

# THE BRIDGES

918 - 928 University Avenue ~ MINNEAPOLIS, MN

## COMMITTEE OF THE WHOLE: FEBRUARY 21, 2013

### Code Summary

This is a summary of applicable codes relative to a new 11 story residential apartment building fronting University Avenue between Interstate Highway 130W and 10th Avenue in Minneapolis, MN. This summary is intended to illustrate highlights of requirements to be met and is not intended to illustrate all requirements to be met.

**Applicable Codes and Regulations:**

Building	2007 MN State Building Code 2006 International Building Code
Structural	2007 MN State Building Code 2006 International Building Code
Plumbing	2007 MN State Building Code Chapter 4715 - MN Plumbing Code
Mechanical	2007 MN State Building Code Chapter 1346 - MN Mechanical Code 2006 International Mechanical Code Chapters 2 to 15
Electrical	2007 MN State Building Code Chapter 1311 - MN Electrical Code 2008 National Electrical Code
Fire/Life Safety	2007 MN State Fire Code 2006 International Fire Code
Energy	2007 MN State Building Code - Chapter 1323 MN Energy Code
Accessibility	2007 MN State Building Code - Chapter 1341 MN Accessibility Code 2006 International Building Code 2003 ICC ANSI 117.1 Accessible and Usable Buildings and Facilities
Elevators	2007 MN State Building Code - Chapter 1307 Elevators and Related Devices 2006 International Building Code - Chapter 30

#### 1. Building Classification

Occupancy Classification: (Chapter 3)  
Apartments (Levels 3-11): R-2  
Enclosed Parking: S-2  
Community Spaces: A-3

#### 2. Special Detailed Requirements (Chapter 4)

- High Rise Building - Section 403
- Automatic Sprinkler System shall be installed in accordance with Section 903.3.1.1 and secondary water supply where required by Section 903.3.5.2
  - Smoke detection shall be provided in accordance with Section 907.2.12.1
  - Emergency voice/alarms communication system shall be provided in accordance with Section 907.2.12.2
  - A two-way fire department communications system shall be provided for fire department use in accordance with Section 907.2.12.3
  - A fire command center complying with Section 911 shall be provided in a location approved by the fire department
  - A standby power system complying with Section 2702 shall be provided for standby power loads specified in Section 403.10.2
  - Smokeproof exit enclosures for the stairways shall comply with Sections 909.20 and 1001.1.7

#### 3. Height and Area (Chapter 5)

Occupancy Class R-2, Construction Type IB

Base Limits: Height: 11 Stories, 160 Feet  
Area: Unlimited

#### 4. Construction Type Requirements (Table 601)

Structural Frame	2 Hour
Exterior Bearing Walls	2 Hour
Interior Bearing Walls	2 Hour
Exterior Non-bearing Walls	1 Hour (4-30 Feet)
Interior Non-bearing Walls	0 Hour
Floor Construction	2 Hour
Roof Construction	1 Hour

\* Requirements based on location on property for fire separation distance per Table 602

#### 5. Opening Protective Fire Protection Ratings (Table 715.4)

Type of Assembly	Req'd. Assembly Rating	Min. Opening Protection
Fire Wall and Fire Barriers having a req'd fire-resistive rating greater than 1 hour	4 3 2 1.5	3 3 1.5 1.5
Fire Barriers of 1 Hour Fire-Resistance rated construction, Shafts, Exit Enclosures and Exit Passageway Walls	1	1
Other Fire Partitions	1	0.75

Section 707.14.1 - Elevator Lobby - Smoke proof area of rescue assistance is required at each elevator serving 4 or more stories above or below the level of discharge per 2006 IBC 1007.4, therefore lobbies are required at the elevators. Elevator lobbies are not required at the street floor in sprinklered buildings. Standby power is required for the elevator. Elevator shall return to grade level in an event.

Section 716.5.3 - Shall enclosures, Exception 2 - In group "R" occupancies, equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1, smoke dampers are not required at penetrations of shafts where kitchen, clothes dryer, bathroom and toilet room exhaust openings are installed with self-exhausting ducts, having a wall thickness of at least 0.019 inch and that extend at least 22 inches vertically and an exhaust fan is installed at the upper terminus of the shaft that is powered continuously in accordance with the provisions of Section 909.11, so as to maintain a continuous upward airflow to the outside. Note: the make-up air duct penetrating individual units from the corridor shall not open to the corridor, and shall not require a fire or smoke damper.

#### 6. Interior Finishes - Chapter 8

Flame Spread Classification - Table 803.5

Class	Flame Spread Index	Smoke Developed
A	0-25	0-450
B	26-75	0-450
C	76-200	0-450

Occupancy Group	Exit Enclosures and Passageways	Corridors	Rooms & Enclosed Spaces
R-2	C	C	C
S-2	C	C	C
A-3	B	B	C
M	B	C	C

Note: Requirements based on fully sprinklered building

#### 7. Fire Protection Systems - Chapter 9

Group "R" (903.2.7): An approved sprinkler system shall be provided throughout all buildings with a group "R" fire area.

Group "S-2" Enclosed Parking Garage (903.2.9): An approved automatic sprinkler system required in enclosed parking garages.

Group "A-3" Community Spaces (903.2.1.3): An approved automatic sprinkler system required.

Other areas where automatic sprinkler systems are required: (903.2.10.1.3, 903.2.10.2 and 903.2.10.3)

Staircases and basements without openings

Trash Chutes

Buildings over 55 feet in height (above lowest level of fire department vehicle access). As required by IFC 903.2.1.7

Installation Requirements: In accordance with NFPA 13 (903.3)

Standpipe Systems: Class I standpipe required per 905.1.1, Exception 1

Fire Alarm and Detection Systems: Required as per IBC and NFPA 72 (907)

### Site Map



#### 7. Fire Protection Systems - Chapter 9 (Continued)

907.2.10.1 - Single- and multi-station smoke alarms. Listed single- and multi-station smoke alarms shall be installed in accordance with the provisions of this code and the household fire-warning equipment provisions of NFPA 72

907.2.10.1.1 - Where required, single- or multiple-station smoke alarms shall be installed in the locations described in Section 907.2.10.1.2

R-2 Occupancies (907.2.10.1.2): Single or multiple station smoke alarms required in "R" occupancy in the following locations: Single or multiple-station alarms shall be located in or on the ceiling or wall in the direct vicinity of bedrooms, in each room for sleeping purposes, and in each story within a dwelling unit.

907.2.10.2 - Power source. In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for over current protection.

#### 8. Means of Egress and Occupant Load (Chapter 10)

Occupant Load (Table 1004.1.1)

Assembly (unconcentrated)	15 SF net per person
Residential	200 SF gross per person
Parking Garages	200 SF gross per person
Egress Width (Table 1005.1 (w/ sprinkler system))	0.2 inches / occupant
Stairways with other egress components	0.15 inches / occupant

#### 9. Accessibility (MN Accessibility Code Chapter 1341 & 2006 IBC Chapter 11)

Accessible Routes 2006 IBC 1104.1: At least one accessible route shall be provided from a public transportation stop, accessible parking spaces, accessible passenger loading zone, public streets or sidewalks, etc. to an accessible building entrance.

MN Accessibility Code Chapter 1341 - 1104.4 - At least one accessible route shall connect each level in multi-level buildings.

MN Accessibility Code Chapter 1341 - 1105.1 - Public entrances - In addition to accessible entrances required by 105.1 - 1105.5, at least 60% of all public entrances shall be accessible.

MN Accessibility Code Chapter 1341 - 1105.2 - Dwelling Unit and Sleeping Unit Entrances - At least one accessibility entrance shall be provided to each dwelling unit and sleeping unit required to be "Type A" or "Type B" units.

2006 IBC 1107.6.2 - Total number of units provided 211. Total number of required Type "A" units = 2% of 211 = 4. One Type A unit shall provide a roll-in shower. All others shall meet the requirements of Type B units.

#### 10. Interior Environment (Chapter 12)

Ventilation and Lighting (1203, 1204 and 1205)

Buildings shall be provided with lighting, temperature control or ventilation, either natural or mechanical.

#### 11. Roof Assemblies and Rooftop Structures (Chapter 15)

Class "B" required per Table 1505.1

Penthouses and roof structures shall not exceed 1/3 the area of the supporting roof per 2006 IBC 1509.2

#### 12. Elevators (Chapter 30)

Openings protected as per Chapter 7 (Section 3002)

Approved signage shall be posted adjacent to each elevator's call station on each floor.

At least one elevator call shall accommodate a 24" x 84" ambulance stretcher (Section 3002.4)

Holdway venting required for elevators penetrating more than three stories (Section 3004.1)

### Project Proposed Land Use

#### SITE INFORMATION

CURRENT ZONEC2, UA (UNIVERSITY AREA OVERLAY) AND MR (MISSISSIPPI RIVER CRITICAL AREA OVERLAY)  
LOT AREA 56,601 SF

SETBACKS (BASE ON OR3 REZONE)	REQUIRED	PROPOSED
FRONT YD. (UNIVERSITY)	15 FT	VARIES (0.75 FT - 7.1 FT)
FRONT YD. (2ND ST)	15 FT	VARIES (19.8 FT - 33.75 FT)
CORNER SIDE YD. (10TH AVE)	8 + 2X = 28 FT	VARIES (1.0 FT - 39.4 FT)
SIDE / REAR YD.	5 + 2X = 25 FT	VARIES (6.6 FT - 24.0 FT)

#### PROPOSED BUILDING INFORMATION

PROPOSE REZONE TO OR3

MLA = 300  
56,601 SF / 300 SF PER DWELLING UNIT = 188 UNITS  
188 X 0.20 = 37 + 188 = 225 TOTAL UNITS (WITH 20% BONUS FOR ENCLOSED PARKING)

FAR = 3.5 (4.2 WITH 20% BONUS)  
56,601 SF X 3.5 = 198,103 SF  
198,103 X 0.20 = 39,620 + 198,103 = 237,723 SF TOTAL BUILDING AREA (WITH 20% BONUS FOR ENCLOSED PARKING)

#### PARKING COUNTS

REQUIRED	PROPOSED
1 SPACE PER UNIT OR 1/2 SPACE PER BEDROOM = 211 PARKING SPACES	LEVEL ONE 60 STALLS LEVEL TWO 68 STALLS
TOTAL 128 (61% OF REQUIRED SPACES)	

#### BICYCLE PARKING COUNTS

REQUIRED	PROPOSED
1 SPACE PER BEDROOM = 327 SPACES	283 IN SECURED GROUNDED AREA 44 AT HEAD OF PARKING STALLS (LEVEL 1 AND LEVEL 2) 327 TOTAL

### Building Information

CONSTRUCTION TYPE TYPE IA (WITH AUTOMATIC SPRINKLER SYSTEM PER 2006 IBC - CHAPTER 9)

BUILDING HEIGHT 118'-0" (NIC PARAPETS AND ELEVATOR OVER-RUN)

### Unit Counts

LEVEL	STUDIO	1 BEDROOM	2 BEDROOM	3 BEDROOM	UNIT COUNT	BEDROOM COUNT
LEVEL THREE	03	09	11	02	025	040
LEVEL FOUR	03	09	11	02	025	040
LEVEL FIVE	03	09	12	01	025	039
LEVEL SIX	03	09	12	01	025	039
LEVEL SEVEN	03	09	12	01	025	039
LEVEL EIGHT	03	09	12	01	025	039
LEVEL NINE	03	09	12	01	025	039
LEVEL TEN	03	07	08	00	018	026
LEVEL ELEVEN	03	07	08	00	018	026
	27 (13%)	77 (36%)	98 (46%)	9 (4%)	211	327

### Gross Floor Area

LEVEL	PARKING	COMMONS	COMMUNITY SPACE	UNITS	TOTAL AREA
LEVEL ONE	27,624	4,020	7,349	0	38,993
LEVEL TWO	28,157	1,628	4,006	0	33,791
LEVEL THREE	0	3,738	0	22,890	26,628
LEVEL FOUR	0	3,738	0	22,890	26,628
LEVEL FIVE	0	3,736	0	22,374	26,110
LEVEL SIX	0	3,736	0	22,374	26,110
LEVEL SEVEN	0	3,736	0	22,374	26,110
LEVEL EIGHT	0	3,736	0	22,374	26,110
LEVEL NINE	0	3,736	0	22,374	26,110
LEVEL TEN	0	3,652	1,798	14,967	20,362
LEVEL ELEVEN	0	3,601	905	14,967	19,453
TOTAL	55,781	39,057	13,983	187,584	296,405
TOTAL GFA = 296,405 SF					
TOTAL GFA (NIC LEVEL ONE PARKING, LEVEL TWO PARKING AND BIKE PARKING) = 240,624 SF (FAR = 4.25)					

### Project Team

Owner/Developer:	Contractor:
Doran Companies 7803 Glenroy Road Bloomington, MN 55349 Ph: 612-288-2000	Doran Construction Company, LLC 7803 Glenroy Road Bloomington, MN 55349 Ph: 612-288-2000
Architect:	Civil:
Doran Architects, LLC 7803 Glenroy Road Bloomington, MN 55349 Ph: 612-288-2000	Westwood Professional Services 7699 Anagram Drive Eden Prairie, MN 55344-7310 Ph: 952-937-5150

### Design Narrative

The Bridges is a development expected to contain approximately 211 market rate apartment (rental) units.

