



Client
LUPE
DEVELOPMENT

Project
129 PLYMOUTH
AVE. N.

Location
MINNEAPOLIS, MN

Certification

Summary
Designed: JCB
Approved: HDN Book / Page:
Phase: Initial Issue: 3/24/09

Revision History
No. Date By Submittal / Revision

Sheet Title
ALTA/ACSM LAND
TITLE SURVEY

Sheet Number **Revision**

1 / 1

Project No. LUP18123

LEGEND

- FOUND MONUMENT
- SET MONUMENT
- ⊙ ELECTRIC METER
- ⊙ LIGHT
- ⊙ AIR CONDITIONER
- ⊙ GUY ANCHOR
- ⊙ HANDICAP STALL
- ⊙ UTILITY POLE
- ⊙ GUARD POST
- BOLLARD
- ⊙ SIGN
- WATERMAIN
- SANITARY SEWER
- STORM SEWER
- FLARED END SECTION
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- GAS METER
- OVERHEAD WIRE
- CHAIN LINK FENCE
- IRON FENCE
- WIRE FENCE
- WOOD FENCE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF ACCESS
- CONCRETE CURB
- BUILDING LINE
- BUILDING CANOPY
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- LANDSCAPE SURFACE
- DECIDUOUS TREE
- CONIFEROUS TREE

SURVEY NOTES

- The bearing system is based on the Hennepin County coordinate system, NAD83 (1986 Adjust). With an assumed bearing of North 89 degrees 00 minutes 26 seconds East for the North line of Vanderhork's Subdivision of Lots 1, 2, and 3, Block 10 in Bassett Moore & Case's Addition to Minneapolis.
 - The vertical datum is based on NGVD29. The originating bench marks are 644 and 685, both referenced from the City of Minneapolis Survey Monuments database.
- BENCHMARK #1**
City of Minneapolis Monument #644 at the intersection of 2nd Street North and Plymouth Avenue North. Elev. = 824.33
- BENCHMARK #2**
City of Minneapolis Monument at the intersection of 2nd Street North and 16th Avenue North. Elev. = 827.81
- Subject properties address is 129 Plymouth Avenue North, its property identification number is 15-029-24-34-0104.
 - Field work was completed on 3/20/09.

SUBJECT PROPERTY

Description from title commitment:

PARCEL 1:
Lots "A" and "B", Vanderhork's Subdivision of Lots 1, 2, and 3, Block 10 in Bassett Moore & Case's Addition to Minneapolis, and all that part of the adjoining vacated alley lying Northerly of the center line thereof and between the extensions across it of the Southwesterly line of said Lot A and the Northeasterly line of said Lot B.

PARCEL 2:
Lots C, D, E and F, Vanderhork's Subdivision of Lots 1, 2, and 3, Block 10, Bassett, Moore & Case's Addition to Minneapolis and all that part of the public alley in said subdivision lying westerly of a straight line running from the southeast corner of Lot G said subdivision to a point in the easterly line of Lot 3 of said subdivision, distant 7.4 feet southerly from the northeast corner of Lot 3 of said subdivision, also a parcel of land comprising all of Lot 4, said Block 10 and that part of said Lot 3 and of that part of adjoining 10th Avenue North vacated described as follows: Beginning at the most southerly corner of said Lot 4; thence northerly along the easterly line of Second Street North a distance of 131.16 feet to the northwest corner of said Lot 3; thence East along the North line of said Lot 3 a distance of 144 feet to the Northeast corner thereof, thence Southerly at an angle of 79 degrees 23 minutes to the right along the easterly line thereof a distance of 7.4 feet; thence southwesterly along tangential curve to the left having a radius of 503.34 feet a distance of 56 feet to its point of intersection with a line running through the point of beginning parallel with the north line of said Lot 3, said point of intersection being 82.9 feet distant east from said point of beginning; thence west to point of beginning, according to the plat thereof on file and of record in the office of the Registrar of Deeds in and for Hennepin County.

Lot G, Vanderhork's Subdivision of Lots 1, 2, and 3, Block 10, Bassett, Moore and Case's Addition to Minneapolis, also part of Lots 6 and 7, said Block 10, which lies westerly, of a line running in a northerly direction of the southeasterly corner of said Lot G to a point in the northerly line of said Lot 7, which is 26 feet easterly from the northeasterly corner of said Lot G, according to the plat thereof on file and of record in the office of the Registrar of Deeds in and for Hennepin County.

Referencing Title Commitment No. 9-06196, dated 3/1/2009, that First American Title Insurance Company has provided us, the following comments on easements etc., that the property is subject to in Schedule B thereof using the same numbering system as in said Schedule B, Section II.

- Terms and Conditions Resolution Document No. 894567 vacating the alley in the block bounded by Plymouth Avenue, 2nd St. N. and vacated 10th Ave. N. (As shown on survey)
- NOTE: Doc. No. 894567 refers only to registered property specifically Lots A and B, Vanderhork's Subdivision of Lots 1, 2, and 3, Block 10 in Bassett Moore and Case's Addition to Minneapolis, the Resolution Vacates the entire Alley
- Terms and conditions of Agreement filed September 3, 1937 as Book 1416 of Deeds, page 137. (Does not affect subject property)
- Terms and conditions of Resolution Book 614 Deeds, page 328 vacating a portion of 10th Avenue North. (As shown on survey)

"TABLE A" NOTES

- The subject property lies within Flood Plain Zone X, per FEMA, FIRM Map No. 27053C0357E dated September 2, 2004.
- The gross area of the subject property is 0.77 Acres or 33,690 Square Feet.
- The building(s) and exterior dimensions of the outside wall at ground level are shown on the survey. It may not be the foundation wall.
- There is indication that the subject property has public access to Plymouth Avenue North.
- Underground utilities are per a combination of the following:
 - Observed evidence
 - As located for us by Gopher State One-Call, Ticket No. 90033231, dated 3/20/09.

A Gopher State One Call (GSOC) request was placed on 3/18/09 for utility locates on this site. The underground utility locations, shown hereon, if any, are based upon locates from those utility providers that actually performed a locate as a result of this request. Utility suppliers often do not respond to these requests but may provide ambiguous maps, plans, and drawings in lieu of physical location. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. Utility information shown hereon, if any, is a compilation of this map information and those visible utilities that were located during the survey field work. The surveyor further does not warrant that the underground utilities shown hereon, if any, are in the exact location as indicated, although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Pursuant to MS 216.D contact Gopher State One Call at (651-454-0002) prior to any excavation.

