



SITE BENCHMARK #1
 ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE MNDOT
 GEODETIC WEBSITE. SURVEY DISK 2783M WITH AN ELEVATION OF
 854.60 WAS USED TO ESTABLISH VERTICAL CONTROL FOR THIS
 SURVEY (NAVD 88)

LEGEND

EXISTING	
●	DENOTES FOUND MONUMENT
○	DENOTES SET MONUMENT
○	WATER VALVES
○	HYDRANT
○	CATCH BASIN/STORM MH
○	SANITARY MANHOLE
○	CLEAN OUT
○	UTILITY POLE
○	LIGHT POLE
○	TELE/ELEC. BOX
—	OVERHEAD ELECTRIC LINE
—	UNDERGROUND ELECTRIC LINE
—	TELEPHONE LINE
—	WATER LINE
—	STORM SEWER LINE
—	SANITARY SEWER LINE
—	CHAINLINK FENCE
—	CURB
—	CONCRETE
—	TREE

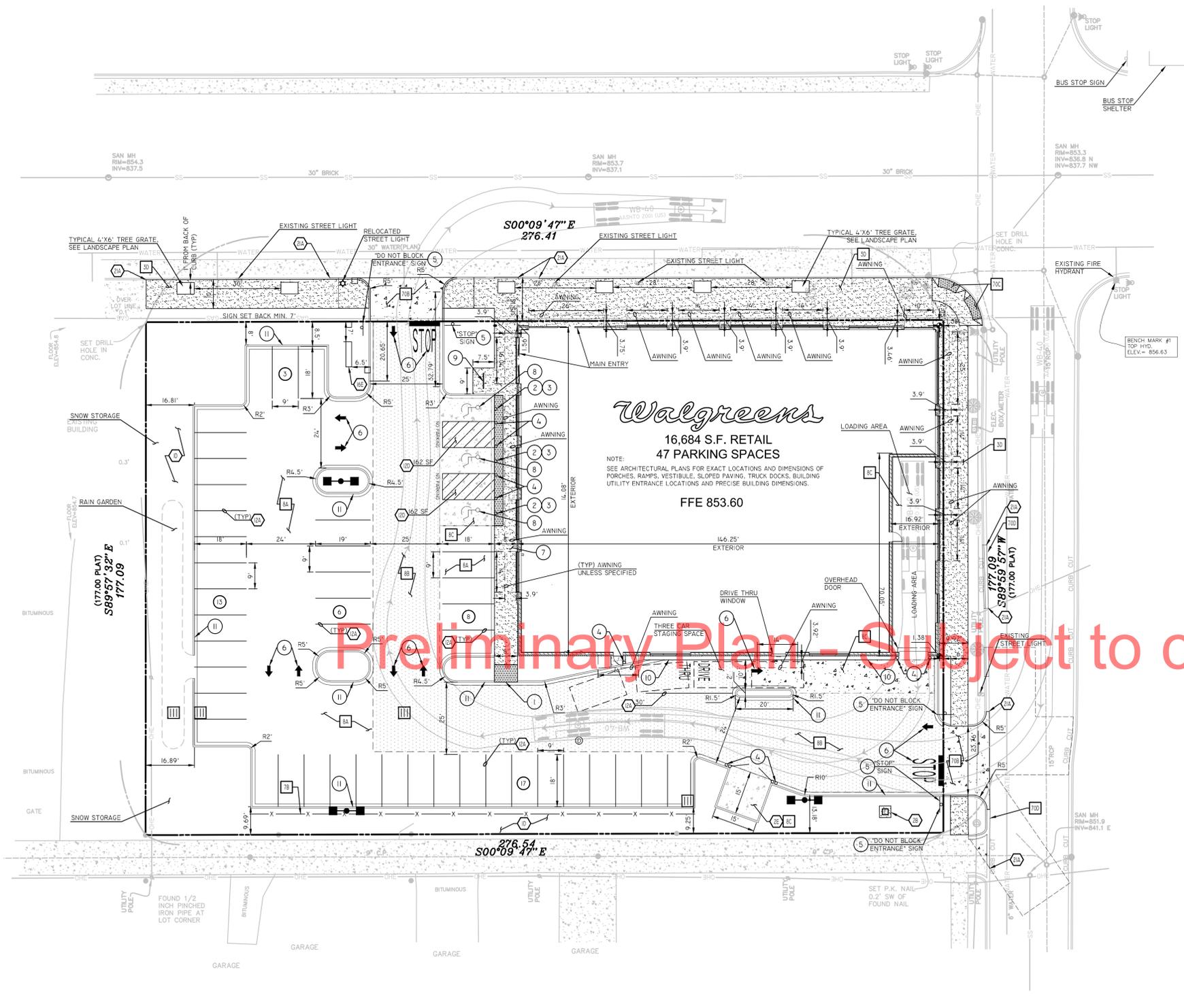
PROPOSED	
—	BOUNDARY LINE
—	RIGHT OF WAY LINE
—	CONCRETE CURB AND GUTTER. SEE DETAIL IA.
●	BUILDING CONTROL POINT
○	PROPOSED PARKING SPACES
—	LIMITS OF SIDEWALKS & CONCRETE APRONS (PER ARCH. PLANS)
—	TYPICAL LIGHT POLE, BASE AND FIXTURE (SEE ARCH PLANS FOR DETAIL)

