

A-Mill Artist Lofts Site & Parking Structure

300 Main Street SE
Minneapolis, Minnesota

PACKAGE I
HPC C of A SUBMITTAL 01-09-12



Architecture
Interior Design
Landscape Architecture
Engineering

**Boarman
Kroos
Vogel**
Group
Inc.

222 North Second Street
Minneapolis MN 55401
Telephone: 612-339-3752
Facsimile: 612-339-6212
www.bkvgroup.com

DOMINIUM
Development & Acquisition, LCC
2905 Northwest Blvd, Suite 150
Plymouth, MN 55441

HPC
C of A SUBMITTAL

REVISED FINAL
PRICING & PERMIT
SET

A-Mill Artist Lofts
Site & Parking
Structure

PACKAGE
I

CERTIFICATION
I hereby certify that this plan, specification
or report was prepared by me or under my
direct supervision and that I am a duly
Licensed Professional
under the laws of the State of Minnesota.

Date

License Number

REVISIONS	No.	DATE

DATE	01-09-12
DRAWN BY	XXX
CHECKED BY	XXX
COMMISSION NO.	139357-SP

COVER SHEET

I-G100

SITE LOCATION



PROJECT
SITE



PROJECT TEAM

OWNER:
DOMINIUM DEVELOPMENT &
ACQUISITION, LLC.
2905 NORTHWEST BLVD, SUITE 150
PLYMOUTH, MN 55441
PHONE: (763) 354-5500
FAX: (763) 354-5519
CONTACT: OWEN METZ

SURVEY & CIVIL:
LOUCKS ASSOCIATES
7200 HEMLOCK LANE - SUITE 300
MAPLE GROVE, MN 55369
PHONE: (763) 424-5505
CONTACT: MICHAEL ST. MARTIN

**ARCHITECTURE, STRUCTURAL ENGINEERING,
INTERIOR DESIGNS, MECH & ELEC ENGINEERING**
BKV GROUP, INC.
222 NORTH SECOND STREET
MINNEAPOLIS, MN 55401
PHONE: (612) 339-3752
FAX: (612) 339-6212
CONTACT: TODD NOVAK

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ISSUED	NOT ISSUED	ISSUED FOR REFERENCE ONLY	ISSUED PREVIOUSLY
■	□	▨	▩

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PROJECT SUMMARY

LIST OF POSSIBLE ENCROACHMENTS

The following list of possible encroachments is only the opinion of this surveyor; should not be interpreted as a legal opinion and should not be interpreted as a complete listing.

A Possible encroachments are indicated on survey with boxed letters as listed below.

- A) Metal weight scale falls SW'ly of the NE'ly property line.
- B) Concrete falls into Main St SE.
- C) Overlap: That part of the Northwestern half of vacated 5th Avenue Southeast dedicated in St. Anthony Falls as Spring Street lying between the Southeasterly extensions of the Northeastly and Southwestly lines of Lot 1, Block 50.

BENCH MARKS (BM)

- 1) Top of top nut of fire hydrant at the corner of Main St. SE and 3rd Ave. SE on the NE'ly side of Main St. SE and the NW'ly side 3rd Ave. SE. Elevation = 815.97 feet.
- 2) Top of top nut of fire hydrant at the corner of 2nd St. SE and 3rd Ave. SE. on the NE'ly side of 2nd St. SE and the NW'ly side of 3rd Ave. SE. Elevation = 841.84 feet.
- 3) Top of top nut of fire hydrant at the corner of Main St. SE and 5th Ave. SE on the NE'ly side of Main St. SE and the SE'ly side of 5th Ave. SE. Elevation = 813.35 feet.

(Elevations shown are based on City of Minneapolis benchmarks)

(For elevation conversion to city datum subtract 710.3)

GENERAL NOTES

- 1.) Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site. Ownership information is subject to revision upon receipt of a title search by a title insurance company.
- 2.) Survey coordinate & bearing basis: Hennepin County System
- 3.) No indication of wetland delineation by a qualified wetland specialist has been located or observed on site.

UTILITY NOTES

- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- 2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 3.) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, Ticket number 10820300.
- 4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FLOOD ZONE NOTES

- 1.) The subject property appears to lie within Zone X. (Areas determined to be outside the 0.2% annual chance floodplain), per the National Flood Insurance Program, Flood Insurance Rate Map Community Panel Nos. 2701720357E & 2701720378E dated September 2, 2004. This information was obtained from the FEMA Map Service Center web site.

ZONING NOTES

- 1.) Zoning information provided by Planning Department of the City of Minneapolis on September 22, 2006. The subject property is shown I-1 (Limited Industrial).
- 2.) Parking: None designated

AREAS

Area = 140,911 sq. ft. or 3.235 acres.

DESCRIPTION OF PROPERTY SURVEYED

(Per First American Title Insurance Company Commitment for Commitment No. NCS-474323-MPLS, commitment date May 5, 2011. Revision Information May 26, 2011)

Parcel 1:

Lots 19 through 24, inclusive, Block 50, St. Anthony Falls, Hennepin County, Minnesota.

Lots 6 through 10, inclusive, Block 51, St. Anthony Falls, Hennepin County, Minnesota.

That part of the Northwestern half of vacated 5th Avenue Southeast dedicated in St. Anthony Falls as Spring Street lying between the Southeasterly extensions of the Northeastly and Southwestly lines of Block 50, St. Anthony Falls, and that part of the Southeastly half of vacated 5th Avenue Southeast lying between the Northeastly extensions of the Northeastly and Southwestly lines of Lot 6, Block 51, St. Anthony Falls, Hennepin County, Minnesota.

(Torrens Parcel: Certificate of Title No. 1330302)

[Description per Title Commitment No. NCS-474323-MPLS, commitment date May 5, 2011. Revision Information May 26, 2011. Is a partial description of Certificate of Title No. 1330302, which contains additional property]

Parcel 2:

Non-exclusive appurtenant easements contained within the following documents, to wit:

- (a) Easement Agreement dated May 3, 1973, recorded August 19, 1974, as Document No. 117653;
- (b) Easement dated September 30, 1993, recorded October 27, 1993, as Document No. 2436378;
- (c) Roadway Easement dated September 30, 1993, recorded October 27, 1993, as Document No. 2436379.

PLAT RECORDING INFORMATION

The plat of SAINT ANTHONY FALLS was originally recorded 07/17/1891 in the office of the Register of Deeds, Ramsey County, Minnesota, and filed of record in 1958, as Document No. 2062154.

TITLE COMMITMENT

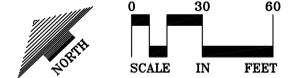
First American Title Insurance Company Commitment for Commitment No. NCS-474323-MPLS, commitment date May 5, 2011. Revision Information May 26, 2011, was relied upon as to matters of record.

Schedule B Exceptions:

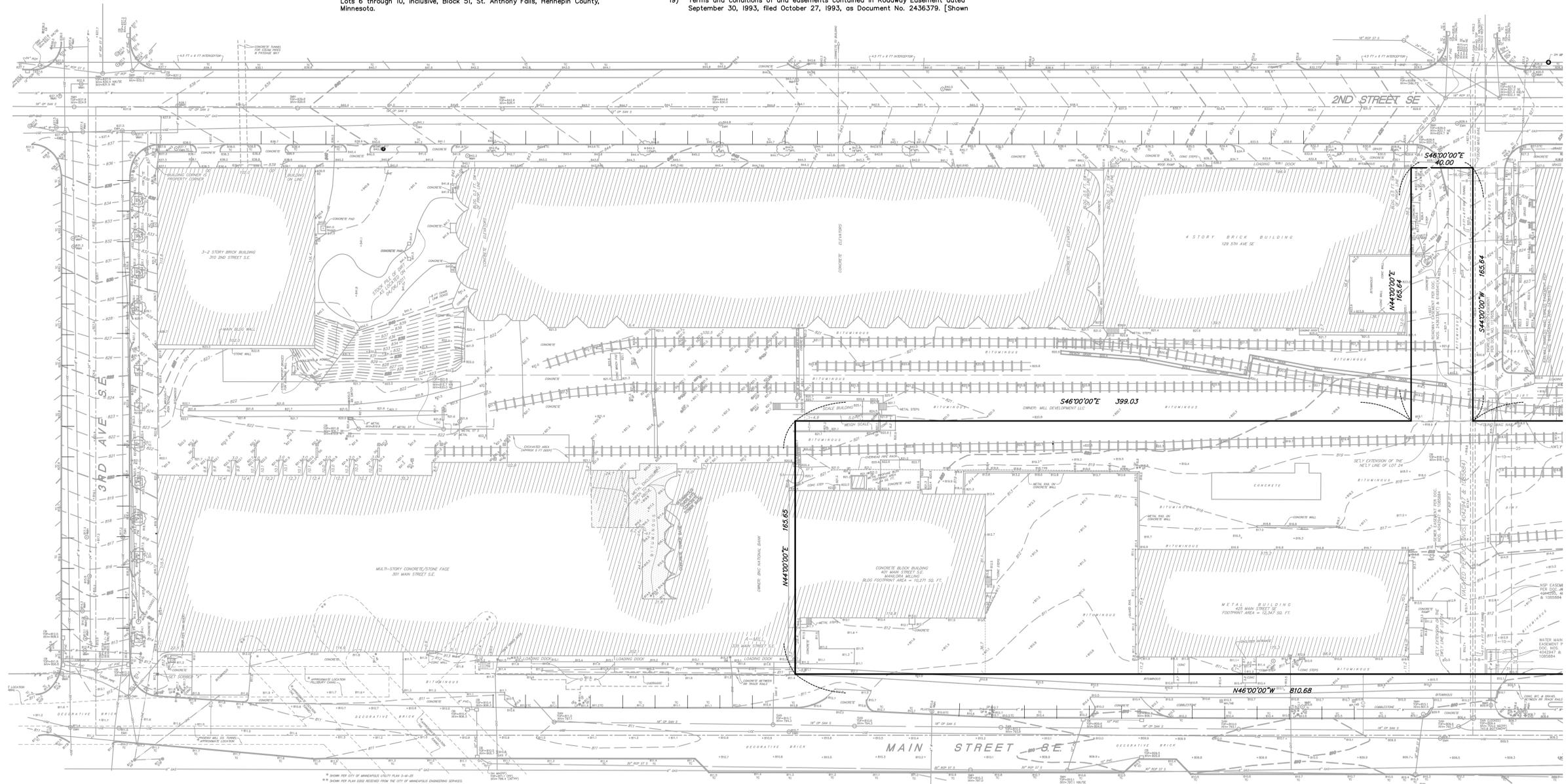
Exceptions are indicated on survey with circled numbers where applicable.

- 14) Subject to an easement in favor of Northern States Power Company over part of vacated 5th Avenue Southeast adjoining Lot 6, Block 51, contained in Document No. 4014295, as shown by recital on the Certificate of Title. [Shown on survey]
- 15) Subject to a reservation of utility easements in favor of the City of Minneapolis and Northern States Power Company over vacated 5th Avenue Southeast, contained in Document No. 4042947, as shown by recital on the Certificate of Title. [Shown on survey]
- 16) Subject to an ingress and egress easement contained in Document No. 1117653, as shown by recital on the Certificate of Title. [Shown on survey]
- 17) Subject to a Non-Exclusive Neon Sign Site License Agreement as to Lots 17 and 18, Block 50, contained in Document No. 8366591, as shown by recital on the Certificate of Title. [Shown on survey]
- NOTE: Said item is on the Certificate of Title, but does not affect the insured land. Said item will be deleted on any Policy issued pursuant to this commitment, and should not be carried forward to a Certificate of Title which only includes the insured land. [Not able to show on survey]
- 18) Terms and conditions of and easements contained in Easement for ingress and egress dated September 30, 1993, filed October 27, 1993, as Document No. 2436378. [Shown on survey]
- 19) Terms and conditions of and easements contained in Roadway Easement dated September 30, 1993, filed October 27, 1993, as Document No. 2436379. [Shown on survey]

- 20) Terms and conditions of an unrecorded Right of Entry dated September 8, 2006, between Mill Development LLC and Frank Theatre, as shown by information in the Title Insurance file.
NOTE: This was on previous title evidence, and the document is not available to the Company. Please supply said document or supply evidence that said Right of Entry has been released. [Not able to show on survey]
- 21) This item has been intentionally deleted (Included in Survey Exception).
- 22) Survey of Sunde Land Surveying, dated May 12, 2011, Surveyor's Project No. 92-087-DOR reveals the following:
 - (a) THIS ITEM INTENTIONALLY DELETED;
 - (b) Survey indicates encroachment of building and building appurtenances, including concrete, from Lot 18, Block 50, onto Lot 19, Block 50;
 - (c) Survey indicates either joint wall or abutting walls between buildings of Lot 18, Block 50 and Lot 19, Block 50;
 - (d) Survey indicates encroachment of concrete which extends south of Metal Building (425 Main Street SE), onto the Main Street SE right-of-way;
 - (e) Survey indicates encroachment of concrete which extends east of the Metal Building (425 Main Street SE) onto vacated 5th Avenue SE, and thus encroaches on easements reserved in Document No. 4042947;
 - (f) Surveyor indicates easement of Document No. 1085884 on the Survey. Please indicate where the information concerning Document No. 1085884 was derived and submit for review by the Company, or delete from the updated survey, said Document No. 1085884 is not a Memorial or Recital on the Certificate of Title;
 - (g) Encroachment of weigh scale and concrete associated with Scale Building on railroad land along north line outside any recorded easement area;
 - (h) THIS ITEM INTENTIONALLY DELETED;
 - (i) Various railroad spur tracks enter the land from the railroad property to the north of the land outside any recorded easement;
 - (j) Various spur tracks enter the land from the property to the west of the land outside any recorded easement;
 - (k) A spur track extends southerly from the land onto the right-of-way for Main Street SE outside any recorded easement;
 - (l) All access to Main Street SE appears to cross a spur track;
 - (m) A utility facility endorsement has been requested. Only utilities indicated on said survey as entering land from a public road or recorded easement will be insured on said endorsement;
 - (n) All access to 2nd Street SE appears to cross a railroad or spur track;
 - (o) Curb cut which appears to allow physical access from northeast corner of land onto 6th Avenue SE has railroad spur tracks in northeast area;
 - (p) Land appears to share curb cut onto 6th Avenue SE with property to northeast;
 - (q) Encroachment of trench drain and concrete from Lot 1, Block 50 onto that portion of land in vacated 5th Avenue which abuts said Lot 1.



NOTE: EXISTING SURVEY INFORMATION PROVIDED BY SUNDE LAND SURVEYING AND DATED 06-01-11. REFER TO ALTA/ACSM LAND TITLE SURVEY FOR COMPLETE SURVEY INFORMATION.



