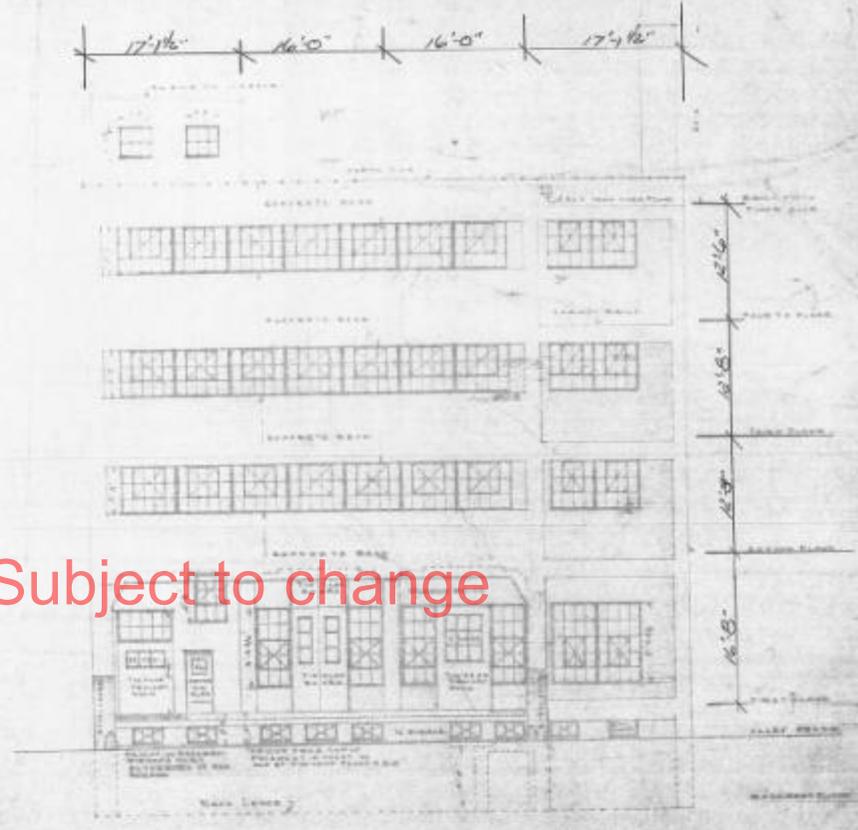


Preliminary Plan - Subject to change



CROSS-SECTION ON LINE A-A.
SEE FIRST FLOOR PLAN, SHEET NO. 7.



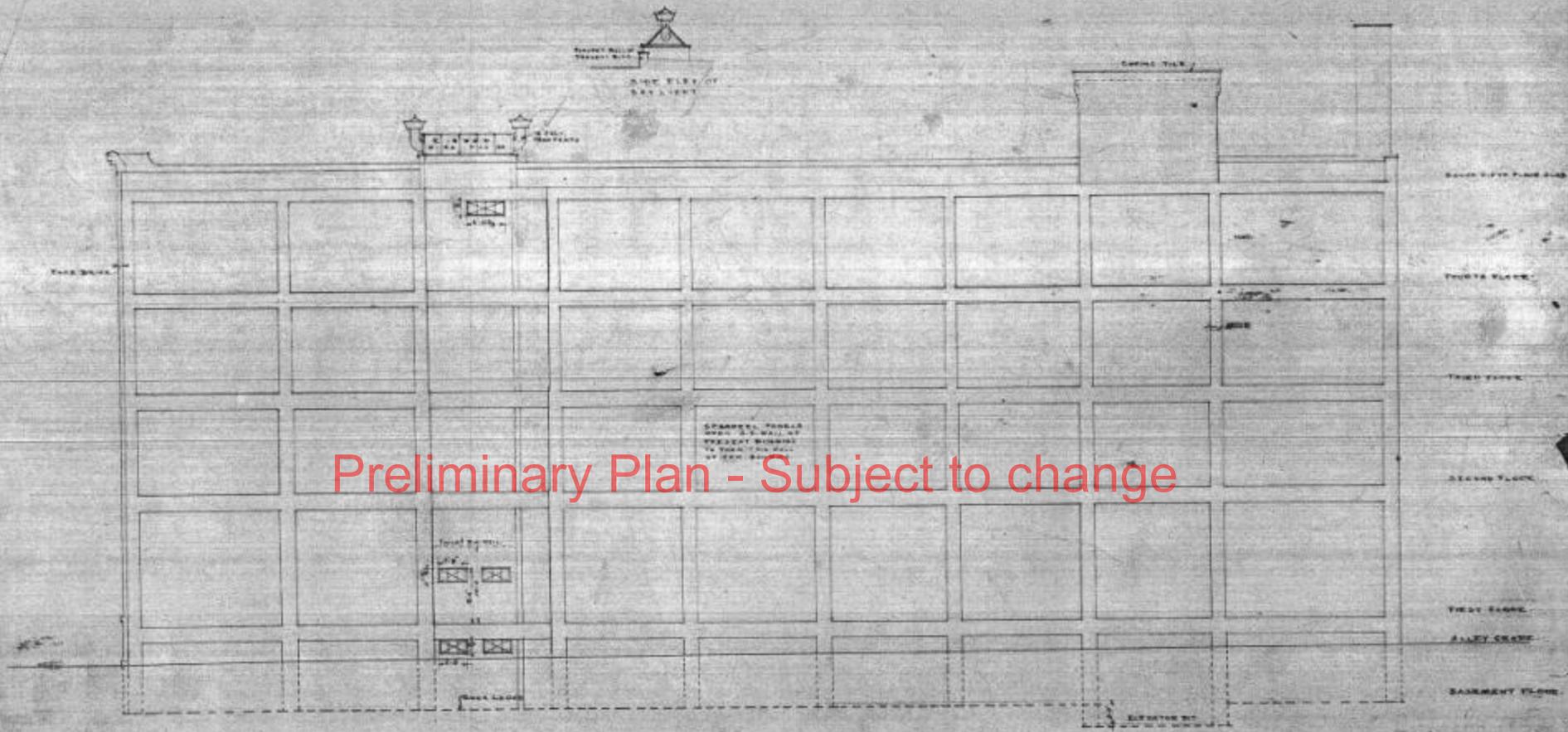
REAR ELEVATION

SCALE 1/4" = 1'-0"

NOTED: ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS TO BE USED IN THIS PROJECT.
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STEWART SCHMIDT & CO.
 ARCHITECTS
 CHICAGO, ILL.