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADII SHALL BE 2' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO PAVING SHALL BE INSTALLED PER DETAIL IA. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 8A & 8C OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE STRIPED PER PLANS.
- ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL WALGREENS DETAIL 3.
- ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL WALGREENS DETAILS 2 & 3.
- NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT. CONTACT ENVIRONMENTAL SERVICES AT 612-673-3867 FOR PERMIT INFORMATION.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED DURING CONSTRUCTION CALL THE MN STATE DUTY OFFICER AT (651) 649-5451.
- PERMITS AND APPROVAL ARE REQUIRED FROM ENVIRONMENTAL SERVICES FOR THE FOLLOWING ACTIVITIES: AFTER HOURS WORK; TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE; REMEDIATION OF CONTAMINATED SOIL AND GROUNDWATER; REUSE OF IMPACTED SOILS ON SITE; DEWATERING AND DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER TO CITY SEWERS; FLAMMABLE WASTE TRAPS, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL; WELL CONSTRUCTION OR SEALING; ON-SITE ROCK CRUSHING. CONTACT TOM FRAME AT TOM.FRAME@MINNEAPOLIS.MN.GOV FOR PERMIT APPLICATIONS AND APPROVALS.
- AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ALL STREETScape ELEMENTS IN THE PUBLIC RIGHT-OF-WAY SUCH AS: PLANTS & SHRUBS, PLANTERS, TREE GRATES AND OTHER LANDSCAPING ELEMENTS, SIDEWALK FURNITURE (INCLUDING BIKE RACKS AND BOLLARDS), AND SIDEWALK ELEMENTS OTHER THAN STANDARD CONCRETE WALKWAYS SUCH AS PAVERS, STAIRS, RAISED LANDINGS, RETAINING WALLS, ACCESS RAMP, AND RAILINGS (NOTE: RAILINGS MAY NOT EXTEND INTO THE SIDEWALK PEDESTRIAN AREA). PLEASE CONTACT BOB BOBLETT AT (612) 673-2428 FOR FURTHER INFORMATION.
- ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED OPERATIONS (SUCH AS CONSTRUCTION CRANE BOOM SWINGS) THAT FALL WITHIN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT PERMIT APPLICATION. IF THERE ARE TO BE ANY EARTH RETENTION SYSTEMS WHICH WILL EXTEND OUTSIDE THE PROPERTY LINE OF THE DEVELOPMENT THEN A PLAN MUST BE SUBMITTED SHOWING DETAILS OF THE SYSTEM. ALL SUCH ELEMENTS SHALL BE REMOVED FROM THE PUBLIC RIGHT-OF-WAY FOLLOWING CONSTRUCTION WITH THE EXCEPTION OF TIE-BACKS WHICH MAY REMAIN BUT MUST BE UNCOUPLED AND DE-TENSIONED. PLEASE CONTACT BOB BOBLETT AT (612) 673-2428 FOR FURTHER INFORMATION.
- ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED EXCAVATIONS THAT FALL WITHIN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A "RIGHT-OF-WAY EXCAVATION PERMIT". THIS PERMIT IS TYPICALLY ISSUED TO THE GENERAL CONTRACTOR JUST PRIOR TO THE START OF CONSTRUCTION.
- ANY SIDEWALKS OR OTHER CONCRETE INFRASTRUCTURE IN THE CITY RIGHT OF WAY THAT IS DAMAGED DURING CONSTRUCTION, OR DEFECTIVE PRIOR TO CONSTRUCTION, MUST BE REMOVED AND REPLACED.
- THE CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL CONTACT MINNEAPOLIS SURFACE WATERS AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT BMP (CONTACT PAUL CHELSEN, 673-2406 OR PAUL.CHELSEN@MINNEAPOLIS.MN.GOV).
- UPON THE PROJECT'S COMPLETION THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.

SITE NOTES

- 1D SODDED GREEN AREA
 - 2B TRANSFORMER PAD (PER ELEC. COMPANY / AND OR ARCH. PLANS)
 - 2E DUMPSTER ENCLOSURE (PER ARCH PLANS)
 - 12A 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
 - 12D 4 INCH WIDE PAINTED YELLOW STRIPES, 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL)
 - 16E MONUMENT SIGN
 - 21A TAPER CURB TO MATCH EXISTING CURB.
- SITE DETAILS (SEE C540, C550 & C560)
 CONCRETE SIDEWALK
 7B 6' HIGH WOOD FENCE
 8A STANDARD DUTY ASPHALT PAVING
 8B HEAVY DUTY ASPHALT PAVING
 8C HEAVY DUTY CONCRETE PAVING
 70B TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION DETAILS
 70C PEDESTRIAN CURB RAMP
 70D B6-24 CURB & GUTTER DETAILS



Preliminary Plan - Subject to change

PARKING DATA			
STANDARD PARKING (9'X18')	24 MIN. REQUIRED	80 MAX ALLOWABLE	44 PROVIDED
ACCESSIBLE PARKING (9'X18')	2 MIN. REQUIRED	4 MAX ALLOWABLE	3 PROVIDED
TOTAL PARKING*	26 MIN. REQUIRED	84 MAX ALLOWABLE	47 PROVIDED

*MIN 1 SPACE PER 500 SF GFA IN EXCESS OF 4000 SF (26 SPACES)
 MAX: 1 SPACE PER 200 SF GFA (84 SPACES)

EXISTING SITE DATA		
SITE AREA	48,961.38 S.F.	1.12 Ac.
ZONING	C1 (NEIGHBORHOOD COMMERCIAL DISTRICT)	
EXISTING BUILDING AREA	14,574 S.F.	29.77%
EXISTING IMPERVIOUS AREA	36,299.65 S.F.	74.14%
EXISTING PERVIOUS AREA	12,661.73 S.F.	25.86%

