

CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota.

(PRINTED ARCHITECT'S NAME) Date

#XXXXXX (LICENSE NUMBER)
License Number

REVISIONS	No.	DATE

DATE	
DRAWN BY	XXX
CHECKED BY	XXX
COMMISSION NO.	139357

WINDOW LEGEND

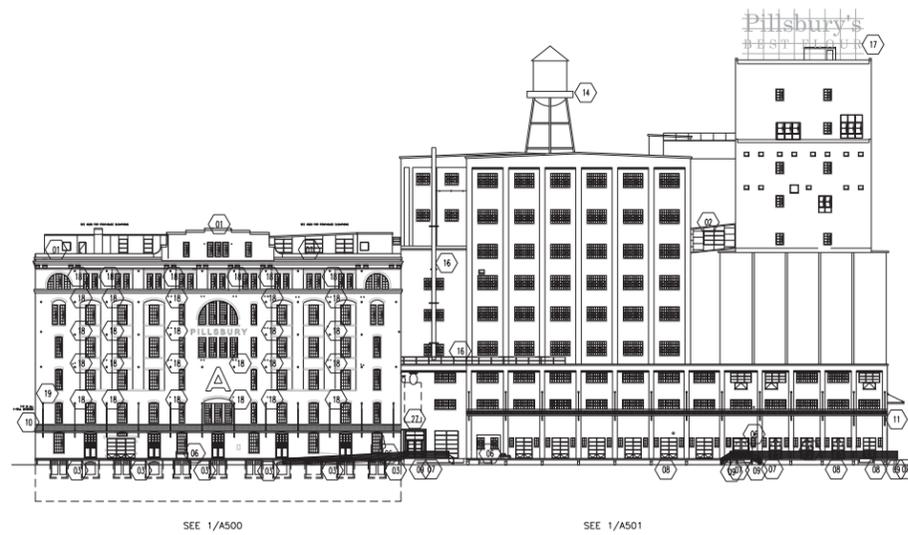
- ◀XXX-H▶ EXISTING HISTORICAL WINDOW/DOOR TO BE REFURBISHED
- ◀XXX-S▶ EXISTING WINDOW TO BE REPLACED W/ NEW HISTORIC PROFILE WINDOW/DOOR
- ◀XXX-C▶ NEW WINDOW IN EXISTING OPENING
- ◀XXX-N▶ NEW WINDOW IN NON-HISTORIC OPENING

EXTERIOR ELEVATION GENERAL NOTES

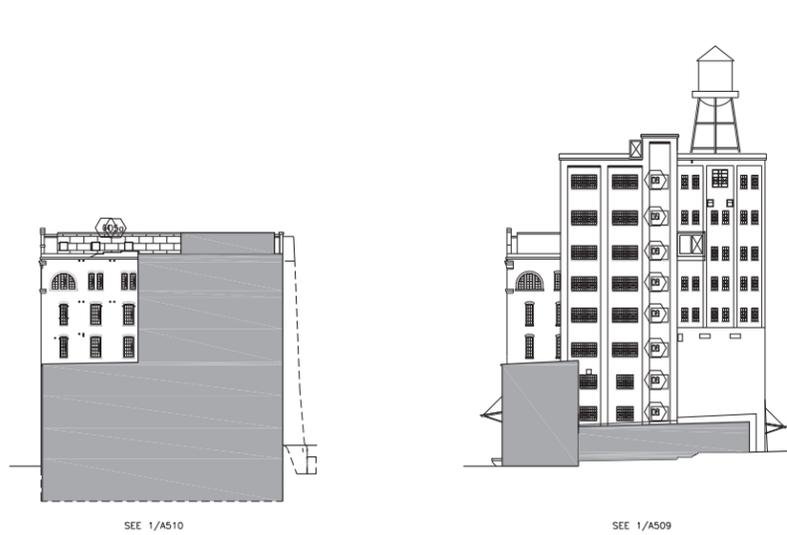
- EACH OPENING (DOOR, WINDOW, ETC.), NEW OR EXISTING, IS NUMBERED UNIQUELY FOR REFERENCE. OPENING NUMBER IS FOUND AT THE BOTTOM RIGHT-HAND CORNER OF THE OPENING.
- DOOR AND WINDOW TYPES, NEW OR EXISTING, ARE NOTED ON THE ELEVATIONS USING ALPHABETICAL TYPE MARKINGS. REFER TO SHEET A950 FOR DOOR AND WINDOW TYPES.
- ENTIRE EXTERIOR OF BUILDING SHALL BE CLEANED AFTER ALL EXTERIOR RESTORATION, RE-POINTING, AND WINDOW AND DOOR REPLACEMENT.
- CLEAN BRICK WHERE BACKFILL AND/OR CONCRETE SLABS HAVE BEEN REMOVED AND REMAINING HISTORIC BRICK IS TO BE EXPOSED TO VIEW.
- PROVIDE 1/8" THICK KYNAR-PAINTED FORMED ALUMINUM SILL AT ALL NEW MASONRY OPENINGS WITH NEW WINDOWS. SILL SHALL HAVE A SHALLOW SLOPE AT HORIZONTAL SURFACE TURNED-DOWN TO -1" VERTICAL FACE AT OUTSIDE EDGE. REFER TO WINDOW DETAILS REFERENCED FROM SHEET A950.
- AT HOLES IN EXISTING BRICK WALL:
 - WHERE HOLE IN BRICK WALL IS LESS THAN 4" IN DIMENSION PATCH HOLES WITH MORTAR TO MATCH EXISTING ADJACENT MORTAR.
 - WHERE HOLE IN BRICK WALL IS LESS THAN 4" IN DIMENSION, BUT LESS THAN 2 SQUARE FEET, PATCH WITH BRICK OF LIKE TYPE SALVAGED FROM OTHER AREAS OF BUILDING.
 - WHERE BRICK INFILL IS NEEDED FOR AN AREA GREATER THAN 2 SQUARE FEET, CONTRACTOR HAS OPTION OF: 1. INFILL WITH SALVAGED BRICK OR 2. INFILL WITH REPLACEMENT BRICK THAT MATCHES EXISTING. NEW BRICK SHALL MATCH SIZE, COLOR, TEXTURE, FINISH AND APPROXIMATE FLASH/COLOR VARIATION.
- REMOVE FASTENERS WHERE SIGNAGE WAS ATTACHED AND PATCH HOLES.
- CLEAN AND REPAIR ALL EXISTING MASONRY FOUNDATION WALLS WHERE NEW WINDOW WELLS ARE BEING ADDED OR EXISTING WINDOW WELLS ARE BEING RESTORED. PROVIDE NEW WATER PROOF MEMBRANE AND DRAINAGE TILE ALONG ENTIRE EXPOSED AREA.
- WHERE HISTORIC MASONRY CRENLINATION HAS BEEN REMOVED, IF NOT PRESENT ON SITE PATCH AND REPAIR ADJACENT MASONRY FOR WEATHER TIGHT CONDITION.

