

**Department of Community Planning and Economic Development**  
Variances and Site Plan Review  
BZZ 6394

**Date:** February 3, 2014

**Applicant:** 2500 University LLC

**Address of Property:** 2500 University Avenue NE

**Contact Person and Phone:** Luke Derheim, (612) 788-2529

**CPED Staff and Phone:** Shanna Sether, (612) 673-2307

**Date Application Deemed Complete:** December 19, 2013

**End of 60-Day Decision Period:** February 17, 2014

**Ward: 3**      **Neighborhood Organization:** Holland Neighborhood Improvement Association, adjacent to Bottineau Neighborhood Association and Concerned Citizens for Marshall Terrace

**Existing Zoning:** C1 Neighborhood Commercial District

**Zoning Plate Number:** 9

**Legal Description:** Lots 12 and 13, Block 11, B S Wright's Addition, except the East 40 feet thereof, Hennepin County, Minnesota

**Proposed Use:** Expansion of an existing sit-down restaurant

**Concurrent Review:**

- Variance to reduce the minimum front yard setback along University Avenue NE from approximately 10 feet to 0 feet to allow for a two-story addition to an existing sit-down restaurant.
- Variance to increase the maximum gross floor area of a commercial use in the C1 Neighborhood Commercial District.
- Site plan review

**Applicable zoning code provisions:** Chapter 525, Article IX Variances, Specifically Section 525.520(1) "to vary the yard requirements, including permitted obstructions into required yards not allowed by the applicable regulations", Chapter 530 Site Plan Review, Chapter 541 Off-Street Parking and Loading and Chapter 548 Commercial Districts

**Background:** This project was continued from the January 13, 2014, city planning commission public hearing to allow for notification of a variance to increase the maximum gross floor area of a single commercial use on the zoning lot.

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The subject property is located at the northwest corner of University Avenue NE and Lowry Avenue NE. The parcel is approximately 94 feet by 187 feet (14,810 square feet). The property is Stanley's Northeast Bar Room, an existing sit-down restaurant. The applicant is also proposing to construct a two-story addition along University Avenue NE that would increase the floor area by approximately 3,500 square feet. The proposed addition would be located in the area currently devoted to the outdoor patio. The first floor would be additional seating area and the second floor would have a new outdoor bar and patio.

The subject property is zoned C1 Neighborhood Commercial District and is adjacent to a two-family dwelling to the north. The minimum front yard setback applies to the subject parcel for the first 25 feet from the shared property line. The proposed addition would be located up to the front property line along University Avenue NE and would be located 7 feet from the north property line. Therefore, the proposed addition would be located in the required front yard setback and the applicant is seeking a variance to reduce the required minimum front yard setback along University Avenue NE from approximately 10 feet to 0 feet to allow for a two-story addition to an existing sit-down restaurant.

The maximum floor area for all commercial uses is regulated per section 548.240(1) of the zoning code:

*548.240 (1) Maximum floor area.*

- a. In general. All commercial uses, including shopping centers, and film, video and audio production uses, shall be limited to a maximum gross floor area of four thousand (4,000) square feet per use, except for planned unit developments and as provided in sections b. and c. below.
- b. Bonus for no parking located between the principal structure and the street. If parking is not located between the principal structure and the street, the maximum gross floor area of a commercial use shall be increased to six thousand (6,000) square feet.
- c. Bonus for additional stories. If parking is not located between the principal structure and the street, and the structure in which the commercial use is located is at least two (2) stories (not including the basement), the maximum gross floor area of a commercial use shall be increased to eight thousand (8,000) square feet.

The existing restaurant is the only commercial use on the property. The existing gross floor area is 5,214 square feet. The proposed first floor addition will add 2,400 square feet and a 13 foot 2 inch by 74 foot (974 square feet) outdoor bar pavilion, server station and shed. The maximum floor area permitted on the site is 8,000 square feet and the proposed floor area is 8,588 square feet. Therefore, the applicant is seeking the variance to increase the maximum gross floor area of a commercial use in the C1 Neighborhood Commercial District.

The proposed addition to the existing building will also require that the property be reviewed for site plan review. Finally, the applicant is also applying to amend a conditional use permit to expand their existing principal parking facility at 300, 306 and 308 Lowry Avenue NE (BZZ 6395).

Staff has received a letter of support from the Holland Neighborhood Improvement Association; a copy of the letter is attached for review. Staff will forward comments, if any received, at the City Planning Commission public hearing.

**VARIANCE:** to reduce the minimum front yard setback along University Avenue NE from approximately 10 feet to 0 feet to allow for a two-story addition to an existing sit-down restaurant.

**Findings Required by the Minneapolis Zoning Code:**

**1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

The circumstances upon which the setback variance is requested are unique to the parcel of land due to the zoning classification, the use of the adjacent property and the existing nonconforming outdoor patio in the required front yard setback. Staff finds that these circumstances have created practical difficulties in complying with the ordinance. The subject property is zoned C1 Neighborhood Commercial District and the adjacent property to the north is zoned R2B Two-Family District. The minimum front yard setback is the lesser of the District or the established setback based on the location of the adjacent dwelling. In this case, the adjacent residential structure to the north is setback approximately 10 feet from the front property line along University Avenue NE. The applicant is proposing to construct the two-story addition to the front property line. The proposed addition will replace an existing 1,500 square foot outdoor patio, which is currently located in the required front yard setback. Staff finds that these circumstances have not been created by the applicant.

**2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

Staff finds that the applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and comprehensive plan. The applicant is seeking a variance to reduce the front yard setback along University Avenue NE from approximately 10 feet to 0 feet to allow for a two-story addition to an existing commercial building. The purpose of yard requirements is to provide for orderly development and use of land and to minimize conflicts among land uses by governing the location of accessory uses and structures. The adjacent use and structure will be located approximately 25 feet from the proposed addition. Further, the proposed addition will replace an existing ground-level outdoor patio that currently exists in the required front yard. Staff finds that the proposed variance is consistent with the spirit and intent of the ordinance.

The site is designated as mixed use and located in a commercial node on a community corridor in the *Minneapolis Plan for Sustainable Growth*. The comprehensive plan states that the mixed use designation “allows for mixed use development, including mixed use with residential. Mixed use may include either a mix of retail, office or residential uses within a building or within a district. There is no requirement that every building be mixed use.” Further, the plan states “Minneapolis' Neighborhood Commercial Nodes are typically comprised of a handful of small- and medium-sized businesses focused around one intersection. These nodes primarily serve the needs of the immediate surrounding area, although they may also contain specialty stores that serve a regional client base. Neighborhood business prosperity varies throughout the city and is affected by a variety of factors, including the buying power in the surrounding locality and competition from other commercial areas.” Lowry Avenue NE is a designated community corridor. Community Corridors are defined as “primarily residential with intermittent commercial uses clustered at intersections in nodes. Commercial uses, generally small-scale retail sales and services, serving the immediate

neighborhood.” Staff finds that the proposed variance is consistent with the following policies of the comprehensive plan:

**Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.**

1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

1.4.3 Continue to implement land use controls applicable to all uses and structures located in commercial districts and corridors, including but not limited to maximum occupancy standards, hours open to the public, truck parking, provisions for increasing the maximum height of structures, lot dimension requirements, density bonuses, yard requirements, and enclosed building requirements.

1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

**Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.**

1.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

1.5.3 Promote the preservation of traditional commercial storefronts wherever feasible.

**Land Use Policy 1.9: Through attention to the mix and intensity of land uses and transit service, the City will support development along Community Corridors that enhances residential livability and pedestrian access.**

1.9.2 Support new small-scale retail sales and services, commercial services, and mixed uses where Community Corridors intersect with Neighborhood Commercial Nodes.

**Land Use Policy 1.11: Preserve and enhance a system of Neighborhood Commercial Nodes that includes a mix of housing, neighborhood-serving retail, and community uses.**

1.11.2 Support the continued presence of small-scale, neighborhood serving retail and commercial services in Neighborhood Commercial Nodes.

**Economic Development Policy 4.2: Promote business start-ups, retention and expansion to bolster the existing economic base.**

4.2.5 Encourage small business opportunities, such as appropriate home occupations and business incubators, in order to promote individual entrepreneurs and business formation.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

Staff finds that the granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. As previously mentioned, the addition will replace an existing 1,500 square foot ground-level outdoor patio in the required front yard. Further, the proposed addition will be located approximately 25 feet from the two-family dwelling on the adjacent parcel to the north. Finally, granting of the variance with the added windows and lighting will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The proposed addition will be subject to compliance with Public Works standards and the building code prior to the construction of the addition and changes to the site plan.

**VARIANCE:** to increase the maximum floor area for a commercial use from 8,000 square feet to 8,588 square feet.

#### **Findings Required by the Minneapolis Zoning Code:**

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

The circumstances upon which the setback variance is requested are unique to the parcel of land due to the size of the parcel. Staff finds that these circumstances have created practical difficulties in complying with the ordinance. The subject property is zoned C1 Neighborhood Commercial District and the maximum floor area allowed for a single commercial use is 8,000 square feet. The applicant is proposing to construct a new 2,400 square foot first floor addition and a second floor 974 square foot bar, server station and shed. The subject site is approximately 14,810 and the maximum floor area ratio is 1.7. The proposed floor area ratio is .58. Staff finds that these circumstances have not been created by the applicant.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

Staff finds that the applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and comprehensive plan. The applicant is seeking a variance to increase the maximum floor area for a single commercial use by 588 square feet. The purpose of regulating the maximum floor area for each commercial use is to ensure the neighborhood commercial character and encourage storefront uses. The applicant is proposing to infill the existing 1,500 square foot, ground-level outdoor patio with a storefront building addition on the first floor and a seasonal outdoor bar and shed on the second floor. Staff finds that the proposed variance is consistent with the spirit and intent of the ordinance. Further staff finds that the proposed variance is consistent with the comprehensive plan and applicable policies outlined under the previous variance.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

Staff finds that the granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. As previously mentioned, the addition will replace an existing 1,500 square foot ground-level outdoor patio with a storefront building addition and second floor seasonal structure. The proposed additions will not preclude additional commercial tenants, if the building were to be divided in the future. Finally, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The proposed addition will be subject to compliance with Public Works standards and the building code prior to the construction of the addition and changes to the site plan.

### **SITE PLAN REVIEW**

**Findings as required by the Minneapolis Zoning Code for the site plan review:**

- A. The site plan conforms to all applicable standards of Chapter 530, Site Plan Review. (See Section A Below for Evaluation.)**
- B. The site plan conforms to all applicable regulations of the zoning ordinance and is consistent with applicable policies of the comprehensive plan and applicable small area plans adopted by the city council. (See Section B Below for Evaluation.)**

### **Section A: Conformance with Chapter 530 of Zoning Code**

#### **BUILDING PLACEMENT AND DESIGN:**

- **Placement of the building shall reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation.**
- **First floor of the building shall be located not more than eight (8) feet from the front lot line (except in C3S District or where a greater yard is required by the zoning ordinance). If located on corner lot, the building wall abutting each street shall be subject to this requirement.**
- **The area between the building and the lot line shall include amenities.**
- **The building shall be oriented so that at least one (1) principal entrance faces the public street. In the case of a corner lot, the principal entrance shall face the front lot line.**
- **Except in the C3S District, on-site accessory parking facilities shall be located to the rear or interior of the site, within the principal building served, or entirely below grade.**
- **For new construction, the building walls shall provide architectural detail and shall contain windows as required by Chapter 530 in order to create visual interest and to increase security of adjacent outdoor spaces by maximizing natural surveillance and visibility.**
- **In larger buildings, architectural elements, including recesses or projections, windows and entries, shall be emphasized to divide the building into smaller identifiable sections.**
- **Blank, uninterrupted walls that do not include windows, entries, recesses or projections, or other architectural elements, shall not exceed twenty five (25) feet in length.**
- **Exterior materials shall be durable, including but not limited to masonry, brick, stone,**

stucco, wood, metal, and glass.

- The exterior materials and appearance of the rear and side walls of any building shall be similar to and compatible with the front of the building.
- The use of plain face concrete block as an exterior material shall be prohibited fronting along a public street, public sidewalk, public pathway, or adjacent to a residence or office residence district.
- Entrances, windows and active functions:
  - Residential uses:

Principal entrances shall be clearly defined and emphasized through the use of architectural features such as porches and roofs or other details that express the importance of the entrance. Multiple entrances shall be encouraged. Twenty (20) percent of the walls on the first floor and ten (10) percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows as follows:

    - a. Windows shall be vertical in proportion.
    - b. Windows shall be distributed in a more or less even manner.
  - Nonresidential uses:

Principal entrances shall be clearly defined and emphasized through the use of architectural features such as roofs or other details that express the importance of the entrance. Multiple entrances shall be encouraged. Thirty (30) percent of the walls on the first floor and ten (10) percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows as follows:

    - a. Windows shall be vertical in proportion.
    - b. Windows shall be distributed in a more or less even manner.
    - c. The bottom of any window used to satisfy the ground floor window requirement may not be more than four (4) feet above the adjacent grade.
    - d. First floor or ground floor windows shall have clear or lightly tinted glass with a visible light transmittance ratio of 0.6 or higher.
    - e. First floor or ground floor windows shall allow views into and out of the building at eye level. Shelving, mechanical equipment or other similar fixtures shall not block views into and out of the building in the area between four (4) and seven (7) feet above the adjacent grade. However, window area in excess of the minimum required area shall not be required to allow views into and out of the building.
    - f. Industrial uses in Table 550-1, Principal Industrial Uses in the Industrial Districts, may provide less than thirty (30) percent windows on the walls that face an on-site parking lot, provided the parking lot is not located between the building and a public street, public sidewalk or public pathway. Minimum window area shall be measured as indicated in section 530.20 of the zoning code.
- Ground floor active functions: Except for industrial uses in Table 550-1, Principal Industrial Uses in the Industrial Districts, the first floor or ground level of buildings shall be designed to accommodate active functions by ensuring that parking, loading, storage, or mechanical equipment rooms are limited to no more than thirty (30) percent of the linear building frontage along each wall facing a public street, public sidewalk, or public pathway.
- The form and pitch of roof lines shall be similar to surrounding buildings.