CERTIFICATION

To Lupe Development Partners and First American Title Insurance Company:

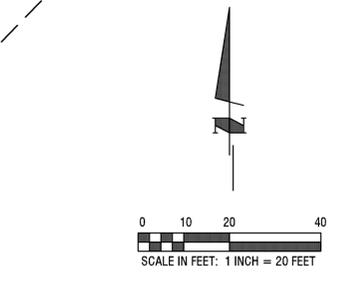
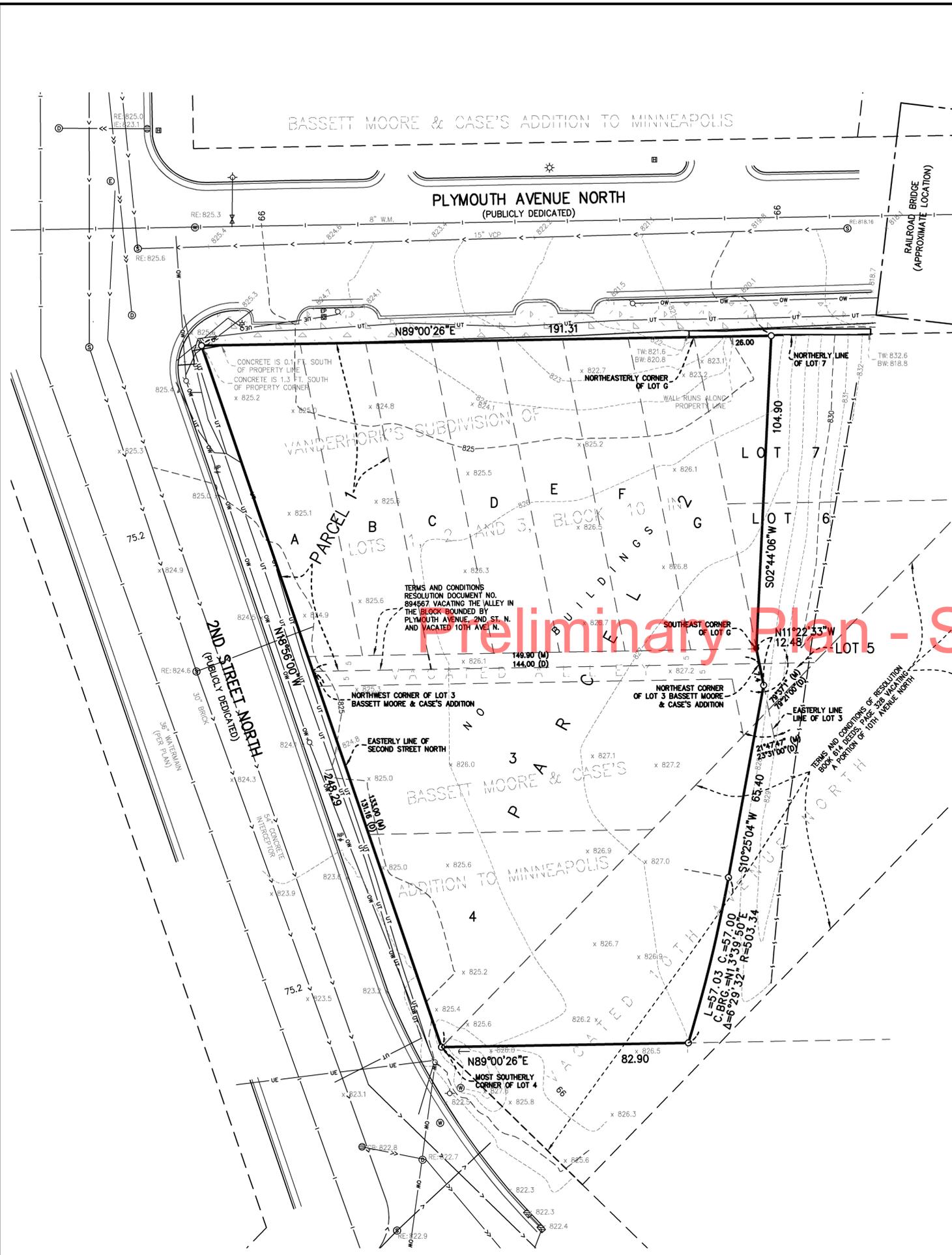
This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, and includes items 1, 2, 3, 4, 5, 8, 10, 11(a)(b) of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Minnesota, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

Dated this 20th day of April, 2009.

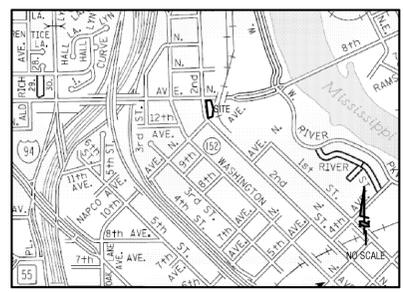
McCombs Frank Roos Associates, Inc.

Henry D. Nelson, PLS
Minnesota License No. 17255

This certification is not valid unless wet signed in blue ink.

