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I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature \_\_\_\_\_

Typed or Printed Name \_\_\_\_\_

License # \_\_\_\_\_ Date \_\_\_\_\_

# BROADWAY FLATS

2220 West Broadway Avenue  
Minneapolis, MN 55411



### SYMBOLS LEGEND

	SECTION AND ELEVATION REF		EXTERIOR ELEVATION KEYNOTE REF
	INTERIOR ELEVATION REF		ROOM NAME AND NUMBER
	DETAIL REF		DOOR NUMBER
	WALL TYPE (SEE SHEET A10.1)		SECTION KEYNOTE REF
	WINDOW TYPE (SEE SHEET A11.2)		REVISION NUMBER
	ELEVATION REF		FIRE EXTINGUISHER CABINET
	SPOT ELEVATION REF		FIRE EXTINGUISHER - WALL MOUNTED
	FLOOR FINISH TRANSITION REF		

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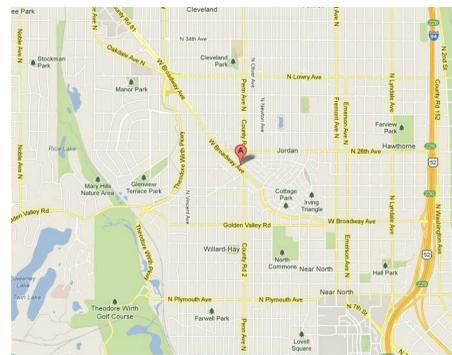
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### UNIT MIX & SQUARE FOOTAGES

#### UNIT MATRIX BY LEVEL

BP-02		
1-A	13	
1-B	11	
1-B TYPE A	1	
1-C	1	
2-A	2	
2-B	1	
2-C	1	
2-D TYPE A	1	
ST-B	1	
ST-C	1	
	33	
BP-03		
1-A	13	
1-B	11	
1-B TYPE A	1	
1-C	1	
2-A	2	
2-B	1	
2-C	1	
2-D TYPE A	1	
ST-A	2	
ST-B	1	
ST-C	1	
	35	
BP-04		
1-A	13	
1-B	11	
1-B TYPE A	1	
1-C	1	
2-A	2	
2-B	1	
2-C	1	
2-D TYPE A	1	
ST-A	2	
ST-B	1	
ST-C	1	
	35	
Grand total	100	

### PROJECT LOCATION



### Vicinity



### Site Location

### PROJECT TEAM

**Owner/Developer:** Rose Development, LLC  
Broadway Flats, LLC  
Dean Rose  
ph: 612-522-4384

**Architect & Interior Designer:** Einess Swenson Graham Architects, Inc.  
500 Washington Avenue South  
Minneapolis, MN 55415  
ph: 612-339-5508  
web: www.esgarch.com

**Structural Engineer:** Ericksen Roed & Associates  
2550 University Avenue West  
Suite 201-S  
St Paul, MN 55114  
ph: 651-251-7570  
email: info@eraeng.com

**Mechanical, Electrical, Plumbing Engineers:** Steen Engineering  
5430 Douglas Drive North  
Crystal, MN 55429  
ph: 763-585-6742  
email: steen@steeneng.com

**Landscape Architect:** b.e. landscape designs, llc  
2010 3rd St NE  
Minneapolis, MN 55418  
ph: 612-382-0902  
web: www.belandscape.com

**Civil:** Sunde Engineering  
10800 Nesbitt Avenue South  
Minneapolis, MN 55347  
ph: 952-881-9944  
email: mtasca@sundecivil.com

**Surveyor:** E.G. Rud & Sons, Inc  
6776 Lake Drive NE  
Suite 110  
Lino Lakes, MN 55014  
ph: 651-361-8200  
web: www.egrud.com

**General Contractor:** TBD

Preliminary Plan - Subject to Change

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PDR SUBMITTAL  
09/20/13

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No.	Description	Date

213514

PROJECT NUMBER

ESG ESG

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KEY PLAN

BROADWAY FLATS

TITLE SHEET

T1.1



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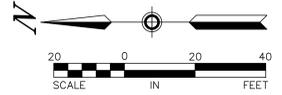
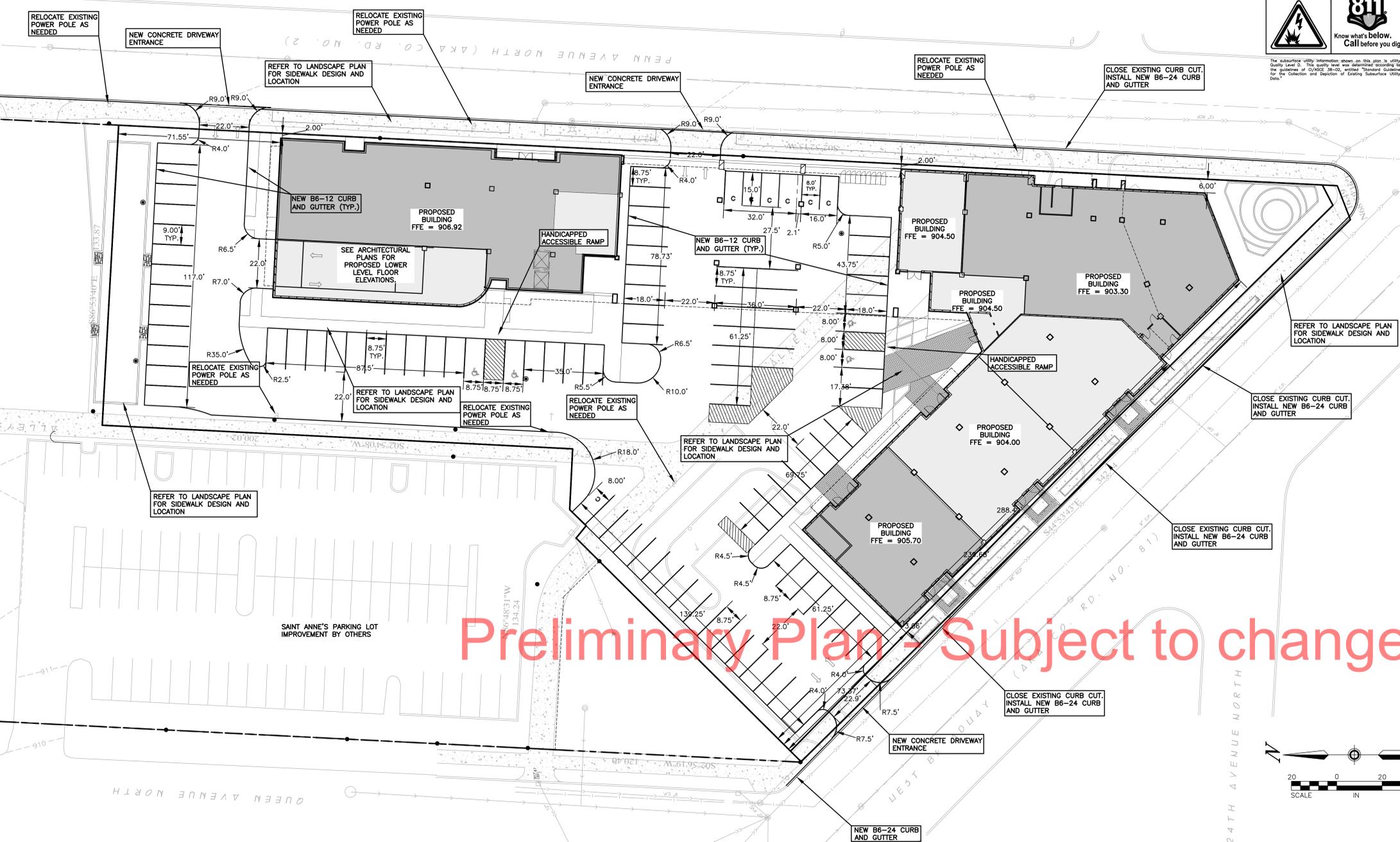
SITE PLAN

