



Project Image

701 15TH AVE STUDENT HOUSING

701 15TH AVENUE, SE MINNEAPOLIS, MN

LAND USE
APPLICATION
5/30/2013

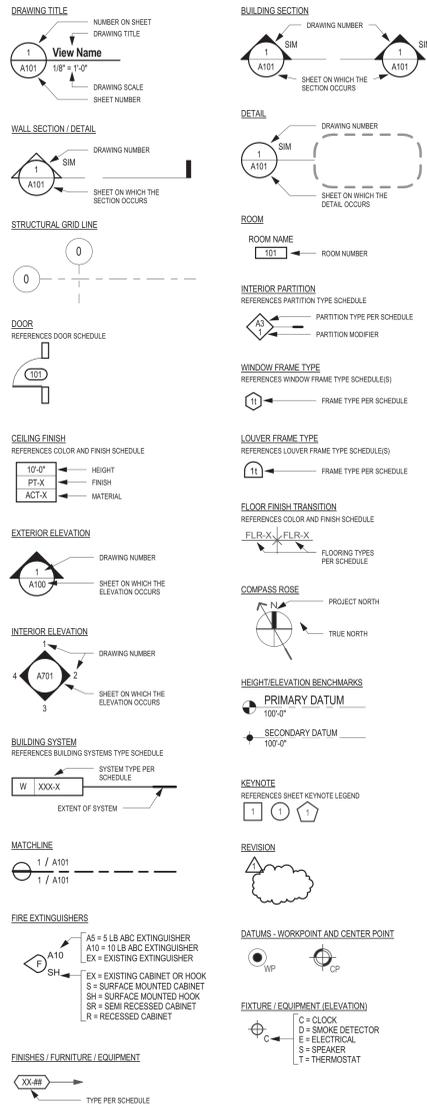


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Graphic Symbols



Abbreviations

AC ACCESSORY ACT ACOUSTIC CEILING TILE ADA AMERICANS WITH DISABILITIES ACT ACT AFF ABOVE FINISHED FLOOR ALT ALTERNATIVE / ALTERNATE ALUM ALUMINUM ARCH ARCHITECT AWC ACRYLIC WALL COATING AWT ACOUSTICAL WALL TREATMENT	OC ON CENTER(S) OD OUTSIDE DIAMETER OF/CI OWNER FURNISHED / CONTRACTOR INSTALLED OF/OI OWNER FURNISHED / OWNER INSTALLED OFRD OVERFLOW ROOF DRAIN OFS OVERFLOW SCUPPER OH OVERHEAD OPNG OPENING OZ OUNCE	BLKG BLOCKING BO BOTTOM OF BR BRICK BRG BEARING	PFT PORCELAIN FLOOR TILE PL PLATE PLM PLASTIC LAMINATE PRFN FINISHES PRV POWER ROOF VENTILATOR PT PAINTED CH CHAIR QT QUARRY TILE QTB QUARRY TILE BASE QTY QUANTITY	R RISER RAD RADIUS RB RUBBER BASE RC REMOTE COMPRESSOR RD ROOF DRAIN REF REFERENCE / REFER TO REQD REQUIRED RF RESILIENT FLOORING RO ROUGH OPENING RT RESILIENT TILE RTU ROOF TOP UNIT	DI DIA DIAMETER DIV DIVISION DN DOWN DWGS DRAWINGS	(E) / EXISTING EXIST EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL EPOX EPOXY PAINT EQ EQUAL EWG ELECTRICAL WATER COOLER EXP EXPOSED EXT EXTERIOR	FD FLOOR DRAIN FE / FEC FIRE EXTINGUISHER (CABINET) FF / FFE FINISH FLOOR (ELEVATION) FIN FINISH FL / FLR FLOORING FOC FACE OF CONCRETE FOEW FACE OF EXISTING WALL FOS FACE OF STUD FRP FIBERGLASS REINFORCED WALL PANEL	GA GAUGE GALV GALVANIZED GL GLASS, GLAZING GMU GLAZED MASONRY UNIT GT GLAZED TILE GWB GYPSUM WALLBOARD GWV GLAZED WALL TILE GYP GYPSUM	UNFIN UNFINISHED UNO UNLESS NOTED OTHERWISE UPH UPHOLSTERY	VB VINYL BASE VCT VINYL COMPOSITION TILE GVV GLAZED WALL TILE VIN VINYL VP VENEER PLASTER VT VINYL TILE VWC VINYL WALL COVERING	WB WHITEBOARD WC WALL CARPET WD WOOD WDB WOOD BASE WDV WOOD VENEER WDW WINDOW WP WORK POINT	# NUMBER / POUND & AND @ AT
--	--	--	--	--	---	--	---	---	--	---	---	-----------------------------------

Materials

	ALUMINUM
	BRICK
	CERAMIC TILE / RESILIENT TILE
	CONCRETE - CAST-IN-PLACE
	CONCRETE - PRECAST
	CONCRETE BLOCK
	EARTH
	EXISTING CONDITIONS
	WOOD - FINISHED
	GLASS
	GRAVEL/STONE FILL
	GYPSUM WALL BOARD
	INSULATION - BATT
	INSULATION - RIGID
	PARTICLE BOARD
	PLASTER / GROUT
	PLYWOOD
	ROUGH LUMBER / WOOD FRAMING
	WOOD BLOCKING
	SAND / GRANULAR FILL
	STONE
	STEEL / STEEL STUD FRAMING
	TERRAZZO

General Notes

1. DO NOT SCALE DRAWINGS

Project Description

GOVERNING CODE:	IBC	INTERNATIONAL BUILDING CODE	2006
	MINNESOTA STATE BUILDING CODE (WITH AMENDMENTS TO IBC CHAPT. 1305)		2007
	IFC	INTERNATIONAL FIRE CODE	2006
	MFC	MINNESOTA FIRE CODE (CHAPT. 7510)	2007
	IMC	INTERNATIONAL MECHANICAL CODE	2006
	MPC	MINNESOTA PLUMBING CODE (CHAPT. 4715)	2012
	MNC	MINNESOTA MECHANICAL CODE (CHAPT. 1346)	2009
	NEC	NATIONAL ELECTRICAL CODE	2011
	ANSI 117.1	ACCESSIBILITY CODE	2010
	ADA	MN STATE BUILDING CODE (CHAPT. 1341)	2007
	NFPA 10.1	PORTABLE FIRE EXTINGUISHERS	2013
	ENERGY	MINNESOTA ENERGY CODE (CHAPT. 1323)	2009
	UFAS	UNIFORM FEDERAL ACCESSIBILITY STANDARDS	2010
BUILDING TYPE:	TYPE I A - Sublevel & Level 1 TYPE III A - Levels 2-6		
PRIMARY OCCUPANCY TYPE:	GROUP R2 with S-2 below grade parking, 202 residential units		
NEW CONSTRUCTION (SF):	317,752 SF		
CONSTRUCTION MATERIALS:	Sublevel 1 - Structure if Precast Concrete and CMU foundation walls with Split face masonry finish. Level 1 - Precast concrete structure with split face masonry and metal panel finishes on metal framing back-up. Architectural windows with low-e glass. Level 2-Roof - Wood framing structure with a range of finish materials that include brick masonry, 3 variations of metal panel, floor cement panel, and architectural windows with low-e glass.		
PROGRAM DESCRIPTION:	Six story apartment building with one level of below grade parking. Building amenities include fitness room, club room, and landscaped courtyard.		

Schedules

Area Schedule (Gross Building)	
Level	Area
Sub-Level 1	58534 SF
Level 1	47189 SF
Level 2	44617 SF
Level 3	43106 SF
Level 4	43106 SF
Level 5	43106 SF
Level 6	43106 SF
	322764 SF

PARKING COUNT	
Standard	133
Compact	37
ADA	4
Total	174

BICYCLE PARKING COUNT	
Wall Mounted	51
Surface Mounted	62
Ultra Saver	431
Exterior	55
Total	599

Sheet Index

Sheet Number	Sheet Name
G001	General Information
G002	Building Systems
G003	Partition Types & Framing Details
G100	Accessibility Guidelines
SURV	Survey
R001	Life Safety Reference Plan
R002	Life Safety Reference Plan
C100	Demolition Plan
C200	Grading, Drainage, and Erosion Control plan
C300	Utility and Paving Plan
C400	Civil Details
C401	Civil Details
C500	Storm Water Pollution Prevention Plan
L100	Landscape Site Plan
A001	Site Context Plan
A002	Architectural Site Plan
A100	Sublevel Floor Plan - Composite
A100.a	Sublevel Floor Plan - Area 'A'
A100.b	Sublevel Floor Plan - Area 'B'
A110	Level 1 Floor Plan - Composite
A110.a	Level 1 Floor Plan - Area 'A'
A110.b	Level 1 Floor Plan - Area 'B'
A120	Level 2-4 Floor Plan - Composite
A120.a	Level 2 Floor Plan - Area 'A'
A120.b	Level 2 Floor Plan - Area 'B'
A130	Levels 5-6 Floor Plan - Composite
A150	Units
A151	Unit Plans - 1 Bedroom & 2 Bedroom
A152	Unit Plans - 3 Bedroom
A153	Unit Plans - 3 Bedroom
A154	Unit Plans - 4 Bedroom
A155	Unit Plans - 4 Bedroom
A156	Unit Plans - Accessible Type 'A' Units
A160	Level 5-6 Floor Plan - Composite
A200	Roof Plan
A300	Exterior Elevations
A301	Exterior Elevations
A401	Building Sections
A402	Building Sections
A403	Building Sections
A501	Stair A and Elevator 1&2 (Plans/Sections)
A502	Stair B & Trash Chute (Plans/Sections)
A503	Elevator 3&4 (Plans/Section)
A504	Stair C (Plans/Section)

Land Use Application - May 06th, 2013
SCHEMATIC PRELIMS - May 06, 2013
FOR ISSUED - May 6, 2013
Land Use Application - April 28th, 2013

Reference

R001 Life Safety Reference Plan
R002 Life Safety Reference Plan

Civil

C100 Demolition Plan
C200 Grading, Drainage, and Erosion Control plan
C300 Utility and Paving Plan
C400 Civil Details
C401 Civil Details
C500 Storm Water Pollution Prevention Plan

Landscape

L100 Landscape Site Plan

Architectural

A001 Site Context Plan
A002 Architectural Site Plan
A100 Sublevel Floor Plan - Composite
A100.a Sublevel Floor Plan - Area 'A'
A100.b Sublevel Floor Plan - Area 'B'
A110 Level 1 Floor Plan - Composite
A110.a Level 1 Floor Plan - Area 'A'
A110.b Level 1 Floor Plan - Area 'B'
A120 Level 2-4 Floor Plan - Composite
A120.a Level 2 Floor Plan - Area 'A'
A120.b Level 2 Floor Plan - Area 'B'
A130 Levels 5-6 Floor Plan - Composite
A150 Units
A151 Unit Plans - 1 Bedroom & 2 Bedroom
A152 Unit Plans - 3 Bedroom
A153 Unit Plans - 3 Bedroom
A154 Unit Plans - 4 Bedroom
A155 Unit Plans - 4 Bedroom
A156 Unit Plans - Accessible Type 'A' Units
A160 Level 5-6 Floor Plan - Composite
A200 Roof Plan
A300 Exterior Elevations
A301 Exterior Elevations
A401 Building Sections
A402 Building Sections
A403 Building Sections
A501 Stair A and Elevator 1&2 (Plans/Sections)
A502 Stair B & Trash Chute (Plans/Sections)
A503 Elevator 3&4 (Plans/Section)
A504 Stair C (Plans/Section)

Consultant

Revisions

No.	Date	Description

LAND USE
APPLICATION
5/30/2013

Document Phase: Land Use Application

Date: 5/30/2013

Drawn By: WCP

Checked By:

Comm. No.: 13-0226

Project Title

15th Avenue

CPM
DEVELOPMENT

Sheet Title

General Information

Sheet Number

G001

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DESCRIPTION OF PROPERTY SURVEYED

(Per Schedule A of Title Commitment No. **NCS-594921-MPLS**)

Unit numbers 700, 702, 704, 706, 710, 712, 1409, 1411, 1413, 1415, 1417 and 1419, Condominium No. 652, Rollins Court Condominium, A Condominium located in the County of Hennepin, Minnesota.

All Torrens property.
Certificate of Title No. 1301469 (Unit 700)
Certificate of Title No. 1363039 (Unit 702)
Certificate of Title No. 1350243 (Unit 704)
Certificate of Title No. 1184011 (Unit 706)
Certificate of Title No. 820407 (Unit 710)
Certificate of Title No. 1052846 (Unit 712)
Certificate of Title No. 1043518 (Unit 1409)
Certificate of Title No. 1211605 (Unit 1411)
Certificate of Title No. 1362392 (Unit 1413)
Certificate of Title No. 1362876 (Unit 1415)
Certificate of Title No. 756378 (Unit 1417)
Certificate of Title No. 1364135 (Unit 1419)

(Per Schedule A of Title Commitment No. **NCS-605900-MPLS**)

Parcel 1:
Lot 9, except the Northeastly 48 feet front and rear thereof;
Lot 10,
Block 7, "University Addition to Minneapolis."

Together with a perpetual right and easement in and to the rear or Westerly 10 feet of Lot 8 in said Block 7, for use as a driveway and for ingress and egress to Lots 8, 9 and 10, in said Block 7, it being understood that this easement shall inure to the benefit of the legal owners of said Lots 8, 9 and 10, as shown in deed Doc No. 191618.

(Torrens Property, Certificate of Title No. 1061209)

Parcel 2:
The Southwesterly 26 feet of the Northeastly 48 feet, front and rear of Lot 9, Block 7, University Addition to Minneapolis.

(Torrens Property, Certificate of Title No. 1074279)

Parcel 3:
The Northeastly 22 feet front and rear of Lot 9, Block 7, "University Addition to Minneapolis."

Together with a perpetual right in and to the rear or Westerly 10 feet of Lot 8 in said Block 7, for use as a driveway and for ingress and egress of Lots 8, 9 and 10 in said Block 7. It being understood that this easement shall inure to the benefit of the legal owners of said Lots 8, 9 and 10, as shown in deed Doc No. 191618.

(Torrens Property, Certificate of Title No. 1079398)

Parcel 4:
The Southwesterly 48 feet of the Southeastly 80.5 feet of Lot 12, Block 7, "University Addition to Minneapolis."

(Torrens Property, Certificate of Title No. 1055267)

(Per Schedule A of Title Commitment No. **NCS-602940-MPLS**)

Parcel 1:
Lot Three (3), Block Seven (7), University Addition to Minneapolis, according to the map or plat thereof on file and of record in the office of the Register of Deeds in and for Hennepin County, Minnesota.

(Abstract Property)

Parcel 2:
Easement for right-of-way and driveway purposes as set forth in the Deed, dated November 8th, 1889, recorded November 9, 1889, in Book 294 of Deeds, Page 125, in the Office of the Hennepin County Recorder.

