

# HOLLYWOOD THEATER

2815-2819 JOHNSON STREET NE  
MINNEAPOLIS, MN 55418

## PROJECT CONTACTS

OWNER:  
CITY OF MINNEAPOLIS  
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DEVELOPER:  
APIARY  
1325 WINTER ST. NE, SUITE 100  
MINNEAPOLIS, MN 55418  
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PROJECT CONSULTANT:  
PRESERVATION DESIGN WORKS  
CONTACT: MEGHAN ELLIOTT  
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## GENERAL NOTES

1. DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR.
2. RETAIN ALL REMOVED BRICK AND/OR STONE ON SITE FOR RE-USE.
3. REMOVE ALL AREAS OF GRAFFITI AND OVER-PAINTING OF GRAFFITI.

**PVN**  
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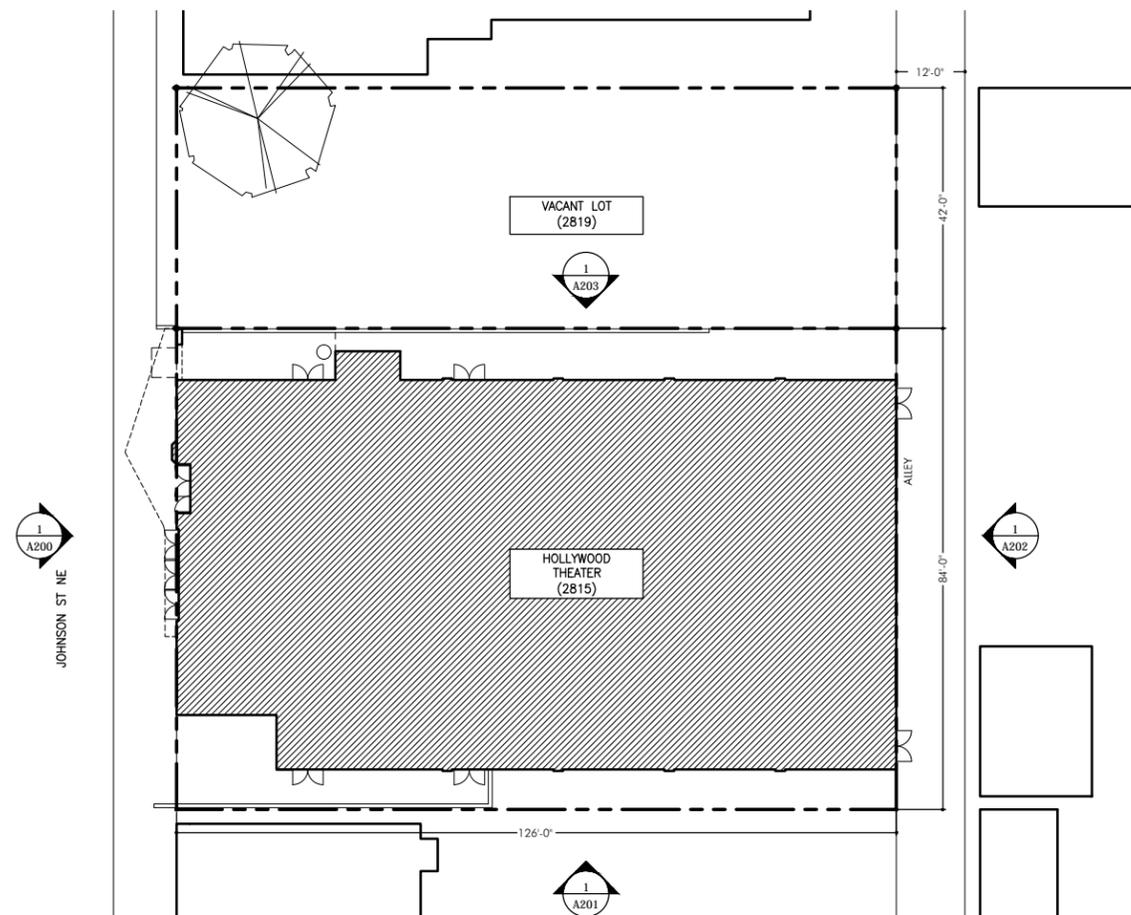
MINNEAPOLIS HERITAGE  
PRESERVATION COMMISSION  
REVIEW: 5/14/13

## LEGEND

 INDICATES KEY NOTE

## SHEET INDEX

T100	TITLE SHEET & REFERENCE PLAN
T101	REFERENCE PHOTOS OF EXISTING CONDITIONS
T102	REFERENCE PHOTOS OF EXISTING CONDITIONS
T103	REFERENCE PHOTOS OF EXISTING CONDITIONS
T104	REFERENCE PHOTOS OF EXISTING CONDITIONS
A171	ROOF PLAN - EXISTING CONDITIONS
A200	WEST ELEVATION
A201	SOUTH ELEVATION
A202	EAST ELEVATION
A203	NORTH ELEVATION
A500	TICKET BOOTH & POSTER CASES: ORIGINAL REFERENCE DRAWINGS
A501	CANOPY: ORIGINAL REFERENCE DRAWINGS



1 REFERENCE PLAN

NOT TO SCALE 

Drawing Set Title  
**EXTERIOR  
RESTORATION**

Project Name and Address  
**HOLLYWOOD  
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2815-19 JOHNSON STREET NE  
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Sheet Title  
**TITLE SHEET &  
REFERENCE SITE PLAN**

Sheet Number  
**T100**



1 NORTH ELEVATION Scale: NOT TO SCALE



2 NORTH ELEVATION Scale: NOT TO SCALE



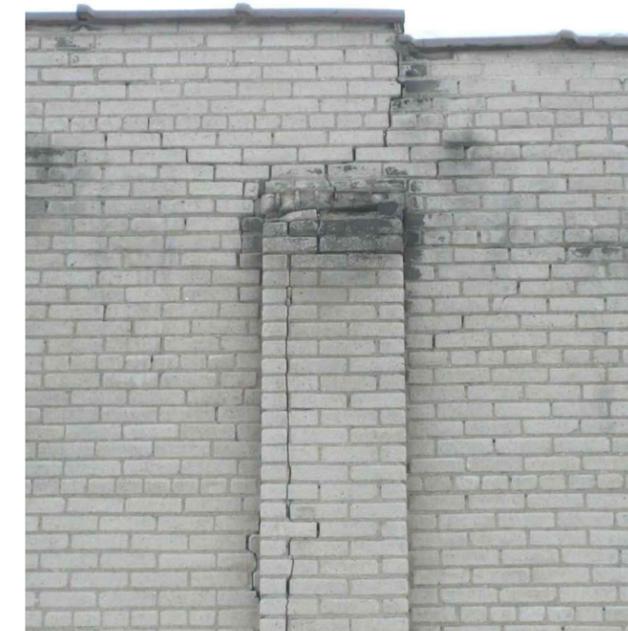
3 NORTH ELEVATION Scale: NOT TO SCALE



4 EAST (ALLEY) & NORTH ELEVATION Scale: NOT TO SCALE



5 NORTH ELEVATION Scale: NOT TO SCALE



6 PIER AT NORTH ELEVATION Scale: NOT TO SCALE

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Sheet Title  
**EXISTING CONDITIONS  
PHOTOS**

Sheet Number  
**T101**

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1 NORTH ELEVATION  
Scale: NOT TO SCALE



2 NORTH & EAST ELEVATION OF CHIMNEY  
Scale: NOT TO SCALE



3 NORTH ELEVATION OF CHIMNEY  
Scale: NOT TO SCALE



4 NORTH ELEVATION  
Scale: NOT TO SCALE



5 NORTH ELEVATION  
Scale: NOT TO SCALE



6 NORTH ELEVATION  
Scale: NOT TO SCALE

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Sheet Title  
**EXISTING CONDITIONS  
PHOTOS**

Sheet Number  
**T102**

\*11X17: PRINTED AT HALF SCALE\*



1 WEST ELEVATION

Scale: NOT TO SCALE



2 WEST ELEVATION

Scale: NOT TO SCALE



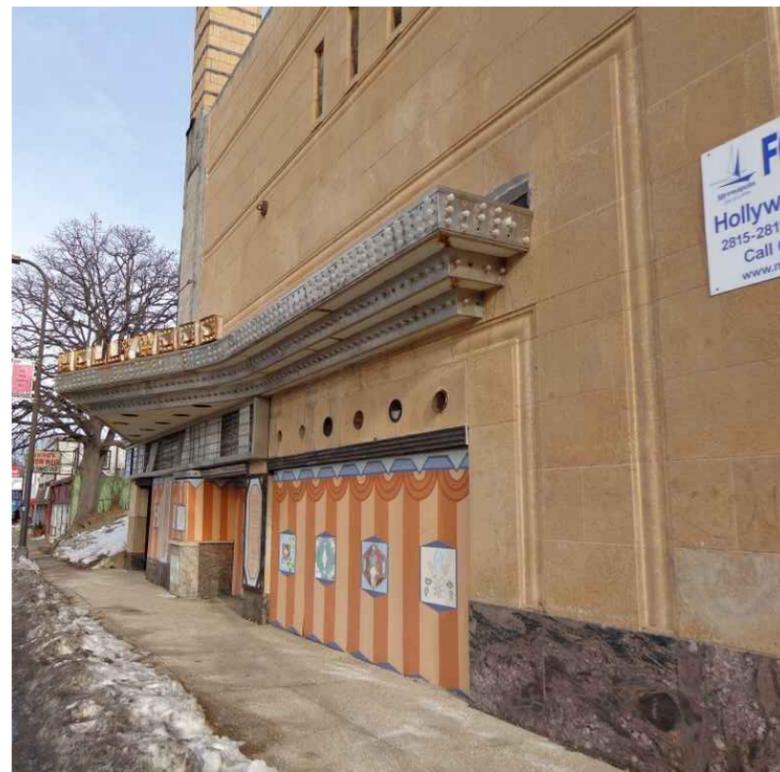
3 WEST ELEVATION

Scale: NOT TO SCALE



4 WEST ELEVATION

Scale: NOT TO SCALE



5 WEST ELEVATION

Scale: NOT TO SCALE



6 SOUTH & WEST ELEVATION

Scale: NOT TO SCALE

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Sheet Title  
**EXISTING CONDITIONS  
PHOTOS**