Preliminary Plan - Subject to change



Preliminary Plan - Subject to change

RIGHT SIDE ELEVATION.
SCALE 1/4" = 1'-0"

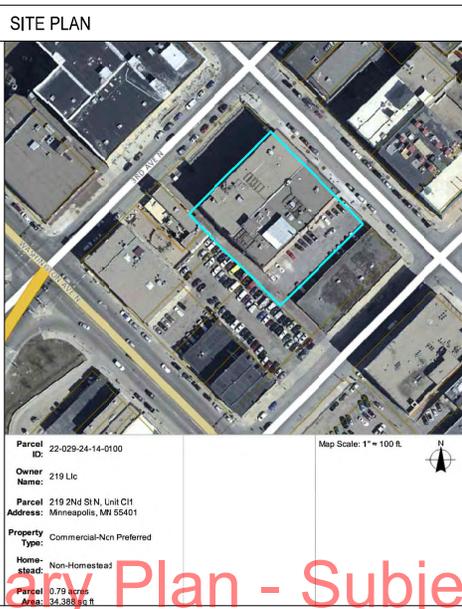
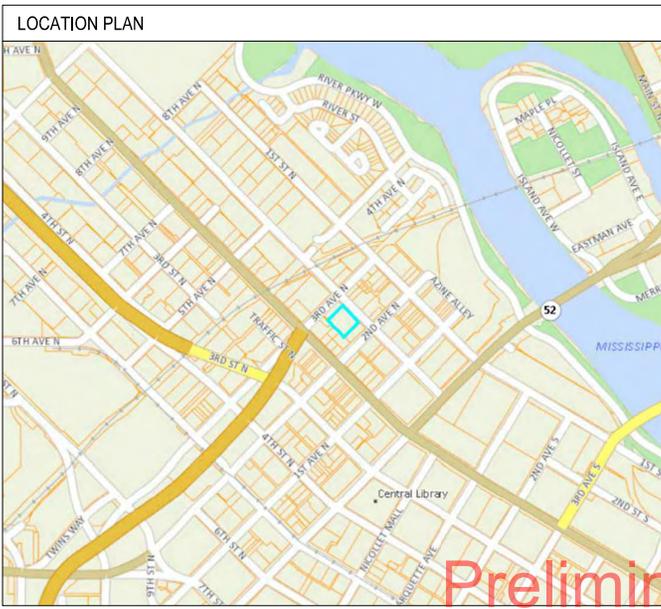
THE NORTHWESTERN BUILDING - 219 NORTH SECOND STREET, MINNEAPOLIS, MN

PROJECT DESCRIPTION: PROJECT INCLUDES CORE AND SHELL REDEVELOPMENT OF BUILDING INTO COMMERCIAL OFFICE SPACE. WORK INCLUDES NEW EXTERIOR WINDOWS ON THE NON-CONTRIBUTING ELEVATIONS, NEW CORE, LOBBIES AND RESTROOMS ON 4 FLOORS, AND OTHER LIFE-SAFETY SYSTEMS.

AWH
 Alex Hoeker, AIA
 1525 Cedar Ave S
 Minneapolis, MN 55419
 awh@awhinc.com
 awhr.no 612-558-6183

ACKERBERG
 Kevin Kapp
 The Ackerberg Group
 P 612-924-8500
 C 612-270-7148
 kevin@ackerberg.com

PROJECT DEVELOPER
 PROJECT:
 NORTHWESTERN BUILDING
 219 2nd Street N
 Minneapolis, MN 55401



SHEET INDEX

- A000 COVER SHEET
- A001 CODE PLAN (NOT INCLUDED)
- D100 DEMOLITION PLANS
- D200 DEMOLITION ELEVATIONS
- A101 FIRST FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A103 THIRD FLOOR PLAN
- A104 FOURTH FLOOR PLAN
- A200 ELEVATIONS
- A201 ELEVATIONS
- A600 WINDOW TYPES

Preliminary Plan - Subject to change

PROJECT DIRECTORY
OWNER
219 LLC
DEVELOPER
Ackerberg Group
PROJECT ARCHITECT
AWH Architects, LLC
STRUCTURAL ENGINEER
MBJ Engineers
MECHANICAL, ELECTRICAL & PLUMBING
TBD
GENERAL CONTRACTOR
TBD
MEP TO BE D.B. SUBMIT UNDER SEPARATE COVER FIRE SUPPRESSION TO BE D.B. SUBMIT UNDER SEPARATE COVER