ALTA/ACSM OPTIONAL TABLE A NOTES

(The following items refer to Table A optional survey responsibilities and specifications)

- 3 This property is contained in Zone x (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0376E, effective date of September 2, 2004.
- 4 The Gross land area is 72,563 +/- square feet or 1.66 +/- acres.
- 7(a) Exterior dimensions of the buildings are shown at ground level.
- 9 There are no striped parking stalls located on the site.
- 11(b) We have shown buried structures and utilities on and/or serving the site to the best of our ability, subject to the following restrictions:
 - i) Utility operators do not consistently respond to locate requests through the Gopher State One Call service for boundary purposes such as this.
 - ii) Those utility operators that do respond often will not locate services from their main line to the customer's structure or facility - they consider those segments private installations that are outside their jurisdiction. If a private service to an adjoining site crosses this site or a service to this site crosses an adjoining, it may not be located since most operators will not mark such "private" services.
 - iii) Snow and ice conditions during winter months may obscure otherwise visible evidence of a buried structure or utility.
 - iv) Maps provided by operators, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive.
 - v) EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 651-454-0002.
 - vi) Per Gopher State One-Call Ticket No.'s 130810197, 130810199, 130810203, 130810204, 130810205, 130810209, 130810211, 130810218, 130810221, 130810223, 130810226, 130810227, 130810230, 130810236, 130810277, 130810278, 130810281 and 131050523 the following utilities and municipalities were notified:

AT&T LOCAL SVCS/TRANSMISSI-TCG	(903) 753-3145
BURLINGTON NORTHERN RAILROAD	(800) 533-2891
CITY OF MINNEAPOLIS	(612) 673-5600
COMCAST	(612) 522-8141
MCI	(800) 289-3427
CENTER POINT ENERGY	(612) 342-5200
QWEST	(800) 283-4237
QWEST COMMUNICATIONS	(303) 707-3680
UNIVERSITY OF MINNESOTA	(612) 625-6537
UNIVERSITY OF MINNESOTA	(612) 624-0001
XCEL ENERGY	(612) 630-4366
ZAYO BANDWIDTH	(888) 267-1063

SURVEY REPORT

The property depicted on this survey and the easements of record shown hereon are the same as the property and the easements described in these Commitments for Title Insurance issued by First American Title Insurance Company, File No.'s NCS-594921-MPLS, dated February 01, 2013; NCS-605900-MPLS, dated April 14, 2013 and NCS-602940-MPLS, dated April 18, 2013.

- 1) The following remarks reference items in Schedule B - Part II - Exceptions of Title Commitment No. NCS-594921-MPLS:
 - a) Item no.'s 1 - 47 are not survey related items.
- 2) The following remarks reference items in Schedule B - Part II - Exceptions of Title Commitment No. NCS-605900-MPLS:
 - a) Item no.'s 1 - 8 and 10 - 28 are not survey related items.
 - b) Item no. 9 - Is an easement for driveway purposes per Doc. No. 244946 and amended by clarification of easement per Doc. No. 382484, is shown hereon along the westerly side or rear of Lots 7, 8 and the northerly 48 feet of Lot 9.
- 3) The following remarks reference items in Schedule B - Part II - Exceptions of Title Commitment No. NCS-602940-MPLS:
 - a) Item no.'s 1 - 9 and 11 are not survey related items.
 - b) Item no 10 - Easement for right-of-way and driveway purposes, is shown hereon along both sides of the north line of Lot 3.
- 4) At the northeasterly side of the site, there is indication that the vehicular travel is outside of the 10 foot wide driveway easement as shown hereon.
- 5) There are overhead utility lines, along the northeasterly lines of the site, that serve other properties apparently without an easement.

CERTIFICATION

To CPM Development; First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS in 2011, and includes Items 1 - 4, 5, 7a, 8, 9 and 11(b) of Table A thereof. The field work was completed on April 15, 2013.

Date of Plat or Map: May 3, 2013

Richard L. Licht
Richard L. Licht, PLS Minnesota License No. 26724
richt@louckassociates.com



Project Name:

15th Avenue SE
and
7th Street SE
Project

Minneapolis, Minnesota

Owner/Developer:

CPM Development

2919 Knox Avenue South
Suite 200
Minneapolis, MN 55408

Professional Services:



Planning • Civil Engineering • Land Surveying
Landscape Architecture • Environmental

7200 Hennick Lane - Suite 300
Maple Grove, MN 55369
Telephone: (763) 424-5505
www.LoucksAssociates.com

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S:\13133-MASTER\DWG\LAYOUT1

Revisions:

4-9-13	Drawing Issued
4-30-13	Added Lot 3
5-3-13	New Title Commitments

Professional Signature:

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Richard L. Licht
Richard L. Licht - PLS
36724 April 15, 2013
License No. Date

Quality Control:

Prepared by: RLL
Checked by: JT
Checked by: Review Date:

Vicinity Map:



Sheet Title:

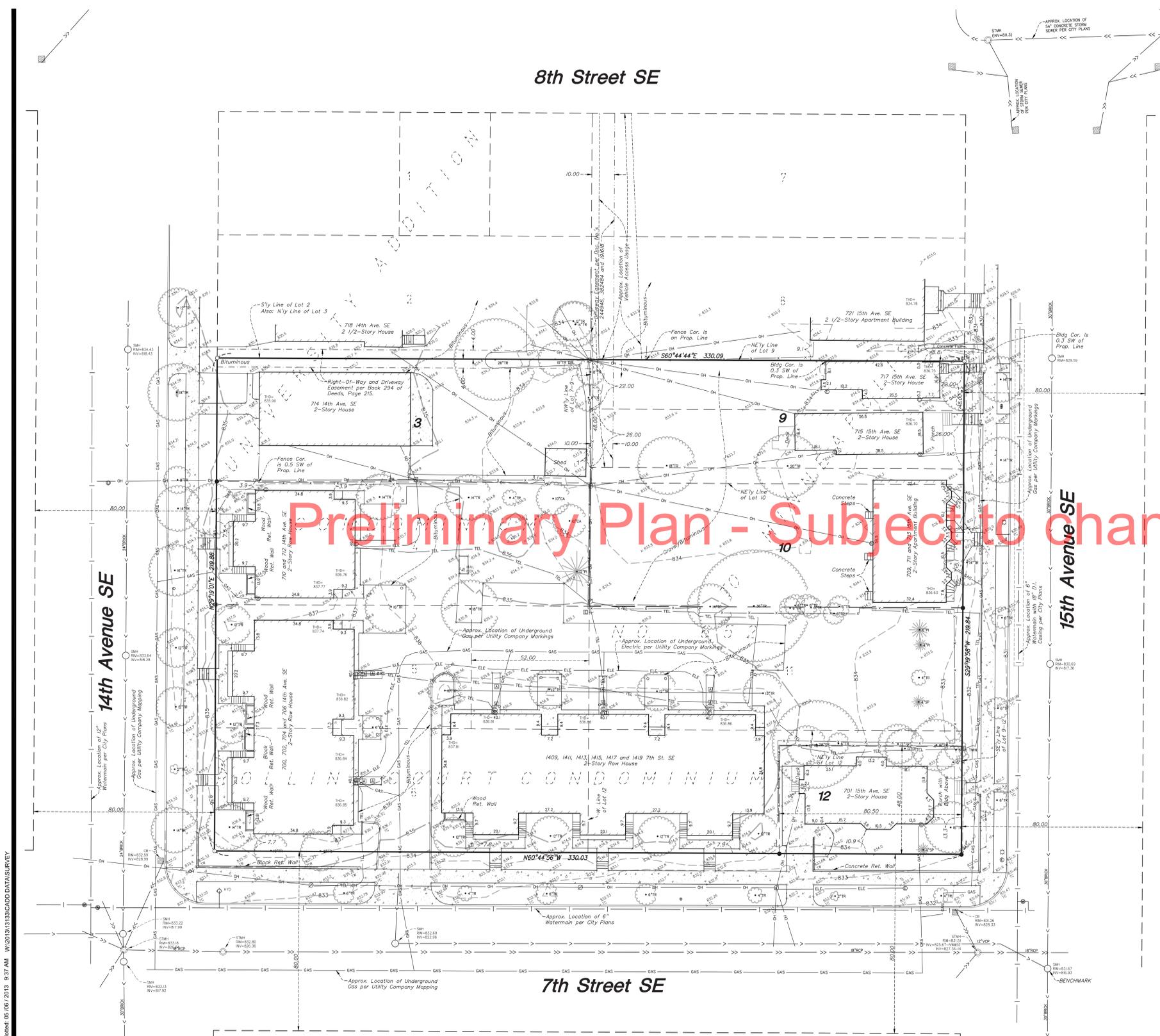
ALTA/ACSM
Land Title
Survey
with Topography

Project No.:

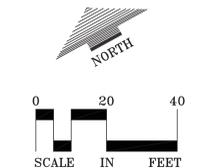
13-133

Sheet No.:

Sheet 1 of 2



Preliminary Plan - Subject to change



○ DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "RLS 26724"
 ● DENOTES IRON PIPE MONUMENT FOUND
 ✱ DENOTES REBAR MONUMENT FOUND

BENCHMARK: RIM OF SANITARY MANHOLE LOCATED AT THE INTERSECTION OF 15TH AVE SE AND 7TH ST SE AS SHOWN HEREON. ELEVATION= 831.67 FEET (NGVD29 DATUM)

SURVEY LEGEND

- | | |
|------------------------|----------------------------------|
| ☐ CATCH BASIN | — STORM SEWER |
| ⊙ STORM MANHOLE | — SANITARY SEWER |
| ○ SANITARY MANHOLE | — WATERMAIN |
| ⊙ WATER MANHOLE | — SANITARY SEWER SERVICE |
| ⊙ HYDRANT | — WATER SERVICE |
| ◇ GATE VALVE | — CTV UNDERGROUND CABLE TV |
| ⊙ POWER POLE | — ELE UNDERGROUND ELECTRIC |
| ⊙ LIGHT POLE | — FO UNDERGROUND FIBER OPTIC |
| ⊙ YARD LIGHT | — GAS UNDERGROUND GAS |
| — GUY WIRE | — TEL UNDERGROUND TELEPHONE |
| — SIGN | — OH OVERHEAD UTILITY |
| — SPOT ELEVATION | — X CHAIN LINK FENCE |
| ⊙ A/C UNIT | — ○ POST FENCE |
| ⊙ CABLE TV PEDESTAL | — ○ WOOD FENCE |
| ⊙ ELECTRIC TRANSFORMER | — CONCRETE CURB |
| ⊙ TELEPHONE PEDESTAL | — CONCRETE |
| ⊙ UTILITY MANHOLE | — CONTOUR |
| ⊙ ELECTRIC METER | — CONIFEROUS TREE |
| ⊙ GAS METER | — DECIDUOUS TREE |
| ⊙ HAND HOLE | — CA CATULPA |
| ⊙ POST INDICATOR VALVE | — PI PINE |
| ⊙ STALL COUNT | — SP SPRUCE |
| ⊙ HANDICAP STALL | — TR TREE (GEN) |
| | — TC TOP OF CURB |
| | — TW TOP OF WALL |
| | — THD THRESHOLD |
| | — (INV=B11.3) ELEVATION PER PLAN |

Project Name:
15th Avenue SE and 7th Street SE Project

Minneapolis, Minnesota

Owner/Developer:
 CPM Development
 2919 Knox Avenue South
 Suite 200
 Minneapolis, MN 55408

Professional Services:
LOUCKS ASSOCIATES
 Planning • Civil Engineering • Land Surveying
 Landscape Architecture • Environmental
 7209 Hennick Lane - Suite 300
 Maple Grove, MN 55369
 Telephone: (763) 424-5505
 www.LoucksAssociates.com

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Revisions:
 4-9-13 Drawing Issued
 4-30-13 Added Lot 3
 5-31-13 New Title Commitments

Professional Signature:
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Richard L. Licht
 Richard L. Licht - PLS
 License No. 36724 April 15, 2012 Date

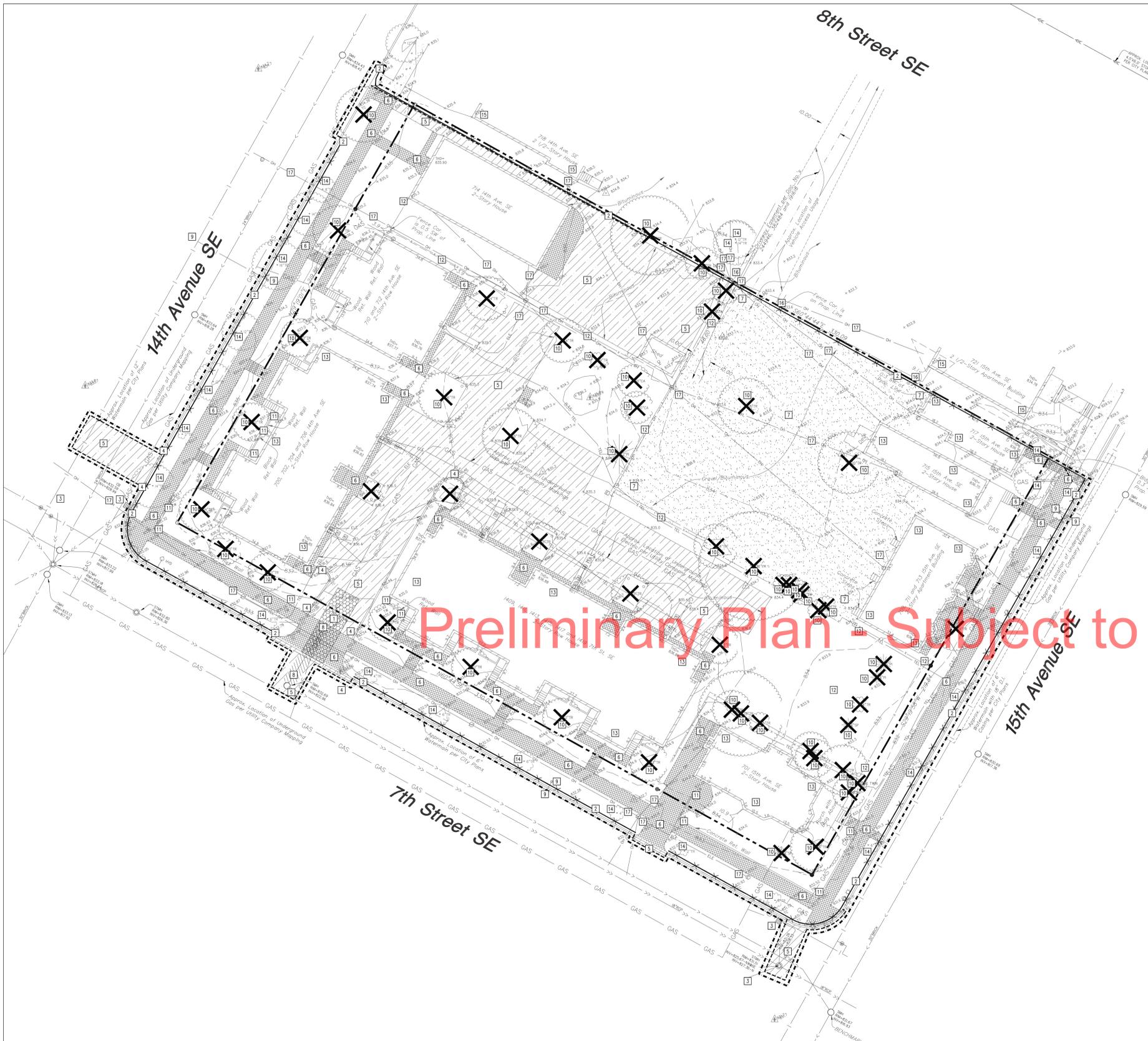
Quality Control:
 RLL (Drawn By) JT (Checked By)

Vicinity Map:

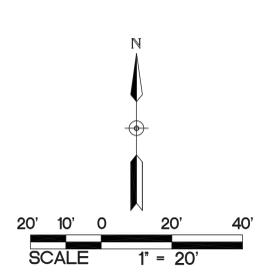
Sheet Title:
ALTA/ACSM Land Title Survey with Topography

Project No.: 13-133
 Sheet No.:
Sheet 2 of 2

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Preliminary Plan - Subject to change



PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---X---
SILTATION FENCE	---X---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	- - - - -
EROSION CONTROL BLANKET (TEMPORARY)	[Pattern]
BITUMINOUS REMOVAL	[Pattern]
CONCRETE REMOVAL	[Pattern]
GRAVEL/BITUMINOUS REMOVAL	[Pattern]
PIPE REMOVAL	[Pattern]
CURB REMOVAL	[Pattern]
TREE REMOVAL	X

ABBREVIATIONS	
BLDG	Building
BM	Bench Mark
CB	Catch Basin
CL	Center Line
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
RED	Reducer

APPROXIMATE DISTURBED AREA IS 2.15 ACRES

*NOTE: WHERE NO CONSTRUCTION LIMITS ARE SHOWN USE PROPERTY LINE FOR EXTENT OF CONSTRUCTION AREA.