- **Parking Garages:** The exterior design shall ensure that sloped floors do not dominate the appearance of the walls and that vehicles are screened from view. In addition to compliance with minimum window requirements, principal and accessory parking garages shall comply with provisions requiring active functions on the ground floor. In the downtown districts, the more restrictive parking garage provisions of Chapter 549, Downtown Districts, shall apply.

*Conformance with above requirements:*

The proposed addition would expand the existing first floor storefront up to the front property line facing University Avenue NE and would reinforce the street wall. The applicant is seeking a variance to reduce the required front yard setback along University Avenue NE.

The existing entrance to the sit-down restaurant faces the front lot line along University Avenue NE.

The existing accessory parking lot is located to the rear of the subject property. The applicant also uses a principal parking facility at 300, 306 and 308 Lowry Avenue NE.

The proposed additions are required to provide windows, architectural detail and recesses to avoid blank, uninterrupted walls, not exceeding twenty-five (25) feet in length. The both floors of the addition, facing north and west do not meet this requirement. Staff is recommending that the applicant provide additional transom windows along the north and west elevations to break up the proposed walls or provide architectural detail or recesses in the proposed building wall.

The existing building and proposed addition will be stucco.

The principal entrances would be accessed via the public sidewalk along University Avenue NE. The existing entrance has an overhang, lighting and signage above.

Thirty percent (30%) of the first floor on the addition facing University Avenue NE and the on-site parking lot shall be windows. The applicant is showing that 46% of first floor facing University Avenue NE, 35% of the south second floor addition facing University Avenue NE and 0% in the bar addition facing University Avenue NE. Staff is recommending that the applicant provide a minimum 30% of the wall in the bar to be windows. The applicant is showing 0% on both floors facing the on-site parking lot is windows. The applicant is requesting alternative compliance regarding windows facing the on-site parking lot. The first floor addition is to be a new kitchen. Staff is recommending that the applicant provide additional transom windows first floor elevation. The second floor south addition is for a new vestibule and elevator. The applicant is seeking alternative compliance because it is impractical to put windows in an elevator tower. Staff finds that it is impractical to provide a window in an elevator and is recommending that the planning commission grant alternative compliance. The applicant has not shown windows in the bar addition on the north end of the second floor. Staff is recommending that the applicant provide a minimum of 30% glazing in the bar addition, facing the on-site parking area. Windows shall be vertical in proportion with a visible light transmittance ratio of six-tenths (0.6) or higher.

The first floor facing University Avenue NE shall have active ground level functions. The proposed addition is for an expanded seating area for the existing restaurant, which will allow for active ground level functions of the building.

The existing structure has a shed roof. The applicant is proposing to have a shed roof for the bar and a gable roof for the elevator and vestibule addition. Staff finds that the proposed roof styles are consistent with the existing architecture.

#### **ACCESS AND CIRCULATION:**

- **Clear and well-lighted walkways of at least four (4) feet in width shall connect building entrances to the adjacent public sidewalk and to any parking facilities located on the site.**
- **Transit shelters shall be well lighted, weather protected and shall be placed in locations that promote security.**
- **Vehicular access and circulation shall be designed to minimize conflicts with pedestrian traffic and surrounding residential uses.**
- **Traffic shall be directed to minimize impact upon residential properties and shall be subject to section 530.150 (b) related to alley access.**
- **Site plans shall minimize the use of impervious surfaces.**

#### *Conformance with above requirements:*

The restaurant users have direct access to the public sidewalk. A pedestrian walkway is proposed to connect the on-site parking area to the rear entry of the building. The applicant is providing lighting on the front and rear of the property.

There is an existing transit stop across Lowry Avenue NE serving the #32 Metrotransit bus, but it is not incorporated into the building or the project.

The vehicular access to the on-site parking lot is via curb cut along Lowry Avenue NE.

The proposed addition will increase the impervious surface of the property. However, the site will be subject to review by the Public Works department to ensure compliance with stormwater management.

#### **LANDSCAPING AND SCREENING:**

- **The composition and location of landscaped areas shall complement the scale of the development and its surroundings.**
- **Not less than twenty (20) percent of the site not occupied by buildings, including all required landscaped yards, shall be landscaped as specified in section 530.160 (a).**
- **Required screening shall be six (6) feet in height, unless otherwise specified, except in required front yards where such screening shall be three (3) feet in height.**
- **Except as otherwise provided, required screening shall be at least ninety-five (95) percent opaque throughout the year. Screening shall be satisfied by one or a combination of the following:**
  - **A decorative fence.**
  - **A masonry wall.**
  - **A hedge.**
- **Parking and loading facilities located along a public street, public sidewalk or public pathway shall comply with section 530.170 (b), including providing landscape yards along a public street, public sidewalk or public pathway and abutting or across an alley from a residence or**

**office residence district, or any permitted or conditional residential use.**

- **The corners of parking lots where rows of parking spaces leave areas unavailable for parking or vehicular circulation shall be landscaped as specified for a required landscaped yard. Such spaces may include architectural features such as benches, kiosks or bicycle parking.**
- **In parking lots of ten (10) spaces or more, no parking space shall be located more than fifty (50) feet from the center of an on-site deciduous tree. Tree islands located within the interior of a parking lot shall have a minimum width of seven (7) feet in any direction.**
- **All other areas not governed by sections 530.160 and 530.170 and not occupied by buildings, parking and loading facilities or driveways, shall be covered with turf grass, native grasses or other perennial flowering plants, vines, mulch, shrubs or trees.**
- **Installation and maintenance of all landscape materials shall comply with the standards outlined in section 530.210.**
- **The city planning commission may approve the substitution or reduction of landscaped plant materials, landscaped area or other landscaping or screening standards, subject to section 530.80, as provided in section 530.220.**

***Conformance with above requirements:***

The total lot area is approximately 14,810 square feet. The total building footprint is proposed to be 5,336 square feet. 20 percent of the net site, not including the building, or 1,894 square feet, is required to be landscaped. The applicant is proposing a landscaped area of 2,141 square feet, or 40 percent of the total site area.

The zoning code requires at least one canopy tree for each 500 square feet of required landscaping and at least one shrub for each 100 square feet of required landscaping. The tree and shrub requirement for this site is 4 and 19 respectively. The applicant is providing 4 canopy trees and 45 shrubs.

A landscaped yard of at least 7 feet wide shall be located along the south, north and west interior side and rear property lines. The applicant is providing a minimum of a 7-foot wide landscaped area along the south, north and west interior side and rear property lines. The proposed site plan shows at least one tree per 25 feet of linear parking frontage along Lowry Avenue NE.

Screening three feet in height in the required front yard and six feet in height for the remainder is required along south, north and west interior side and rear property lines. The applicant has provided six-foot tall wood fence along the north property line. The applicant is proposing to add a dense hedge of a minimum of three feet in height along the west and south property line.

The corners of the parking lot not available for parking will be landscaped areas.

All of the parking spaces are located within fifty (50) feet of an on-site deciduous tree.

Turf, native grasses or other perennial flowering plants, vines, mulch, shrubs or trees shall cover all areas that are not paved or landscaped.

**ADDITIONAL STANDARDS:**

- **All parking lots and driveways shall be designed with wheel stops or discontinuous curbing to provide on-site retention and filtration of stormwater. Where on-site retention and filtration is not practical, the parking lot shall be defined by six (6) inch by six (6) inch continuous concrete**

curb.

- To the extent practical, site plans shall minimize the blocking of views of important elements of the city.
- To the extent practical, buildings shall be located and arranged to minimize shadowing on public spaces and adjacent properties.
- To the extent practical, buildings shall be located and arranged to minimize the generation of wind currents at ground level.
- Site plans shall include crime prevention design elements as specified in section 530.260 related to:
  - Natural surveillance and visibility
  - Lighting levels
  - Territorial reinforcement and space delineation
  - Natural access control
- To the extent practical, site plans shall include the rehabilitation and integration of locally designated historic structures or structures that have been determined to be eligible to be locally designated. Where rehabilitation is not feasible, the development shall include the reuse of significant features of historic buildings.

*Conformance with above requirements:*

The applicant is proposing to direct stormwater from the roof and roof-top patio to the landscaped yards along the periphery of the parking. The parking lot and driveways will have continuous curbing, but will direct stormwater out the curb cut to Lowry Avenue NE. Staff finds that it would not be practical to direct all of the stormwater to the landscaped yards on-site.

The proposed addition will not shadow public spaces or adjacent properties, block views, or generate wind currents at ground level.

The plan meets the CPTED guidelines. There are two existing light poles within the parking area and the site is well lit and designed with opportunities for people to observe adjacent spaces and public sidewalks. Further, staff is recommending the applicant provide additional windows facing the on-site parking area. Fencing will control access to through the site.

There are no historic landmarks or districts on the property or in the immediate area.

**Section B: Conformance with All Applicable Zoning Code Provisions and Consistency with the Comprehensive Plan and Applicable Small Area Plans Adopted by the City Council**

**Zoning Code:** Restaurants are permitted in the C1 Neighborhood Commercial District.

**Parking and Loading:**

*Minimum automobile parking requirement:* The existing building located at 2500 University Avenue NE is a restaurant with 4,769 square feet of gross floor area. The minimum off-street parking requirement for this property is thirteen spaces. This property has an on-site parking lot serving 23 spaces. The proposed addition to the restaurant will increase the gross floor area to 9,603 square feet. With the proposed addition, the minimum off-street parking would be 29 spaces. With the bicycle incentive (ten spaces) applied, the minimum off-street parking for the existing and proposed uses is

26 stalls and the applicant. The applicant is proposing to provide 21 stalls on-site and 20 stalls at 300-308 Lowry Avenue NE.

*Maximum automobile parking requirement:* The maximum automobile parking requirement for restaurant uses is 1 space per 75 square feet of floor area; therefore, the maximum parking is 128 spaces.

*Bicycle parking requirement:* The minimum bicycle requirement for a sit-down restaurant is 3 spaces that meet the short-term parking standards. The applicant is proposing to have 26 bicycle stalls on-site and working with MN NiceRide to install a docking station at 300-308 Lowry Avenue NE. The additional bicycle parking was used for an incentive to reduce 3 spaces of vehicle parking.

*Loading:* The total area of the existing and proposed restaurant is approximately 9,603 square feet and does not require an additional off-street loading space. However, the uses shall provide adequate shipping and receiving facilities, accessible by motor vehicle off any adjacent alley, service drive or open space on the same zoning lot, per section 541.490 of the zoning code.

**Maximum Floor Area:** The site is subject to a maximum floor area ratio of 1.7 in the C1 District. The proposed F.A.R. is .58. The applicant is seeking a variance to increase the maximum floor area for a single commercial use from 8,000 square feet to 8,588 square feet.

**Height and Bulk:** The maximum height for structures in the C1 district is 2.5 stories or 35 feet, whichever is less. The proposed addition is 2-story, between 29 feet to the peak of the bar.

**Minimum Lot Area:** The existing restaurant is not subject to a minimum lot area requirement.

**Dwelling Units per Acre:** There are no dwelling units proposed.

**Yard Requirements:** The subject site is zoned C1 and there are yard requirements along the north and west interior sides and front yard along University Avenue NE. The proposed addition will not be located within the interior side setbacks, however, the applicant is seeking a variance to reduce the front yard setback along University Avenue NE from approximately 10 feet to 0 feet and staff is recommending approval of the variance.

**Signs:** Signs are subject to the requirements of Chapter 543, On-Premise Signs. In the C1 zoning district one can have one-and-a-half square feet of signage for every one foot of primary building wall. However, if there is a freestanding sign on the zoning lot then there can only be one square foot of signage for every one foot of primary building wall. Wall signs are limited to 180 square feet in size. Projecting signs are limited to 20 square feet in size. The height limitation for both wall signs and projecting signs is 28 feet. Freestanding signs are limited to 80 square feet and can be no taller than eight feet. The zoning code also limits the number of freestanding signs on a zoning lot to one. The applicant is not proposing any additional signage at this time.

**Refuse screening:** Refuse storage containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent uses. The dumpster area is currently out of conformance with the zoning code. The proposed trash area is currently enclosed with a sliding wood screen, 6 feet in height.

**Lighting:** Lighting proposed for the development shall comply with Chapter 535 and Chapter 541 of the zoning code including:

**535.590. Lighting.** (a) *In general.* No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.

(b) *Specific standards.* All uses shall comply with the following standards except as otherwise provided in this section:

- (1) Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
- (2) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility from any permitted or conditional residential use.
- (3) Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light.
- (4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
- (5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.

#### **THE MINNEAPOLIS PLAN FOR SUSTAINABLE GROWTH AND RELEVANT SMALL AREA PLANS:**

See finding #2 under Variance for analysis of *The Minneapolis Plan for Sustainable Growth*.

The *Lowry Avenue Corridor Plan* was developed through a cooperative effort of Hennepin County, the City of Minneapolis, other public agencies, and the residents and business owners along Lowry. The study envisions a coordinated, phased plan for the entire Lowry Avenue corridor, and was based on three goals adopted by the County for the Lowry Avenue corridor: enhance access to jobs through public transportation; effectively link civic spaces through transit, bicycle and pedestrian connections; and congregate services, retail and office space around transit centers/nodes. The Study Area for the Lowry Avenue Corridor Plan includes the first block both north and south of Lowry Avenue on the entire corridor; although recommendations that pertain to the subject site are more general in nature and include roadway improvements, pedestrian/bicycle improvements and key redevelopment opportunity areas.

**Alternative Compliance.** The Planning Commission may approve alternatives to any site plan review requirement upon finding any of the following:

- **The alternative meets the intent of the site plan chapter and the site plan includes amenities or improvements that address any adverse effects of the alternative. Site amenities may include but are not limited to additional open space, additional landscaping and screening, transit facilities, bicycle facilities, preservation of natural resources, restoration of previously damaged natural environment, rehabilitation of existing structures that have been locally designated or have been determined to be eligible to be locally designated as historic structures, and design which is similar in form, scale and materials to existing structures on the site and to surrounding development.**
- **Strict adherence to the requirements is impractical because of site location or conditions and the proposed alternative meets the intent of this chapter.**
- **The proposed alternative is consistent with applicable development plans or development objectives adopted by the city council and meets the intent of this chapter.**

- **Architectural detail, not less than 25 feet in length:**

The proposed additions are required to provide windows, architectural detail and recesses to avoid blank, uninterrupted walls, not exceeding twenty-five (25) feet in length. Both floors of the addition, facing north and west, do not meet this requirement. Staff is recommending that the applicant provide additional transom windows along the north and west elevations to break up the proposed walls or provide architectural detail or recesses in the proposed building wall.