* SHOW PER CITY OF MINNEAPOLIS UTILITY PLAN 0-10-01
** SHOW PER PLAN 1002 RECEIVED FROM THE CITY OF MINNEAPOLIS ENGINEERING SERVICES



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Interior Design
Landscape Architecture
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CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

2-21-12 Date
Michael J. St. Martin, PE

24440 License Number

REVISIONS	No.	DATE

DATE 02-21-12
DRAWN BY MDC
CHECKED BY MJS
COMMISSION NO. 139357

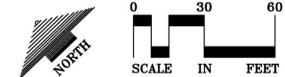
EXISTING
CONDITIONS

CI-1



CALL BEFORE YOU DIG!
Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166

NOTE:
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WARNING:

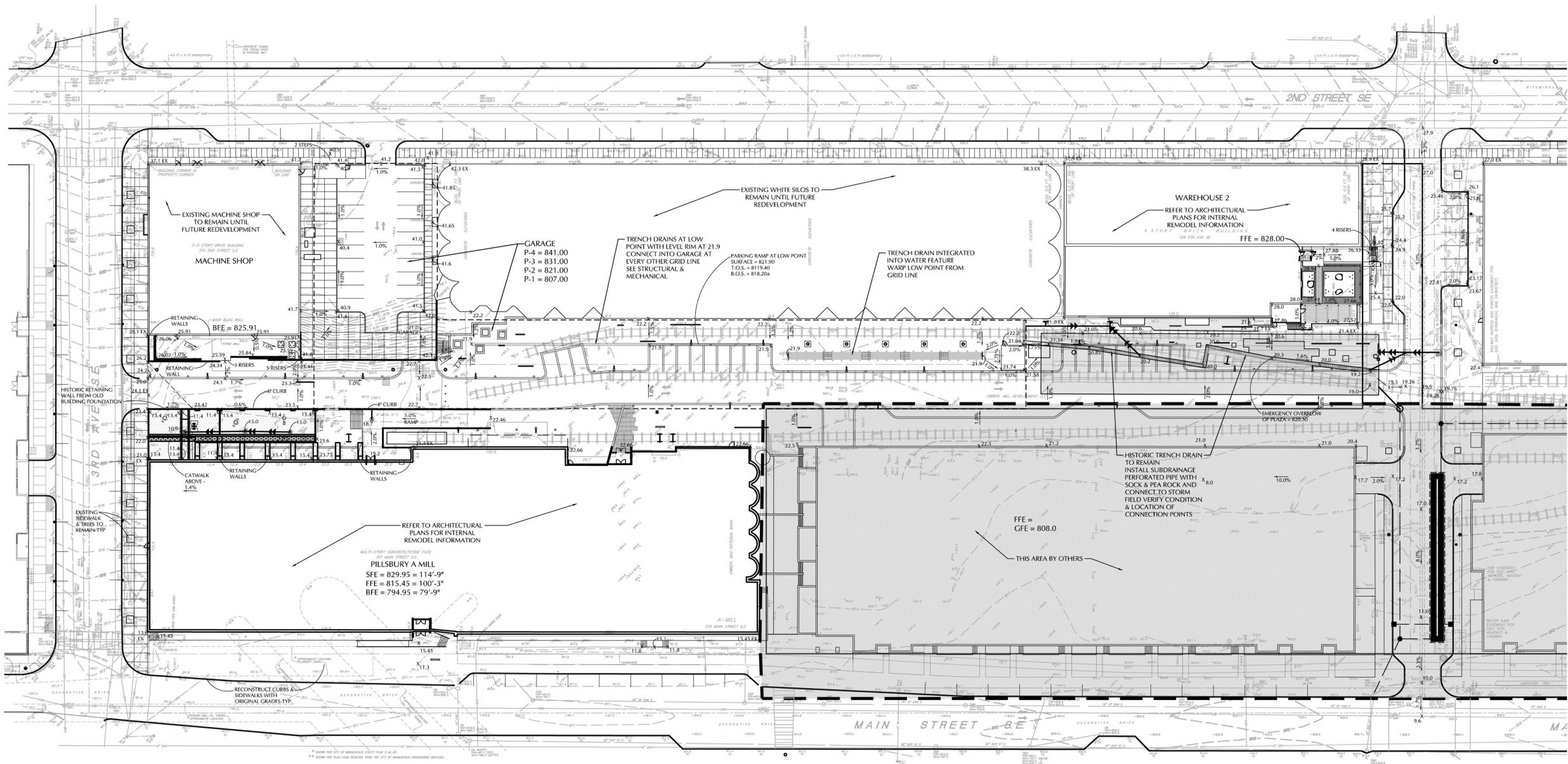
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

GRADING, DRAINAGE & EROSION CONTROL NOTES

- The contractor shall refer to the architectural plans for exact locations and dimensions of buildings, vestibules, sloped paving, exit porches, ramps, truck docks, entry locations and locations of downspouts.
- All disturbed unpaved areas are to receive minimum of 6 inches of top soil and sod or seed. These areas shall be watered by the contractor until the sod or seed is growing in a healthy manner.
- The contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phase of this project. The contractor will be held responsible for any damages to adjacent properties occurring during the construction phase of this project.
- The contractor will be responsible for providing and maintaining traffic control devices such as barricades, warning signs, directional signs, flagmen and lights to control the movement of traffic where necessary. Placement of these devices shall be approved by the engineer prior to placement. Traffic control devices shall conform to the appropriate Minnesota department of Transportation standards.
- In accordance with generally accepted construction practices, the contractor will be solely and completely responsible for conditions on the job site, including safety of all persons and property during the performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- The duty of the engineer or the developer to conduct construction review of the contractors performance is not intended to include review of the adequacy of the contractors safety measures in, or near the construction site.
- Before beginning construction the contractor shall install a Temporary Rock Entrance pad at all points of vehicle exit from the project site. Said Rock Entrance pad shall be maintained by the contractor for the duration of the project. See details shown on Sheet CB-1 and CB-2 of the project plans.
- Erosion and Sedimentation control measures shall be established around the entire site perimeter and in accordance with NPDES permit requirements, Best Management Practices, City requirements and the details shown on CB-1 and CB-2 of the project plans.
- All entrances and connections to city streets shall be performed per the requirements of the city. The contractor shall be responsible for all permits and notifications as required by the city.
- See utility plan and storm sewer profiles for further detail regarding the storm sewer.

EXISTING	CIVIL LEGEND	PROPOSED
	SANITARY MANHOLE	
	STORM MANHOLE	
	OPEN MANHOLE	
	CULVERT	
	HYDRANT	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	BENCHMARK	
	SOL. BORING	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANITARY SERVICE	
	HANDICAP PARKING	
	DIRECTION OF FLOW	
	SPOT ELEVATION	
	CONTOURS	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	FOREMAN	
	DRANTILE	
	SILT FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TREENLINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TELE	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	



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 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Michael J. St. Martin, PE Date 2-21-12

24440 License Number

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 DRAWN BY MDC
 CHECKED BY MJS
 COMMISSION NO. 139357

**GRADING &
 DRAINAGE PLAN**

C3-1

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
GENERAL NOTES:

- PROJECT NARRATIVE: THE NATURE OF THIS PROJECT WILL CONSIST OF REMODELING THE EXISTING PILLSBURY A-MILL COMPLEX INTO AN APARTMENT COMPLEX. THE PROJECT WILL MAKE USE OF THE EXISTING PAVED SURFACE CONVERTING IT TO UNDERGROUND PARKING. AN UNDERGROUND STORM WATER MANAGEMENT SYSTEM WILL BE INSTALLED TO PROVIDE THE REQUIRED STORM WATER MANAGEMENT. NEW WATER SERVICES AND SANITARY SEWER SERVICES WILL BE INSTALLED TO HANDLE THE ADDITIONAL DEMANDS.
- VICINITY MAP: 
- OWNER/DEVELOPER: DOMINIUM DEVELOPMENT & ACQUISITION, LCC
2905 NORTHWEST BLVD, SUITE 150
PLYMOUTH, MN 55441
PROJECT CONTACT: OWEN METZ
763-354-5618
- LAND DISTURBING ACTIVITIES: AREA TO BE DISTURBED = 5.0 ac.

PRIOR TO CONSTRUCTION	POST CONSTRUCTION
IMPERVIOUS AREA: 4.2 ac.	4.1 ac.
SOIL TYPES: SEE SOIL BORINGS	
POST CONSTRUCTION RUNOFF COEFFICIENT: CN=93	
- CONTRACTOR TO SEE SHEET C8-1 FOR STANDARD DETAILS FOR EROSION CONTROL DEVICES.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); EMBANKMENTS OF PONDS, BASINS, AND TRAPS; AND WITHIN FORTY-EIGHT (48) DAYS ON ALL OTHER DISTURBED OR GRADED AREAS. THE REQUIREMENTS OF THIS SECTION DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED.
- THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:
 - CLEAR AND GRUB FOR THOSE AREAS NECESSARY FOR INSTALLATION OF PERIMETER EROSION CONTROL DEVICES.
 - CONSTRUCTION OF PERIMETER EROSION CONTROL DEVICES.
 - REMAINING INTERIOR SITE CLEARING AND GRUBBING.
 - INSTALLATION OF PERMANENT AND TEMPORARY STABILIZATION MEASURES.
 - ROUGH GRADING OF SITE.
 - UTILITY INSTALLATION INCLUDING WATER SERVICES, SANITARY SERVICES, STORM SEWER, DRAINAGE, AND UNDERGROUND STORMWATER TREATMENT SYSTEM.
 - BUILDING RENOVATION, PARKING LOT, AND SITE CONSTRUCTION.
 - FINAL GRADING, LANDSCAPING OR STABILIZATION.
 - IMPLEMENTATION AND MAINTENANCE OF FINAL EROSION CONTROL STRUCTURES.
 - REMOVAL OF TEMPORARY EROSION CONTROL DEVICES.

- THE CONTRACTOR AND DEVELOPER SHALL REQUEST THE EROSION CONTROL INSPECTOR TO INSPECT AND APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL AND SEDIMENT CONTROL PLAN, AND IN ACCORDANCE WITH CHAPTER 52. THE CONTRACTOR AND DEVELOPER SHALL BE REQUIRED TO OBTAIN WRITTEN APPROVAL BY THE INSPECTOR AT THE STAGES OF DEVELOPMENT AS OUTLINED IN SECTION 52.25B, SUBSECTION 1(I), (J), (K).
- TO THE BEST OF OUR ABILITY, THE CLEARING, GRADING, CONSTRUCTION, AND DEVELOPMENT OF THIS PROJECT WILL BE DONE PURSUANT TO THE APPROVED PLANS. CHANGES TO THE PLANS WILL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO BEING IMPLEMENTED.
- THE CITY ENGINEER MAY REQUIRE ADDITIONAL INFORMATION OR DATA DEEMED APPROPRIATE AND/OR MAY IMPOSE SUCH CONDITIONS THERETO AS MAY BE DEEMED NECESSARY TO ENSURE COMPLIANCE WITH THE PROVISIONS OF CHAPTER 52, THE MANUAL OF STANDARDS, OR THE PRESERVATION OF PUBLIC HEALTH AND SAFETY.
- THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
- ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES. SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX. CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
- SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
- SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE.
- NO ENGINE DEGREASING IS ALLOWED ON SITE.
- THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS II.B., PART III.C. AND PART IV. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
- INSPECTIONS:
 - INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 - EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOURS RAIN EVENT.
 - STABILIZED AREAS: ONCE EVERY 30 DAYS OR FROZEN GROUND; AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
- OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS.
- SWPPP MUST BE AMENDED WHEN:
 - THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE
 - INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
 - THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.

- HAZARDOUS MATERIALS SUCH AS OIL, GASOLINE, PAINT, AND ANY OTHER HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS, OR OTHER DISCHARGES. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. CONCRETE WASH MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND RUNOFF MUST BE CONTAINED WITHIN A DESIGNATED AREA.
- ALL WASTE AND UNUSED BUILDING MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORAGE SEWER SYSTEM.

SILT FENCE REQUIRED MAINTENANCE:
1. WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF SILT FENCE IT MUST BE REMOVED WITHIN 24 HOURS.
2. REPAIR OR REPLACE DYSFUNCTIONAL SILT FENCE WITHIN 24 HOURS.

INLET PROTECTION REQUIRED MAINTENANCE:
1. WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF BASKET DEPTH IT MUST BE CLEANED WITHIN 24 HOURS.
2. REPAIR OR REPLACE DYSFUNCTIONAL INLET PROTECTION WITHIN 24 HOURS.

NOTE:
EXISTING SURVEY INFORMATION PROVIDED BY SUNDE LAND SURVEYING AND DATED 06-01-11. REFER TO ALTA/ACSM LAND TITLE SURVEY FOR COMPLETE SURVEY INFORMATION.

CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-292-1166

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND /OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

EROSION AND SEDIMENT CONTROL NOTES

INSTALL PERIMETER EROSION CONTROLS AS INDICATED IN PLANS PRIOR TO START OF WORK. HAY BALES ARE NOT ALLOWED AS EROSION & SEDIMENT CONTROL DEVICE IN MINNEAPOLIS.

ESTABLISH ROCK CONSTRUCTION ENTRANCES PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES. 1 1/2" X 2" WASHED AGGREGATE IS RECOMMENDED FOR ROCK ENTRANCES. A SLOTTED TIE FABRIC IS REQUIRED.

REMOVE ALL SOIL AND SEDIMENTS DEPOSITED ONTO PUBLIC AND/OR PRIVATE PAVED AREAS WITHIN 24 HOURS OF DEPOSITION. REMOVAL OF TRACKING MATERIALS SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN TRACKING OCCURS. SWEEPING MAY BE OBLIGATED AT ANY TIME IF CONDITIONS WARRANT SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND IN SUCH A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

INSTALL INLET PROTECTION IN ALL DOWNSTREAM CATCH BASINS WHICH RECEIVE RUNOFF FROM THE DISTURBED AREA. CATCH BASIN INLETS ARE REQUIRED AT ALL LOCATIONS NOT WITHIN THE DISTURBED AREA WHICH RECEIVE RUNOFF FROM THE DISTURBED AREA. INLET PROTECTION SHALL BE COMPLETED AT THE END OF EACH WORK DAY WHEN TRACKING OCCURS. SWEEPING MAY BE OBLIGATED AT ANY TIME IF CONDITIONS WARRANT SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND IN SUCH A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

LOCATE ALL SOIL AND DIRT PILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. ALL STOCK PILES THAT REMAIN IN PLACE FOR 7 DAYS OR MORE SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPING OR OTHER MEANS. TEMPORARY STOCK PILES LOCATED ON PAVED SURFACES SHALL BE AT LEAST 2 FEET OR MORE AWAY FROM THE DRAINAGE/OUTLET LINE AND SHALL BE COVERED IF REMAINING MORE THAN 24 HOURS.

MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A WEEKLY BASIS AND REPLACE DETERIORATED, DAMAGED OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PERFORMED WHENEVER THE DEVICE IS 30% FULL. FAILURE TO MAINTAIN EROSION CONTROL DEVICES MAY LEAD TO FURTHER ENFORCEMENT ACTION. WEEKLY INSPECTIONS REQUIRED AND AFTER EACH 1/2" OR MORE RAIN EVENT WITHIN 24 HRS.

READY MIXED CONCRETE AND BATCH PLANT WASHOUTS PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. EQUIPMENT CONCRETE WASHOUT AND MIXING LOCATIONS IN THE EROSION CONTROL PLANE UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO THE PUBLIC STORM DRAIN.

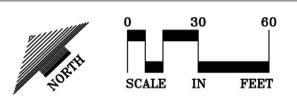
TEMPORARILY OR PERMANENTLY STABILIZE ALL DENIED AREAS WHICH HAVE BEEN FINISH GRADED WITHIN 72 HOURS BEFORE DEPOSITING SOIL. USE SEEDING AND MULCHING. EROSION CONTROL MATTING AND/OR SCODDING WITH TEMPORARY STAKES IN GREEN SPACE AREAS. USE EARLY APPLICATION OF GRAVEL BASE FOR AREAS DESIGNATED FOR PAVED SURFACING.

REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL AND NON-Biodegradable EROSION AND SEDIMENT CONTROL AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. MINIMUM VEGETATION COVER OF 70% REQUIRED. ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL THE SITE HAS 70% ESTABLISHED VEGETATIVE COVER AND ALL PAVED AREAS HAVE BEEN STABILIZED WITH THE SELECTED PAVEMENT TYPE.

ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY OTHER PERMITTING AGENCIES. IT IS THE RESPONSIBILITY OF THE PROJECT ENGINEER TO VERIFY THAT THE CITY AND ALL OTHER AGENCY REQUIREMENTS ARE MET.

MINNEAPOLIS IS CUSTOM MIDDOT SPEC. NOT TO SCALE

MINNEAPOLIS
EROSION CONTROL NOTES
STANDARD PLATE NO. SEWR-8007



EXISTING	CIVIL LEGEND	PROPOSED
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	HYDRANT	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	SIGN	
	BENCHMARK	
	SOIL BORING	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANITARY SERVICE	
	HANDICAP PARKING	
	DIRECTION OF FLOW	
	SPOT ELEVATION	
	CONTOURS	
	SANITARY SEWER	
	STORM SEWER	
	WATER MAIN	
	FOREMAN	
	DRANTILE	
	SILT FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TRENCH LINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TILE	
	OVERHEAD UTILITY	



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2/21/12
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CONSTRUCTION

A-Mill Artists Lofts
Site & Parking
Structure

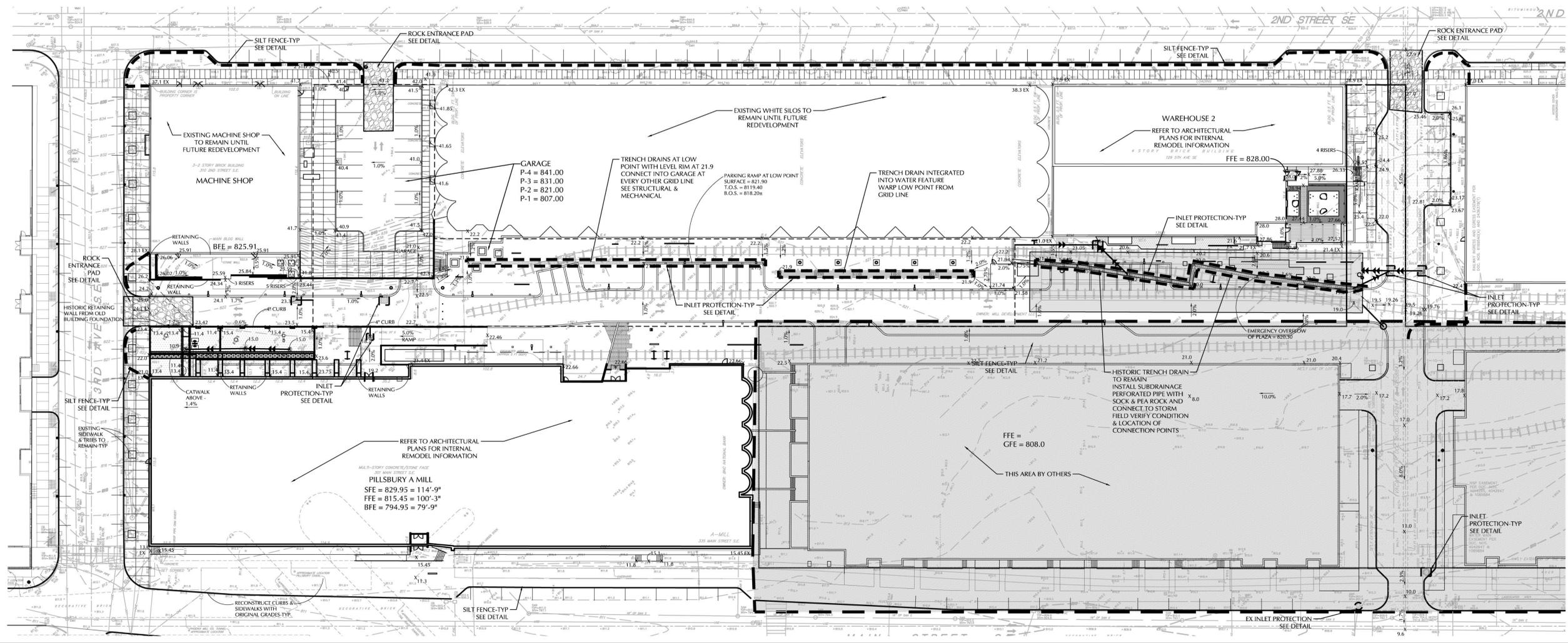
CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Michael J. St. Martin, PE Date 2-21-12
24440 License Number

REVISIONS	No.	DATE

DATE 02-21-12
DRAWN BY MDC
CHECKED BY MJS
COMMISSION NO. 139357

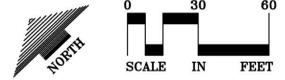
**STORM WATER
POLLUTION
PREVENTION PLAN
(SWPPP)**





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 BY SUNDE LAND SURVEYING AND DATED
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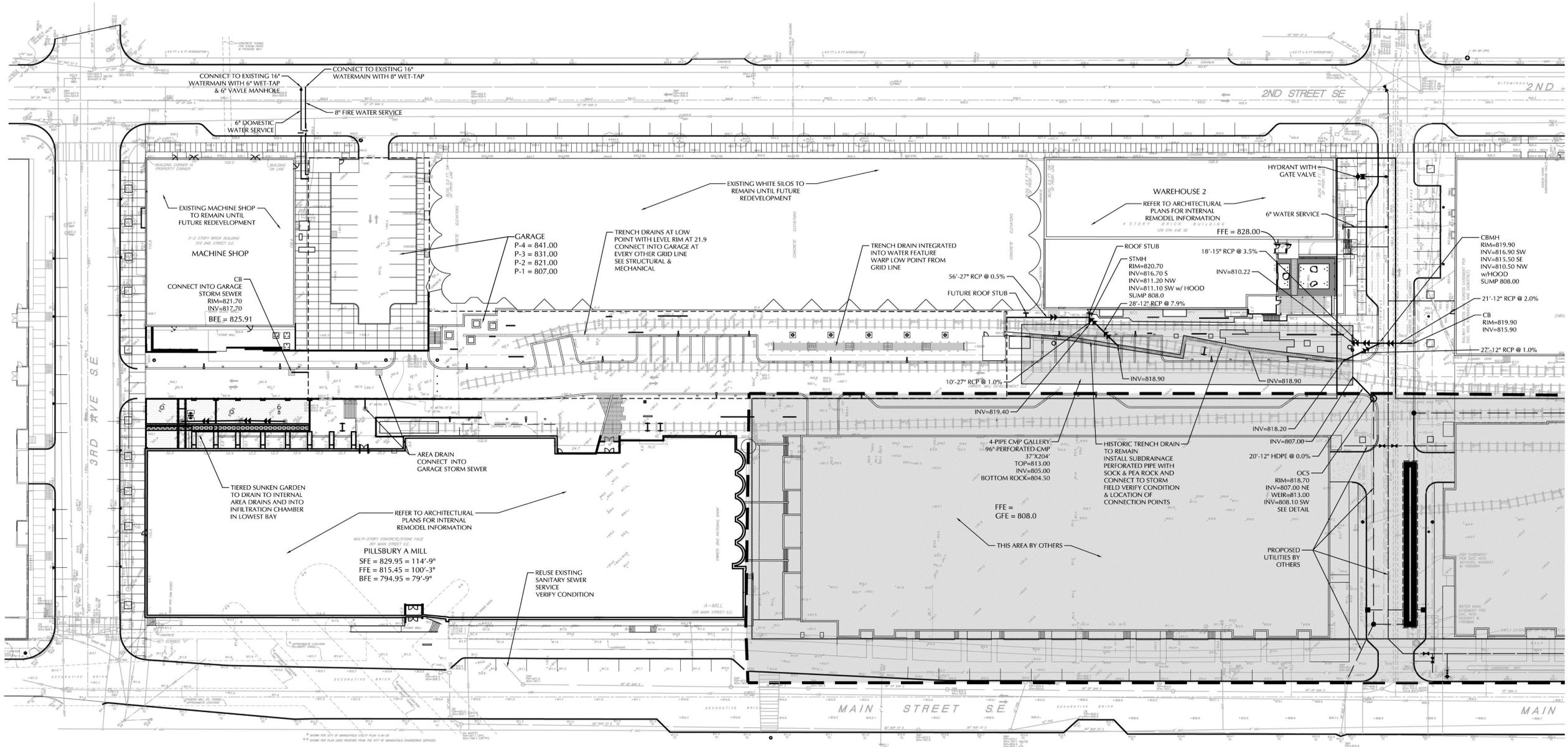
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UTILITY PLAN GENERAL NOTES

- All sanitary sewer, storm sewer and watermain utilities shall be furnished and installed per the requirements of the specifications, the City and the standard utilities specification of the City Engineers Association of Minnesota (CEAM), 1999 edition. All HDPE connections to concrete manholes shall be connected with an internal rubber gasket or by using ADS waterstop gasket. All sanitary sewer main line shall be SDR 35. All sanitary sewer services shall be SDR 26.
- See Sheet C6-1, C6-2 and the contract specifications for specific utility details and utility service details.
- All utility pipe bedding shall be compacted sand or fine granular material per the requirements of the City. All compaction shall be performed per the requirements of the CEAM Specification.
- All connections to existing utilities shall be performed per the requirements of the City. The City Department of Engineering and Building Inspections Department and the construction engineer must be notified at least 48 hours prior to any work within the public right of way, or work impacting public utilities.
- All sanitary sewer and water services shall terminate at the property line unless otherwise noted.
- The contractor shall notify GOPHER STATE ONE CALL at 651-454-0002 at least 48 hours prior to performing any excavation or underground work.
- The contractor shall field adjust watermain to avoid conflicts with sanitary sewer, storm sewer, and services as required. Insulation of water and sanitary sewer lines shall be provided where 7.5 feet minimum depth can not be attained.
- All street repairs and patching shall be performed per the requirements of the City. All traffic control shall be provided by the contractor and shall be established per the requirements of the Minnesota Manual of Uniform Traffic Control Devices (MUTCD) and the City. This shall include all signage, barricades, flashers and flaggers as needed. All public streets shall be open to traffic at all times. No road closures shall be permitted without the expressed authority of the City.
- All new watermain must have a minimum of 7.5 feet of cover.
- Adjust all existing structures, both public and private to the proposed grades where disturbed and comply with all requirements of the utility owners. Structures being reset to paved areas must meet owners requirements for traffic loading.
- Proposed Pipe Materials:

Watermain	DIP Class 52	No less than 7.5' deep.
Water Service	COPPER TYPE K, 1"	Service to property line.
Sanitary Sewer	PVC SDR 35	No more than 20' deep.
Sanitary Sewer	PVC 4"	20' - 25' deep.
Sanitary Sewer	PVC 4"	Service to property line.
Storm Sewer	RCP CLASS 5	12" to 18" diameter.
Draintile	POLYETHYLENE	Back of curb.

EXISTING	CIVIL LEGEND	PROPOSED
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	HYDRANT	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	BENCHMARK	
	SOL BORING	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANITARY SERVICE	
	HANDICAP PARKING	
	DIRECTION OF FLOW	
	SPOT ELEVATION	
	CONTOURS	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	FOREMAN	
	DRAIN TILE	
	SET FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TRENCHLINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TELE	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	



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 2/21/12
 NOT FOR
 CONSTRUCTION

A-Mill Artists Lofts
 Site & Parking
 Structure

CERTIFICATION
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2-21-12 Date
 Michael J. St. Martin, PE
 24440 License Number