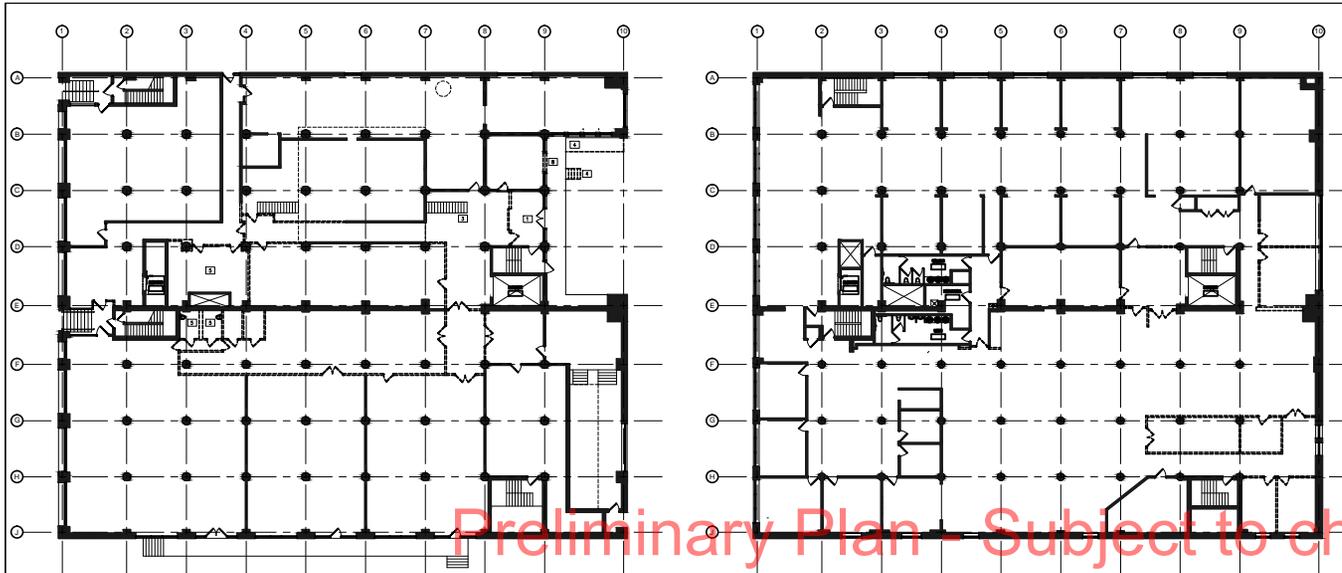
ABBREVIATIONS			
ABV	ABOVE	FIXT	FIXTURE
ACT	ACOUSTICAL CEILING TILE	FLR	FLOOR
AFF	ABOVE FINISHED FLOOR	GC	GENERAL CONTRACTOR
ALT	ALTERNATE	GWB	GYPSUM WALL BOARD
APPROX	APPROXIMATELY	HT	HEIGHT
AV	AUDIO VISUAL	INSUL	INSULATION
AVG	AVERAGE	LAM	LAMINATE
AWT	ACOUSTICAL WALL TREATMENT	LF	LINEAR FOOT
BLK	BLACK	LIN	LINEAR
BP	BACK PAINTED	LTG	LIGHTING
CAB	CABINET	MATL	MATERIAL
CLNG	CEILING	MAX	MAXIMUM
CMU	CONCRETE MASONRY UNIT	MEL	MELAMINE
CONF	CONFERENCE	MDF	MEDIUM DENSITY FIBERBOARD
CONT	CONTINUE (OUS) (ATION)	MECH	MECHANICAL
CPT	CARPET	MIN	MINIMUM
CW	CURTAIN WALL	OC	ON CENTER
DEG	DEGREE	OH	OVERHEAD
DF	DRINKING FOUNTAIN	PLAM	PLASTIC LAMINATE
DTL	DETAIL	PNL	PANEL
DW	DISHWASHER	PREFAB	PREFABRICATED
DWG	DRAWING	QTY	QUANTITY
EQ	EQUAL	RCP	REFLECTED CEILING PLAN
EXG	EXISTING	REF	REFRIGERATOR
FF	FINISHED FACE, FACE OF WALL	REF	REFERENCE
FIN	FINISH	REQD	REQUIRED
RO	ROUGH OPENING		
SBM	SIMILAR		
SPEC	SPECIFICATIONS		
STK	SMALL TIGHT KNOT		
STOR	STORAGE		
TBD	TO BE DETERMINED		
TEMP	TEMPORARY		
TOP	TOP OF BEAM		
TOC	TOP OF CONCRETE		
TOD	TOP OF DECK		
TOS	TOP OF SLAB		
TOFW	TOP OF WALL		
VAR	VARIES		
VERT	VERTICAL		

COVER SHEET

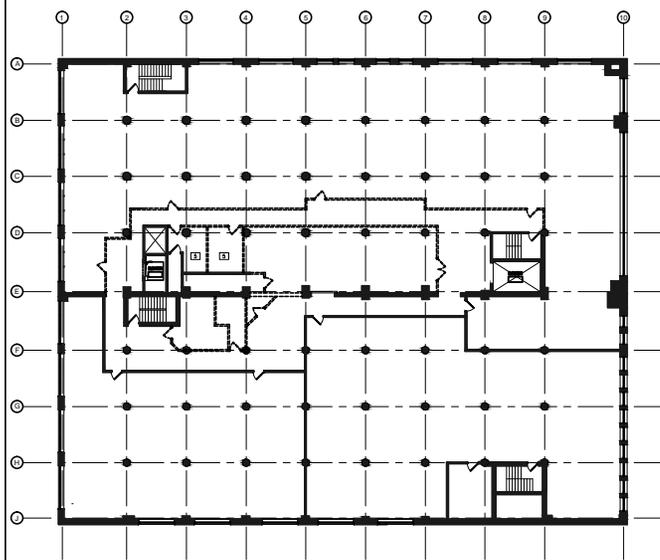
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Name: Alex Hoeker, AIA, NCARB
 Signature: _____
 License #: 48155
 Date: _____

A000



1 FIRST FLOOR DEMOLITION PLAN
DWG: WF-100



2 SECOND FLOOR DEMOLITION PLAN
DWG: WF-100

3 THIRD FLOOR DEMOLITION PLAN
DWG: WF-100

4 FOURTH FLOOR DEMOLITION PLAN
DWG: WF-100

DEMOLITION KEY	
DESCRIPTION	
	DEMOLISH WALL AND ASSOCIATED COMPONENTS
	REMOVE DOOR AND ASSOCIATED COMPONENTS
	EXG WALL - VERIFY AT ALL CORRIDORS TO MAINTAIN 1HR RATING
	EXG DOOR - VERIFY 1 HR RATING AT ALL CORRIDOR CONDITIONS

GENERAL DEMOLITION NOTES:

SCOPE OF WORK ONLY INCLUDES CORE AND SHELL REDEVELOPMENT. EXISTING TENANT SPACES TO REMAIN AS SHOWN. COORDINATE NEW WORK WITH DEVELOPER AND TENANT ARCHITECTS FOR WORK ASSOCIATED WITH NEW OR EXISTING TENANT FIT OUT SCOPE.

CONSULT ARCHITECT FOR CLARIFICATION OF INTENT IF UNCLEAR AND IF SPECIAL CONDITIONS ARE ENCOUNTERED.

SEE NEW ELEVATIONS TO VERIFY SCOPE OF WINDOW AND MASONRY REMOVAL.

PATCH AND REPAIR FLOOR TO BE LEVEL WITH EXISTING FLOOR. PREPARE FLOOR FOR NEW FLOOR FINISH. SEE FINISH PLANS.

REMOVE PAINT AND POWER WASH WALLS, COLUMNS AND CEILING.

SECURE AND FASTEN ALL LOOSE DEBRIS IN EXISTING WALLS AND COLUMNS TO REMAIN; SUCH AS NAILS, BOLTS, ETC.

PROTECT DAMAGED AREA OF EXISTING WALL DURING POWER WASHING.

REMOVE ALL LOOSE MORTAR, BRICKS, CMU, STEEL AND ASSOCIATED COMPONENTS FROM WALLS TO REMAIN.