Sheet Number  
**T103**



1 EAST ELEVATION

Scale: NOT TO SCALE



2 EAST ELEVATION

Scale: NOT TO SCALE



3 EAST ELEVATION

Scale: NOT TO SCALE



4 SOUTH ELEVATION

Scale: NOT TO SCALE



5 SOUTH ELEVATION

Scale: NOT TO SCALE



6 SOUTH & EAST (ALLEY) ELEVATIONS

Scale: NOT TO SCALE

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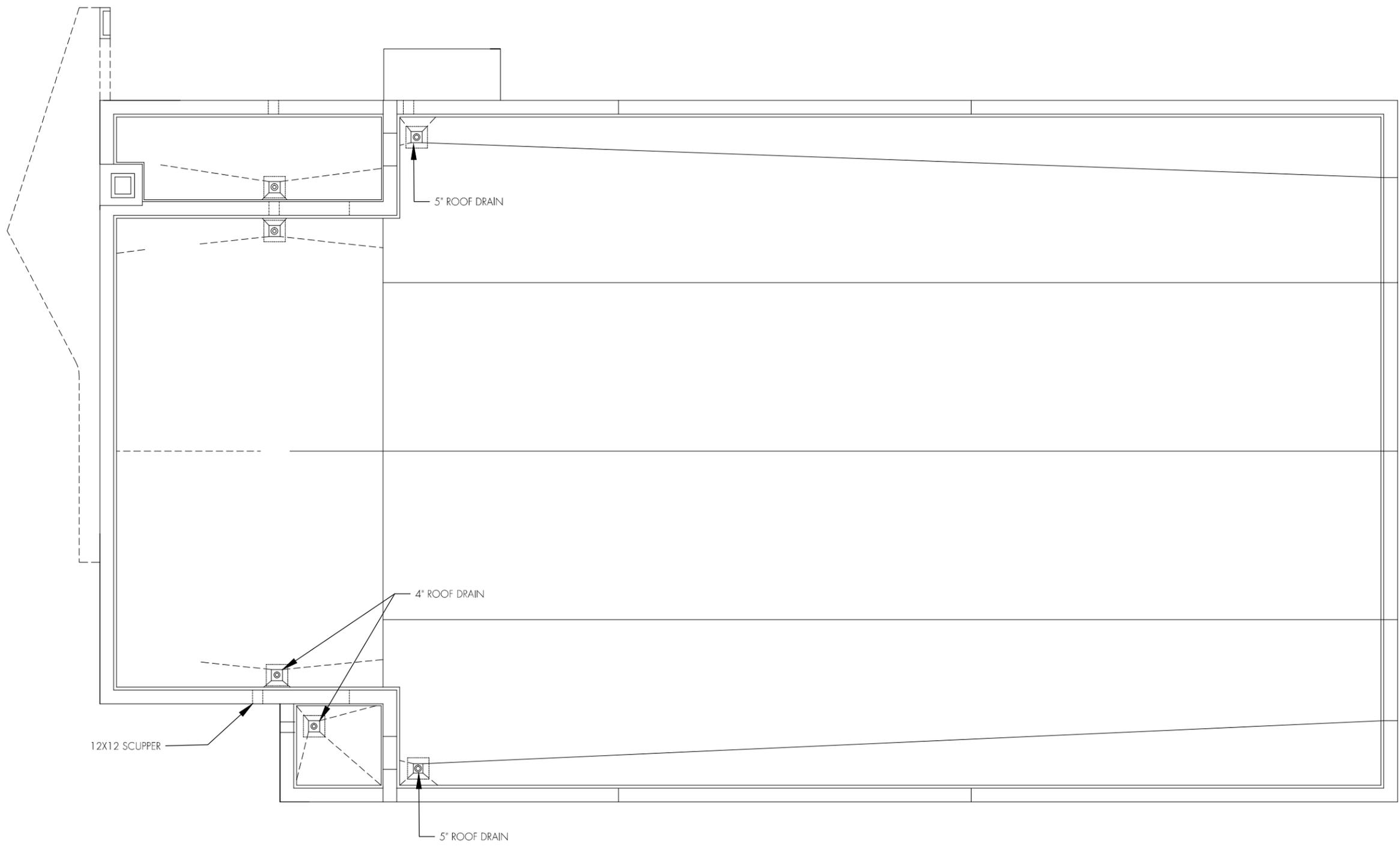
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Sheet Title  
**EXISTING CONDITIONS  
PHOTOS**

Sheet Number

**T104**

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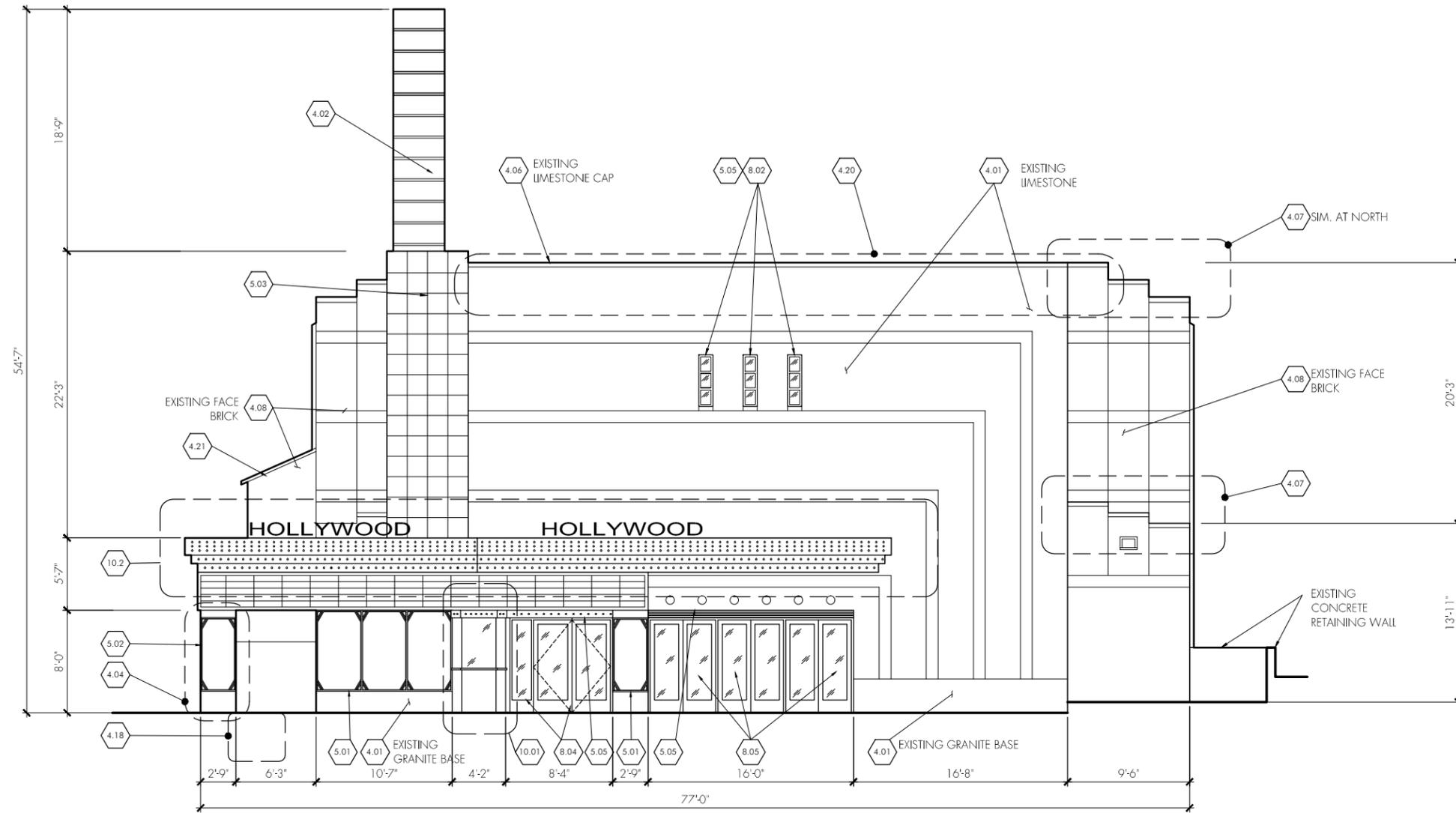
Sheet Title  
**ROOF PLAN  
 EXISTING CONDITIONS**

Sheet Number  
**A171**

\*11X17: PRINTED AT HALF SCALE\*

1 ROOF PLAN - EXISTING CONDITIONS

Scale: 3/16" = 1'-0"



1 WEST ELEVATION

Scale: 3/16"=1'-0"

KEY NOTES

- 1 NOT USED
- 2 NOT USED
- 3 CONCRETE  
3.01 REPAIR OR REPLACE EXISTING CONCRETE THRESHOLD WITH CAST-IN-PLACE CONCRETE.
- 4 MASONRY  
4.01 STONE MASONRY: REPOINT 100% OF MORTAR JOINTS AT STONE MASONRY.  
4.02 CHIMNEY: REPAIR STONE MASONRY AT CHIMNEY AND REMOVE STRAPPING. TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY (ABOVE ROOFLINE) BY REMOVING AREAS OF STONE AND ASSESSING INTEGRITY OF BACK-UP BRICK MASONRY. (FOR PRICING PURPOSES, ASSUME THE FOLLOWING: REMOVAL OF METAL STRAPPING; REMOVAL AND SALVAGE OF ALL STONE VENEER; REPLACEMENT AND/OR REBUILDING 25% OF BRICK MASONRY BACKUP; REPOINTING 100% OF MORTAR JOINTS AT BRICK; RESETTING AND ANCHORING STONE VENEER; AND REPOINTING 100% OF MORTAR JOINTS AT STONE VENEER). COORDINATE WITH 5.3.  
4.03 NOT USED  
4.04 REMOVE AREA OF DISPLACED STONE VENEER. REPAIR BACK UP BRICK MASONRY AS NEEDED AND RESET STONE PANELS.  
4.05 REMOVE AREA OF STONE VENEER AND SALVAGE FOR REUSE.  
4.06 VERIFY CONDITIONS OF ALL LIMESTONE PARAPET CAP STONES. RESET IF LOOSE OR DISPLACED. CAP STONES KNOWN TO BE DISPLACED ARE INDICATED BY KEYNOTE 4.7.  
4.07 RESET LOOSE OR DISPLACED LIMESTONE PARAPET CAP STONES.  
4.08 FACE BRICK: REPOINT CRACKED OR DETERIORATED MORTAR JOINTS (APPROXIMATELY 25%).