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 2/C400.
 - INSTALL PERIMETER SEDIMENT CONTROL. REFER TO DETAILS 1/C400 AND 4/C400.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 3/C400.
 - REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE EXTENT SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
 - SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - REMOVE CONCRETE PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - REMOVE GRAVEL/BITUMINOUS SURFACE IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - REMOVE SANITARY SEWER IN ITS ENTIRETY TO THE EXTENTS SHOWN. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
 - REMOVE WATER SERVICES IN THEIR ENTIRETY TO THE EXTENTS SHOWN. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
 - REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
 - REMOVE RETAINING WALL IN ITS ENTIRETY.
 - REMOVE FENCE IN ITS ENTIRETY.
 - REMOVE BUILDING IN ITS ENTIRETY, INCLUDING EXTERIOR STAIRS, OVERHANGS, FOOTINGS, AND SMALL UTILITIES. COORDINATE REMOVAL OF SMALL UTILITIES WITH LOCAL UTILITY COMPANIES.
 - EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING BUILDING TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING FENCE TO REMAIN. PROTECT AT ALL TIMES.
 - COORDINATE WITH ELECTRICAL UTILITY OWNER REMOVAL AND RELOCATION OF EXISTING ELECTRICAL LINES, POWER POLES, SERVICES AND TRANSFORMERS.

DEMOLITION AND REMOVAL NOTES:

- PRIOR TO START OF DEMOLITION, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF MINNEAPOLIS. ALL SILT FENCES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION ACTIVITY. SILT FENCES SHALL BE INSTALLED ALONG THE CONTOUR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER STATE ONE CALL AT 855-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- PRIOR TO START OF CONSTRUCTION, DISCONNECT ALL GAS AND ELECTRIC SERVICES. COORDINATE DISCONNECTION OF EACH UTILITY WITH THE UTILITY OWNER. REMOVE ALL GAS AND ELECTRIC LINES UNDER PROPOSED BUILDING FOOTPRINT.
- ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT, ARE TO BE PROTECTED AT ALL TIMES.
- ALL EXISTING CURB AND GUTTER IS TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT FROM THE SAW CUT LINES TO THE NEAREST JOINT.
- THE BACKGROUND INFORMATION WAS PREPARED BY LOUCKS ASSOCIATES. (763) 424-5505.
- ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF MINNEAPOLIS. ROADWAY REPAIRS, BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED THE CITY OF MINNEAPOLIS AND UTILITY OWNER. REFER TO ALL CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
- THE ROCK CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF MINNEAPOLIS FOR THE EXACT ROCK CONSTRUCTION ENTRANCE LOCATION.

1 DEMOLITION PLAN
C100 1"=20'



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Revisions

No.	Date	Description

LAND USE APPLICATION SUBMITTAL

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Date: 4/28/2013

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Drawn By: KAB

Checked By: KAM

Comm. No.: 13-0226

Project Title

15th Avenue

Sheet Title
DEMOLITION PLAN

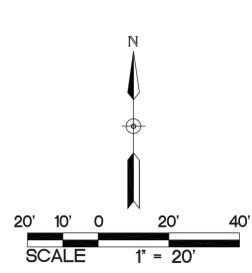
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NOTE: ALL SIDEWALK, CURB AND GUTTER, DRIVEWAY ENTRANCES, AND ALLEYS ARE TO CONSTRUCT PER STANDARD SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE IN THE CITY OF MINNEAPOLIS 2011 EDITION BY DEPARTMENT OF PUBLIC WORKS MINNEAPOLIS, MINNESOTA FEBRUARY 1, 2011

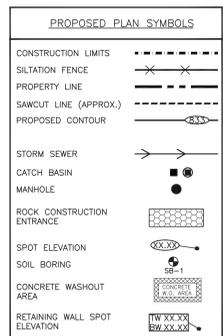
WALKWAY NOTES:
 1. GRADING CONTRACTOR IS TO COORDINATE WITH PAVING CONTRACTOR SO THAT ALL STEPS AND LANDINGS ARE SLOPED PER CODE.
 2. ALL SIDEWALK LONGITUDINAL AND TRANSVERSE SLOPES ARE TO BE PER CODE.

KEYED NOTES
 KEYED NOTES ARE DENOTED BY [] ON PLAN.
 [1] INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 2/C400.
 [2] INSTALL PERIMETER SEDIMENT CONTROL. REFER TO DETAILS 1/C400 OR 5/C400.
 [3] INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 3/C400.
 [4] ELECTRICAL TRANSFORMER. REFER TO ELECTRICAL PLANS.
 [5] APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SIS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.



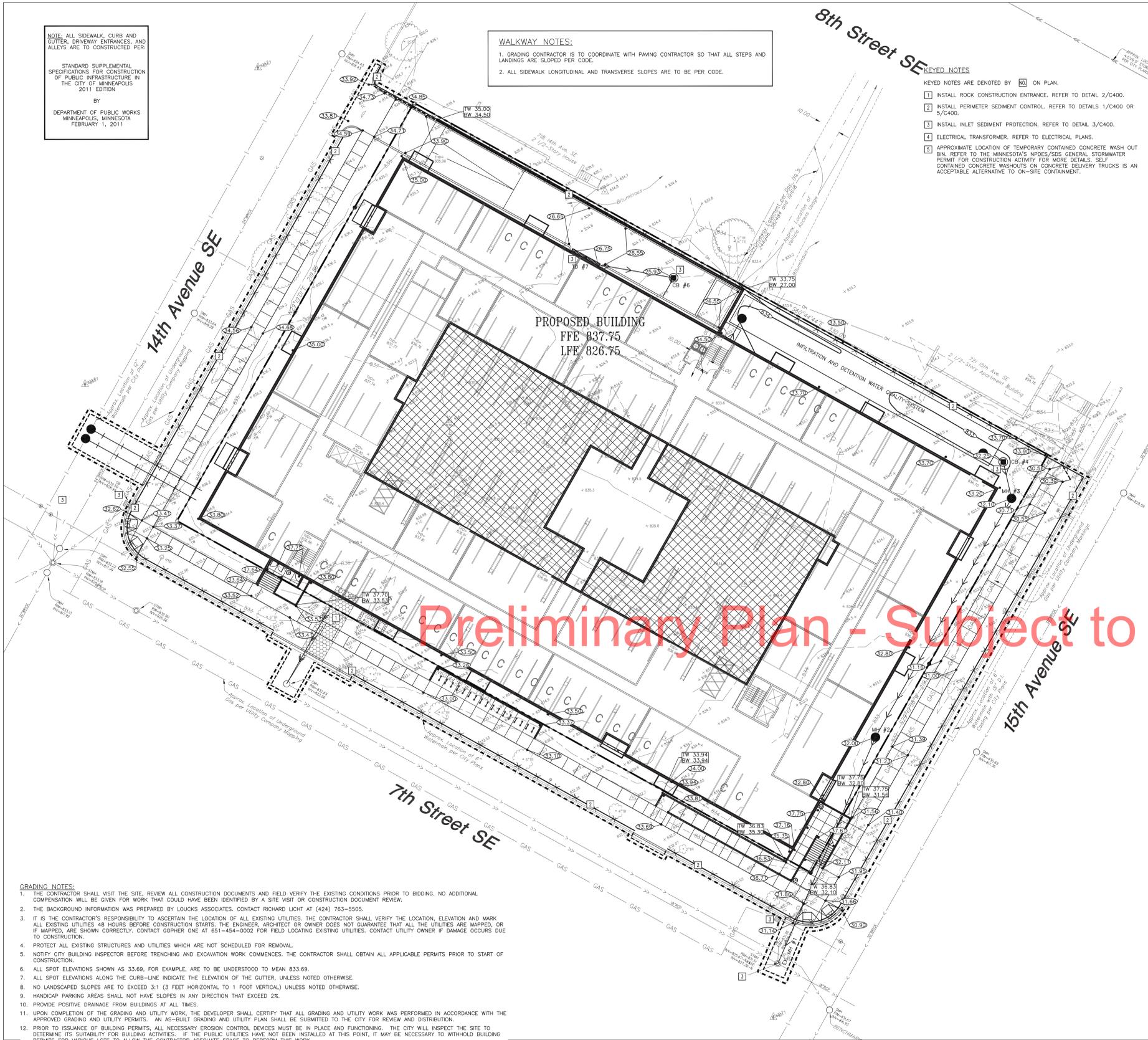
ABBREVIATIONS

BLDG	Building
BM	Bench Mark
BW	Bottom of Wall
CB	Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
LFE	Lower Floor Elevation
MAX	Maximum
MIN	Minimum
MH	Manhole
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
TW	Top of Wall
W.O.	Washout



APPROXIMATE DISTURBED AREA IS 2.15 ACRES

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Preliminary Plan - Subject to City Review

MINNEAPOLIS STANDARD EROSION CONTROL NOTES - (JANUARY 7, 2011)

- CONTRACTOR MUST CALL A CONSTRUCTION START 48 HOURS PRIOR TO ANY LAND DISTURBANCES 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES. THE RELOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
- INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.
- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. **RAY BAILS OR FILTER FABRIC WRAPPED GRATERS ARE NOT ALLOWED FOR INLET PROTECTION.**
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
- TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SOILING AND STAKING IN GREEN SPACES AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENUDED AREA.
- READY MIXED CONCRETE AND CONCRETE BATCH/PAVING PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN INTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
- CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
- IF Dewatering or Pumping of Water is Necessary, the Contractor is Responsible for Obtaining any Necessary Permits and/or Approvals Prior to Discharge of any Water from the Site. If the Discharge from the Dewatering or Pumping Process is Turbid or Contains Sediment Laden Water, it Must be Treated Through the Use of Sediment Traps, Vegetative Filter Strips, or Other Sediment Reducing Measures Such that the Discharge is Not Visibly Different from the Receiving Water. Additional Erosion Control Measures may be Required at the Discharge Point to Prevent Scour Erosion. The Contractor Shall Provide a Dewatering/Pumping Plan to the Erosion Control Inspector Prior to Initiating Dewatering Activities.

EROSION CONTROL NOTES:

- ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE A PRE-CONSTRUCTION GRADING MEETING ON-SITE WITH THE CITY. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RE-INSTALLED AND IN PLACE AT THE END OF EACH DAY.
- ANY EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY, BEFORE, DURING OR AFTER THE GRADING ACTIVITIES, SHALL BE INSTALLED AT THEIR REQUEST. NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN, WITHOUT PRIOR APPROVAL FROM THE CITY.
- FOR SITES GREATER THAN 1.0 ACRE AS REQUIRED BY THE MPCA PERMIT REQUIREMENTS, THE PERMIT APPLICANT MUST KEEP AN EROSION CONTROL INSPECTION LOG. INSPECTION MUST BE MADE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT. THE INSPECTION RECORD MUST BE MADE AVAILABLE TO THE CITY WITHIN 24 HOURS OF REQUEST.
- FLOWS FROM DIVERSION CHANNELS OR PIPES (TEMPORARY OR PERMANENT) SHALL BE ROUTED TO SEDIMENTATION BASINS OR APPROPRIATE ENERGY DISSIPATORS TO PREVENT TRANSPORT OF SEDIMENT TO OUTFLOW TO LATERAL CONVEYORS AND TO PREVENT EROSION AND SEDIMENTATION WHEN RUNOFF FLOWS INTO THESE CONVEYORS.
- SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DIKES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH GRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
- SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY CITY, THROUGHOUT THE DURATION OF CONSTRUCTION.
- DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY.
- ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- ALL CONSTRUCTION AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEEDED AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 14 DAYS:
 - ALL SEEDED AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS THAN 80% COVERAGE.
 - IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) SEED MIXTURE 21-111 (OATS), OR 21-112 (WINTER WHEAT), AT A RATE OF 100 POUNDS PER ACRE.
 - IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED MIXTURE MNDOT 22-112 AT A RATE OF 40 POUNDS PER ACRE.
 - GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.
 - ALL AREAS THAT WILL NOT BE MOWED OR MAINTAINED AS PART OF THE ULTIMATE DESIGN WILL BE PERMANENTLY RESTORED USING SEED MIXTURE MNDOT 25-141 AT A RATE OF 59 POUNDS PER ACRE.
 - UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL SITE PLAN OR LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF M/V/OOT SEED MIXTURE 25-131 (COMMERCIAL TURF GRASS) AT A RATE OF 220 POUNDS PER ACRE.
 - WHENEVER OTHER EROSION AND SEDIMENT CONTROL PRACTICES ARE INADEQUATE, TEMPORARY ON-SITE SEDIMENT BASINS THAT CONFORM TO THE CRITERIA FOR ON-SITE DETENTION BASINS SHALL BE PROVIDED.
- RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION. WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, A SILT FENCE OR SEDIMENT PROTECTION DEVICES AS DETAILED SHALL BE INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS UNTIL THE TRIBUTARY AREA TO THE CATCH BASIN IS RESTORED.
- GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E., TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
- EROSION CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF ALL LAKES, PONDS AND WETLANDS WITHIN OR ADJACENT TO THE AREA TO BE GRADED UNTIL THE AREA TRIBUTARY TO THE LAKE, POND OR WETLAND IS RESTORED.
- TO MINIMIZE EROSION, ALL 3:1 SLOPES SHALL BE COVERED WITH A M/V/OOT 3885 CATEGORY 2 STRAW EROSION CONTROL BLANKETS OR STAKED SOIL.
- ACCUMULATION OF ALL SEDIMENT OCCURRING IN STORM SEWERS, DITCHES, LAKES, PONDS AND WETLANDS SHALL BE REMOVED PRIOR TO, DURING AND AFTER COMPLETION OF GRADING ACTIVITIES.
- EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY.

- THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
- THE BACKGROUND INFORMATION WAS PREPARED BY LOUCKS ASSOCIATES. CONTACT RICHARD LICHT AT (424) 763-5505.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER ONE AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
- NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
- ALL SPOT ELEVATIONS SHOWN AS 33.69, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 833.69.
- ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
- NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
- HANDICAP PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
- PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
- UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE DEVELOPER SHALL CERTIFY THAT ALL GRADING AND UTILITY WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PERMITS. AN AS-BUILT GRADING AND UTILITY PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND DISTRIBUTION.
- PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
- ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
- THE INTENT IS TO STRIP AND SALVAGED TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE. IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS, SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING AND RE-SPREADING SHALL BE DONE IN ACCORDANCE TO, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
- ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNERS).
- IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINTS ARE TO BE MINIMALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED; ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
- WINTER MULCHING:
 - SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
 - FROZEN SOIL MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING TO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MAYBE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER, AT A RATE OF 2000 GALLONS PER ACRE, OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
- RETAINING WALLS AND APPROPRIATE SAFETY FENCING ALONG THE TOP OF WALLS ARE TO BE DESIGNED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER. SUBMIT RETAINING WALL SHOP DRAWINGS TO PROJECT TEAM PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

1 GRADING, DRAINAGE AND EROSION CONTROL PLAN
 C200 T-20

RETAINING WALL NOTES:

- ALL TOP AND BOTTOM ELEVATIONS CORRESPOND TO THE RESPECTIVE GRADE ELEVATIONS ON EACH SIDE OF THE WALL.
- THE BOTTOM ELEVATION IS THE ELEVATION OF THE LOW-GRADE SIDE OF THE WALL, NOT THE TOP ELEVATION OF THE BURIED BLOCK COURSE.
- ALL RETAINING WALLS SHALL HAVE PROTECTIVE FENCING AT THE TOP WHERE THE VERTICAL HEIGHT EXCEEDS 30 INCHES. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS AND SPECIFICATIONS.
- MODULAR BLOCK RETAINING WALL SHALL BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. DESIGN CALCULATIONS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION OF WALL.

