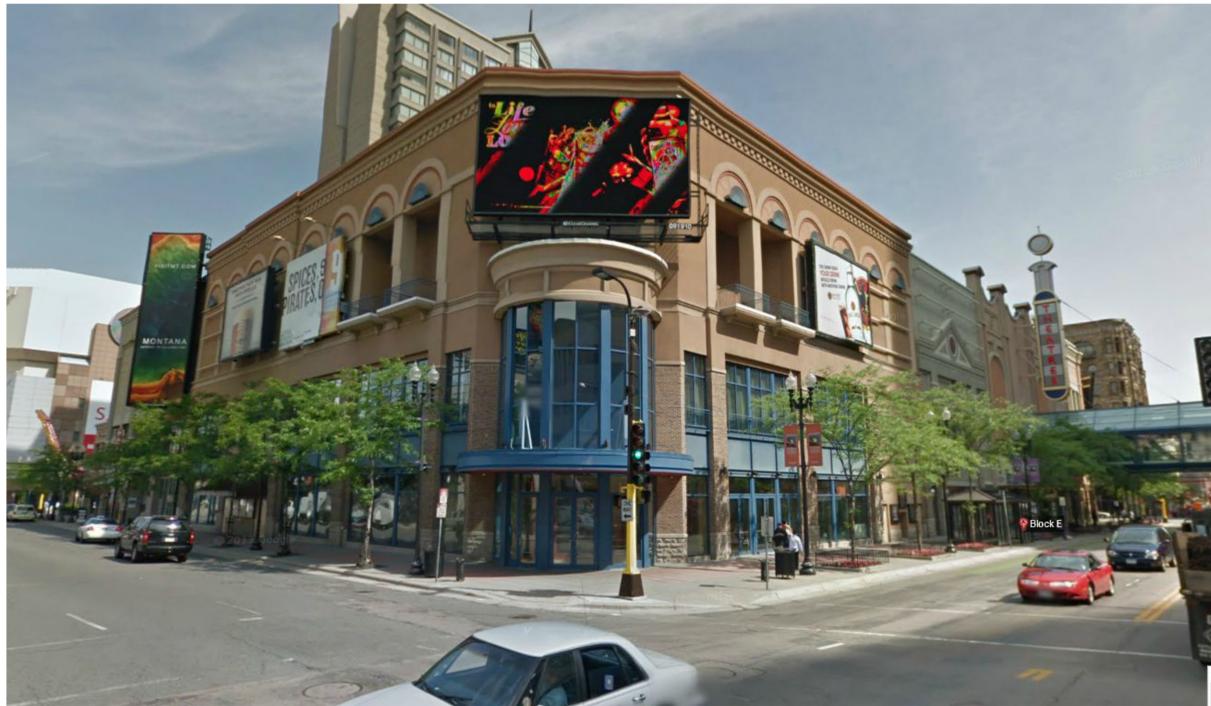
A408



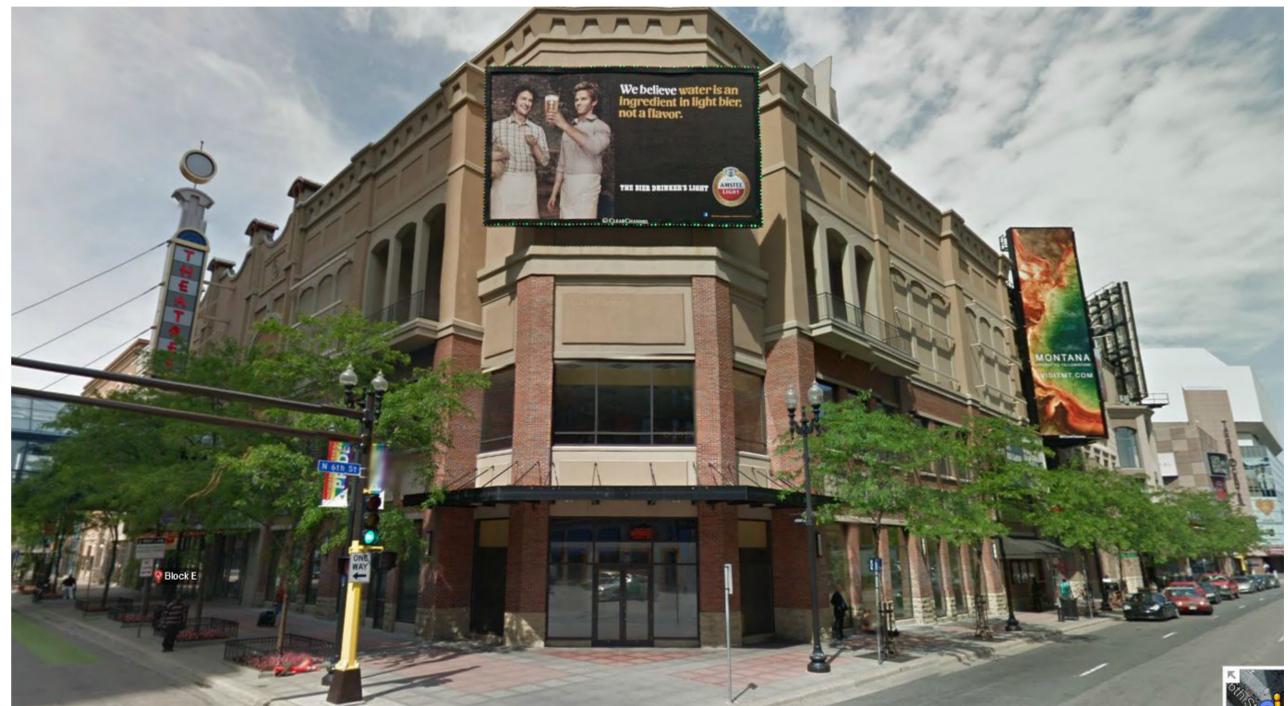
1st and 6th



1st and 7th



hennepin and 7th



hennepin and 6th



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ALATUS
 L L C

MAYO CLINIC SQUARE

Project No. 2558.001.00

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Mark	Date	LAND USE APPLICATION Description

MAYO CLINIC SQUARE

EXISTING PHOTOS

A405

Dvorak, Hilary A.

From: Carl Runck <cjrunck@alatusllc.com>
Sent: Tuesday, November 26, 2013 6:26 AM
To: Dvorak, Hilary A.
Cc: Michael T. Lund; David Serrano; Courtney Kuch
Subject: FW: 600 Hennepin Ave. (Block E) Land Use Application notice

FYI

-----Original Message-----

From: Carl Runck
Sent: Tuesday, November 26, 2013 6:26 AM
To: 'Goodman, Lisa R.'
Cc: Robert Lux
Subject: 600 Hennepin Ave. (Block E) Land Use Application notice

Hi Lisa,

This serves as formal notice that we submitted our Land Use Application on November 25, 2013 for site plan approval. Our assigned CPED planner is Hilary Dvorak. As previously discussed the proposed redevelopment plans include a top-down transformation of the existing facades and a reconstructed, more connective interior with the MN Timberwolves and Lynx practice facilities occupying the third floor as anchor tenants. The remaining available 120,000 sq ft on street and skyway levels will be carefully re-tenanted with restaurant and office users complementary to the neighborhood. Existing tenants Kieran's Irish Pub, The Shout House Dueling Pianos, Starbucks and Jimmy John's will remain in the project.

We are happy to meet at your convenience to further discuss.

Thank you,

Carl Runck
Director of Real Estate Development
Alatus LLC
800 Nicollet Mall Suite 2850
Minneapolis, MN 55402
(612) 209-6688 c
(612) 455-0711 o
cjrunck@alatusllc.com

Dvorak, Hilary A.

From: Carl Runck <cjrunck@alatusllc.com>
Sent: Tuesday, November 26, 2013 6:14 AM