EXTERIOR ELEVATION KEY NOTES

- 01 REFURBISH OR REPLACE EXISTING STONE/TERRAZZO PARAPET CAP AS REQUIRED TO RETURN TO HISTORIC CONDITION
- 02 NEW ROOFTOP CONNECTING WALK WAY SEE DETAIL SHEET A631
- 03 NEW STEEL LOADING DOCK AND CONCRETE WINDOW WELL, SEE SHEET A630
- 04 NEW METAL WALL/ROOF PANEL FINISH TO MATCH EXISTING ROOF PANELS AND ACCENT VENTS
- 05 NEW METAL WALL PANEL
 - 05a GALVANIZED FLAT SHEET W/ EXPOSED FASTENER
 - 05b GALVANIZED, CORRUGATED PROFILE
 - 05c CORTEN STEEL FLAT SHEET W/ EXPOSED FASTENER
 - 05d CORTEN STEEL, CORRUGATED PROFILE
- 06 INFILL MASONRY TO MATCH ADJACENT
- 07 NEW STEEL (GALV. & PAINTED) RAILINGS AND GUARDRAILS
- 08 REFURBISHED (IF FEASIBLE), OR REPLACE CONCRETE DOCK-NEW LIGHT WELLS AND STAIRS SEE STRUCTURAL DRAWING FOR REPLACEMENT
- 09 NEW CONCRETE LOADING DOCK TO MATCH EXISTING HISTORIC
- 10 NEW METAL CANOPY TO MATCH HISTORIC CANOPIES- CONTRACTOR SHALL VERIFY ALL HISTORIC ELEMENTS, REPLACE TO MATCH HISTORIC APPEARANCE. SEE A630
- 11 REFURBISHED (IF POSSIBLE), OR REPLACE HISTORIC METAL CANOPY AND TURNBUCKLES
- 12 NEW ALUMINUM LOUVER TO MATCH HISTORIC LOUVER
- 13 EXISTING ROOF EQUIPMENT REFURBISH IN PLACE
- 14 EXISTING ROOF STRUCTURE TO BE RETAINED IN PART. REBUILD ANY DAMAGED TO A LIKE NEW CONDITION
- 15 EXISTING FLOOR STRUCTURE TO BE RETAINED IN PART. REBUILD ANY DAMAGED TO A LIKE NEW CONDITION
- 16 EXISTING STEEL ELEMENT TO BE RETAINED. REFINISH AS REQUIRED
- 17 REPLACE EXISTING ILLUMINATED SIGN W/ NEW LED SIGN TO MATCH EXISTING HISTORIC APPEARANCE
- 18 NEW STEEL COVER PLATE FOR STRUCTURAL WALL BRACING
- 19 REBUILD & REPLACE W/ NEW STONE SILL TO RECREATE ORIGINAL HISTORIC CONDITION
- 20 REBUILD HISTORIC PLASTER W/ NEW BRICK TO MATCH HISTORIC CONDITION
- 21 PATCH ROOF SUPPORT POCKETS W/ NEW BRICK TO MATCH EXISTING
- 22 REPAIR/REPLACE EXISTING TO MATCH ADJACENT ARCH. DTLS. & FENESTRATION TO RETURN TO ORIGINAL HISTORIC CONDITION
- 23 EXISTING STEEL CATWALK/BRIDGE TO BE REFURBISHED & REMAIN
- 24 AREAS WHERE DAMAGED MASONRY WAS OBSERVED ON SITE.
- 25 INFILL EXISTING OPENING IN MASONRY WALL MATCH ADJACENT MATERIAL, WATER PROOF AS REQUIRED, SEE GENERAL NOTES
- 26 NEW ELEVATOR OR STAIR SHAFT, LIMIT HEIGHT TO NO MORE THAN PREVIOUS SHAFT
- 27 NEW BUILDING SIGN
- 28 EXISTING CONVEYOR ENCLOSURE. REFURBISH/REPAIR AS REQUIRED TO WEATHER TIGHT CONDITION. REFINISH OR REPLACE ALL DAMAGED WALL, FLOOR OR ROOF PANELS.
- 29 NEW PREFINISHED METAL CAP FLASHING TO MATCH ADJACENT FINISH
- 30 NEW BUILDING MOUNTED LIGHT AS SCHEDULED
- 31 NEW METAL COPING TO MATCH HISTORIC PROFILE
- 32 NEW BUILDING LIGHTING



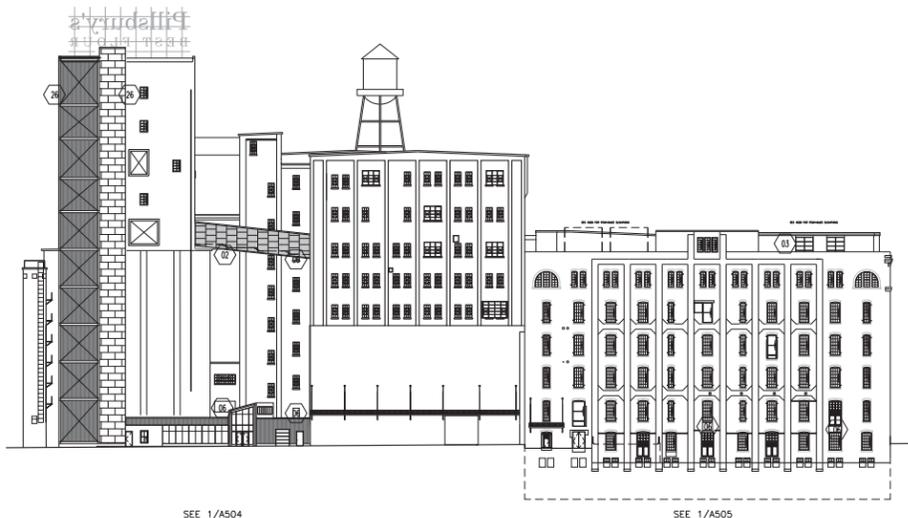
1 WEST EXTERIOR ELEVATION
A500A 1/32"=1'-0"



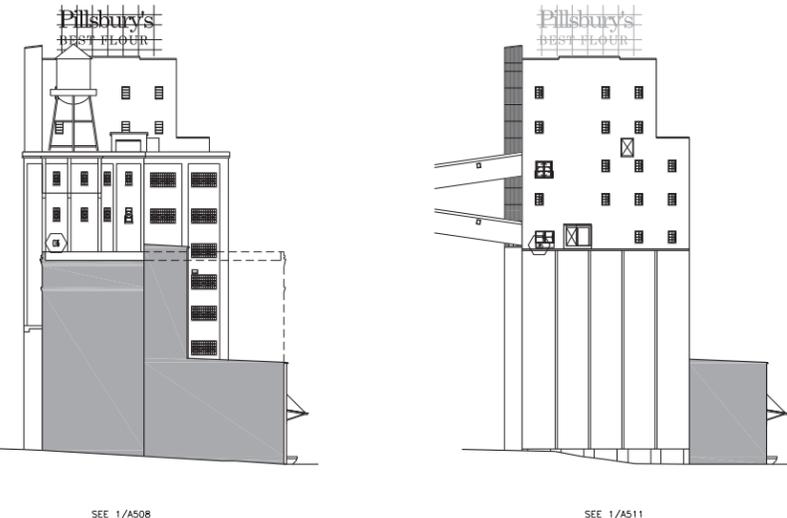
5 PARTIAL SOUTH EXTERIOR ELEVATION
A500A 1/32"=1'-0"



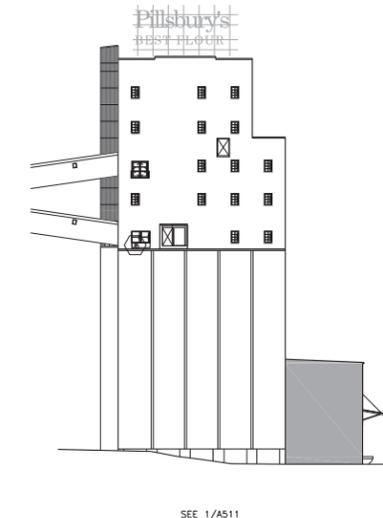
6 PARTIAL SOUTH EXTERIOR ELEVATION
A500A 1/32"=1'-0"



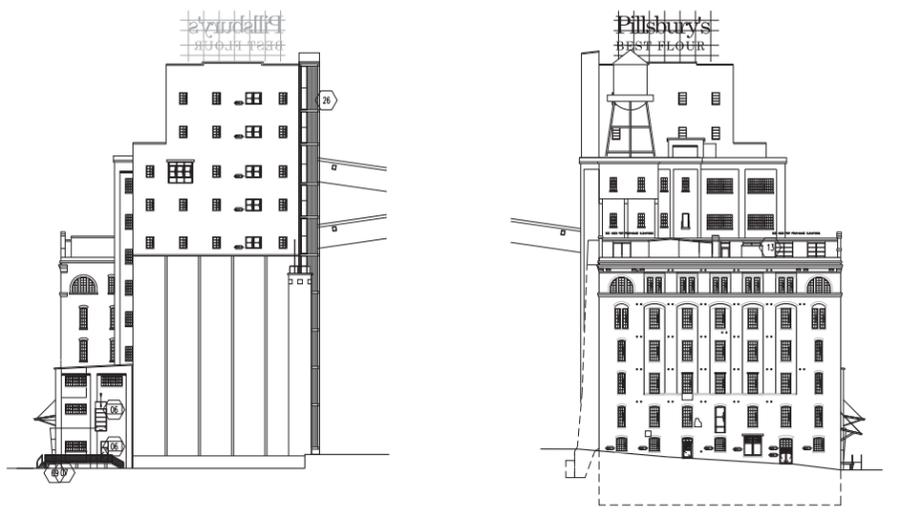
2 EAST EXTERIOR ELEVATION
A500A 1/32"=1'-0"



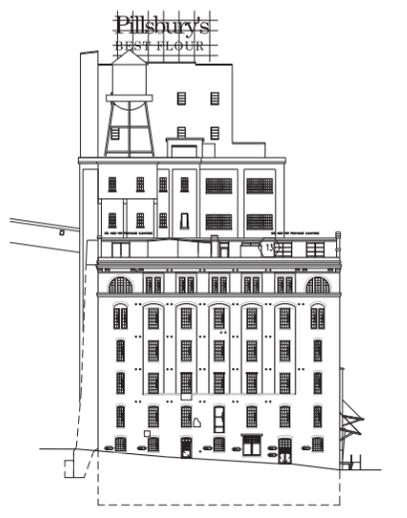
7 PARTIAL NORTH EXTERIOR ELEVATION
A500A 1/32"=1'-0"