- **Minimum windows facing the public street and on-site parking lot:**

Thirty percent (30%) of the first floor on the addition facing University Avenue NE and the on-site parking lot shall be windows. The applicant is showing that 46% of first floor facing University Avenue NE, 35% of the south second floor addition facing University Avenue NE and 0% in the bar addition facing University Avenue NE. Staff is recommending that the applicant provide a minimum 30% of the wall in the bar to be windows. The applicant is showing 0% on both floors facing the on-site parking lot is windows. The applicant is requesting alternative compliance to allow windows facing the on-site parking lot. The first floor addition is to be a new kitchen. Staff is recommending that the applicant provide additional transom windows first floor elevation. The second floor south addition is for a new vestibule and elevator. The applicant is seeking alternative compliance because it is impractical to put windows in an elevator tower. Staff finds that it is impractical to provide a window in an elevator and is recommending that the planning commission grant alternative compliance. The applicant has not shown windows in the bar addition on the north end of the second floor. Staff is recommending that the applicant provide a minimum of 30% glazing in the bar addition, facing the on-site parking area.

**RECOMMENDATIONS:**

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the variance to reduce the required front yard setback along University Avenue NE from approximately 10 feet to 0 feet to allow for a two-story addition to an existing sit-down restaurant located at 2500 University Avenue NE in the C1 Neighborhood Commercial District, subject to the following conditions:

1. Approval of the final site, landscape and floor plans by the Department of Community Planning and Economic Development.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the variance to increase the maximum floor area from 8,000 square feet to approximately 8,588 square feet to allow for a two-story addition to an existing sit-down restaurant located at 2500 University Avenue NE in the C1 Neighborhood Commercial District, subject to the following conditions:

1. Approval of the final site, landscape and floor plans by the Department of Community Planning and Economic Development.

**Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow for a two-story addition to an existing sit-down restaurant located at 2500 University Avenue NE in the C1 Neighborhood Commercial District, subject to the following conditions:

1. Approval of the final site, landscape and floor plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by February 3, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. The applicant shall provide additional transom windows along the north and west elevations or provide architectural detail or recesses in the proposed building wall to avoid blank, uninterrupted walls, not exceeding twenty-five (25) feet in length.
4. Thirty percent of the walls of the proposed bar addition facing University Avenue NE and the on-site parking area shall be windows.

**Attachments:**

1. Written descriptions and findings submitted by the applicant
2. Letters to Council Member Reich and neighborhood associations
3. Correspondence
4. Zoning map
5. Future land use map
6. Site plan
7. Floor plans
8. Elevation drawings
9. Renderings
10. Photos

## Statement of proposed use and description of the project

The proposed expansion would involve the space that is our current outdoor patio. The addition will be enclosed on the main level that would house a kitchen area as well as community seating for larger groups. We would also dig under the current patio area and construct a basement that would house a new prep area. The new expansion will also feature a second floor open air patio for seasonal usage. The plan also includes a full service elevator to bring guests upstairs to the patio and our current event space. This plan would also increase our parking lot size to add nine more off street parking stalls.

## Variance

**1st The uniqueness of this project is that University & Lowry is a commercial node and we are zoned commercial with the adjacent property to the north being zoned R2B for residential use.**

**2nd** - This variance request is similar to two other recent projects that the planning commission has approved. First example, Birchwood Cafe's expansion with commercial property next to residential. Second example, Solar Arts Buildings was granted a variance for a front yard setback with commercial property next to residential.

This variance is a reasonable request in that it is consistent with the City of Minneapolis Sustainable Growth Plan. Here are some examples from the plan.

**Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.**

1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide "eyes on the street".

**Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.**

1.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

1.5.3 Promote the preservation of traditional commercial storefronts wherever feasible.

**Land Use Policy 1.6: Recognize that market conditions and neighborhood traditions significantly influence the viability of businesses in areas of the city not designated as commercial corridors and districts.**

1.6.1 Allow for retention of existing commercial uses and zoning districts in designated Urban Neighborhood areas, to the extent they are consistent with other city goals and do not adversely impact surrounding areas.

1.6.2 In parts of the city outside of designated corridors, nodes, and centers, limit territorial expansions of commercial uses and districts.

**Economic Development Policy 4.2: Promote business start-ups, retention and expansion to bolster the existing economic base.**

4.2.5 Encourage small business opportunities, such as appropriate home occupations and business incubators, in order to promote individual entrepreneurs and business formation.

**3rd Finding** - This variance is needed to ensure the architectural look of the building is consistent with the current building. This would make the property visually more appealing to the neighborhood. We feel that this is a reasonable request, because we would enclose the main level patio and moving building over 25 feet back from the adjacent property to the north. We would also create a sound barrier on the new open air patio that will be better for outside noise. For all of these reasons that is why the setback should be allowed.

**Findings as required by the Minneapolis Zoning Code:**

- **Will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

A surface parking lot that complies with the applicable landscaping and screening standards of Chapter 530, Site Plan Review will not be detrimental to or endanger the public health, safety, comfort or general welfare. Establishing a surface parking lot will alleviate congestion in the public street by providing a surface lot for a use for existing commercial uses and a new commercial use that has a higher parking demand, as determined by the zoning code.

- **Will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property for uses permitted in the district.**

The property is next to two parcels that are owned by Stanley's already that are used for surface parking. The proposed 300 Lowry NE parcel is already zoned C1. The property to the south is zoned R2B. With the required landscaping and screening, the parking lot serving customers and employees of Stanley's is not expected to be injurious to the use and enjoyment of other property in the vicinity nor should it impede on possible future development. The area includes a mix of uses, including low-density residential, industrial, commercial and vacant property. The proposed site plan would close the existing curb cut on 3rd Avenue NE and leave the current curb cuts to allow for one-way traffic through the proposed parking lot. The proposed parking lot would allow for 22 parking stalls.

- **Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.**

The site is served by existing infrastructure and would be accessed from the current curb cut on Lowry Avenue NE. We would like the Public Works Department to create a walkway across Lowry Avenue NE & 3rd Street NE for pedestrian crossing. This intersection would be safer for the general public, due to the foot traffic going to and from this property. We have been working with the city of having adequate circulation, drainage, infiltration and sewer/water connections.

- **Adequate measures have been or will be provided to minimize traffic congestion in the public streets.**

We are providing a mix of off-street parking, availability of on-street parking within walking distance of the property and transportation alternatives including transit, bicycling and walking. In addition to providing the 23 proposed parking stalls, we would also provide another 21 stalls at 2500 University Avenue on-top of the proposed lot.

- **Is consistent with the applicable policies of the comprehensive plan.**

See Finding #2 under Variance.

- **And, does in all other respects conform to the applicable regulations of the district in which it is located upon approval of this conditional use permit.**

Yes, the project meets all of the other requirements.



Dear Neighbors,

My name is David Benowitz and I'm one of the owners of Stanley's Northeast Bar Room. We have been in business for three years and are honored to feel warmly welcomed by the Northeast community. Stanley's has become a very popular destination for local residents and we would like to continue to bring people into our great neighborhood and showcase what Northeast has to offer. We feel that we have outgrown our current building's kitchen, storage and seating capacity and need a bit more room to keep up with the fun and growing neighborhood that Northeast has become.

The expansion that we envision would involve the space that is our current outdoor patio. The addition will be enclosed on the main level and will include a larger kitchen area as well as community seating for larger groups and everyday diners. We will also dig under the current patio area and construct a basement that would house a new prep area to enable us to serve more customers and help out operations with our catering and food truck business. The new expansion will also feature a second floor open air patio for seasonal usage. The plan also includes a full service elevator to bring guests upstairs to the patio and our current event space.

We would like to keep the new expansion flush with the current facade on University to ensure it's visually appealing to the neighborhood. To do this, we are seeking a front yard variance, which would allow us to build this new structure. This is the only variance that this project will require.

In accordance with the extra seating that we plan to add, we would also expand our off street parking. The parking lots that we currently own on the south side of Lowry (302 & 304 Lowry NE) would be expanded to the corner (300 Lowry NE) thus giving us another 8-9 additional parking spots. We will also add a Nice Ride bike station that could hold 15-20 bikes.

I hope that you will help support us in creating this enhanced and exciting space for Northeast.

David Benowitz  
Stanley's Northeast Bar Room  
2500 University Ave. NE  
[davidb@stanleysbarroom.com](mailto:davidb@stanleysbarroom.com)  
612-788-2529



December 19, 2013

Minneapolis Planning Commission  
250 S. 4th St., Room 300  
Minneapolis, MN 55415

To Whom it May Concern:

Please consider this a letter support for the proposed variance change proposed by the owner of the Stanley's Northeast Bar Room. It makes sense from a visual standpoint and also it would also align with the City of Minneapolis's Sustainable Growth Plan.

The owners of the restaurant have been considerate and mindful of their surrounding neighbors, community members and fellow business owners since the purchase and renovation of the property. They continue to do so in this new endeavor.

On behalf of the Northeast Minneapolis Chamber Board of Directors,

Christine Levens  
President  
Northeast Minneapolis Chamber of Commerce

East Side Neighborhood Services, Inc.  
1700 Second Street NE, 55413  
Phone: (612) 781-6011  
Fax: (612) 787-4001  
Website: www.esns.org  
Administrative Offices  
Northeast Child Development Center  
Menlo Park Academy  
Youth Development  
Employment Network  
Family Community Services  
Senior Community Service Employment Project



*Serving Our Community Since 1915*

**The Senior Food Shelf**  
1801 Central Avenue NE, 55418  
Phone: (612) 788-9521

**Glendale Food Shelf**  
92 St. Mary's Avenue SE, 55414  
Phone: (612) 342-1954

**High Rise Mobile Food Shelf Program**  
554 Eighth Avenue N, 55411  
Phone: (612) 340-9694

**Friendship Center Adult Day Program**  
1717 Second Street NE, 55413  
Phone: (612) 781-2052

**Luxton Community Center**  
112 Williams Avenue SE, 55414  
Phone: (612) 331-8878  
Youth After School/Summer

**Pratt Community School**  
66 Malcolm Avenue SE, 55414  
Youth After School

**Camp Bovey**  
Gordon Wisconsin  
Phone: (612) 781-6011

**NE Neighborhood Early Learning Center**  
342 - 13th Avenue NE, 55413

October 28, 2013

To Whom it may concern,

We would like to express our support and endorsement of Stanley's NE Bar Room and their proposed expansion to their current location at 2500 University Avenue NE.

We have had the opportunity to work with Stanley's NE Bar Room since they opened for business in our neighborhood 5 years ago. Since they opened their doors they have immersed themselves in Community and have provided support to our Agency. They have been active Volunteers and Donors with events and programs of ESNS, participating in planning committees, staffing events, holding food drives and donating proceeds from special promotions to our programs. We are grateful for their culture of community involvement. Over the years we have worked extensively with businesses in and around the NE neighborhoods, encouraging involvement in community and specifically the programs and services that ESNS offers, there are those that are responsive and engaged and many others that choose not to immerse themselves into the neighborhoods where they conduct business. Stanley's NE Bar Room is a business that does put community as a priority and gets involved! It is exciting that they have chosen our neighborhoods to call home.

We look forward to the possibility of this business expansion and wish them all the best in the part they play to keep the Northeast business community thriving.

Sincerely,

William J Laden  
President

**BOARD OF DIRECTORS**

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Board Chair

**Steve Dunphy**  
Vice Chair

**Ruth M. Fox**  
Treasurer

**Tash Casso**  
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Robert J. Miller  
Gloria Sheehan  
Dennis Spalla  
John D. Thompson  
Kathy Waite  
Benjamin Warpeha

**William J. Laden, LISW**  
President



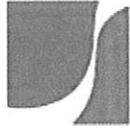
**From:** [leslie pocta](#)  
**To:** [Sether, Shanna M](#)  
**Subject:** BZZ-6394  
**Date:** Wednesday, January 01, 2014 3:37:50 PM

---

Hello I am a neighbor of 2500 University and would like to add my support of this expansion, both parking and building, the more business they get the more business others in the area will have. Thank you,

Leslie Pocta  
2327 3rd st ne

CPC  
1/13/14  
#7



**bottineau**  
neighborhood association

January 6, 2014

Dear Shanna Sether and Committee members,

Bottineau Neighborhood Association, BNA, supports the application for expansion of the Stanley's Barroom located at 2500 University NE and the expansion of the parking lot at 300 Lowry Ave NE.

Stanley's has proven to be a good neighborhood business citizen over the past three years they have been open. The neighborhood is well served by their responsible business model. The moderately priced bar and grille was the first to feature extensive support for locally brewed beer in Northeast Minneapolis and helped set the trend for new and innovative entertainment. It is their success in garnering a loyal Northeast customer base that is driving this needed expansion.

The outdoor patio roof dining will be another innovation in Northeast Minneapolis. While it is common elsewhere in the city it is novel in Northeast. The expanded indoor dining and request to make the new façade flush with the old façade makes sense from an aesthetic and functional point-of-view. The indoor dining area is much needed not only to handle the usual patrons but also to provide business luncheon space in the area for small groups and presentations.

BNA is also glad that the expansion includes a NiceRide bicycle station and more off street parking. The lot under consideration for additional parking is currently vacant and has a row of ash trees that would need to be eventually cut down due to the Ash Borer infestation that is creeping into the neighborhood.

BNA recommends that Stanley's Barroom application be approved.

Sincerely,

Mariam Slayhi  
BNA President

cc

CM Jacob Frey and CM Kevin Reich

**From:** [Mike Orum](#)  
**To:** [Sether, Shanna M](#)  
**Subject:** RE: Due to dangerous cold, Minneapolis Park buildings closed and programs cancelled 6 pm Saturday to Noon Tuesday  
**Date:** Wednesday, January 08, 2014 11:10:28 AM

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Thank you for the information. I have no concerns from my end...I live two blocks to the south of the proposed lot.

Thanks  
Mike

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From: Shanna.Sether@minneapolismn.gov  
To: bna@bottineaneighborhood.org; orumma@hotmail.com  
Subject: RE: Due to dangerous cold, Minneapolis Park buildings closed and programs cancelled 6 pm Saturday to Noon Tuesday  
Date: Wed, 8 Jan 2014 04:51:59 +0000

Hello Nancy and Mike,

The parking lot expansion (300-308 Lowry Ave NE) will be going to the City Planning Commission next Monday, January 13. I have attached the staff report for your review.