SALVAGE ALL BRICK REMOVED FROM WINDOW AND OTHER OPENINGS DURING DEMOLITION FOR USE IN FUTURE WALL INFILL. APPLIES TO INTERIOR AND EXTERIOR WALLS.

PROTECT MATERIALS TO REMAIN; REPAIR DAMAGE TO BUILDING TO REMAIN.

COORDINATE DEMOLITION WITH REHAB AND NEW CONSTRUCTION.

PATCH NEW ROOF PENETRATIONS TO EXISTING ROOF SYSTEM(S). COORDINATE W/ ROOFING CONTRACTOR TO MAINTAIN CURRENT WARRANTIES IF APPLICABLE.

AT ALL EXISTING EXTERIOR WALLS SCHEDULED TO REMAIN, REMOVE EXISTING CLAY TILE / CMU:
 A. AS REQUIRED TO REFRAME FOR WINDOW INSTALLATION
 B. WHERE DETERIORATED

DEMOLISH WALLS AS INDICATED; PROTECT WALLS/COLUMNS TO REMAIN. REPAIR AS REQUIRED. CONSULT ARCHITECT.

DEMOLITION KEYNOTES:

- 1 SECURE IN PLACE AS SHOWN ON A101 EXISTING HISTORIC DOOR AND FRAME. PREPARE FOR NEW CODE COMPLAINT DOOR.
- 2 EXISTING HISTORIC TO REMAIN; REFURBISH AS REQUIRED. CONSULT ARCHITECT.
- 3 NON-HISTORIC MEZZANINE STAIR TO BE MOVED BY TENANT.
- 4 REMOVE RAMP AND STAIR AND ASSOCIATED COMPONENTS.
- 5 REMOVE RESTROOM FIXTURES AND ASSOCIATED COMPONENTS.
- 6 RESTORE HISTORIC STEEL WINDOW IN STAIRWELL
- 7 PREP EXISTING OPENING FOR NEW WALL INFILL WITH WALL TYPE SHOWN.
- 8 REMOVE EXISTING NON-HISTORIC INFILL. PREPARE OPENING FOR NEW STOREFRONT.



PROJECT DEVELOPER
 NORTHWESTERN BUILDING
 213 2nd Street N
 Minneapolis, MN 55401

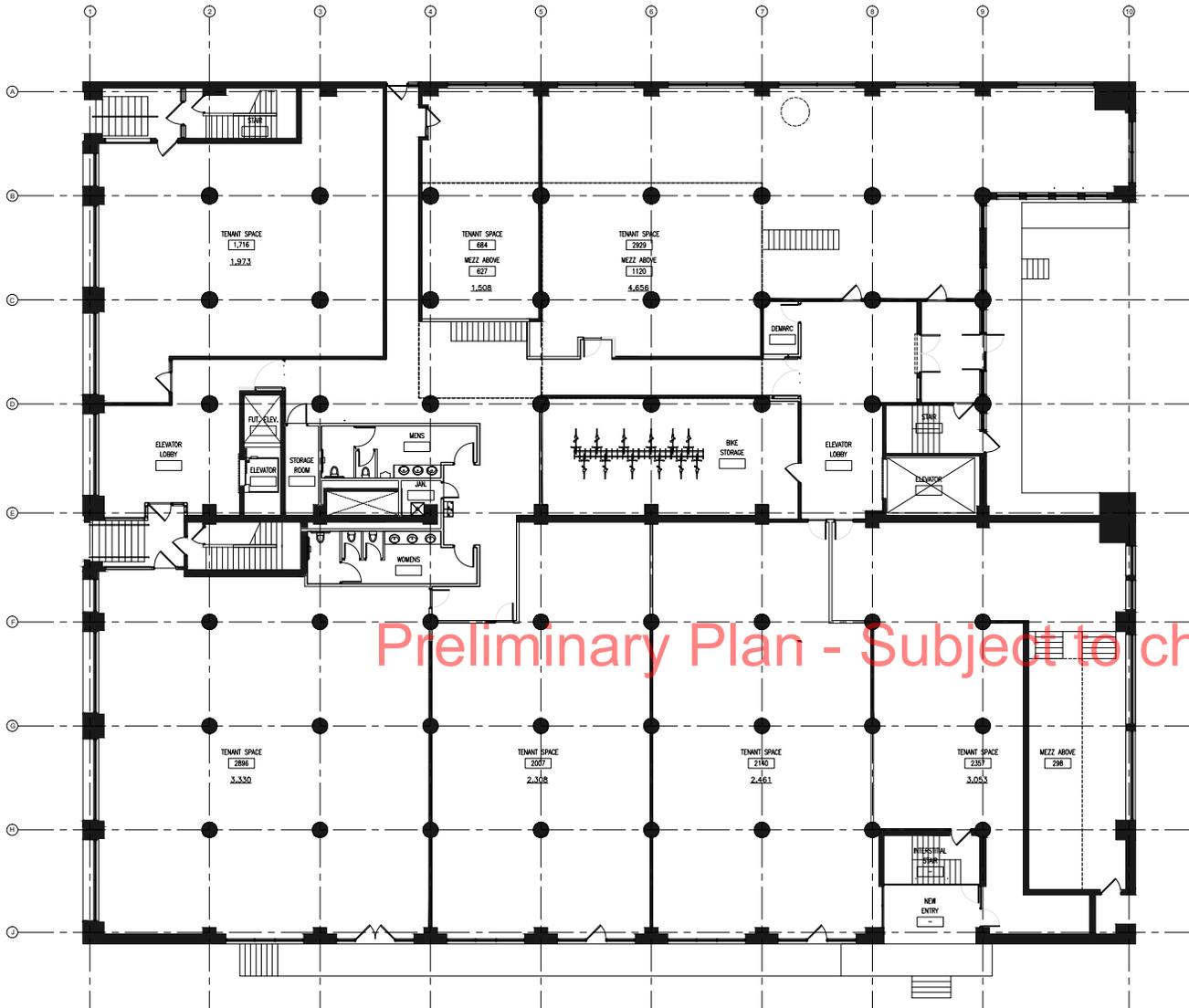
DEMOLITION PLANS

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Name: Alex Hammer, AIA, NCASB
 Signature: _____

Location #: 48554
 Date: _____

D100



1
XX
FIRST FLOOR PLAN
WF - 101

AWH
Alex Hooper, AIA
1020 Cedar Ave S
Minneapolis, MN 55419
ah@awhinc.net
awhinc.net 612-558-6183