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Revisions

No.	Date	Description

LAND USE APPLICATION SUBMITTAL

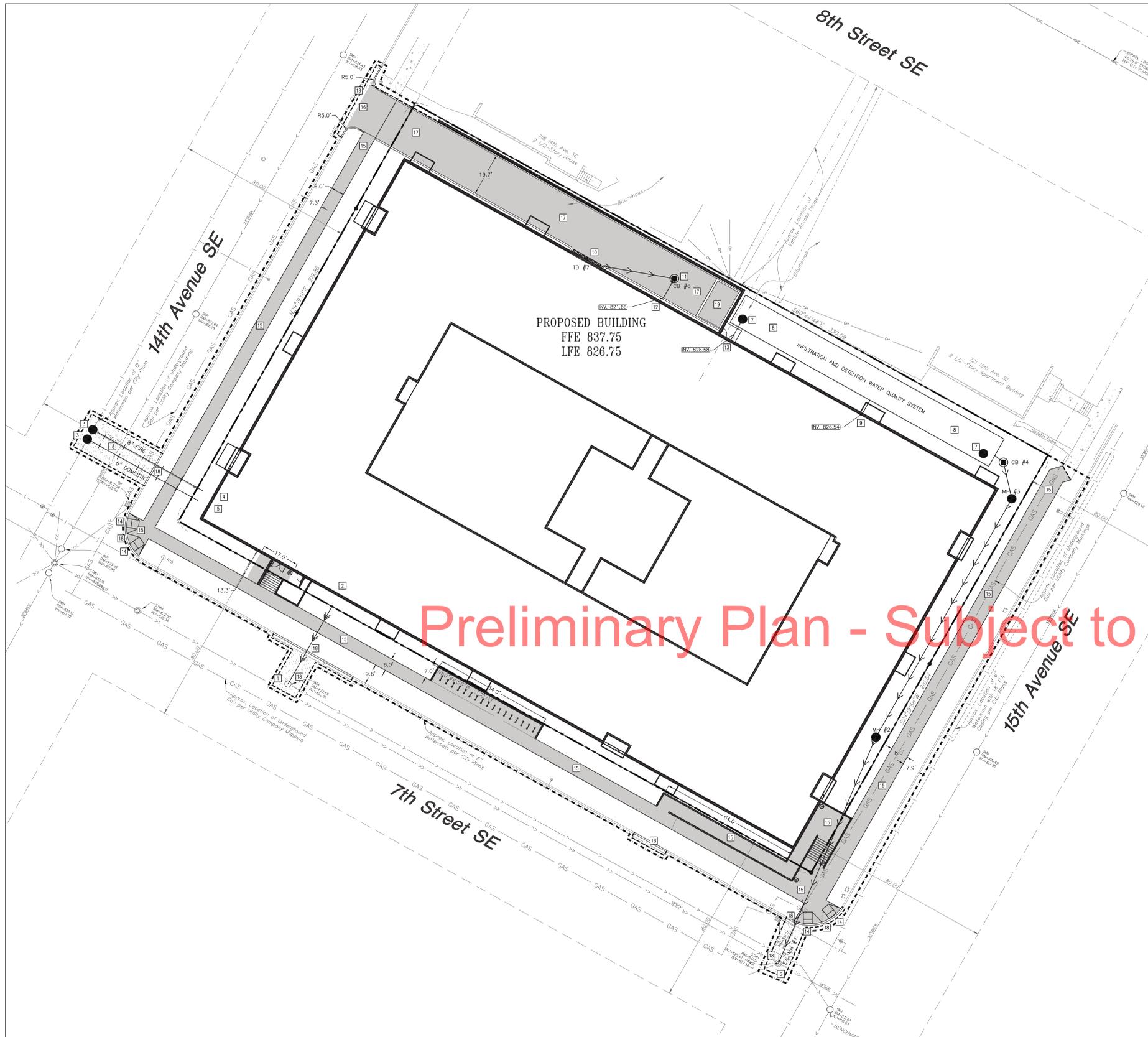
Document Phase: Land Use Application
 Date: 4/28/2013
 P/C/A/C:
 Drawn By: KAB
 Checked By: KAM
 Comm. No.: 134226

Project Title
 15th Avenue

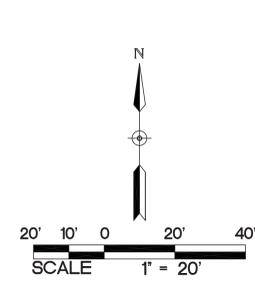
Sheet Title
 GRADING, DRAINAGE AND EROSION CONTROL PLAN

Sheet Number

C200



Preliminary Plan - Subject to Change



PROPOSED PLAN SYMBOLS	
RETAINING WALL	
CONSTRUCTION LIMITS	
PROPERTY LINE	
SAWCUT LINE (APPROX.)	
SANITARY SEWER	
WATER PIPE	
STORM SEWER	
CATCH BASIN	
MANHOLE	
BITUMINOUS PAVEMENT	
CONCRETE PAVEMENT/SIDEWALK	
PEDESTRIAN CURB RAMP	
SEWER SPOT ELEVATION	

ABBREVIATIONS	
BDDG	Building
CB	Catch Basin
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HDPE	High Density Polyethylene
INV	Invert
LFE	Lowest Floor Elevation
MAX	Maximum
MH	Manhole
MN	Minimum
PVC	Polyvinyl Chloride
R	Radius
RCP	Reinforced Concrete Pipe
RD	Roof Drain
SMH	Sanitary Manhole
SMH	Storm Manhole
TI	Tank Invert
TYP.	Typical
VCP	Verifired Clay Pipe

*NOTE: WHERE NO CONSTRUCTION LIMITS ARE SHOWN, USE PROPERTY LINE FOR EXTENT OF CONSTRUCTION AREA.

KEYED NOTES

KEYED NOTES ARE DENOTED BY [] ON PLAN.

- 1 CORE DRILL EXISTING SANITARY SEWER MANHOLE FOR PROPOSED 8-INCH SANITARY SEWER SERVICE CONNECTION AT INVERT ELEVATION 823.96. GROUT SEAL AROUND OPENING. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
- 2 INSTALL 41'-FEET OF 8-INCH SDR 26 PIPE AT 1.0% TO INVERT 824.37 FOR SANITARY SEWER SERVICE CONNECTION. STUB TO WITHIN 5'-FEET OF PROPOSED BUILDING. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 3 WETPAP EXISTING 12-INCH WATER MAIN FOR PROPOSED SERVICE. THE CITY OF MINNEAPOLIS WILL PROVIDE AND INSTALL THE WETPAP. THE CONTRACTOR SHALL EXCAVATE FOR THE WETPAP, CONSTRUCT THE WATER VALVE MANHOLE, CONNECT TO THE VALVE AND BACKFILL THE TRENCH PER CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS. REFER TO DETAIL 6/C401. COORDINATE ALL WORK WITH CITY OF MINNEAPOLIS.
- 4 STUB 8-INCH FIRE PROTECTION LINE TO WITHIN 5'-FEET OF PROPOSED BUILDING. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
- 5 STUB 6-INCH DOMESTIC WATER SERVICE TO WITHIN 5'-FEET OF PROPOSED BUILDING. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
- 6 CORE DRILL EXISTING MANHOLE FOR PROPOSED STORM SEWER CONNECTION. GROUT SEAL AROUND OPENING. REFER TO STORM SEWER TABLE FOR PIPE SIZE AND INVERT ELEVATION. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
- 7 INSTALL 30" ACCESS RISER. REFER TO DETAIL 6/C401.
- 8 INSTALL INFILTRATION SYSTEM PER DETAIL 6/C401. INFILTRATION SYSTEM SHALL HAVE INFILTRATION VOLUME OF 3,643 CUBIC FEET AND TOTAL VOLUME OF 8,420 CUBIC FEET. INFILTRATION VOLUME SHALL DRAW DOWN IN 48-HOURS. ANY ALTERNATE DESIGNS MUST BE APPROVED BY CIVIL ENGINEER PRIOR TO CONSTRUCTION.
- 9 LOCATION OF PROPOSED ROOF DRAIN LEAD. REFER TO STORM SEWER TABLE AND 1/C300 FOR INVERT ELEVATIONS AND PIPE SIZES. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 10 INSTALL TRENCH DRAIN. REFER TO DETAIL 7/C401.
- 11 INSTALL SUMP CATCH BASIN. REFER TO DETAIL 5/C401.
- 12 CONNECT EXISTOR STORM SEWER TO INTERNAL SUMP PUMP. REFER TO STORM SEWER TABLE AND 1/C300 FOR INVERT ELEVATIONS AND PIPE SIZES. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 13 LOCATION OF PROPOSED SUMP PUMP OUTLET. REFER TO STORM SEWER TABLE AND 1/C300 FOR INVERT ELEVATIONS AND PIPE SIZES. CONTRACTOR SHALL CONNECT SUMP PUMP TO ACCESS RISER. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 14 INSTALL PEDESTRIAN CURB RAMP. REFER TO DETAILS 5/C400 AND 10/C400. REFER TO MN/DOT STANDARD PLAN 5-297.250 AND MN/DOT STANDARD PLATE 7038.
- 15 INSTALL CONCRETE WALK. REFER TO DETAIL 9/C401. REFER TO LANDSCAPE PLANS FOR CONCRETE FINISH AND JOINING.
- 16 INSTALL CONCRETE DRIVE ENTRANCE. REFER TO DETAILS 5, 6, 7, AND 9/C400.
- 17 INSTALL CONCRETE PAVEMENT. REFER TO DETAIL 10/C401.
- 18 CONTRACTOR SHALL INSTALL NEW ASPHALT PAVEMENT AND CONCRETE CURB AND GUTTER WHERE PAVEMENT AND CURB AND GUTTER WHERE REMOVED FOR UTILITY, DRIVE ENTRANCE, AND PEDESTRIAN CURB RAMP INSTALLATION. CONTRACTOR SHALL MATCH EXISTING CONDITIONS. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
- 19 INSTALL CONCRETE TRANSFORMER PAD PER DETAIL 11/C401.

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
2. ALL CURB AND GUTTER IS TO BE 8612 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE. CURB AND GUTTER IN PUBLIC ROW SHALL BE B624.
3. NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
4. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.
5. FOLLOW ALL CITY OF MINNEAPOLIS RULES, REGULATIONS AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
6. NO PONDING OF WATER OR ABRUPT TRANSITIONS WILL BE ALLOWED WHERE NEW PAVEMENT/CURB/SIDEWALK MATCHES INTO EXISTING PAVEMENT/CURB/SIDEWALK.
7. THE CONTRACTOR IS TO CONTACT THE CITY OF MINNEAPOLIS FIRE MARSHAL FOR THE EXACT PLACEMENT OF FIRE LANES, YELLOW-PAINTED CURBING AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.

UTILITY NOTES:

1. COORDINATE SERVICE CONNECTION LOCATIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
2. ALL SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE ARE TO BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER.
3. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
4. ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF MINNEAPOLIS AND HENNEPIN COUNTY STANDARDS.
5. ALL WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, UNLESS NOTED OTHERWISE.
6. ALL WATER MAIN SHALL HAVE A MINIMUM DEPTH OF COVER OF 7.5 FEET OVER TOP OF WATER MAIN.
7. PROVIDE THRUST BLOCKING ON ALL WATER MAIN PER CITY OF MINNEAPOLIS. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BENDS, VALVES, TEES, PLUGS AND HYDRANT LEADS.
8. SANITARY SEWER PIPING SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
9. STORM SEWER PIPING SHALL BE SMOOTH INTERIOR AND ANNUULAR EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE), UNLESS NOTED OTHERWISE. HDPE PIPE SHALL CONFORM TO ASTM F2648. ALL STORM SEWER PIPE THAT IS EXTENDED TO THE BUILDING FOR ROOF DRAIN SERVICES IS TO BE PVC. SCHEDULE 40.
10. CONTRACTORS ARE TO COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
11. ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10'-FEET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE.
12. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. GROUT RINGS ARE AN ACCEPTABLE ALTERNATIVE. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

CITY OF MINNEAPOLIS UTILITY NOTES:

1. ALL WORK DONE OUTSIDE OF THE LOT LINE ON PUBLIC RIGHT-OF-WAY MUST BE DONE BY A CONTRACTOR LICENSED TO WORK IN THE CITY OF MINNEAPOLIS WHO HAS THE \$100,000.00 SIDEWALK CONTRACTOR'S BOND ON FILE WITH THE SIDEWALK DIVISION.
2. ALL UTILITIES MUST BE INSTALLED BY A MINNEAPOLIS LICENSED CONTRACTOR.
3. CONTRACTOR SHALL CONTACT MINNEAPOLIS SURFACE WATERS AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORM WATER MANAGEMENT BMP. CONTACT PAUL CHELISEN, 651-673-2409 OR PAUL.CHELISEN@MINNEAPOLIS.MN.GOV.
4. UPON THE PROJECT'S COMPLETION, THE GENERAL CONTRACTOR SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORM WATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.

UTILITY NOTES FOR WORK IN PUBLIC RIGHT-OF-WAY:

1. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, CONTRACTORS ARE TO COORDINATE ALL WORK WITHIN RIGHT OF WAY AND OBTAIN ALL APPLICABLE PERMITS.

PAVING NOTES:

1. REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
2. INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
3. SAWCUT AND MATCH NEW BITUMINOUS PAVEMENT INTO EXISTING PAVEMENT. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
4. MATCH NEW CONCRETE CURB AND GUTTER INTO EXISTING. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS FOR CURB TYPE, MATERIAL AND INSTALLATION METHODS.
5. SAWCUT EXISTING BITUMINOUS PAVEMENT AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER. INSTALL DRIVE ENTRANCE PER CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS. FOLLOW ALL CITY OF MINNEAPOLIS REQUIREMENTS FOR TRAFFIC CONTROL.

STORM SEWER TABLE

STRUCTURE IDENTIFICATION	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING	TOP ELEVATION	INVERT ELEVATION	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
EX MH #1	EXISTING	EXISTING	EXISTING	SE. 825.67 NE. 825.67	113 L.F. OF 12" HDPE PIPE @ 0.39%, MH #2
MH #2	48	R-1733	832.30	SW. 826.11 NE. 825.11	126 L.F. OF 12" HDPE PIPE @ 0.39%, MH #3
MH #3	48	R-1733	832.00	SW. 826.60 N. 826.60	17 L.F. OF 12" HDPE PIPE @ 0.39%, CB #4
CB #4	48	R-2535	832.25	S. 826.66 NW. 826.66	5 L.F. OF 12" HDPE PIPE @ 0.39%, INFILTRATION TANKS
INFILTRATION TANKS	NA	NA	NA	SE. 826.66 SW. 826.47 SW. 828.47 TI. 823.97	7 L.F. OF 15" SCH 40 PVC PIPE @ 1.00%, ROOF DRAIN CONNECTION 11 L.F. OF 8" SCH 40 PVC PIPE @ 1.00%, BUILDING SUMP PUMP
CB #6	48	R-2535	825.93	SW. 821.76 W. 821.76	10 L.F. OF 8" SCH 40 PVC PIPE @ -1.00%, BUILDING SUMP PUMP 34 L.F. OF 8" PVC PIPE @ 1.00%, TD #7
TD #7	REFER TO DETAIL 7/C401		826.75	E. 822.10	

1
C300
UTILITY AND PAVING PLAN
1" = 20'



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Revisions

No.	Date	Description

LAND USE APPLICATION SUBMITTAL

Document Phase: Land Use Application

Date: 4/28/2013

PC/AIC:

Drawn By: KAB

Checked By: KAM

Comm. No.: 13-0226

Project Title

15th Avenue

Sheet Title

UTILITY AND PAVING PLAN

Sheet Number

C300



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CIVIL DETAILS

Sheet Number

C400

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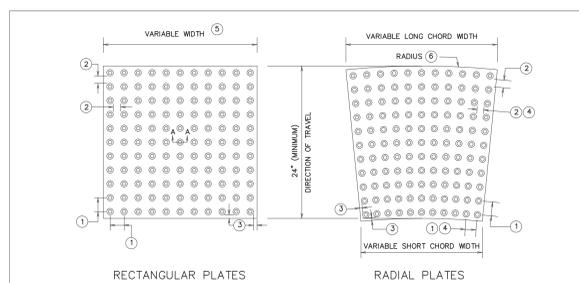


Table with 4 columns: Radius (feet), Long Chord Width (inches), Sq. Ft. per Plate, Plates Required for 90 Degree Turn. Includes a table for typical radial truncated dome plates.