REVISIONS	No.	DATE

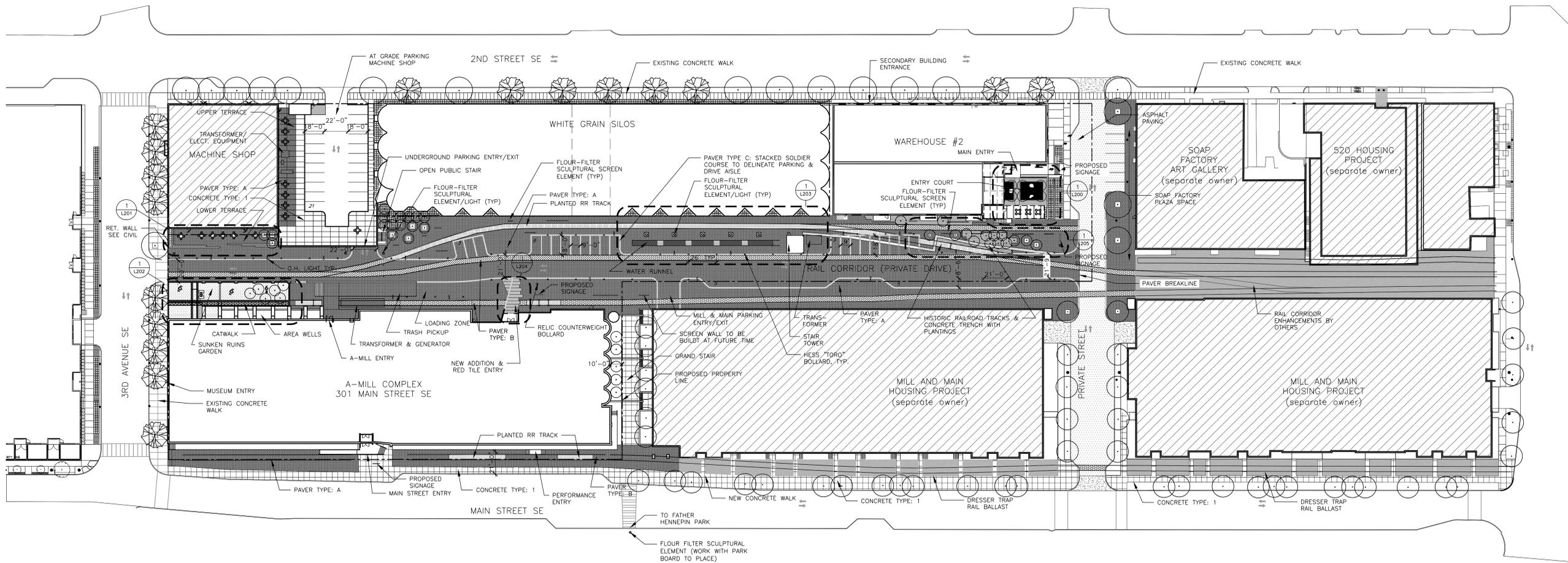
DATE 02-21-12
 DRAWN BY MDC
 CHECKED BY MJS
 COMMISSION NO. 139357

UTILITY PLAN

C4-1

REVISIONS	No.	DATE

DATE	02-21-12
DRAWN BY	DMM, LAP
CHECKED BY	DMM
COMMISSION NO.	139357-SP



1 SITE PLAN
1/100 1"=40'

1-L100 SITE PLAN.DWG

LEGEND

[Pattern]	PAVER: A
[Pattern]	PAVER: B
[Pattern]	CONCRETE: 1
[Pattern]	SEPARATE OWNER
[Pattern]	BITUMINDUS

PROJECT DATA:
LOT AREA: 140,911 SF / 3.23 ACRES
BUILDING FOOTPRINT: 69,524 SF
LOT AREA - BLDG. FOOTPRINT: 72,387 SF
20% LANDSCAPE REQ.: 14,477 SF
PERVIOUS AREA ON SITE: 11,050 SF - ROOF AND STREET LEVEL (15%)
PERVIOUS IN RIGHT-OF-WAY: 6,216 SF
TOTAL PERVIOUS: 17,266 SF (24%)

PROJECT SUMMARY:

A Mill - North		
20,500	main floor plate	7 143,500
11,800	7th floor	1 11,800
South Mill, Cleaning, WH1		
11,400	floors 1-3	3 34,200
2,100	infill space	3 6,300
4,850	floor 5	1 4,850
10,900	floor 6-9	5 54,500
4,500	basement mezz + pump room	1 4,500
6,000	basement under silos	1 6,000
Red Tile		
12,300	basement (all)	1 12,300
5,400	floors 8-10	3 16,200
4,200	floors 11-12	2 8,400
Warehouse 2		
19,400	floor 1	1 19,400
11,200	floor 2-4	3 33,600
Total		355,550

SITE PLAN NOTES:

1. **SNOW REMOVAL PLAN:** SIDEWALKS AND BUILDING ENTRANCES WILL BE CLEARED. THIS PLAN WILL REQUIRE THE REMOVAL OF SNOW FROM THE SITE TO AN OFF-SITE LOCATION. THE GARAGE ENTRANCE RAMP IS ENCLOSED WITHIN THE BUILDING AND WILL NOT REQUIRE SNOW REMOVAL.
2. NO BUILDING SIGNAGE PROPOSED AT THIS TIME.
3. SEE SHEET L101 FOR LANDSCAPE PLANTINGS.

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Landscape Architect under the laws of the State of Minnesota.

[PRINTED LA'S NAME] Date

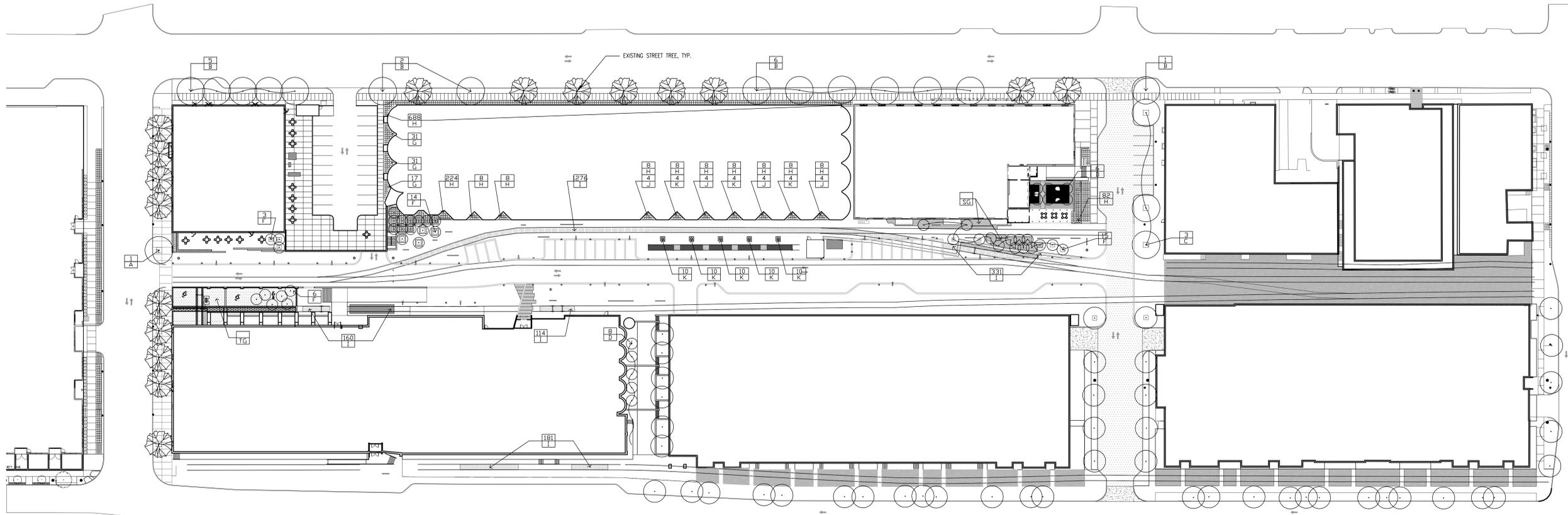
#XXXXXX [LICENSE NUMBER]
License Number

REVISIONS	No.	DATE

DATE 02-21-12
DRAWN BY DHM, LAP
CHECKED BY LAP
COMMISSION NO. 139357-SP

LANDSCAPE PLAN

I-L101



1 SITE PLAN
1:100 1"=40'
139357-SP-L101 LANDSCAPE PLAN.DWG

GENERAL NOTES

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REPAIR.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ADJUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, UNLESS NOTED OTHERWISE. DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO "Y" CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 5 FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEARS FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- PLANTING AREAS (NOT OVER STRUCTURE) RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 18" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS SCREENED COMPOST OR MANURE AND 10 PARTS SAND.
- ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.
- SHRUB BED MASSINGS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.
- STEEL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS AND ANNUALS WHERE PLANTING BED MEETS SOD UNLESS OTHERWISE NOTED.
- REFER TO CIVIL FOR SITE DEMOLITION INFORMATION.
- REFER TO CIVIL FOR ADDITIONAL SITE GRADING AND UTILITY INFORMATION.
- IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS SHOWN IN THE PLANT MATERIALS SCHEDULE AND THE PLANS, THE PLANS SHALL GOVERN.
- CONTRACTOR SHALL STAKE OUT LOCATION OF ALL PROPOSED TREES FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

IRRIGATION NOTES

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PERFORMANCE IRRIGATION PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ADJUTING BUILDING FOUNDATION.
- SHRUBS & PERENNIAL BEDS TO BE IRRIGATED WITH DRIP IRRIGATION. SOD TO BE IRRIGATED WITH SPRAY.
- LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIALS GROWTH REQUIREMENTS.
- LANDSCAPE CONTRACTOR SHALL INSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL PLANTING AREAS.
- COORDINATE IRRIGATION SLEEVING LOCATIONS WITH GENERAL CONTRACTOR.
- RAIN SENSORS TO BE INCLUDED WITHIN THE IRRIGATION DESIGN.
- IRRIGATION LIMITS TO EXTEND TO STREET BACK OF CURB.

SURVEY NOTES

ALL EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE BASED ON AN OWNER-FURNISHED SURVEY. BKV GROUP OFFERS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR RELIABILITY OF THE INDICATED EXISTING CONDITIONS.

THE CONTRACTOR SHALL FIELD VERIFY ALL CRITICAL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, EXISTING BUILDING LOCATIONS, UTILITY LOCATIONS AND INVERT ELEVATIONS, AND EXISTING SITE GRADES PRIOR TO THE START OF WORK.

ANY OBSERVED DEVIATIONS FROM CONDITIONS INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT OR LANDSCAPE ARCHITECT'S ATTENTION IMMEDIATELY UPON DISCOVERY. NO WORK SHALL PROCEED IN THE AREAS OF ANY DISCOVERED DEVIATIONS UNTIL THE DIFFERENCES ARE RESOLVED.

PROPOSED PLANT SCHEDULE

QTY.	SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	TYPE	COMMENTS
TREES / SHRUBS						
1	A	SKYLINE HONEYLOCUST	Gleditsia triacanthos var. inermis 'Skycole'	3" CAL.	B&B	PLANT PER PLAN
14	B	RED SUNSET MAPLE	Acer rubrum 'Franksred'	3" CAL.	B&B	PLANT PER PLAN
3	C	GREENSPIRE LINDEN	Tilia cordata 'Greenspire'	3" CAL.	B&B	PLANT PER PLAN
14	D	DAKOTA PINNACLE BIRCH	Betula platyphylla 'Fargo'	#15	CONT.	PLANT PER PLAN
38	F	PRAIRIE GOLD ASPEN	Populus tremuloides 'NEArb'	#10	CONT.	PLANT PER PLAN
79	G	SEM FALSESPIREA	Sorbaria sorbifolia 'Sem'	#6	CONT.	PLANT PER PLAN
PERENNIALS / GRASSES / VINES						
1066	H	FEATHER REED GRASS	Calamagrostis brachytricha	#3	CONT.	PLANT PER PLAN
1062	I	WOOLY THYME	Thymus pseudolanuginosus	#1	CONT.	PLANT PER PLAN
16	J	FLAMENCO TRUMPETCREEPER	Campsis radicans 'Flamenco'	#2	CONT.	PLANT PER PLAN
62	K	DROPMORE SCARLET HONEYSUCKLE	Lonicera x brownii 'Dropmore Scarlet'	#2	CONT.	PLANT PER PLAN
116	L	LITTLE BLUESTEM	Schizachyrium scoparium	#1	CONT.	PLANT PER PLAN
	TG	TALL GRASS MIX	SEE BELOW			
	SG	SHORT GRASS MIX	SEE BELOW			

SEED MIX LEGEND

- TALL GRASS WOODS EDGE SAVANNA MATRIX:**
BIG BLUESTEM, PRAIRIE BROME, PALM SEDGE, CANADA WILD RYE, SILKY WILD RYE, VIRGINIA WILD RYE, BOTTLEBRUSH GRASS
- SHORT GRASS PRAIRIE MIX:**
LITTLE BLUESTEM, SIDE OATS GRAMA, BLUE GRAMA, JUNE GRASS, KALM'S BROME, POVERTY OAT GRASS, SAND DROPSPEED, PRAIRIE DROPSPEED.

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Landscape Architect under the laws of the State of Minnesota.