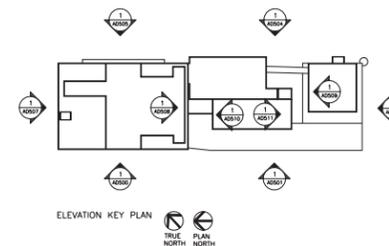
8 PARTIAL NORTH EXTERIOR ELEVATION
A500A 1/32"=1'-0"



3 SOUTH EXTERIOR ELEVATION
A500A 1/32"=1'-0"



4 NORTH EXTERIOR ELEVATION
A500A 1/32"=1'-0"



ELEVATION KEY PLAN



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[PRINTED ARCHITECT'S NAME] Date

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DATE	02-22-12
DRAWN BY	XXX
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COMMISSION NO.	139357

EXTERIOR
ELEVATIONS

OPENING LEGEND

W-3 WEST ELEVATION, LEVEL 4" - "OPENING 3"

MATERIAL IDENTIFICATION

XX-X SEE SPECIFICATIONS FOR MATERIAL ABBREVIATIONS

EXTERIOR ELEVATION GENERAL NOTES

- ALL WORK TO BE IN CONFORMANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND PERTINENT PRESERVATION BRIEFS.
- AS A DESIGNATED HISTORIC SITE, THE BUILDING IS TO BE FULLY PROTECTED FROM DAMAGE DURING THE COURSE OF CONSTRUCTION. ALL DAMAGED AREAS AND FINISHES RESULTING FROM THIS WORK ARE TO BE RESTORED BY THE CONTRACTOR TO MATCH ORIGINAL CONSTRUCTION.
- WHERE "MATCH" IS INDICATED ON THE DRAWINGS, THE ITEM IS TO BE DUPLICATED IN ALL RESPECTS INCLUDING, BUT NOT LIMITED TO, DIMENSION, CONSTRUCTION METHOD, MATERIAL, PROFILE, COLOR AND FINISH.
- WHERE "REPAIR" OR "INFILL" IS INDICATED ON THE DRAWINGS, THE REPAIR OR INFILL ITEM IS TO MATCH AND BLEND WITH ADJACENT SURFACES AND FEATURES IN ALL RESPECTS.
- EACH OPENING (DOOR, WINDOW, ETC.), NEW OR EXISTING, IS NUMBERED UNIQUELY FOR REFERENCE. OPENING NUMBER IS FOUND AT THE BOTTOM RIGHT-HAND CORNER OF THE OPENING.
- DOOR AND WINDOW TYPES, NEW OR EXISTING, ARE NOTED ON THE ELEVATIONS USING ALPHABETICAL TYPE MARKERS. REFER TO SHEET A950 FOR DOOR AND WINDOW TYPES.
- ENTIRE EXTERIOR OF BUILDING SHALL BE CLEANED AFTER ALL EXTERIOR RESTORATION, RE-POINTING, AND WINDOW AND DOOR REPLACEMENT.
- CLEAN BRICK WHERE BACKFILL AND/OR CONCRETE SLABS HAVE BEEN REMOVED AND REMAINING HISTORIC BRICK IS TO BE EXPOSED TO VIEW.
- PROVIDE 1/8" THICK KYMAR-PAINTED FORMED ALUMINUM SILL AT ALL NEW MASONRY OPENINGS WITH NEW WINDOWS. SILL SHALL HAVE A SHALLOW SLOPE AT HORIZONTAL SURFACE TURNED-DOWN TO 1" VERTICAL FACE AT OUTSIDE EDGE. REFER TO WINDOW DETAILS REFERENCED FROM SHEET A950.
- AT HOLES IN EXISTING BRICK WALL:
 - WHERE HOLE IN BRICK WALL IS LESS THAN 4" IN DIMENSION PATCH HOLES WITH MORTAR TO MATCH EXISTING ADJACENT MORTAR.
 - WHERE HOLE IN BRICK WALL IS LESS THAN 4" IN DIMENSION PATCH HOLES WITH LIKE TYPE SALVAGED FROM OTHER AREAS OF BUILDING.
 - WHERE BRICK INFILL IS NEEDED FOR AN AREA GREATER THAN 2 SQUARE FEET, CONTRACTOR HAS OPTION OF:
 - INFILL WITH SALVAGED BRICK OR
 - INFILL WITH REPLACEMENT BRICK THAT MATCHES EXISTING. NEW BRICK SHALL MATCH SIZE, COLOR, TEXTURE, FINISH AND APPROXIMATE FLASH/COLOR VARIATION.
- REMOVE FASTENERS WHERE SIGNAGE WAS ATTACHED AND PATCH HOLES.
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- WHERE HISTORIC MASONRY CREMATION HAS BEEN REMOVED, IF NOT PRESENT ON SITE PATCH AND REPAIR ADJACENT MASONRY FOR WEATHER TIGHT CONDITION.

EXISTING & PROPOSED WINDOW OPENINGS

- | | |
|---|---|
| 1 | HISTORIC WINDOW TO BE REFURBISHED |
| 2 | HISTORIC WINDOW TO BE REPLACED W/HISTORIC REPLICA |
| 3 | HISTORIC REPLICA TO REPLACE NON-HISTORIC INFILL |
| 4 | NON-HISTORIC WINDOW IN EXISTING OPENING/INFILL |
| 5 | NEW GLAZING IN NON-HISTORIC OPENING |

EXTERIOR ELEVATION KEYNOTES

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- NEW STEEL LOADING DOCK AND CONCRETE WINDOW WELL, SEE SHEET A630
- NEW METAL WALL/ROOF PANEL FINISH TO MATCH EXISTING ROOF PANELS AND ACCENT VENTS
- NEW METAL WALL PANEL
 - GALVANIZED FLAT SHEET W/ EXPOSED FASTENERS
 - GALVANIZED, CORRUGATED PROFILE
 - CORTEN STEEL FLAT SHEET W/ EXPOSED FASTENERS
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- INFILL MASONRY TO MATCH ADJACENT
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- REFURBISHED (IF POSSIBLE), OR REPLACE HISTORIC METAL CANOPY AND TURNBUCKLES
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- NEW PREFINISHED METAL CAP FLASHING TO MATCH ADJACENT FINISH
- NEW BUILDING MOUNTED LIGHT AS SCHEDULED
- NEW METAL COPING TO MATCH HISTORIC PROFILE
- NEW BUILDING LIGHTING
- REPOINT MASONRY 10%, VARIOUS LOCATIONS OVER BUILDING
- REPAIR ROOF COPING, REPLACE ANY MISSING PIECES TO MATCH EXISTING
- APPLY SEALANT TO PERIMETER OF OPENINGS AT EXISTING PIPE, VENT, AND BRACKET PENETRATIONS TO REMAIN, SEE DEMO ELEVATION KEYNOTE D3
- NOT USED
- VERIFY ANCHORAGE AT LADDER, REPAIR AS REQUIRED, APPLY NEW SEALANT AT BOLTS
- NOT USED
- REPLACE WINDOW SILL TO MATCH EXISTING (100%)
- REPOINT MASONRY 100%
- REPLACE FACE STONE TO MATCH EXISTING
- CLEAN AND PAINT METAL, REATTACH ANY LOOSE PIECES
- SEE STRUCTURAL DRAWINGS
- REBUILD MASONRY PARAPET WHERE INDICATED ON DRAWINGS



1 PARTIAL WEST EXTERIOR ELEVATION
AS SHOWN 1/8"=1'-0"

OPENING LEGEND

W-3 WEST ELEVATION, LEVEL 4" - "OPENING 3"