- 4.09 NOT USED
- 4.10 COMMON BRICK: REPOINT 100% OF MORTAR JOINTS AT EAST ELEVATION.
- 4.11 COMMON BRICK: REPOINT 100% OF MORTAR JOINTS AT TOP 5'-0" AND BOTTOM 3'-0" OF NORTH & SOUTH ELEVATIONS.
- 4.12 COMMON BRICK: REPOINT CRACKED OR DETERIORATED MORTAR JOINTS AT REMAINDER OF WALL AREAS (APPROXIMATELY 25%).
- 4.13 BRICK PIERS: TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY BY REMOVING AN AREA OF BRICK VENEER AT TOP OF EACH PIER (APPROX 2-3 SQUARE FEET) AND ASSESSING INTEGRITY OF BACKUP MASONRY AND STEEL COLUMN WITHIN. IF INTEGRITY IS GOOD, PROCEED WITH REPAIRS TO EACH PIER CONSISTING OF: REPOINTING OF CONTINUOUS CRACKS (OR INTRODUCTION OF A SOFT JOINT FOR EXPANSION PURPOSES), INSTALLING SHEET METAL CAP FLASHING AT THE TOP OF EACH COLUMN, REPOINTING OF OPEN MORTAR JOINTS, AND SELECTIVE REPLACEMENT OF DETERIORATED BRICK AT BASE OF PIERS. IF PIER IS SEPARATED FROM WALL, REANCHOR VENEER WITH RESTORATION TIES.
- 4.14 COMMON BRICK: REPLACE AREA OF DAMAGED OR MISSING BRICK. MATCH ADJACENT BRICK IN COLOR, TEXTURE, AND COMPOSITION.
- 4.15 PROVIDE & INSTALL SHEET METAL CAPS AT BEAM ENDS ON EAST ELEVATION
- 4.16 CLAY TILE COPING: VERIFY CONDITIONS OF ALL CLAY TILE COPING AT PARAPET. RESET PIECES IF LOOSE, DISPLACED, OR MISSING LARGE AREAS OF MORTAR.
- 4.17 AT STEPS IN PARAPET, REMOVE ONE PIECE OF CLAY TILE COPING AT EACH SIDE OF STEP. INSTALL STEP FLASHING AT VERTICAL SURFACE AND THROUGH-WALL FLASHING AT TOP OF BRICK, EACH SIDE. REINSTALL CLAY TILE COPING PIECES.
- 4.18 INFILL AREAWAY OPENING AT BASEMENT WALL WITH CMU.
- 4.19 REMOVE AREA OF MASONRY AS NEEDED FOR NEW WINDOWS. COORDINATE WITH 5.07 & 8.01.
- 4.20 CLEAN AREA OF SOLID MASONRY.
- 4.21 REBUILD TOP COURSE OF MASONRY WALL WHEN ROOF IS REBUILT. MATCH ADJACENT BRICK.

- 5 METALS  
5.01 RESTORE EXISTING METAL POSTER CASE AND REINSTALL. REFER TO SHEET A500 FOR ORIGINAL REFERENCE DRAWINGS.  
5.02 FABRICATE POSTER CASE TO MATCH EXISTING AND INSTALL AT MASONRY PIER. REFER TO SHEET A500 FOR ORIGINAL REFERENCE DRAWINGS.  
5.03 REMOVE ANY REMAINING ENAMELED METAL TILES AND SALVAGE FOR REUSE. REMOVE EXISTING FURRING STRIPS AND REPAIR BACKUP MASONRY AS NEEDED. REPAIR REMOVED TILES AND REINSTALL TILES ON NEW METAL CHANNEL FURRING SYSTEM. SUPPLEMENT WITH NEW TILES AS NEEDED.  
5.04 REPLACE DETERIORATED METAL SOFFIT PANELS WITH NEW PREFINISHED METAL PANELS.  
5.05 REMOVE RUST FROM EXISTING STEEL INTEL OR METAL CLADDING. PRIME WITH A RUST-INHIBITIVE PRIMER, & REPAINT.  
5.06 EVALUATE STEEL COLUMN. COORDINATE WITH 4.13.  
5.07 PROVIDE NEW LOOSE INTEL AT NEW WINDOW OPENINGS. COORDINATE WITH 4.19 & 8.01.  
5.08 REPLACE ROOF STRUCTURE WITH STEEL FRAMING AND METAL DECK. COORDINATE WITH 7.01.
- 6 NOT USED
- 7 THERMAL AND MOISTURE PROTECTION  
7.01 REPLACE AREA OF SLOPED ROOF WITH FLAT-SEAM SHEET METAL ROOFING. COORDINATE WITH 5.08.
- 8 OPENINGS  
8.01 ALLOWABLE AREAS FOR WINDOW OPENINGS, EXCEPT WHERE HISTORIC LIGHT FIXTURES ARE LOCATED AT INTERIOR (FOR PRICING PURPOSES, ASSUME 4 - 5'X5' PREFINISHED ALUMINUM

- COMMERCIAL WINDOWS TO BE PROVIDED & INSTALLED). COORDINATE WITH 4.19 AND 5.07.
- 8.02 PROVIDE & INSTALL NEW PREFINISHED ALUMINUM WINDOWS IN EXISTING OPENING.
- 8.03 REMOVE AND REPLACE DOORS WITH NEW HOLLOW METAL DOOR, FRAME, & FIXED SIDE PANEL
- 8.04 REMOVE AND REPLACE (3) EXISTING ENTRY DOORS WITH PAIR OF 3'-0" ALUMINUM-CLAD WOOD ENTRY DOORS AND SIDELIGHT. DOORS TO HAVE FULL LITES.
- 8.05 REMOVE AND REPLACE DOORS WITH FIXED STOREFRONT IN CONFIGURATION SHOWN. EXTERIOR SURFACES TO BE ALUMINUM-CLAD WITH A PAINTED FINISH. INTERIOR SURFACES TO BE FINISHED WOOD.
- 9 NOT USED
- 10 SPECIALTIES  
10.01 RESTORE TICKET BOOTH. SEE ORIGINAL REFERENCE DRAWINGS ON SHEET A500.  
10.02 RESTORE CANOPY. SEE ORIGINAL REFERENCE DRAWINGS ON SHEET A501.

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**EXTERIOR RESTORATION**

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**HOLLYWOOD THEATER**  
2815-19 JOHNSON STREET NE  
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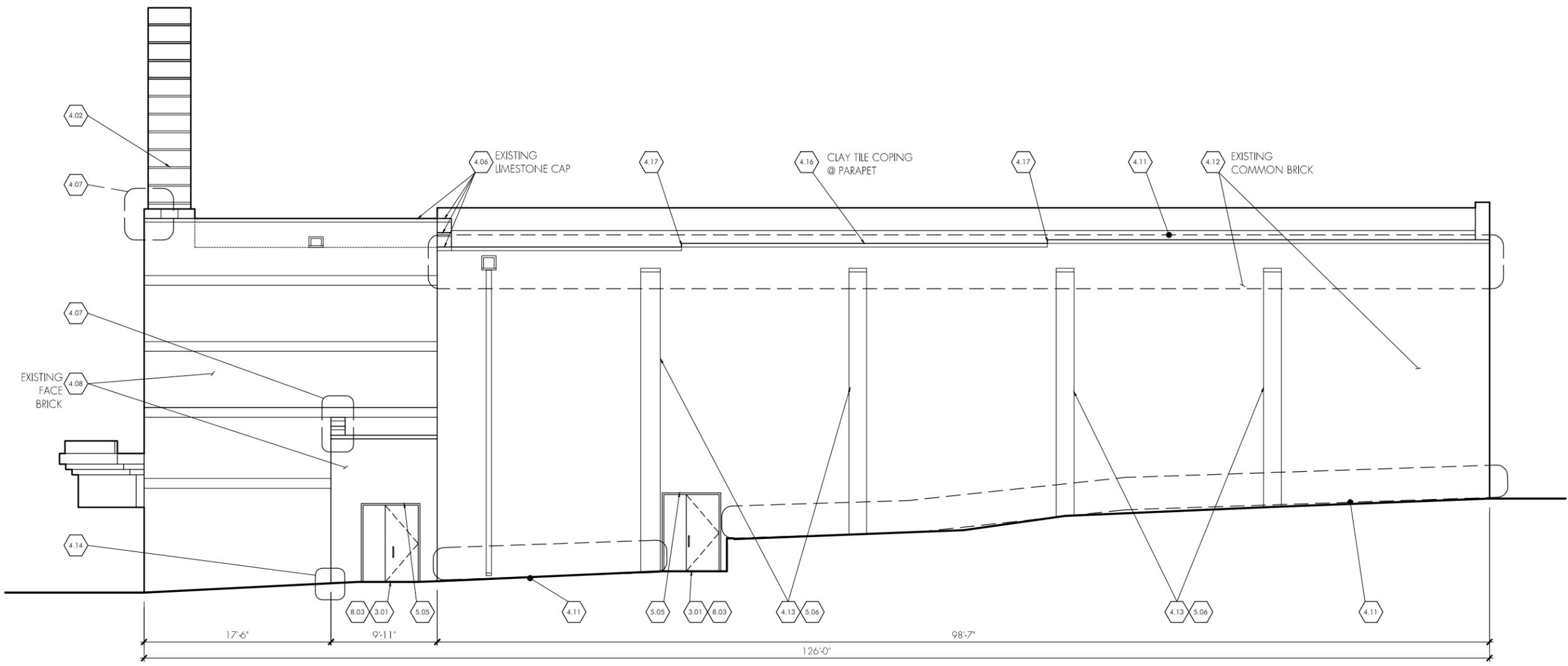
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1325 WINTER STREET NE  
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Sheet Title  
**WEST ELEVATION**