The design vision for the development is to create a "gateway" into the University of Minnesota campus with a design based on the principles of traditional campus architecture interpreted in a contemporary urban feel.

The main residence tower, with varying heights of nine and eleven stories, is a serpentine shape that sits atop a two story platform which houses parking and a considerable residence amenities package.

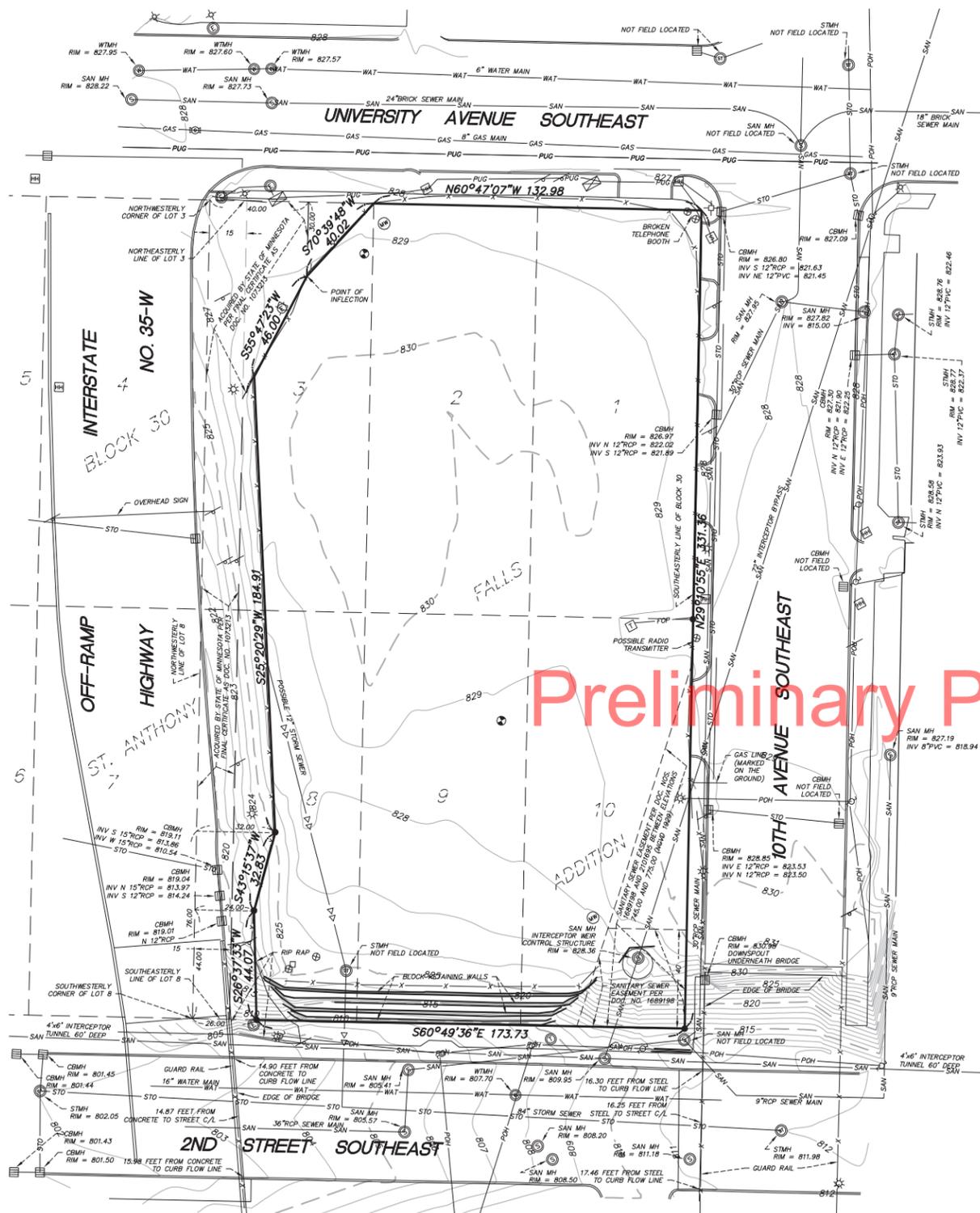
There will be two outdoor green roof areas incorporated into the design providing spectacular views toward the Minneapolis skyline and Mississippi River. The first is a large outdoor green roof on the west side of level three, with access from the second floor community spaces. This outdoor space includes raised planters, gathering areas, outdoor kitchen and fire pit. The second is on the south end of level ten taking advantage of the exceptional views.

The development will have an extensive amenities package consisting of club room, gaming room, business center, theatre and state of the art fitness center.

Design aesthetic will be a material combination consisting of pre-cast concrete, brick, aluminum and glass window wall and metal panel.

The following documents have been included for your review:

GENERAL	
T1.1c	Cover Sheet
CIVIL	
C.1	Topographic Survey
C.2	Existing Conditions & Removals Plan
C.3	Civil Site Plan
C.4	Grading, Drainage, & Erosion Control Plan
C.5	Utility Plan
C.6	Landscape Plan
C.7	Details
ARCHITECTURAL	
A1-0	Site Plan
A1-1	Massing Diagram
A1-2	Site Photos
A1-3	Site Photos
A1-4	Shadow Studies
A2-1	Level One Plan
A2-2	Level Two Plan
A2-3	Level Three - Four Plan
A2-4	Level Five - Nine Plan
A2-5	Level Ten Plan
A2-6	Level Eleven Plan
A3-1	Exterior Elevations
A3-2	Exterior Elevations
A3-3	Exterior Elevations
A3-4	Exterior Elevations
A4-1	Perspective Views
A4-2	Perspective Views
A4-3	Perspective Views
A4-4	Perspective Views



### Property Description

Lots 1, 2, 9, and 10 and that part of Lots 3 and 8 lying southeasterly of the southeasterly right of way line of Interstate Highway No. 35 as described in final certificate Document No. 1073213, all in Block 30, SAINT ANTHONY FALLS, according to the recorded plat thereof, Hennepin County, Minnesota.

EXCEPT:

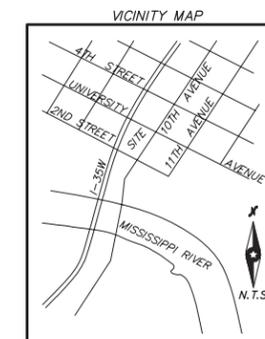
That part of Tract A described below:

Tract A, Lots 1, 2, 9, and 10 and that part of Lots 3 and 8 lying southeasterly of the southeasterly right of way line of Trunk Highway No. 35W as described in final certificate Document No. 1073213, all in Block 30, SAINT ANTHONY FALLS, according to the plat thereof on file and of record in the office of the County Recorder in and for Hennepin County, Minnesota; the title thereto being registered as evidenced by Certificate of Title No. 1045495;

which lies northwesterly of Line 1 described below:

Line 1. Beginning at a point on the southwesterly line of said Lot 8, Block 30, distant 26.00 feet southeasterly of the southwesterly corner thereof; thence northerly to a point distant 24.00 feet southeasterly (measured at right angles) of a point on the northwesterly line of said Lot 8, distant 44.00 feet northeasterly of said southwesterly lot corner; thence northeasterly to a point distant 32.00 feet southeasterly (measured at right angles) of a point on said northwesterly lot line, distant 76.00 feet northeasterly of said southwesterly lot corner; thence northeasterly to the point of termination of Line 2 described below and there terminating.

Line 2. Beginning at the northwesterly corner of said Lot 3, Block 30; thence southeasterly along the northeasterly line thereof for 40.00 feet; thence southwesterly at right angles for 30.00 feet to a point of inflection on the northwesterly line of Tract A hereinbefore described; thence southwesterly along said northwesterly line of Tract A for 46.00 feet and there terminating.



### Notes

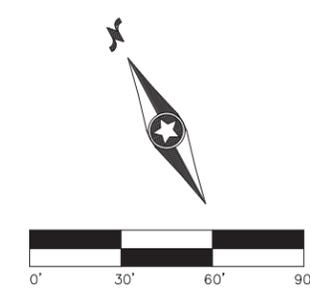
- This survey was prepared using the First American Title Insurance Company Commitment for Title Insurance, Order Number NCS-561007-MPLS dated September 4, 2012.
- Property Addresses:
  - a) 918 University Ave SE Minneapolis, MN 55414 - PID: 2402924320041
  - b) 928 University Ave SE Minneapolis, MN 55414 - PID: 2402924320040
  - c) 219 10th Ave SE Minneapolis, MN 55414 - PID: 2402924320039
  - d) 211 10th Ave SE Minneapolis, MN 55414 - PID: 2402924320043

Preliminary Plan - Subject to change

### Legend

○ MMH WATER MANHOLE	⊙ BUSH/SHRUB	○ SMH STORM MANHOLE	⊕ BEEHIVE CATCH BASIN
○ W WELL	⊙ STEEL/WOOD POST	□ TELEPHONE BOX	▭ CATCH BASIN
□ CURB STOP BOX	⊙ SOIL BORING	⊙ TELEPHONE MANHOLE	◁ FLARED END SECTION
— CTV CABLE TV	— SIGN-TRAFFIC/OTHER	⊠ TRAFFIC CONTROL BOX	⊠ ELECTRIC TOWER
— GAS GAS LINE	— SIGN-TRAFFIC/OTHER	⊠ HAND HOLE	⊙ SANITARY MANHOLE
— POH POWER OVERHEAD	⊠ MAIL BOX	⊠ TRAFFIC LIGHT	⊙ STORM MANHOLE
— PUG POWER UNDERGROUND	⊠ HANDICAPPED STALL	⊠ GATE VALVE	⊙ SEWER CLEANOUT
— SAN SANITARY SEWER	⊙ PERC TEST	⊠ HYDRANT	⊠ CURB & GUTTER
— STO STORM SEWER	⊙ MONITORING WELL	⊠ WATER METER	⊙ ELECTRIC MANHOLE
— TOH TELEPHONE OVERHEAD	⊠ CABLE TV BOX	— GUY WIRE	⊙ STREET LITE
— TUG TELEPHONE UNDERGROUND	⊠ GAS METER	○ PP POWER POLE	⊠ WETLAND
— WAT WATERMAIN	⊠ ELECTRIC BOX		
— X FENCE LINE	⊠ ELECTRIC METER		

SOME DATA FROM ALTA/ACSM LAND TITLE SURVEY PREPARED SEPTEMBER 6, 2012 BY ANDERSON ENGINEERING OF MINNESOTA, INC. WITH SUPPLEMENTAL INFORMATION BY WESTWOOD PROFESSIONAL SERVICES, INC. IN JANUARY 2013.