C2.0



- SITE NOTES:**
- Existing boundary, location, topographic, and utility information shown on this plan is from a field survey by E.G. Rud and Sons, Inc. dated 9/17/12.
  - Detectable warnings are required on all public and private ramps. Place the detectable warnings at the back of curb. The ADA required truncated dome area shall be 24 inches minimum in the direction of travel and shall extend the full width (4' wide typ.) of the curb ramp. The only acceptable texture for "detectable warnings" is truncated domes. All detectable warning surface installations shall be at minimum at least as non-skid as the surrounding pedestrian surfaces. Detectable warnings are to consist of raised truncated domes with a diameter of nominal 0.9", a height of nominal 0.2", and a center-to-center spacing of nominal 2.35". The truncated dome area shall contrast visually with the adjacent walking surface. Use dark gray when the adjacent sidewalk is a light gray cement color. Use light gray when the adjacent sidewalk is a dark color. Install truncated domes and all related surfaces according to the manufacturer's specifications. Install Armor-Tile (www.armor-tile.com) Cast in Place Truncated Dome Detectable Warning Surface Tile, or approved equal. Refer to ADA sections 4.7.7 and 4.29.2 for additional information.
  - All materials required for this work shall be new material conforming to the requirements for class, kind, grade, size, quality, and other details specified herein or as shown on the Plans. Do not use recycled or salvaged aggregate, asphaltic pavement, crushed concrete, or scrap shingles. Unless otherwise indicated, the Contractor shall furnish all required materials.
  - All dimensions are to face of curb (where applicable), edge of pavement, or exterior face of building, unless otherwise indicated.
  - All curb radii shall be three (3) feet minimum unless otherwise noted.
  - Install and make operational all irrigation before commencing with landscaping.
  - White surface markings (letters and symbols) shall be in conformance with the Standard Alphabets for Highway Signs and Pavement Markings, FHA (HTO-20).
  - Install and maintain access roads throughout all stages of construction. Temporary access roads must be approved by the Fire Department before construction starts.
  - Fire extinguishers must be on-site and available throughout the construction site during all stages of construction.
  - Smoking is prohibited at the construction site except for approved areas designated by the Fire Department. "NO SMOKING" signs must be provided by the Contractor.
  - All cutting and welding must meet the requirements of Article 49 of the Uniform Fire Code.
  - Storage and handling of flammable liquids shall meet the requirements of Article 79 of the Uniform Fire Code.
  - Do not block access to building, fire hydrants, or other fire appliances with construction materials.
  - Provide fire lane signage as required by the Fire Department.
  - Design and maintain fire apparatus access roads throughout construction to support the imposed loads of fire apparatus in all weather driving capabilities. Minimum 7-ton road design required. Pursuant to 1997 Uniform Fire Code Section 902.2.2.2.
  - B612 CONCRETE CURB AND GUTTER IS PROPOSED FOR ALL PRIVATE PROPERTY.
  - Provide traffic control devices and signage in accordance with the Minnesota Manual on Uniform Traffic Control Devices (MUTCD), including the Field Manual for Temporary Traffic Control Zone Locations dated April 1995, the Minnesota Standard Signs Manual Parts I, II, and III and the appropriate Material Specifications, and MNDOT Standard Specification Section 1710. All signs must be reflective.
  - Provide Advance and Construction Zone Signage including, but not limited to, signs for lane closures, low shoulder, uneven lanes, and fresh oil (other items as applicable). The number and location of these signs will be determined by the Contractors operations.
  - Portland cement concrete for curb and gutter and sidewalk shall be 3900 psi minimum 28 days compressive strength with 5.0% air entraining. Concrete aggregates shall be free of organic impurities, chert, shale, or other deleterious substances.
  - Construct all private property concrete sidewalks in accordance with MNDOT Specification 2521. All concrete sidewalks shall be as indicated on the plans, but not less than 4" thick with 6 inch x 6 inch - #10/#10 wire size woven wire mesh reinforcing.
  - Prefabricated expansion joints using 0.5" thickness shall be placed at each end of curb radius, at intersections, and approximately every 200 feet.
  - Contraction joints shall be spaced at 10 foot intervals in the curb and gutter.
  - For exterior concrete slabs, unless otherwise indicated, provide expansion joints at 30 foot intervals and at locations where the concrete surrounds or adjoins any existing fixed objects such as walls, walls, curbing, steps, driveways, building foundations and other rigid structures. Divide exterior slabs into square panels of uniform size generally containing not more than 36 square feet of area.
  - Construct 2" taper at the free end of all concrete curb and gutter sections.
  - Construct all door threshold heights to within 0.5" of finished floor elevation.
  - Provide temporary street signs and addresses during construction.
  - Unless otherwise indicated, install signage 18 inches behind the back of curb or back of walkway.

Preliminary Plan - Subject to change

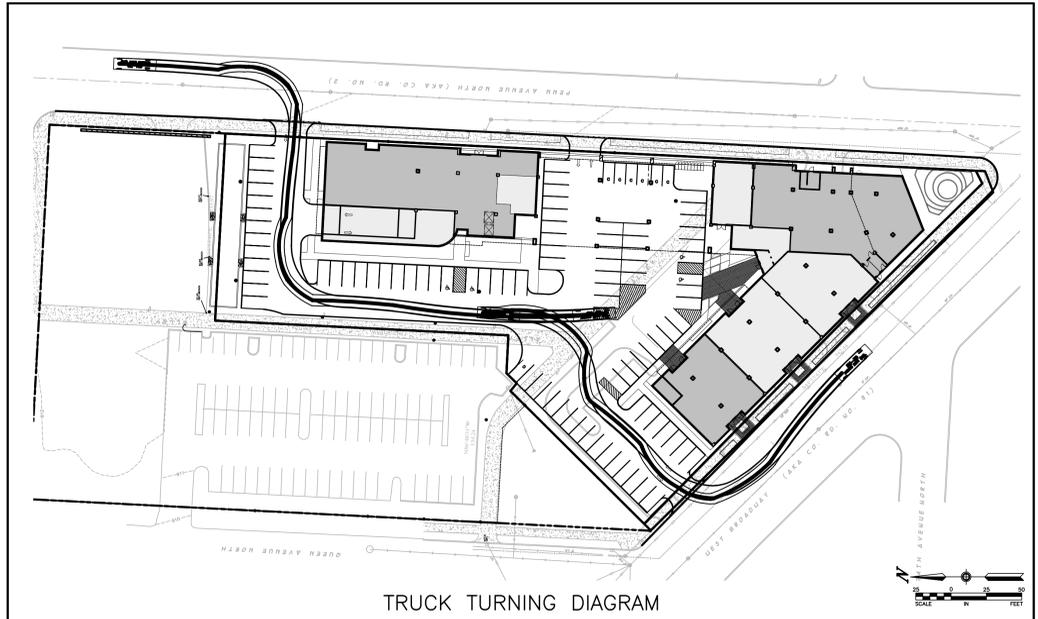
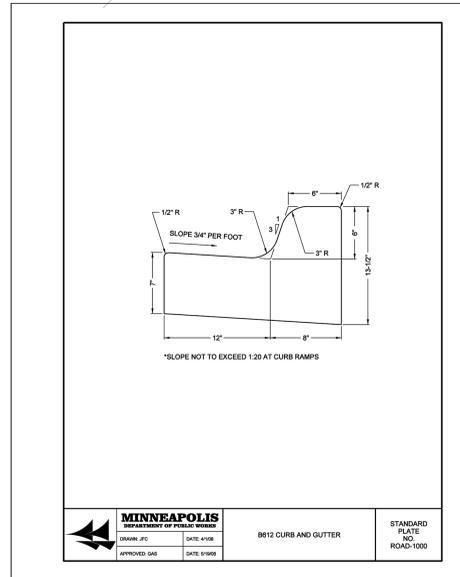
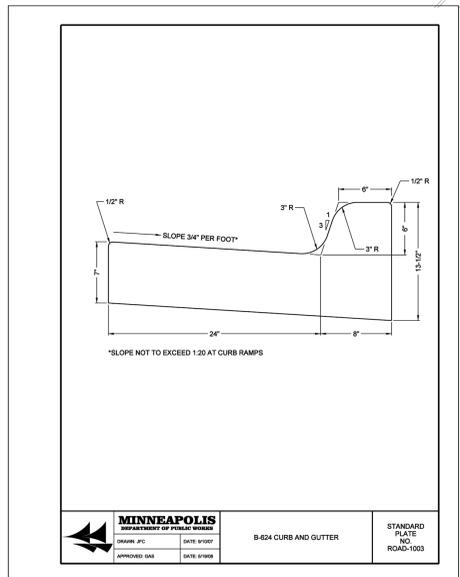


**BROADWAY FLATS:**  
TOTAL SITE AREA = 80,668 SF  
BUILDING STRUCTURE AREA = 37,617 SF  
SITE IMPERVIOUS AREA = 34,162 SF  
LANDSCAPE AREA = 8,889 SF  
GREEN ROOF = 1,200 SF  
PERCENT IMPERVIOUS COVERAGE (EXCLUDING BLDG.) = 79.4%

CONSTRUCT PUBLIC SIDEWALKS IN ACCORDANCE WITH CITY OF MPLS "SPECIFICATIONS FOR MONOLITHIC CONCRETE SIDEWALK"

Any elements of an earth retention system in the right of way will require an encroachment permit application. All such elements shall be removed from the right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned.  
A construction crane whose boom extends over the public right of way will require an encroachment permit application.

No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00pm and 7:00am on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.