THE ADLERBERG GROUP
Kevin Koppa
The Adlerberg Group
P.O. Box 850
C. 612-750-7446
kav@adlerberg.com

PROJECT DEVELOPER
PROJECT:
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Minneapolis, MN 55401

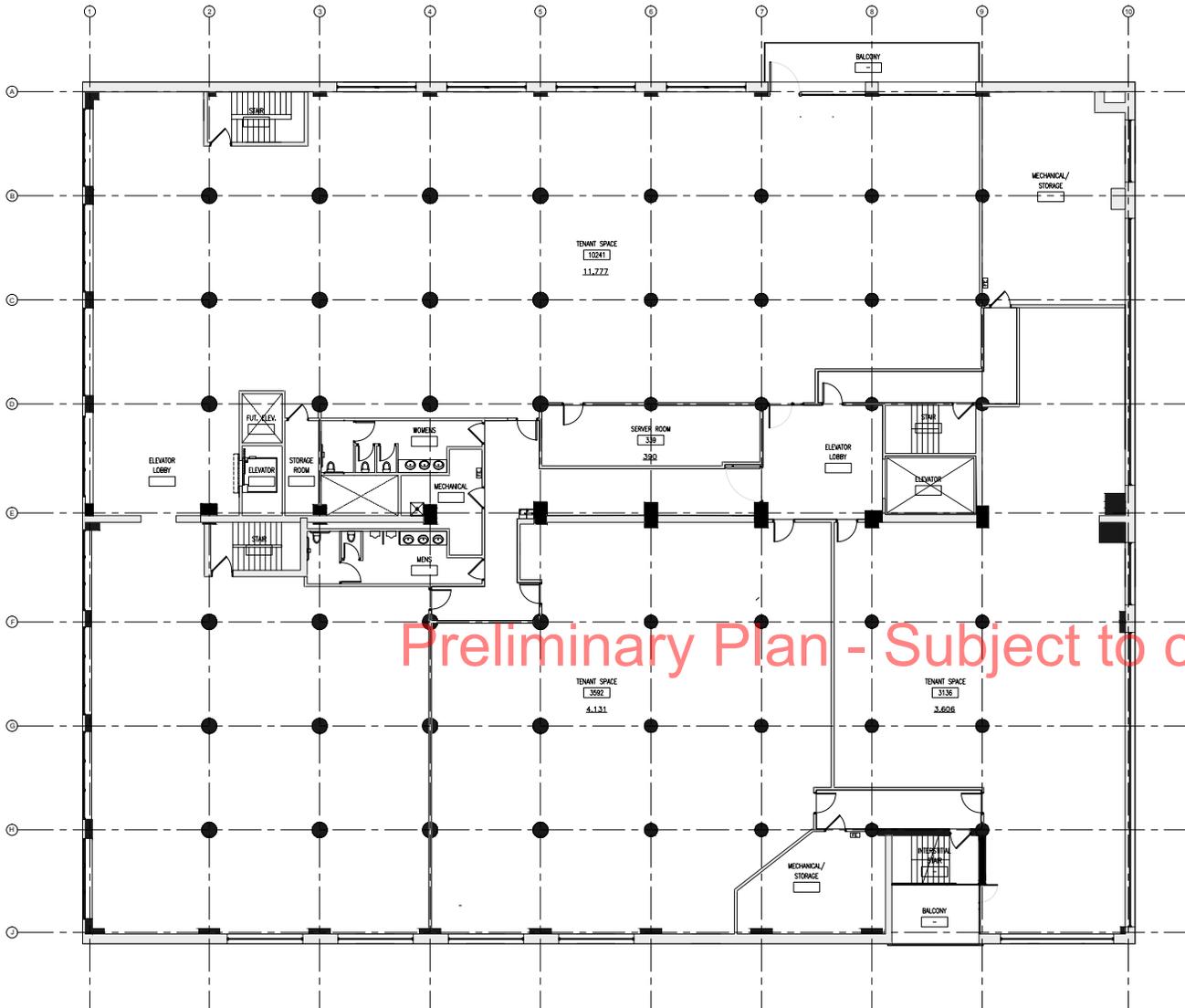
FIRST FLOOR PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Name:
Alex Hooper, AIA, NCARB
Signature:

License #: 48703
Date:

A101



Preliminary Plan - Subject to change

1 SECOND FLOOR PLAN
WF - 102

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 Alex Haecker, AIA
 1020 Cedar Ave S
 Minneapolis, MN 55419
 alex@awhinc.net
 awhinc.net 612-558-6183

ARCHITECT

THE ADLERBERG GROUP
 Kevin Koppa
 The Adlerberg Group
 P.O. Box 8500
 St. Paul, MN 55117
 kevin@adlerberg.com

PROJECT DEVELOPER

PROJECT:
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 215 Oak Street
 Minneapolis, MN 55401