To: Dvorak, Hilary A.
Cc: Michael T. Lund; David Serrano; Courtney Kuch
Subject: FW: 600 Hennepin Ave. (Block E) Land Use Application notice

Hi Hilary -- FYI. Carl

-----Original Message-----

From: Carl Runck
Sent: Tuesday, November 26, 2013 6:12 AM
To: 'wdba@mplswarehouse.com'
Cc: Tim Mahoney/Loon
Subject: 600 Hennepin Ave. (Block E) Land Use Application notice

Hi Joanne,

On behalf of the Block E redevelopment team, this serves as formal notice that we submitted our Land Use Application on November 25, 2013 for site plan approval. Our assigned CPED planner is Hilary Dvorak. We are very excited to reposition the property to be a greater contributor to the unique mix of entertainment, restaurants, bars, and creative office space the Warehouse District currently offers.

Our redevelopment plans include a top-down transformation of the existing facades and a reconstructed, more connective interior with the MN Timberwolves and Lynx practice facilities occupying the third floor as anchor tenants. The remaining available 120,000 sq ft on street and skyway levels will be carefully re-tenanted with restaurant and office users complementary to the neighborhood. Existing tenants Kieran's Irish Pub, The Shout House Dueling Pianos, Starbucks and Jimmy John's will remain in the project.

We believe these improvements will undoubtedly enhance the appearance and ease of access in/out of Block E, and drive more traffic to the Warehouse District. We plan to commence work immediately after receipt of all City approvals and associated building permits, with goal of project completion by late 2014.

Please let me know if you have any questions.

Best regards,

Carl Runck
Director of Real Estate Development
Alatus LLC
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Minneapolis, MN 55402
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cjrunck@alatusllc.com