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Mike R. Kettler  
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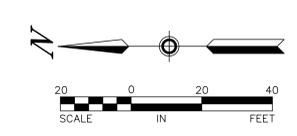
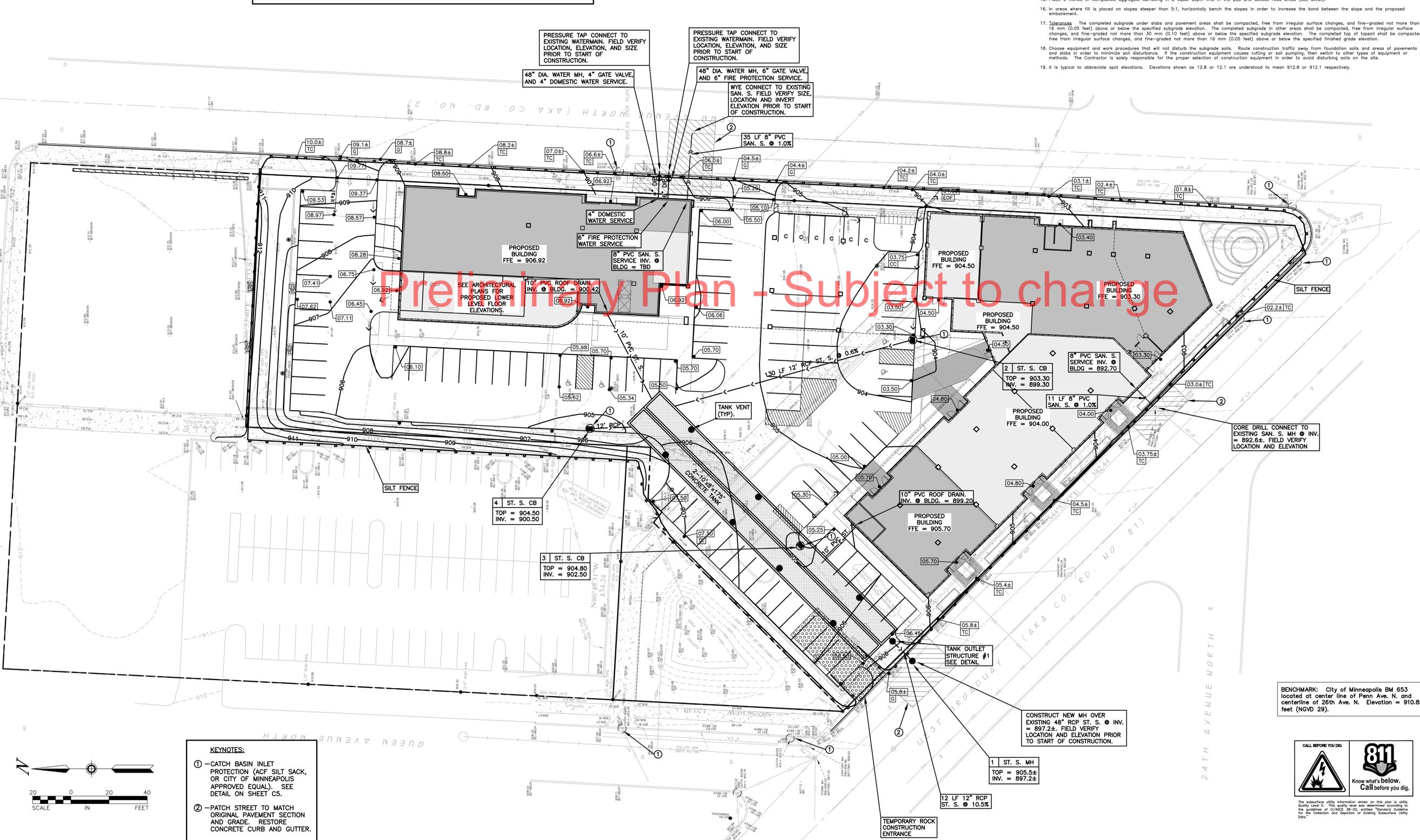
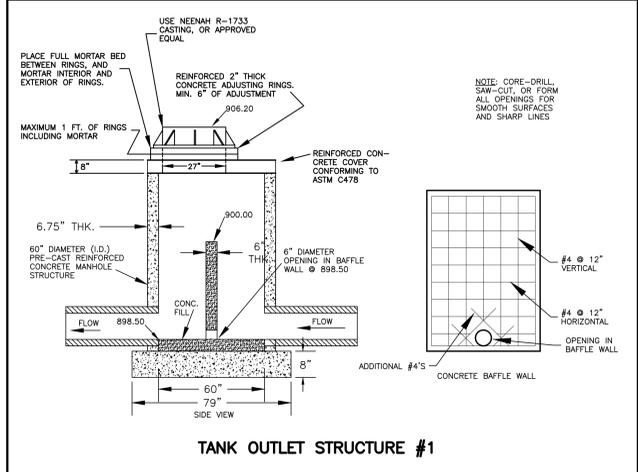
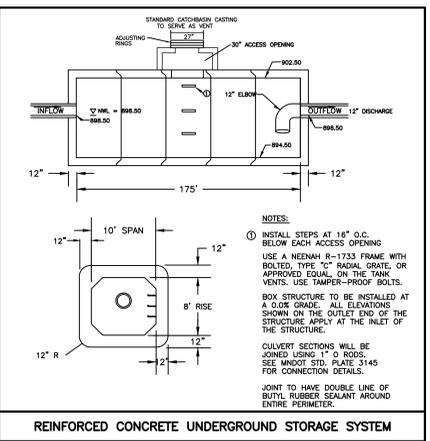
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BROADWAY FLATS

GRADING, UTILITY AND EROSION CONTROL PLAN

C3.0

SITE GRADING:

- 1. Visit the site. Become familiar with the site and existing site conditions including available soil reports. Examine all local conditions of the site, and assume responsibility as to the grades, contours, and the character of the earth, existing conditions, and other items that may be encountered during excavation work above or below the existing grades. Review the drawings and specifications covering this work and become familiar with the anticipated site conditions.
- 2. Unless otherwise noted, all proposed grades shown are finished grades. Finished grades at points between spot elevations or contours are determined by uniform slopes between the given grades. All proposed spot elevations shown at curbsides are to bottom of curb (gutterline) unless otherwise indicated.
- 3. At locations where new work connects to existing work, field verify existing elevations and grades prior to beginning the new work. Match existing grades at construction limits.
- 4. Due to the location of adjacent structures, it may be necessary to apply slope stabilization techniques in order to excavate to the final foundation elevations. Refer to the geotechnical report by the Soils Engineer for requirements regarding acceptable methods.
- 5. Remove all unsuitable material (organic soils, uncontrolled fill, debris, and natural or artificial obstructions) in the zone from 1 m (3.28 feet) below the finished subgrade to finished subgrade in the proposed pavement areas.
- 6. Comply with the requirements of O.S.H.A. 29 CFR, Part 1926, Subpart P, "Excavations and Trenches." (www.osha.gov)
- 7. Construct all proposed sideslopes with grades not exceeding 3:1 (3 horizontal to 1 vertical), unless otherwise indicated.
- 8. Provide positive drainage away from buildings at all times.
- 9. Test roll the building and pavement areas in the presence of the Geotechnical Engineer. Perform base preparation and test rolling prior to curb and gutter construction, placing of gravel base, sand/gravel sub-base, bituminous stabilized base, or plant road bituminous base on all street and pavement areas. Test roll the area between 300 mm (12 inches) outside of the back of the curb on either side of the paved areas. Use a heavy pneumatic-tired roller, towed by suitable tractive equipment, with two wheels spaced not less than 1,800 mm (71 inches) apart (transversely center to center), tire size equal to 18x24 or 18x25 (18" wide) inflated to a pressure of 450 kPa (64 psi), and a gross mass of the roller not less than 13.5 metric tons (14.9 tons) and not more than 13.7 metric tons (15.1 tons). Test roll the above specified area in a manner such that each part of the area comes in contact with one of the tires at least once. Operate the heavy roller at a speed of not less than 4 km/h (2.5 mph) and not more than 8 km/h (5 mph). The subgrade shall be considered unstable if, at the time that the heavy roller passes over the subgrade, the surface shows yielding or rutting of more than 50 mm (2 inches), measured from the original surface to the bottom of the rut. Correct any soft spots or displacements which appear during the test rolling by scarifying, aerating or watering, and recompacting as required to obtain stability or by excavating to solid material and backfilling with material suitable for base construction. Remove material such as vegetation, rubbish, large stones, peat, and wet clay. Retest the area after correction.
- 10. Perform soil correction procedures and compaction in accordance with the soils report.
- 11. Coordinate inspection and approval of all subgrades within the building and pavement areas with the Geotechnical Engineer. Coordinate inspection and approval of all fill materials prior to placement within the building and pavement areas with the Geotechnical Engineer. Use only uncontaminated fill material.
- 12. Conduct all grading operations in a manner that minimizes the potential for site erosion.
- 13. Grade the site to the finished elevations shown on the plan. Import embankment material, or remove and dispose of excess excavation material as required. Provide waste areas or disposal sites for excess material including, but not limited to, excavated material or broken concrete that is not desirable to be incorporated into the work involved on this project. Determination of material import and export quantities is solely the responsibility of the Contractor and the cost of material import and export is incidental to the contract.
- 14. Scarify areas to receive aggregate surfacing to a minimum depth of 8 inches and compact to 95% Standard Proctor Maximum Dry Density (ASTM D698) with the moisture content of the soil at the time of compaction not less than 2 percentage points below and no more than 2 percentage points above the optimum moisture content.
- 15. Place 6 inches of compacted aggregate surfacing in 2 equal depth lifts in the pad and access road areas (see detail).
- 16. In areas where fill is placed on slopes steeper than 5:1, horizontally bench the slopes in order to increase the bond between the slope and the proposed embankment.
- 17. Tolerances: The completed subgrade under slabs and pavement areas shall be compacted, free from irregular surface changes, and fine-graded not more than 18 mm (0.05 feet) above or below the specified subgrade elevation. The completed subgrade in other areas shall be compacted, free from irregular surface changes, and fine-graded not more than 30 mm (0.10 feet) above or below the specified subgrade elevation. The completed top of topsoil shall be compacted, free from irregular surface changes, and fine-graded not more than 18 mm (0.05 feet) above or below the specified finished grade elevation.
- 18. Choose equipment and work procedures that will not disturb the subgrade soils. Route construction traffic away from foundation soils and areas of pavements and slabs in order to minimize soil disturbance. If the construction equipment causes rutting or soil pumping, then switch to other types of equipment or methods. The Contractor is solely responsible for the proper selection of construction equipment in order to avoid disturbing soils on the site.
- 19. It is typical to abbreviate spot elevations. Elevations shown as 12.8 or 12.1 are understood to mean 912.8 or 912.1 respectively.