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Date: 01/25/13 Sheet: C1 OF 7

**Westwood**  
 Westwood Professional Services, Inc.  
 7699 Anagram Drive  
 Eden Prairie, MN 55344  
 PHONE 952-937-5150  
 FAX 952-937-9822  
 TOLL FREE 1-888-937-5150  
 www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed LAND SURVEYOR under the laws of the State of Minnesota.  
**Mark R. Selo**  
 Date: 01/25/13 License No. 43933

Revisions:

0 - 01/25/13 Land Use Submittal
---------------------------------

Designed: MAL/CRP  
 Checked: MAL/RMB  
 Drawn: CRP  
 Record Drawing by/date:

Prepared for:  
**Doran Companies**  
 7803 Glenroy Road  
 Bloomington, Minnesota 55439

**The Bridges**  
 TOPOGRAPHIC SURVEY  
 Minneapolis, Minnesota



### Site Development Summary

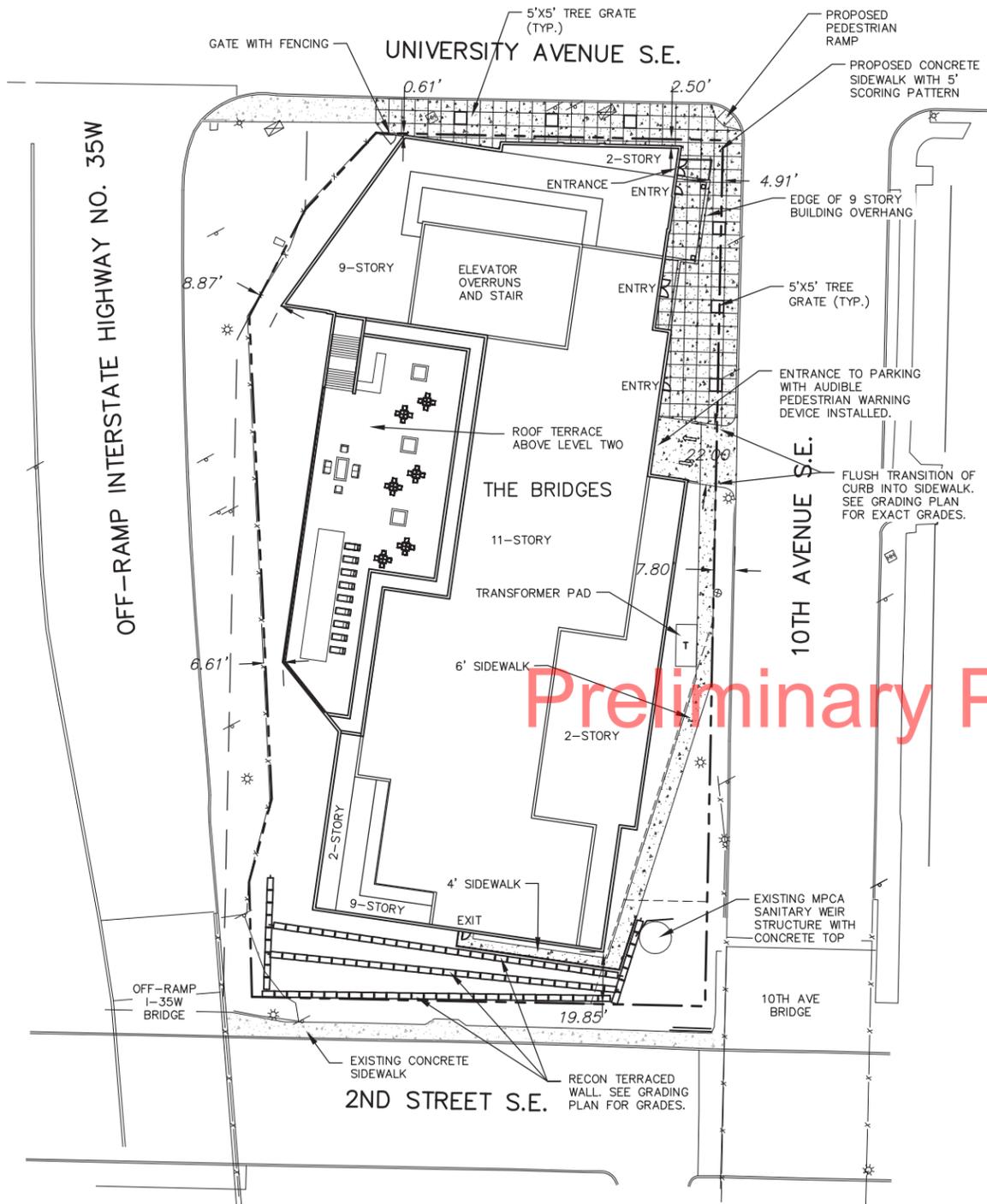
- EXISTING ZONING: C2, NEIGHBORHOOD CORRIDOR COMMERCIAL DISTRICT
- PROPOSED ZONING: OR3, INSTITUTIONAL OFFICE RESIDENCE DISTRICT
- PROPERTY AREA: 56,601 SF (1.30 AC)
- PERVIOUS SURFACE: 12,846 SF (22.7%)
- IMPERVIOUS SURFACE: 43,755 SF (77.3%)
- BUILDING GROSS SIZE: 239,898 SF (EXCLUDING VEHICLE & BICYCLE PARKING AREAS)
- FLOOR-AREA-RATIO (FAR): 3.5
- TOTAL UNITS: 211
- PARKING PROVIDED: 139
- BICYCLE PARKING PROVIDED: 318

### General Site Notes

1. BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES AND ANDERSON ENGINEERING, INC.
2. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
3. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
4. ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS AND RAMPS.
6. ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
8. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
9. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
10. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.
11. ALL WORK ON CURBS, DRIVEWAYS, AND SIDEWALKS WITHIN PUBLIC RIGHT OF WAY MUST BE DONE TO CITY STANDARDS AND SPECIFICATIONS BY A LICENSED AND BONDED CONTRACTOR UNDER A PERMIT FROM PUBLIC WORKS SIDEWALK SECTION (651-266-6120). SIDEWALK GRADES MUST BE CARRIED ACROSS DRIVEWAYS.
12. RESTORATION OF ASPHALT AND CONCRETE PAVEMENTS ARE PERFORMED BY THE PUBLIC WORKS STREET MAINTENANCE DIVISION. THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT TO THE CITY FOR THE COST OF THESE RESTORATIONS. THE CONTRACTOR SHALL CONTACT PUBLIC STREET MAINTENANCE TO SET UP A WORK ORDER PRIOR TO BEGINNING ANY REMOVALS IN THE STREET AT 651-292-6600. PROCEDURES AND UNIT COSTS ARE FOUND IN STREET MAINTENANCE'S "GENERAL REQUIREMENTS - ALL RESTORATIONS" AND ARE AVAILABLE AT THE PERMIT OFFICE.
13. REFER TO BUILDING FLOOR PLANS FOR BICYCLE PARKING LOCATIONS.

### Site Legend

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP OUT CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	SPECIAL PEDESTRIAN PAVEMENT
---	---	PERVIOUS PAVERS
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST



Preliminary Plan Subject to change



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Date: 01/25/13 Sheet: C3 OF 7

## The Bridges

Minneapolis, Minnesota

### CIVIL SITE PLAN

**Westwood**  
 Westwood Professional Services, Inc.  
 7699 Anagram Drive  
 Eden Prairie, MN 55344  
 PHONE 952-937-5150  
 FAX 952-937-9822  
 TOLL FREE 1-888-937-5150  
 www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.  
**Ryan Bluhm**  
 Date: 01/25/13 License No. 41257

Revisions:

0 - 01/25/13 Land Use Submittal	

Designed:	MAL/CRP
Checked:	MAL/RMB
Drawn:	CRP
Record Drawing by/date:	

Prepared for:

**Doran Companies**  
 7803 Glenroy Road  
 Bloomington, Minnesota 55439

### Minneapolis Standard Erosion Control Notes

(January 7, 2011)

- CONTRACTOR MUST CALL FOR A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO ANY LAND DISTURBANCES (612-673-3867). FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
- INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.
- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH AS THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARP, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
- TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENUDED AREAS.
- READY MIXED CONCRETE AND CONCRETE BATCH PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
- CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
- IF DEWATERING OR PUMPING OF WATER IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND/OR APPROVALS PRIOR TO DISCHARGE OF ANY WATER FROM THE SITE. IF THE DISCHARGE FROM THE DEWATERING OR PUMPING PROCESS IS TURBID OR CONTAINS SEDIMENT LADEN WATER, IT MUST BE TREATED SUCH THAT THE DISCHARGE IS NOT VISIBLY DIFFERENT FROM THE RECEIVING WATER. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCHARGE POINT TO PREVENT SCOUR EROSION. THE CONTRACTOR SHALL PROVIDE A DEWATERING/PUMPING PLAN TO THE EROSION CONTROL INSPECTOR PRIOR TO INITIATING DEWATERING.

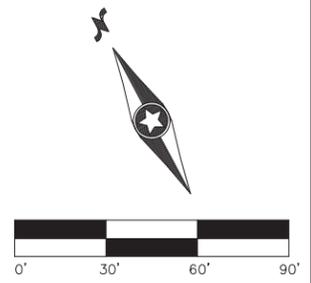
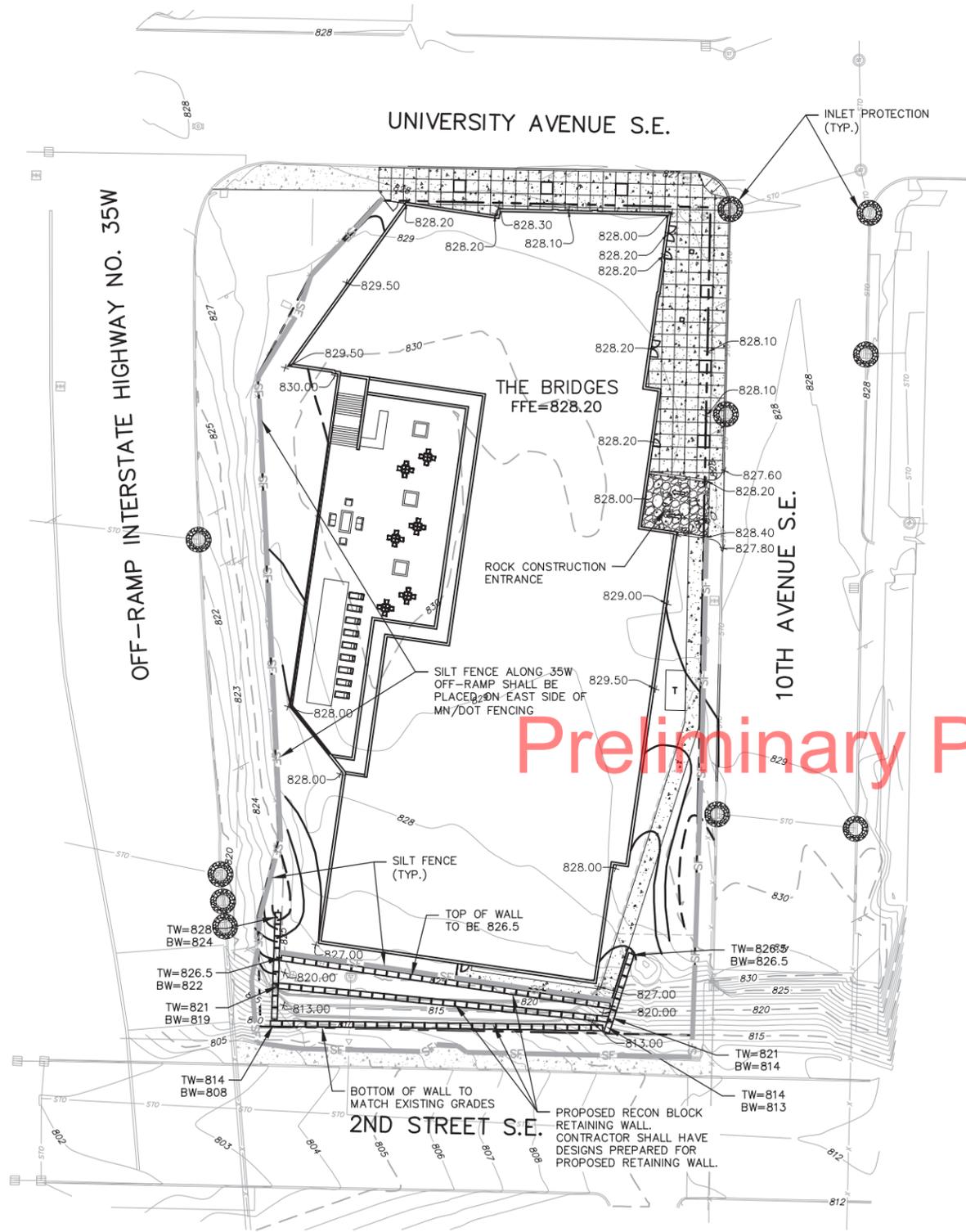
### Grading Notes

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.