[PRINTED LA'S NAME] Date

#XXXXX [LICENSE NUMBER] License Number

REVISIONS	No.	DATE

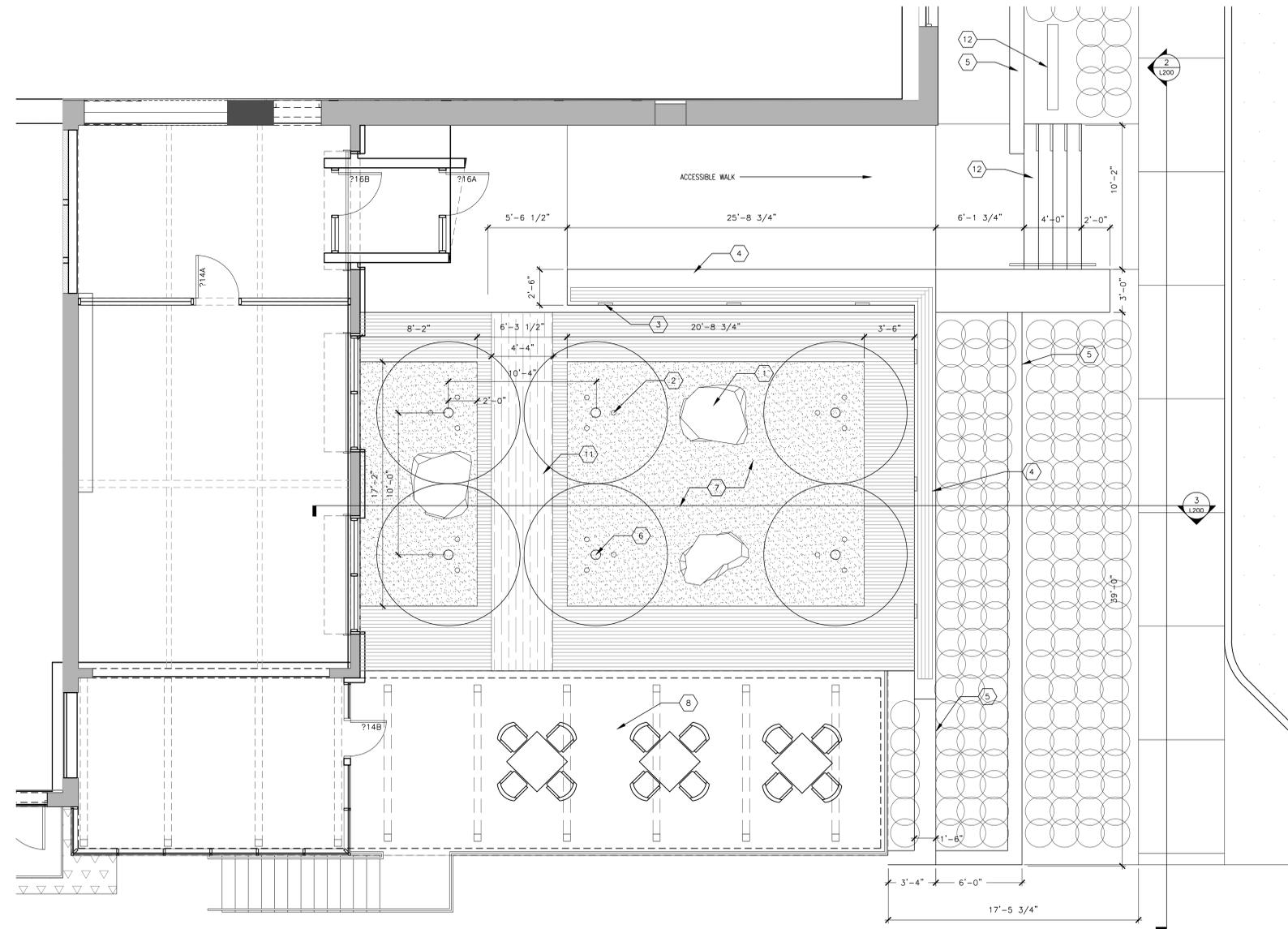
DATE	02-21-12
DRAWN BY	DMM, LAP
CHECKED BY	DMM
COMMISSION NO.	139357-SP

WH2 COURTYARD
DETAILS

I-L200

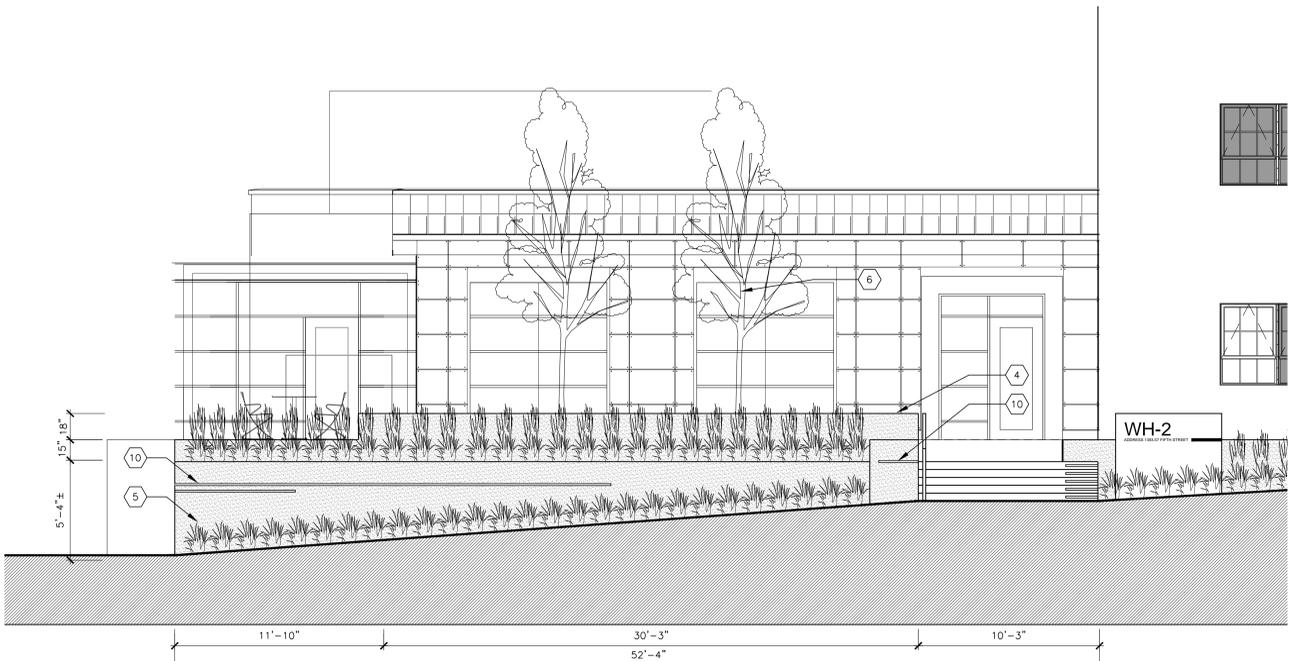
KEY NOTES

- 1 RECLAIMED BRIDGE ABUTMENT LIMESTONE BOULDER (TYP)
- 2 SPOT UPLIGHT. (TYP)
- 3 INTEGRATED SEAT DOWN LIGHT. (TYP)
- 4 CIP CONCRETE SEAT WALL WITH INSET IPE SEAT.
- 5 CIP CONCRETE RETAINING WALL/PLANTER WITH INTEGRATED STRIP LIGHT
- 6 SPECIMEN TREE PLANTINGS (TYP). SEE DETAIL 5/L301.
- 7 3/8" - 3/4" CLEAR DRESSER TRAP GRAVEL
- 8 OPEN AIR SEATING AREA WITH PERGOLA ENCLOSURE.
- 9 OPEN AIR SEATING AREA WITH SHED ROOF ENCLOSURE
- 10 INTEGRATED STRIP LIGHT
- 11 BACK LIT PERFORATED WALKWAY
- 12 CIP CONCRETE STAIR WITH INTEGRATED STRIP LIGHT
- 13 PROPOSED ENTRANCE SIGNAGE



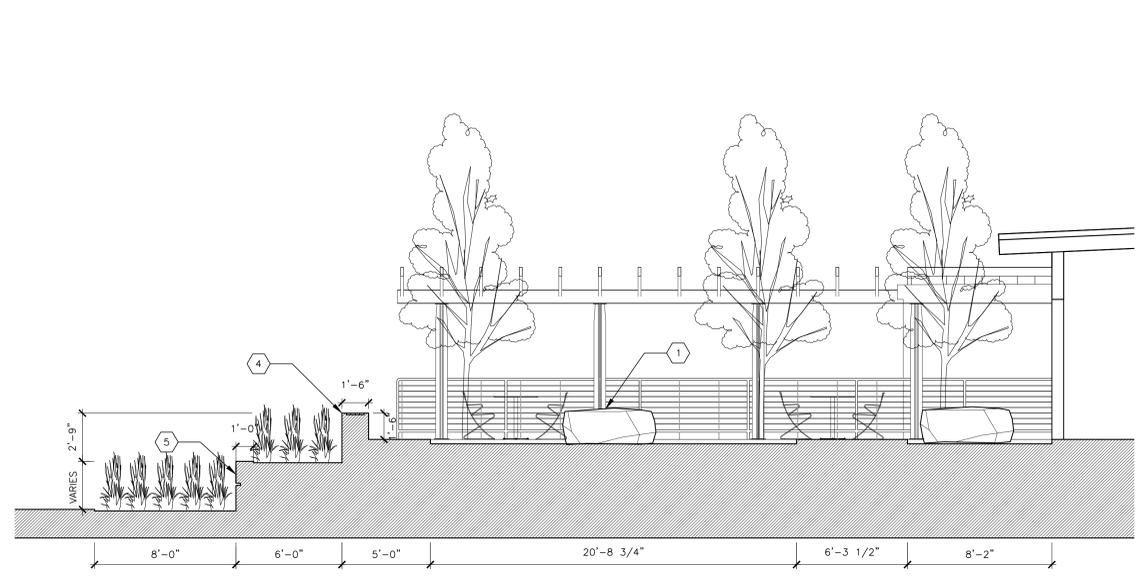
1 WH2 COURTYARD DETAIL PLAN
L200/1/4"=1'-0"

139357-SP-L200 WH2 COURTYARD DETAILS.DWG



2 WH2 COURTYARD ELEVATION WEST
L200/1/4"=1'-0"

139357-SP-L200 WH2 COURTYARD DETAILS.DWG



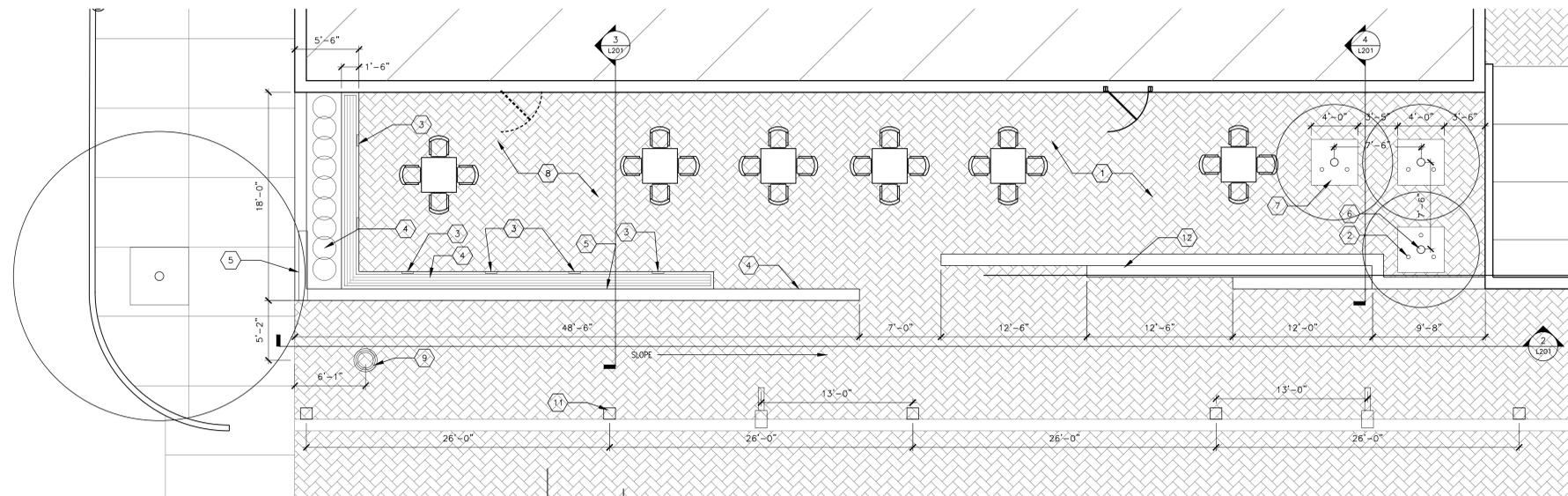
3 WH2 COURTYARD SECTION SOUTH
L200/1/4"=1'-0"

139357-SP-L200 WH2 COURTYARD DETAILS.DWG

REVISIONS	No.	DATE

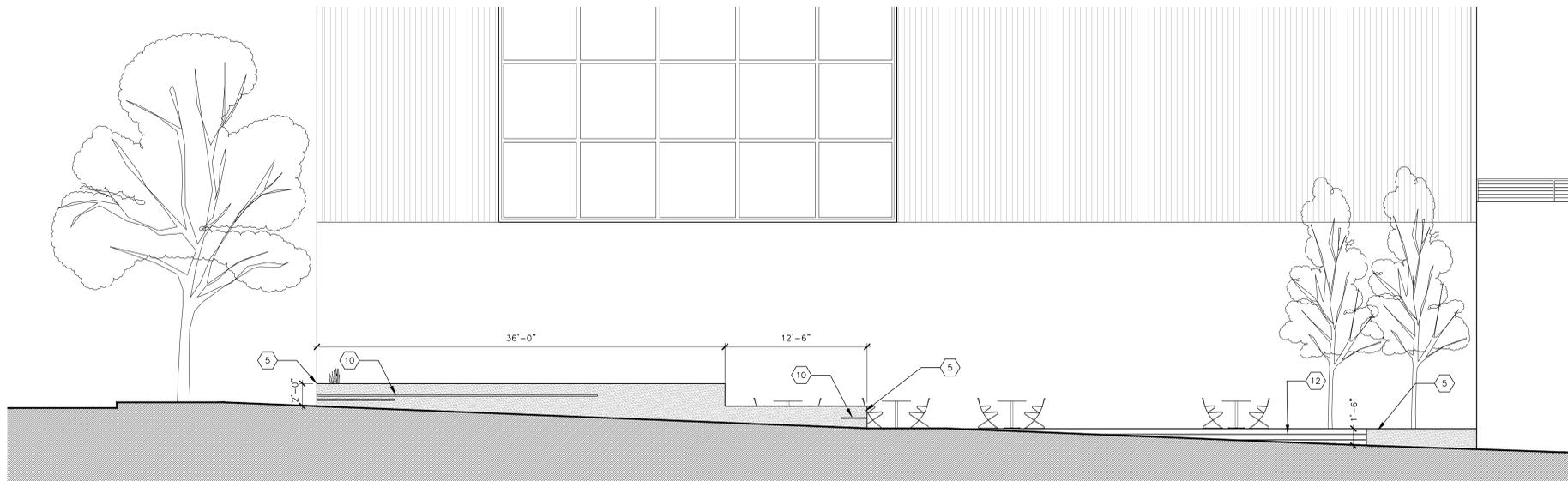
KEY NOTES

- 1 PAVER TYPE 1 (HERRINGBONE)
- 2 SPOT UPLIGHT. (TYP)
- 3 INTEGRATED SEAT DOWN LIGHT
- 4 CIP CONCRETE SEAT WALL WITH INSET IPE SEAT REST
- 5 CIP CONCRETE RETAINING WALL/PLANTER WITH INTEGRATED STRIP LIGHT
- 6 SPECIMEN TREE PLANTINGS (TYP). SEE 5/L301
- 7 3/8" - 3/4" CLEAR DRESSER TRAP ROCK
- 8 SEATING AREA WITH MOVEABLE SEATING
- 9 FLOUR FILTER SCULPTURE/ENTRANCE MONUMENT
- 10 INTEGRATED STRIP LIGHT
- 11 BOLLARD (TYP)
- 12 STEPS



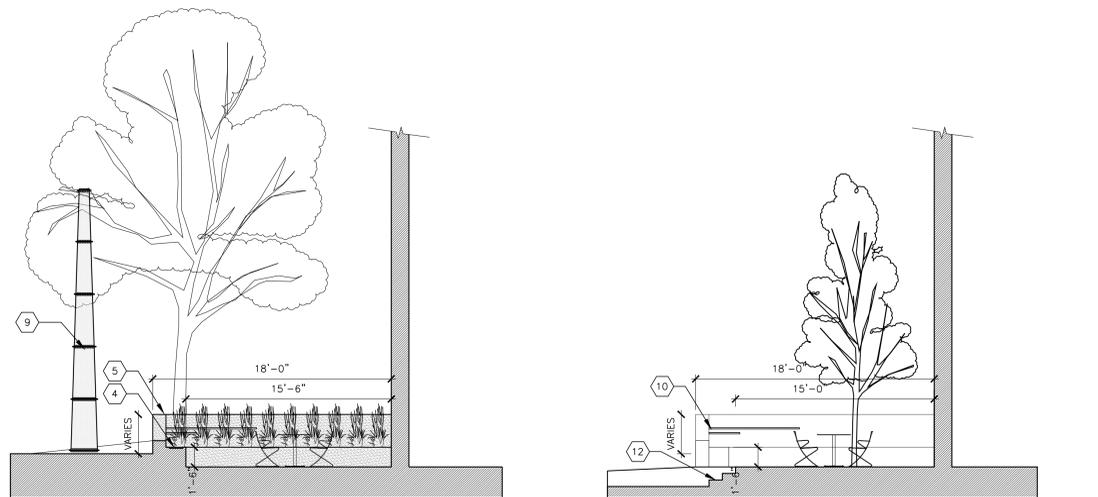
1 MACHINE SHOP LOWER TERRACE DETAIL PLAN
L201/1/4"=1'-0"