KEYNOTES:  
1 - CATCH BASIN INLET PROTECTION (ACF SILT SACK, OR CITY OF MINNEAPOLIS APPROVED EQUAL). SEE DETAIL ON SHEET CS.  
2 - PATCH STREET TO MATCH ORIGINAL PAVEMENT SECTION AND GRADE. RESTORE CONCRETE CURB AND GUTTER.



The subsurface utility information shown on this plan is utility data that was obtained in accordance with the guidelines of C/A/C/E 28-02, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."



I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed landscape architect under the laws of the State of Minnesota

Signature \_\_\_\_\_  
Typed or Printed Name \_\_\_\_\_  
License # \_\_\_\_\_ Date \_\_\_\_\_

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9/20/13

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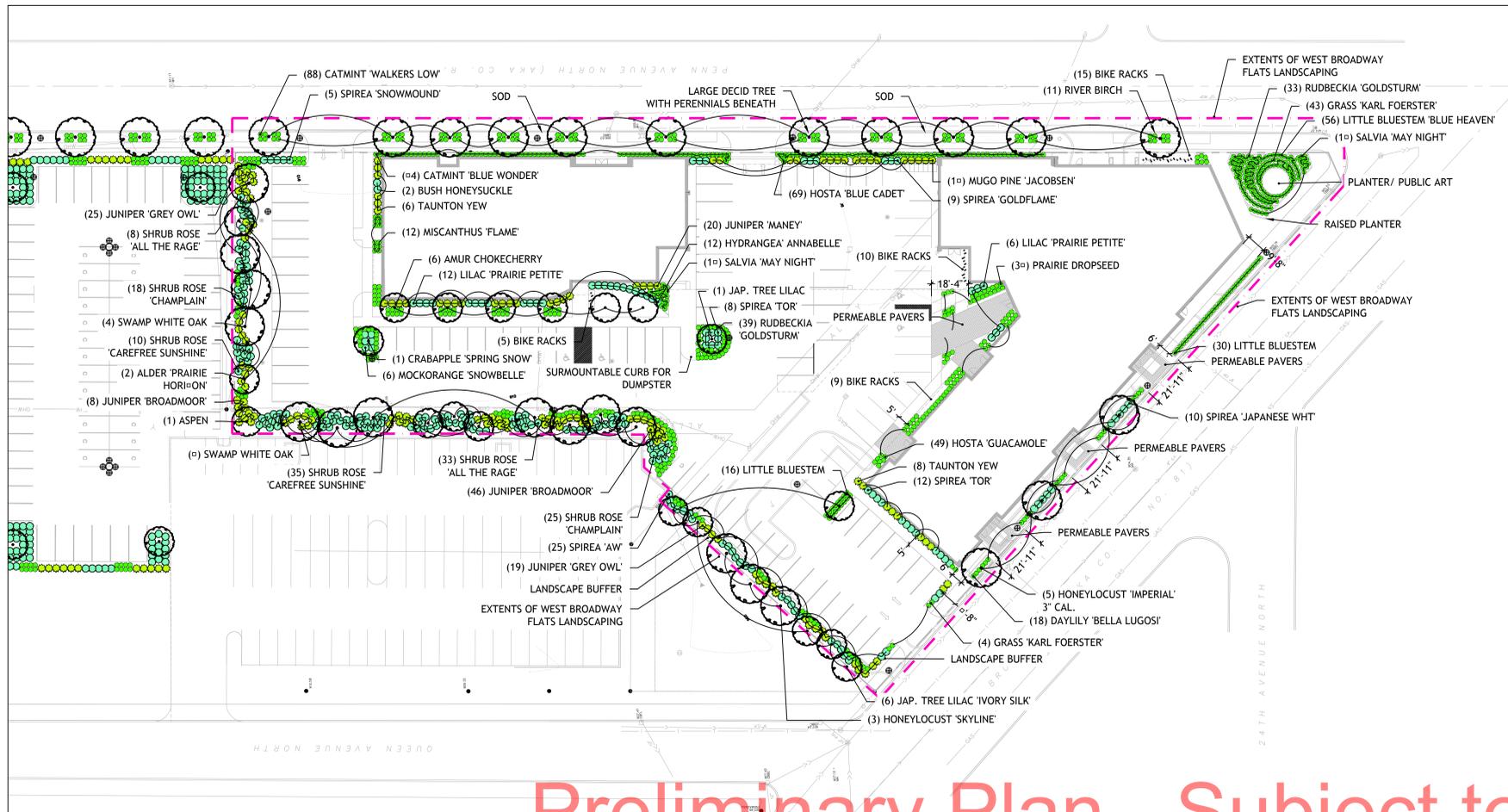
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BE DRAWN BY BC CHECKED BY

WEST BROADWAY FLATS

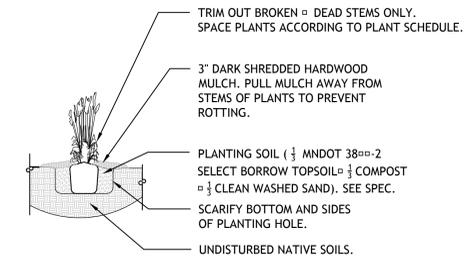
LANDSCAPE PLAN

L100

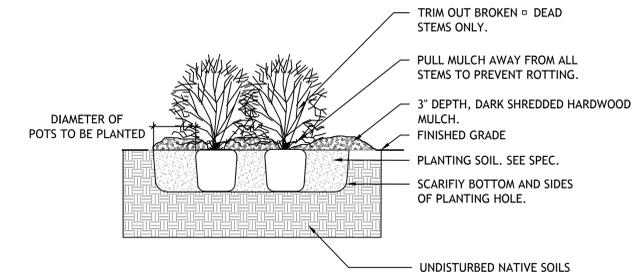


1 WEST BROADWAY FLATS- LANDSCAPE PLAN  
SCALE= 1"= 30'-0"

Preliminary Plan - Subject to change



4 PERENNIAL PLANTING DETAIL  
SCALE= 1"= 2'-0"



5 SHRUB PLANTING DETAIL  
SCALE= 1"= 2'-0"

STAKING GUY ASSEMBLY NOT MANDATORY BUT, CONTRACTOR SHALL MAINTAIN TREE IN A PLUMB POSITION FOR THE DURATION OF THE GUARANTEE PERIOD.

- NOTES
- 1) CONTRACTOR SHALL LOCATE WITH PIN THE ROOT FLARE OF EACH TREE PRIOR TO DIGGING THE PLANTING PIT. (THE FLARE IS THE TRANSITION ZONE BETWEEN THE MAIN STEM AND THE ROOT SYSTEM.)
  - 2) REMOVE SOIL FROM TOP OF ROOTBALL TO EXPOSE TOP OF FLARE. TREES WITH MORE THAN 2" OF EXCESS SOIL ABOVE THE FLARE WILL BE REJECTED. MEASURE DISTANCE BETWEEN FLARE AND BOTTOM OF ROOTBALL. SUBTRACT 10" TO DETERMINE DEPTH OF PLANTING PIT.
  - 3) DIG PIT TO DEPTH DETERMINED ABOVE. PIT SHALL BE DISHED WITH SIDEWALLS AS SHOWN BELOW. SCARIFY WALLS AND BOTTOM OF PIT.
  - 4.) SET TREE IN PIT SO THAT FLARE IS ONE-TWO INCHES ABOVE SURROUNDING GRADE.
  - 5) IN ALL AREAS WITH HEAVY CLAY OR POORLY DRAINED SOILS (MOTTLING), CONTACT LANDSCAPE ARCHITECT. TREE MAY BE RELOCATED OR ROOTBALL FURTHER ELEVATED.