The restaurant expansion (2500 University Ave NE) will be going to the City Planning Commission on Monday, February 3. We identified an additional variance that requires new notifications be sent out. This the next meeting after January 13.

Please let me know if you have any questions.

Thank you,

**Shanna Sether**  
Senior City Planner

City of Minneapolis | Community Planning and Economic Development Department | Development Services Division  
250 4<sup>th</sup> Street South, Room 300 | Minneapolis, MN 55415  
612-673-2307 | [Shanna.Sether@minneapolismn.gov](mailto:Shanna.Sether@minneapolismn.gov)

**From:** bottineau neighborhood [mailto:bna@bottineaneighborhood.org]  
**Sent:** Monday, January 06, 2014 12:38 PM  
**To:** Mike Orum

**From:** [THOMAS P. BIERNAT](#)  
**To:** [Sether, Shanna M](#)  
**Date:** Thursday, January 09, 2014 10:09:13 AM

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My concern would be the expansion of the parking on Lowry Ave. It would be nice to see more off street parking. Now no one can park on my street because Stanleys patrons use the entire street. The lot on Lowry Ave which they now use had the property line fence come down during a storm last summer. It was never replaced. Since then noise from parking lot sounds through the nearby homes. 2am closing time noise from car doors, laughing, patrons hanging out smoking . My bedroom is 50 feet from property line where there is no more a fence.

I would like to see the parking expansion to create more on street parking for the home owners. At the same time the entire property line from body shop to 3rd street must have a 6ft fence to allow home owners not to waken all the time at bar closings.

Thank you.

Tom Biernat  
2415 3rd st ne  
minneapolis mn 55418  
[tbie611418@msn.com](mailto:tbie611418@msn.com)

**Cc:** Sether, Shanna M

**Subject:** Re: Due to dangerous cold, Minneapolis Park buildings closed and programs cancelled 6 pm Saturday to Noon Tuesday

Mike,

The public hearing is January 13th and I believe you can get the information from Shanna Sether the city planner who I think is assigned to the case.

I have copied Shanna on this email. Her phone number is 673-2307. I will forward the email information I have to you as well.

Shanna, please send Mike any documents that public regarding the Stanley's business expansion plans. He will be out of the country when the community meeting occurs.

Thank you for asking,

Nancy Przymus

BNA

-----Original Message-----

From: "Mike Orum" <orumma@hotmail.com>

Sent 1/5/2014 7:40:20 PM

To: "bottineau neighborhood" <bna@bottineaneighborhood.org>

Subject: RE: Due to dangerous cold, Minneapolis Park buildings closed and programs cancelled 6 pm Saturday to Noon Tuesday

Thank you...I have a question..I noticed on the agenda for the next neighborhood meeting is Stanley's expansion....I am out of the country on that date...Is there a place I can go to read more about the expansion since I live 2 blocks away.

Thanks

Mike Orum

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To: netimebank@gmail.com; mfashmore@aol.com; noah.baker.nb@gmail.com; matt@possemedia.com; nrb2222@gmail.com; annabierbrauer@gmail.com; jbohac@mncee.org; mbyrnes99@gmail.com; mbyrnes99@gmail.com; provestor2005@yahoo.com; kclower@fmr.org; daneheart@gmail.com; beo@visi.com; gastrotruck@me.com; lisacerb@gmail.com; Mariano.Espinoza@minneapolismn.gov; featherartistviolet@yahoo.com; GMS730@aol.com; nemealsonwheels@msn.com; rnhandberg@aol.com; coolrye85@hotmail; johnholmberg2010@gmail.com;



**CONCERNED CITIZENS OF**  
**MARSHALL TERRACE**

P.O. Box 18180

MINNEAPOLIS, MN 55418

(CCMT)

Phone-612-706-1460, [Email-CCMT568@msn.com](mailto:CCMT568@msn.com), [Website-www.marshallterrace.org](http://www.marshallterrace.org)

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January 11, 2014

Shanna Sether, Senior City Planner  
250 S. 4<sup>th</sup> Street, RM 300  
Minneapolis, MN 55415

**RE:** Stanley's Northeast Bar Room site plan

Dear Shanna,

The Concerned Citizens of Marshall Terrace (CCMT) is the neighborhood's organization. We are writing regarding the submission of the new site plan for 2500 University Avenue NE expansion.

Stanley's had attended public meetings to explain the expansion to the residents of Marshall Terrace and at the CCMT Board meeting in January Stanley's presented the new site plan for the expansion of Stanley's.

We are grateful that Stanley's heard the concerns of neighborhood residents and made efforts to address them. The following were the primary issues of concern:

1. **Parking** - Stanley's will expand parking across the street at 300 Lowry Ave. They will have nine additional parking spaces along with Nice Ride off of Lowry Ave. They are also working with Public Works to possible have Cross Walk striping painted on the corner of 3<sup>rd</sup> and Lowry to help with the pedestrian walkway.
2. **Privacy of Neighbors** – With the expansion of the Patio area to two levels now, Stanley's has taken into consideration the neighbors, they have extended the North side structure of building. The new building structure will be two stories high. The patriots of Stanley's and the resident's North of Stanley's will not be in view site of each other.
3. **Noise** – With the expansion of the two level patios, Stanley's has designed an exterior North side wall that will act as a noise barrier. The North side of the building will have a bar on one side and an enclosed staircase for employees use on the other.
4. **CCMT supports the variance** - To reduce the minimum front yard setback along University Ave. from approximately 10 feet to 0 feet to allow for a two-story addition to an existing sit-down restaurant.

CCMT supports the expansion plan for Stanley's Northeast Bar Room. CCMT looks forward to being involved in the process.

Sincerely,

Greg Langason,  
CCMT Chair

**From:** [Scott Horne](#)  
**To:** [Sether, Shanna M](#)  
**Subject:** BZZ -6394 and 6395  
**Date:** Thursday, January 02, 2014 11:34:39 AM  
**Attachments:** [stanleys.dot](#)

---

Hi Shanna, please find enclosed attachment, thank you, Scott Horne 2514 NE 4th ST, 55418

**Re: BZZ-6394 and 6395**

Dear Shanna,

1/14/2014

Some residents and motorists aren't bothered by this rush-hour clogged intersection (@NE Univ&Lowry) of which Stanley's NE Bar is a part; some residents and motorists may not care that certain motorists flout No Parking signs at and near this clogged intersection. Woe to the (many?) other people who are or become annoyed by this clogged intersection and attempt to slip through it.

Mpls planners, as they consider the land use application BZZ-6394 and 6395, ought to review this intersection, especially since the Lowry Bridge reopened only just over a year ago.

Scott Horne

2514 NE 4<sup>th</sup> St, 55418

Property owner within 350 feet of the subject property



HOLLAND NEIGHBORHOOD  
IMPROVEMENT ASSOCIATION

Shanna Sether  
Senior City Planner  
250 South 4<sup>th</sup> St, Room 300

Minneapolis, MN 55415

Dear Ms. Sether:

The Holland Neighborhood Improvement Association (HNIA) Board of Directors wishes to join with the Bottineau Neighborhood Association and Concerned Citizens of Marshall Terrace in offering our support, on the record, of three (3) C1 zoning variances - front yard setback reduction from 10 feet to 0, amendment of existing CUP to expand principal parking facility, and allow building over 8000 sq ft - sought by Stanley's Northeast Bar Room, 2500 University Avenue NE, Minneapolis, Minnesota 55418.

In the three years Stanley's has been operating in Northeast Minneapolis, they have executed a neighborhood-friendly management strategy that has had a positive impact in the area. The owners, Luke Derheim and David Benowitz, have responded enthusiastically when HNIA has recruited them in efforts to build community between neighbors and local businesses – donating to and sponsoring our signature Hotdish Revolution event, a collaborative Edison High-HNIA fundraising Big “E” newspaper Ad, and the public arts fundraising/community-building Medallion Public Arts Connector. When Mr. Derheim presented Stanley's expansion plans at a recent HNIA general neighborhood meeting, residents expressed a desire to see better storm water management practices and mitigation of the loss of mature trees on the proposed expanded parking area. HNIA is pleased to learn both requests have been integrated into the final plans for the parking area. Furthermore, the building expansion plans reflect a conscientious effort to buffer nearby residents from impact of normal restaurant/bar operations. HNIA is confident that Stanley's and its owners will continue to be positive, responsive partners in our community and look forward to many years of their continued success in the neighborhood.

Thank you for your acceptance and consideration of this letter. Please do not hesitate to contact me with questions or to seek clarification.

Sincerely,

Holland Neighborhood Improvement Association Board of Directors  
Adelheid Koski, President  
Kurt Nowacki, Vice President  
Doug Werner, Secretary  
Jason Manthey, Treasurer  
Hans Schumacher  
CT Thomas  
Janneke Schaap  
Jared Hoffman  
Witt Siasoco

cc: Ward One Council Member Kevin Reich  
Ward Three Council Member Jacob Frey



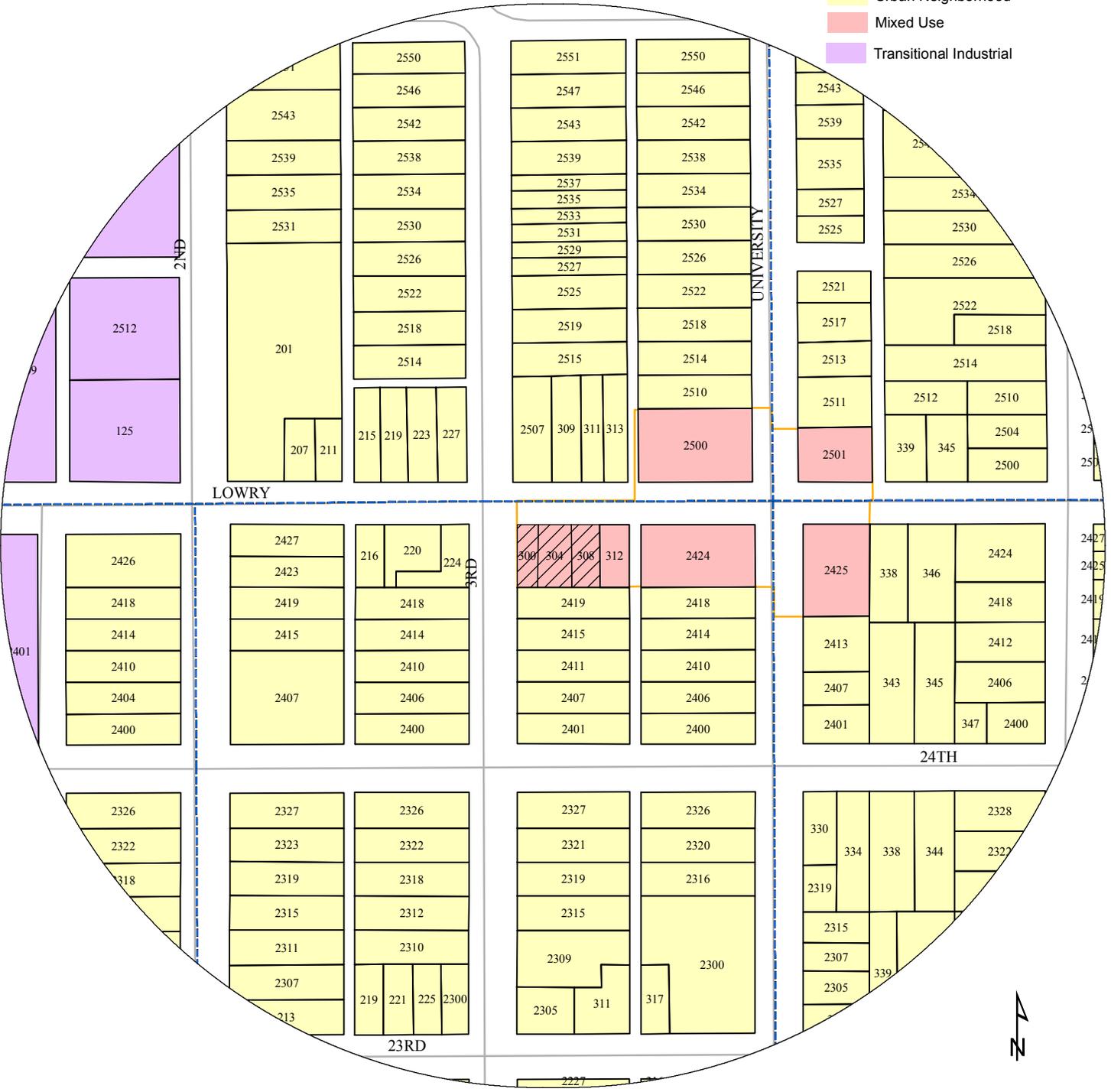
# Stanley's Parking Lot Expansion

3rd

NAME OF APPLICANT

WARD

-  Community Corridor
-  Neighborhood Commercial Node
-  Urban Neighborhood
-  Mixed Use
-  Transitional Industrial



PROPERTY ADDRESS

**300, 306 and 308 Lowry Avenue NE**

FILE NUMBER

**BZZ-6395**

**ADVANCE SURVEYING & ENGINEERING CO.**

5300 S. Hwy. No. 101 Minneapolis, MN 55345 Phone (952) 474 7964 Fax (952) 225 0502 www.advancesur.com

**SURVEY FOR: STANLEY'S NORTHEAST BAR ROOM**

**SURVEYED:** November 12, 2013 **DRAFTED:** November 13, 2013  
**REVISED:** November 15, 2013 to adjust SW property corner location.

**LEGAL DESCRIPTION:**  
 Lots 12 and 13, Block 11, B S Wright's Addition, Hennepin County, Minnesota.

**SCOPE OF WORK:**

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.
4. Showing elevations on the site at selected locations to give some indication of the topography of the site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the map when determining other elevations for use on this site.

**STANDARD SYMBOLS & CONVENTIONS:**

"●" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, unless otherwise noted.

**CERTIFICATION:**

I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a licensed Professional Engineer and Professional Surveyor under the laws of the State of Minnesota.