139357-SP-L201 MS-DETAIL PLAN.DWG



2 MACHINE SHOP LOWER TERRACE ELEVATION NORTH EAST
L201/1/4"=1'-0"

139357-SP-L201 MS-DETAIL PLAN.DWG



3 MACHINE SHOP LOWER TERRACE SECTION NORTH-1
L201/3/16"=1'-0"

139357-SP-L201 MS-DETAIL PLAN.DWG

4 MACHINE SHOP LOWER TERRACE SECTION NORTH-2
L201/3/16"=1'-0"

139357-SP-L201 MS-DETAIL PLAN.DWG

CERTIFICATION

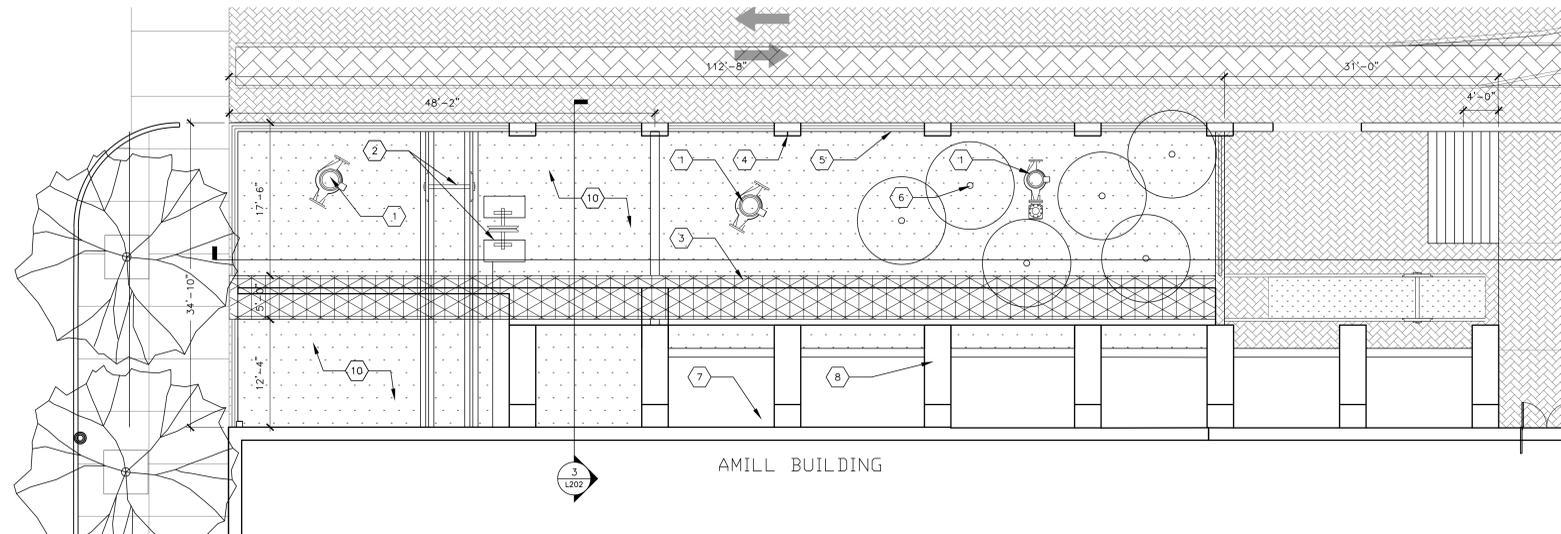
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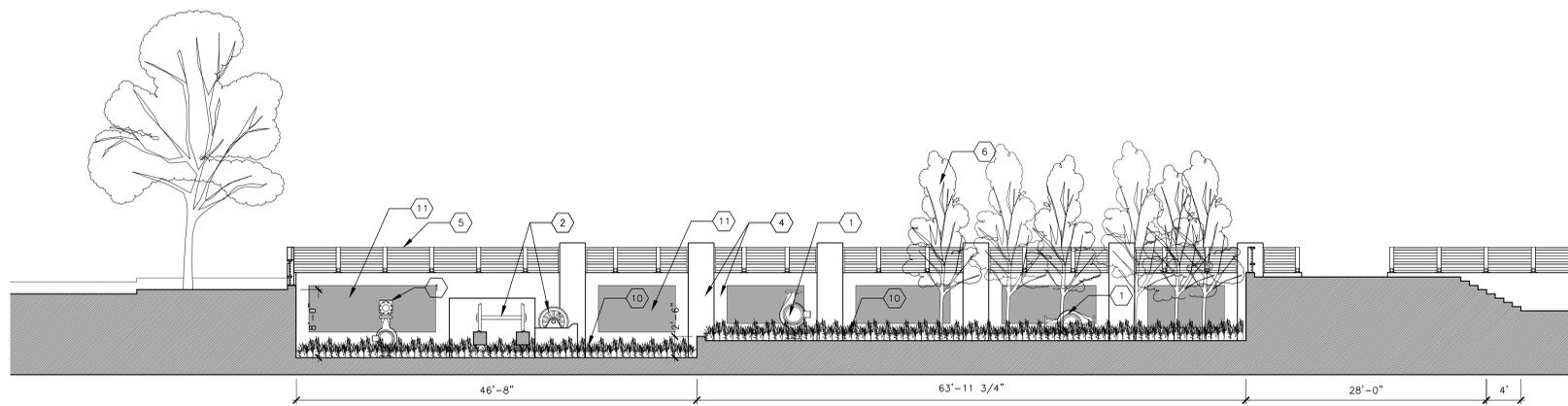
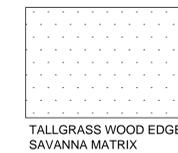
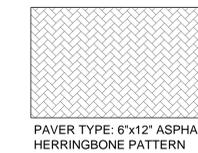
1 SUNKEN RELIC GARDEN DETAIL PLAN
L202/1/8"=1'-0"

139357-SP-L202 SG-DETAILS.DWG

KEY NOTES

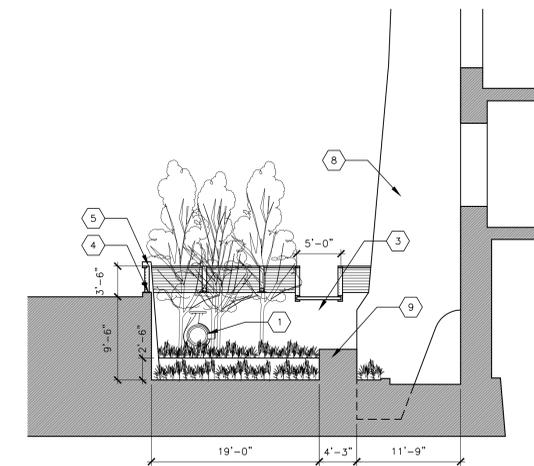
- 1 RELIC SCULPTURAL ELEMENT (TYP)
- 2 RELIC TRANSFER TABLE BASE ASSEMBLY (FIELD VERIFY)
- 3 CATWALK - PEDESTRIAN CIRCULATION AND VIEWING
- 4 NEW CONCRETE RETAINING WALL WITH BUTTRESS
- 5 42" HIGH GUARD RAIL AND 6" CURB (TOP OF WALL)
- 6 SPECIMEN TREE PLANTINGS (TYP). SEE DETAIL 5/L301.
- 7 PROPOSED AREA WELL - SEE ARCH
- 8 EXISTING BUTTRESS.
- 9 EXISTING TOE WALL
- 10 TALLGRASS WOODS EDGE SAVANNA MATRIX (SEE SEED MIX LEGEND- 1-L101)
- 11 RECESSED TRANSLUCENT RESIN PANEL, 3-FORM VARIA ECORESIN "ORGANICS", FORMED WITH WHEAT. TO BE BACKLIT. SEE DETAIL: 5/L302

LEGEND



2 SUNKEN RELIC GARDEN SECTION NORTH
L202/1/8"=1'-0"

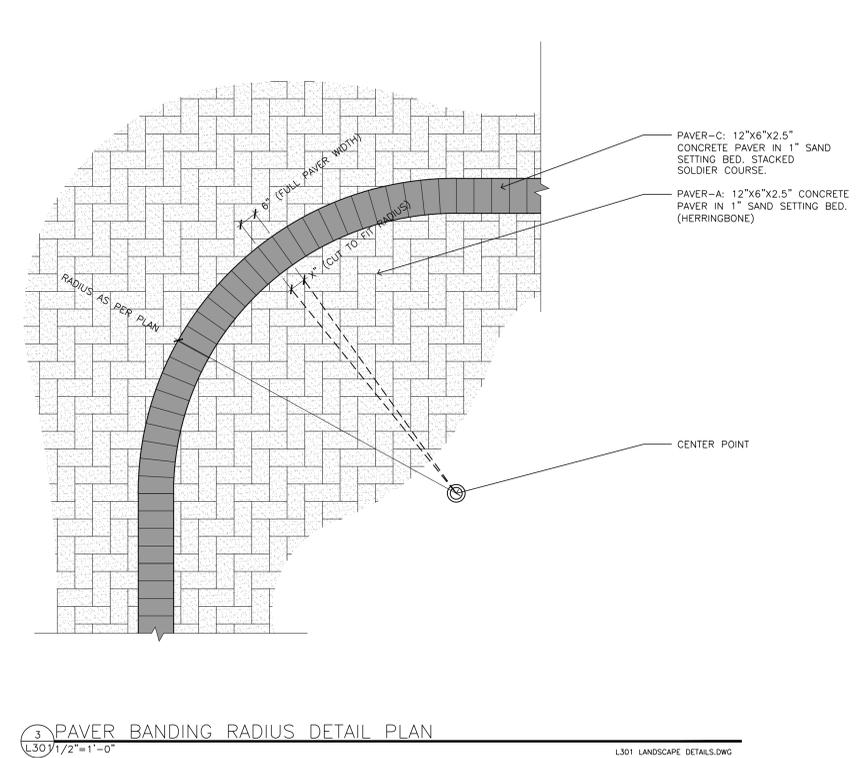
139357-SP-L202 SG-DETAILS.DWG



2 SUNKEN RELIC GARDEN SECTION EAST
L202/1/8"=1'-0"

139357-SP-L202 SG-DETAILS.DWG

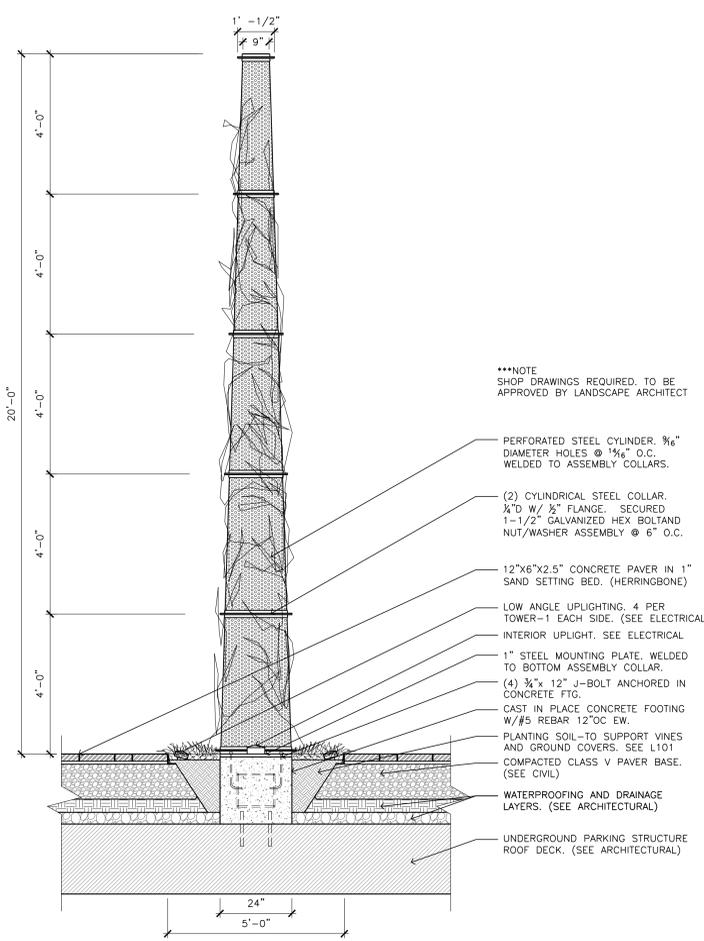
REVISIONS	No.	DATE



3 PAVER-BANDING RADIUS DETAIL PLAN

L301/1/2=1'-0"

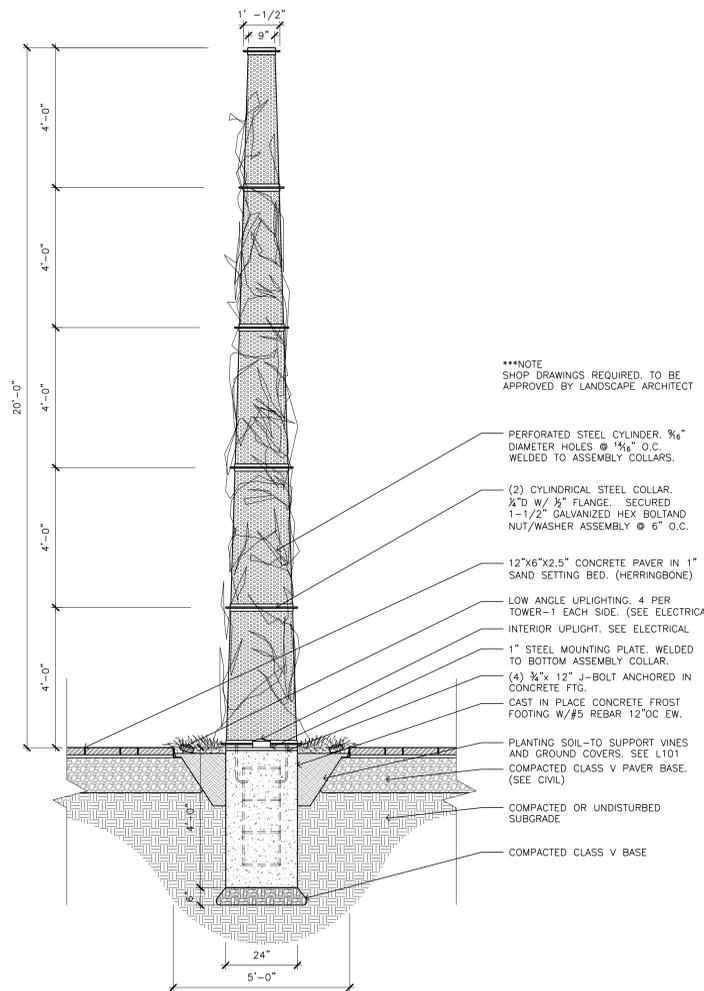
L301 LANDSCAPE DETAILS.DWG



1 HISTORIC FLOUR FILTER MONUMENT DETAIL A

L301/1/2=1'-0"