NOTES: DETECTABLE WARNING SURFACES SHALL FOLLOW THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG). DETECTABLE WARNINGS SHALL BE PLACED IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.

Table with 3 columns: STATE OF MINNESOTA DEPARTMENT OF TRANSPORTATION, SPECIFICATION REFERENCE (2531), STANDARD PLATE NO. (7038A).

NOTE: FOR ADA COMPLIANT PEDESTRIAN RAMPS, REFER TO MN/DOT STANDARD PLAN 5-297.250 PEDESTRIAN CURB RAMP DETAILS AT THE FOLLOWING WEB ADDRESS: HTTP://STANDARDPLATES.DOT.STATE.MN.US/STDPLATE.ASPX

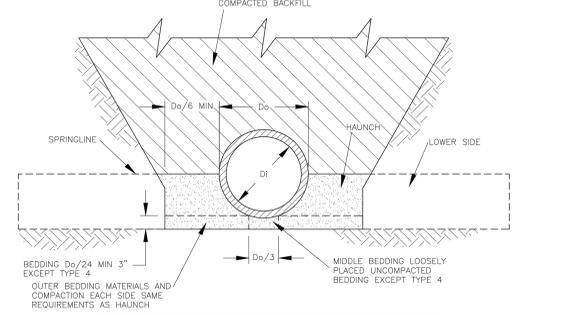
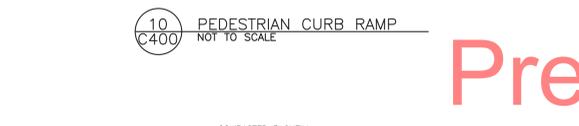
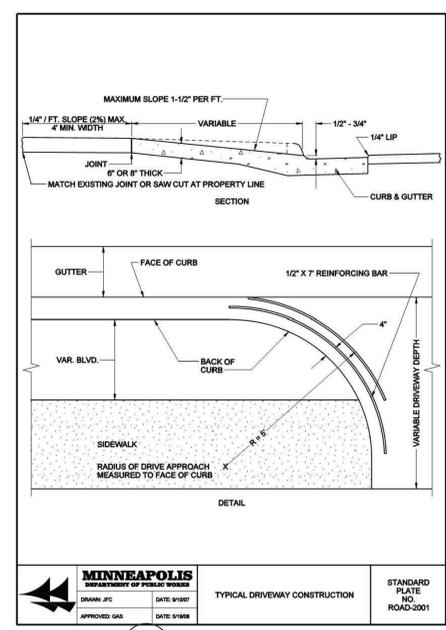
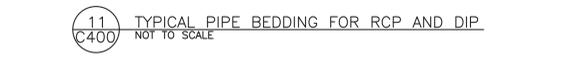


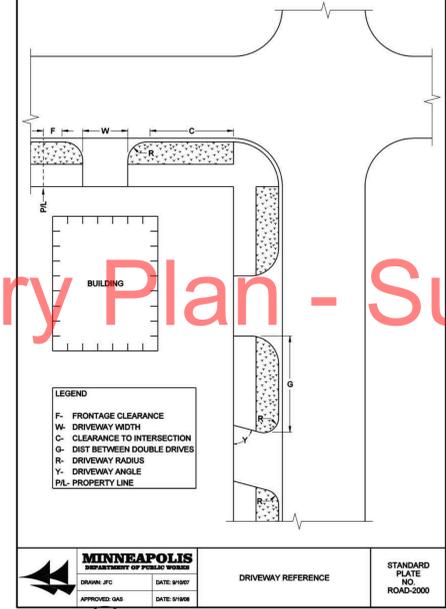
Table with 3 columns: INSTALLATION TYPE, HAUNCH AND OUTER BEDDING, LOWER SIDE. Lists requirements for different types of rock construction entrances.

Table with 2 columns: SOIL, EQUIVALENT SOIL CLASSIFICATIONS FOR SOIL DESIGNATIONS. Maps USCS soil types to Mn/DOT specifications.

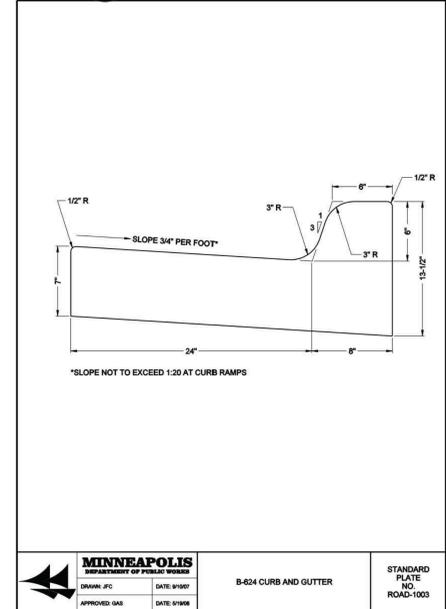
NOTES: 1. COMPACTION AND SOIL SYMBOLS—'95% CATEGORY I' REFERS TO CATEGORY I SOIL MATERIAL WITH MINIMUM STANDARD PROCTOR COMPACTION OF SOIL.



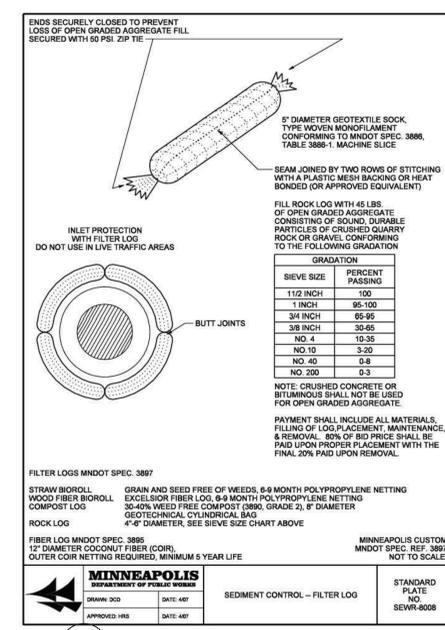
7 TYPICAL DRIVEWAY C400 NOT TO SCALE



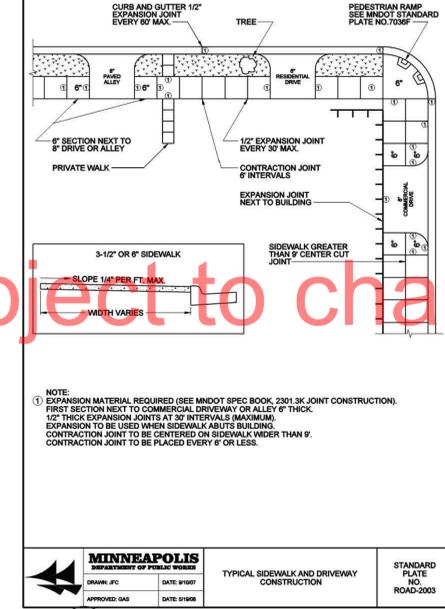
8 TYPICAL REFERENCE C400 NOT TO SCALE



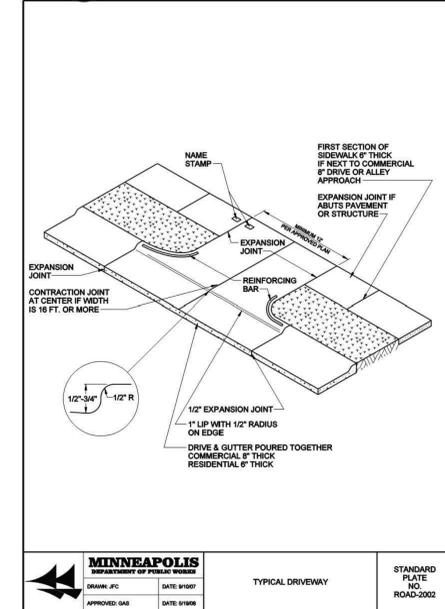
9 B-624 CONCRETE CURB AND GUTTER C400 NOT TO SCALE



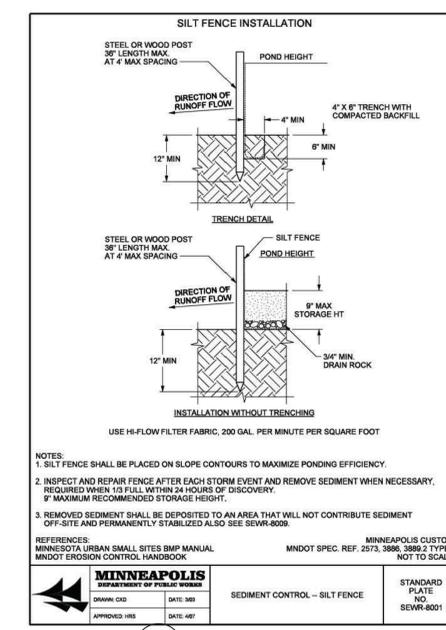
4 FILTER LOG C400 NOT TO SCALE



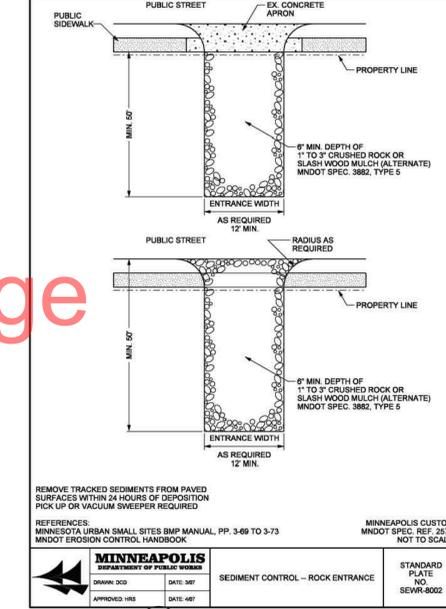
5 TYPICAL DRIVEWAY AND SIDEWALK C400 NOT TO SCALE



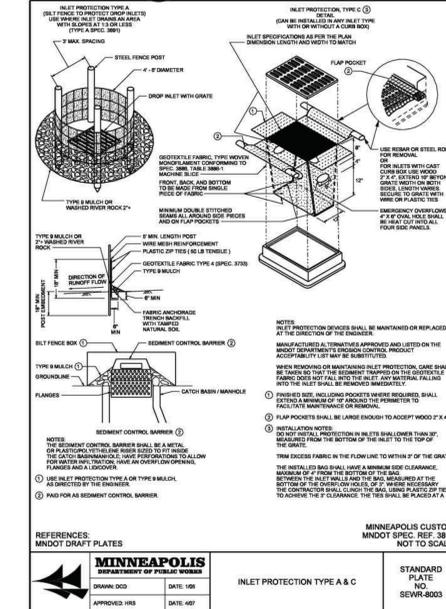
6 TYPICAL DRIVEWAY C400 NOT TO SCALE



1 SILT FENCE C400 NOT TO SCALE



2 ROCK CONSTRUCTION ENTRANCE C400 NOT TO SCALE



3 INLET SEDIMENT PROTECTION C400 NOT TO SCALE

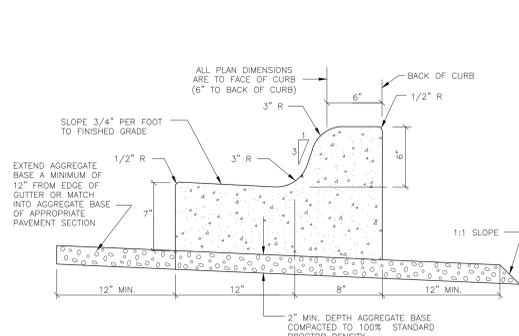
Preliminary Plan - Subject to change



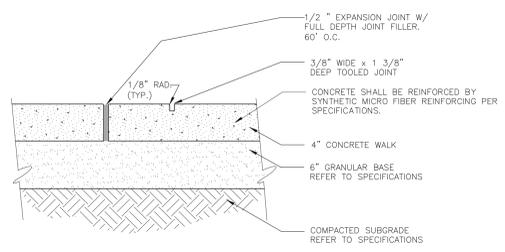
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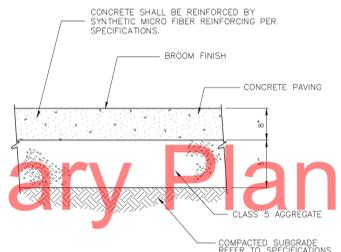
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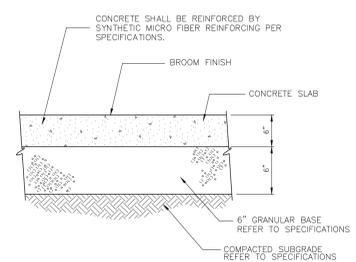
8 B612 CONCRETE CURB AND GUTTER NOT TO SCALE