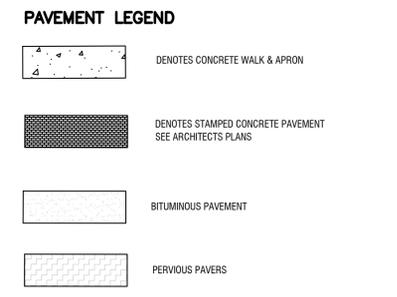
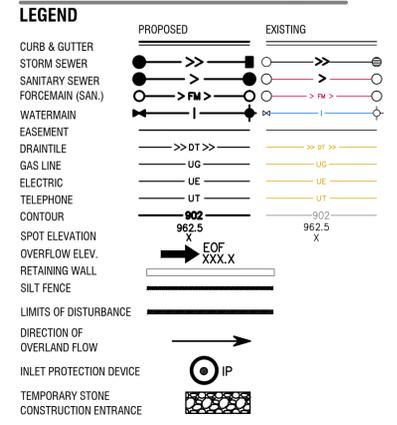
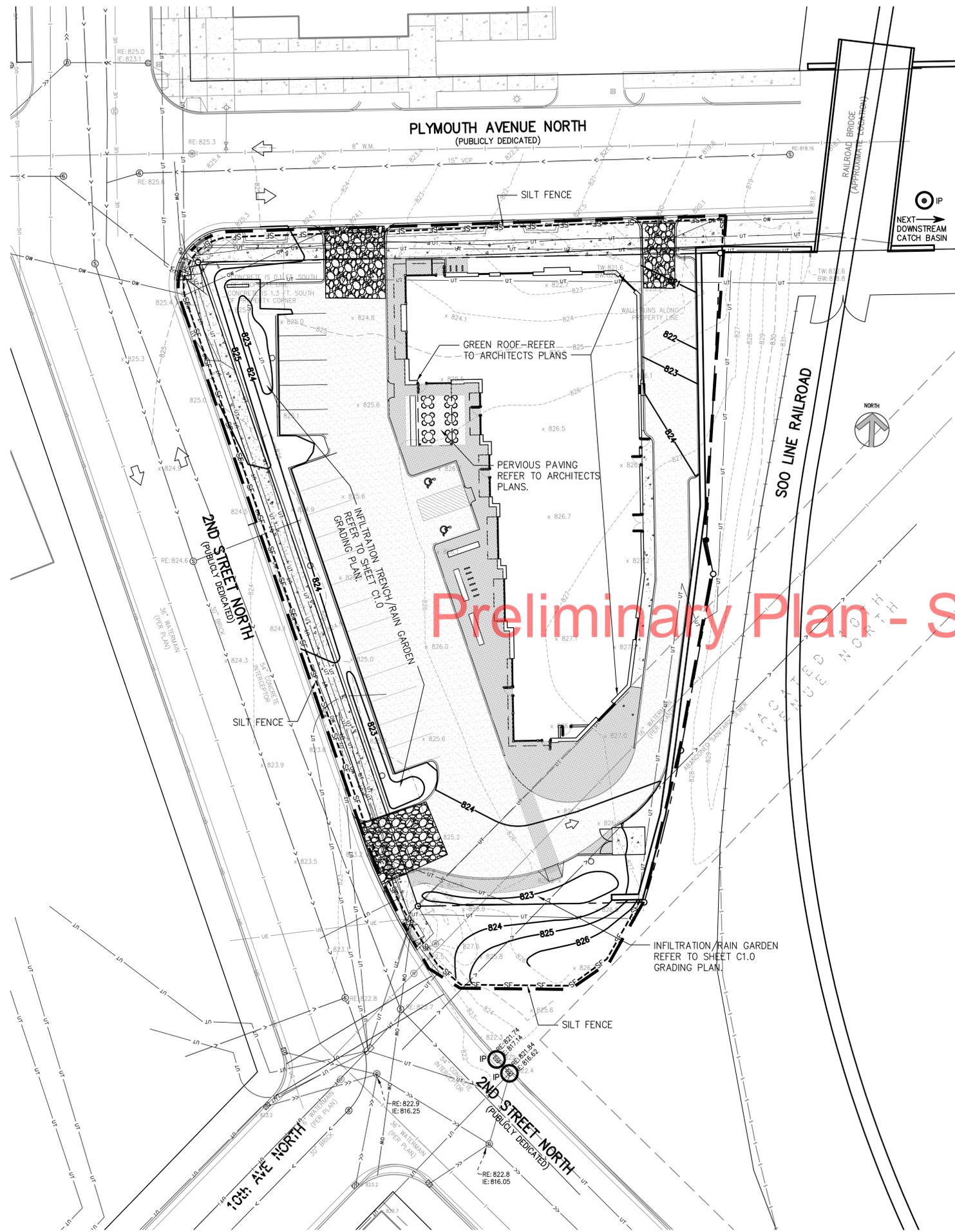


VICINITY MAP



Preliminary Plan - Subject to change

Apr 23, 2009 - 11:07am - User: 1231, Usermail: LUP18123, Userip: 128.241.74.69



NOTE TO CONTRACTOR:

- THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER. TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.
- FOR SURVEY INFORMATION REFER TO TOPOGRAPHIC SURVEY BY MFRA LAND SURVEY DATED 20 APRIL 2009.

GENERAL NOTE:

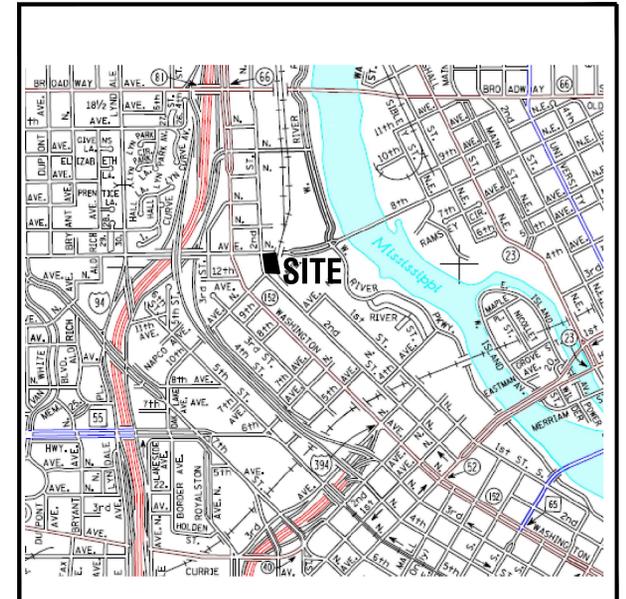
- CONSTRUCTION STAGING - COORDINATE CONSTRUCTION TO MINIMIZE IMPACTS AND SAFETY CONCERNS WITH ADJACENT CITY STREETS. SITUATE STAGING AND STOCKPILE AREAS NEAR WORK ACTIVITIES, SO CITY STREETS DON'T NEED TO BE CROSSED. THUS, AVOID HAVING A STAGING AREA NORTH OF 4TH AVE. SW.

READY MIX CONCRETE TRUCK AND BATCH PLANT WASH-OUT WATER:

- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AND TREATING WASH-OUT WATER WITH IN THE PROPERTY BOUNDARIES OF THE PROJECT SITE.
- WASHOUT SHALL NOT FLOW OFF THE SITE AND INTO THE PUBLIC RIGHT-OF-WAY OR STORM SEWERS.
- THE CONTRACTOR SHALL PROVIDE METHODS TO CONTROL AND TREAT WASH-OUT WATER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE METHODS TO BE USED TO CONTROL AND TREAT WASH-OUT WATER TO THE OWNER FOR REVIEW AND APPROVALS.