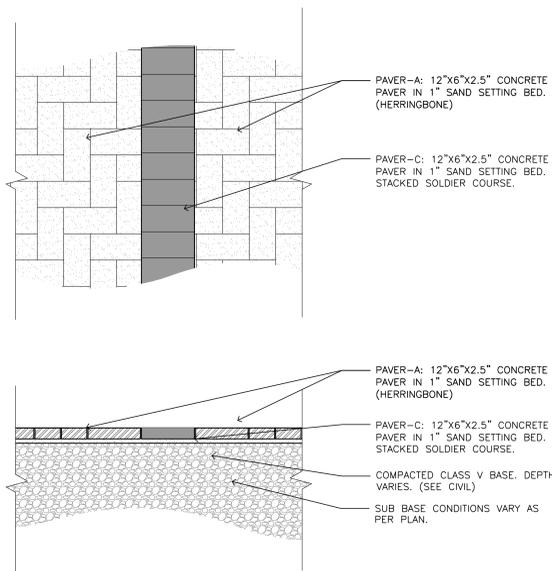
L301 LANDSCAPE DETAILS.DWG



2 HISTORIC FLOUR FILTER MONUMENT DETAIL B

L301/1/2=1'-0"

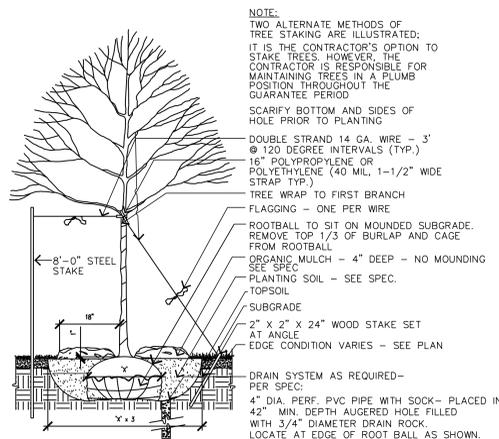
L301 LANDSCAPE DETAILS.DWG



4 PAVER-BANDING TYPICAL DETAILS

L301/3/4=1'-0"

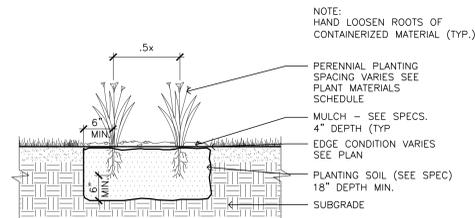
L301 LANDSCAPE DETAILS.DWG



5 TYPICAL DECIDUOUS TREE PLANTING DETAIL

L301/NTS

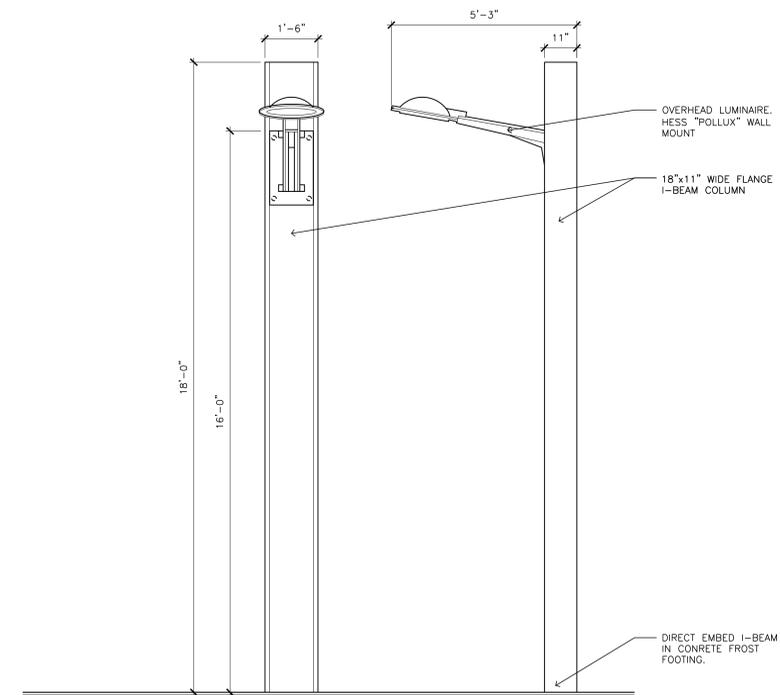
L301 LANDSCAPE DETAILS.DWG



6 TYPICAL SHRUB & PERENNIAL PLANTING DETAIL

L301/NTS

L301 LANDSCAPE DETAILS.DWG



7 OVERHEAD WIDE FLANGE I-BEAM LIGHT WITH POLLUX FIXTURE

L301/1/2=1'-0"

L301 LANDSCAPE DETAILS.DWG

CERTIFICATION

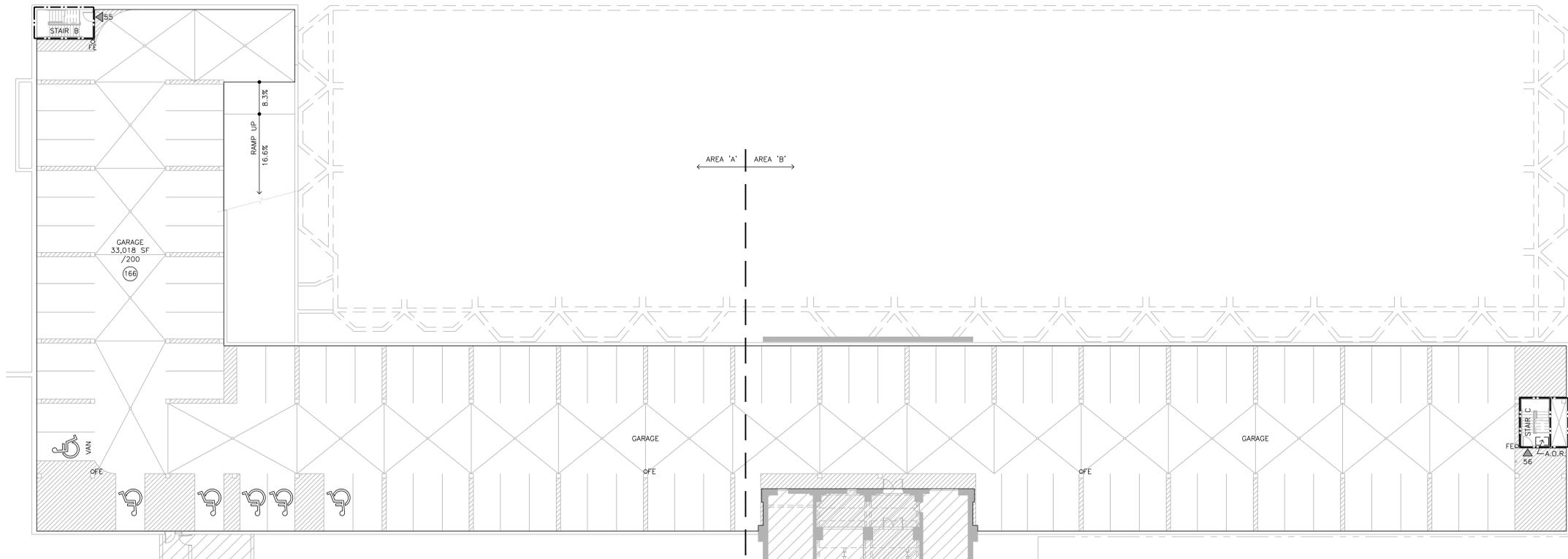
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[PRINTED ARCHITECT'S NAME] Date

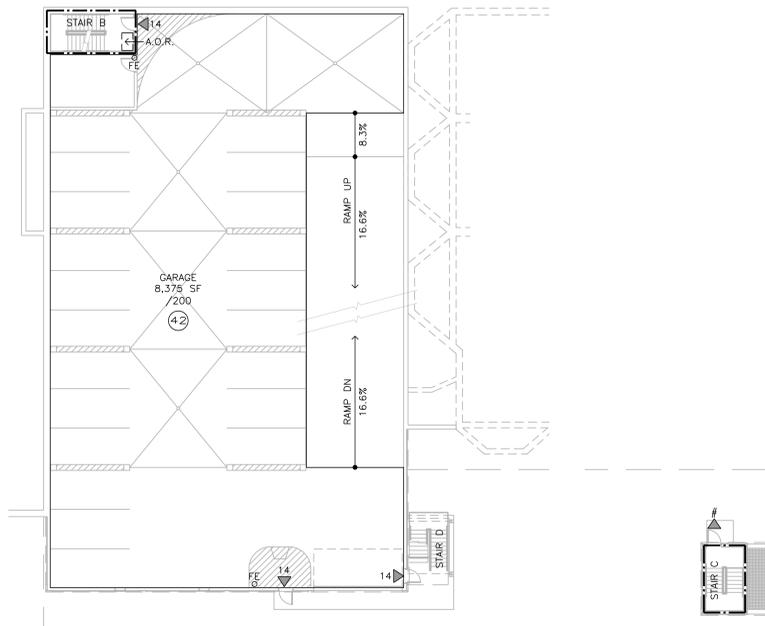
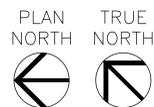
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License Number

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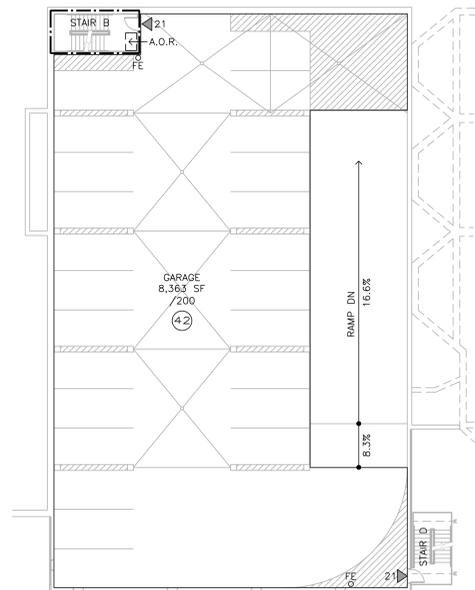
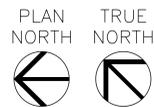
DATE	02-21-12
DRAWN BY	XXX
CHECKED BY	XXX
COMMISSION NO.	139357-SP



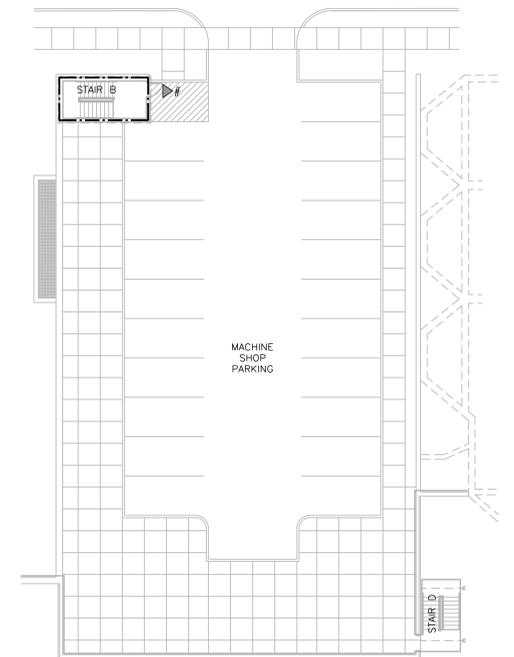
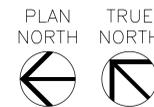
1 LOWER LEVEL PARKING CODE PLAN
1-A020 1/16"=1'-0"



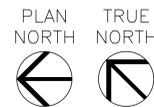
2 LEVEL ONE PARKING CODE PLAN
1-A020 1/16"=1'-0"



3 LEVEL TWO PARKING CODE PLAN
1-A020 1/16"=1'-0"



4 ROOF LEVEL PARKING CODE PLAN
1-A020 1/16"=1'-0"



PARKING SUMMARY

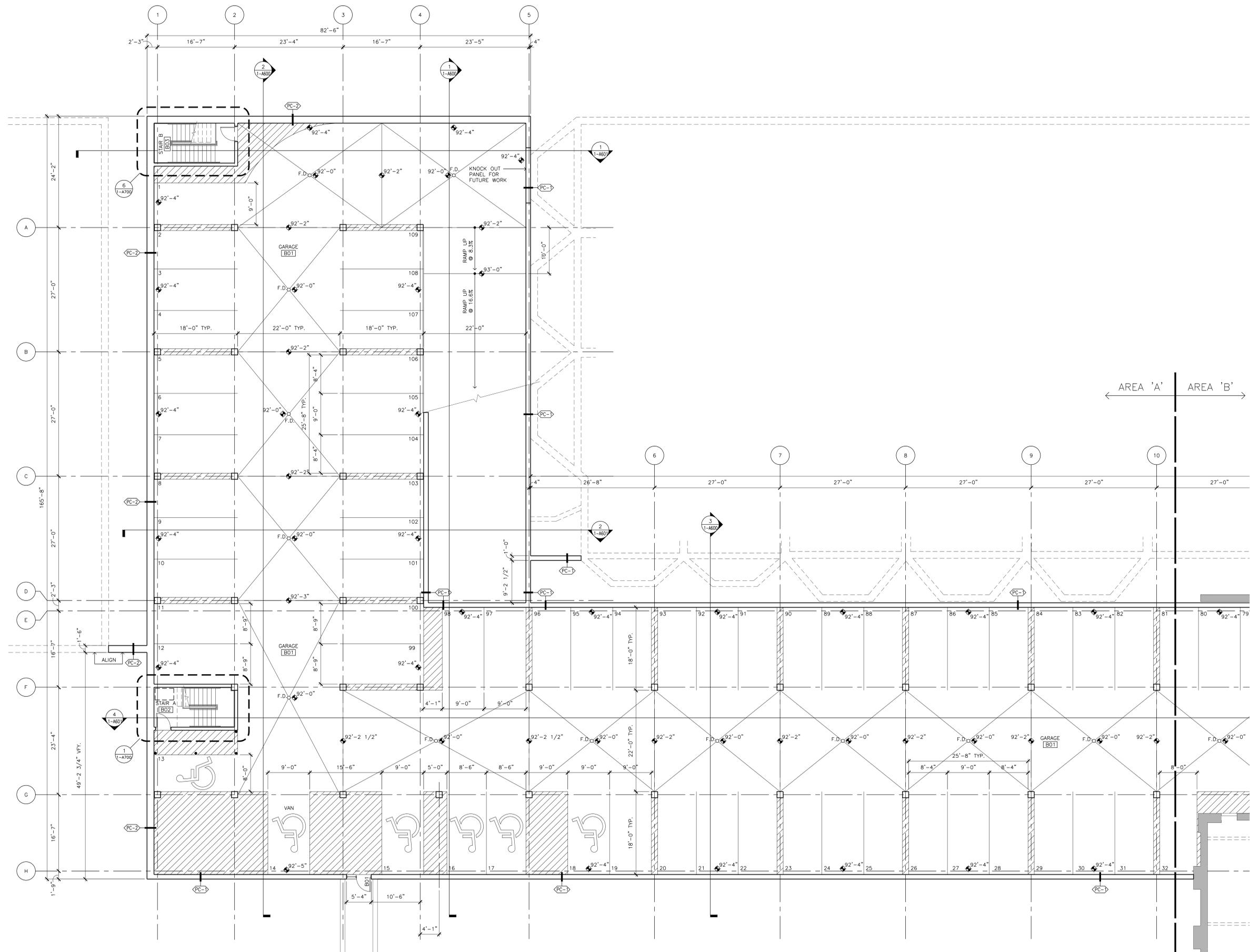
LOWER LEVEL:	106 STALLS (6 ACCESSIBLE STALLS)
LEVEL ONE:	22 STALLS
LEVEL TWO:	24 STALLS
ROOF LEVEL:	21 STALLS
TOTAL PARKING:	173 STALLS