Sheet Number  
**A200**

\*11X17: PRINTED AT HALF SCALE\*



**1 SOUTH ELEVATION**

Scale: 3/16"=1'-0"

KEY NOTES	
1	NOT USED
2	NOT USED
3	CONCRETE 3.01 REPAIR OR REPLACE EXISTING CONCRETE THRESHOLD WITH CAST-IN-PLACE CONCRETE.
4	MASONRY 4.01 STONE MASONRY: REPOINT 100% OF MORTAR JOINTS AT STONE MASONRY. 4.02 CHIMNEY: REPAIR STONE MASONRY AT CHIMNEY AND REMOVE STRAPPING. TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY (ABOVE ROOFLINE) BY REMOVING AREAS OF STONE AND ASSESSING INTEGRITY OF BACK-UP BRICK MASONRY. (FOR PRICING PURPOSES, ASSUME THE FOLLOWING: REMOVAL OF METAL STRAPPING; REMOVAL AND SALVAGE OF ALL STONE VENEER; REPLACEMENT AND/OR REBUILDING 25% OF BRICK MASONRY BACKUP; REPOINTING 100% OF MORTAR JOINTS AT BRICK; RESETTING AND ANCHORING STONE VENEER; AND REPOINTING 100% OF MORTAR JOINTS AT STONE VENEER). COORDINATE WITH 5.3. 4.03 NOT USED 4.04 REMOVE AREA OF DISPLACED STONE VENEER. REPAIR BACK-UP BRICK MASONRY AS NEEDED AND RESET STONE PANELS. 4.05 REMOVE AREA OF STONE VENEER AND SALVAGE FOR REUSE. 4.06 VERIFY CONDITIONS OF ALL LIMESTONE PARAPET CAP STONES. RESET IF LOOSE OR DISPLACED. CAP STONES KNOWN TO BE DISPLACED ARE INDICATED BY KEYNOTE 4.7. 4.07 RESET LOOSE OR DISPLACED LIMESTONE PARAPET CAP STONES. 4.08 FACE BRICK: REPOINT CRACKED OR DETERIORATED MORTAR JOINTS (APPROXIMATELY 25%).
4.09	NOT USED
4.10	COMMON BRICK: REPOINT 100% OF MORTAR JOINTS AT EAST ELEVATION.
4.11	COMMON BRICK: REPOINT 100% OF MORTAR JOINTS AT TOP 5'-0" AND BOTTOM 3'-0" OF NORTH & SOUTH ELEVATIONS.
4.12	COMMON BRICK: REPOINT CRACKED OR DETERIORATED MORTAR JOINTS AT REMAINDER OF WALL AREAS (APPROXIMATELY 25%).
4.13	BRICK PIERS: TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY BY REMOVING AN AREA OF BRICK VENEER AT TOP OF EACH PIER (APPROX 2-3 SQUARE FEET) AND ASSESSING INTEGRITY OF BACK-UP MASONRY AND STEEL COLUMN WITHIN. IF INTEGRITY IS GOOD, PROCEED WITH REPAIRS TO EACH PIER CONSISTING OF: REPOINTING OF CONTINUOUS CRACKS (OR INTRODUCTION OF A SOFT JOINT FOR EXPANSION PURPOSES), INSTALLING SHEET METAL CAP FLASHING AT THE TOP OF EACH COLUMN, REPOINTING OF OPEN MORTAR JOINTS, AND SELECTIVE REPLACEMENT OF DETERIORATED BRICK AT BASE OF PIERS. IF PIER IS SEPARATED FROM WALL, REANCHOR VENEER WITH RESTORATION TIES.
4.14	COMMON BRICK: REPLACE AREA OF DAMAGED OR MISSING BRICK. MATCH ADJACENT BRICK IN COLOR, TEXTURE, AND COMPOSITION.
4.15	PROVIDE & INSTALL SHEET METAL CAPS AT BEAM ENDS ON EAST ELEVATION
4.16	CLAY TILE COPING: VERIFY CONDITIONS OF ALL CLAY TILE COPING AT PARAPET. RESET PIECES IF LOOSE, DISPLACED, OR MISSING LARGE AREAS OF MORTAR.
4.17	AT STEPS IN PARAPET, REMOVE ONE PIECE OF CLAY TILE COPING AT EACH SIDE OF STEP. INSTALL STEP FLASHING AT VERTICAL SURFACE AND THROUGH-WALL FLASHING AT TOP OF BRICK, EACH SIDE. REINSTALL CLAY TILE COPING PIECES.
4.18	INFILL AREA WAY OPENING AT BASEMENT WALL WITH CMU.
4.19	REMOVE AREA OF MASONRY AS NEEDED FOR NEW WINDOWS. COORDINATE WITH 5.07 & 8.01.
4.20	CLEAN AREA OF SOILED MASONRY.
4.21	REBUILD TOP COURSE OF MASONRY WALL WHEN ROOF IS REBUILT. MATCH ADJACENT BRICK.
5	METALS 5.01 RESTORE EXISTING METAL POSTER CASE AND REINSTALL. REFER TO SHEET A500 FOR ORIGINAL REFERENCE DRAWINGS. 5.02 FABRICATE POSTER CASE TO MATCH EXISTING AND INSTALL AT MASONRY PIER. REFER TO SHEET A500 FOR ORIGINAL REFERENCE DRAWINGS. 5.03 REMOVE ANY REMAINING ENAMELED METAL TILES AND SALVAGE FOR REUSE. REMOVE EXISTING FURRING STRIPS AND REPAIR BACKUP MASONRY AS NEEDED. REPAIR REMOVED TILES AND REINSTALL TILES ON NEW METAL CHANNEL FURRING SYSTEM. SUPPLEMENT WITH NEW TILES AS NEEDED. 5.04 REPLACE DETERIORATED METAL SOFFIT PANELS WITH NEW PREFINISHED METAL PANELS. 5.05 REMOVE RUST FROM EXISTING STEEL LINTEL OR METAL CLADDING, PRIME WITH A RUST-INHIBITIVE PRIMER, & REPAINT. 5.06 EVALUATE STEEL COLUMN. COORDINATE WITH 4.13. 5.07 PROVIDE NEW LOOSE LINTEL AT NEW WINDOW OPENINGS. COORDINATE WITH 4.19 & 8.01. 5.08 REPLACE ROOF STRUCTURE WITH STEEL FRAMING AND METAL DECK. COORDINATE WITH 7.01.
6	NOT USED
7	THERMAL AND MOISTURE PROTECTION 7.01 REPLACE AREA OF SLOPED ROOF WITH FLAT-SEAM SHEET METAL ROOFING. COORDINATE WITH 5.08.
8	OPENINGS 8.01 ALLOWABLE AREAS FOR WINDOW OPENINGS, EXCEPT WHERE HISTORIC LIGHT FIXTURES ARE LOCATED AT INTERIOR (FOR PRICING PURPOSES, ASSUME 4 - 5'X5' PREFINISHED ALUMINUM COMMERCIAL WINDOWS TO BE PROVIDED & INSTALLED). COORDINATE WITH 4.19 AND 5.07.
9	NOT USED
10	SPECIALTIES 8.02 PROVIDE & INSTALL NEW PREFINISHED ALUMINUM WINDOWS IN EXISTING OPENING. 8.03 REMOVE AND REPLACE DOORS WITH NEW HOLLOW METAL DOOR, FRAME, & FIXED SIDE PANEL. 8.04 REMOVE AND REPLACE (3) EXISTING ENTRY DOORS WITH PAIR OF 3'-0" ALUMINUM-CLAD WOOD ENTRY DOORS AND SIDELIGHT. DOORS TO HAVE FULL LITES. 8.05 REMOVE AND REPLACE DOORS WITH FIXED STOREFRONT IN CONFIGURATION SHOWN. EXTERIOR SURFACES TO BE ALUMINUM-CLAD WITH A PAINTED FINISH. INTERIOR SURFACES TO BE FINISHED WOOD. 10.01 RESTORE TICKET BOOTH. SEE ORIGINAL REFERENCE DRAWINGS ON SHEET A500. 10.02 RESTORE CANOPY. SEE ORIGINAL REFERENCE DRAWINGS ON SHEET A501.