MATERIAL IDENTIFICATION

XX-X SEE SPECIFICATIONS FOR MATERIAL ABBREVIATIONS

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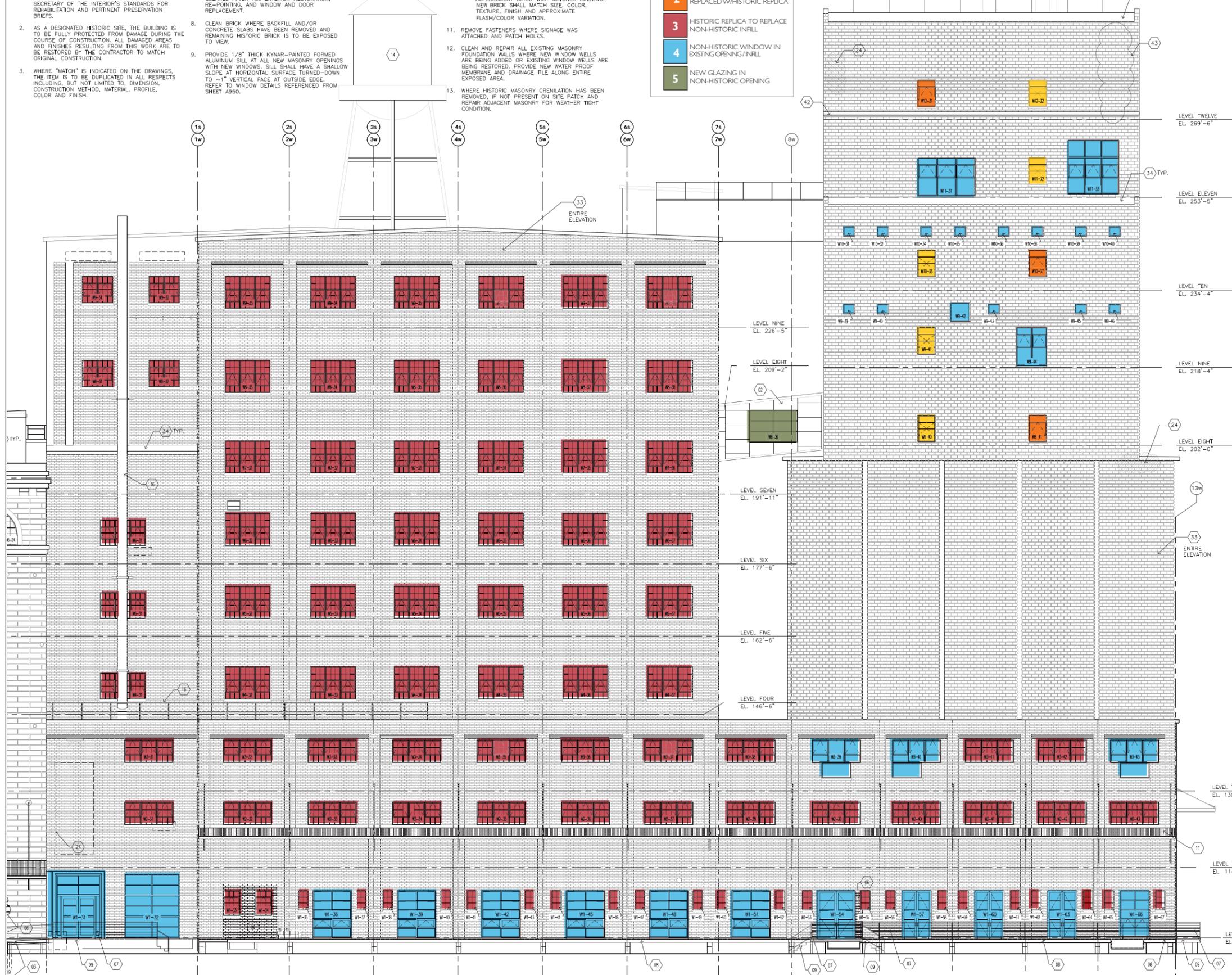
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- 3 HISTORIC REPLICA TO REPLACE NON-HISTORIC INFILL
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Pillsbury's BEST FLOUR



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- SEE STRUCTURAL DRAWINGS
- REBUILD MASONRY PARAPET WHERE INDICATED ON DRAWINGS

BKV GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

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www.bkvgroup.com

MINNEAPOLIS LEASED
HOUSING ASSOCIATES IV, LP
2905 Northwest Blvd, Suite 150
Plymouth, MN 55441

DD SET
2/22/12

NOT FOR
CONSTRUCTION

A-Mill Artist Lofts
A-Mill

PACKAGE
2

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota.

[PRINTED ARCHITECT'S NAME] Date
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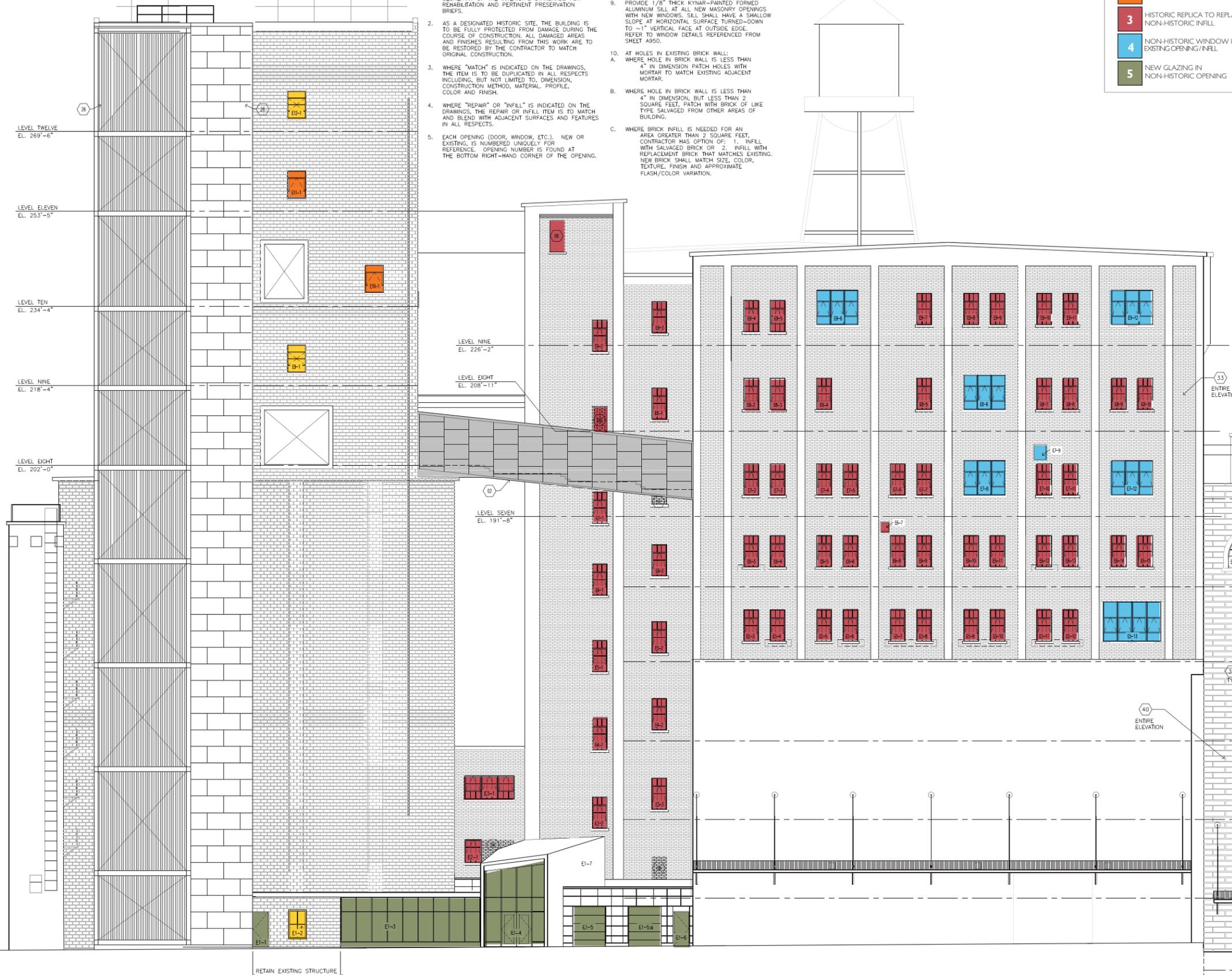
REVISIONS	No.	DATE

DATE	02-22-12
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EXTERIOR
ELEVATIONS

2-A501

Pillsbury's BEST FLOUR



OPENING LEGEND

WH-3 WEST ELEVATION, LEVEL 4" - "OPENING 3"