PROPOSED SITE DATA		
OVERALL SITE AREA	48,961.38 S.F.	1.12 Ac.
ZONING	C2 (NEIGHBORHOOD CORRIDOR COMMERCIAL DISTRICT)	
PROPOSED BUILDING AREA	16,684 S.F.	34.08% OVERALL SITE AREA
PROPOSED IMPERVIOUS AREA	39,806.12 S.F.	81.30% OVERALL SITE AREA
PROPOSED PERVIOUS AREA	9,155.26 S.F.	28.36% OVERALL SITE AREA
REQUIRED PERVIOUS AREA	6,455.40 S.F.	20.00% PER *

* PERVIOUS AREA FOR SITE IS CALCULATED BY TOTAL SITE - BLDG S.F. X 20%
 (CITY REQUIRES MINIMUM OF 20% PERVIOUS AREA)

WALGREENS SITE DETAILS (SEE C510)

- 1 CURB RAMPS AND OTHER RAMP DETAILS (PER WALGREENS DETAIL 1)
- 2 ACCESSIBILITY SIGNAGE (PER WALGREENS DETAIL 2)
- 3 ACCESSIBLE SIGN AND POST (FREESTANDING) (PER WALGREENS DETAIL 3)
- 4 TYPICAL PIPE BOLLARD (PER WALGREENS DETAIL 4)
- 5 TRAFFIC DIRECTIONAL SIGNAGE (PER WALGREENS DETAIL 5)
- 6 PAVEMENT PAINTING (PER WALGREENS DETAIL 6)
- 7 TYPICAL PERIMETER SIDEWALK (PER WALGREENS DETAIL 7)
- 8 ACCESSIBLE PARKING - SIZE AND MARKINGS (PER WALGREENS DETAIL 8)
- 9 BIKE RACK ISLAND (PER WALGREENS DETAIL 9)
- 10 VERTICAL CURB (PER WALGREENS DETAIL 10)
- 11 COMBINED CURB AND GUTTER (PER WALGREENS DETAIL 11)

ENGINEERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
2025 CENTRE POINTE BLVD., SUITE 210
MINNETONKA, MN 55120
(651) 452-1129
REV 1

SITE PLAN

CADD PLOT: _____
 DRAWN BY: L. COOPER
 DATE: 10/17/13
 REVIEWED: _____
 A. CATCHPOOL

FUTURE STORE #

WALGREENS
2610 CENTRAL AVE.
MINNEAPOLIS

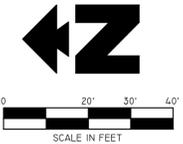
NO.

12-08-13 CHB
11-13-13 JLC
11-13-13 JLC

REVIEWS

C-100

NO. DATE BY



SITE BENCHMARK
 ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE MNDOT GEODETIC WEBSITE. SURVEY DISK 2783M WITH AN ELEVATION OF 854.60 WAS USED TO ESTABLISH VERTICAL CONTROL FOR THIS SURVEY (NAVD 88)

LEGEND

- EXISTING**
- DENOTES FOUND MONUMENT
 - DENOTES SET MONUMENT
 - ⊕ WATER VALVES
 - ⊕ HYDRANT
 - ⊕ CATCH BASIN/STORM MH
 - ⊕ SANITARY MANHOLE
 - ⊕ CLEAN OUT
 - ⊕ SIGN
 - ⊕ UTILITY POLE
 - ⊕ LIGHT POLE
 - ⊕ TELE/ELEC BOX
 - OHE— OVERHEAD ELECTRIC LINE
 - UGE— UNDERGROUND ELECTRIC LINE
 - UGT— TELEPHONE LINE
 - W— WATER LINE
 - SD— STORM SEWER LINE
 - SS— SANITARY SEWER LINE
 - X— CHAINLINK FENCE
 - C— CURB
 - CON— CONCRETE
 - T— TREE

- PROPOSED**
- BOUNDARY LINE
 - RIGHT OF WAY LINE
 - 4" MULCHED AREA WITH FABRIC
 - 4" TOPSOIL AND SODDED AREA
 - MNDOT 310 SEED MIX, INCLUDE MNDOT 110 COVER CROP UNTIL THE NATIVE SPECIES COME IN.

GENERAL LANDSCAPE NOTES

- A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- C. ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE GRADES AND STANDARDS FOR NURSERY PLANTS, AND SHALL CONFORM TO MNDOT SPECIFICATIONS.
- D. ALL DISTURBED AREAS NOT SHOWN AS SOD ON THE LANDSCAPE PLAN SHALL BE AS FOLLOWS:
 FERTILIZERS: SHALL BE APPLIED PER MANUFACTURERS SPECIFICATIONS AND TILLED INTO THE TOPSOIL PRIOR TO PLACING SOD.
 MULCH: SHREDDED HARDWOOD MULCH 4" DEPTH SHALL CONFORM TO MNDOT SPECIFICATIONS 3882 TOPSOIL, 4" DEPTH THAT IS PULVERIZED, SCREENED AND FREE OF HEAVY CLAY, COURSE SAND, STONES, PLANT ROOTS, STICKS AND OTHER FOREIGN MATERIALS. SHALL MEET THE REQUIREMENTS OF MNDOT SPECIFICATIONS 3877 FOR SELECT TOPSOIL BORROW.
 SOD: SHALL CONFORM TO MNDOT SPECIFICATION 3878 (TYPE A LAWN). ALL SLOPES GREATER THAN 4:1 SHALL BE STAKED AS APPROPRIATE TO PREVENT SOD SLIPPAGE.
- E. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND SIX INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- F. MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES.
- G. A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY IRRIGATION CONTRACTOR. IRRIGATION DESIGNER SHALL BE RESPONSIBLE FOR SIZING AND SPECIFYING BACKFLOW PREVENTER IN ACCORDANCE WITH LOCAL CODES.