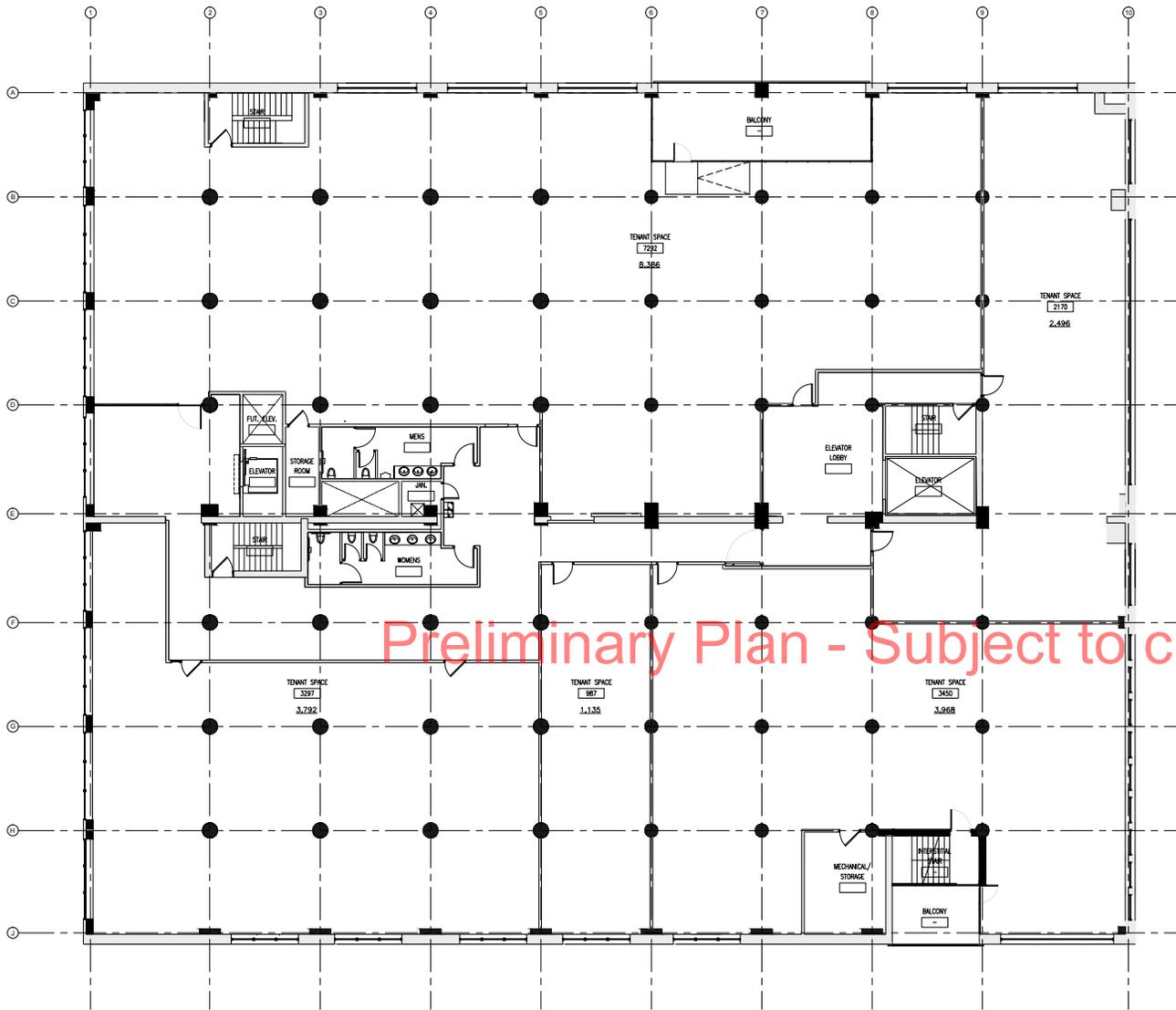
SECOND FLOOR PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Name: Alex Haecker, AIA, NCARB
 Signature:

License #:	45105
Date:	
Scale:	
Sheet No.:	102-1
Total Sheets:	1

A102



Preliminary Plan - Subject to change

1 THIRD FLOOR PLAN
 W-100



Alan Hacker, AIA
 1020 Colfax Ave. S.
 Minneapolis, MN 55419
 awh@aahrc.net
 awhrc.net 612-558-6183



Kevin Kopp
 The Adelberg Group
 P. 612-924-8500
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 kevink@adelberg.com

PROJECT DEVELOPER

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 215 2nd Street N
 Minneapolis, MN 55401

THIRD FLOOR PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Name:
 Alan Hacker, AIA, NCARB
 Signature:

License #: 48155

Date:

Scale	As Shown
North Arrow	As Shown

A103



GENERAL ELEVATION NOTES:

1. VERIFY ALL OPENINGS IN FIELD
2. REFER TO WINDOW TYPES AND DETAILS FOR WINDOWS AND ASSOCIATED MASONRY OPENINGS.

ELEVATION KEYNOTES:

- 1 ALL WINDOWS THIS ELEVATION TO REMAIN AND NO WORK.
- 2 EXISTING CONCRETE TO REMAIN, REPAIR SPALDING, CRACKS AS NECESSARY. PREP FOR NEW FINISH.
- 3 EXISTING OVERHEAD DOOR TO REMAIN.
- 4 5 TOTAL E3 STEEL WINDOWS TO BE REFURBISHED. SEE PLAN.
- 5 EXISTING CANOPY, DOOR AND STOREFRONT WINDOWS TO REMAIN.
- 6 POST-LESS 3/4" THICK TEMPERED GLASS RAILING SYSTEM, BUTT JOINED.
- 7 FRAMELESS, BUTT GLAZED INSULATED ENGINEERED GLASS WALL SYSTEM.
- 8 1" LOW-E CLEAR GLASS WINDOW WALL SYSTEM WITH NARROW STILE FRAME, BLACK.
- 9 EXTEND LOADING DOCK AS SHOWN AND PROVIDE NEW STEEL STAIR AND RAILING SYSTEM.
- 10 EXISTING MECHANICAL LOUVERS TO REMAIN. PAINT BLACK.
- 11 EXISTING STOREFRONT AND CANOPY SYSTEM TO REMAIN.
- 12 EXISTING LOADING DOCK AND RAILING SYSTEM TO REMAIN.

Preliminary Plan - Subject to change

ELEVATIONS

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Name: Alan Haacker, AIA, #CA39
Signature: _____

License #: 68154
Date: _____

A200



Rhino Series

COMMERCIAL ALUMINUM WINDOWS

FIXED WINDOWS | CW-35/45 LC-40/50

58F SERIES

Preliminary Plan - Subject to change




GerkinTM
WINDOWS & DOORS



A



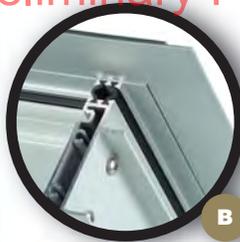
Quality since 1932

Our primary focus has been to manufacture energy saving window and door products. Throughout our history we have established ourselves as an innovator in the design and manufacturing capability of insulated windows and doors.

Stringent product testing and innovative design has allowed our products to evolve as market and consumer needs change. In the winter of 1989-90 we started to conceptualize and design our Rhino Commercial Aluminum window and door series. Today we have several commercial window styles in the Rhino line. This window and door series consists of a commercial horizontal slider, casement, single hung, double hung, hopper, awning, fixed and patio door. Each Rhino window reflects the design and manufacturing expertise we've implemented over the years. We also publish our AAMA test results to back up our claims of product performance and quality.