MATERIAL IDENTIFICATION

XX-X SEE SPECIFICATIONS FOR MATERIAL ABBREVIATIONS

EXTERIOR ELEVATION GENERAL NOTES

- ALL WORK TO BE IN CONFORMANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND PERTINENT PRESERVATION BRIEFS.
- AS A DESIGNATED HISTORIC SITE, THE BUILDING IS TO BE FULLY PROTECTED FROM DAMAGE DURING THE COURSE OF CONSTRUCTION. ALL DAMAGED AREAS AND FINISHES RESULTING FROM THIS WORK ARE TO BE RESTORED BY THE CONTRACTOR TO MATCH ORIGINAL CONSTRUCTION.
- WHERE "MATCH" IS INDICATED ON THE DRAWINGS, THE ITEM IS TO BE DUPLICATED IN ALL RESPECTS INCLUDING, BUT NOT LIMITED TO, DIMENSION, CONSTRUCTION METHOD, MATERIAL, PROFILE, COLOR AND FINISH.
- WHERE "REPAIR" OR "INFILL" IS INDICATED ON THE DRAWINGS, THE REPAIR OR INFILL ITEM IS TO MATCH AND BLEND WITH ADJACENT SURFACES AND FEATURES IN ALL RESPECTS.
- EACH OPENING (DOOR, WINDOW, ETC.), NEW OR EXISTING, IS NUMBERED UNIQUELY FOR REFERENCE. OPENING NUMBER IS FOUND AT THE BOTTOM RIGHT-HAND CORNER OF THE OPENING.
- DOOR AND WINDOW TYPES, NEW OR EXISTING, ARE NOTED ON THE ELEVATIONS USING ALPHABETICAL TYPE MARKERS. REFER TO SHEET A950 FOR DOOR AND WINDOW TYPES.
- ENTIRE EXTERIOR OF BUILDING SHALL BE CLEANED AFTER ALL EXTERIOR RESTORATION, RE-POINTING, AND WINDOW AND DOOR REPLACEMENT.
- CLEAN BRICK WHERE BACKFILL AND/OR CONCRETE SLABS HAVE BEEN REMOVED AND REMAINING HISTORIC BRICK IS TO BE EXPOSED TO VIEW.
- PROVIDE 1/8" THICK KYNAR-PAINTED FORMED ALUMINUM SILL AT ALL NEW MASONRY OPENINGS WITH NEW WINDOWS. SILL SHALL HAVE A SHALLOW SLOPE AT HORIZONTAL SURFACE TURNED-DOWN TO ~1" VERTICAL FACE AT OUTSIDE EDGE. REFER TO WINDOW DETAILS REFERENCED FROM SHEET A950.
- AT HOLES IN EXISTING BRICK WALL:
 - WHERE HOLE IN BRICK WALL IS LESS THAN 4" IN DIMENSION PATCH HOLES WITH MORTAR TO MATCH EXISTING ADJACENT MORTAR.
 - WHERE HOLE IN BRICK WALL IS LESS THAN 4" IN DIMENSION, BUT LESS THAN 2 SQUARE FEET, PATCH WITH BRICK OF LIKE TYPE SALVAGED FROM OTHER AREAS OF BUILDING.
 - WHERE BRICK INFILL IS NEEDED FOR AN AREA GREATER THAN 2 SQUARE FEET, CONTRACTOR HAS OPTION OF: 1. INFILL WITH SALVAGED BRICK OR 2. INFILL WITH REPLACEMENT BRICK THAT MATCHES EXISTING. NEW BRICK SHALL MATCH SIZE, COLOR, TEXTURE, FINISH AND APPROXIMATE FLASH/COLOR VARIATION.
- REMOVE FASTENERS WHERE SIGNAGE WAS ATTACHED AND PATCH HOLES.
- CLEAN AND REPAIR ALL EXISTING MASONRY. FOUNDATION WALLS WHERE NEW WINDOW WELLS ARE BEING ADDED OR EXISTING WINDOW WELLS ARE BEING RESTORED, PROVIDE NEW WATER PROOF MEMBRANE AND DRAINAGE TILE ALONG ENTIRE EXPOSED AREA.
- WHERE HISTORIC MASONRY CRENLATION HAS BEEN REMOVED, IF NOT PRESENT ON SITE PATCH AND REPAIR ADJACENT MASONRY FOR WEATHER TIGHT CONDITION.

EXISTING & PROPOSED WINDOW OPENINGS

- 1 HISTORIC WINDOW TO BE REFURBISHED
- 2 HISTORIC WINDOW TO BE REPLACED WITH HISTORIC REPLICA
- 3 HISTORIC REPLICA TO REPLACE NON-HISTORIC INFILL
- 4 NON-HISTORIC WINDOW IN EXISTING OPENING/INFILL
- 5 NEW GLAZING IN NON-HISTORIC OPENING

EXTERIOR ELEVATION KEYNOTES

- REFURBISH OR REPLACE EXISTING STONE/TERRA COTTA PARAPET CAP AS REQUIRED TO RETURN TO HISTORIC CONDITION
- NEW ROOFTOP CONNECTING WALK WAY SEE DETAIL SHEET A631
- NEW STEEL LOADING DOCK AND CONCRETE WINDOW WELL, SEE SHEET A630
- NEW METAL WALL/ROOF PANEL FINISH TO MATCH EXISTING ROOF PANELS AND ADJACENT VENTS
- NEW METAL WALL PANEL
 - 05A GALVANIZED FLAT SHEET W/ EXPOSED FASTENERS
 - 05B GALVANIZED, CORRUGATED PROFILE
 - 05C CORTEN STEEL FLAT SHEET W/ EXPOSED FASTENERS
 - 05D CORTEN STEEL, CORRUGATED PROFILE
- INFILL MASONRY TO MATCH ADJACENT
- NEW STEEL (GALV. & PAINTED) RAILINGS AND GUARDRAILS
- REFURBISHED (IF FEASIBLE), OR REPLACE CONCRETE DOCK-NEW LIGHT WELLS AND STAIRS SEE STRUCTURAL DRAWING FOR REPLACEMENT
- NEW CONCRETE LOADING DOCK TO MATCH EXISTING HISTORIC
- NEW METAL CANOPY TO MATCH HISTORIC CANOPIES- CONTRACTOR SHALL VERIFY ALL HISTORIC ELEMENTS, REPLACE TO MATCH HISTORIC APPEARANCE, SEE A630
- REFURBISHED (IF POSSIBLE), OR REPLACE HISTORIC METAL CANOPY AND TURNBUCKLES
- NEW ALUMINUM LOUVER TO MATCH HISTORIC LOUVER
- EXISTING ROOF EQUIPMENT REFURBISH IN PLACE
- EXISTING ROOF STRUCTURE TO BE RETAINED IN PART. REBUILD ANY DAMAGED TO A LIKE NEW CONDITION
- EXISTING FLOOR STRUCTURE TO BE RETAINED IN PART. REBUILD ANY DAMAGED TO A LIKE NEW CONDITION
- EXISTING STEEL ELEMENT TO BE RETAINED. REFINISH AS REQUIRED
- REPLACE EXISTING ILLUMINATED SIGN W/ NEW LED SIGN TO MATCH EXISTING HISTORIC APPEARANCE
- NEW STEEL COVER PLATE FOR STRUCTURAL WALL BRACING
- REBUILD & REPLACE W/ NEW STONE SILL TO RECREATE ORIGINAL HISTORIC CONDITION
- REBUILD HISTORIC PILASTER W/ NEW BRICK TO MATCH HISTORIC CONDITION
- PATCH ROOF SUPPORT POCKETS W/ NEW BRICK TO MATCH EXISTING
- REPAIR/REPLACE EXISTING TO MATCH ADJACENT ARCH. DTLS. & PENETRATION TO RETURN TO ORIGINAL HISTORIC CONDITION
- EXISTING STEEL CATWALK/BRIDGE TO BE REFURBISHED & REMAIN
- AREAS WHERE DAMAGED MASONRY/TILE WAS OBSERVED ON SITE. REPAIR/REPLACE TO MATCH EXISTING
- INFILL EXISTING OPENING IN MASONRY WALL MATCH ADJACENT MATERIAL, WATER PROOF AS REQUIRED. SEE GENERAL NOTES
- NEW ELEVATOR OR STAIR SHAFT, LIMIT HEIGHT TO NO MORE THAN PREVIOUS SHAFT
- NEW BUILDING SIGN
- EXISTING CONVEYOR ENCLOSURE. REFURBISH/REPAIR AS REQUIRED TO WEATHER TIGHT CONDITION. REFINISH OR REPLACE ALL DAMAGED WALL, FLOOR OR ROOF PANELS.
- NEW PREFINISHED METAL CAP FLASHING TO MATCH ADJACENT FINISH
- NEW BUILDING MOUNTED LIGHT AS SCHEDULED
- NEW METAL COPING TO MATCH HISTORIC PROFILE
- NEW BUILDING LIGHTING
- REPOINT MASONRY 10%, VARIOUS LOCATIONS OVER BUILDING
- REPAIR ROOF COPING. REPLACE ANY MISSING PIECES TO MATCH EXISTING
- APPLY SEALANT TO PERIMETER OF OPENINGS AT EXISTING PIPE, VENT, AND BRACKET PENETRATIONS TO REMAIN, SEE DEMO ELEVATION KEYNOTE D3
- NOT USED
- VERIFY ANCHORAGE AT LADDER, REPAIR AS REQUIRED, APPLY NEW SEALANT AT BOLTS
- NOT USED
- REPLACE WINDOW SILL TO MATCH EXISTING (100%)
- REPOINT MASONRY 100%
- REPLACE FACE STONE TO MATCH EXISTING
- CLEAN AND PAINT METAL, REATTACH ANY LOOSE PIECES
- SEE STRUCTURAL DRAWINGS
- REBUILD MASONRY PARAPET WHERE INDICATED ON DRAWINGS

BKV GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

**Boorman
Kroos
Vogel
Group
Inc.**

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Minneapolis MN 55401
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Facsimile: 612-339-6212
www.bkvgroup.com

MINNEAPOLIS LEASED
HOUSING ASSOCIATES IV, LP
2905 Northwest Blvd, Suite 150
Plymouth, MN 55441

DD SET
2/22/12

NOT FOR
CONSTRUCTION

A-Mill Artist Lofts
A-Mill

PACKAGE
2

CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota.