CITY LANDSCAPE REQUIREMENTS

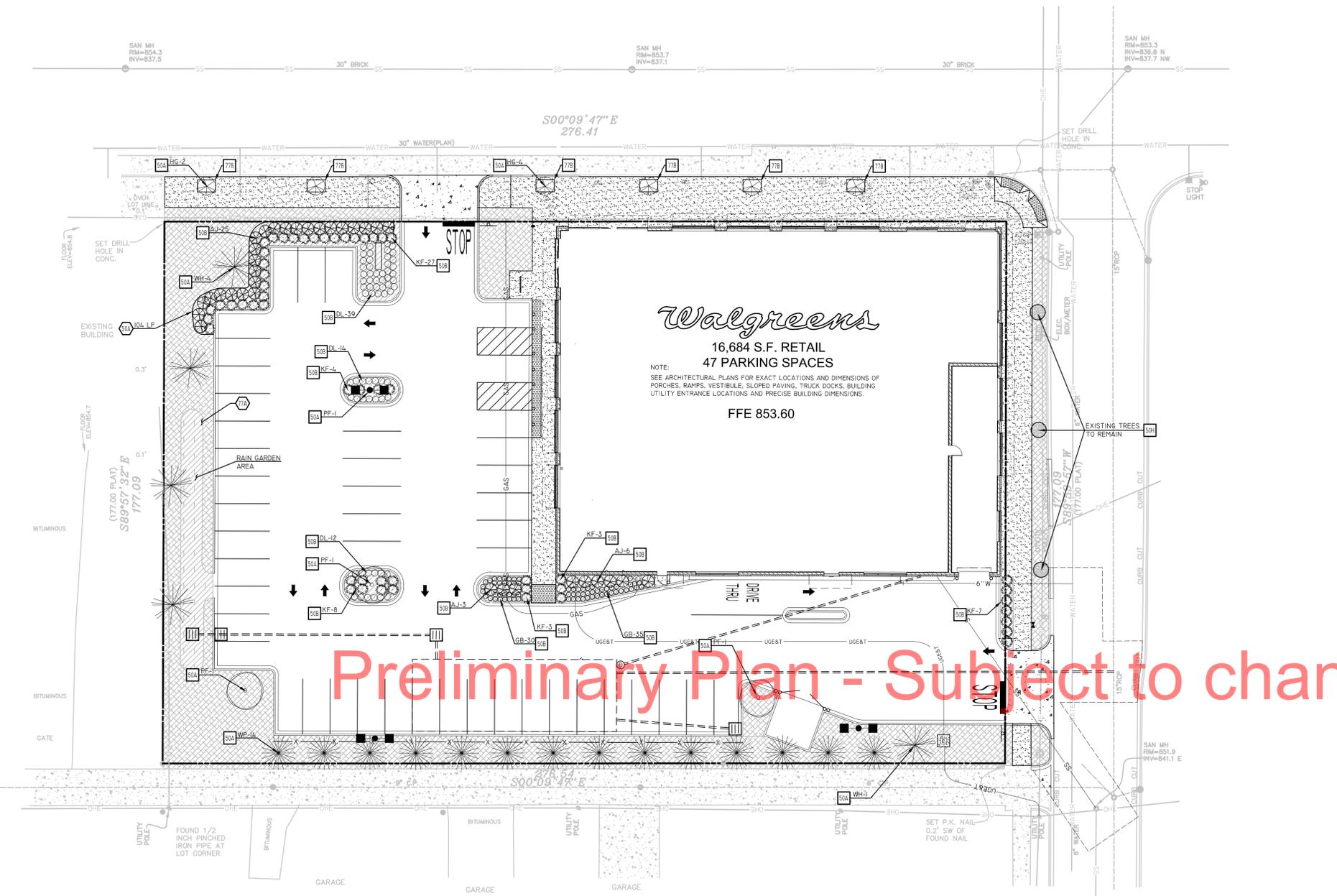
1. NOT LESS THAN TWENTY (20) PERCENT OF THE SITE NOT OCCUPIED BY BUILDINGS INCLUDING ALL REQUIRED LANDSCAPED YARDS SHALL BE LANDSCAPED AS FOLLOWS (FOR PURPOSES OF THIS PROVISION, A CANOPY OR SERVICE AREA CANOPY SHALL NOT BE CONSIDERED A BUILDING.):
 - (1) NOT LESS THAN (1) CANOPY TREE FOR EACH FIVE HUNDRED (500) SQUARE FEET, OR FRACTION THEREOF.
 - (2) NOT LESS THAN (1) SHRUB FOR EACH ONE HUNDRED (100) SQUARE FEET, OR FRACTION THEREOF.
 - (3) THE REMAINDER OF THE LANDSCAPED AREA SHALL BE COVERED WITH TURF GRASS, NATIVE GRASSES OR OTHER PERENNIAL FLOWERING PLANTS, VINES, SHRUBS OR TREES.
2. LANDSCAPE SPECIES SHALL BE INDIGENOUS OR PROVEN ADAPTABLE TO THE CLIMATE, BUT SHALL NOT BE INVASIVE ON NATIVE SPECIES. PLANT MATERIALS SHALL COMPLY WITH THE FOLLOWING STANDARDS:
 - (1) ALL REQUIRED TREES SHALL BE A MINIMUM OF TWO AND ONE-HALF (2.5) INCHES CALIPER IN SIZE, EXCEPT CLUSTER OR MULTIPLE TRUNK SPECIMENS, WHICH SHALL BE A MINIMUM OF ONE (1) INCH CALIPER IN SIZE.
 - (2) ALL REQUIRED SHRUBS SHALL BE A MINIMUM OF ONE (1) GALLON CONTAINER SIZE.
 - (3) ALL LANDSCAPE MATERIALS SHALL BE TOLERANT OF SPECIFIC SITE CONDITIONS, INCLUDING BUT NOT LIMITED TO HEAT, COLD, DROUGHT AND SALT.
 - (4) LANDSCAPE MATERIALS THAT ARE USED FOR SCREENING SHALL BE OF A SIZE THAT ALLOWS GROWTH TO THE DESIRED HEIGHT AND OPACITY WITHIN TWO (2) YEARS.
3. INSTALLATION AND MAINTENANCE OF ALL LANDSCAPE MATERIALS SHALL COMPLY WITH THE FOLLOWING STANDARDS:
 - (1) AREAS TO BE LANDSCAPED SHALL BE PREPARED AND IMPROVED AS SPECIFIED BY CURRENT MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS FOR SOIL PREPARATION AND DRAINAGE.
 - (2) ALL LANDSCAPE MATERIALS SHALL BE INSTALLED TO CURRENT INDUSTRY STANDARDS.
 - (3) MAINTENANCE AND REPLACEMENT OF LANDSCAPE MATERIALS SHALL BE THE RESPONSIBILITY OF THE APPLICANT OR PROPERTY OWNER INCLUDING THE MAINTENANCE OF ANY TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY. AN ADEQUATE WATER SUPPLY SHALL BE INDICATED IN THE SITE PLAN. LANDSCAPE MAINTENANCE SHOULD INCORPORATE ENVIRONMENTALLY SOUND MANAGEMENT PRACTICES, INCLUDING THE FOLLOWING:
 - A. THE USE OF WATER AND ENERGY EFFICIENT SYSTEMS SUCH AS DRIP IRRIGATION
 - B. PRUNING PRIMARILY FOR PLANT HEALTH AND REPLACING DEAD MATERIALS ANNUALLY.
 - C. ANTICIPATING AND ALLOWING PLANT COMMUNITY SUCCESSION.