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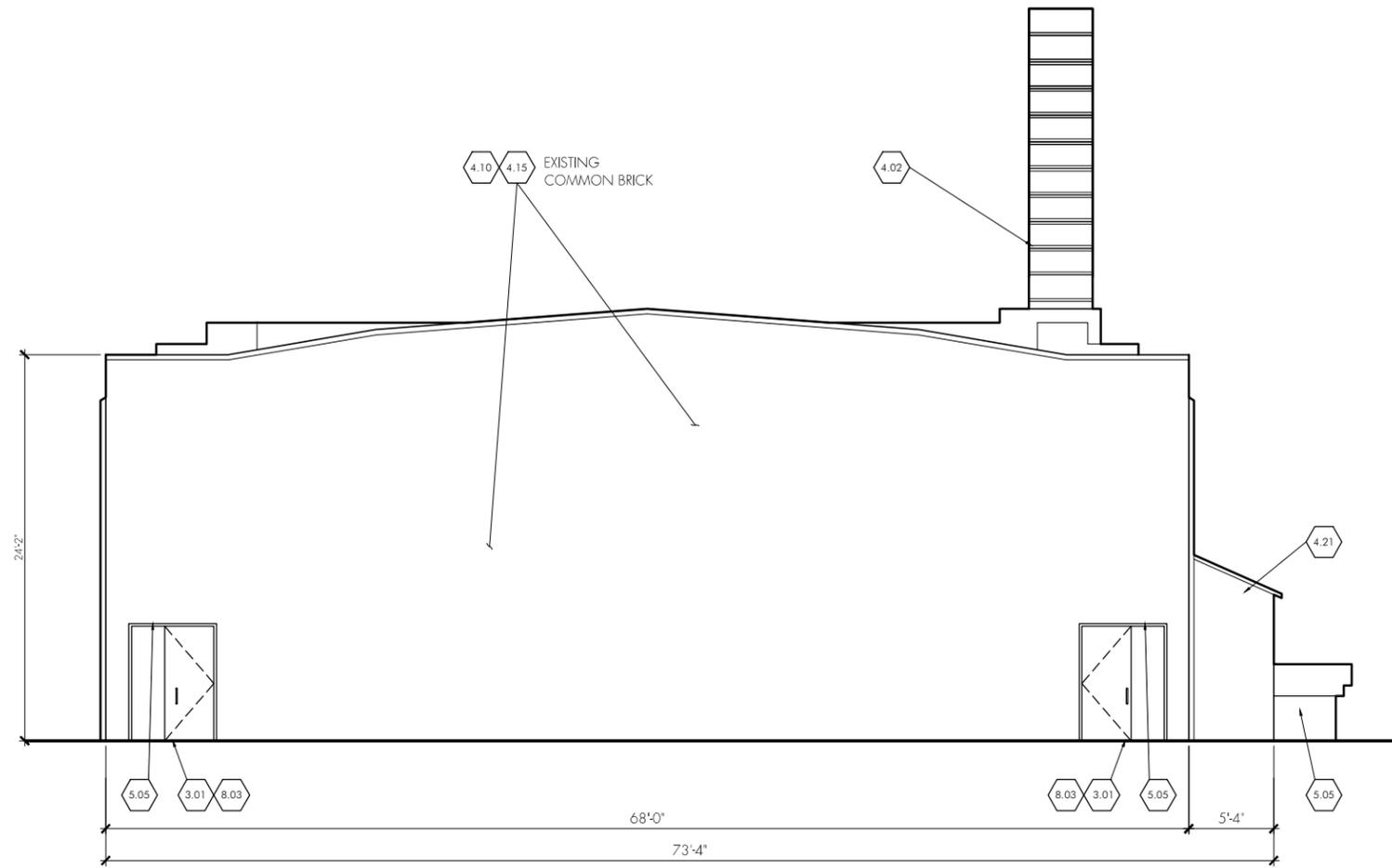
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Sheet Title  
**SOUTH ELEVATION**

Sheet Number  
**A201**

\*11X17: PRINTED AT HALF SCALE\*



**1 EAST ELEVATION**

Scale: 3/16" = 1'-0"

**KEY NOTES**

- 1 NOT USED
- 2 NOT USED
- 3 CONCRETE  
3.01 REPAIR OR REPLACE EXISTING CONCRETE THRESHOLD WITH CAST-IN-PLACE CONCRETE.
- 4 MASONRY  
4.01 STONE MASONRY: REPOINT 100% OF MORTAR JOINTS AT STONE MASONRY.  
4.02 CHIMNEY: REPAIR STONE MASONRY AT CHIMNEY AND REMOVE STRAPPING. TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY (ABOVE ROOFLINE) BY REMOVING AREAS OF STONE AND ASSESSING INTEGRITY OF BACK-UP BRICK MASONRY. (FOR PRICING PURPOSES, ASSUME THE FOLLOWING: REMOVAL OF METAL STRAPPING; REMOVAL AND SALVAGE OF ALL STONE VENEER; REPLACEMENT AND/OR REBUILDING 25% OF BRICK MASONRY BACKUP; REPOINTING 100% OF MORTAR JOINTS AT BRICK; RESETTING AND ANCHORING STONE VENEER; AND REPOINTING 100% OF MORTAR JOINTS AT STONE VENEER). COORDINATE WITH 5.3.  
4.03 NOT USED  
4.04 REMOVE AREA OF DISPLACED STONE VENEER. REPAIR BACK UP BRICK MASONRY AS NEEDED AND RESET STONE PANELS.  
4.05 REMOVE AREA OF STONE VENEER AND SALVAGE FOR REUSE.  
4.06 VERIFY CONDITIONS OF ALL LIMESTONE PARAPET CAP STONES. RESET IF LOOSE OR DISPLACED. CAP STONES KNOWN TO BE DISPLACED ARE INDICATED BY KEYNOTE 4.7.  
4.07 RESET LOOSE OR DISPLACED LIMESTONE PARAPET CAP STONES.  
4.08 FACE BRICK: REPOINT CRACKED OR DETERIORATED MORTAR JOINTS (APPROXIMATELY 25%).

- 4.09 NOT USED
- 4.10 COMMON BRICK: REPOINT 100% OF MORTAR JOINTS AT EAST ELEVATION.
- 4.11 COMMON BRICK: REPOINT 100% OF MORTAR JOINTS AT TOP 5'-0" AND BOTTOM 3'-0" OF NORTH & SOUTH ELEVATIONS.
- 4.12 COMMON BRICK: REPOINT CRACKED OR DETERIORATED MORTAR JOINTS AT REMAINDER OF WALL AREAS (APPROXIMATELY 25%).
- 4.13 BRICK PIERS: TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY BY REMOVING AN AREA OF BRICK VENEER AT TOP OF EACH PIER (APPROX 2-3 SQUARE FEET) AND ASSESSING INTEGRITY OF BACKUP MASONRY AND STEEL COLUMN WITHIN. IF INTEGRITY IS GOOD, PROCEED WITH REPAIRS TO EACH PIER CONSISTING OF: REPOINTING OF CONTINUOUS CRACKS (OR INTRODUCTION OF A SOFT JOINT FOR EXPANSION PURPOSES), INSTALLING SHEET METAL CAP FLASHING AT THE TOP OF EACH COLUMN, REPOINTING OF OPEN MORTAR JOINTS, AND SELECTIVE REPLACEMENT OF DETERIORATED BRICK AT BASE OF PIERS. IF PIER IS SEPARATED FROM WALL, REANCHOR VENEER WITH RESTORATION TIES.
- 4.14 COMMON BRICK: REPLACE AREA OF DAMAGED OR MISSING BRICK. MATCH ADJACENT BRICK IN COLOR, TEXTURE, AND COMPOSITION.
- 4.15 PROVIDE & INSTALL SHEET METAL CAPS AT BEAM ENDS ON EAST ELEVATION
- 4.16 CLAY TILE COPING: VERIFY CONDITIONS OF ALL CLAY TILE COPING AT PARAPET. RESET PIECES IF LOOSE, DISPLACED, OR MISSING LARGE AREAS OF MORTAR.
- 4.17 AT STEPS IN PARAPET, REMOVE ONE PIECE OF CLAY TILE COPING AT EACH SIDE OF STEP. INSTALL STEP FLASHING AT VERTICAL SURFACE AND THROUGH-WALL FLASHING AT TOP OF BRICK, EACH SIDE. REINSTALL CLAY TILE COPING PIECES.
- 4.18 INFILL AREA WAY OPENING AT BASEMENT WALL WITH CMU.
- 4.19 REMOVE AREA OF MASONRY AS NEEDED FOR NEW WINDOWS. COORDINATE WITH 5.07 & 8.01.
- 4.20 CLEAN AREA OF SOLID MASONRY.
- 4.21 REBUILD TOP COURSE OF MASONRY WALL WHEN ROOF IS REBUILT. MATCH ADJACENT BRICK.

- 5 METALS  
5.01 RESTORE EXISTING METAL POSTER CASE AND REINSTALL. REFER TO SHEET A500 FOR ORIGINAL REFERENCE DRAWINGS.  
5.02 FABRICATE POSTER CASE TO MATCH EXISTING AND INSTALL AT MASONRY PIER. REFER TO SHEET A500 FOR ORIGINAL REFERENCE DRAWINGS.  
5.03 REMOVE ANY REMAINING ENAMELED METAL TILES AND SALVAGE FOR REUSE. REMOVE EXISTING FURRING STRIPS AND REPAIR BACKUP MASONRY AS NEEDED. REPAIR REMOVED TILES AND REINSTALL TILES ON NEW METAL CHANNEL FURRING SYSTEM. SUPPLEMENT WITH NEW TILES AS NEEDED.  
5.04 REPLACE DETERIORATED METAL SOFFIT PANELS WITH NEW PREFINISHED METAL PANELS.  
5.05 REMOVE RUST FROM EXISTING STEEL INTEL OR METAL CLADDING. PRIME WITH A RUST-INHIBITIVE PRIMER, & REPAINT.  
5.06 EVALUATE STEEL COLUMN. COORDINATE WITH 4.13.  
5.07 PROVIDE NEW LOOSE INTEL AT NEW WINDOW OPENINGS. COORDINATE WITH 4.19 & 8.01.  
5.08 REPLACE ROOF STRUCTURE WITH STEEL FRAMING AND METAL DECK. COORDINATE WITH 7.01.
- 6 NOT USED
- 7 THERMAL AND MOISTURE PROTECTION  
7.01 REPLACE AREA OF SLOPED ROOF WITH FLAT-SEAM SHEET METAL ROOFING. COORDINATE WITH 5.08.
- 8 OPENINGS  
8.01 ALLOWABLE AREAS FOR WINDOW OPENINGS, EXCEPT WHERE HISTORIC LIGHT FIXTURES ARE LOCATED AT INTERIOR (FOR PRICING PURPOSES, ASSUME 4 - 5'X5' PREFINISHED ALUMINUM

- COMMERCIAL WINDOWS TO BE PROVIDED & INSTALLED). COORDINATE WITH 4.19 AND 5.07.
- 8.02 PROVIDE & INSTALL NEW PREFINISHED ALUMINUM WINDOWS IN EXISTING OPENING.
- 8.03 REMOVE AND REPLACE DOORS WITH NEW HOLLOW METAL DOOR, FRAME, & FIXED SIDE PANEL
- 8.04 REMOVE AND REPLACE (3) EXISTING ENTRY DOORS WITH PAIR OF 3'-0" ALUMINUM-CLAD WOOD ENTRY DOORS AND SIDELIGHT. DOORS TO HAVE FULL LITES.
- 8.05 REMOVE AND REPLACE DOORS WITH FIXED STOREFRONT IN CONFIGURATION SHOWN. EXTERIOR SURFACES TO BE ALUMINUM-CLAD WITH A PAINTED FINISH. INTERIOR SURFACES TO BE FINISHED WOOD.
- 9 NOT USED
- 10 SPECIALTIES  
10.01 RESTORE TICKET BOOTH. SEE ORIGINAL REFERENCE DRAWINGS ON SHEET A500.  
10.02 RESTORE CANOPY. SEE ORIGINAL REFERENCE DRAWINGS ON SHEET A501.