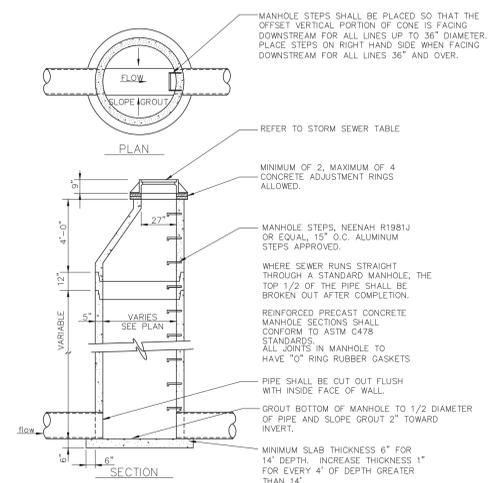
9 CONCRETE SIDEWALK CONSTRUCTION (TYP.) NOT TO SCALE



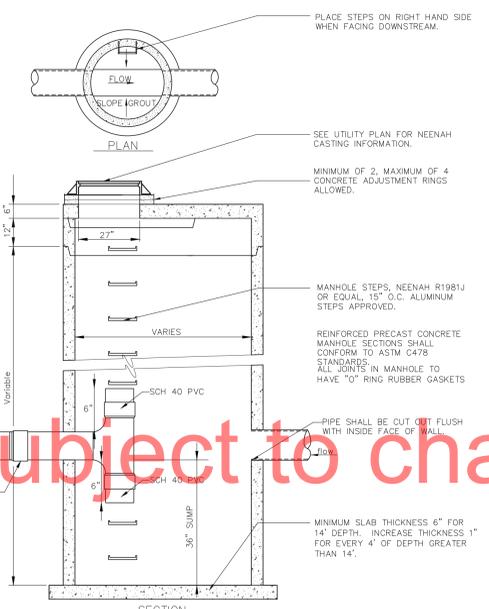
10 CONCRETE PAVEMENT NOT TO SCALE



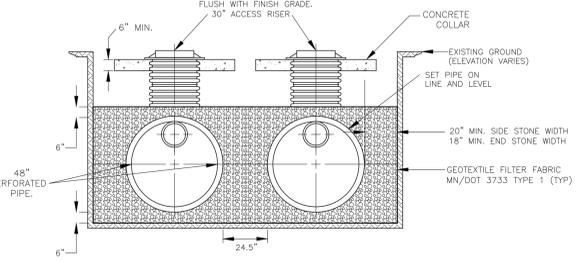
11 CONCRETE TRANSFORMER PAD NOT TO SCALE



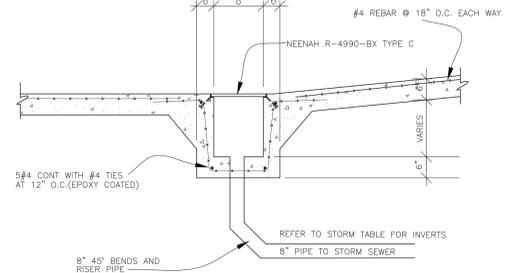
4 STORM SEWER MANHOLE/CATCH BASIN NOT TO SCALE



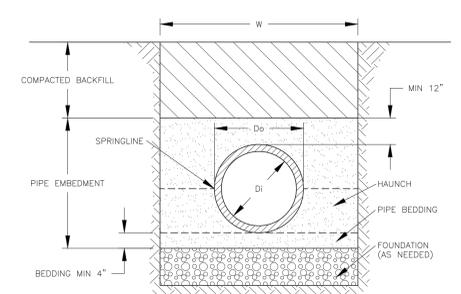
5 SUMP MANHOLE NOT TO SCALE



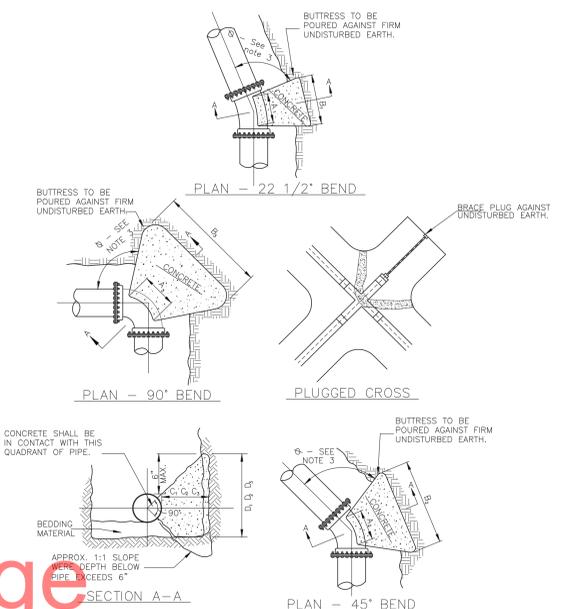
6 PERFORATED PIPE NOT TO SCALE



7 TRENCH DRAIN DETAIL NOT TO SCALE

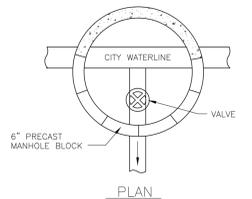


1 TYPICAL PIPE BEDDING FOR PVC NOT TO SCALE



2 THRUST BLOCK DETAIL FOR MECHANICAL PIPE BENDS NOT TO SCALE

Table with 4 columns: PIPE SIZE, 22 1/2 Bend, 45 Bend, 90 Bend. Rows include pipe sizes from 6\"/>



3 WATER VALVE MANHOLE NOT TO SCALE

Preliminary Plan - Subject to change

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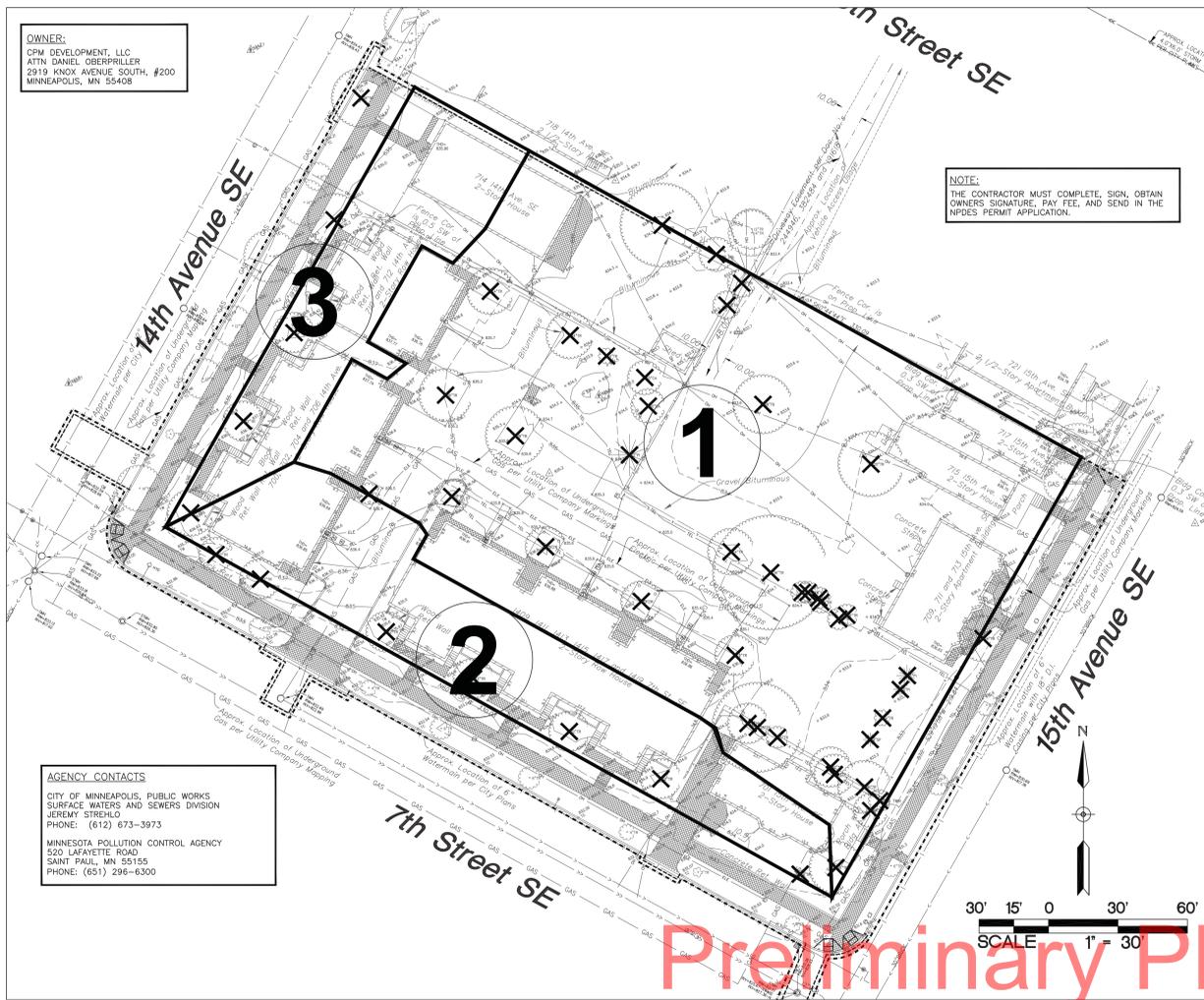
Project Title 15th Avenue

Sheet Title CIVIL DETAILS

Sheet Number

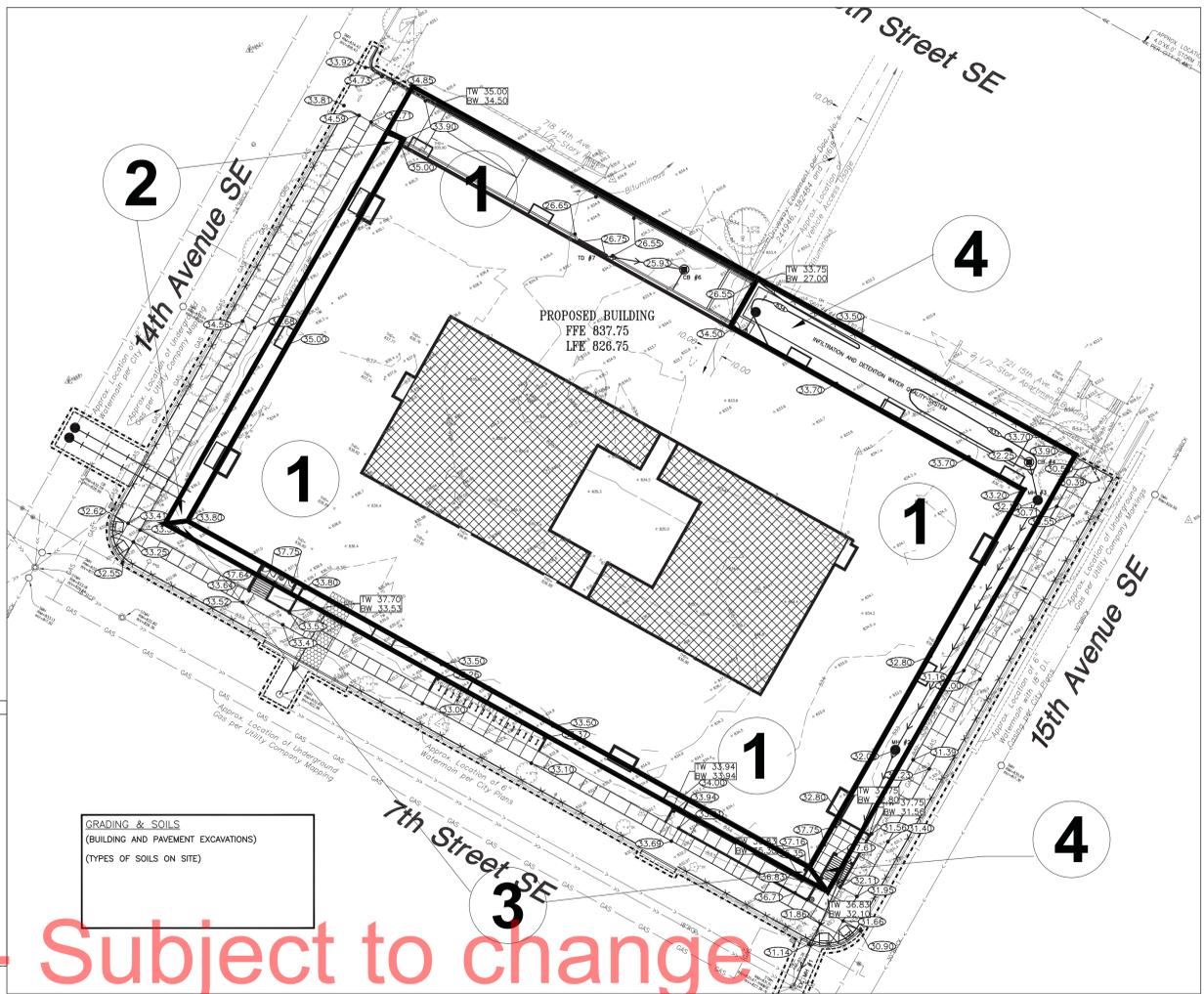
C401

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ABBREVIATIONS

BLDG	Building
BMP	Best Management Practice
EW	Practice Bottom of Wall
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
MPCA	Minnesota Pollution Control Agency
NPDES	National Pollutant Discharge Elimination System
NWL	Normal Water Level
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
TW	Top of Wall
W.B.	Washout



Preliminary Plan - Subject to change

1 EXISTING CONDITIONS
C500 1"=30'

2 PROPOSED CONDITIONS
C500 1"=30'

MECHANICAL AND NON-STORMWATER DISCHARGES, EXISTING AND PROPOSED

1. WATER LINE FLUSHING
2. LANDSCAPE IRRIGATION
3. UNCONTAMINATED GROUND WATER INFILTRATION
4. DISCHARGE FROM POTABLE WATER SOURCES
5. AIR CONDITIONING CONDENSATION
6. LAWN WATERING
7. RESIDENTIAL BUILDING WASH WATERS WITHOUT DETERGENTS.

DRAINAGE AREA	EXISTING DRAINAGE AREAS			Q OUT (CFS) STORM EVENT			ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	2-YEAR (2.75") (2.75")	10-YEAR (4.15") (4.15")	100-YEAR (5.90") (5.90")	
1	0.83	0.36	1.19	3.30	5.51	8.26	
2	0.22	0.07	0.29	0.98	1.61	2.39	
3	0.12	0.07	0.19	0.58	0.99	1.50	
TOTAL	1.17	0.50	1.67	4.86	8.11	12.15	

DRAINAGE AREA	PROPOSED DRAINAGE AREAS			Q OUT (CFS) STORM EVENT			ROUTING
	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	2-YEAR (2.75") (2.75")	10-YEAR (4.15") (4.15")	100-YEAR (5.90") (5.90")	
1	1.36	0.09	1.45	0.53	1.88	2.91	
2	0.00	0.04	0.04	0.02	0.07	0.16	
3	0.01	0.03	0.04	0.04	0.11	0.21	
4	0.01	0.13	0.14	0.05	0.19	0.42	
TOTAL	1.38	0.29	1.67	0.64	2.25	3.70	

	2-YR STORM (2.75") RUNOFF (CFS)	10-YR STORM (4.15") RUNOFF (CFS)	100-YR STORM (5.90") RUNOFF (CFS)
PRAIRIE CONDITIONS	0.44	2.29	5.48
EXISTING SITE	4.86	8.11	12.15
PROPOSED SITE	0.64	2.25	3.70

STORMWATER RUNOFF SUMMARY

NOTE:
THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT INCLUDES THE CIVIL ENGINEERING PLANS AND THE PROJECT MANUAL.
CONTRACTOR TO SUPPLY CONSTRUCTION PHASING NARRATIVE, ESTIMATED PRELIMINARY QUANTITIES OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S ANTICIPATED AT THE START OF THE PROJECT AND FOR THE LIFE OF THE PROJECT AND LOCATION OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE DURATION OF EXPOSED SOIL AREAS. CONTRACTOR IS TO REVIEW MINNESOTA POLLUTION CONTROL AGENCY'S INSTRUCTIONS FOR THE APPLICATION FOR MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY PRIOR TO SUBMITTING APPLICATION.

CONSTRUCTION ACTIVITY EROSION PREVENTION PRACTICES
PROVIDE TEMPORARY PROTECTION OR PERMANENT COVER FOR EXPOSED SOIL AREAS WITH A CONTINUOUS POSITIVE SLOPE WITHIN 200 FEET OF A SURFACE WATER, CURB AND GUTTER, CATCH BASIN, OR ANY STORM WATER CONVEYANCE SYSTEM CONNECTED TO ANY OF THE ABOVE WITHIN THE FOLLOWING TIME FRAME:
THE TIME AN AREA CAN REMAIN OPEN WHEN NOT ACTIVELY BEING WORKED ON:
SLOPES STEEPER THAN 3:1 - 7 DAYS
SLOPES 10:1 TO 3:1 - 14 DAYS
SLOPES FLATTER THAN 10:1 - 14 DAYS
DITCHES THAT CONNECT TO A SURFACE WATER MUST BE STABILIZED WITHIN 200- FEET FROM THE EDGE OF PROPERTY OR WITHIN 200- FEET TO ANY SURFACE WATER WITHIN 24-HOURS.
PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24-HOURS AFTER CONNECTION TO A SURFACE WATER.
SEDIMENT CONTROL MEASURES MUST BE INSTALLED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPDRAINMENT LAND DISTURBING ACTIVITIES BEGIN.

INSPECTIONS
EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 1/2 INCH OVER 24 HOURS RAIN EVENT.
STABILIZED AREAS: ONCE EVERY 30 DAYS.
FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
RECORDS: A COPY OF THE GRADING, DRAINAGE EROSION CONTROL PLAN AND WATERSHED DATA & SWPPP PLANS AS WELL AS THE INSPECTIONS/MAINTENANCE LOGS ARE TO BE KEPT EITHER IN THE FIELD OFFICE, INSPECTOR'S VEHICLE OR CONTRACTOR'S VEHICLE.