Preliminary Plan - Subject to change

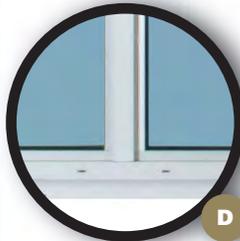
CW-35/45 FEATURES



B



C



D



E



F

- A** AAMA CW35/CW45-LC40/LC50 fixed window
- B** 4 5/16" frame depth with a thermal bar thermal break. This thermal break system helps this window achieve u-values as low as .30 (3/16" or 1/4" glazing required).
- C** Double wall mainframe - This feature gives our window more structure and stability than our single wall window and storefront competitors.
- D** The dual wall allows us to build in an internal water drainage system. This system will prevent water from seeping into the building wall, unlike storefront which must use sill flashing with end dams.
- E** Equal sight lines - When horizontal and vertical rails intersect, the sight lines will remain equal in windows up to 99" tall. Even when windows are field mullied, the field mull will look like a factory mull.
- F** Interior or exterior glazed - This option allows the window to be ordered as interior or exterior glazing. The standard glazing is to the interior.



58F SERIES COMMERCIAL FIXED WINDOWS

Gerkin Windows & Doors model 58F fixed window offers a new dimension to the commercial field. This window can be used in storefront type applications and will offer much larger size options than ever offered by Gerkin.

The 58F fixed window has a frame depth of 4 5/16" and can be used as a compliment to our Rhino double hung window for transoms or XO configurations.

This window was tested as a 15'0" x 8'3" three lite window (60 x 99 each lite) and a 96 x 120 (48 x 120) two lite window! With windows this large, we can offer a better option to the commercial market than storefront windows. Unlike storefront windows, the 58F is built in our climate controlled plant and fully glazed. Our workmanship, attention to detail and quality control are far superior to on site storefront construction.

One of the main features of the 58F is our thermal bar thermal break system. While storefront systems typically offer poor thermal performance, Gerkin's thermal bar is a revolutionary thermal break, which achieves superior thermal performance. In fact we have achieved an NFRC certified u-value of up to .30 with double glaze LoE³ glass! (3/16" or 1/4" glazing required)

The 58F fixed has been designed to offer true water tightness. Our double wall mainframe has an internal drain system which ensures that water will never penetrate into the building wall. Unlike Storefront systems which have single walls and require sill pans with end dams to control the water, the Gerkin 58F has a built in water management system.

Another large advantage to using the 58F over storefront is the nail fin option. Nail fins are the perfect application for installing into a wood framed structure. The nail fin offers a great anchoring device and gives a water tight flashing. Storefront systems don't offer a system for wood framed buildings.

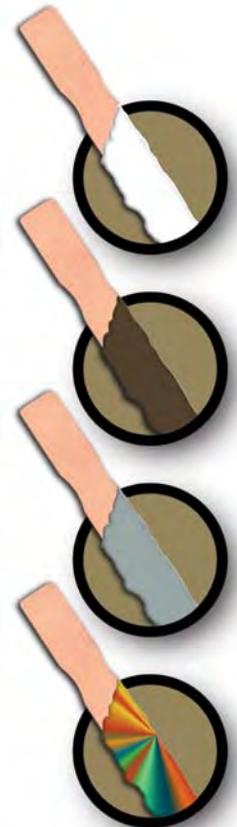
Our versatile 58F fixed will offer Gerkin customers even more project opportunities than ever before. For quote requests, please contact our estimating department.

ONLINE INFORMATION

Our website at www.gerkin.com offers AutoCAD details of window drawings and written specifications for architectural use. The Gerkin estimating department offers quoting and shop drawing services. Distributor catalogs are also available for over the counter quoting and architectural detail referral.

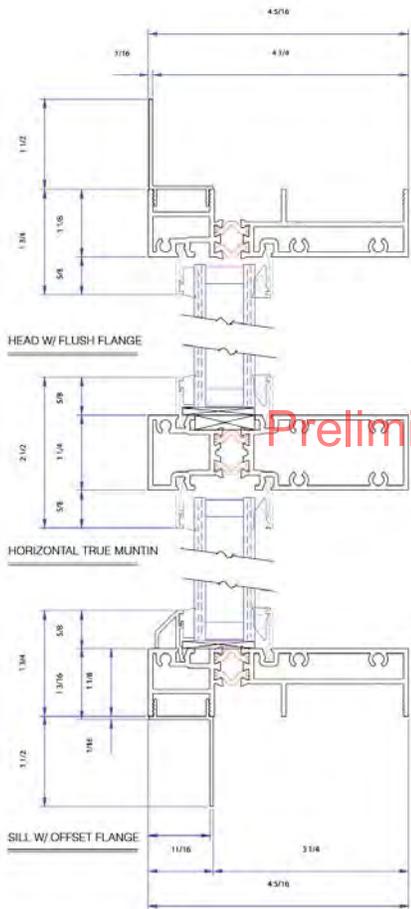
COLORS

Standard colors are baked enamel white, bronze anodized and clear anodized. Custom colors are available.