### Grading Legend

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	INDEX CONTOUR
---	---	INTERVAL CONTOUR
---	---	CURB AND GUTTER
---	---	SILT FENCE
---	---	STORM SEWER
---	---	WATER MAIN
---	---	SANITARY SEWER
---	---	RETAINING WALL
---	---	DRAIN TILE
---	---	RIDGE LINE
---	---	ROCK CONSTRUCTION ENTRANCE
---	---	EROSION CONTROL BLANKET
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	TOP AND BOTTOM OF RETAINING WALL
---	---	EMERGENCY OVERTFLOW
---	---	INLET PROTECTION

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Date: 01/25/13 Sheet: C4 OF 7

**Westwood**  
 Westwood Professional Services, Inc.  
 7699 Anagram Drive  
 Eden Prairie, MN 55344  
 PHONE 952-937-5150  
 FAX 952-937-9822  
 TOLL FREE 1-888-937-5150  
 www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.  
**Ryan Bluhm**  
 Date: 01/25/13 License No. 41257

Revisions:

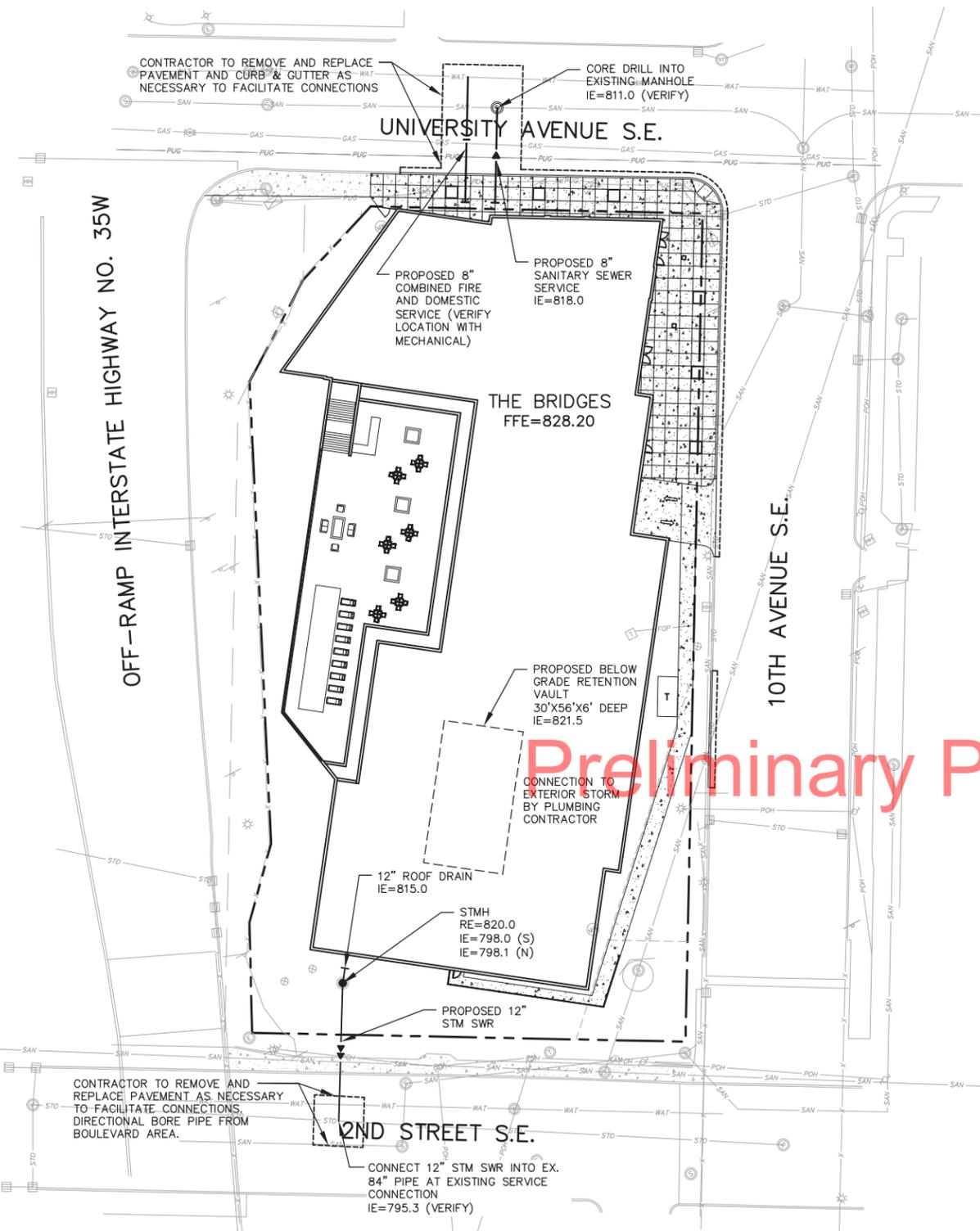
0 - 01/25/13 Land Use Submittal
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Designed:	MAL/CRP
Checked:	MAL/RMB
Drawn:	CRP
Record Drawing by/date:	

Prepared for:  
**Doran Companies**  
 7803 Glenroy Road  
 Bloomington, Minnesota 55439

**The Bridges**  
 Minneapolis, Minnesota

**GRADING, DRAINAGE,  
 & EROSION CONTROL  
 PLAN**



**General Utility Notes**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SANITARY SEWER, STORM SEWER AND WATER MAIN INSTALLATIONS SHALL BE PER MINNESOTA PLUMBING CODE AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
3. REMOVALS OF ALL PRIVATE UTILITIES SHALL BE IN ACCORDANCE WITH CITY OF MINNEAPOLIS SPECIFICATIONS.
4. WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
5. A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER MAIN CROSSINGS WITH SANITARY SEWER OR STORM SEWER.
6. UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
7. ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
8. SANITARY SEWER SHALL BE SCHEDULE 40 WITH ASTM APPROVED PRIMED AND GLUED JOINTS.
9. CONTRACTOR SHALL COORDINATE WITH CITY FOR PERMIT AND CITY TAP OF WATER MAIN.
10. CONTRACTOR SHALL CONFIRM LOCATION OF SERVICE ENTRY AT BUILDING.
11. PERMITS WILL BE REQUIRED FOR THIS WORK.
12. RECORD DRAWINGS OF ALL STORMWATER RELATED INFRASTRUCTURE ARE REQUIRED WITHIN 30 DAYS OF PROJECT COMPLETION.

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**Utility Legend**

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
--- SAN ---	--- SAN ---	SANITARY SEWER
--- STO ---	--- STO ---	STORM SEWER
--- WAT ---	--- WAT ---	WATER MAIN
--- WAT ---	--- WAT ---	HYDRANT
--- GAS ---	--- GAS ---	GAS
--- PUG ---	--- PUG ---	UNDERGROUND ELECTRIC
--- POH ---	--- POH ---	OVERHEAD ELECTRIC
--- TUG ---	--- TUG ---	UNDERGROUND TELEPHONE
--- G ---	--- G ---	GATE VALVE
☀	☀	LIGHT POLE



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Date: 01/25/13 Sheet: C5 OF 7

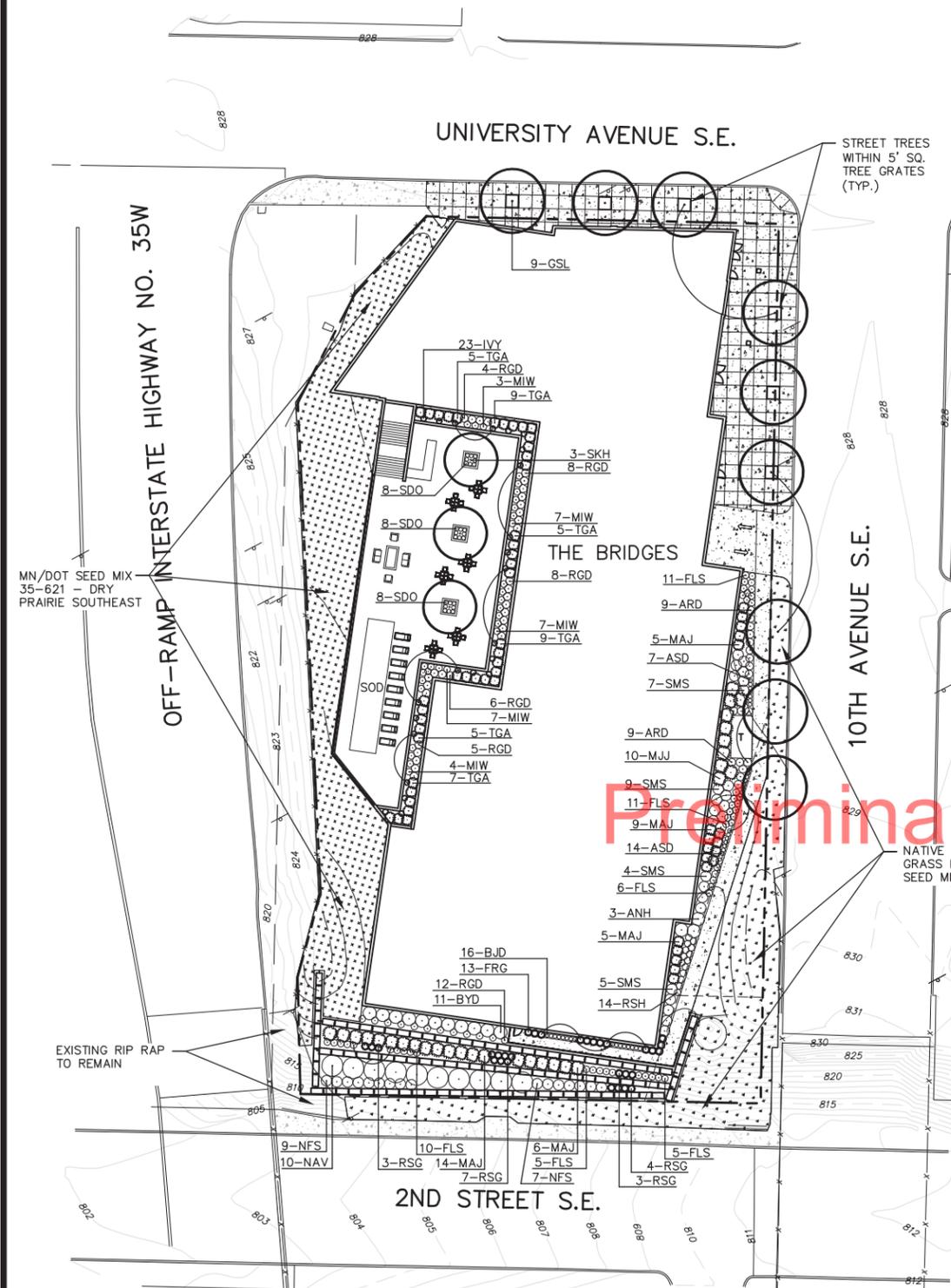
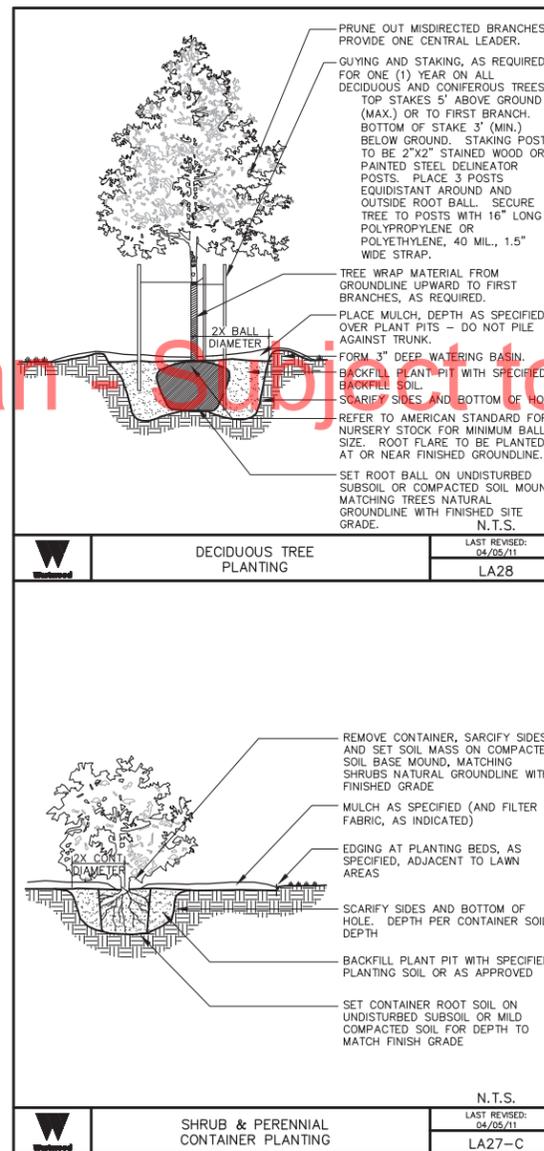
**Plant Schedule**