LANDSCAPE NOTES

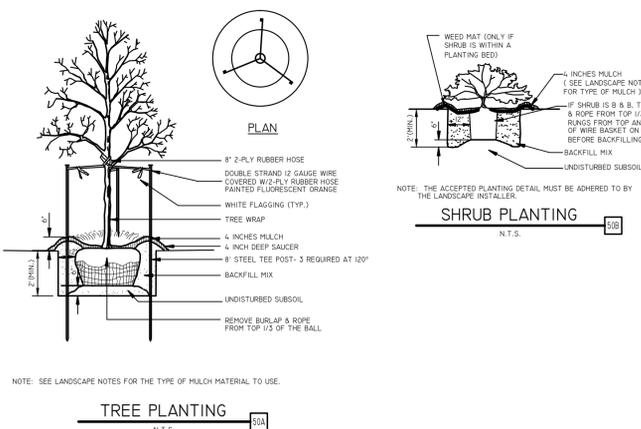
- 50A STEEL EDGING
- 77A MNDOT 310 SEED MIX, INCLUDE MNDOT 110 COVER CROP UNTIL THE NATIVE SPECIES COME IN.

LANDSCAPE DETAILS

- 50A TREE PLANTING
- 50B SHRUB PLANTING
- 50H TREE PROTECTION
- 77B TREE GRATE



Preliminary Plan - Subject to change



TREE LIST

SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
	PF	3	PRAIRIE FIRE CRABAPPLE MALUS 'PRAIRIE FIRE'	CONT.	1.5' CAL.	PLANT AS SHOWN
	WH	5	WITHERING HAWTHORNE CRATAEGUS MONOGYNA	CONT.	1.5' CAL.	PLANT AS SHOWN
	WP	14	EASTERN WHITE PINE PINUS MONTICOLA	CONT.	MIN 6' TALL	PLANT AS SHOWN
	HG	6	HARVEST GOLD LINDEN TILIA CORDATA X HONGOLICA 'HARVEST GOLD'	CONT.	MIN 6' TALL	PLANT AS SHOWN
		28				