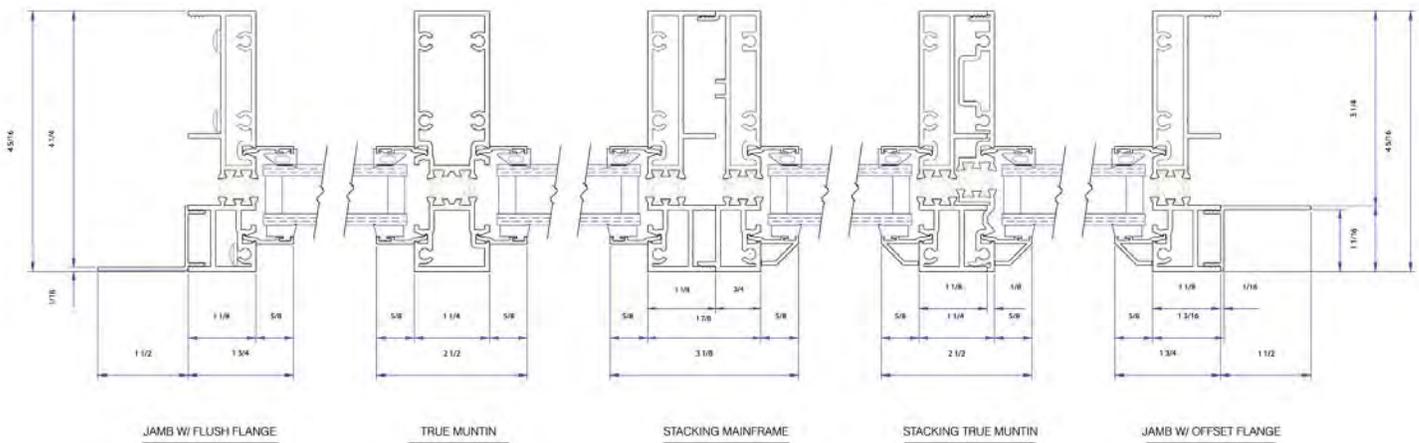
58F SERIES

CW-35/45 HORIZONTAL & VERTICAL DETAILS



Preliminary Plan - Subject to change

CW-35/45 Commercial Fixed Windows



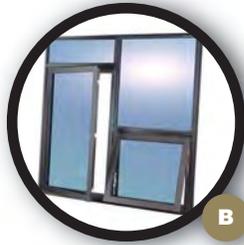


Rhino Series

COMMERCIAL ALUMINUM WINDOWS

FIXED WINDOWS | CW-35/45 LC-40/50

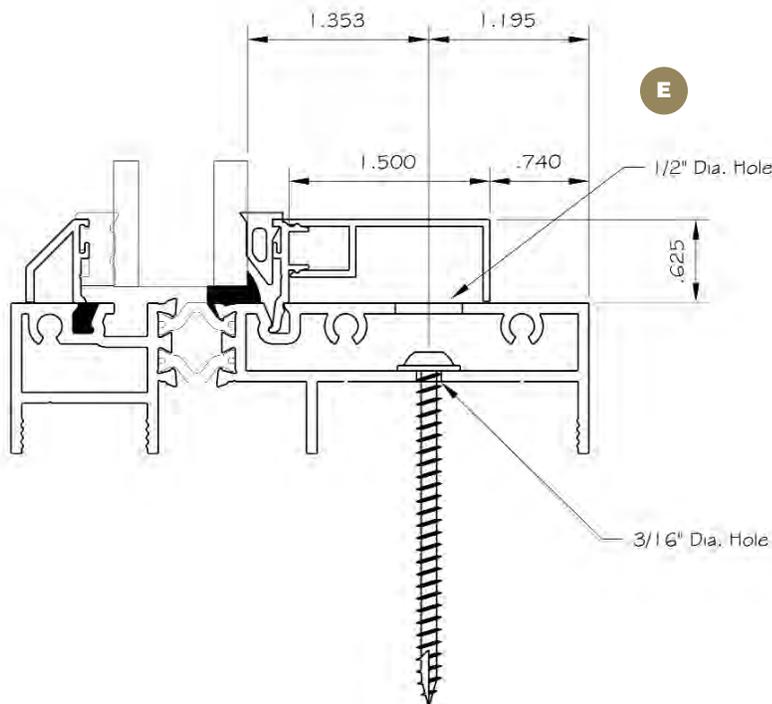
58F SERIES



Preliminary Plan - Subject to change

CW-35/45 OPTIONS

- A** Glazing retainer options - This window comes standard with a flat glazing retainer, but also offers an optional contoured decorative glazing retainer. Either one of these retainers can be used on the exterior side or interior side of the window for a customized appearance.
- B** Operating window option - The 58F can come with hoppers awnings or casements factory installed into the frame.
- C** Nail fin option - The nail fin gives this window the ability to be used in wood frame construction. It offers a great solution to sealing the window from water penetration, unlike storefront which will rely on caulk only.
- D** Panning Option - Panning is the perfect option when the 58F is used in a retrofit condition where existing window frames would be left in place and need to be covered.
- E** Pre-drilled frame and anchor cover option - The 58F can be pre-drilled in the factory which allows for anchoring through the frame. Gerkin will provide anchor covers to conceal all anchor points.
- Subframe option - The subframe is used in a masonry opening. This product offers easier installation from inside the building and allows for thermal expansion and contraction. Our subframe is pre-cut and prepped for screwing together prior to installing into the masonry.



P.O. BOX 3203
SIOUX CITY, IA 51102
PHONE: 402.494.6000
FAX: 402.494.6765
TOLL FREE: 800.475.5061



Rhino Series

COMMERCIAL ALUMINUM WINDOWS

FIXED WINDOWS | CW-35/45 LC-40/50

58F SERIES

AAMA TEST RESULTS

MODEL	CLASS	TEST SIZE	AIR INFILTRATION (cfm/sq.ft.)	WATER (psf)	SWL ¹ (psf)	U-VALUE w/LoE/Argon	SHGC ²	VT ³	CONDENSATION RESISTANCE BASED ON NFRC TESTING	SOUND TRANSMISSION CLASS
58F	CW-PG35-FW	95 x 120 - 2 Lite W/ Stacking Mainframe	.01 cfm/sq.ft @ 25 mph .02 cfm/sq.ft @ 50 mph	12	52.5	0.31	0.24	0.56	47	N/A
58F	LC-PG50-FW	95 x 120 - 2 Lite W/ Stacking Mainframe	.01 cfm/sq.ft @ 25 mph .02 cfm/sq.ft @ 50 mph	12	75.0	0.31	0.24	0.56	47	N/A
58F	CW-PG45-FW	178 x 99 - 3 Lite W/ Stacking True Muntin	<.01 cfm/sq.ft @ 25 mph .01 cfm/sq.ft @ 50 mph	12	67.5	0.31	0.24	0.56	47	N/A
58F	LC-PG50-FW	178 x 99 - 3 Lite W/ Stacking True Muntin	<.01 cfm/sq.ft @ 25 mph .01 cfm/sq.ft @ 50 mph	12	75.0	0.31	0.24	0.56	47	N/A
58F	LC-PG40-FW	178 x 99 - 3 Lite W/ Stacking True Muntin	<.01 cfm/sq.ft @ 25 mph .01 cfm/sq.ft @ 50 mph	12	60.0	0.31	0.24	0.56	47	N/A

¹Structural Wind Load • ²Solar Heat Gain Coefficient • ³Visible Transmittance
 TESTED AND CERTIFIED TO AAMA/WDMA/CSA 101/I.S.2/A440-08
 U-VALUE/SHGC/VT/CRF TESTED TO NFRC 100/200/500 (With 1" Insulated Glass Unit With 1/8" 366 And 1/8" Clear)

Preliminary Plan - Subject to change

All Gerkin Rhino Products offer a comprehensive Limited Warranty. For detailed warranty information, visit www.gerkin.com



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 FAX: 402.494.6765
 TOLL FREE: 800.475.5061



Super Spacer®