SEDIMENT AND EROSION CONTROL MAINTENANCE
PERIMETER SEDIMENT CONTROL PRACTICES: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE BMP, THE SEDIMENT MUST BE REMOVED WITHIN 24 HOURS. IF PERIMETER SEDIMENT CONTROL HAS BEEN DAMAGED OR IS NOT FUNCTIONING PROPERLY, IT MUST BE REPAIRED AND/OR REPLACED WITHIN 24 HOURS. PERIMETER BMP MEASURES MAY INCLUDE SILT FENCING.
CONSTRUCTION SITE VEHICLE EXIT LOCATIONS: ALL TRACKED SEDIMENT ONTO PAVED SURFACES MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR MORE FREQUENTLY IF REQUIRED BY CITY OR WATERSHED.
CONSTRUCTION SITE DEWATERING: SITE WATER DISCHARGE DUE TO CONSTRUCTION DEWATERING OPERATIONS SHALL BE MONITORED FOR SEDIMENTATION AND TREATED PRIOR TO DISCHARGE TO PUBLIC STORM SEWERS. TREATMENT OF DEWATERING DISCHARGE MAY BE ACCOMPLISHED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE BMP'S.

FINAL STABILIZATION
STABILIZATION BY UNIFORM PERENNIAL VEGETATIVE COVER (70% DENSITY)
DRAINAGE DITCHES STABILIZED.
ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMP'S REMOVED.
CLEAN OUT SEDIMENT FROM CONVEYANCES AND SEDIMENTATION BASINS (RETURN TO DESIGN CAPACITY).

POLLUTION PREVENTION MANAGEMENT MEASURES
SOLID WASTE DISPOSED PROPERLY; COMPLY WITH MPCA REQUIREMENTS.
HAZARDOUS WASTE STORED (SECONDARY CONTAINMENT, RESTRICTED ACCESS) AND DISPOSED IN COMPLIANCE WITH MPCA REQUIREMENTS.
EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED.
NO ENGINE DEGREASING ALLOWED ON-SITE.
CONCRETE WASHOUT ON-SITE: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. THE CONCRETE WASHOUT AREA INDICATED ON THE PLANS IS SHOWN IN AN APPROXIMATE LOCATION PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION IN ACCORDANCE WITH MPCA REQUIREMENTS.

OTHER NOTES:

1. LONG TERM MAINTENANCE OF THE SITE WILL BE PERFORMED BY THE OWNER, CPM DEVELOPMENT LLC. INCLUDED MAINTENANCE FOR STORMWATER DEVICES SHALL BE:
1.1. FOLLOW THE APPROVED MAINTENANCE SCHEDULE AND SUBMIT FORMS AS REQUIRED.
2. THIS SWPPP DOCUMENT HAS BEEN PREPARED BY BKBM ENGINEERS. A COPY OF THEIR EROSION AND SEDIMENT CONTROL PROGRAM CERTIFICATION IS AVAILABLE UPON REQUEST.
3. THIS SWPPP DOCUMENT MUST BE AMENDED AS NECESSARY DURING CONSTRUCTION IN ORDER TO KEEP IT CURRENT WITH THE POLLUTANT CONTROL MEASURES UTILIZED AS THE SITE. THE SITE MAP SHOWING LOCATIONS OF ALL STORM WATER CONTROLS MUST BE POSTED ON THE SITE AND UPDATED TO REFLECT THE PROGRESS OF CONSTRUCTION.

PROJECT NARRATIVE
EXISTING SITE DESCRIPTION --- SITE SIZE, DEVELOPMENT STATUS, EXISTING INFRASTRUCTURE, AND OTHER INFORMATION
PROPOSED SITE DESCRIPTION --- NEW IMPERVIOUS SURFACES, STORM WATER CONVEYANCES, METHODS OF TREATMENT IN GENERAL.



VICINITY MAP

LAND USE APPLICATION SUBMITTAL

Document Phase: Land Use Application
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Project Title
15th Avenue

Sheet Title
STORM WATER POLLUTION PREVENTION PLAN

Sheet Number

C500



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 Project Title
 15th Avenue

CPM DEVELOPMENT
 Sheet Title
 Site Context Plan

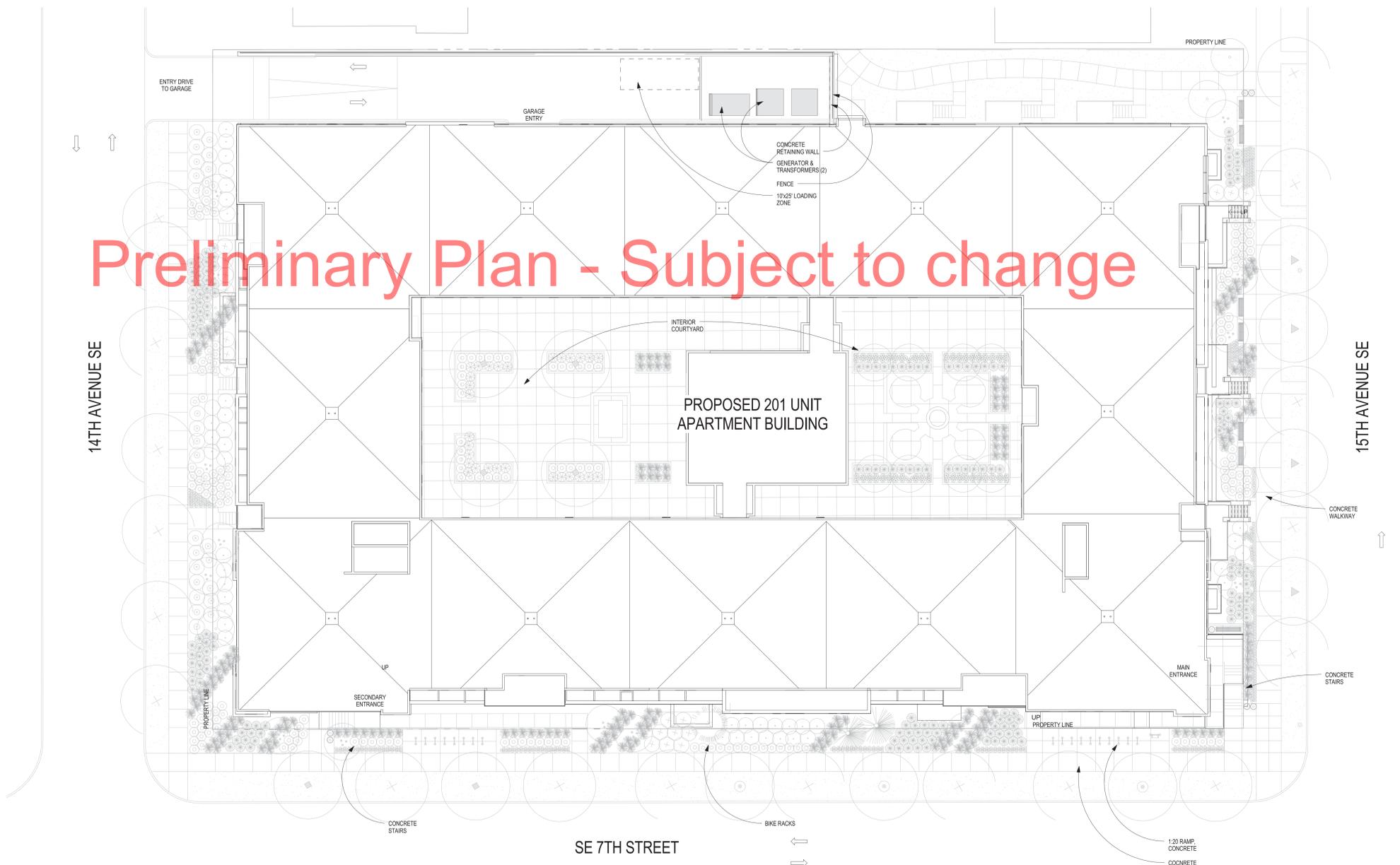
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Project Title
15th Avenue



Sheet Title
Architectural Site Plan

Sheet Number

A002

1 Architectural Site Plan
A002 1/16" = 1'-0"

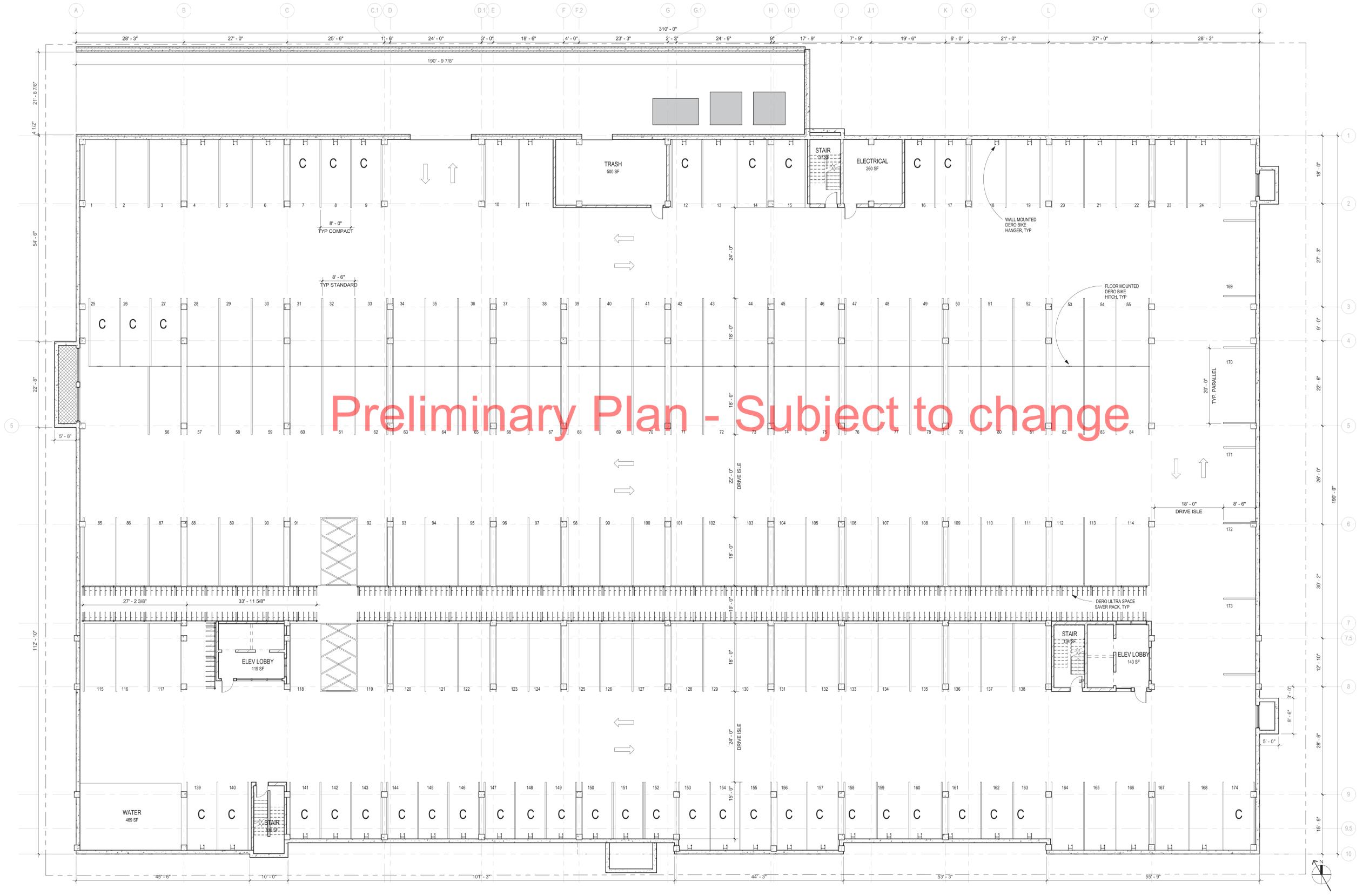


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BICYCLE PARKING COUNT	
Wall Mounted	51
Surface Mounted	62
Ultra Saver	431
Exterior	55
Total	599

PARKING COUNT	
Standard	133
Compact	37
ADA	4
Total	174



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Project Title
15th Avenue

CPM
DEVELOPMENT

Sheet Title
Sublevel Floor Plan - Composite

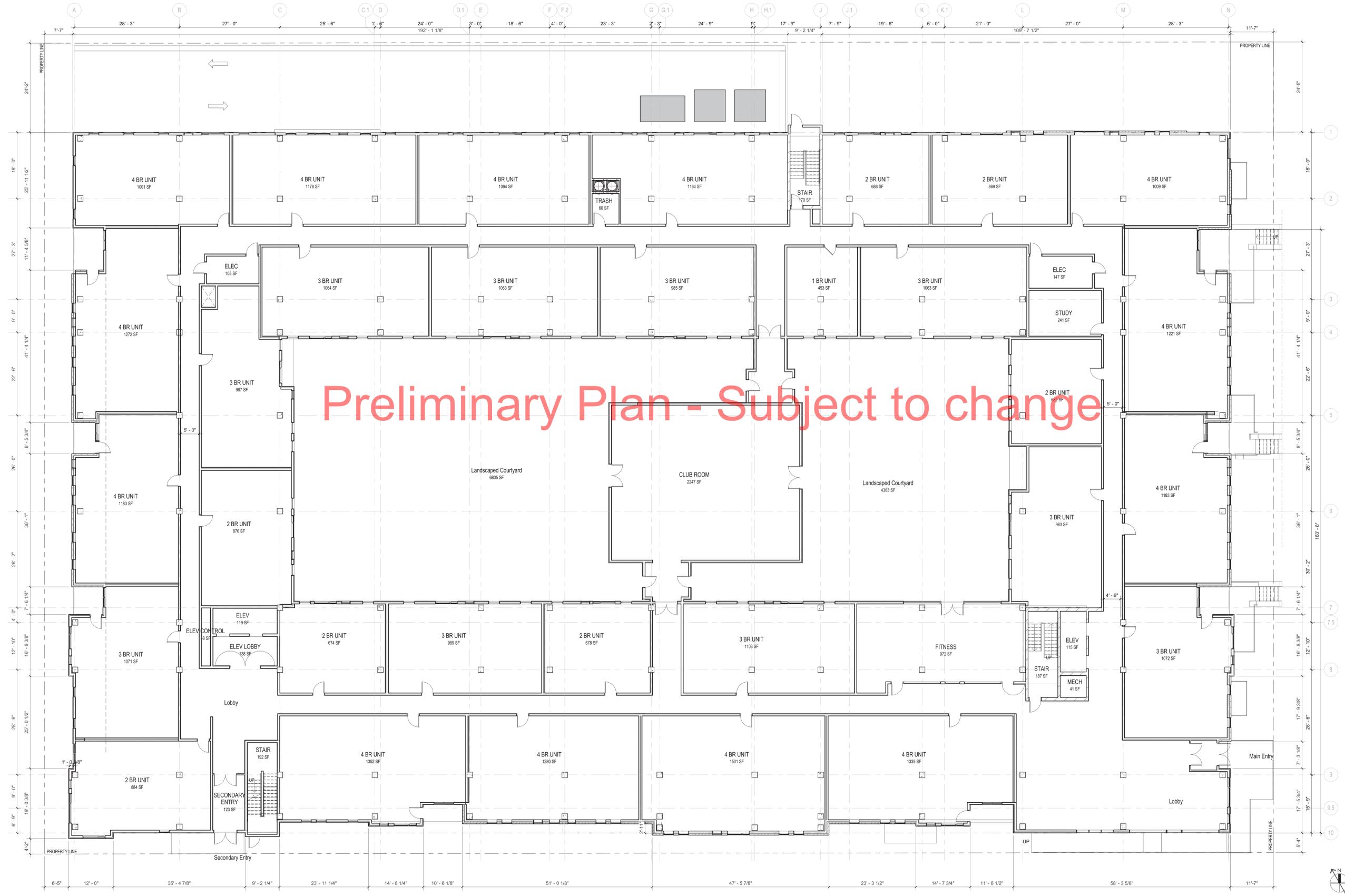
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Project Title