CODE	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING O.C.
SKH	3	Skyline Honeylocust / <i>Gleditsia triacanthos inermis</i> 'Skycole'	2.5" BB	AS SHOWN
GSL	9	Greenspire Linden / <i>Tilia cordata</i> 'Greenspire'	3.5" BB	AS SHOWN
TGA	40	Techny Globe Arborvitae / <i>Thuja occidentalis</i> 'Techny Globe'	3' BB	4'-0" O.C.
NAV	10	Nannyberry Viburnum / <i>Viburnum lentago</i>	36" HT., POT	5'-0" O.C.
MJJ	10	Mint Julep Juniper / <i>Juniperus chinensis</i> 'Monlep'	24" SPRD., POT	4'-0" O.C.
MAJ	39	Maney Juniper / <i>Juniperus chinensis</i> 'Manlep'	24" SPRD., POT	4'-0" O.C.
BYD	11	Bud's Yellow Dogwood / <i>Cornus sericea</i> 'Bud's Yellow'	30" HT., POT	5'-0" O.C.
RGD	43	Red Gnome Dogwood / <i>Cornus alba sibirica</i> 'Red Gnome'	30" HT., POT	4'-0" O.C.
ARD	18	Artic Sun Dogwood / <i>Cornus sanguinea</i> 'Cato'	24" HT., POT	3'-0" O.C.
MIW	28	Minuet Weigela / <i>Weigela florida</i> 'Minuet'	24" HT., POT	30" O.C.
ANH	3	Annabelle Hydrangea / <i>Hydrangea arborescens</i> 'Annabelle'	24" HT., POT	4'-0" O.C.
SMS	25	Snowmound Spirea / <i>Spiraea nipponica</i> 'Snowmound'	30" HT., POT	4'-0" O.C.
NFS	16	Neon Flash Spirea / <i>Spiraea japonica</i> 'Neon Flash'	24" HT., POT	3'-0" O.C.
FLS	48	Fire Light Spirea / <i>Spiraea</i> 'Fire Light'	18" HT., POT	2'-0" O.C.
ASD	21	Apricot Sparkies Daylily / <i>Hemerocallis</i> 'Apricot Sparkies'	NO. 1 CONT.	12" O.C.
BJD	16	Baja Daylily / <i>Hemerocallis</i> 'Baja'	NO. 1 CONT.	18" O.C.
SDO	24	Stella de Oro Daylily / <i>Hemerocallis</i> 'Stella de Oro'	NO. 1 CONT.	12" O.C.
RSH	14	Royal Standard Hosta / <i>Hosta</i> 'Royal Standard'	NO. 1 CONT.	16" O.C.
IVY	23	Engelmann Ivy / <i>Parthenocissus quinquefolia</i> 'Engelmanni'	NO. 1 CONT.	AS SHOWN
RSG	17	Red Switch Grass / <i>Panicum virgatum</i> 'Shenandoah'	NO. 1 CONT.	30" O.C.
FRG	13	Feather Reed Grass / <i>Calamagrostis</i> 'Brachtricha'	NO. 1 CONT.	36" O.C.

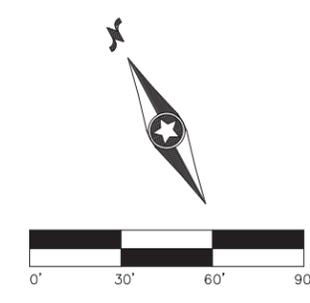
NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

**Planting Notes**

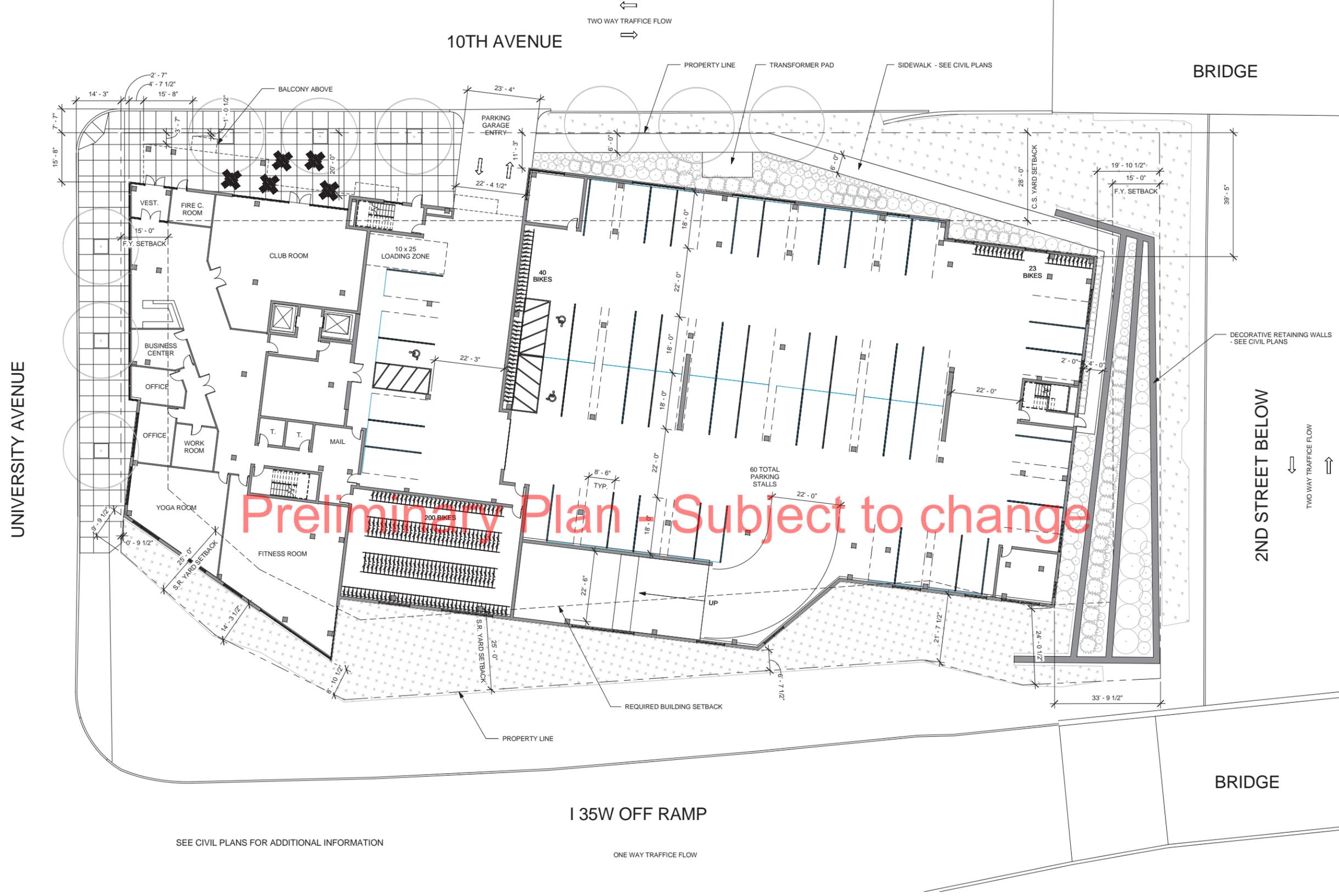
- CONTRACTOR SHALL CONTACT GOPHER "ONE CALL" (651-454-0002 or 800-252-1166) TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:  
 ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.  
 ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.  
 ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.  
 ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.  
 CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNL & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SEED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MNDOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.



Preliminary Plan - Subject to change





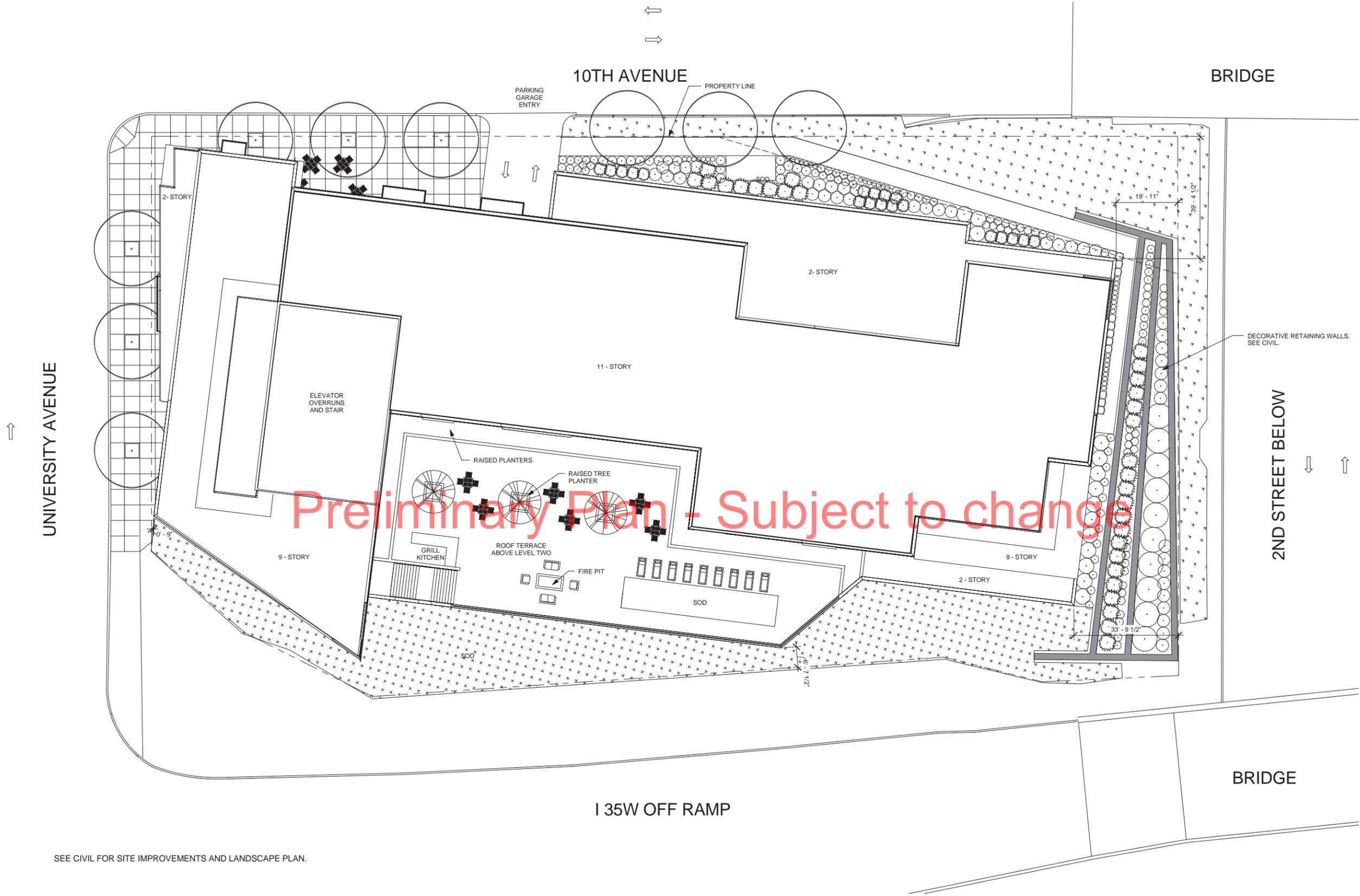


Preliminary Plan - Subject to change

1 Site Plan  
1/16" = 1'-0"



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Preliminary Plan - Subject to change

SEE CIVIL FOR SITE IMPROVEMENTS AND LANDSCAPE PLAN.