GENERAL EROSION CONTROL AND SEQUENCE NOTES:

- OBTAIN EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE CITY OF MINNEAPOLIS DIRECTOR OF INSPECTIONS.
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. INSTALL ROCK CONSTRUCTION ENTRANCES AT ALL SITE ACCESS POINTS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- REMOVE ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.



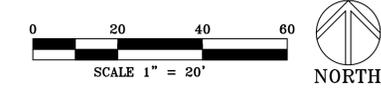
SITE LOCATION MAP
NOT TO SCALE

**CITY OF MINNEAPOLIS ENGINEERING AND DESIGN
STANDARD EROSION CONTROL NOTES:**

- CONTRACTOR MUST NOTIFY CITY OF MINNEAPOLIS ENGINEERING AND DESIGN (612-673-2406) 48 HOURS PRIOR TO ANY LAND DISTURBANCES. FAILURE TO DO SO MAY RESULT IN THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
- INSTALL SILT FENCE AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO BEGINNING CONSTRUCTION. INSTALL SILT FENCE WITH POST SPACING OF 4 FEET OR LESS, 2 FEET INTO THE GROUND. ANCHOR THE SILT FENCE FABRIC IN A TRENCH (AT LEAST 6 INCHES DEEP AND 6 INCHES WIDE) DUG ON THE UP SLOPE SIDE OF THE SUPPORT POSTS.
- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 3 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE. USE A GEOTEXTILE FABRIC BENEATH THE AGGREGATE IN ORDER TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS. ADDITIONAL SWEEPING MAY BE ORDERED BY OWNER AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CATCH BASIN INSERTS IN UNDISTURBED AREAS WITH STAKED SILT FENCE IN AREAS IS THE BEST OPTION. NOTE: HAY BALES OR FABRIC UNDER GRATES ARE NOT EFFECTIVE OR AN ACCEPTABLE FOR OF INLET PROTECTION.
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TAPPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT FENCE BARRIERS AROUND PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACE MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS, AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
- TEMPORARILY OR PERMANENTLY STABILIZE ALL DENUDED AREAS WHICH HAVE BEEN FINISH-GRADED, AND ALL DENUDED AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 14 DAYS. USE SEEDING AND MULCHING, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. USE EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED.
- REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION.

REFER TO SHEET C1.0 FOR GRADING PLAN
REFER TO SHEET C2.0 FOR PAVEMENT AND SPOT ELEVATIONS.
REFER TO SHEET C4.0 FOR STORM SEWER PLANS. REFER TO SHEET L1.0 FOR TURF AND LANDSCAPE PLANS

FOR ENVIRONMENTAL IMPACTS REFER TO ENVIRONMENTAL REPORT AND SOIL BORINGS AVAILABLE FROM OWNER.



tanek

118 E. 26th Street
Suite 300
Minneapolis, MN 55404
P: 612-879-8225
F: 612-879-8152
www.tanek.com

Project Name:
129 Plymouth Avenue North
Minneapolis, MN, 55411

Owner:
Lupe Property Company, LLC
1701 Madison St. NE
Suite 111
Minneapolis, MN 55413

Civil Engineer:



14800 28th Ave. N, Ste 140
Plymouth, Minnesota 55447
(763) 476.6010 telephone
(763) 476.8532 facsimile
www.mfra.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed En. inler under the laws of the state of Minnesota.