Drawing Set Title  
**EXTERIOR RESTORATION**

Project Name and Address  
**HOLLYWOOD THEATER**  
2815-19 JOHNSON STREET NE  
MINNEAPOLIS, MN 55418

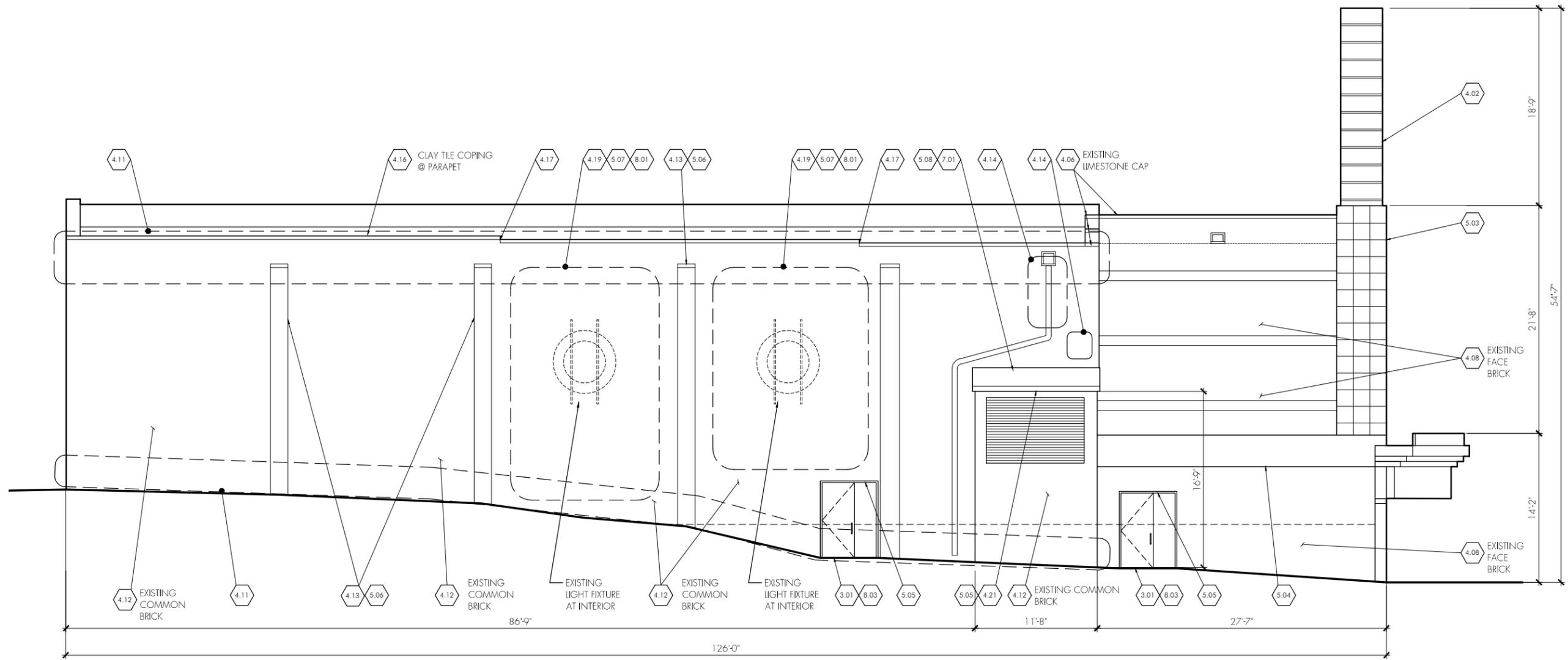
Client Name and Address  
**APIARY**  
1325 WINTER STREET NE  
SUITE 100  
MINNEAPOLIS, MN 55413

Comm No: HOL  
Date: 5/14/13  
Drawn by: MK  
Checked by: UF

Sheet Title  
**EAST ELEVATION**

Sheet Number  
**A202**

\*11X17: PRINTED AT HALF SCALE\*



**1 NORTH ELEVATION**

Scale: 3/16"=1'-0"

KEY NOTES	
1	NOT USED
2	NOT USED
3	CONCRETE 3.01 REPAIR OR REPLACE EXISTING CONCRETE THRESHOLD WITH CAST-IN-PLACE CONCRETE.
4	MASONRY 4.01 STONE MASONRY: REPOINT 100% OF MORTAR JOINTS AT STONE MASONRY. 4.02 CHIMNEY: REPAIR STONE MASONRY AT CHIMNEY AND REMOVE STRAPPING. TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY (ABOVE ROOFLINE) BY REMOVING AREAS OF STONE AND ASSESSING INTEGRITY OF BACK-UP BRICK MASONRY. (FOR PRICING PURPOSES, ASSUME THE FOLLOWING: REMOVAL OF METAL STRAPPING; REMOVAL AND SALVAGE OF ALL STONE VENEER; REPLACEMENT AND/OR REBUILDING 25% OF BRICK MASONRY BACKUP; REPOINTING 100% OF MORTAR JOINTS AT BRICK; RESETTING AND ANCHORING STONE VENEER; AND REPOINTING 100% OF MORTAR JOINTS AT STONE VENEER). COORDINATE WITH 5.3. 4.03 NOT USED 4.04 REMOVE AREA OF DISPLACED STONE VENEER. REPAIR BACK UP BRICK MASONRY AS NEEDED AND RESET STONE PANELS. 4.05 REMOVE AREA OF STONE VENEER AND SALVAGE FOR REUSE. 4.06 VERIFY CONDITIONS OF ALL LIMESTONE PARAPET CAP STONES. RESET IF LOOSE OR DISPLACED. CAP STONES KNOWN TO BE DISPLACED ARE INDICATED BY KEYNOTE 4.7. 4.07 RESET LOOSE OR DISPLACED LIMESTONE PARAPET CAP STONES. 4.08 FACE BRICK: REPOINT CRACKED OR DETERIORATED MORTAR JOINTS (APPROXIMATELY 25%).
4.09	NOT USED
4.10	COMMON BRICK: REPOINT 100% OF MORTAR JOINTS AT EAST ELEVATION.
4.11	COMMON BRICK: REPOINT 100% OF MORTAR JOINTS AT TOP 5'-0" AND BOTTOM 3'-0" OF NORTH & SOUTH ELEVATIONS.
4.12	COMMON BRICK: REPOINT CRACKED OR DETERIORATED MORTAR JOINTS AT REMAINDER OF WALL AREAS (APPROXIMATELY 25%).
4.13	BRICK PIERS: TO DETERMINE EXTENT OF WORK, INVESTIGATE MASONRY BY REMOVING AN AREA OF BRICK VENEER AT TOP OF EACH PIER (APPROX 2-3 SQUARE FEET) AND ASSESSING INTEGRITY OF BACKUP MASONRY AND STEEL COLUMN WITHIN. IF INTEGRITY IS GOOD, PROCEED WITH REPAIRS TO EACH PIER CONSISTING OF: REPOINTING OF CONTINUOUS CRACKS OR INTRODUCTION OF A SOFT JOINT FOR EXPANSION PURPOSES; INSTALLING SHEET METAL CAP FLASHING AT THE TOP OF EACH COLUMN; REPOINTING OF OPEN MORTAR JOINTS; AND SELECTIVE REPLACEMENT OF DETERIORATED BRICK AT BASE OF PIERS. IF PIER IS SEPARATED FROM WALL, REANCHOR VENEER WITH RESTORATION TIES.
4.14	COMMON BRICK: REPLACE AREA OF DAMAGED OR MISSING BRICK. MATCH ADJACENT BRICK IN COLOR, TEXTURE, AND COMPOSITION.
4.15	PROVIDE & INSTALL SHEET METAL CAPS AT BEAM ENDS ON EAST ELEVATION
4.16	CLAY TILE COPING: VERIFY CONDITIONS OF ALL CLAY TILE COPING AT PARAPET. RESET PIECES IF LOOSE, DISPLACED, OR MISSING LARGE AREAS OF MORTAR.
4.17	AT STEPS IN PARAPET, REMOVE ONE PIECE OF CLAY TILE COPING AT EACH SIDE OF STEP. INSTALL STEP FLASHING AT VERTICAL SURFACE AND THROUGH-WALL FLASHING AT TOP OF BRICK, EACH SIDE. REINSTALL CLAY TILE COPING PIECES.
4.18	INFILL AREAWAY OPENING AT BASEMENT WALL WITH CMU.
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4.20	CLEAN AREA OF SOLID MASONRY.
4.21	REBUILD TOP COURSE OF MASONRY WALL WHEN ROOF IS REBUILT. MATCH ADJACENT BRICK.
5	METALS 5.01 RESTORE EXISTING METAL POSTER CASE AND REINSTALL. REFER TO SHEET A500 FOR ORIGINAL REFERENCE DRAWINGS. 5.02 FABRICATE POSTER CASE TO MATCH EXISTING AND INSTALL AT MASONRY PIER. REFER TO SHEET A500 FOR ORIGINAL REFERENCE DRAWINGS. 5.03 REMOVE ANY REMAINING ENAMELED METAL TILES AND SALVAGE FOR REUSE. REMOVE EXISTING FURRING STRIPS AND REPAIR BACKUP MASONRY AS NEEDED. REPAIR REMOVED TILES AND REINSTALL TILES ON NEW METAL CHANNEL FURRING SYSTEM. SUPPLEMENT WITH NEW TILES AS NEEDED. 5.04 REPLACE DETERIORATED METAL SOFFIT PANELS WITH NEW PREFINISHED METAL PANELS. 5.05 REMOVE RUST FROM EXISTING STEEL INTEL OR METAL CLADDING. PRIME WITH A RUST-INHIBITIVE PRIMER, & REPAINT. 5.06 EVALUATE STEEL COLUMN. COORDINATE WITH 4.13. 5.07 PROVIDE NEW LOOSE INTEL AT NEW WINDOW OPENINGS. COORDINATE WITH 4.19 & 8.01. 5.08 REPLACE ROOF STRUCTURE WITH STEEL FRAMING AND METAL DECK. COORDINATE WITH 7.01.
6	NOT USED
7	THERMAL AND MOISTURE PROTECTION 7.01 REPLACE AREA OF SLOPED ROOF WITH FLAT-SEAM SHEET METAL ROOFING. COORDINATE WITH 5.08.
8	OPENINGS 8.01 ALLOWABLE AREAS FOR WINDOW OPENINGS, EXCEPT WHERE HISTORIC LIGHT FIXTURES ARE LOCATED AT INTERIOR (FOR PRICING PURPOSES, ASSUME 4 - 5'X5' PREFINISHED ALUMINUM
9	NOT USED
10	SPECIALTIES 10.01 RESTORE TICKET BOOTH. SEE ORIGINAL REFERENCE DRAWINGS ON SHEET A500. 10.02 RESTORE CANOPY. SEE ORIGINAL REFERENCE DRAWINGS ON SHEET A501.
COMMERCIAL WINDOWS TO BE PROVIDED & INSTALLED. COORDINATE WITH 4.19 AND 5.07. 8.02 PROVIDE & INSTALL NEW PREFINISHED ALUMINUM WINDOWS IN EXISTING OPENING. 8.03 REMOVE AND REPLACE DOORS WITH NEW HOLLOW METAL DOOR, FRAME, & FIXED SIDE PANEL. 8.04 REMOVE AND REPLACE (3) EXISTING ENTRY DOORS WITH PAIR OF 3'-0" ALUMINUM-CLAD WOOD ENTRY DOORS AND SIDELIGHT. DOORS TO HAVE FULL LITES. 8.05 REMOVE AND REPLACE DOORS WITH FIXED STOREFRONT IN CONFIGURATION SHOWN. EXTERIOR SURFACES TO BE ALUMINUM-CLAD WITH A PAINTED FINISH. INTERIOR SURFACES TO BE FINISHED WOOD.	