① Massing Diagram  
1/16" = 1'-0"



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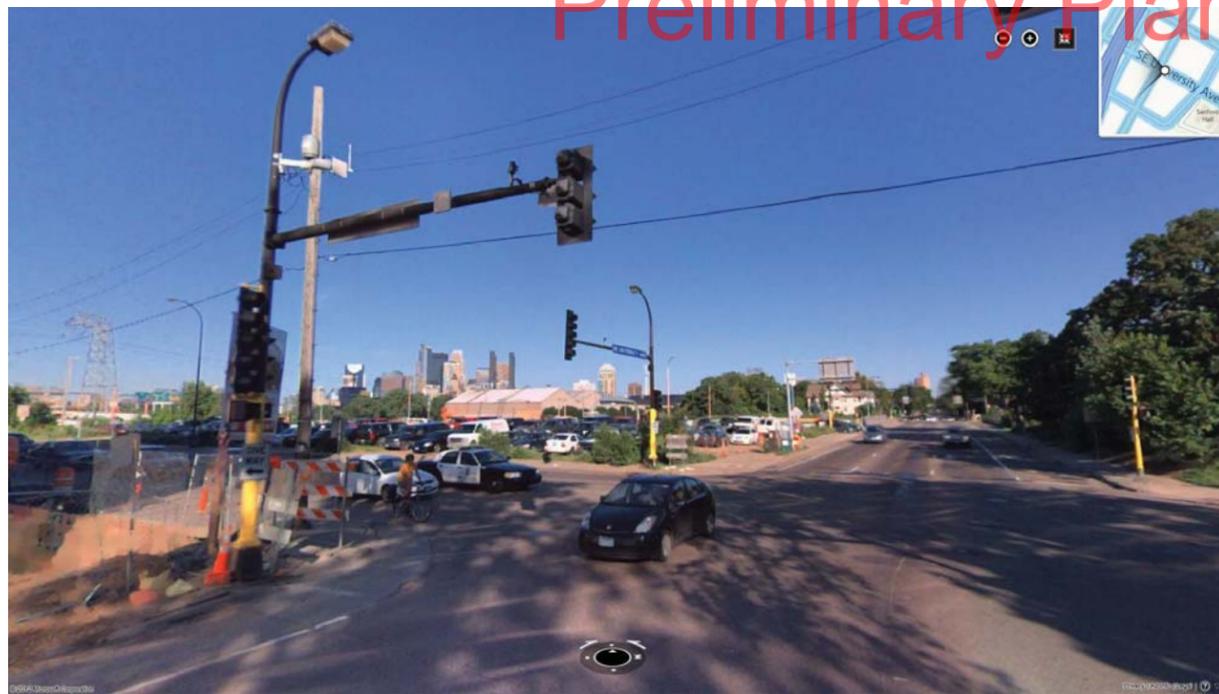


① Context Photo- on 35W  
1/2" = 1'-0"



③ Context Photo- 10th St Bridge  
1/2" = 1'-0"

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② Context Photo- University Ave  
1/2" = 1'-0"



④ Context Photo- 10th and University  
1/2" = 1'-0"

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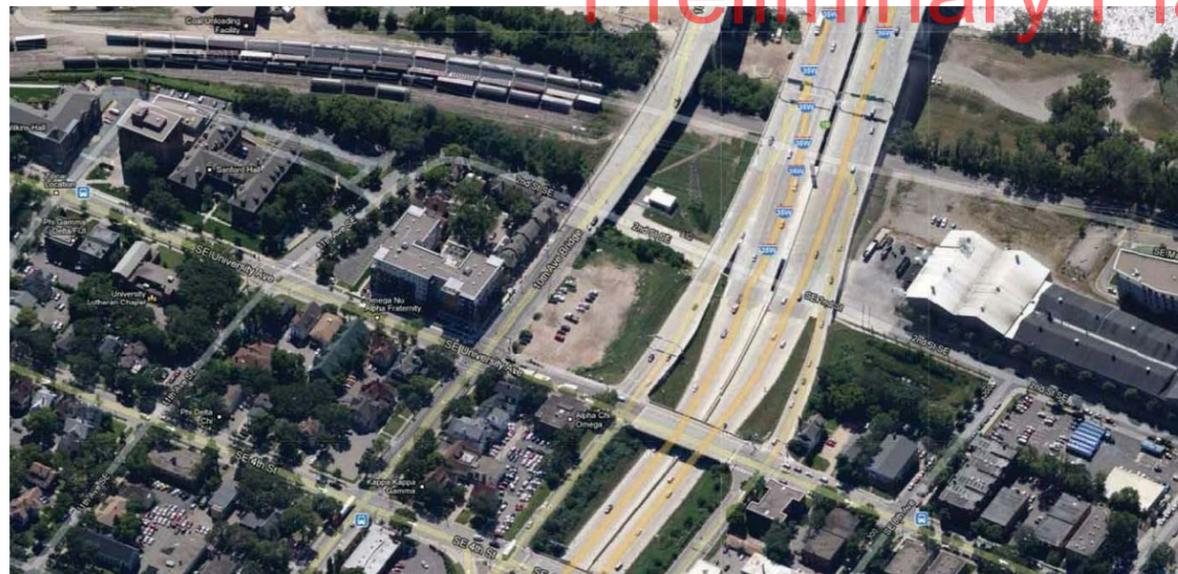


① Aerial View - Northeast  
1/8" = 1'-0"

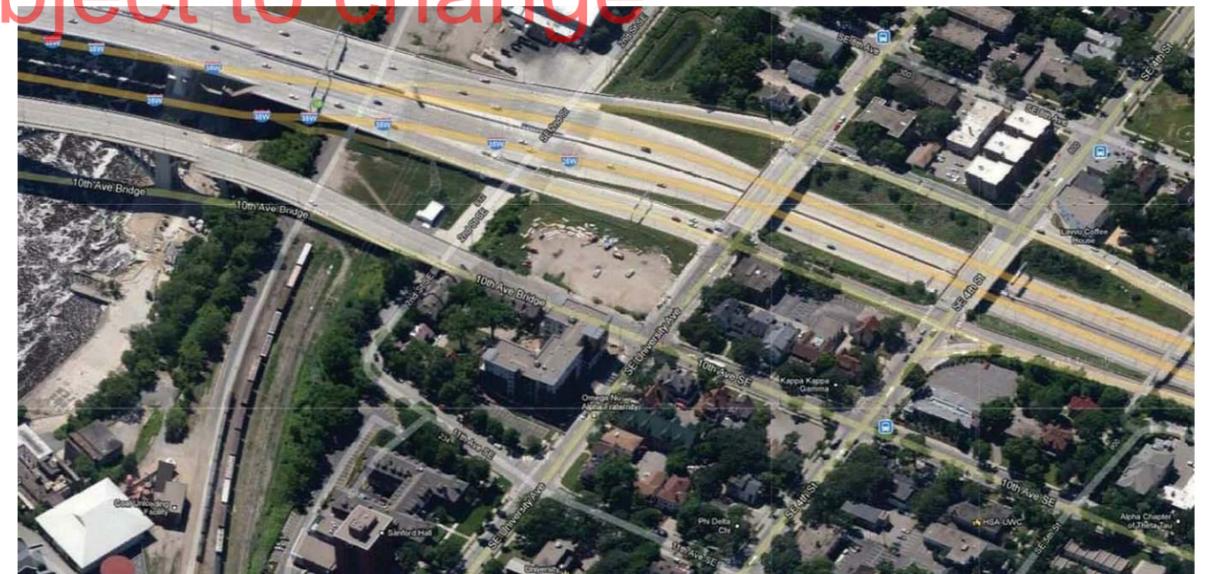


② Aerial View - Northwest  
1/8" = 1'-0"

Preliminary Plan - Subject to change



③ Aerial View - Southeast  
1/8" = 1'-0"



④ Aerial View - Southwest  
1/8" = 1'-0"



⑤ Shadow Study June 9am  
1" = 160'-0"



⑥ Shadow Study June 12pm  
1" = 160'-0"



④ Shadow Study June 3pm  
1" = 160'-0"



⑧ Shadow Study September 9am  
1" = 160'-0"



⑨ Shadow Study September 12pm  
1" = 160'-0"



⑦ Shadow Study September 3pm  
1" = 160'-0"



② Shadow Study December 9am  
1" = 160'-0"



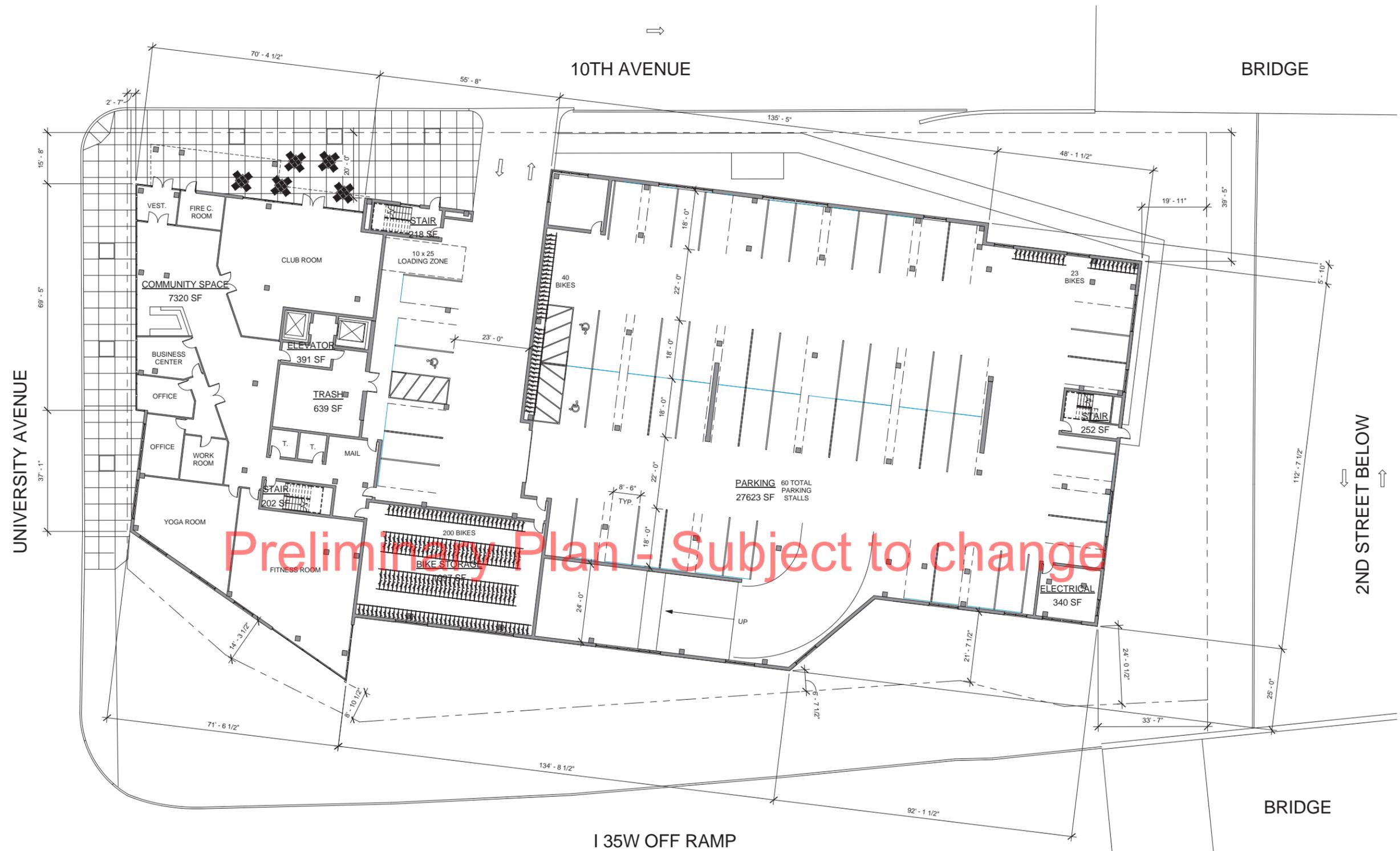
③ Shadow Study December 12pm  
1" = 160'-0"