Signature: *James H. Parker* Typed Name: James H. Parker

Date: November 13, 2013

Reg. No. 9235

MAIN FLOOR = 842.0  
 \*BASEMENT FLOOR = 834.1  
 UPPER FLOOR = 854.8

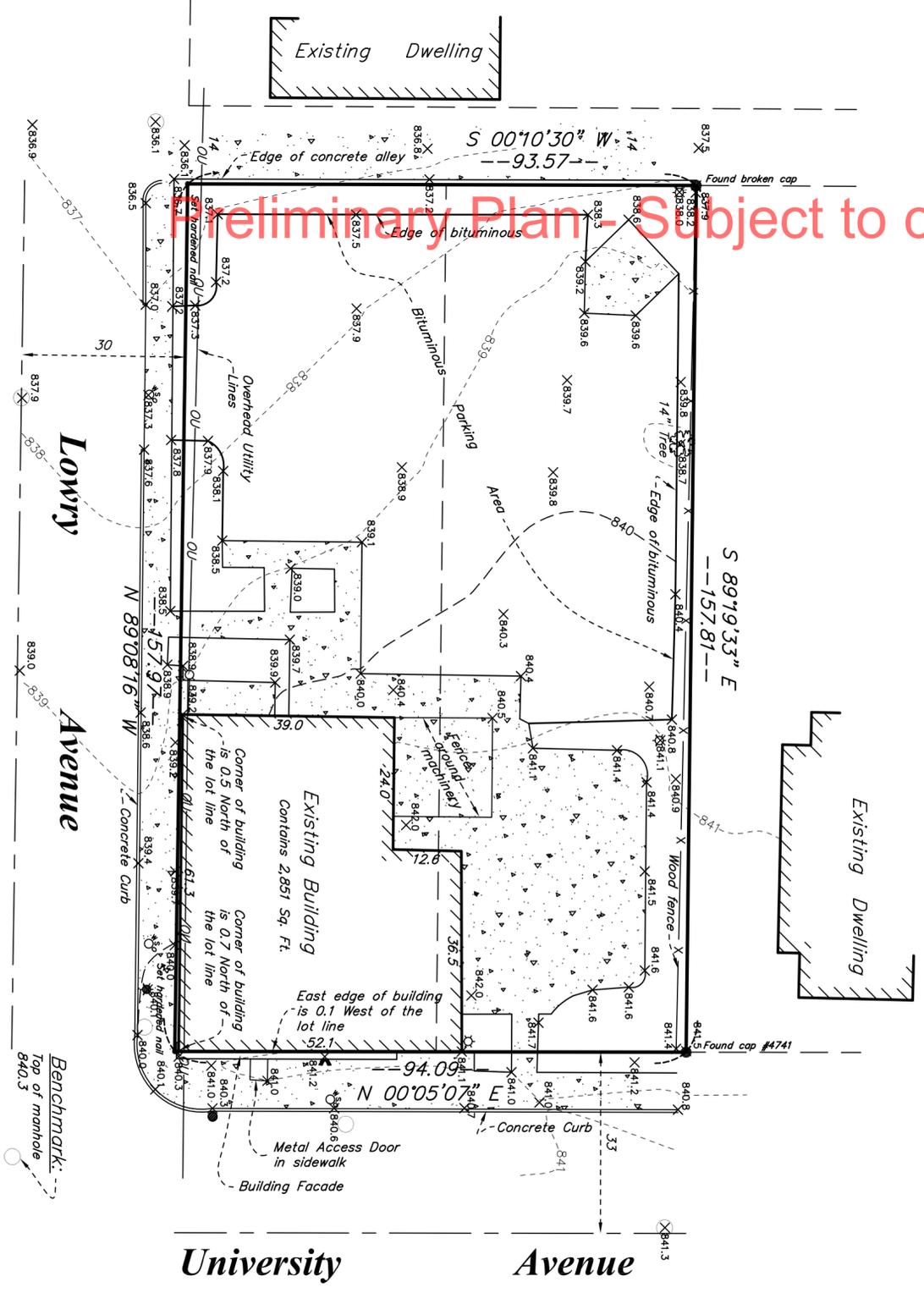
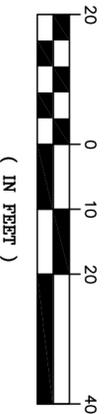
\* = BASEMENT FLOOR ELEVATION IS TAKEN AT THE BASE OF THE STEPS. THERE APPEARS TO BE SLIGHTLY DIFFERENT LOW FLOOR ELEVATIONS IN THE BASEMENT.

**LEGEND**

- ⊕ WATER SHUT-OFF VALVE
- ☆ LIGHT POLE
- ⊙ POWER POLE
- ⊙ MONITOR WELL
- ⊙ WATERMAIN AND SERVICE
- ⊙ SANITARY SEWER AND SERVICE
- ⊙ STORM SEWER
- ⊙ GAS MAIN AND SERVICE
- ⊙ UNDERGROUND ELECTRIC
- ⊙ UNDERGROUND TELEPHONE
- ⊙ OVERHEAD POWER
- ⊙ OVERHEAD TELEPHONE
- ⊙ CATCH BASIN
- ⊙ ROUND CATCH BASIN
- ⊙ MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ ELECTRIC CONTROL BOX
- ⊙ GAS METER
- ⊙ SIAMASE WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ CONCRETE SURFACE



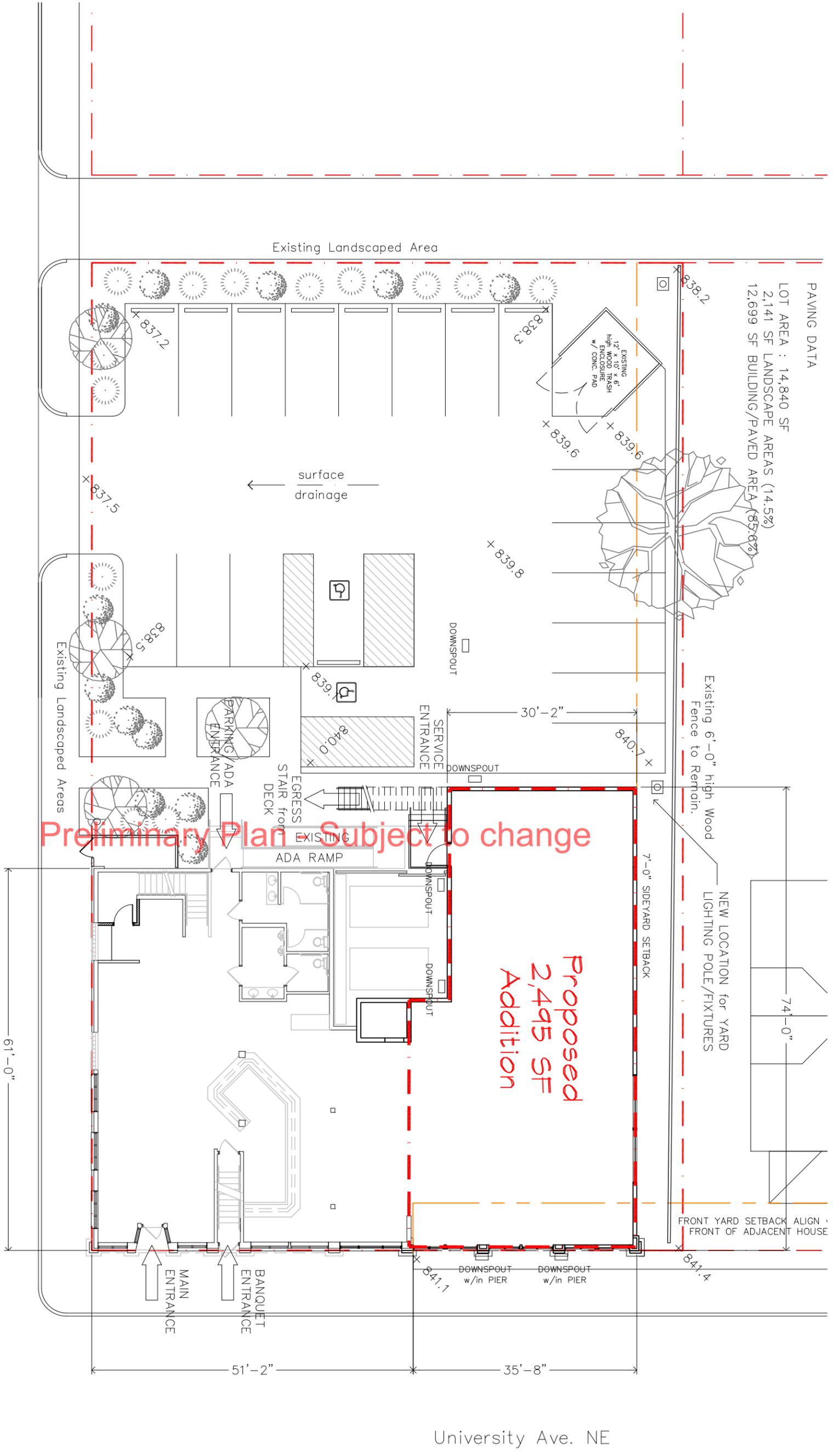
GRAPHIC SCALE



Drw. No. 130904 11 15 2013 TB A



LOWRY AVE. NE

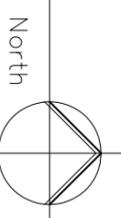


Preliminary Plan - Subject to change

Proposed  
2,495 SF  
Addition

PAVING DATA

LOT AREA : 14,840 SF  
2,141 SF LANDSCAPE AREAS (14.5%)  
12,699 SF BUILDING/PAVED AREA (85.5%)



North

University Ave. NE

David J. Kelly  
Architect, Inc.

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Minneapolis, Minnesota 55424  
(952) 922-2220

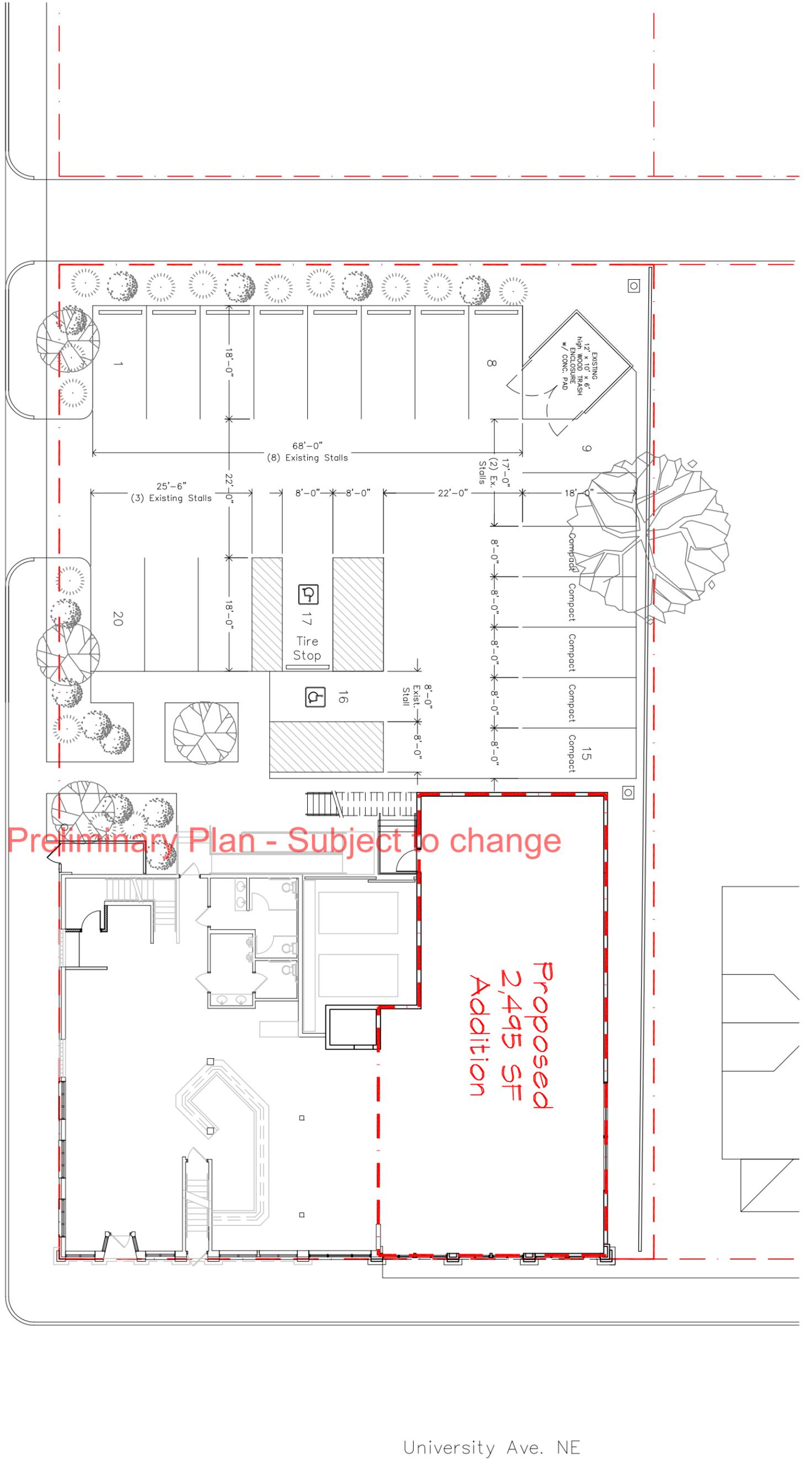
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*David J. Kelly*  
Reg. No. : 15254