- TREES WITH BE REJECTED FOR THE FOLLOWING REASONS-
- POOR FORM
  - DAMAGED TRUNK
  - BURIED ROOT FLARES
  - ENCIRCLING TRANSPORT ROOTS
  - UNCONSOLIDATED ROOTBALL SOIL (DUE TO EXCESSIVE HANDLING)

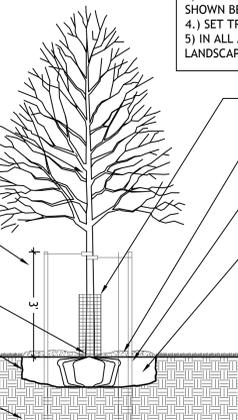
AFTER INSTALLATION, TRIM OUT DEADWOOD AND/OR DEFORMED TWIGS. DO NOT CUT LEADER.

STAKES AND GUY WIRES - SEE NOTES BELOW

FLARE, SET AT 1"-2" ABOVE SURROUNDING GRADE. SEE NOTE ABOVE

DISH PLANTING PIT. SCARIFY BOTTOM AND SIDES OF PIT

UNDISTURBED SOIL OR COMPACTED SUBGRADE



RODENT TRUNK PROTECTION: CORRUGATED POLYETHYLENE DRAINAGE PIPE SLIT VERTICALLY OR 1/2" HARDWIRE-CLOTH MESH CYLINDER. DIMENSIONS= 4" DIAMETER (OR GREATER) X 36" HGT. SEE SPECIFICATION

"DARK" SHREDDED HARDWOOD MULCH - 3" DEPTH X 5 FT DIAMETER PULL AWAY FROM TRUNK OF TREE

BACKFILL WITH 1/2 NATIVE SOILS AND 1/2 PLANTING SOIL. MIX THOROUGHLY. SEE SPEC.

AFTER SETTING ROOT BALL IN PIT, BACKFILL TO WITHIN 12" OF TOP OF ROOTBALL AND SATURATE WITH WATER. -CUT AND REMOVE TO BACKFILL LINE ALL TWINE, WIRE AND/OR BURLAP. -BACKFILL UNTIL PIT IS FULL, WATER AGAIN.

LANDSCAPE CONTRACTOR SHALL SCHEDULE INSPECTION BY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO PLACING MULCH AROUND THE TREE PLANTINGS.

1. All quantities, shapes or beds and locations shall be verified and adjusted as required to conform to the exact conditions of the site. Review with landscape architect prior to digging.
2. Locate all utilities, including irrigation lines, with the Owner. Notify the Landscape Architect of any conflicts to facilitate plant relocation. Contractor shall be responsible for the repair of any damages to same.
3. The Contractor shall be responsible for complying with all applicable codes, regulations and permits governing the work.
4. The Contractor shall be responsible for all mulches and planting soil quantities to complete the work shown on the plan. Verify all quantities shown on the plant schedule.
5. The Contractor shall remove from the site all sod/terrace which has been removed for new plant beds. Long-term storage of materials or supplies on-site will not be allowed. Any plant stock not planted on date of delivery shall be needed in and watered until installation. Plants not maintained in this manner will be rejected.
6. The Contractor shall keep pavements, planters and buildings clean and maintained. All waste shall be promptly removed from the site. Any damage to existing facilities shall be repaired at the Contractor's expense.
7. The plan takes precedence over the plant schedule if discrepancies exist. The specifications take precedence over the planting notes and general notes.
8. No substitutions of plant materials shall be accepted unless approved in writing by the landscape architect.
9. All planting stock shall conform to the American Standard for Nursery Stock ANSI, latest edition, or the American Association of Nurserymen, Inc. 10. All plants shall be guaranteed one year from the date of substantial completion unless otherwise specified. The guarantee shall cover the full cost of replacement, including labor and plants.
11. Recommended Seasons/Time of Planting  
Spring: April 15th - June 30th  
Fall: August 15th - November 15th  
Notes: The Contractor may elect to plant in the off-seasons entirely at his/her risk.

3 PLANTING NOTES  
SCALE= 1"= 2'-0"

12. Planting soil for tree and shrub pits shall be 1/2 native soils with 1/2 imported planting soils. See specs.
13. Planting soil for shrub and perennial beds. Topsoil amended in equal parts by volume-1/3 amended topsoil, 1/3 washed sand, 1/3 peat or organic compost. See specs.
14. Fracture all compacted soils.
15. Irrigation system, if specified, shall be fully operational and tested at the time of planting. During first season, contractor shall monitor moisture conditions and adjust irrigation as needed to avoid over and under watering of plant materials during establishment.
16. Mulch: Double shredded hardwood mulch. Dark color- clean and free of noxious weeds, soil, and other deleterious material. Use for all tree plantings and over all planting beds for shrubs and perennials. Deliver mulch on planting day and mulch all material within 24 hours of installation. Use the following depths: 4 inches for trees, 3 inches for shrubs, 2 inches for perennials. PULL MULCH AWAY FROM THE TRUNKS AND STEMS OF ALL PLANT MATERIAL.
17. Maintenance shall begin immediately after each portion of the work is in place. Plant materials shall be protected and maintained until the installation of all plants is complete, inspection has been made and the planting accepted, exclusive of the guarantee. Maintenance shall include watering, cultivating, mowing, pruning and removal of dead material, and keeping the plants in a plumb position. After acceptance, the Owner shall assume maintenance responsibilities. The Contractor shall maintain all materials in a plumb position for the duration of the guarantee period.
18. The Contractor shall report in writing a final acceptance inspection.
19. Geotextile fabric shall not be used under mulch. Shrub and perennial bed shall have spaced edges unless plans indicate otherwise.

West Broadway Flats Plant Schedule

QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONT	REMARKS
<b>61 Deciduous / Coniferous Trees</b>					
2	Alder 'Prairie Horizon'	<i>Alnus glutinosa</i>	2.5"	bb	
1	Aspen	<i>Populus tremuloides</i>	2.5"	bb	multistem
11	Swamp White Oak	<i>Quercus bicolor</i>	2.5"	bb	
11	River Birch 'Cully'	<i>Betula nigra 'Cully'</i>	2.5"	bb	
5	Honey locust 'Imperial'	<i>Gleditsia triacanthos in. 'Imperial'</i>	2.5"	bb	
3	Honeylocust 'Skyline'	<i>Gleditsia triacanthos in. 'Skyline'</i>	2.5"	bb	
<b>14 Ornamental Trees</b>					
6	Amur Chokecherry	<i>Prunus maackii</i>	2.5"	bb	multistem
7	Japanese Tree Lilac	<i>Syringa reticulata</i>	2.5"	bb	multistem
1	Crabapple 'Spring Snow'	<i>Malus sp. 'Spring Snow'</i>	2.5"	bb	multistem
<b>385 Deciduous / Coniferous Shrubs</b>					
2	Dwarf Bush Honeysuckle	<i>Diervilla sp.</i>	#5	cont	
54	Juniper 'Broadmoor'	<i>Juniperus sabinia 'Broadmoor'</i>	#5	cont	
20	Juniper 'Maney'	<i>Juniperus chinensis 'Maney'</i>	#5	cont	
44	Juniper 'Grey Owl'	<i>Juniperus virginiana 'Grey Owl'</i>	#5	cont	
12	Hydrangea 'Annabelle'	<i>Hydrangea arborescens 'Annabelle'</i>	#5	cont	
18	Lilac 'Prairie Petite'	<i>Syringa patula 'Prairie Petite'</i>	#5	cont	
6	Mockorange 'Snowbelle'	<i>Philadelphus sp. 'Snowbelle'</i>	#5	cont	
17	Mugo Pine 'Jacobson'	<i>Pinus mugo 'Jacobson'</i>	#5	cont	
43	Shrub Rose 'Champlain'	<i>Rosa sp. 'Champlain'</i>	#5	cont	
41	Shrub Rose 'All the Rage'	<i>Rosa sp. 'Knock Out'</i>	#5	cont	
45	Shrub Rose 'Carefree Sunshine'	<i>Rosa sp. 'Carefree Celebration'</i>	#5	cont	
10	Spirea 'Japanese White'	<i>Spiraea albilora</i>	#5	cont	
9	Spirea 'Goldflame'	<i>Spiraea sp. 'Goldflame'</i>	#5	cont	
5	Spirea 'Snowmound'	<i>Spiraea nipponica 'Snowmound'</i>	#5	cont	
25	Spirea 'Anthony Waterer'	<i>Spiraea sp. 'Anthony Waterer'</i>	#5	cont	
20	Spirea 'Tor'	<i>Spiraea sp. 'Tor'</i>	#5	cont	
14	Taunton Yew	<i>Taxus cuspidata</i>	#5	cont	
<b>602 Perennials/ Grasses</b>					
88	Catmint, Walkers Low	<i>Nepeta x faassenii 'Walkers Low'</i>	#1	cont	
74	Catmint, Blue Wonder	<i>Nepeta x faassenii 'Blue Wonder'</i>	#1	cont	
18	Daylily 'Bella Lugosi'	<i>Hemerocallis 'Bella Lugosi'</i>	#1	cont	
47	Feather Reed Grass 'Karl Foerster'	<i>Calamagrostis acutiflora</i>	#1	cont	
69	Hosta 'Blue Cadet'	<i>Hosta sp. 'Blue Cadet'</i>	#1	cont	
49	Hosta 'Guacamole'	<i>Hosta sp. 'Guacamole'</i>	#1	cont	
102	Little Bluestem 'Blue Heaven'	<i>Schizachyrium scoparium 'Blue Heaven'</i>	#1	cont	
12	Miscanthus 'Flame'	<i>Miscanthus sinensis 'Flame'</i>	#1	cont	
37	Prairie Dropseed	<i>Sporobolus heterolepis</i>	#1	cont	
72	Rudbeckia 'Goldsturm'	<i>Rudbeckia fulgida 'Goldsturm'</i>	#1	cont	
34	Salvia 'May Night'	<i>Salvia nemorosa 'May Night'</i>	#1	cont	