① Shadow Study December 3pm  
1" = 160'-0"

Preliminary Plan - Subject to change

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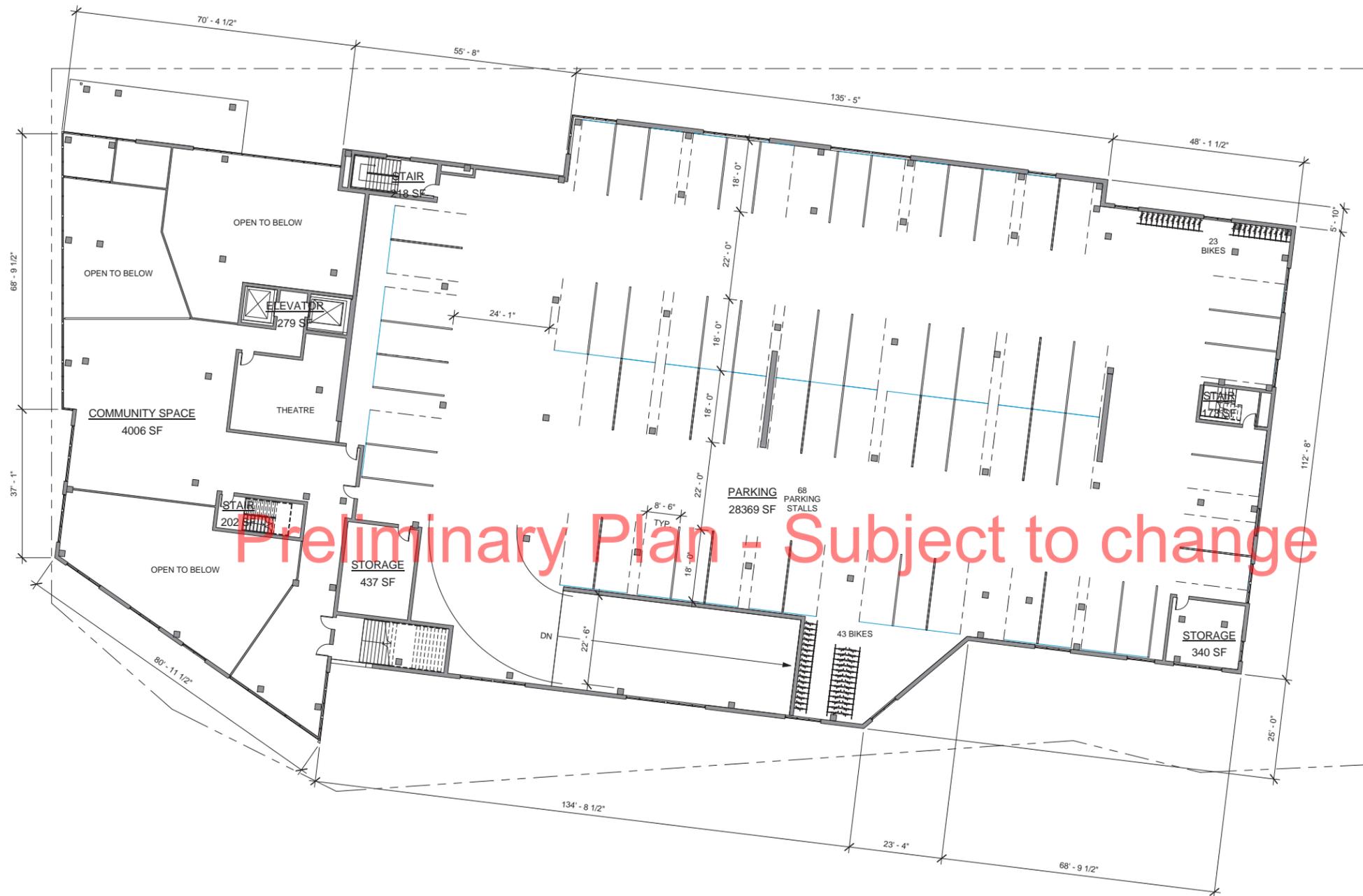


Preliminary Plan - Subject to change

① Level 1  
1/16" = 1'-0"



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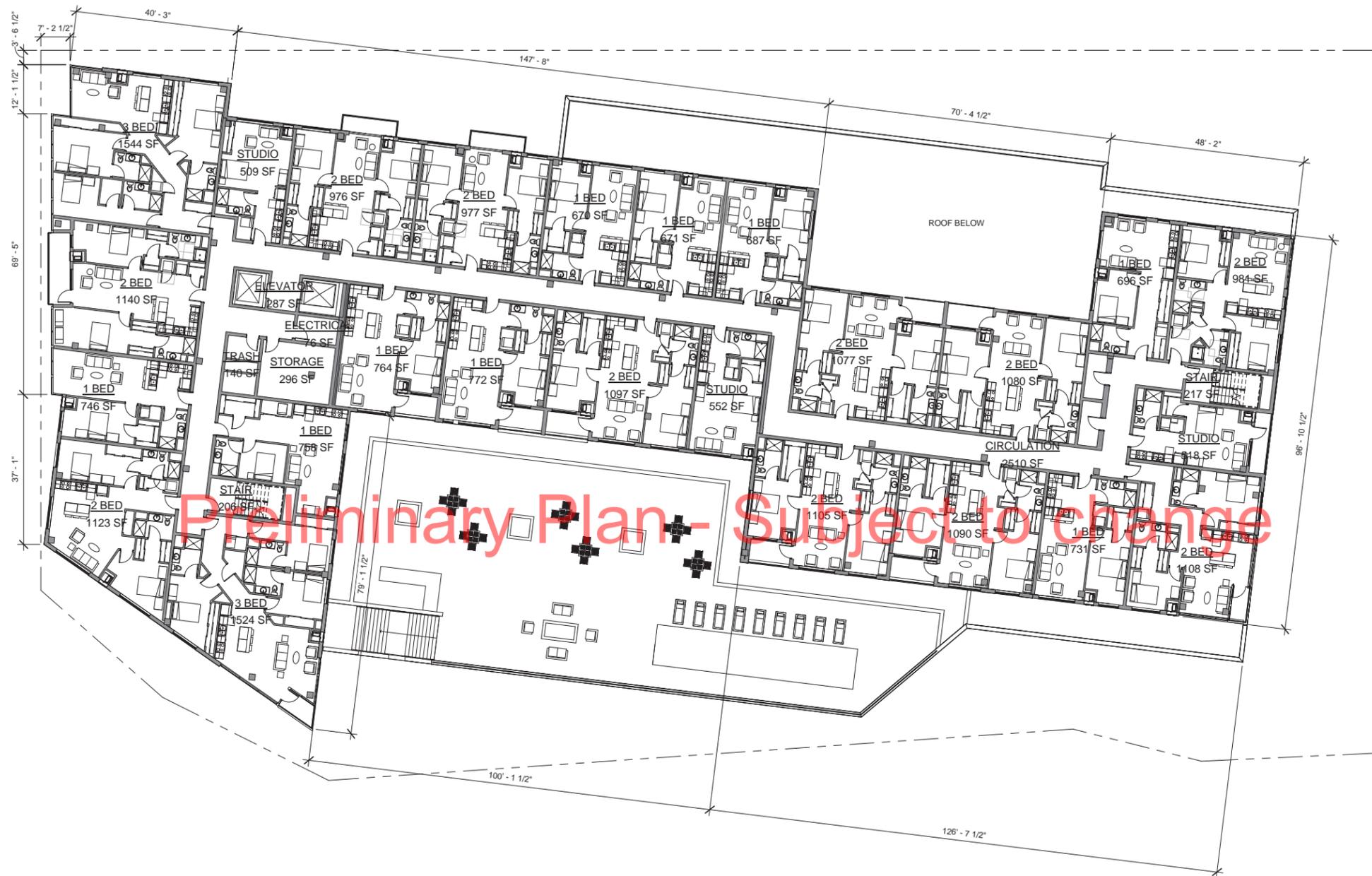


Preliminary Plan - Subject to change

① Level 2  
1/16" = 1'-0"



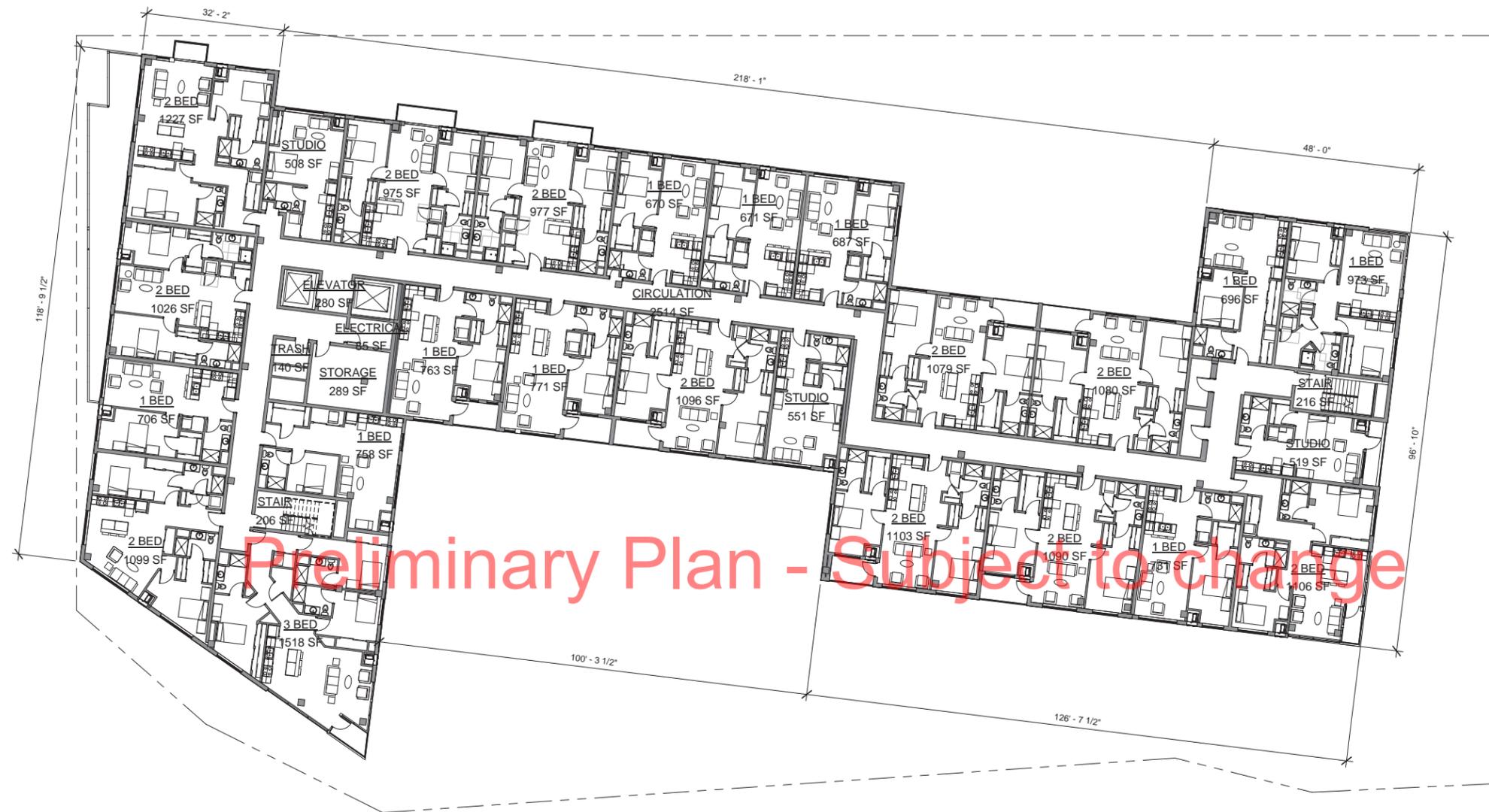
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Preliminary Plan - Subject to change