[PRINTED ARCHITECT'S NAME] Date
#XXXXX [LICENSE NUMBER]
License Number

REVISIONS	No.	DATE

DATE 02-22-12
DRAWN BY XXX
CHECKED BY XXX
COMMISSION NO. 139357

EXTERIOR
ELEVATIONS

2-A504

CERTIFICATION
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EXISTING & PROPOSED WINDOW OPENINGS

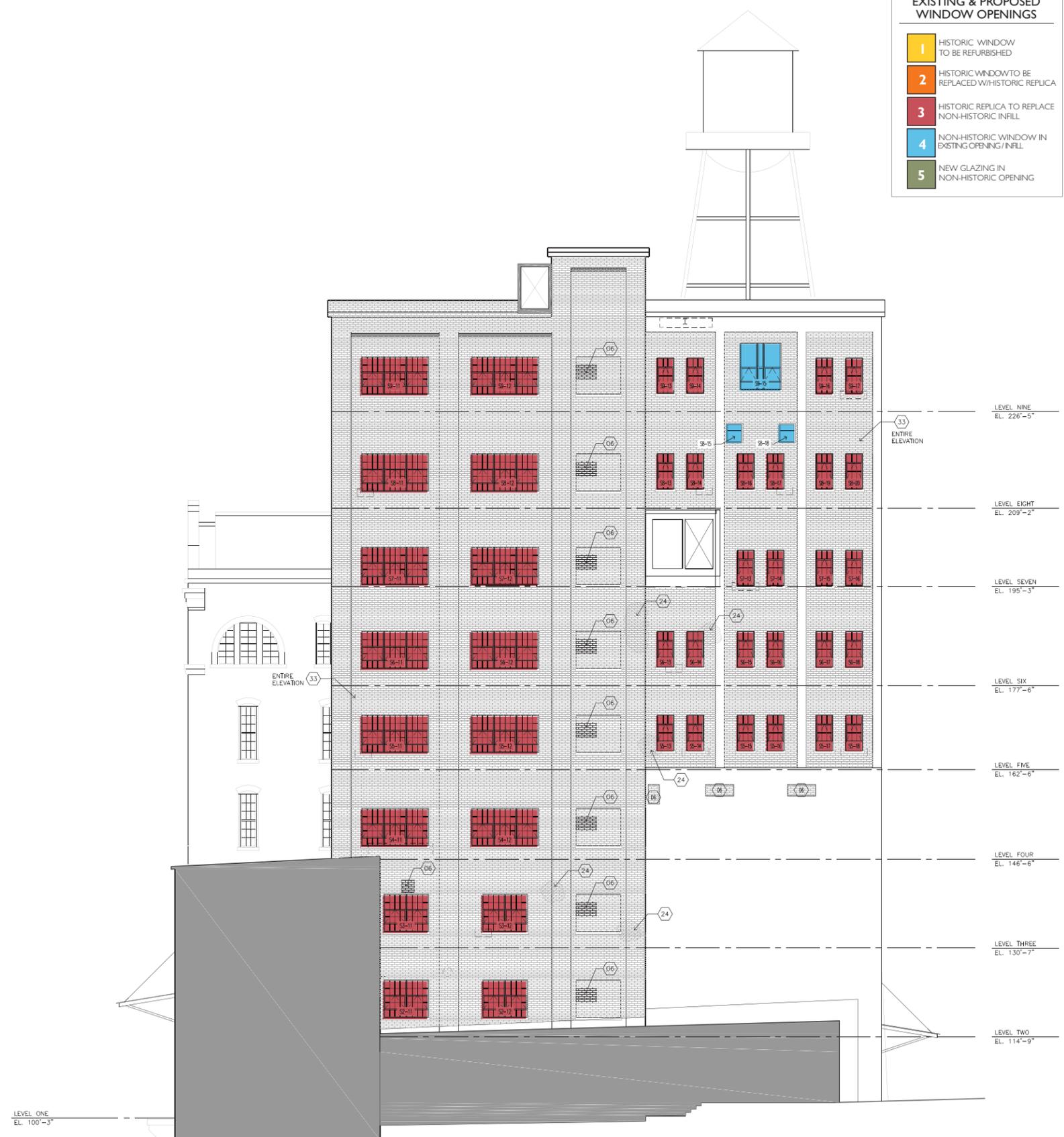
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- 5 NEW GLAZING IN NON-HISTORIC OPENING

OPENING LEGEND
W-3 "WEST ELEVATION, LEVEL 4" - "OPENING 3"

MATERIAL IDENTIFICATION
[XX-X] SEE SPECIFICATIONS FOR MATERIAL ABBREVIATIONS

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 - NOT USED
 - VERIFY ANCHORAGE AT LADDER, REPAIR AS REQUIRED, APPLY NEW SEALANT AT BOLTS
 - NOT USED
 - REPLACE WINDOW SILL TO MATCH EXISTING (100%)
 - REPOINT MASONRY 100%
 - REPLACE FACE STONE TO MATCH EXISTING
 - CLEAN AND PAINT METAL. REATTACH ANY LOOSE PIECES
 - SEE STRUCTURAL DRAWINGS
 - REBUILD MASONRY PARAPET WHERE INDICATED ON DRAWINGS



1 PARTIAL SOUTH EXTERIOR ELEVATION
X509 1/8"-1"=0"

DD SET
2/22/12

NOT FOR
CONSTRUCTION

A-Mill Artist Lofts
A-Mill

PACKAGE
2

CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota.

[PRINTED ARCHITECT'S NAME] Date

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License Number

REVISIONS	No.	DATE

DATE 02-22-12
DRAWN BY XXX
CHECKED BY XXX
COMMISSION NO. 139357

EXTERIOR
ELEVATIONS

2-A510

OPENING LEGEND

W-3 WEST ELEVATION, LEVEL 4" - "OPENING 3"

MATERIAL IDENTIFICATION

XX-X SEE SPECIFICATIONS FOR MATERIAL ABBREVIATIONS

EXTERIOR ELEVATION GENERAL NOTES

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EXISTING & PROPOSED WINDOW OPENINGS

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- 3 HISTORIC REPLICA TO REPLACE NON-HISTORIC INFILL
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EXTERIOR ELEVATION KEYNOTES