6 WEST BROADWAY FLATS- PLANT SCHEDULE  
SCALE= NTS



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10/2/13

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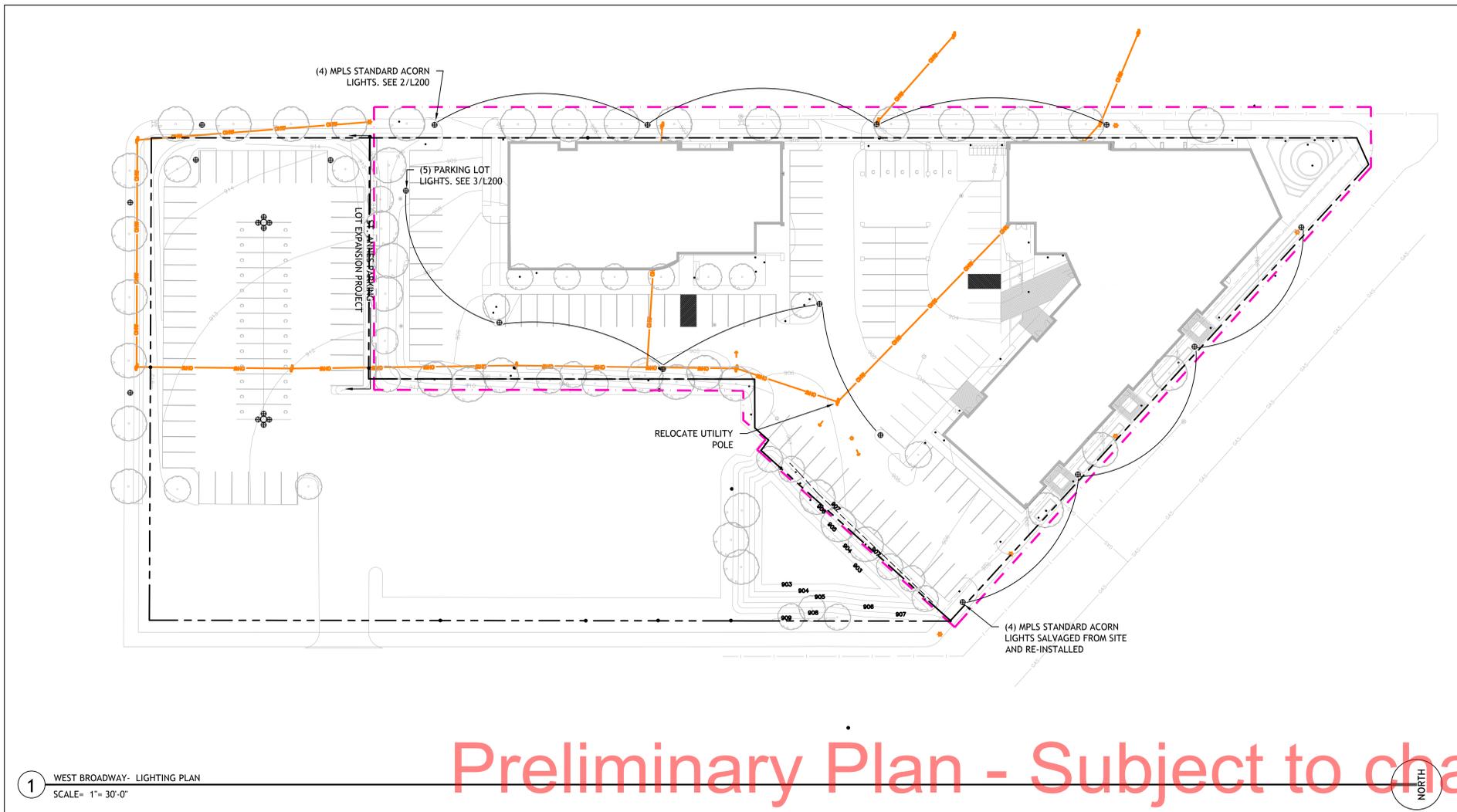
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PROJECT NUMBER

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WEST BROADWAY FLATS

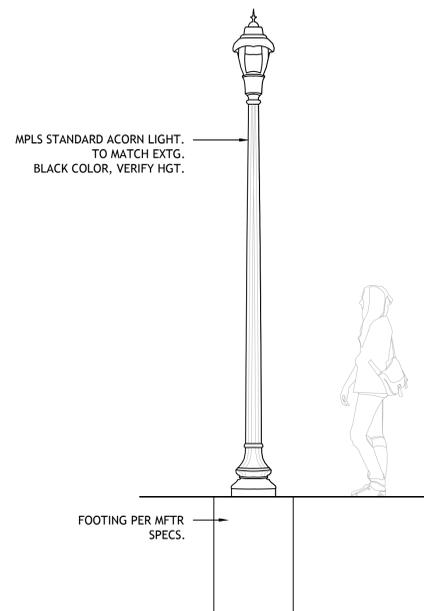
LIGHTING PLAN

L200



Preliminary Plan - Subject to change

1 WEST BROADWAY - LIGHTING PLAN  
SCALE= 1"= 30'-0"



2 MPLS STANDARD ACORN LIGHT  
SCALE= 1"= 2'-0"



3 PARKING LOT LIGHT- TANDEM LIGHT FROM STRUCTURA  
SCALE= NTS







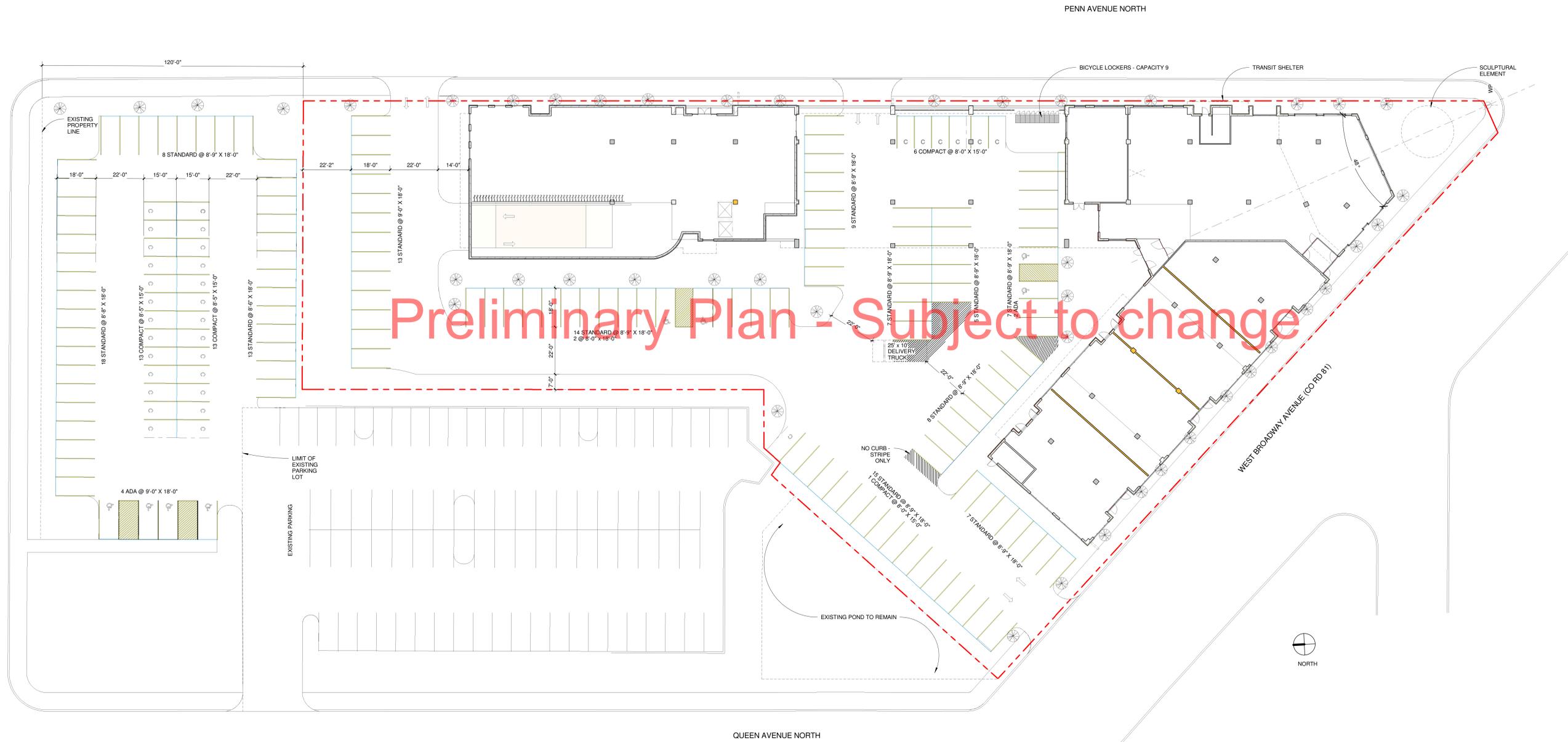
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**09/20/13**