① Level 3  
1/16" = 1'-0"

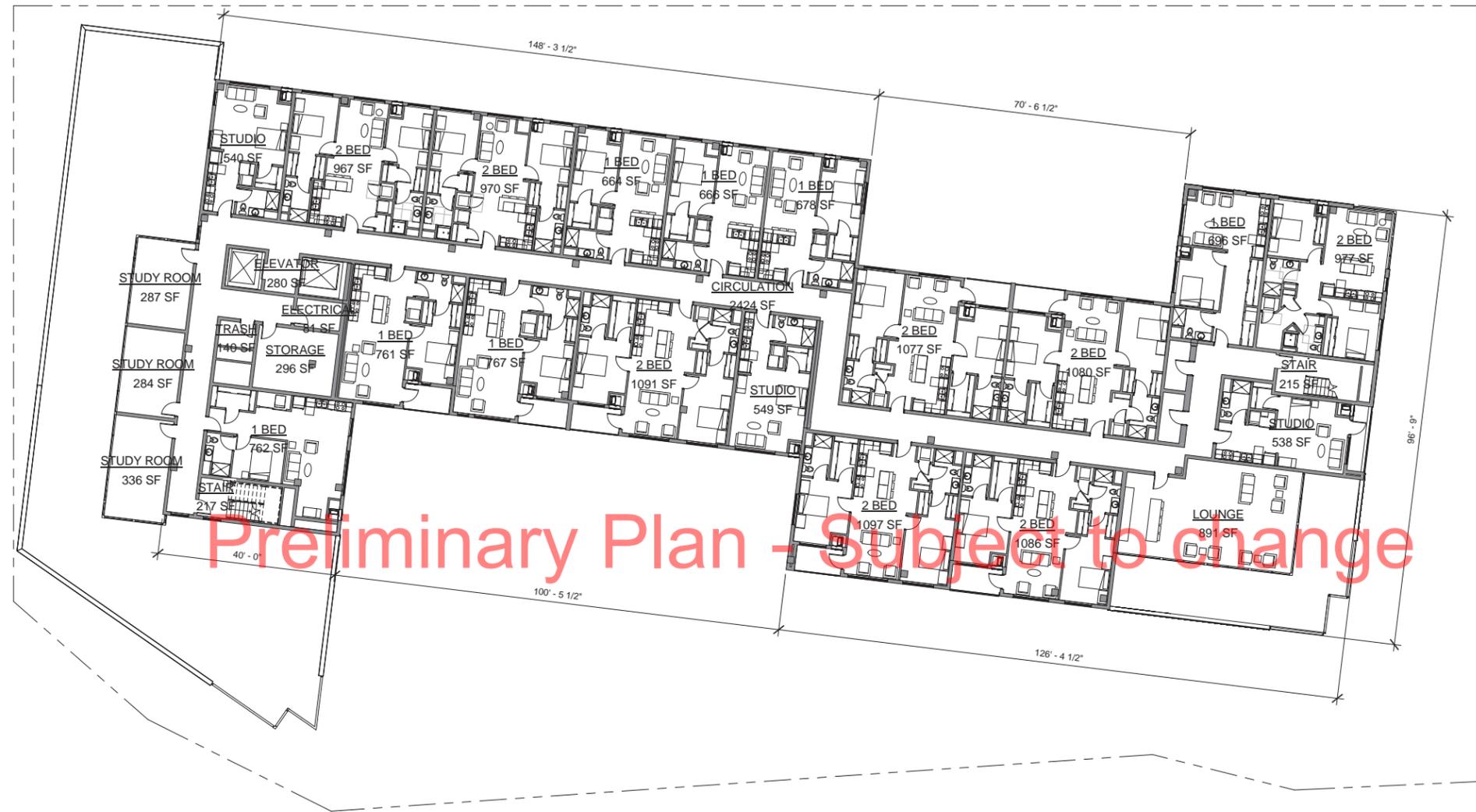




Preliminary Plan - Subject to change

① Level 5  
1/16" = 1'-0"

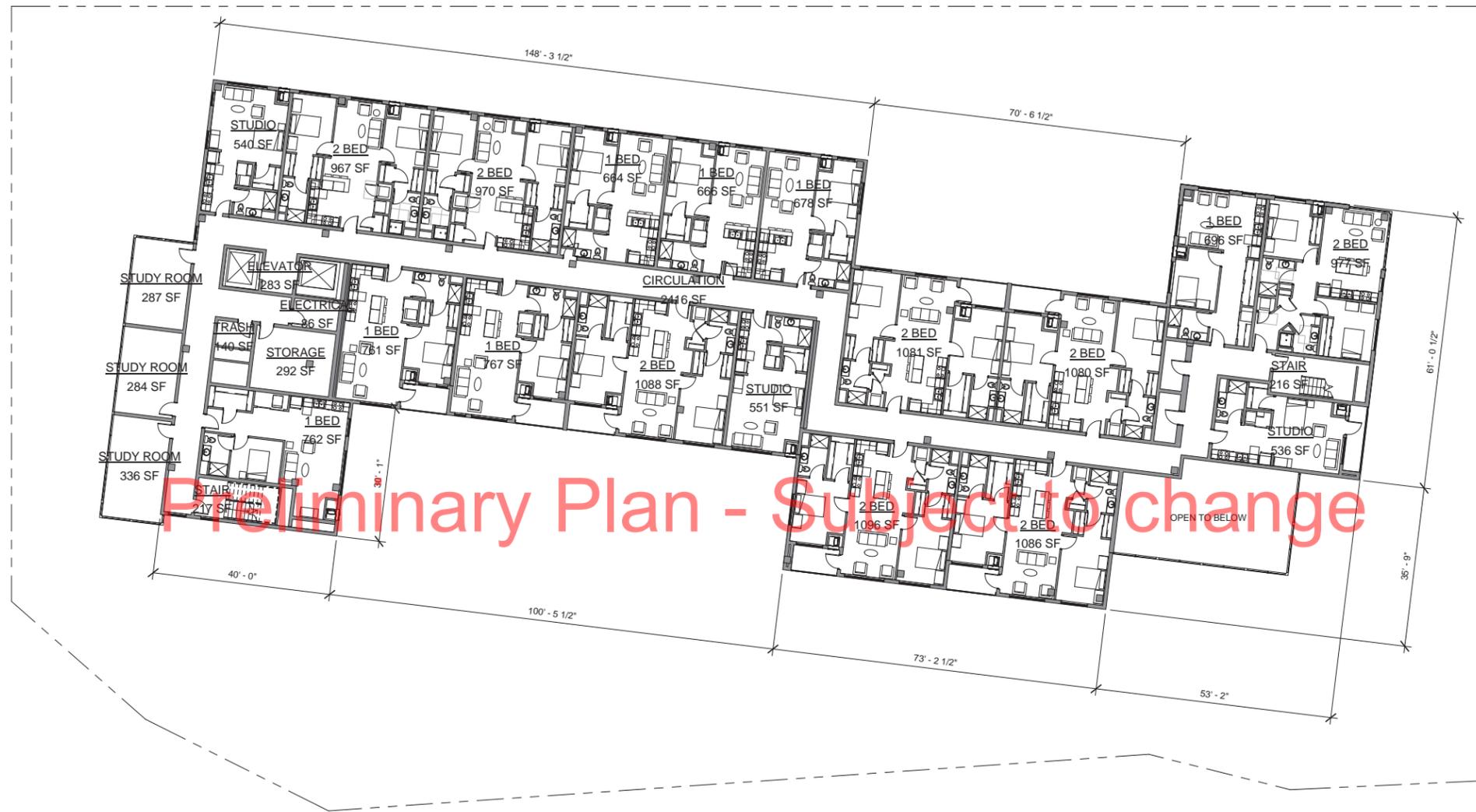




① Level 10  
1/16" = 1'-0"



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① Level 11  
1/16" = 1'-0"





① East Elevation - Colored  
1/16" = 1'-0"



② West Elevation - Colored  
1/16" = 1'-0"

Preliminary Plan - Subject to change

EXTERIOR MATERIAL LEGEND	
1A	ARCHITECTURAL PRECAST CONCRETE
2A	BRICK VENEER - COLOR #1
2B	BRICK VENEER - COLOR #2
4A	PREFINISHED METAL PANEL (FLAT) - COLOR #1
4B	PREFINISHED METAL PANEL (FLAT) - COLOR #2
4C	PREFINISHED METAL PANEL (FLAT) - COLOR #3
4D	PREFINISHED METAL PANEL (FLAT) - COLOR #4
5A	PREFINISHED ALUMINUM CURTAINWALL
5B	ALUMINUM WINDOW
5C	PREFINISHED ALUMINUM CURTAINWALL - TINTED GLASS
6A	PREFINISHED METAL CANOPY
7A	STONE VENEER

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① North Elevation - Colored  
1/16" = 1'-0"



② South Elevation - Colored  
1/16" = 1'-0"

### EXTERIOR MATERIAL LEGEND

- 1A ARCHITECTURAL PRECAST CONCRETE
- 2A BRICK VENEER - COLOR #1
- 2B BRICK VENEER - COLOR #2
- 4A PREFINISHED METAL PANEL (FLAT) - COLOR #1
- 4B PREFINISHED METAL PANEL (FLAT) - COLOR #2
- 4C PREFINISHED METAL PANEL (FLAT) - COLOR #3
- 4D PREFINISHED METAL PANEL (FLAT) - COLOR #4
- 5A PREFINISHED ALUMINUM CURTAINWALL
- 5B ALUMINUM WINDOW
- 5C PREFINISHED ALUMINUM CURTAINWALL - TINTED GLASS
- 6A PREFINISHED METAL CANOPY
- 7A STONE VENEER





① North Elevation  
1/16" = 1'-0"



② South Elevation  
1/16" = 1'-0"

### EXTERIOR MATERIAL LEGEND

1A	ARCHITECTURAL PRECAST CONCRETE
2A	BRICK VENEER - COLOR #1
2B	BRICK VENEER - COLOR #2
4A	PREFINISHED METAL PANEL (FLAT) - COLOR #1
4B	PREFINISHED METAL PANEL (FLAT) - COLOR #2
4C	PREFINISHED METAL PANEL (FLAT) - COLOR #3
4D	PREFINISHED METAL PANEL (FLAT) - COLOR #4
5A	PREFINISHED ALUMINUM CURTAINWALL
5B	ALUMINUM WINDOW
5C	PREFINISHED ALUMINUM CURTAINWALL - TINTED GLASS
6A	PREFINISHED METAL CANOPY
7A	STONE VENEER



① Exterior Concept Image - Southwest View  
12" = 1'-0"

2/4/2013 12:38:59 PM



① Exterior Concept Image - Southeast View  
12" = 1'-0"

2/4/2013 12:15:33 PM



① Exterior Concept Image - Northeast View  
1/2" = 1'-0"

2/4/2013 12:15:00 PM



Preliminary Plan - Subject to change

① Exterior Concept Image - Northwest View  
12" = 1'-0"

2/4/2013 12:16:03 PM