Project Stanley's NE Bar Room  
2500 University Ave. NE  
Minneapolis, MN 55418

Comm. No. : 13.006.5  
Drawn By : Kelly  
Date Issued : 01.06.2014

Sheet Number  
a1.2

LOWRY Ave. NE

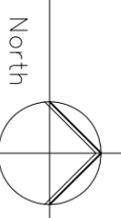
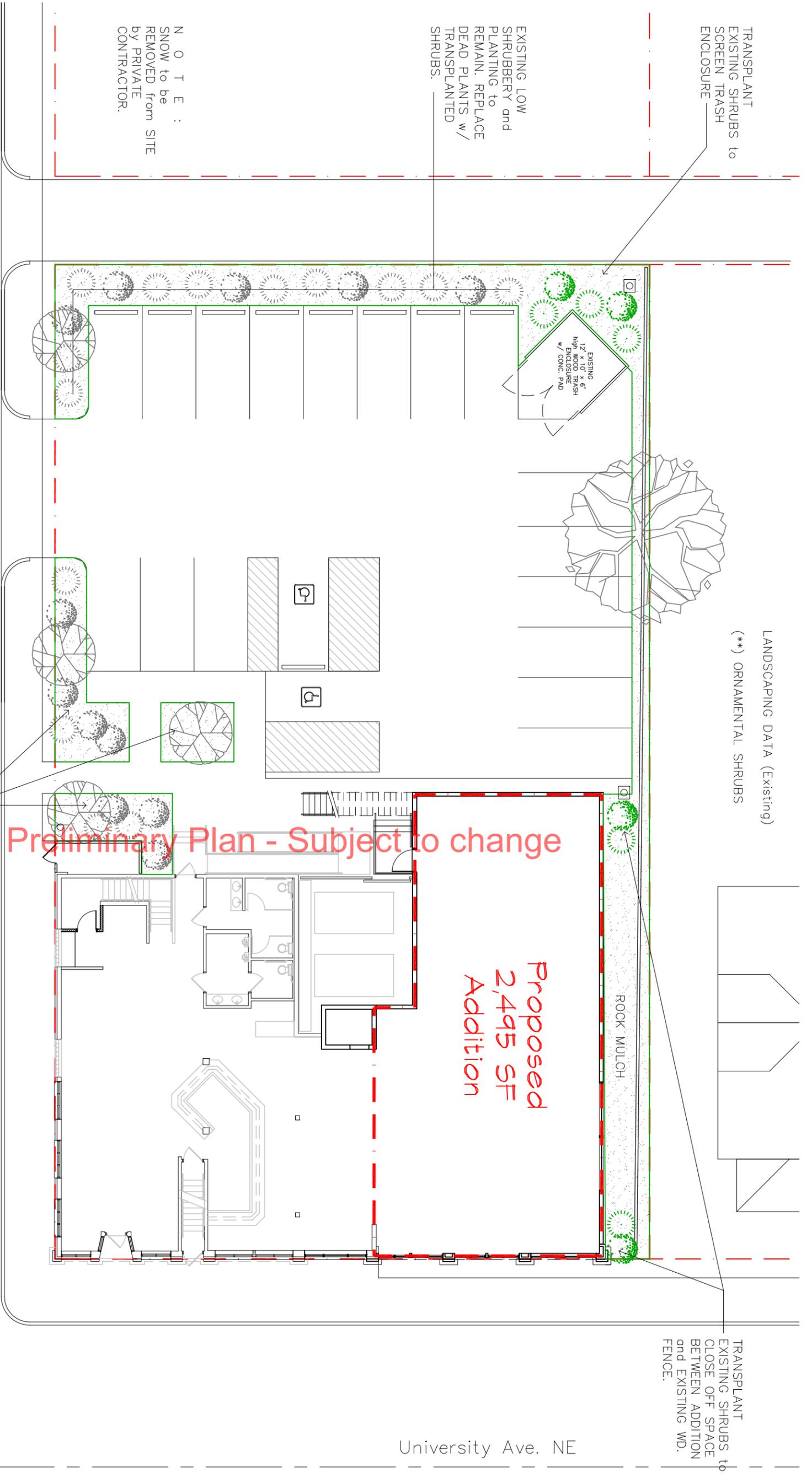


Preliminary Plan - Subject to change

Proposed  
2,495 SF  
Addition

University Ave. NE

Lowry Ave. NE

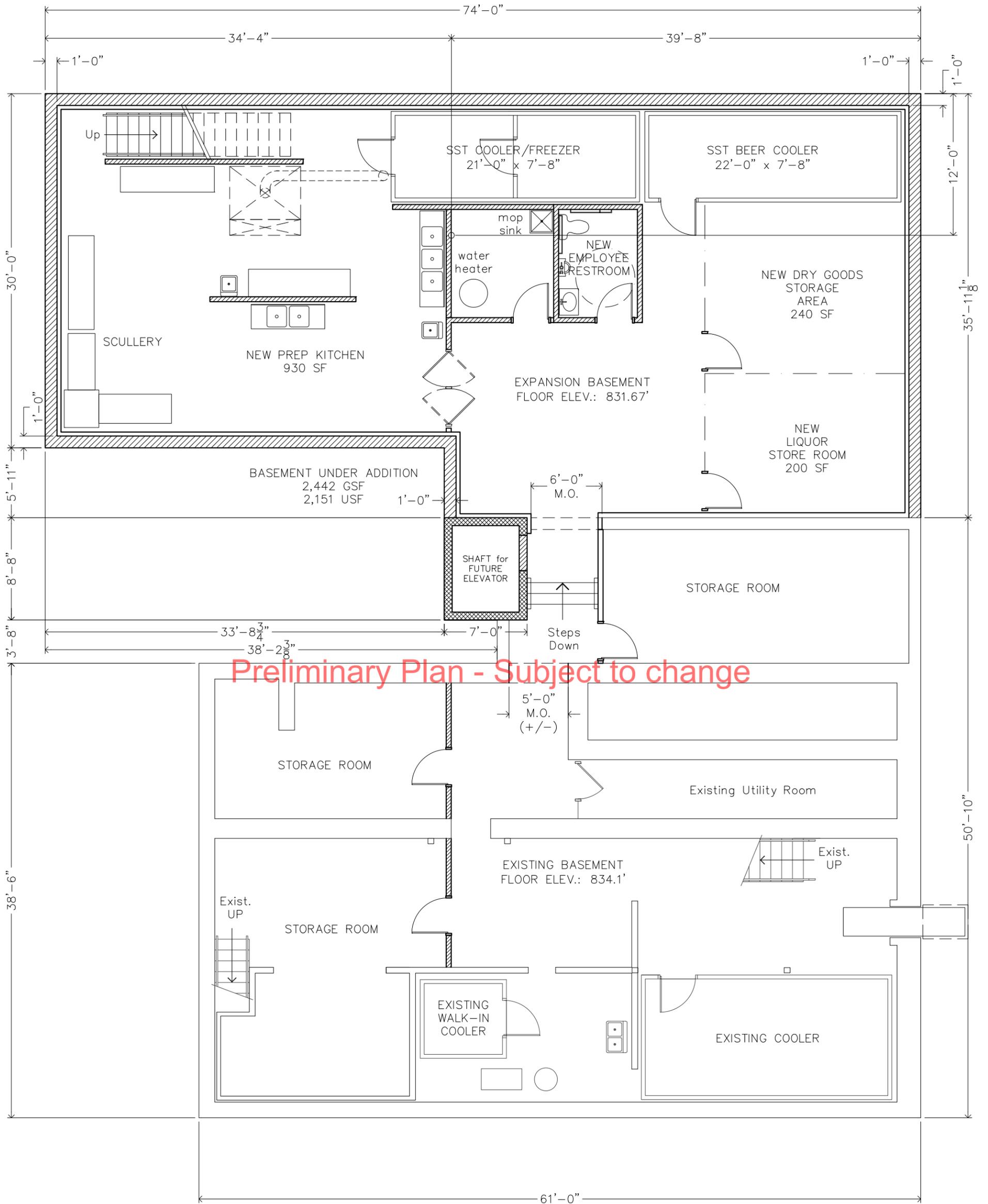


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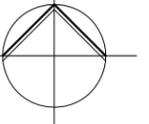


Preliminary Plan - Subject to change

Basement Floor Plan : Scheme C1.5

Scale : 1/8" = 1'-0"

North



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Project Stanley's NE Bar Room Expansion  
2500 University Ave. NE  
Minneapolis, MN 55418

Comm. No. : 13.006.5-C1.5

Drawn By : Kelly

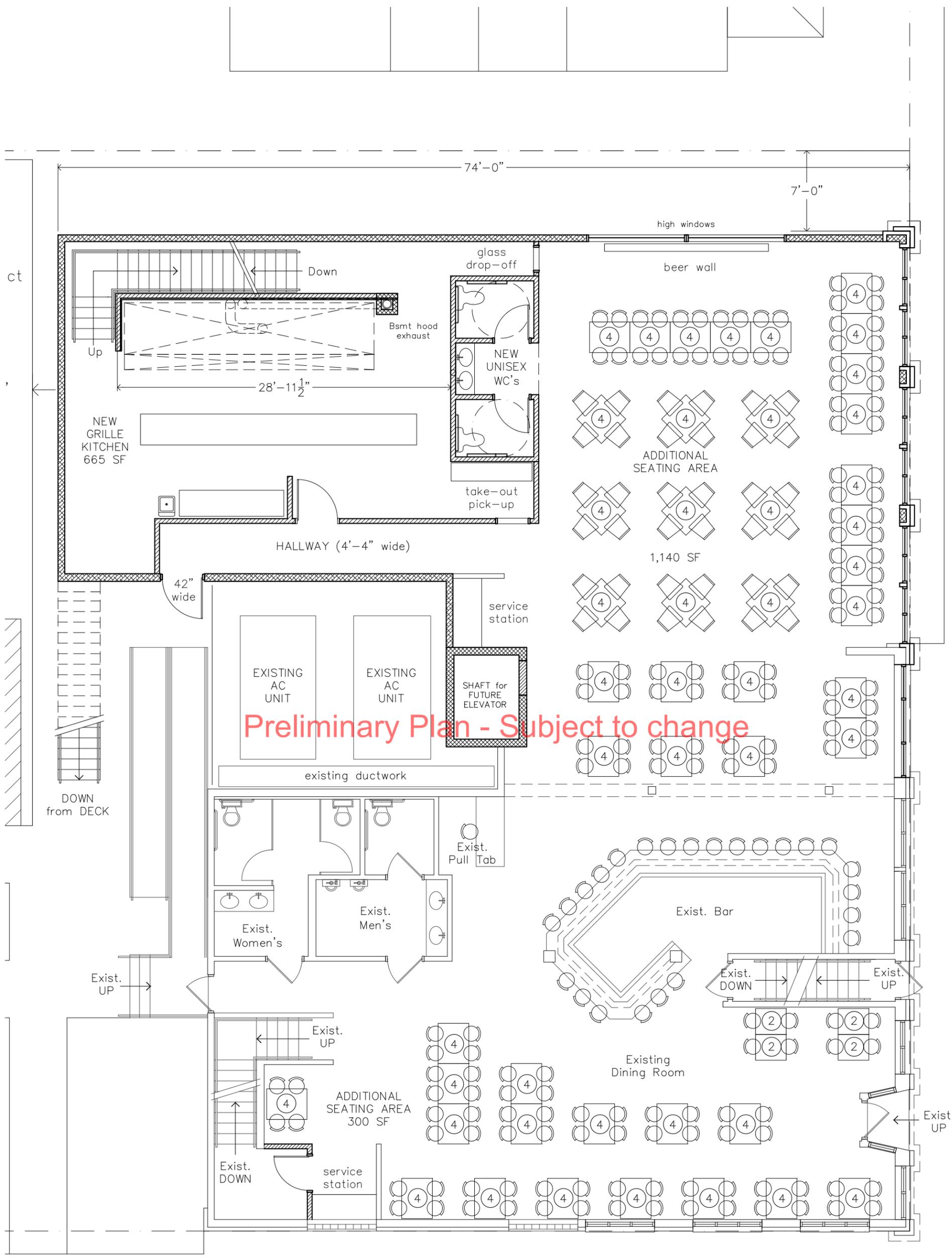
Date Issued : 12.11.2013

**Diversified Construction**

4931 West 35th Street  
St. Louis Park, Minnesota 55416  
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Sheet Number

a2.0



Preliminary Plan - Subject to change

1 Main Floor Plan : Scheme C1.5  
 a2.1 Scale : 1/8" = 1'-0"



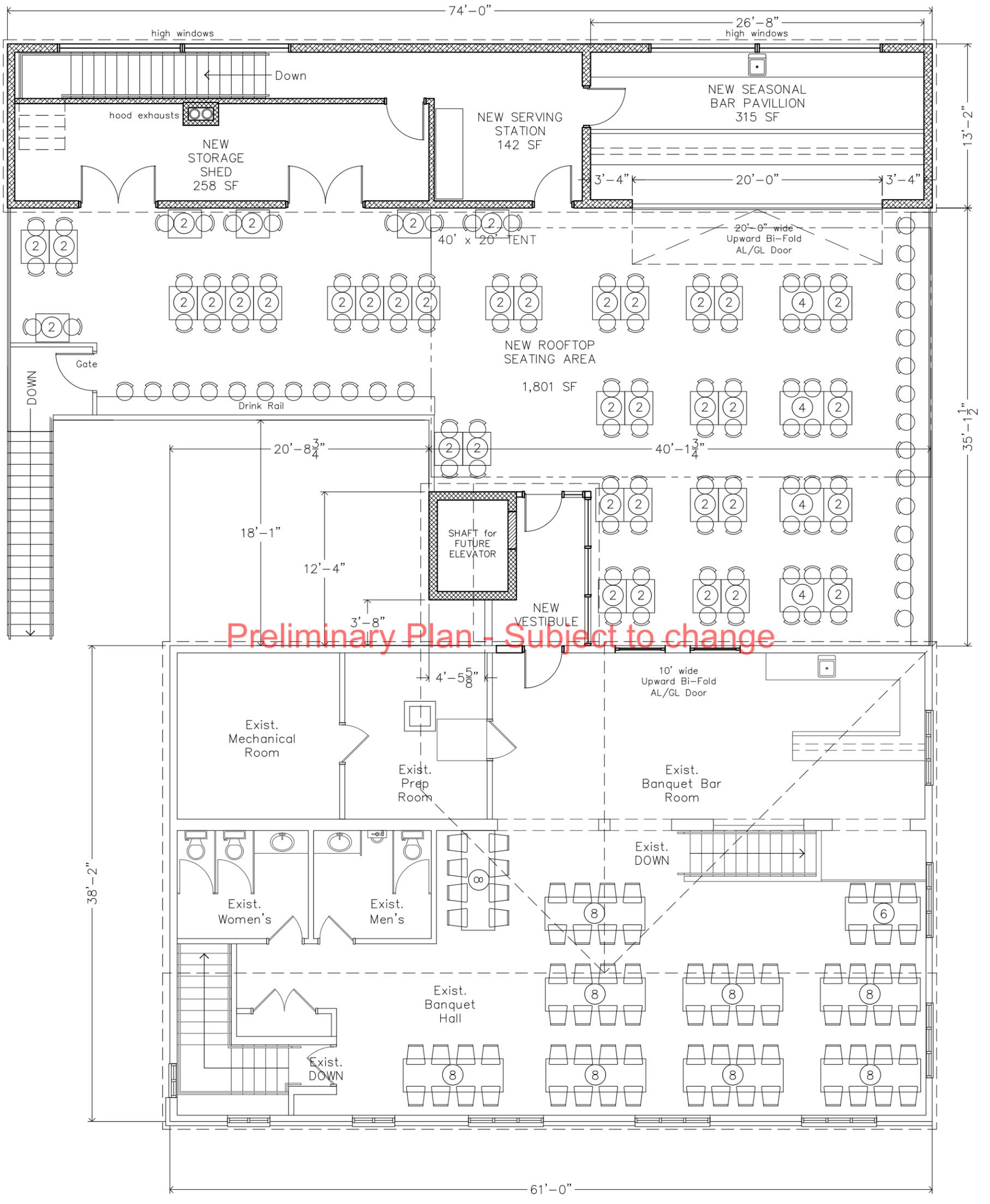
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 Drawn By : Kelly  
 Date Issued : 12.11.2013