- 01 REFURBISH OR REPLACE EXISTING STONE/TERRAZZO PARAPET CAP AS REQUIRED TO RETURN TO HISTORIC CONDITION
- 02 NEW ROOFTOP CONNECTING WALK WAY SEE DETAIL SHEET A631
- 03 NEW STEEL LOADING DOCK AND CONCRETE WINDOW WELL. SEE SHEET A630
- 04 NEW METAL WALL/ROOF PANEL FINISH TO MATCH EXISTING ROOF PANELS AND ACCENT VENTS
- 05 NEW METAL WALL PANEL
 - 05a GALVANIZED FLAT SHEET W/ EXPOSED FASTENERS
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 - 05c CORTEN STEEL FLAT SHEET W/ EXPOSED FASTENERS
 - 05d CORTEN STEEL, CORRUGATED PROFILE
- 06 INFILL MASONRY TO MATCH ADJACENT
- 07 NEW STEEL (GALV. & PAINTED) RAILINGS AND GUARDRAILS
- 08 REFURBISHED (IF FEASIBLE), OR REPLACE CONCRETE DOCK-NEW LIGHT WELLS AND STAIRS SEE STRUCTURAL DRAWING FOR REPLACEMENT
- 09 NEW CONCRETE LOADING DOCK TO MATCH EXISTING HISTORIC
- 10 NEW METAL CANOPY TO MATCH HISTORIC CANOPIES- CONTRACTOR SHALL VERIFY ALL HISTORIC ELEMENTS, REPLACE TO MATCH HISTORIC APPEARANCE. SEE A500
- 11 REFURBISHED (IF POSSIBLE), OR REPLACE HISTORIC METAL CANOPY AND TURNBUCKLES
- 12 NEW ALUMINUM LOUVER TO MATCH HISTORIC LOUVER
- 13 EXISTING ROOF EQUIPMENT REFURBISH IN PLACE
- 14 EXISTING ROOF STRUCTURE TO BE RETAINED IN PART. REBUILD ANY DAMAGED TO A LIKE NEW CONDITION
- 15 EXISTING FLOOR STRUCTURE TO BE RETAINED IN PART. REBUILD ANY DAMAGED TO A LIKE NEW CONDITION
- 16 EXISTING STEEL ELEMENT TO BE RETAINED. REFURBISH AS REQUIRED
- 17 REPLACE EXISTING ILLUMINATED SIGN W/ NEW LED SIGN TO MATCH EXISTING HISTORIC APPEARANCE
- 18 NEW STEEL COVER PLATE FOR STRUCTURAL WALL BRACING
- 19 REBUILD & REPLACE W/ NEW STONE SILL TO RECREATE ORIGINAL HISTORIC CONDITION
- 20 REBUILD HISTORIC PILASTER W/ NEW BRICK TO MATCH HISTORIC CONDITION
- 21 PATCH ROOF SUPPORT POCKETS W/ NEW BRICK TO MATCH EXISTING
- 22 REPAIR/REPLACE EXISTING TO MATCH ADJACENT ARCH. DTLS. & FENESTRATION TO RETURN TO ORIGINAL HISTORIC CONDITION
- 23 EXISTING STEEL CATWALK/BRIDGE TO BE REFURBISHED & REMAIN
- 24 AREAS WHERE DAMAGED MASONRY/TILE WAS OBSERVED ON SITE. REPAIR/REPLACE TO MATCH EXISTING
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- 26 NEW ELEVATOR OR STAIR SHAFT, LIMIT HEIGHT TO NO MORE THAN PREVIOUS SHAFT
- 27 NEW BUILDING SIGN
- 28 EXISTING CONVEYOR ENCLOSURE. REFURBISH/REPAIR AS REQUIRED TO WEATHER TIGHT CONDITION. REFINISH OR REPLACE ALL DAMAGED WALL, FLOOR OR ROOF PANELS.
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- 30 NEW BUILDING MOUNTED LIGHT AS SCHEDULED
- 31 NEW METAL COPING TO MATCH HISTORIC PROFILE
- 32 NEW BUILDING LIGHTING
- 33 REPOINT MASONRY 10%, VARIOUS LOCATIONS OVER BUILDING
- 34 REPAIR ROOF COPING. REPLACE ANY MISSING PIECES TO MATCH EXISTING
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- 36 NOT USED
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- 42 CLEAN AND PAINT METAL. REATTACH ANY LOOSE PIECES
- 43 SEE STRUCTURAL DRAWINGS
- 44 REBUILD MASONRY PARAPET WHERE INDICATED ON DRAWINGS



1 PARTIAL SOUTH EXTERIOR ELEVATION
A510 / 1/8" = 1'-0"

CERTIFICATION

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REVISIONS	No.	DATE

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DRAWN BY	----
CHECKED BY	----
COMMISSION NO.	139357

EXTERIOR
PENTHOUSE
ELEVATIONS

2-A520

OPENING LEGEND

W-3 WEST ELEVATION, LEVEL 4" - "OPENING 3"

MATERIAL IDENTIFICATION

XX-X SEE SPECIFICATIONS FOR MATERIAL ABBREVIATIONS

EXTERIOR ELEVATION GENERAL NOTES

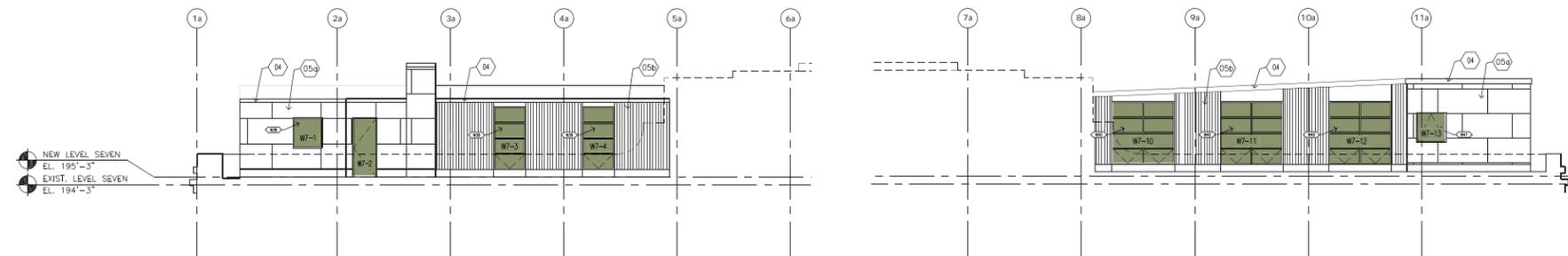
- ALL WORK TO BE IN CONFORMANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND PERTINENT PRESERVATION BRIEFS.
- AS A DESIGNATED HISTORIC SITE, THE BUILDING IS TO BE FULLY PROTECTED FROM DAMAGE DURING THE COURSE OF CONSTRUCTION. ALL DAMAGED AREAS AND FINISHES RESULTING FROM THIS WORK ARE TO BE RESTORED BY THE CONTRACTOR TO MATCH ORIGINAL CONSTRUCTION.
- WHERE "MATCH" IS INDICATED ON THE DRAWINGS, THE ITEM IS TO BE DUPLICATED IN ALL RESPECTS INCLUDING, BUT NOT LIMITED TO, DIMENSION, CONSTRUCTION METHOD, MATERIAL, PROFILE, COLOR AND FINISH.
- WHERE "REPAIR" OR "INFILL" IS INDICATED ON THE DRAWINGS, THE REPAIR OR INFILL ITEM IS TO MATCH AND BLEND WITH ADJACENT SURFACES AND FEATURES IN ALL RESPECTS.
- EACH OPENING (DOOR, WINDOW, ETC.), NEW OR EXISTING, IS NUMBERED UNICELY FOR REFERENCE. OPENING NUMBER IS FOUND AT THE BOTTOM RIGHT-HAND CORNER OF THE OPENING.
- DOOR AND WINDOW TYPES, NEW OR EXISTING, ARE NOTED ON THE ELEVATIONS USING ALPHABETICAL TYPE MARKERS. REFER TO SHEET A950 FOR DOOR AND WINDOW TYPES.
- ENTIRE EXTERIOR OF BUILDING SHALL BE CLEANED AFTER ALL EXTERIOR RESTORATION, RE-POINTING, AND WINDOW AND DOOR REPLACEMENT.
- CLEAN BRICK WHERE BACKFILL AND/OR CONCRETE SLABS HAVE BEEN REMOVED AND REMAINING HISTORIC BRICK IS TO BE EXPOSED TO VIEW.
- PROVIDE 1/8" THICK KYNAR-PAINTED FORMED ALUMINUM SILL AT ALL NEW MASONRY OPENINGS WITH NEW WINDOWS. SILL SHALL HAVE A SHALLOW SLOPE AT HORIZONTAL SURFACE TURNED-DOWN TO 1" VERTICAL FACE AT OUTSIDE EDGE. REFER TO WINDOW DETAILS REFERENCED FROM SHEET A950.
- AT HOLES IN EXISTING BRICK WALL:
 - WHERE HOLE IN BRICK WALL IS LESS THAN 4" IN DIMENSION PATCH HOLES WITH MORTAR TO MATCH EXISTING ADJACENT MORTAR.
 - WHERE HOLE IN BRICK WALL IS LESS THAN 4" IN DIMENSION, BUT LESS THAN 2 SQUARE FEET, PATCH WITH BRICK OF LIKE TYPE SALVAGED FROM OTHER AREAS OF BUILDING.
 - WHERE BRICK INFILL IS NEEDED FOR AN AREA GREATER THAN 2 SQUARE FEET, CONTRACTOR HAS OPTION OF: 1. INFILL WITH SALVAGED BRICK OR 2. INFILL WITH REPLACEMENT BRICK THAT MATCHES EXISTING. NEW BRICK SHALL MATCH SIZE, COLOR, TEXTURE, FINISH AND APPROXIMATE FLASH/COLOR VARIATION.
- REMOVE FASTENERS WHERE SIGNAGE WAS ATTACHED AND PATCH HOLES.
- CLEAN AND REPAIR ALL EXISTING MASONRY FOUNDATION WALLS WHERE NEW WINDOW WELLS ARE BEING ADDED OR EXISTING WINDOW WELLS ARE BEING RESTORED. PROVIDE NEW WATER PROOF MEMBRANE AND DRAINAGE TILE ALONG ENTIRE EXPOSED AREA.
- WHERE HISTORIC MASONRY CREULATION HAS BEEN REMOVED, IF NOT PRESENT ON SITE PATCH AND REPAIR ADJACENT MASONRY FOR WEATHER TIGHT CONDITION.