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REVISIONS	No.	Description	Date

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KEY PLAN

BROADWAY FLATS

ARCHITECTURAL SITE PLAN

**A0.1**



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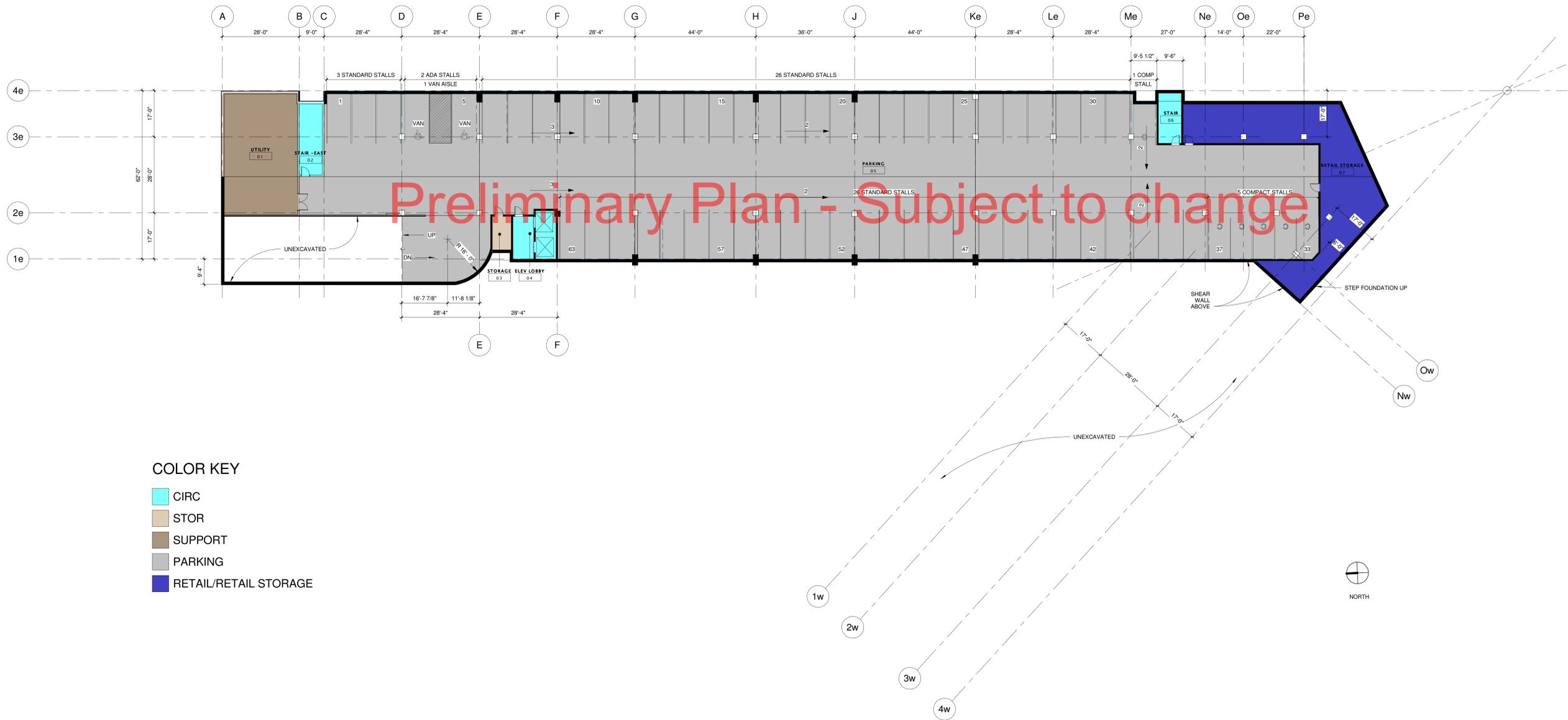
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**COLOR KEY**

- CIRC
- STOR
- SUPPORT
- PARKING
- RETAIL/RETAIL STORAGE

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**09/20/13**

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REVISIONS

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PROJECT NUMBER

LM      DS  
DRAWN BY      CHECKED BY

KEY PLAN

BROADWAY FLATS

PARKING FLOOR PLAN

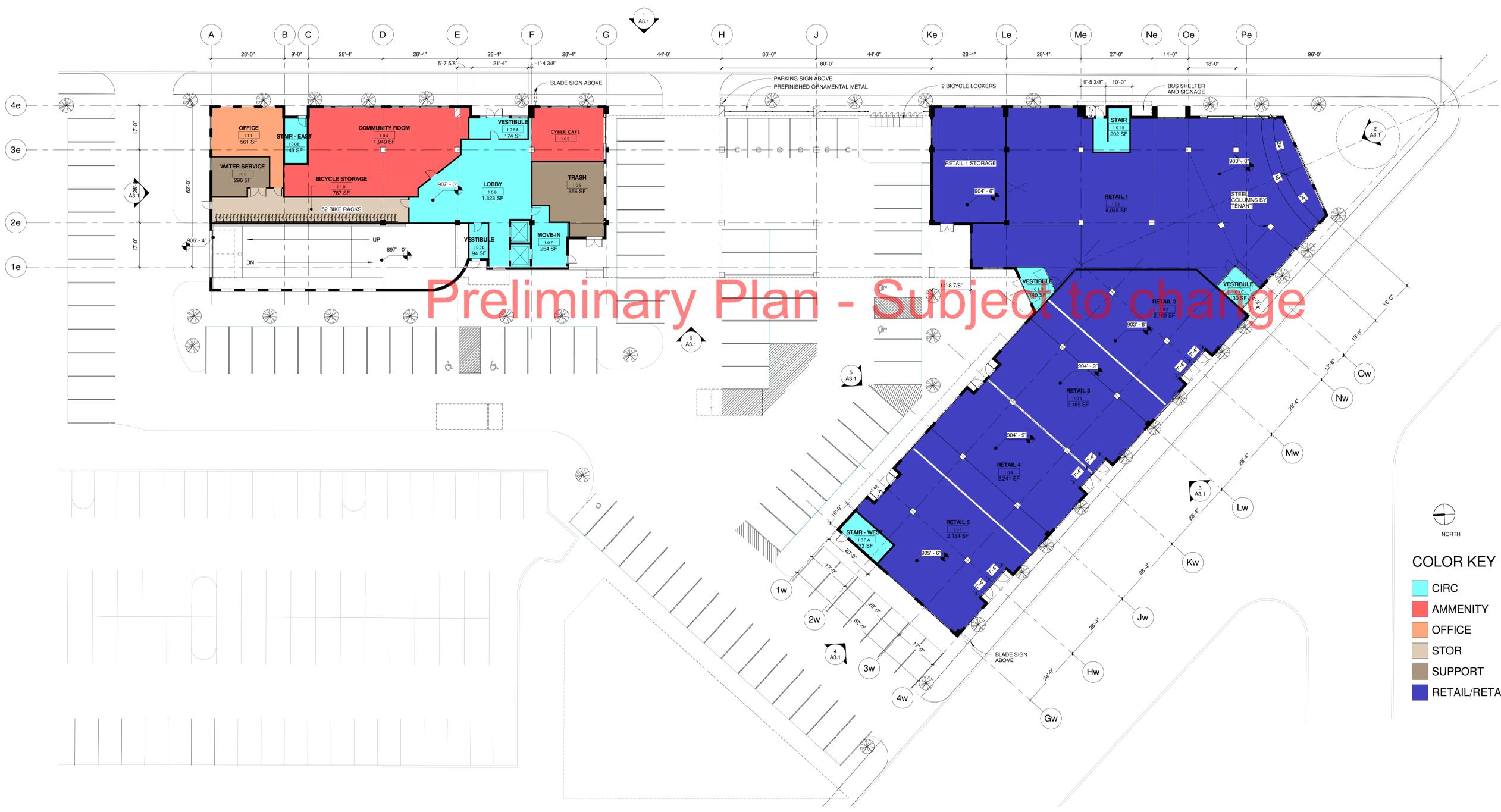
**A1.0**



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**COLOR KEY**

- CIRC
- AMMENITY
- OFFICE
- STOR
- SUPPORT
- RETAIL/RETAIL STORAGE

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09/20/13

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REVISIONS

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PROJECT NUMBER  
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KEY PLAN