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Sheet Number  
 a2.1



Preliminary Plan - Subject to change

1 Upper Floor Plan : Scheme C1.5  
 a2.2 Scale : 1/8" = 1'-0"



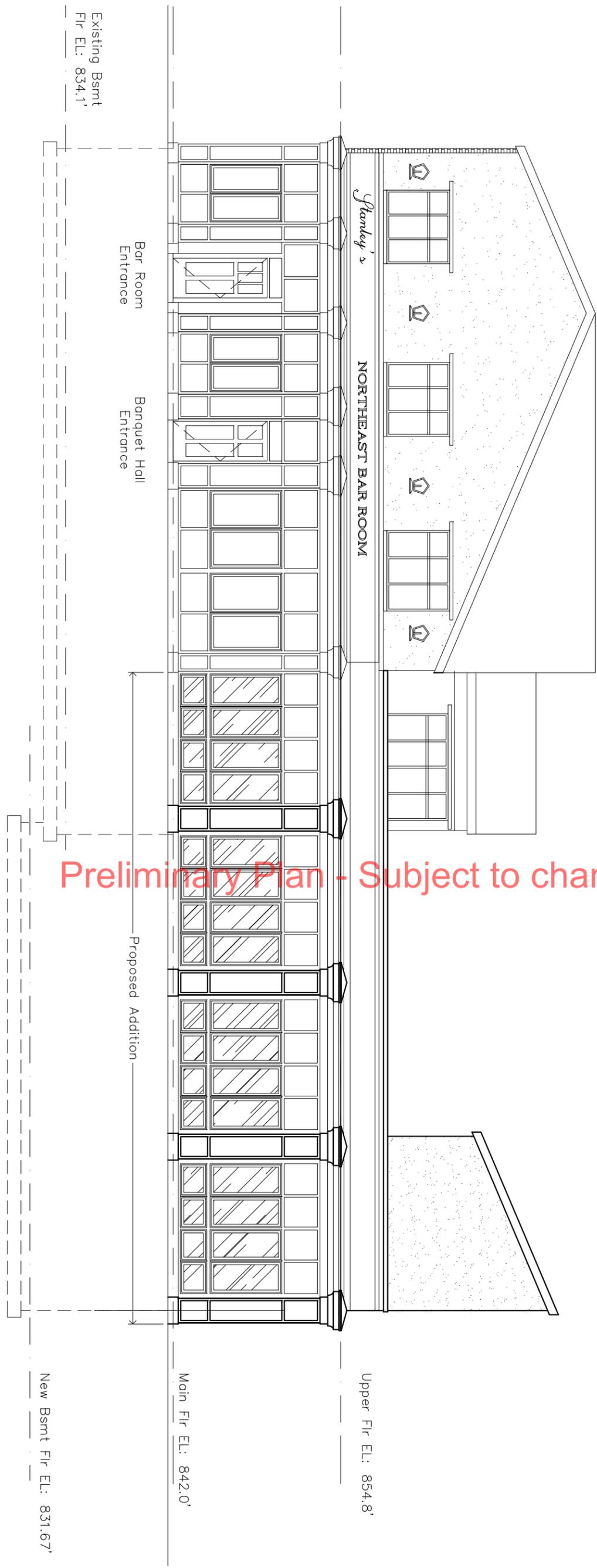
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 Date Issued : 12.11.2013

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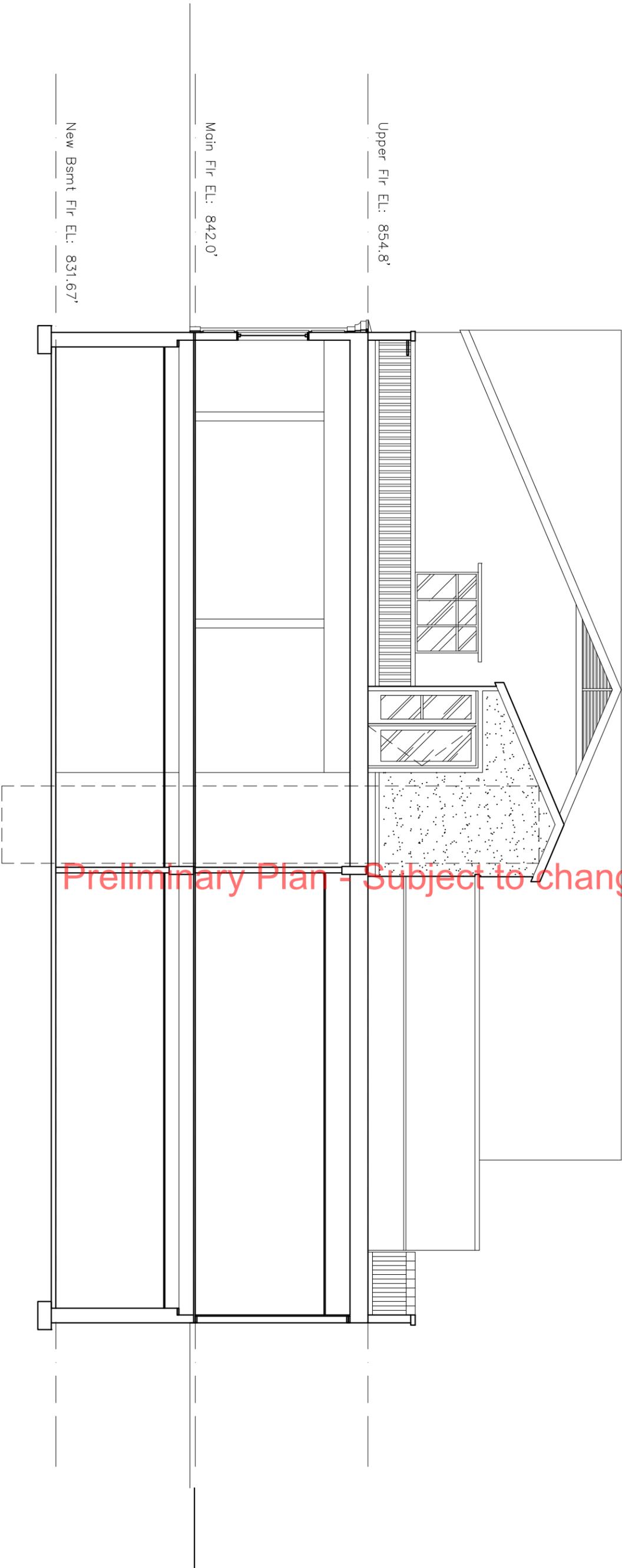
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 a2.2



Preliminary Plan - Subject to change

a3.2

Stanley's North Elevation/Section thru Addition : Scheme C1.5  
Scale : 1/8" = 1'-0"



Preliminary Plan - Subject to change

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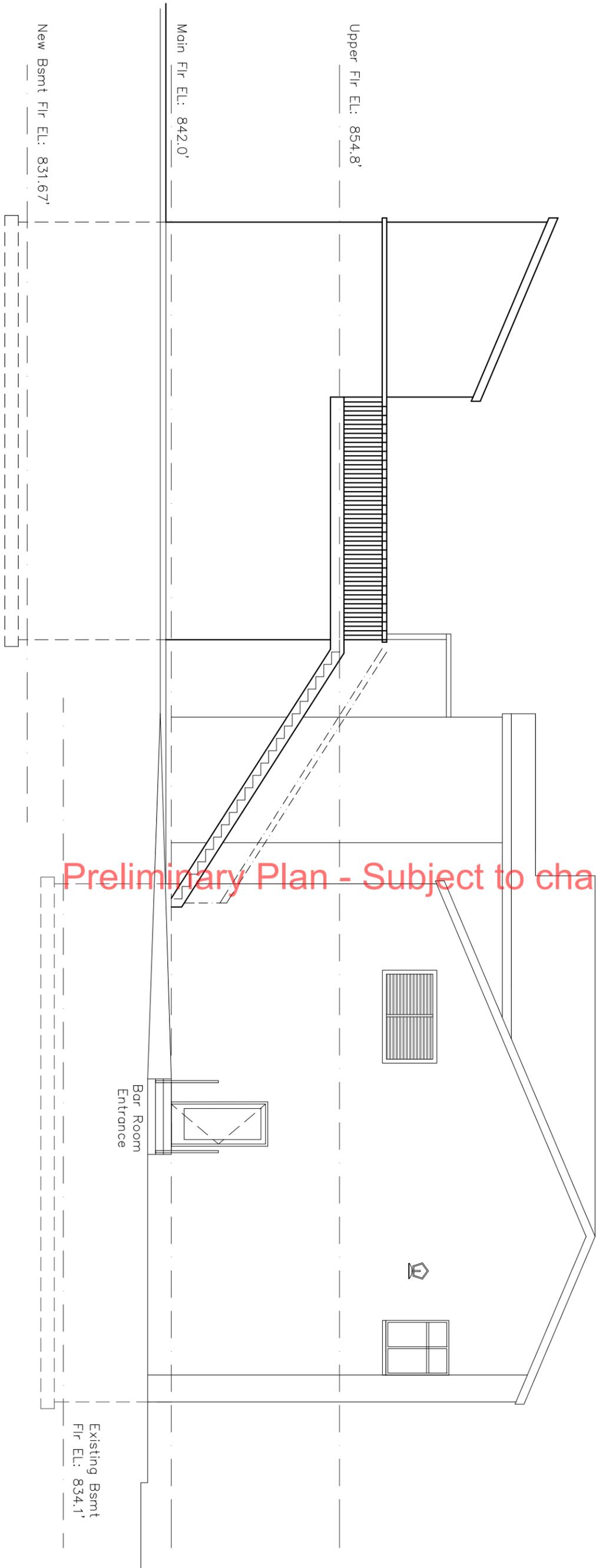
Sheet Number

a3.2

a3.3

Stanley's Nest Elevation : Scheme C1.5

Scale : 1/8" = 1'-0"



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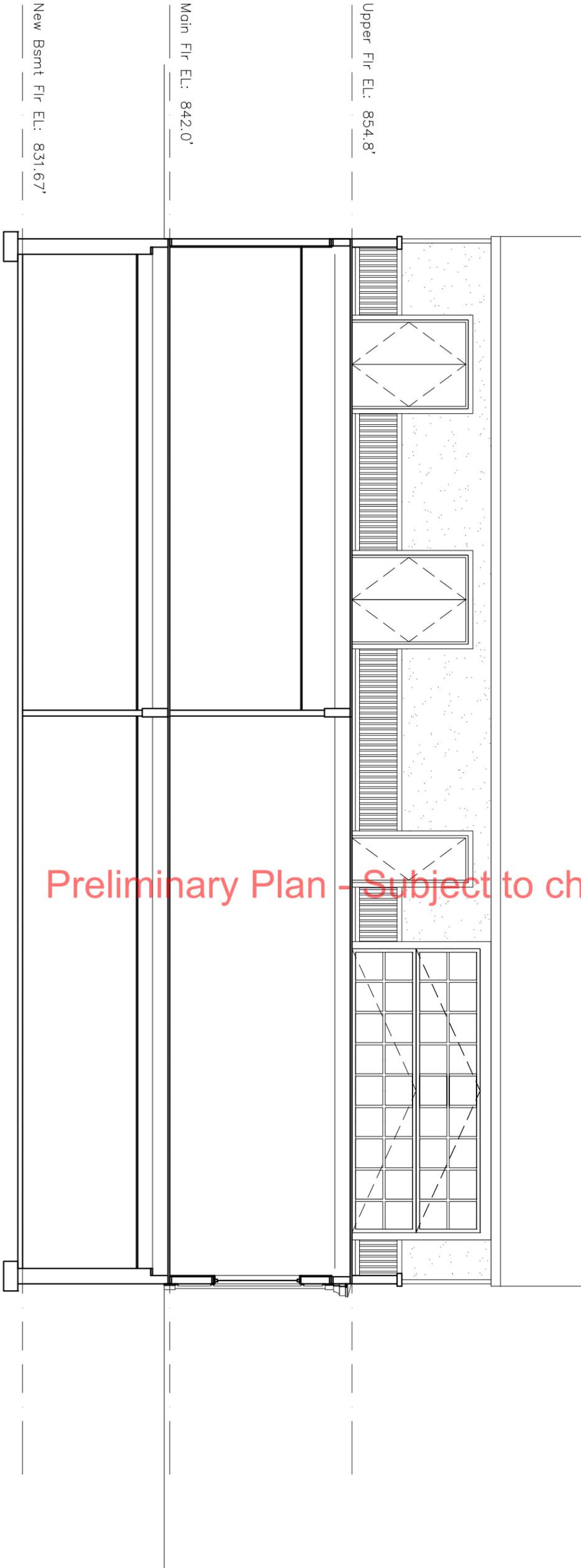
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a3.3

a3.4

Stanley's South Elevation of Deck Structure : Scheme C1.5

Scale : 1/8" = 1'-0"