John Karwacki
Minnesota license number 1-532
PDR SUBMITTAL
SEPTEMBER 27, 2013

scale name JK/DJD

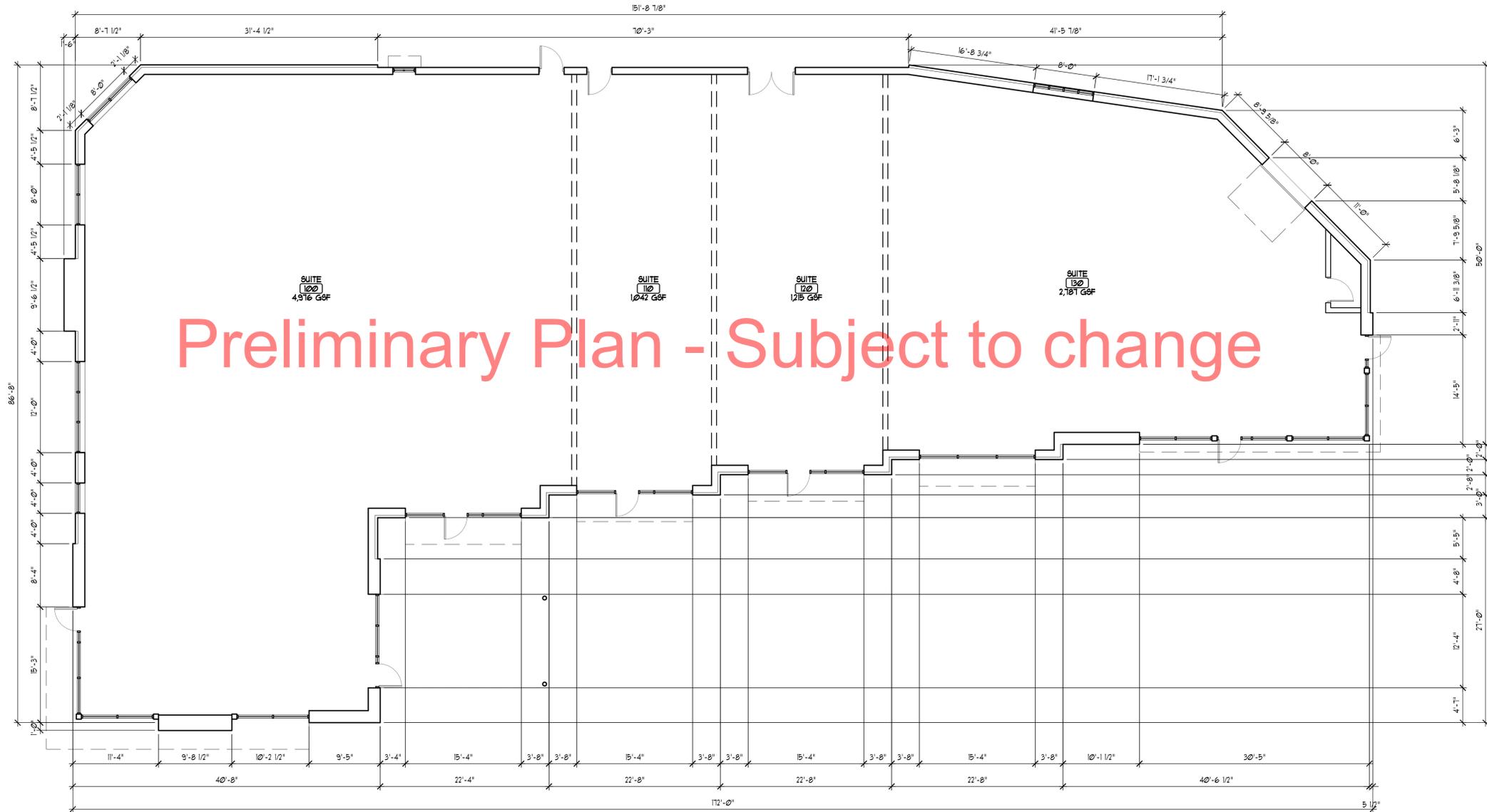
Erosion Control Plan
Modified S: PPP

4.01

129 Plymouth Avenue North
Minneapolis, MN, 55411

Owner:
Plymouth and Second, LLC
1701 Madison St. NE
Suite 111
Minneapolis, MN 55413

Civil Engineer:
MFRA
14800 28TH AVENUE N.
SUITE 140
PLYMOUTH, MN 55447



Preliminary Plan - Subject to change

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

name _____ date _____

license number _____

scale 1/8" = 1'-0"
name _____ JL

Land Use Application 9.27.2013

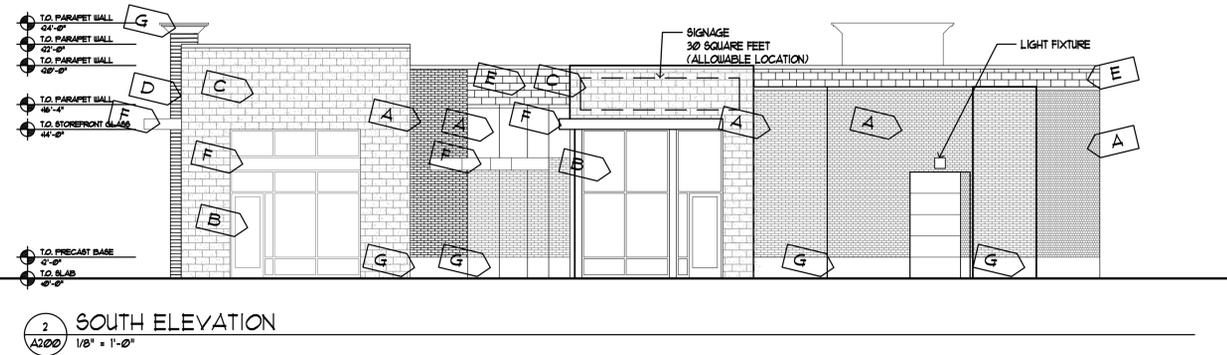
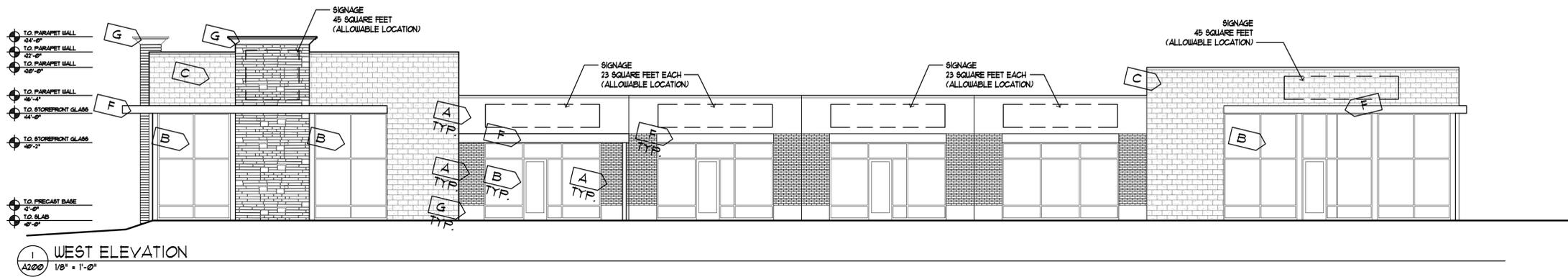
Neighborhood meeting 9.18.2013

FLOOR PLAN



KEY NOTES:

A	BRICK
B	GLASS IN ALUMINUM STOREFRONT SYSTEM
C	ROCK FACE BLOCK
D	STONE VENEER
E	CONCRETE MASONRY UNITS
F	METAL OVERHANG
G	PRE-CAST CONCRETE
H	PRE-FINISHED METAL
I	WOOD DOORS



PERCENTAGE OF MATERIALS

- MODULAR BRICK - 30%
- VISION GLASS - 20%
- STUCCO OR ROCK FACE BLOCK - 20%
- CAST STONE - 5% (ONLY FOR THE DESIGNATED RESTAURANT TENANT)
- PRE-CAST CONCRETE BASE - 5%
- BURNISHED BLOCK ON REAR/OBSCURED FAÇADE - 20%

SIGNAGE:

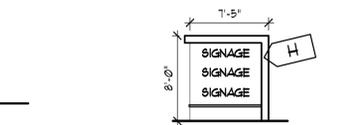
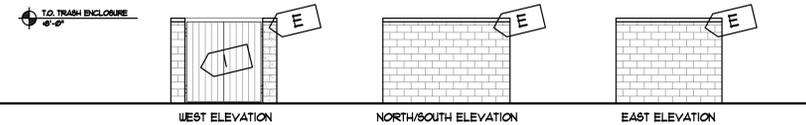
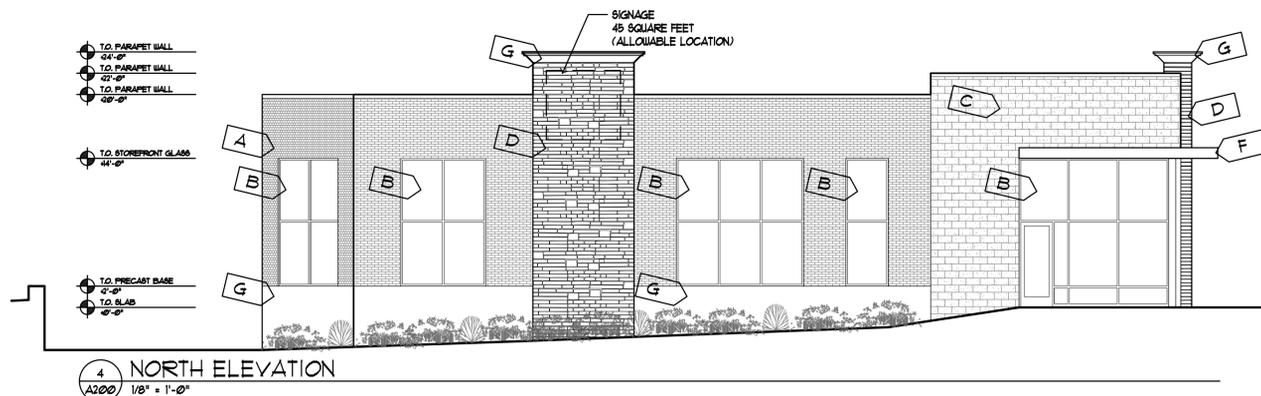
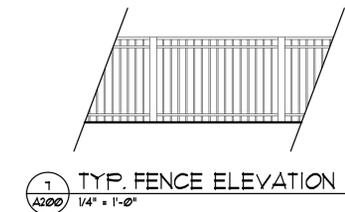
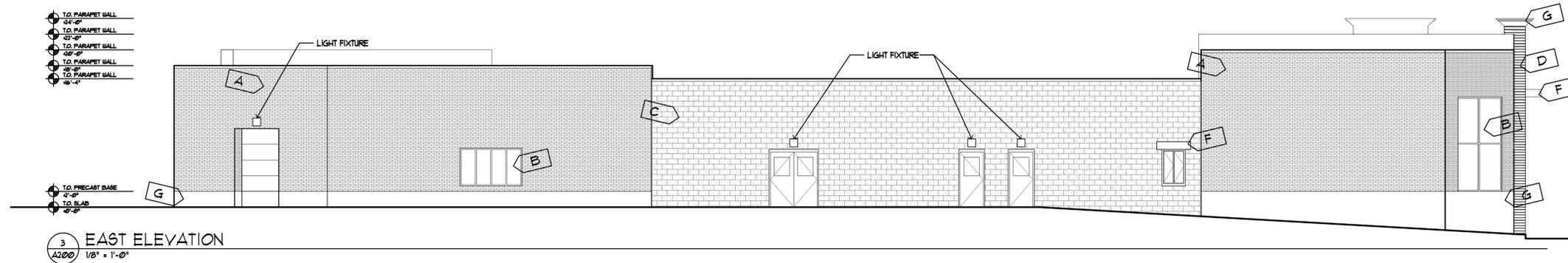
TOTAL ALLOWED SIGNAGE ON BUILDING: 251 SQ. FT.
(1 SQ. FT. PER LINEAR FT. OF STREET FRONTAGE)

TOTAL SIGNAGE ON BUILDING PROVIDED: 251 SQ. FT.

TOTAL ALLOWED MONUMENT SIGN AREA: 60 SQ. FT. EACH SIDE

TOTAL MONUMENT SIGN AREA: 60 SQ. FT. EACH SIDE

Preliminary Plan - Subject to change



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

name _____ date _____
license number _____

scale 1/8" = 1'-0"
name _____ KEP

Land Use Application 9.27.2013
Neighborhood meeting 9.18.2013
EXTERIOR ELEVATIONS

LANDSCAPE LEGEND					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
OVERSTORY TREES					
	SGM	8	Acer Rubrum 'Olson'	NORTHERN MAPLE	2.5" BB STRAIGHT LEADER NO "Y" CROTCH
	HNL	1	Gleditsia tiananthes var. inermis 'Harve'	NORTHERN ACCLAIM HONEYLOCUST	2.5" BB STRAIGHT LEADER NO "Y" CROTCH
PLANTINGS					
	AWS	13	Spirea x bumalda 'Anthony waterer'	ANTHONY WATERS SPIREA	24" CONT FULL FORM TO GRADE, MINIMUM OF A 1 GALLON CONTAINER
	BMJ	0	Juniperus sabinia 'Broadmoor'	BROADMOOR JUNIPER	12" CONT FULL FORM TO GRADE, MINIMUM OF A 1 GALLON CONTAINER
	TAY	0	Taxus x media 'tauntoni'	TAUNTON SPREADING YEW	12" CONT FULL FORM TO GRADE, MINIMUM OF A 1 GALLON CONTAINER
	CBB	30	Viburnum trilobum 'Bailey Compact'	BAILEY COMPACT CRANBERRYBUSH	20" CONT FULL FORM TO GRADE, MINIMUM OF A 1 GALLON CONTAINER
Perennials					
	SDD	129	Hermerocallis 'Stella d' Oro'	STELLA D'ORO DAYLILLY	18" CONT FULL FORM TO GRADE
	KFG	108	Calamagrostis acutiflora 'Karl Forester'	KARL FORESTER REED GRASS	18" CONT FULL FORM TO GRADE
	SWG	95	Panicum virgatum 'Northwoods'	KARL FORESTER REED GRASS	18" CONT FULL FORM TO GRADE