Drawing Set Title  
**EXTERIOR RESTORATION**

Project Name and Address  
**HOLLYWOOD THEATER**  
2815-19 JOHNSON STREET NE  
MINNEAPOLIS, MN 55418

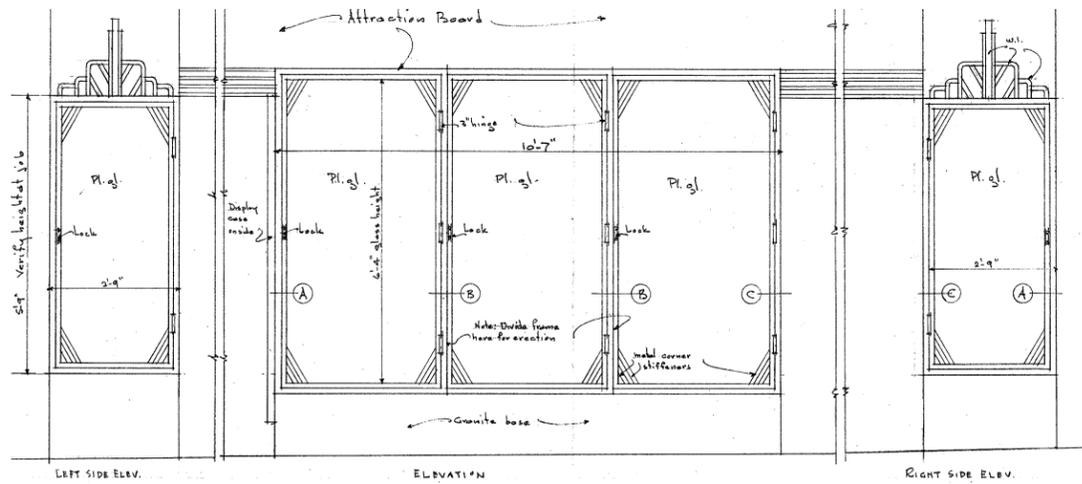
Client Name and Address  
**APIARY**  
1325 WINTER STREET NE  
SUITE 100  
MINNEAPOLIS, MN 55413

Comm No: HOL  
Date: 5/14/13  
Drawn by: MK  
Checked by: UF

Sheet Title  
**NORTH ELEVATION**

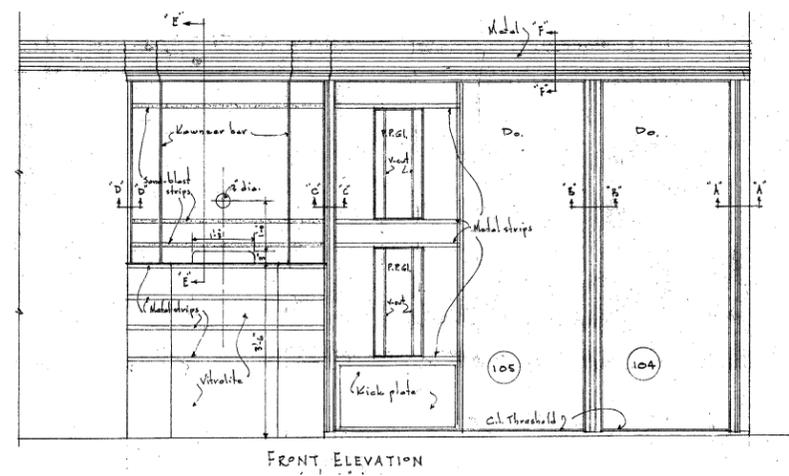
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\*11X17: PRINTED AT HALF SCALE\*



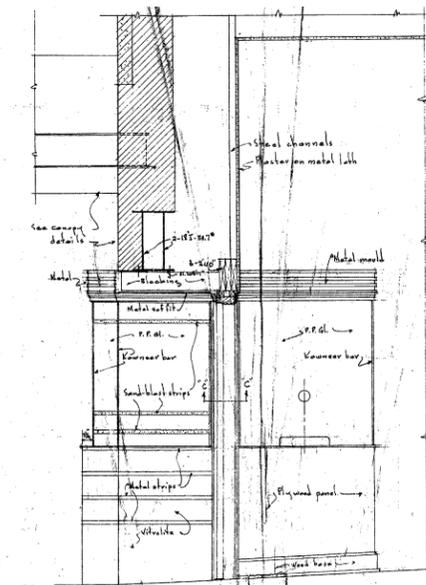
1 POSTER CASES - FRONT ELEVATION

N.T.S.



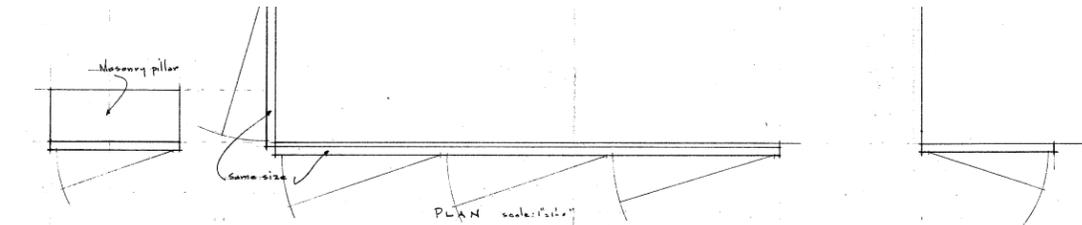
2 TICKET BOOTH - FRONT ELEVATION

N.T.S.



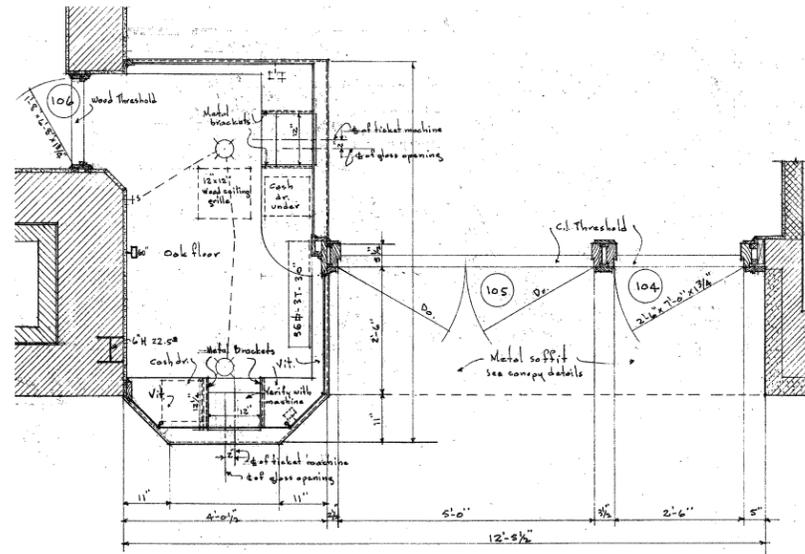
3 TICKET BOOTH - SIDE ELEVATION

N.T.S.



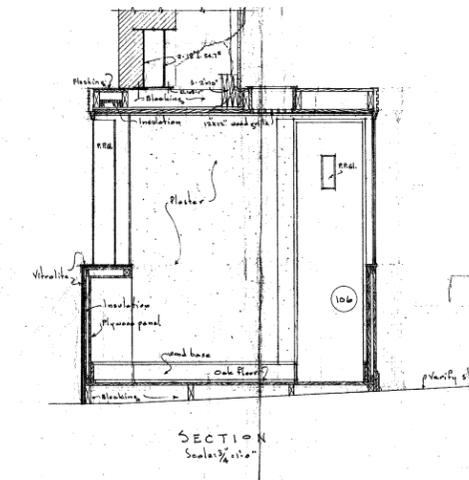
4 POSTER CASES - PLAN

N.T.S.