BROADWAY FLATS  
LEVEL 1 FLOOR PLAN  
**A1.1**



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**COLOR KEY**

- STUDIO
- 1B
- 2B
- CIRC
- AMMENITY
- SUPPORT

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KEY PLAN

BROADWAY FLATS

LEVEL 2 FLOOR PLAN

**A1.2**



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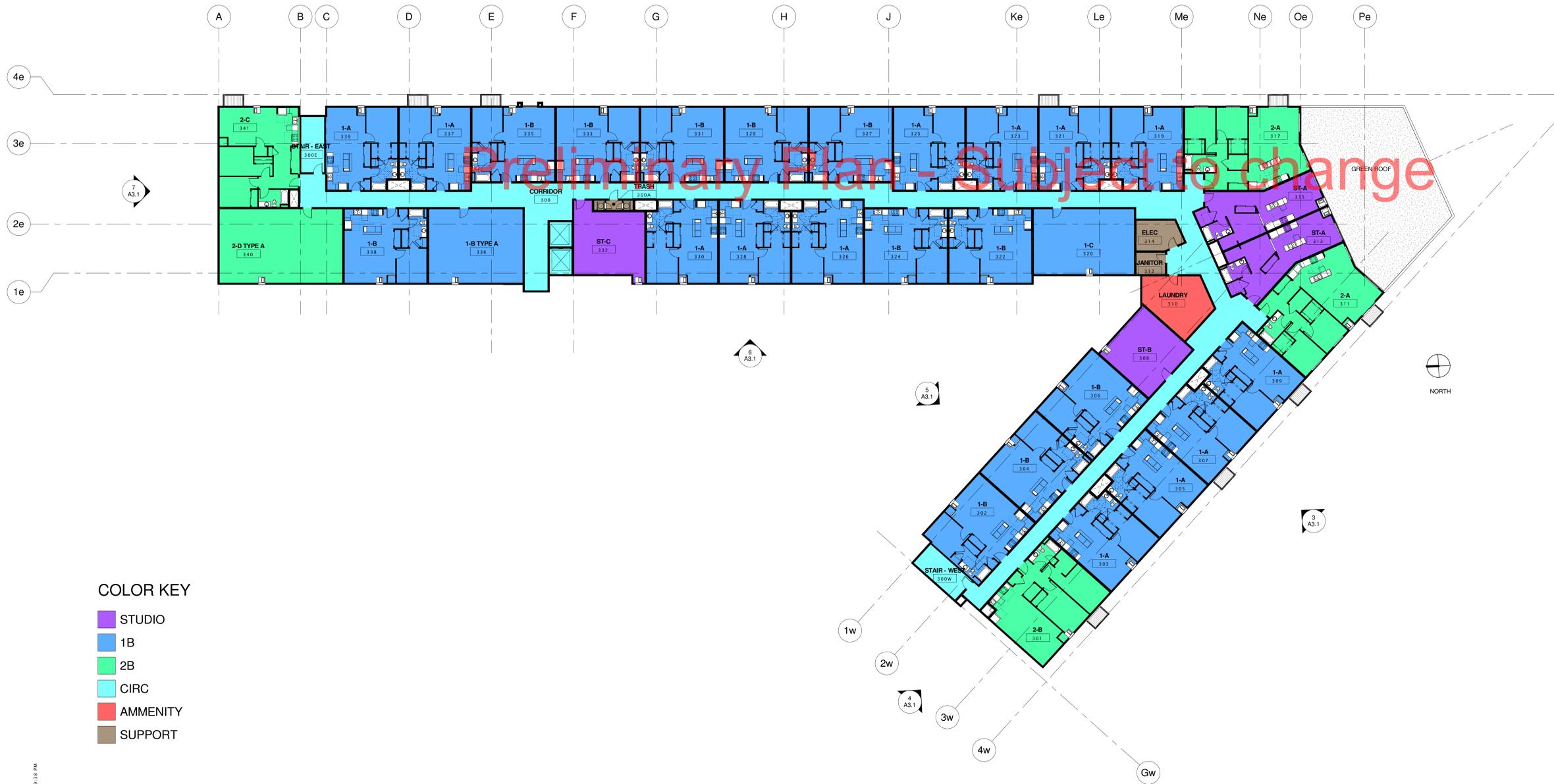
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**COLOR KEY**

- STUDIO
- 1B
- 2B
- CIRC
- AMMENITY
- SUPPORT

**1 LEVEL 3 FLOOR PLAN**  
A1.3 / 1/16" = 1'-0"

**PDR SUBMITTAL**  
09/20/13

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KEY PLAN

BROADWAY FLATS

LEVEL 3 FLOOR PLAN

**A1.3**

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- COLOR KEY**
- STUDIO
  - 1B
  - 2B
  - CIRC
  - AMMENITY
  - SUPPORT

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KEY PLAN

BROADWAY FLATS

LEVEL 4 FLOOR PLAN

**A1.4**



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1 FACADE @ PENN AVE N - NORTH SIDE  
A3.1a / 1/8" = 1'-0"



8 FACADE @ PENN AVE N - SOUTH SIDE  
A3.1a / 1/8" = 1'-0"



7 NORTH FACADE - GARAGE ENTRY @ APARTMENTS  
A3.1a / 1/8" = 1'-0"



4 NW FACADE - RETAIL @ WEST BROADWAY  
A3.1a / 1/8" = 1'-0"

**EXTERIOR MATERIAL KEYNOTES**

- 1a BRICK COLOR #1 - MODULAR
- 2a ARCHITECTURAL CAST STONE COLOR #1 - TAUPE
- 2b ARCHITECTURAL CAST STONE COLOR #2 - CHESTNUT BROWN
- 2c ARCHITECTURAL CAST STONE COLOR #3 - MEDIUM GREY
- 2d ARCHITECTURAL CAST STONE BANDING COLOR #4 - LIGHT GREY
- 3 GLASS BLOCK - FACETED
- 5a PREFIN METAL VERTICAL PANEL COLOR #1 - DARK GRAY
- 5b PREFIN METAL PANEL COLOR #2 - CHOCOLATE BROWN
- 5c PREFIN METAL PANEL COLOR #3 - CHESTNUT BROWN
- 5d PREFIN METAL PANEL COLOR #4 - GOLDEN BROWN
- 5e PREFIN METAL BREAK METAL TRIM & COPINGS COLOR #1 - DARK BRONZE
- 5f PREFIN METAL BREAK METAL TRIM & COPINGS COLOR #2 - DARK GREY
- 5g PREFIN METAL BREAK METAL TRIM & COPINGS COLOR #3 - TAUPE
- 6a FIBERCEMENT PANEL BOARD & BATTEN COLOR #1 - BARN RED
- 9 PREFIN ALUM STOREFRONT - DARK BRONZE
- 9 PAINTED HM DOORS & FRAMES - DARK BRONZE
- 10 FIBERGLASS WINDOWS - DARK BRONZE EXTERIOR / WHITE INTERIOR
- 11a PREFIN ORNAMENTAL METAL SCREEN - PLANTED WITH VINES
- 11b PREFIN METAL BALCONY GUARDRAIL - BLACK
- 11c PREFIN METAL HVAC LOUVERS COLOR #1 - DARK BRONZE
- 11d PREFIN METAL HVAC LOUVERS COLOR #2 - DARK GREY
- 13 PREFIN OVERHEAD GARAGE DOORS WITH LITES - DARK BRONZE
- 14a BLADE SIGNAGE (REQ'D. VARIANCE TO BE REQUESTED AT A LATER DATE)
- 14b RETAIL SIGNAGE (REQ'D. VARIANCE TO BE REQUESTED AT A LATER DATE)
- 15 RETAIL WINDOW AWNINGS
- 16 EPDM ROOF

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KEY PLAN

BROADWAY FLATS

EXTERIOR ELEVATIONS

A3.1a



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1 **SOUTHWEST FACADE FACING WEST BROADWAY AVENUE**  
A3.1b / 1/8" = 1'-0"



2 **SOUTH FACADE @ PENN AVE N & WEST BROADWAY AVE**  
A3.1b / 1/8" = 1'-0"



3 **NORTHEAST WEST FACADE FACING PARKING - RETAIL**  
A3.1b / 1/8" = 1'-0"

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KEY PLAN

BROADWAY FLATS

EXTERIOR ELEVATIONS

A3.1b



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1 WEST FACADE FACING PARKING - NORTH SIDE  
A3.1c 1/8" = 1'-0"



2 WEST FACADE FACING PARKING - SOUTH SIDE  
A3.1c 1/8" = 1'-0"

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KEY PLAN

BROADWAY FLATS

EXTERIOR ELEVATIONS

**A3.1c**



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3D VIEW - W. BROADWAY AVE



3D VIEW - PENN AVE NORTH



3D VIEW - FROM NORTH



3D VIEW - APPROACH ON BROADWAY

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3D VIEW - RETAIL AT CORNER



3D VIEW - RETAIL AT PENN AVE

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KEY PLAN

BROADWAY FLATS

SITE PERSPECTIVES

A3.2