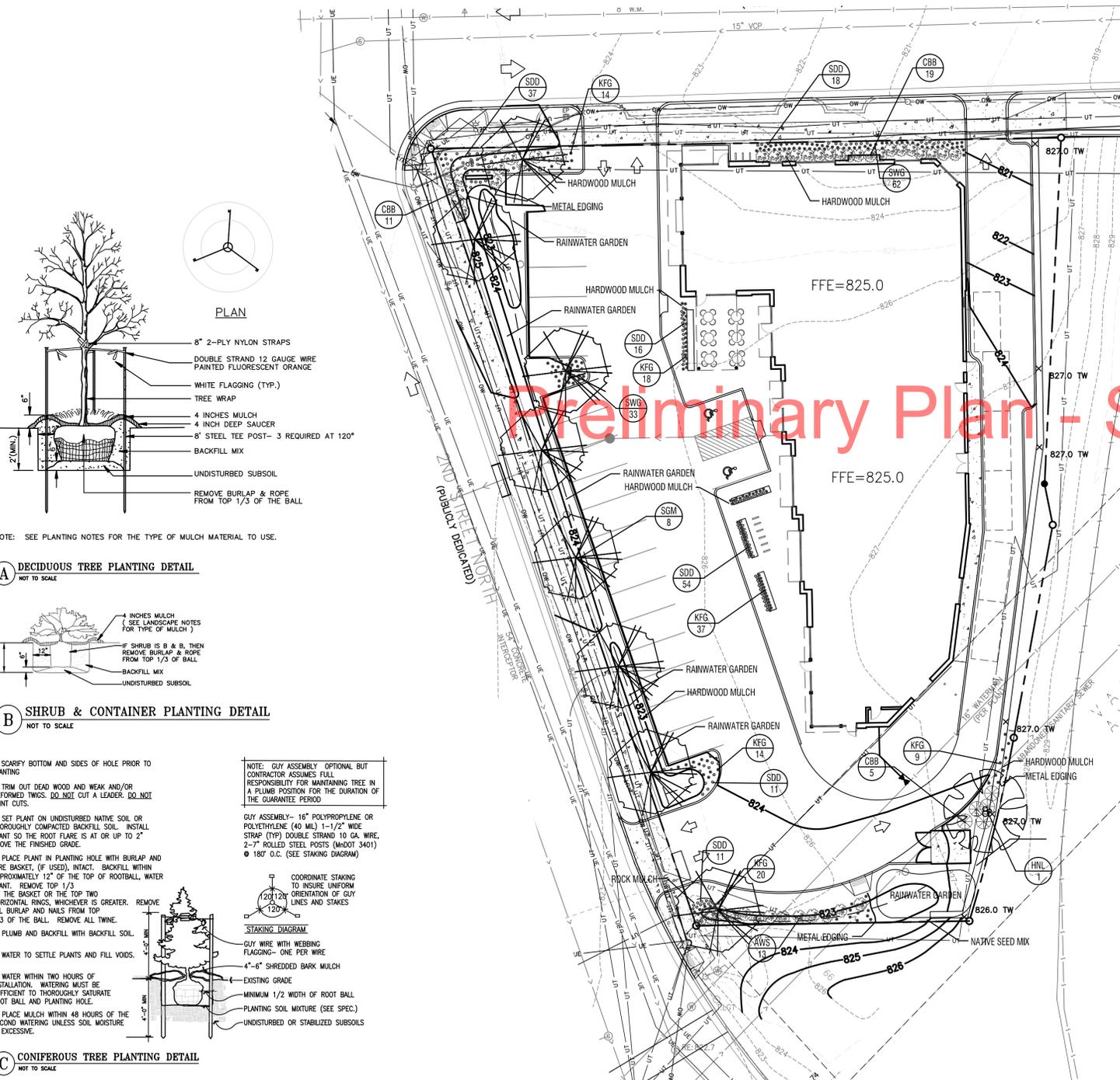
- NATIVE SEED TO BE COMMERCIAL SEED MIX, BWSR U7, SEE MNDOT/BWSR SEEDING MANUAL FOR FURTHER INFORMATION
- SEED TO BE COMMERCIAL SEED MIX, MNDOT 260, SEE MNDOT SEEDING MANUAL FOR FURTHER INFORMATION
- SHREDED HARDWOOD MULCH - NATURAL COLOR
- ROCK MULCH- DRESSER TRAPP ROCK #817, 1/2" MODIFIED, GREY/BLACK IN COLOR BY DRESSER TRAPP ROCK INC., DRESSER, WISCONSIN. 715.483.3216 OR OWNER APPROVED SUBSTITUTE.

NOTES

- HARDWOOD MULCH TYPICAL IN ALL SHRUB AND GROUND COVER AREAS. EDGER TYPICAL WHERE PLANTING BEDS INTERFACE WITH LAWN.
- PLANTING BED EDGER TO BE "COL-MET" METAL EDGER OR EQUAL. FOLLOW OUTLINE OF MATURE PLANT SIZE OR BED LINE AS SHOWN ON PLAN. EASE TRANSITION BETWEEN CURVES. LANDSCAPE ARCHITECT TO APPROVE FINAL BED LAYOUT.
- SOD TYPICAL IN ALL DISTURBED AREAS NOT DESIGNATED TO BE SEEDED OR PLANTED.
- SEPARATE SPRINKLER ZONES FOR AREAS BETWEEN SIDEWALK AND 2ND STREET NORTH AND AREA BETWEEN SIDEWALK AND PLYMOUTH AVENUE NORTH.

PLANTING NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-260, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL TREES MUST BE PLANTED, MULCHED, AND STAKED AS SHOWN IN THE DETAILS.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: SHREDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 4" FOR TREES, SHRUB BEDS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. VERIFY ALL QUANTITIES SHOWN ON THE LANDSCAPE LEGEND.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- THE CONTRACTOR SHALL KEEP PAVEMENTS, PLANTERS AND BUILDINGS CLEAN AND UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND Gopher STATE ONE CALL AT 454-0002 (TWIN CITIES METRO AREA) OR 800-252-1166 (GREATER MINNESOTA) 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- USE ANTI-DESICCANT (WLT/PRUF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED BY ROTOTILLING IT INTO THE TOP 12" OF SOIL.
- ALL PLANTS SHALL BE GUARANTEED FOR ONE COMPLETE GROWING SEASON (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND MATERIALS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK. DECIDUOUS POTTED PLANTS: APRIL 1-JUNE 1; AUG. 21-NOV. 1 DECIDUOUS B&B: APRIL 1-JUNE 1; AUG. 21-NOV. 1 EVERGREEN POTTED PLANTS: APRIL 1-JUNE 1; AUG. 21-OCT. 1 EVERGREEN B&B: APRIL 1-MAY 15; AUG. 21-SEPT. 15 TURF/LAWN SEEDING: APRIL 1-JUNE 1; JULY 20-SEPT. 20 NATIVE MIX SEEDING: APRIL 15-JULY 20; SEPT. 20-OCT. 20
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.
- ALL DISTURBED AREAS TO BE TURF SEEDDED, ARE TO RECEIVE 4" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL DISTURBED AREAS TO RECEIVE NATIVE WETLAND SEEDING, ARE TO RECEIVE ENGINEERED SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE THE RAINWATER GARDEN CROSS SECTION FOR MORE INFORMATION.
- IRRIGATION SYSTEM TO BE DESIGN BUILD, SUBMIT DRAWINGS FOR PRIOR APPROVAL. IRRIGATE ALL SOD WITH EITHER SPRAYS OR ROTORS AT A MINIMUM DESIGN OF 1" PER WEEK. IRRIGATE ALL PLANTERS WITH A DRIP STYLE SYSTEM AT .25" PER WEEK. INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY, SEE SPECIFICATIONS FOR FURTHER INFORMATION.