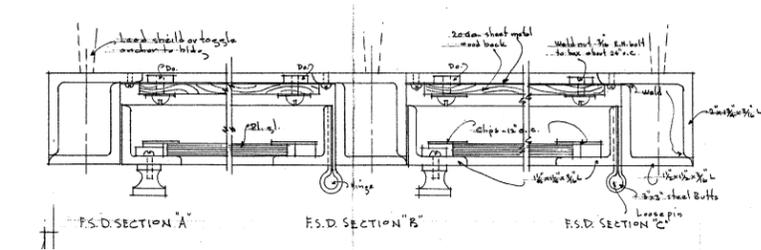
5 TICKET BOOTH - PLAN

N.T.S.



6 TICKET BOOTH - SECTION

N.T.S.



7 POSTER CASES - PLAN DETAILS

N.T.S.

Drawing Set Title  
EXTERIOR  
RESTORATION

Project Name and Address  
HOLLYWOOD  
THEATER  
2815-19 JOHNSON STREET NE  
MINNEAPOLIS, MN 55418

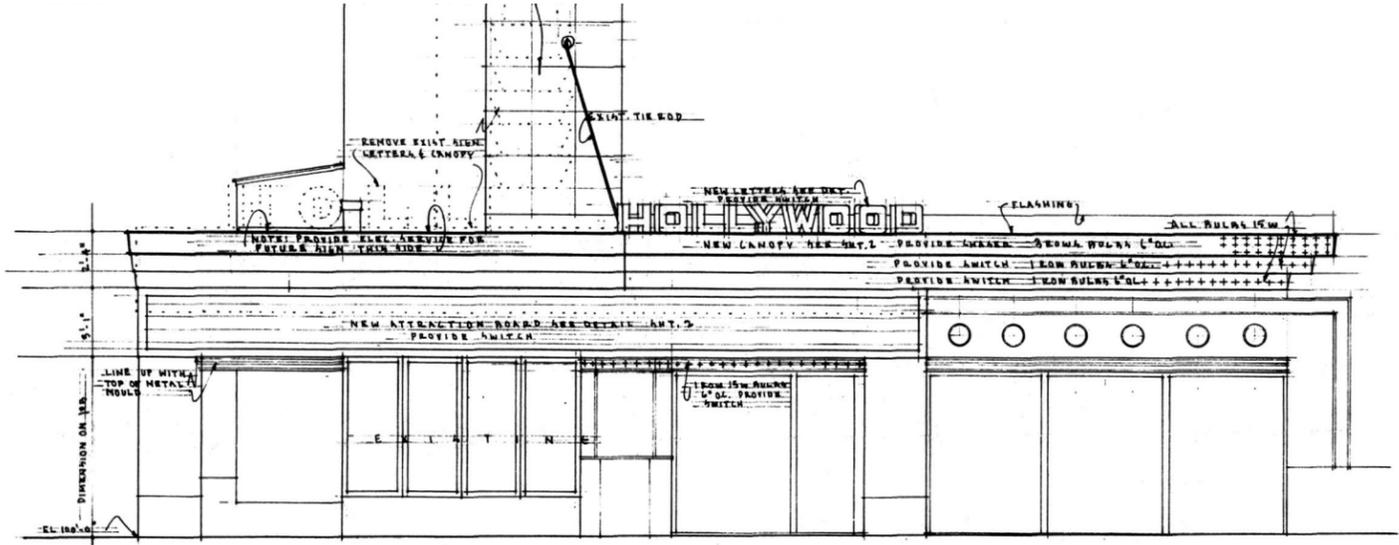
Client Name and Address  
APIARY  
1325 WINTER STREET NE  
SUITE 100  
MINNEAPOLIS, MN 55413

Comm No:	HOL
Date:	5/14/13
Drawn by:	MK
Checked by:	UF

Sheet Title  
TICKET BOOTH &  
POSTER CASES:  
ORIGINAL REFERENCE  
DRAWINGS

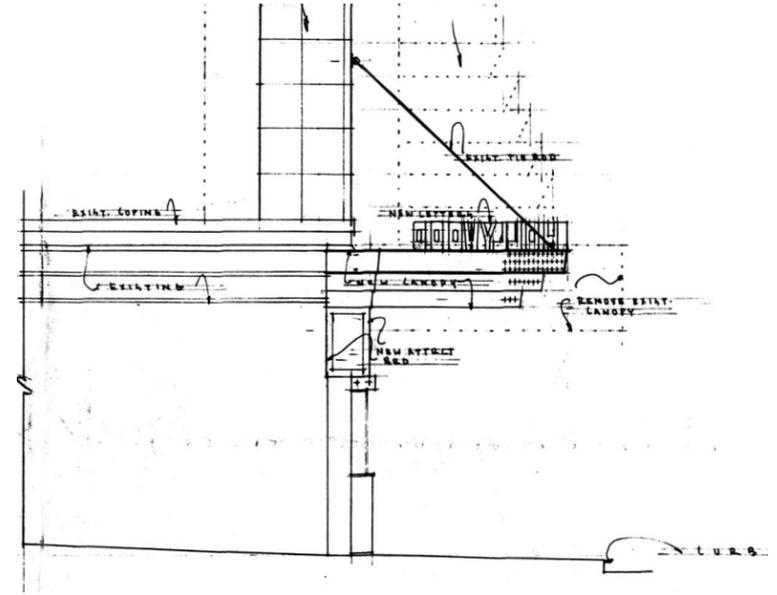
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A500



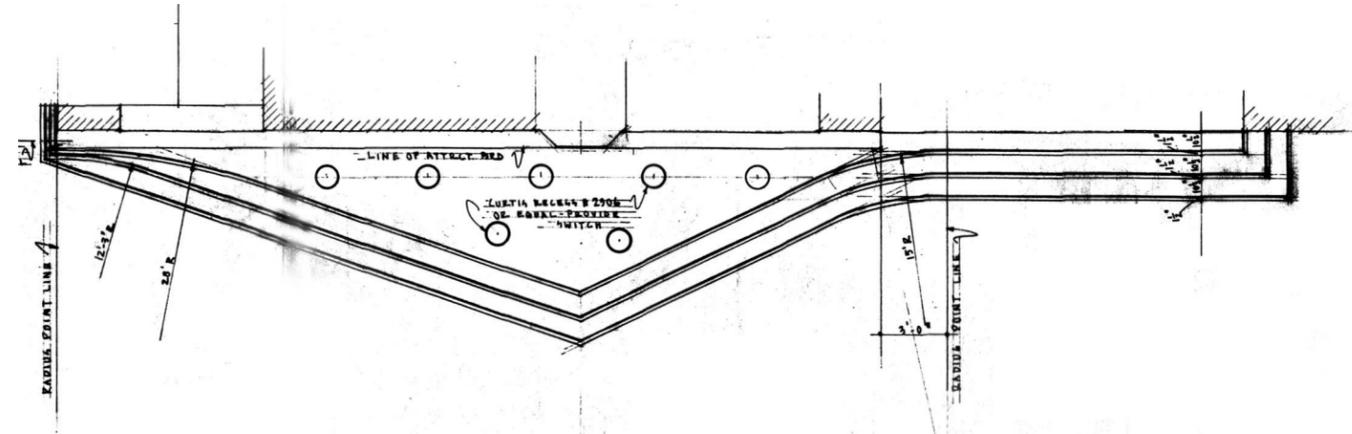
1 CANOPY - WEST ELEVATION

N.T.S.



2 CANOPY - NORTH ELEVATION

N.T.S.

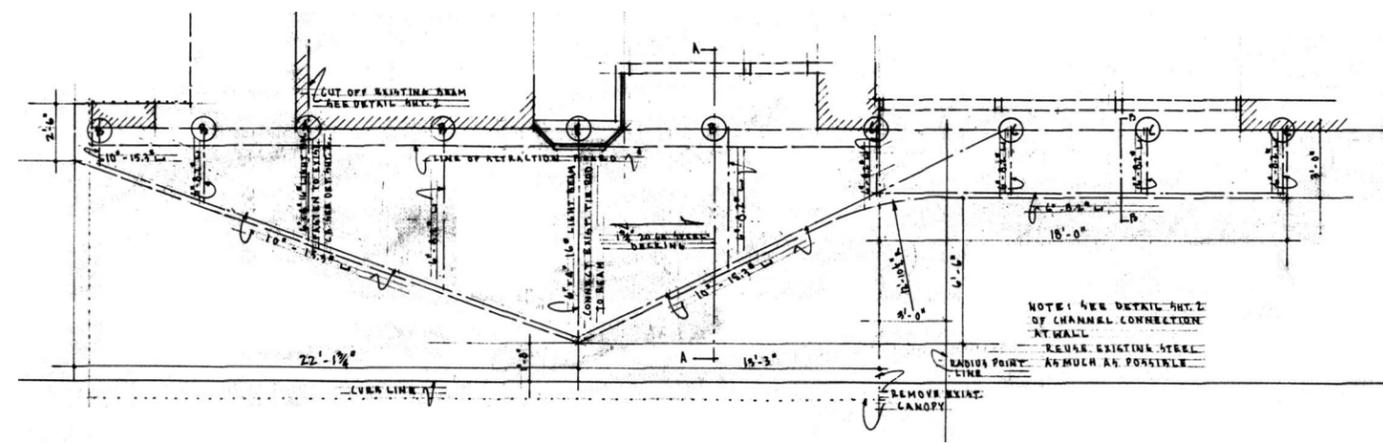


3 CANOPY - REFLECTED CEILING PLAN

N.T.S.

4 NOT USED

N.T.S.



5 CANOPY - PLAN

N.T.S.

6 NOT USED

N.T.S.

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**EXTERIOR  
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Project Name and Address  
**HOLLYWOOD  
 THEATER**  
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Sheet Title  
**CANOPY  
 ORIGINAL DRAWINGS**

Sheet Number  
**A501**

\*11X17: PRINTED AT HALF SCALE\*