EXISTING & PROPOSED WINDOW OPENINGS

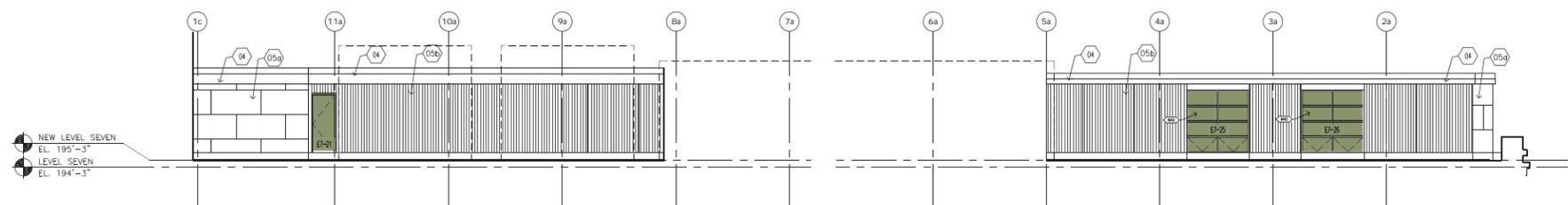
- 1 HISTORIC WINDOW TO BE REFURBISHED
- 2 HISTORIC WINDOW TO BE REPLACED WITH HISTORIC REPLICA
- 3 HISTORIC REPLICA TO REPLACE NON-HISTORIC INFILL
- 4 NON-HISTORIC WINDOW IN EXISTING OPENING/INFILL
- 5 NEW GLAZING IN NON-HISTORIC OPENING

EXTERIOR ELEVATION KEYNOTES

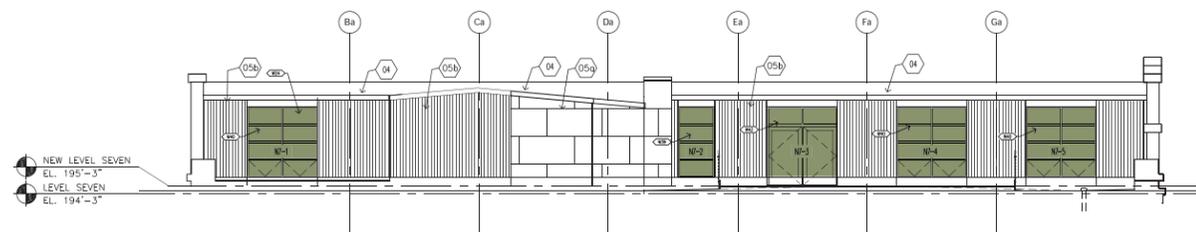
- 01 REFURBISH OR REPLACE EXISTING STONE/TERRA COTTA PARAPET CAP AS REQUIRED TO RETURN TO HISTORIC CONDITION
- 02 NEW ROOFTOP CONNECTING WALK WAY SEE DETAIL SHEET A631
- 03 NEW STEEL LOADING DOCK AND CONCRETE WINDOW WELLS. SEE SHEET A630
- 04 NEW METAL WALL/ROOF PANEL FINISH TO MATCH EXISTING ROOF PANELS AND ACCENT VENTS
- 05 NEW METAL WALL PANEL
 - 05a GALVANIZED FLAT SHEET W/ EXPOSED FASTENERS
 - 05b GALVANIZED, CORRUGATED PROFILE
 - 05c CORTEN STEEL FLAT SHEET W/ EXPOSED FASTENERS
 - 05d CORTEN STEEL, CORRUGATED PROFILE
- 06 INFILL MASONRY TO MATCH ADJACENT
- 07 NEW STEEL (GALV. & PAINTED) RAILINGS AND GUARDRAILS
- 08 REFURBISHED (IF FEASIBLE), OR REPLACE CONCRETE DOCK-NEW LIGHT WELLS AND STAIRS SEE STRUCTURAL DRAWING FOR REPLACEMENT
- 09 NEW CONCRETE LOADING DOCK TO MATCH EXISTING HISTORIC
- 10 NEW METAL CANOPY TO MATCH HISTORIC CANOPIES - CONTRACTOR SHALL VERIFY ALL HISTORIC ELEMENTS. REPLACE TO MATCH HISTORIC APPEARANCE. SEE A630
- 11 REFURBISHED (IF POSSIBLE), OR REPLACE HISTORIC METAL CANOPY AND TURNBUCKLES
- 12 NEW ALUMINUM LOUVER TO MATCH HISTORIC LOUVER
- 13 EXISTING ROOF EQUIPMENT REFURBISH IN PLACE
- 14 EXISTING ROOF STRUCTURE TO BE RETAINED IN PART. REBUILD ANY DAMAGED TO A LIKE NEW CONDITION
- 15 EXISTING FLOOR STRUCTURE TO BE RETAINED IN PART. REBUILD ANY DAMAGED TO A LIKE NEW CONDITION
- 16 EXISTING STEEL ELEMENT TO BE RETAINED. REFINISH AS REQUIRED
- 17 REPLACE EXISTING ILLUMINATED SIGN W/ NEW LED SIGN TO MATCH EXISTING HISTORIC APPEARANCE
- 18 NEW STEEL COVER PLATE FOR STRUCTURAL WALL BRACING
- 19 REBUILD & REPLACE W/ NEW STONE SILL TO RECREATE ORIGINAL HISTORIC CONDITION
- 20 REBUILD HISTORIC FILASTER W/ NEW BRICK TO MATCH HISTORIC CONDITION
- 21 PATCH ROOF SUPPORT POCKETS W/ NEW BRICK TO MATCH EXISTING
- 22 REPAIR/REPLACE EXISTING TO MATCH ADJACENT ARCH. DTLS. & PENETRATION TO RETURN TO ORIGINAL HISTORIC CONDITION
- 23 EXISTING STEEL CATWALK/BRIDGE TO BE REFURBISHED & REMAIN
- 24 [] AREAS WHERE DAMAGED MASONRY/TILE WAS OBSERVED ON SITE. REPAIR/REPLACE TO MATCH EXISTING
- 25 INFILL EXISTING OPENING IN MASONRY WALL MATCH ADJACENT MATERIAL, WATER PROOF AS REQUIRED. SEE GENERAL NOTES
- 26 NEW ELEVATOR OR STAIR SHAFT. LIMIT HEIGHT TO NO MORE THAN PREVIOUS SHAFT
- 27 NEW BUILDING SIGN
- 28 EXISTING CONVEYOR ENCLOSURE. REFURBISH/REPAIR AS REQUIRED TO WEATHER TIGHT CONDITION. REFINISH OR REPLACE ALL DAMAGED WALL, FLOOR OR ROOF PANELS.
- 29 NEW PREFINISHED METAL CAP FLASHING TO MATCH ADJACENT FINISH
- 30 NEW BUILDING MOUNTED LIGHT AS SCHEDULED
- 31 NEW METAL COPING TO MATCH HISTORIC PROFILE
- 32 NEW BUILDING LIGHTING
- 33 REPOINT MASONRY 10%, VARIOUS LOCATIONS OVER BUILDING
- 34 REPAIR ROOF COPING. REPLACE ANY MISSING PIECES TO MATCH EXISTING
- 35 APPLY SEALANT TO PERIMETER OF OPENINGS AT EXISTING PIPE, VENT, AND BRACKET PENETRATIONS TO REMAIN. SEE DEMO ELEVATION KEYNOTE 03
- 36 NOT USED
- 37 VERIFY ANCHORAGE AT LADDER. REPAIR AS REQUIRED, APPLY NEW SEALANT AT BOLTS
- 38 NOT USED
- 39 REPLACE WINDOW SILL TO MATCH EXISTING (100%)
- 40 REPOINT MASONRY 100%
- 41 REPLACE FACE STONE TO MATCH EXISTING
- 42 CLEAN AND PAINT METAL. REATTACH ANY LOOSE PIECES
- 43 SEE STRUCTURAL DRAWINGS
- 44 REBUILD MASONRY PARAPET WHERE INDICATED ON DRAWINGS



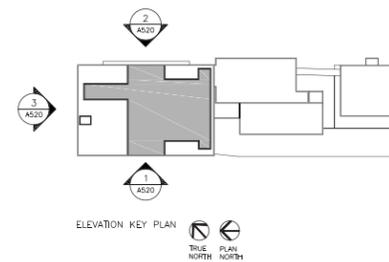
1 WEST PENTHOUSE ELEVATION
A520 1/8"=1'-0"



2 EAST PENTHOUSE ELEVATION
A520 1/4"=1'-0"



3 NORTH PENTHOUSE ELEVATION
A520 1/4"=1'-0"



ELEVATION KEY PLAN
TRUE NORTH