RAINWATER GARDEN BASIN PLANTING NOTES

- SEE LANDSCAPE PLAN AND DETAIL SHEETS FOR OTHER PLANTINGS AND GENERAL PLANTING INSTALLATION.
- PROVIDE AND INSTALL EROSION CONTROL BLANKET AT RAIN WATER GARDEN AREA SIDESLOPES AND BASE. BLANKET TO BE STANDARD BLANKET STRAW COCONUT, MNDOT CATEGORY 5 (STRAW 2S, COCONUT 2S) PER MNDOT SPECIFICATION 3885, OR APPROVED EQUAL. BLANKET TO BE OVERLAPPED BY 4" AND ANCHORED BY SOD STAPLES. PLACE BLANKET PERPENDICULAR TO THE SLOPE. TRENCH IN EDGES OF BLANKET AREA TO PREVENT UNDER MINING. PROVIDE SILT FENCE AT TOP OF SLOPE AS NEEDED.
- SOIL PROFILE OF THE FILTRATION BASIN AS INDICATED ON DETAIL C/4.02
- THE CEC AND GC WILL COORDINATE THE FINAL STABILIZATION OF THE RING FILTRATION AND FILTRATION BASIN TO BE COMPLETED BETWEEN AUGUST 15TH AND SEPTEMBER 15TH BASED ON THE WEATHER FORECAST DURING THIS TIME PERIOD.
- CONTRACTOR SHALL TEMPORARY IRRIGATE ALL COMPLETED AREAS DESIGNATED TO BE IRRIGATED PER THE PHASING PLAN. FILTRATION BASIN IRRIGATION TO BE OPERATIONAL AT TIME OF COMPLETION OF PLANTINGS. SUBMIT SHOP DRAWINGS AND DESIGN OF TEMPORARY IRRIGATION SYSTEM AND TEMPORARY WATER CONNECTION TO LANDSCAPE ARCHITECT FOR PRIOR APPROVAL

FILTRATION BASIN PLANT SCHEDULE

CODE	QTY	COMMON NAME/LATIN NAME	SIZE	ROOT	REMARKS
BNS	-	BONASET <i>Eupatorium perfoliatum</i>	PLUG	PLUGS	PLANT 18" O.C. BASE
SWM	-	SWAMP MILKWEED <i>Asclepias incarnata</i>	PLUG	PLUGS	PLANT 18" O.C. BASE
BLU	-	BLUE VERVAIN <i>Verbena hastata</i>	PLUG	PLUGS	PLANT 18" O.C. BASE
GLG	-	GRASS-LEAFED GOLDENROD <i>Euthamia graminifolia</i>	PLUG	PLUGS	PLANT 18" O.C. BASE
PAR	-	PATH RUSH <i>Juncus tenuis</i>	PLUG	PLUGS	PLANT 18" O.C. BASE
NDS	-	NORTHERN DROPSEED <i>Sporobolus heterolepis</i>	PLUG	PLUGS	PLANT 18" O.C. BASE
SWG	-	SWITCHGRASS <i>Panicum virgatum</i>	PLUG	PLUGS	PLANT 18" O.C. BASE
BBS	-	BIG BLUESTEM <i>Andropogon gerardii</i>	PLUG	PLUGS	PLANT 18" O.C. BASE
BES	-	BROWN-EYED SUSAN <i>Rudbeckia subtomentosa</i>	PLUG	PLUGS	PLANT 18" O.C. BASE / SIDESLOPE
CAN	-	CANADA RUSH <i>Juncus canadensis</i>	PLUG	PLUGS	PLANT 18" O.C. BASE / SIDESLOPE
PPC	-	PURPLE PRAIRIE CLOVER <i>Dalea purpurea</i>	PLUG	PLUGS	PLANT 18" O.C. SIDESLOPE
COE	-	COMMON OX-EYE <i>Heliopsis helianthoides</i>	PLUG	PLUGS	PLANT 18" O.C. SIDESLOPE
PCF	-	PURPLE CONEFLOWER <i>Echinacea purpurea</i>	PLUG	PLUGS	PLANT 18" O.C. SIDESLOPE
IND	-	INDIAN GRASS <i>Sorghastrum nutans</i>	PLUG	PLUGS	PLANT 18" O.C. SIDESLOPE
CWR	-	CANADA WILD RYE <i>Elymus canadensis</i>	PLUG	PLUGS	PLANT 18" O.C. SIDESLOPE
SBC	-	SAND BRACED SEDGE <i>Carex mullergergii</i>	PLUG	PLUGS	PLANT 18" O.C. SIDESLOPE
SPG	-	SCIBNERS PANIC GRASS <i>Dichanthium oligosanthes scribnerianum</i>	PLUG	PLUGS	PLANT 18" O.C. SIDESLOPE
ROD	-	RED-OSIER DOGWOOD <i>Cornus sericea</i>	18" HT.	#5 CONT.	PLANT 5'-0" O.C. BASE
BCB	-	BLACK CHOKEBERRY <i>Aronica melanocarpa</i>	18" HT.	#5 CONT.	PLANT 5'-0" O.C. BASE / SIDESLOPE
HBC	-	BAILEY COMPACT CRANBERRY <i>Viburnum trilobum 'Bailey Compact'</i>	18" HT.	#5 CONT.	PLANT 5'-0" O.C. SIDESLOPE

TOTAL = 4,428
QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.

tanek

118 E. 26th Street
Suite 300
Minneapolis, MN 55404
P: 612-879-8225
F: 612-879-8152
www.tanek.com

Project Name:
129 Plymouth Avenue North
Minneapolis, MN, 55411

Owner:
Lupe Property Company, LLC
1701 Madison St. NE
Suite 111
Minneapolis, MN 55413

Civil Engineer:

mfra
engineering surveying planning energy

14800 28th Ave. N, Ste 140
Plymouth, Minnesota 55447
(763) 476.6010 telephone
(763) 476.8532 facsimile
www.mfra.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed landscape architect under the laws of the state of Minnesota.

James A. Kalkes
Minnesota license number 45071
PDR SUBMITTAL
SEPTEMBER 27, 2013

scale 1"=20'
name JK/JAK

Site Landscape Plan