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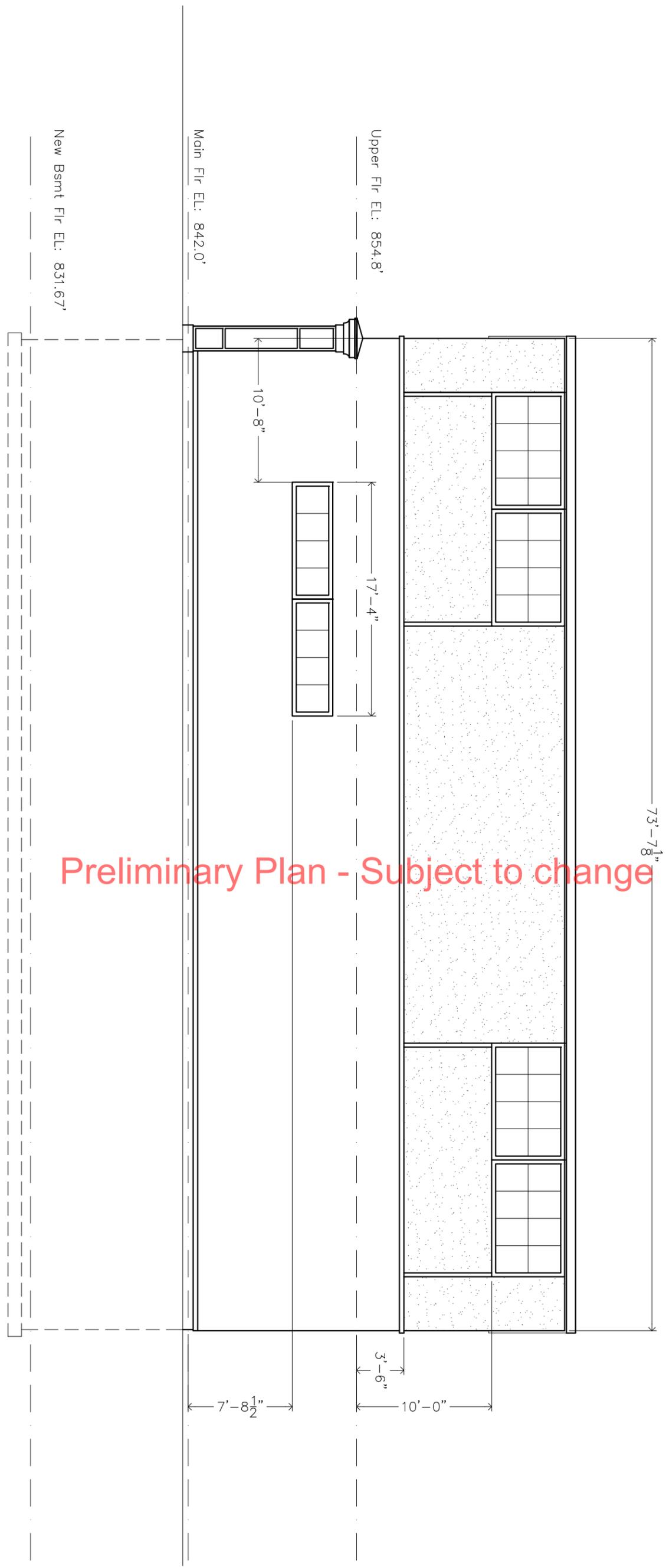
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a3.4

a3.5

Scale : 1/8" = 1'-0"

Stanley's North Elevation of Deck Structure : Scheme C1.5



Preliminary Plan - Subject to change

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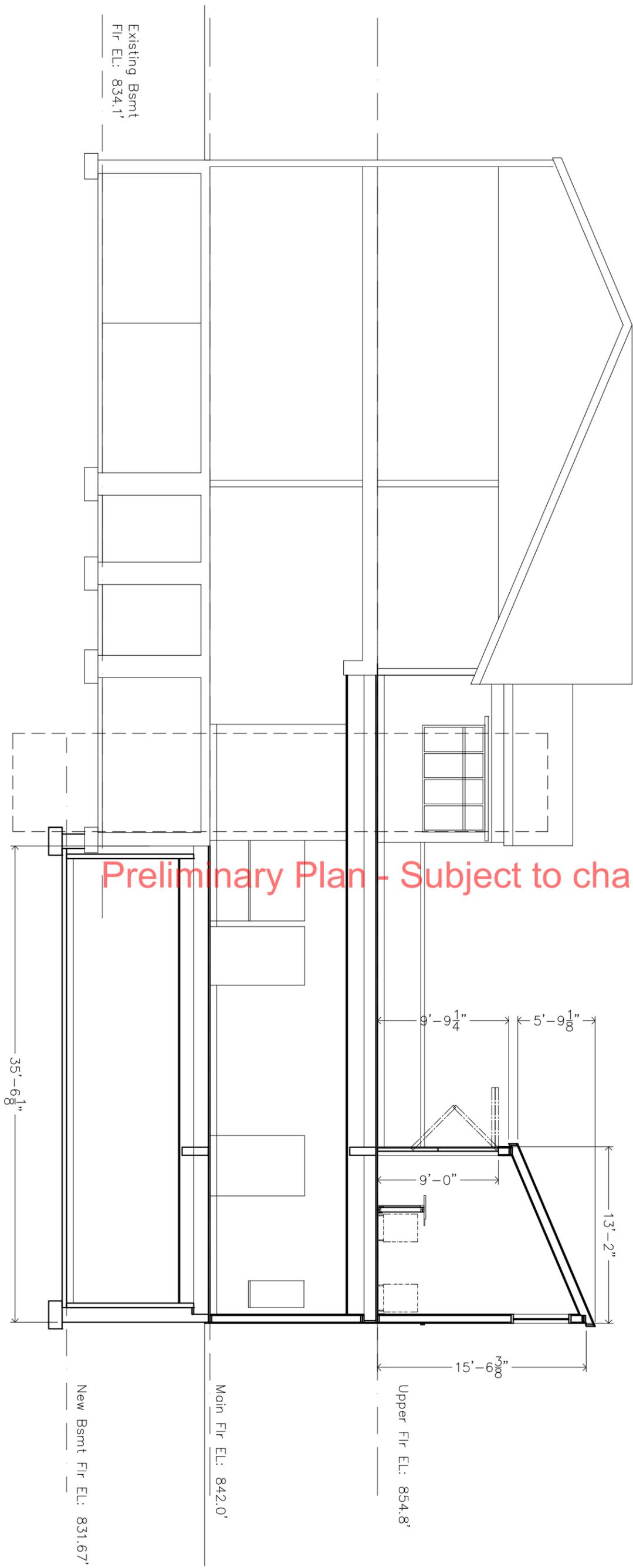
Sheet Number

a3.5

a3.6

Scale : 1/8" = 1'-0"

Section thru Expansion - looking west



Preliminary Plan - Subject to change

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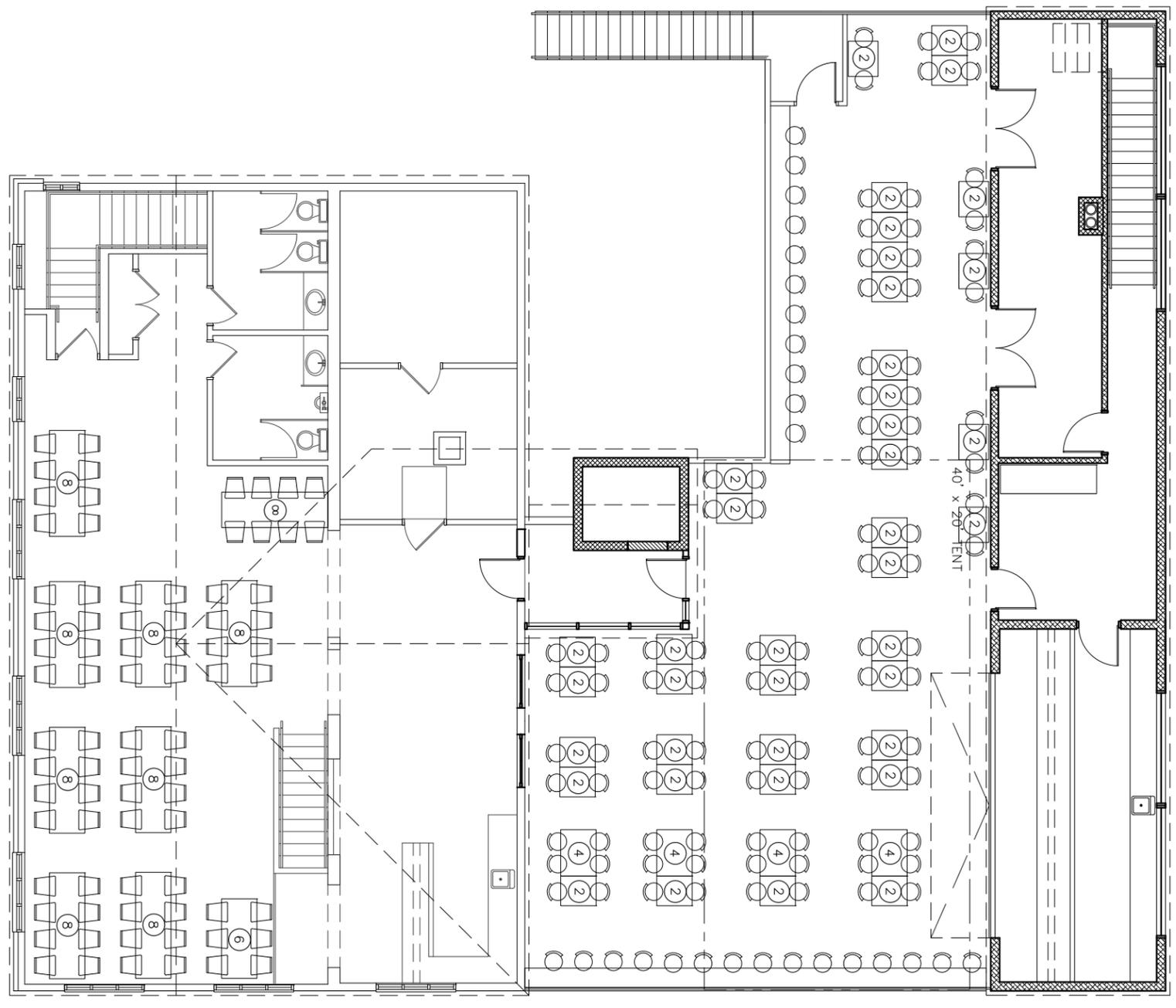
a3.6

08.1  
2

Upper Floor Seating Plan

Scale : 3/32" = 1'-0"

North

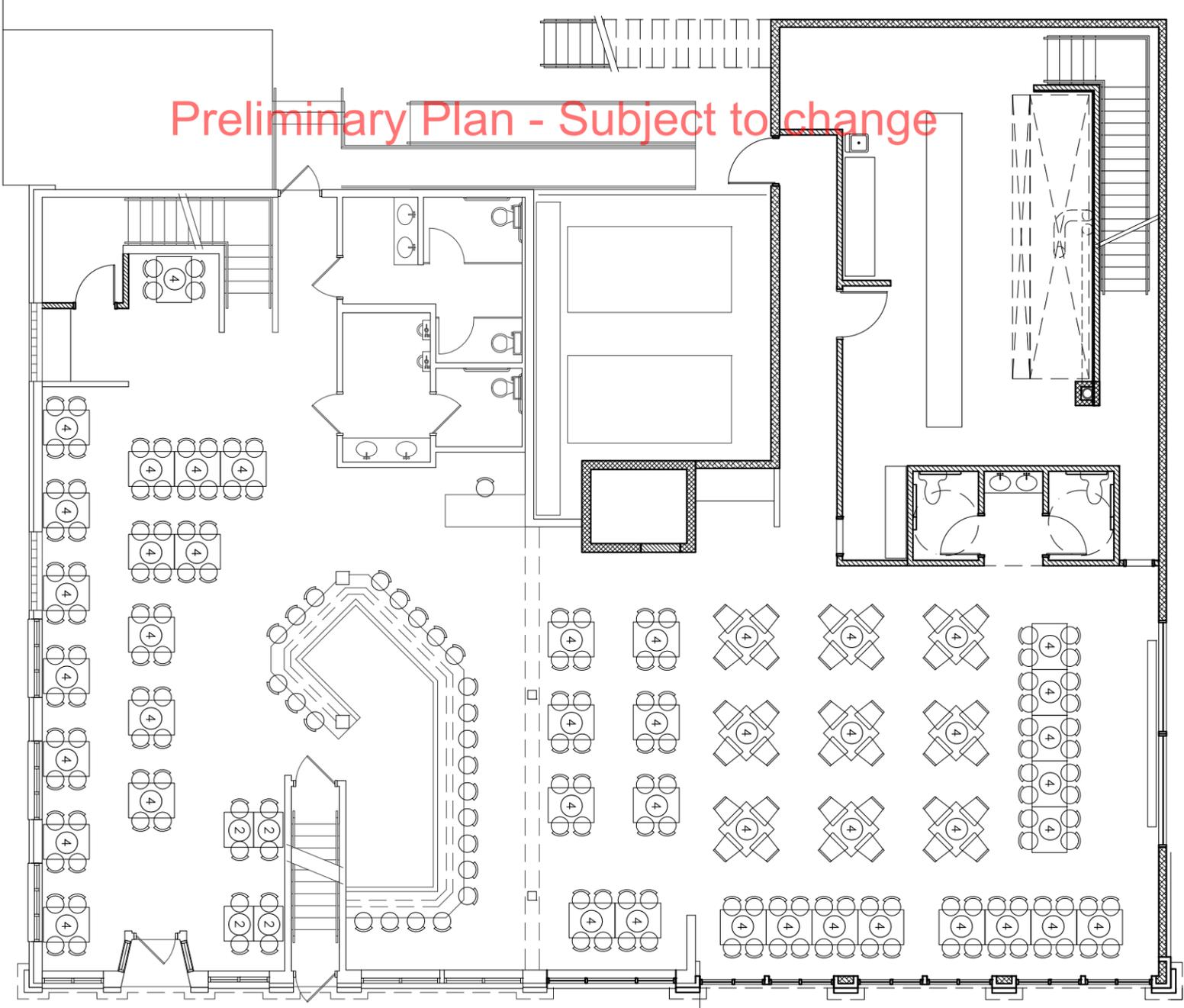


08.1  
1

Main Floor Seating Plan

Scale : 3/32" = 1'-0"

North



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Comm. No. : 13.006.5-C.1.5  
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Date Issued : 12.11.2013

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Construction

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St. Louis Park, Minnesota 55416  
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Sheet Number

08.1









STREET VIEW

Stanley's Northeast Bar Room  
2500 University Ave NE, Minneapolis, MN 55418



Menu a

STREET VIEW  
321 - 329 N Lowry Ave  
Minneapolis, MN 55418 - approximate address