SHRUB LIST

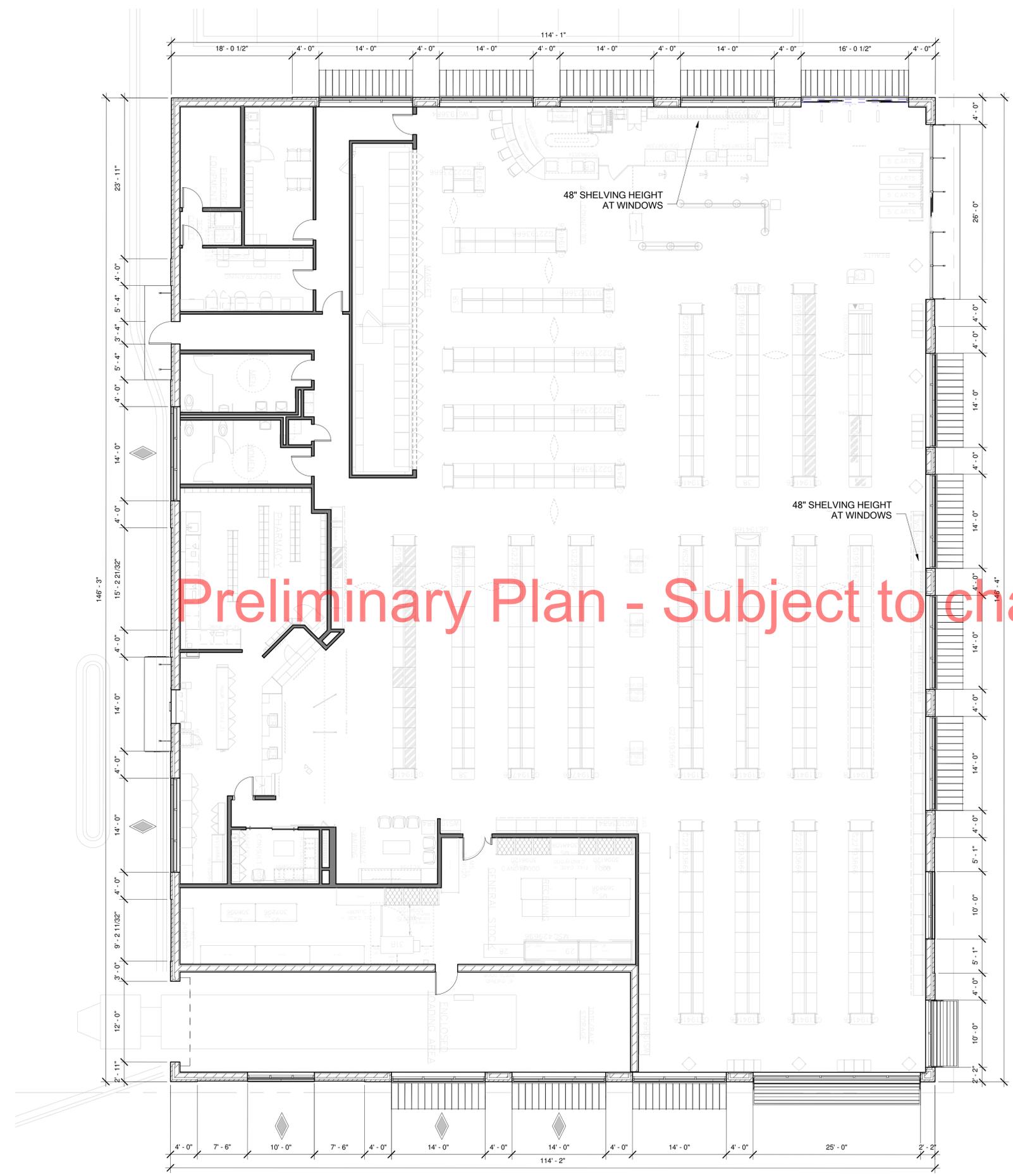
SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
	AJ	34	ANDORRA COMPACTA JUNIPER JUNIPERUS 'ANDORRA COMPACTA'	CONT.	3 GAL	PLANT AS SHOWN
	KF	52	KARL FÖRSTER - REED GRASS CALAMAGROSTIS X ACUTIFLORA	CONT.	1 GAL	PLANT AS SHOWN
	GB	67	GOLDSTURM BLACK EYED SUSAN RUBROSCIA FULGIDA 'GOLDSTURM'	CONT.	#2 POT	2' O.C.
	DL	65	DAYLILLYS (BEDS TO BE A MIXTURE OF TYPE AND COLOR PER INSTALLER)	CONT.	#2 POT	2' O.C.
		218				

Engineering Associates, Inc.
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 MENOTA HEIGHTS, MN 55120
 (651)452-9900
 (651)452-1129
 REV-1

PRELIMINARY
 NOT FOR
 CONSTRUCTION

NO.	DATE	BY	REVISIONS
1	12-08-13	CHB	OWNER COMMENTS
2	11-13-13	MLC	CITY REVIEW COMMENTS

LANDSCAPE PLAN
 FUTURE STORE #
WALGREENS
 2610 CENTRAL AVE.
 MINNEAPOLIS, MN
 CADD PLOT:
 DRAWN BY:
 L. COOPER
 DATE: 10/17/13
 REVIEWED:
 A. CATCHPOOL



Preliminary Plan - Subject to change

1 TOP/FIN. FLOOR
1/8" = 1'-0"

◆ TYPICAL SPANDREL GLAZING



DRAWING TITLE: FIRST FLOOR PLAN	
SCALE: PROJECT NO. 21115928	STORE NO. 21115928
WALGREENS 26th & Central	
DRAWN BY:	DATE:
REVIEWED:	DATE:

NO.	DATE	BY	REVISIONS	DESCRIPTION

CHI

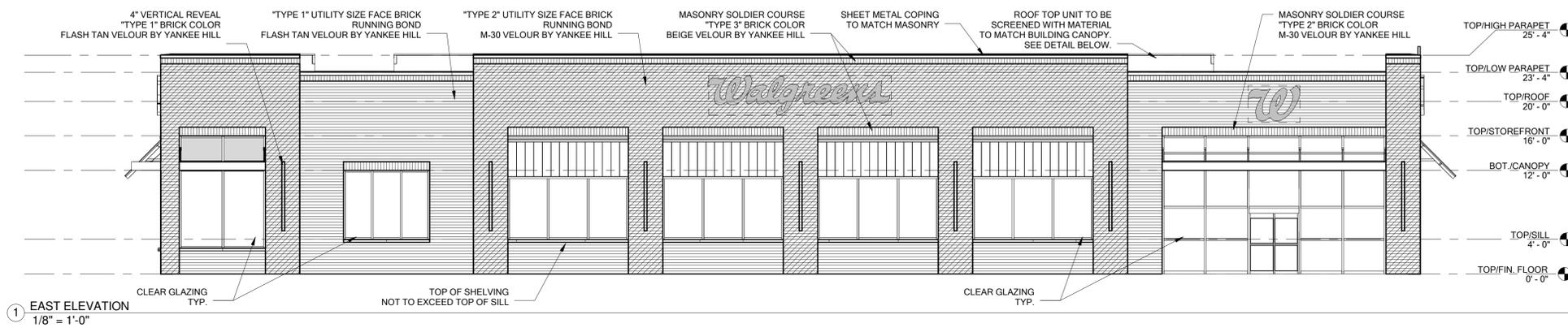
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NO.	DATE	BY	DESCRIPTION

DRAWING TITLE: EXTERIOR ELEVATIONS	PROJECT NO. 21115928	STORE NO. 21115928
SCALE:	WALGREENS 26th & Central	
DRAWN BY:		
DATE:		
REVIEWED:		



1 EAST ELEVATION
1/8" = 1'-0"

CLEAR GLAZING/EXTERIOR WALL
SURFACE AREA PERCENTAGE: 32.3%

21'-2 1/2" WALGREENS 99.86 S.F.
"W" SIGN 25.80 S.F.
TOTAL 125.66 S.F.

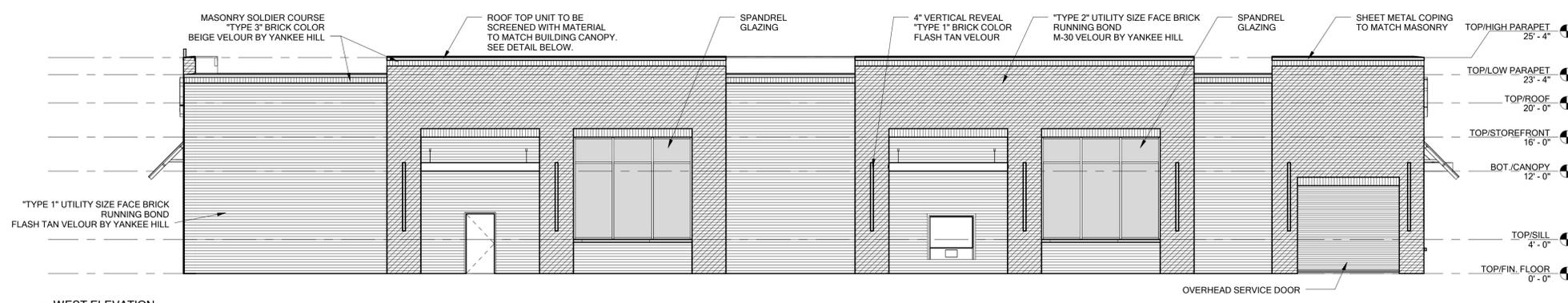


2 NORTH ELEVATION
1/8" = 1'-0"

CLEAR GLAZING/EXTERIOR WALL
SURFACE AREA PERCENTAGE: 30%

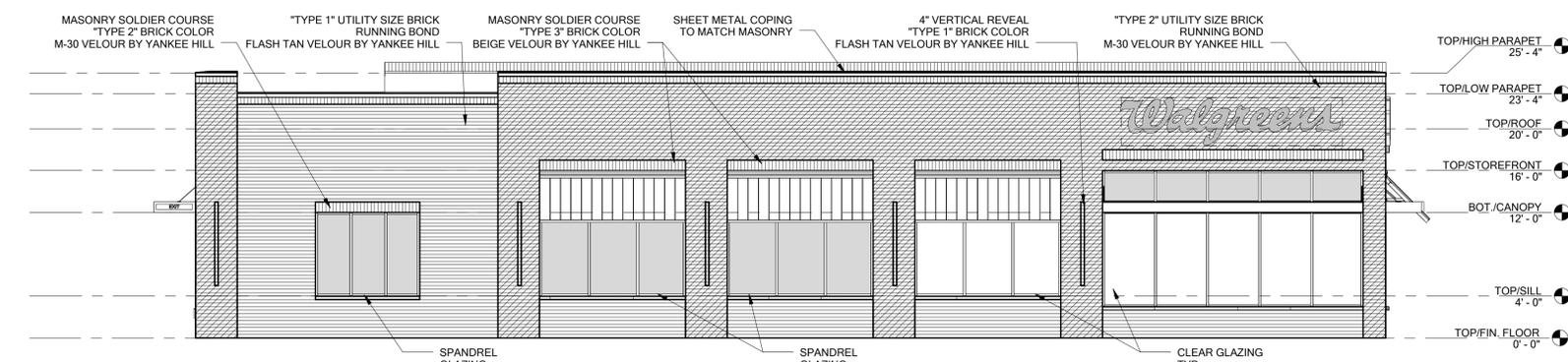
21'-2 1/2" WALGREENS 99.86 S.F.
"DRIVE-THRU" SIGN 1.80 S.F.
TOTAL 101.66 S.F.