15th Avenue



Sheet Title
Level 1 Floor Plan - Composite

Sheet Number

A110

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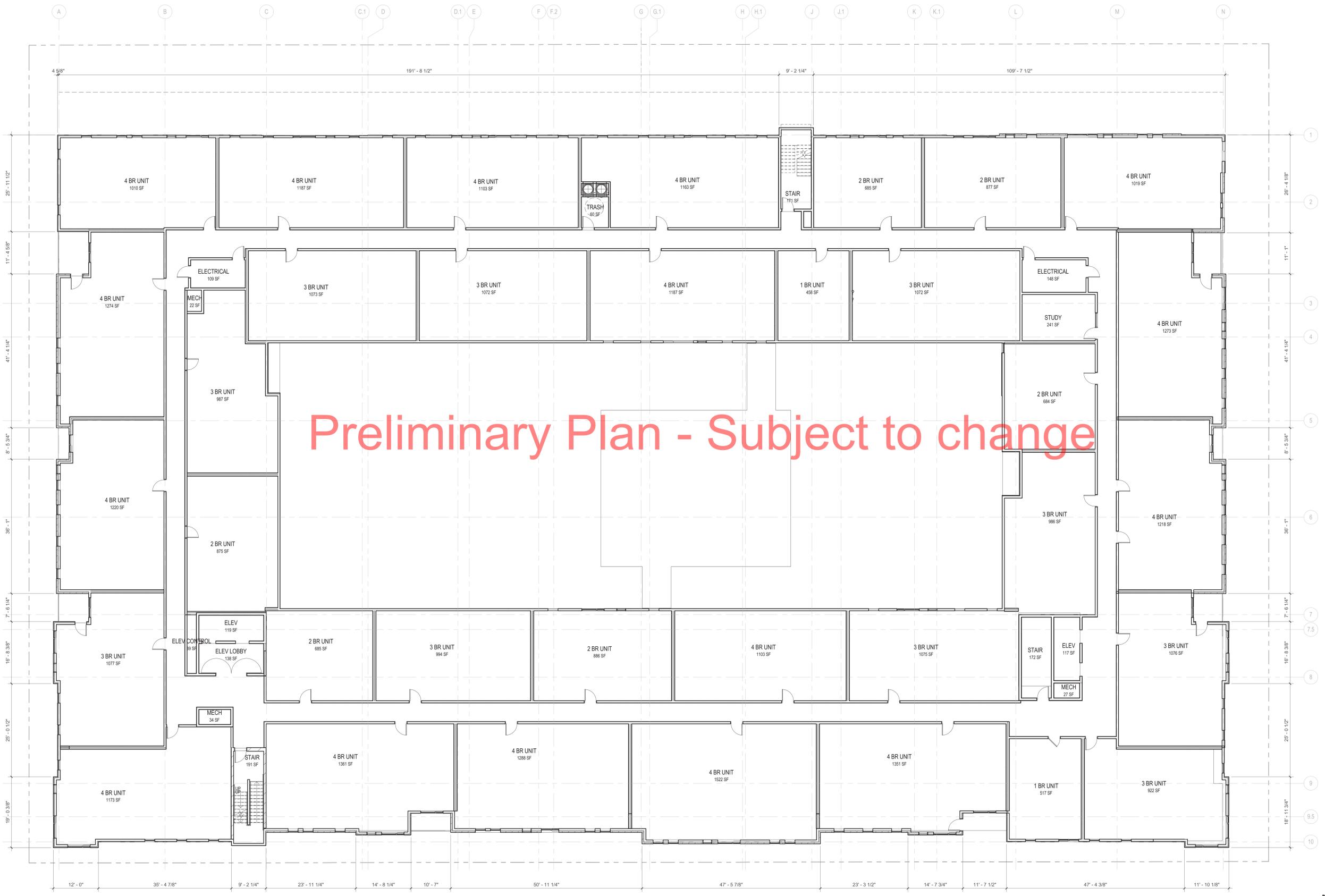
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1 Level 1 Floor Plan
A110
1" = 10'-0"



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Sheet Title: Level 2-4 Floor Plan - Composite

Sheet Number

A120

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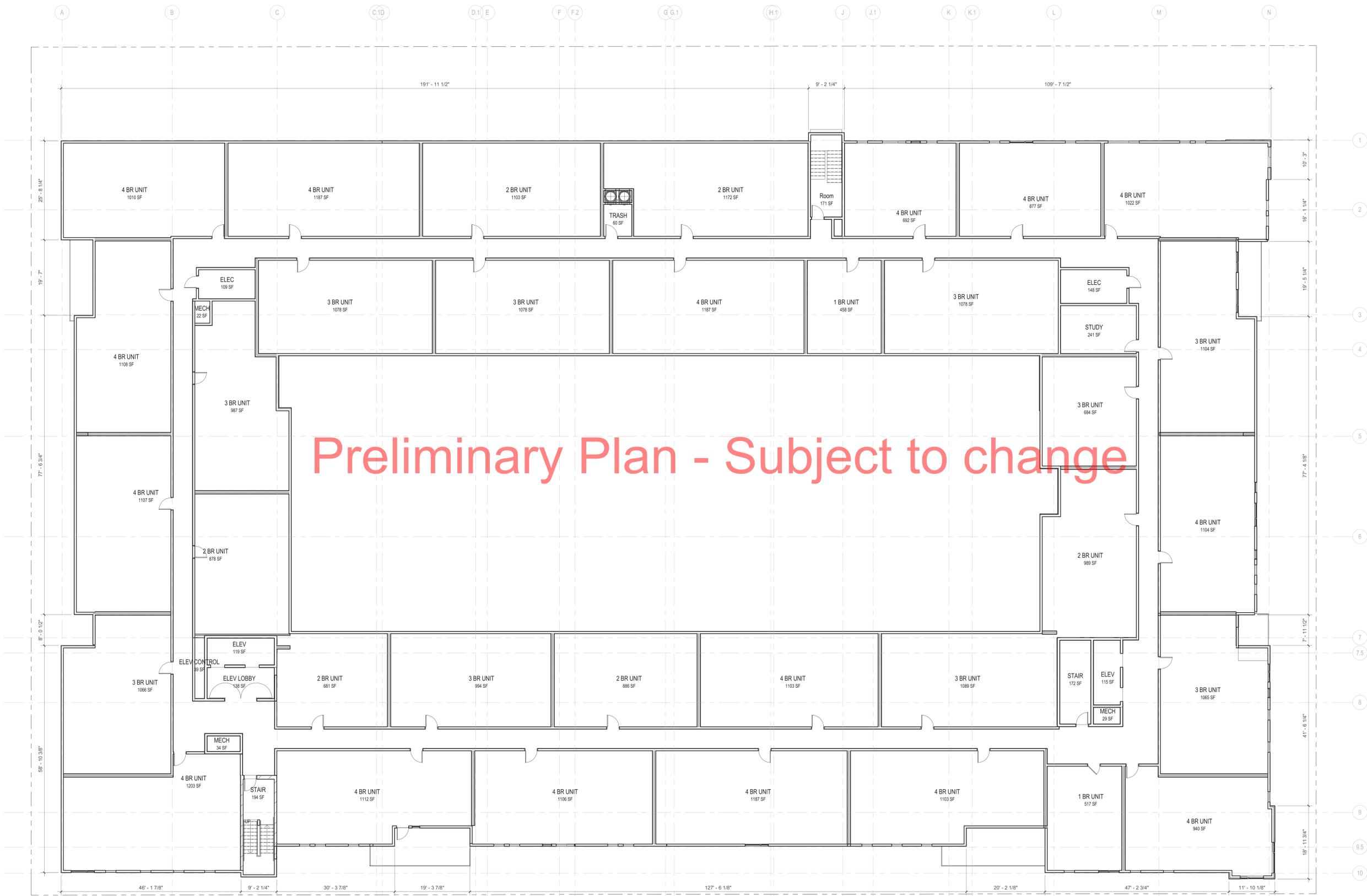
1 Level 2-4 Floor Plan 1" = 10'-0"





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Sheet Title
Levels 5-6 Floor Plan - Composite

Sheet Number

A130

160 - Level 5-6 Floor Plan Composite
1" = 10'-0"





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Project Title 15th Avenue



Sheet Title Exterior Elevations

Sheet Number

A300

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PREFINISHED METAL COPING
HARDY BOARD COLOR B
PREFINISHED METAL LAP STYLE
FIBERGLASS WINDOW SYSTEM
BRICK MASONRY
SPLIT FACE MASONRY

PREFINISHED METAL COPING
TRUSS BEARING 65'-9"
HARDY BOARD COLOR B LEVEL 6 56'-8"
FIBERGLASS WINDOW SYSTEM LEVEL 5 46'-0"
PREFINISHED METAL LAP STYLE LEVEL 4 35'-4"
BRICK MASONRY LEVEL 3 24'-8"
SPLIT FACE MASONRY LEVEL 2 14'-0"
MASONRY REVEAL LEVEL 1 0"
SUB FLOOR -11'-4"

1 NORTH EXTERIOR ELEVATION - 8TH AVENUE
A300 3/32" = 1'-0"

Preliminary Plan - Subject to change



HARDY BOARD COLOR B
PREINISHED METAL VERTICAL SEAM
PREFINISHED METAL LAP STYLE
ALUMINUM STOREFRONT SYSTEM

PREFINISHED METAL CORRUGATED
PREFINISHED METAL COPING
TRUSS BEARING 65'-9"
LEVEL 6 56'-8"
HARDY BOARD COLOR A LEVEL 5 46'-0"
FIBERGLASS WINDOW SYSTEM LEVEL 4 35'-4"
PREFINISHED METAL LAP STYLE LEVEL 3 24'-8"
BRICK MASONRY LEVEL 2 14'-0"
SPLIT FACE MASONRY LEVEL 1 0"
77'-6"

2 EAST EXTERIOR ELEVATION - 15TH AVENUE
A300 3/32" = 1'-0"

CPM\A300\13-0226_15th Avenue Business Parking Central_Sheet 15051.rvt 5/30/2013 10:36:28 AM

HARDY BOARD
COLOR A

HARDY BOARD
COLOR B

PREFINISHED METAL
VERTICAL SEAM

PREFINISHED METAL
LAP STYLE

BRICK MASONRY

SPLIT FACE MASONRY



PREFINISHED METAL COPING

PREFINISHED METAL CORRUGATED METAL TRUSS BEARING 65'-0"

HARDY BOARD COLOR B

FIBERGLASS WINDOW SYSTEM LEVEL 6 56'-8"

PREFINISHED METAL VERTICAL SEAM LEVEL 5 46'-0"

PREFINISHED METAL LAP STYLE LEVEL 4 35'-4"

PREFINISHED METAL LAP STYLE LEVEL 3 24'-8"

ALUMINUM STOREFRONT SYSTEM LEVEL 2 14'-0"

SPLIT FACE MASONRY LEVEL 1 0"

77'-0"

1 SOUTH EXTERIOR ELEVATION - 6TH STREET
A301 3/32" = 1'-0"

Preliminary Plan - Subject to change

Revisions
No. Date Description

PREFINISHED METAL COPING

PREFINISHED METAL CORRUGATED

HARDY BOARD COLOR A

HARDY BOARD COLOR B

FIBERGLASS WINDOW SYSTEM

PREFINISHED METAL VERTICAL SEAM

PREFINISHED METAL LAP STYLE

BRICK MASONRY

MASONRY REVEAL

SPLIT FACE MASONRY



PREFINISHED METAL COPING TRUSS BEARING 65'-0"

FIBERGLASS WINDOW SYSTEM LEVEL 6 56'-8"

HARDY BOARD COLOR B LEVEL 5 46'-0"

PREFINISHED METAL VERTICAL SEAM LEVEL 4 35'-4"

PREFINISHED METAL LAP STYLE LEVEL 3 24'-8"

LEVEL 2 14'-0"

LEVEL 1 0"

77'-0"

LAND USE APPLICATION
5/30/2013

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Sheet Number

A301

2 WEST EXTERIOR ELEVATION - 15TH AVENUE
A301 3/32" = 1'-0"



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CPM DEVELOPMENT

Sheet Title
Exterior Elevations

Sheet Number

A300

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- PREFINISHED METAL COPING
- HARDY BOARD COLOR B
- PREFINISHED METAL LAP STYLE
- FIBERGLASS WINDOW SYSTEM
- BRICK MASONRY
- SPLIT FACE MASONRY

- PREFINISHED METAL COPING
- TRUSS BEARING 65'-9"
- HARDY BOARD COLOR B LEVEL 6 56'-8"
- FIBERGLASS WINDOW SYSTEM LEVEL 5 46'-0"
- PREFINISHED METAL LAP STYLE LEVEL 4 35'-4"
- BRICK MASONRY LEVEL 3 24'-8"
- SPLIT FACE MASONRY LEVEL 2 14'-0"
- MASONRY REVEAL LEVEL 1 0"
- SUB FLOOR -11'-4"

1 NORTH EXTERIOR ELEVATION - 8TH AVENUE
A300 3/32" = 1'-0"

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- HARDY BOARD COLOR B
- PREFINISHED METAL VERTICAL SEAM
- PREFINISHED METAL LAP STYLE
- ALUMINUM STOREFRONT SYSTEM

- PREFINISHED METAL CORRUGATED
- PREFINISHED METAL COPING
- TRUSS BEARING 65'-9"
- LEVEL 6 56'-8"
- HARDY BOARD COLOR A LEVEL 5 46'-0"
- FIBERGLASS WINDOW SYSTEM LEVEL 4 35'-4"
- PREFINISHED METAL LAP STYLE LEVEL 3 24'-8"
- BRICK MASONRY LEVEL 2 14'-0"
- SPLIT FACE MASONRY LEVEL 1 0"

2 EAST EXTERIOR ELEVATION - 15TH AVENUE
A300 3/32" = 1'-0"

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HARDY BOARD
COLOR A

HARDY BOARD
COLOR B

PREFINISHED METAL
VERTICAL SEAM

PREFINISHED METAL
LAP STYLE

BRICK MASONRY

SPLIT FACE MASONRY



PREFINISHED
METAL COPING

PREFINISHED METAL
CORRUGATED METAL TRUSS BEARING 65'-0"

HARDY BOARD
COLOR B

FIBERGLASS WINDOW
SYSTEM LEVEL 6 56'-8"

PREFINISHED METAL
VERTICAL SEAM LEVEL 5 46'-0"

PREFINISHED METAL
LAP STYLE LEVEL 4 35'-4"

PREFINISHED METAL
LAP STYLE LEVEL 3 24'-8"

ALUMINUM
STOREFRONT SYSTEM LEVEL 2 14'-0"

SPLIT FACE MASONRY LEVEL 1 0"

77'-0"

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1 SOUTH EXTERIOR ELEVATION - 7TH STREET
A301 3/22' = 1'-0"

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Revisions	No.	Date	Description

PREFINISHED
METAL COPING

PREFINISHED METAL
CORRUGATED

HARDY BOARD
COLOR A

HARDY BOARD
COLOR B

FIBERGLASS
WINDOW SYSTEM

PREFINISHED METAL
VERTICAL SEAM

PREFINISHED METAL
LAP STYLE

BRICK
MASONRY

MASONRY
REVEAL

SPLIT FACE
MASONRY



PREFINISHED
METAL COPING TRUSS BEARING 65'-0"

FIBERGLASS
WINDOW SYSTEM LEVEL 6 56'-8"

HARDY BOARD
COLOR B LEVEL 5 46'-0"

PREFINISHED METAL
VERTICAL SEAM LEVEL 4 35'-4"

PREFINISHED METAL
LAP STYLE LEVEL 3 24'-8"

LEVEL 2 14'-0"

LEVEL 1 0"

77'-0"

**LAND USE
APPLICATION
5/30/2013**

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Sheet Title
Exterior Elevations

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A301

2 WEST EXTERIOR ELEVATION - 14TH AVENUE
A301 3/22' = 1'-0"