Preliminary Plan - Subject to change

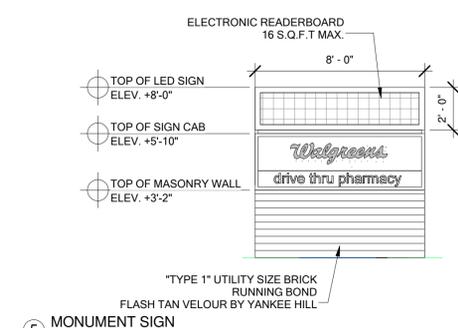


3 WEST ELEVATION
1/8" = 1'-0"

CLEAR GLAZING/EXTERIOR WALL
SURFACE AREA PERCENTAGE: 0.6%



4 SOUTH ELEVATION
1/8" = 1'-0"

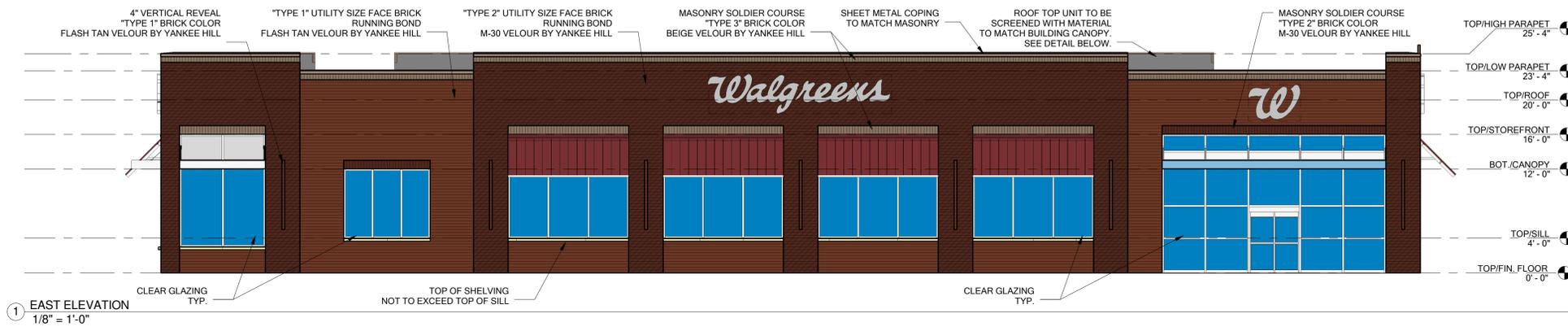


5 MONUMENT SIGN
1/4" = 1'-0"

CLEAR GLAZING/EXTERIOR WALL
SURFACE AREA PERCENTAGE: 13.2%

21'-2 1/2" WALGREENS 99.86 S.F.
"EXIT" SIGN 1.80 S.F.
TOTAL 101.66 S.F.

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 "W" SIGN 25.80 S.F.
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1 EAST ELEVATION
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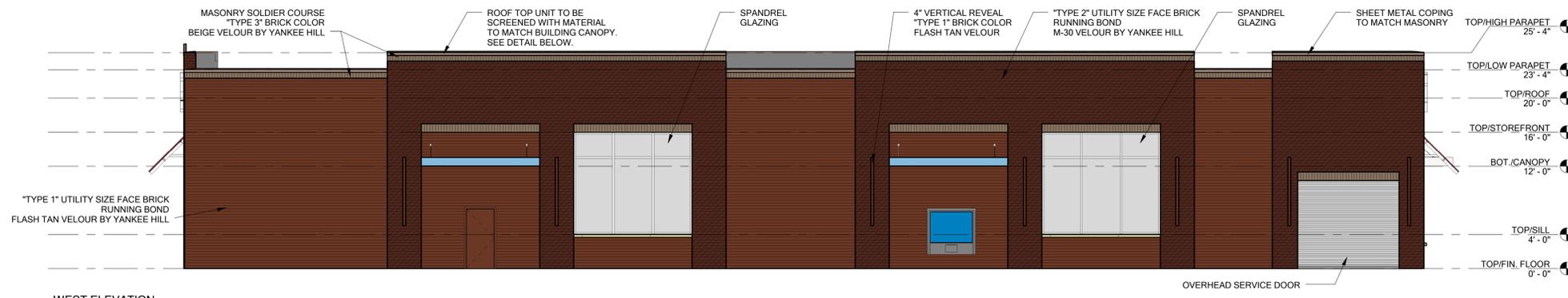


CLEAR GLAZING/EXTERIOR WALL SURFACE AREA PERCENTAGE: 30%

21'-2 1/2" WALGREENS 99.86 S.F.
 "DRIVE-THRU" SIGN 1.80 S.F.
 TOTAL 101.66 S.F.

2 NORTH ELEVATION
1/8" = 1'-0"

Preliminary Plan - Subject to change



CLEAR GLAZING/EXTERIOR WALL SURFACE AREA PERCENTAGE: 0.6%

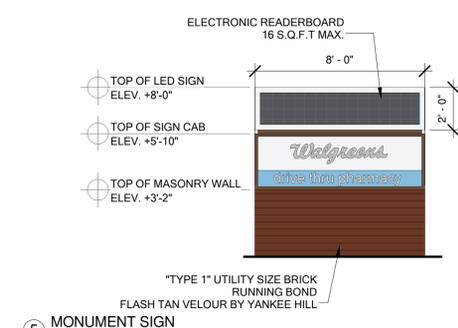
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1/8" = 1'-0"



CLEAR GLAZING/EXTERIOR WALL SURFACE AREA PERCENTAGE: 13.2%

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 "EXIT" SIGN 1.80 S.F.
 TOTAL 101.66 S.F.

4 SOUTH ELEVATION
1/8" = 1'-0"



5 MONUMENT SIGN
1/4" = 1'-0"

ARCHITECTURE PLANNING
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 106 WILMOT ROAD
 DEERFIELD, IL 60015-5105

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