CODE PLAN LEGEND

- TWO-HOUR FIRE BARRIER
- - - ONE-HOUR FIRE BARRIER
- ▶ EXIT ACCESS OR EXIT DISCHARGE
- FE PORTABLE FIRE EXTINGUISHER: SEE FLOOR PLANS FOR FIRE EXTINGUISHER TYPES AND LOCATIONS
- ♿ ACCESSIBLE SYMBOL
- f OCCUPANT LOAD

REVISIONS	No.	DATE

DATE	01-09-12
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COMMISSION NO.	139357-SP



1 LOWER LEVEL PARKING PLAN AREA 'A'
1/8"=1'-0"

CERTIFICATION
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[PRINTED ARCHITECT'S NAME] Date

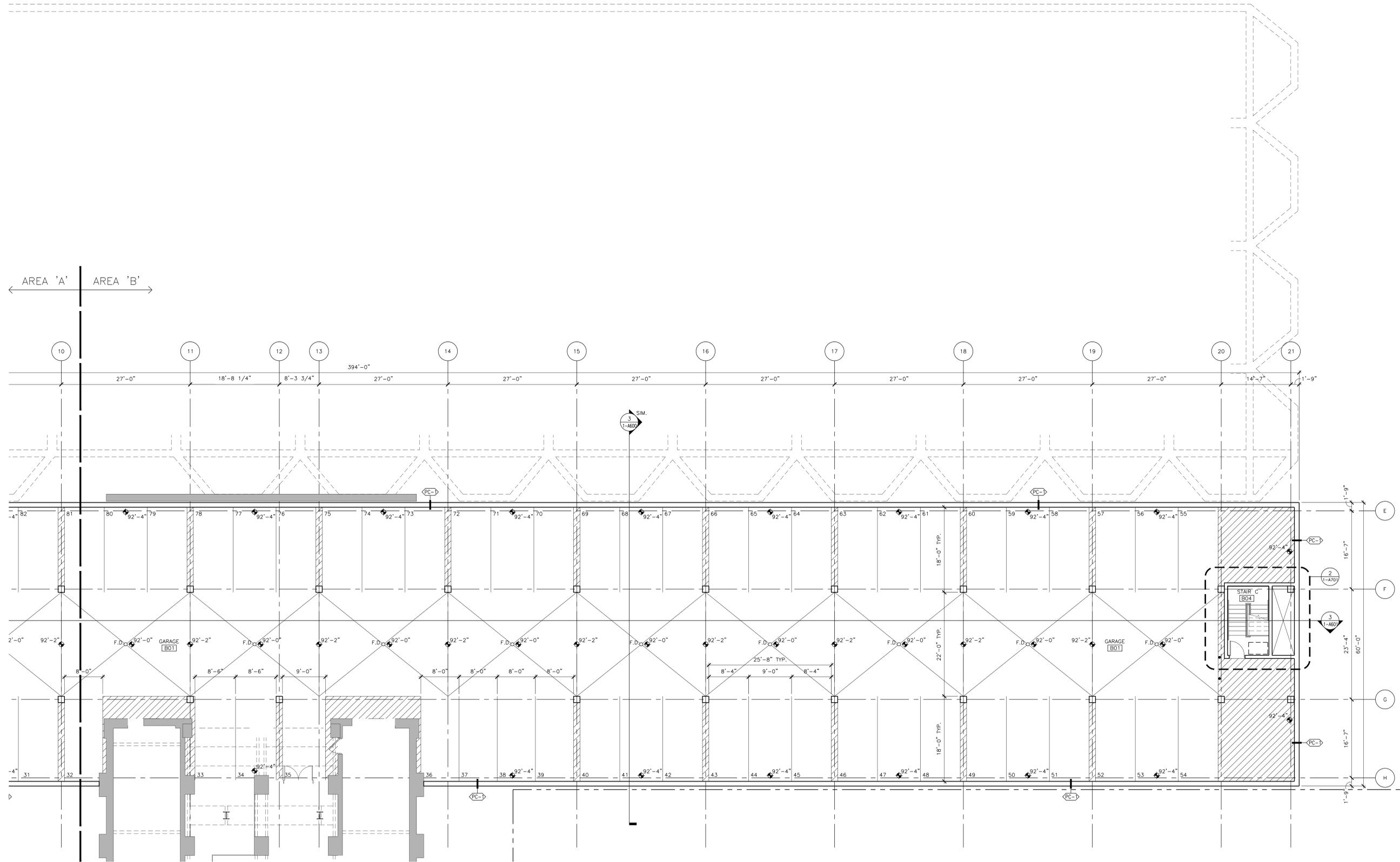
#XXXXXX [LICENSE NUMBER]
License Number

REVISIONS	No.	DATE

DATE	01-09-12
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CHECKED BY	XXX
COMMISSION NO.	139357-SP

LOWER LEVEL
PARKING PLAN
AREA 'B'

I-A100B



1 LOWER LEVEL PARKING PLAN AREA 'B'
1-A100B 1/8"=1'-0"

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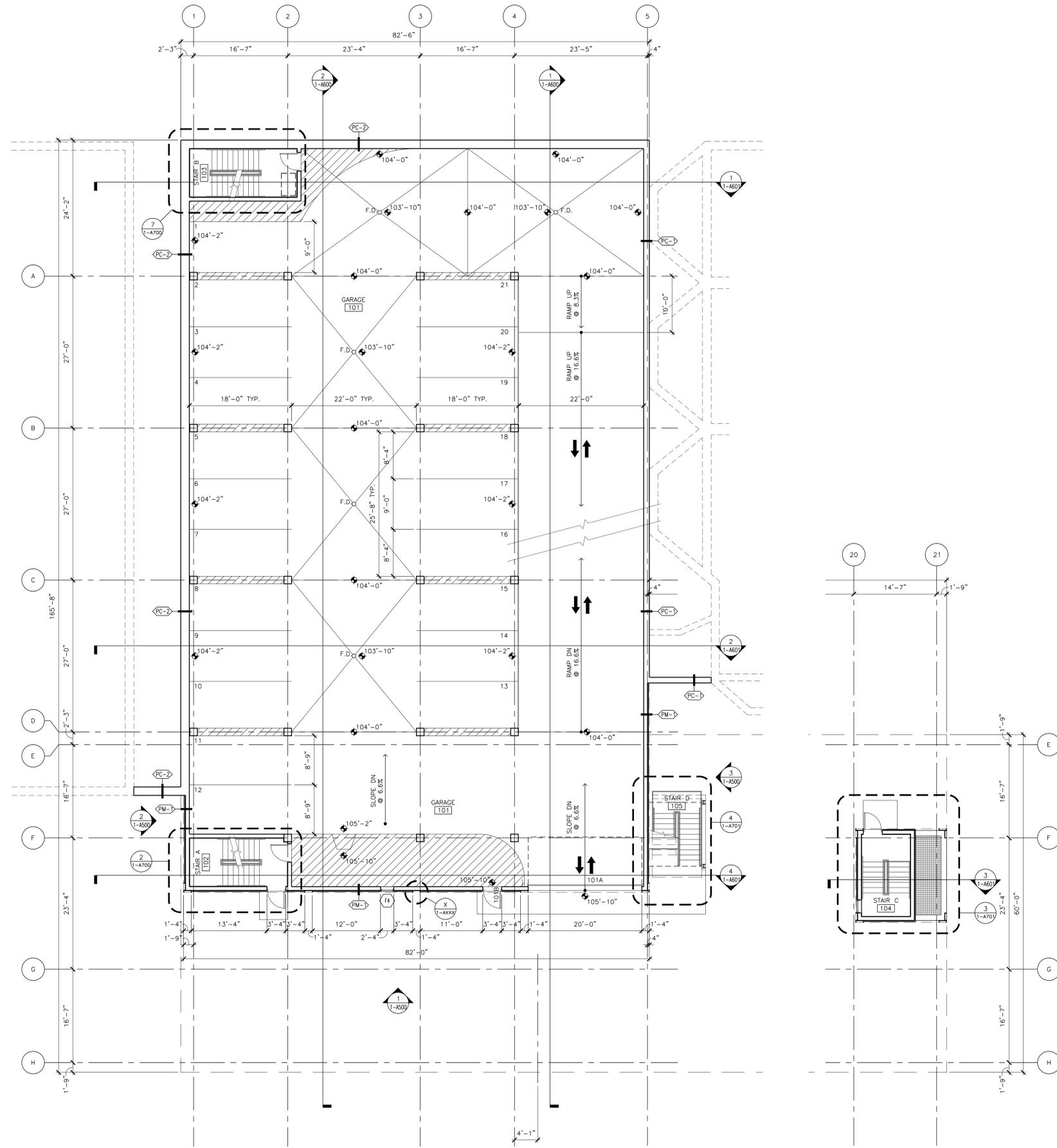
#XXXXX [LICENSE NUMBER]
License Number

REVISIONS	No.	DATE

DATE	01-09-12
DRAWN BY	XXX
CHECKED BY	XXX
COMMISSION NO.	139357-SP

**LEVEL ONE
PARKING PLAN**

I-A101



1 LEVEL ONE PARKING PLAN
(I-A101) 1/8" = 1'-0"

CERTIFICATION

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[PRINTED ARCHITECT'S NAME] Date

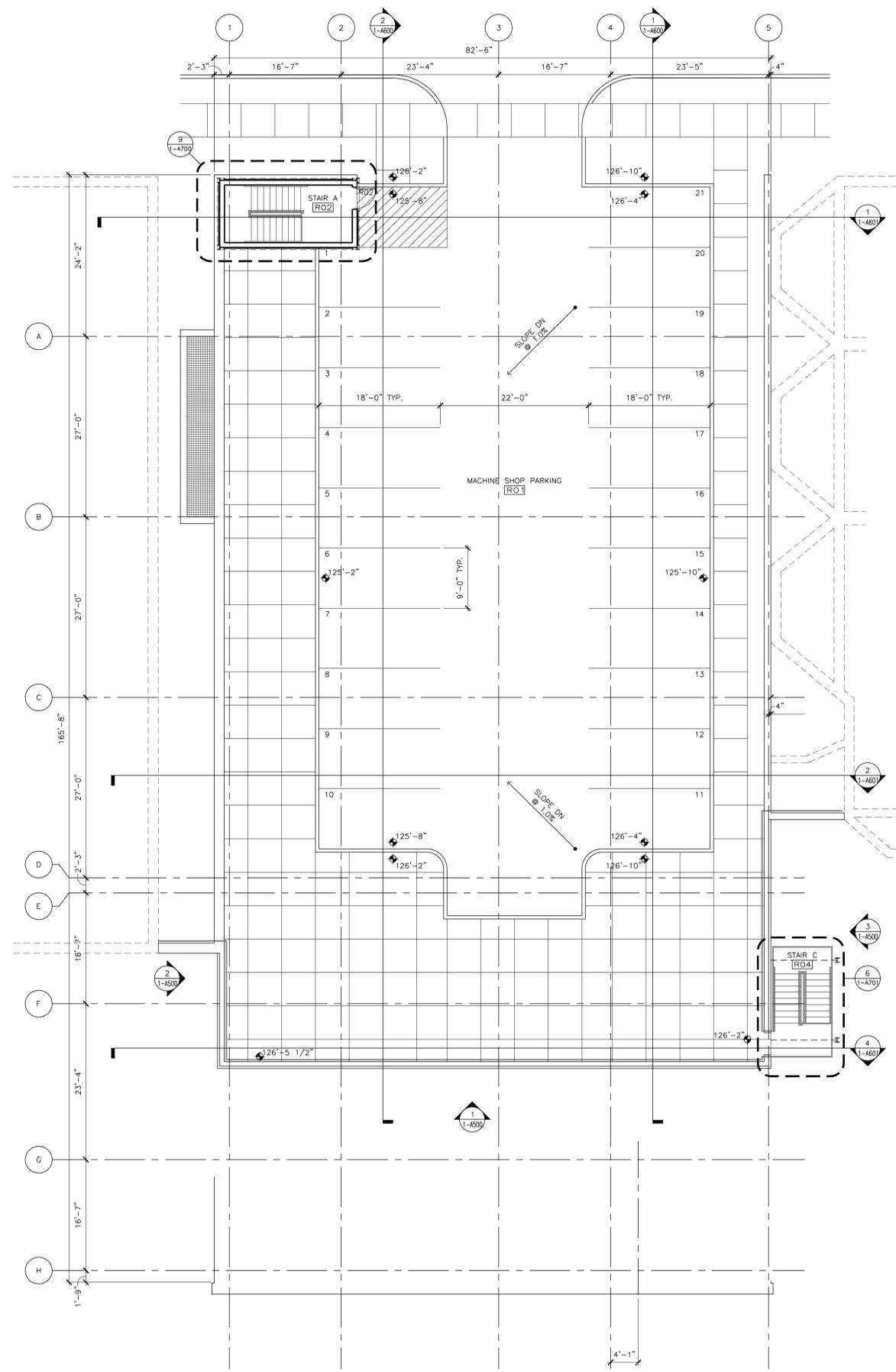
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License Number

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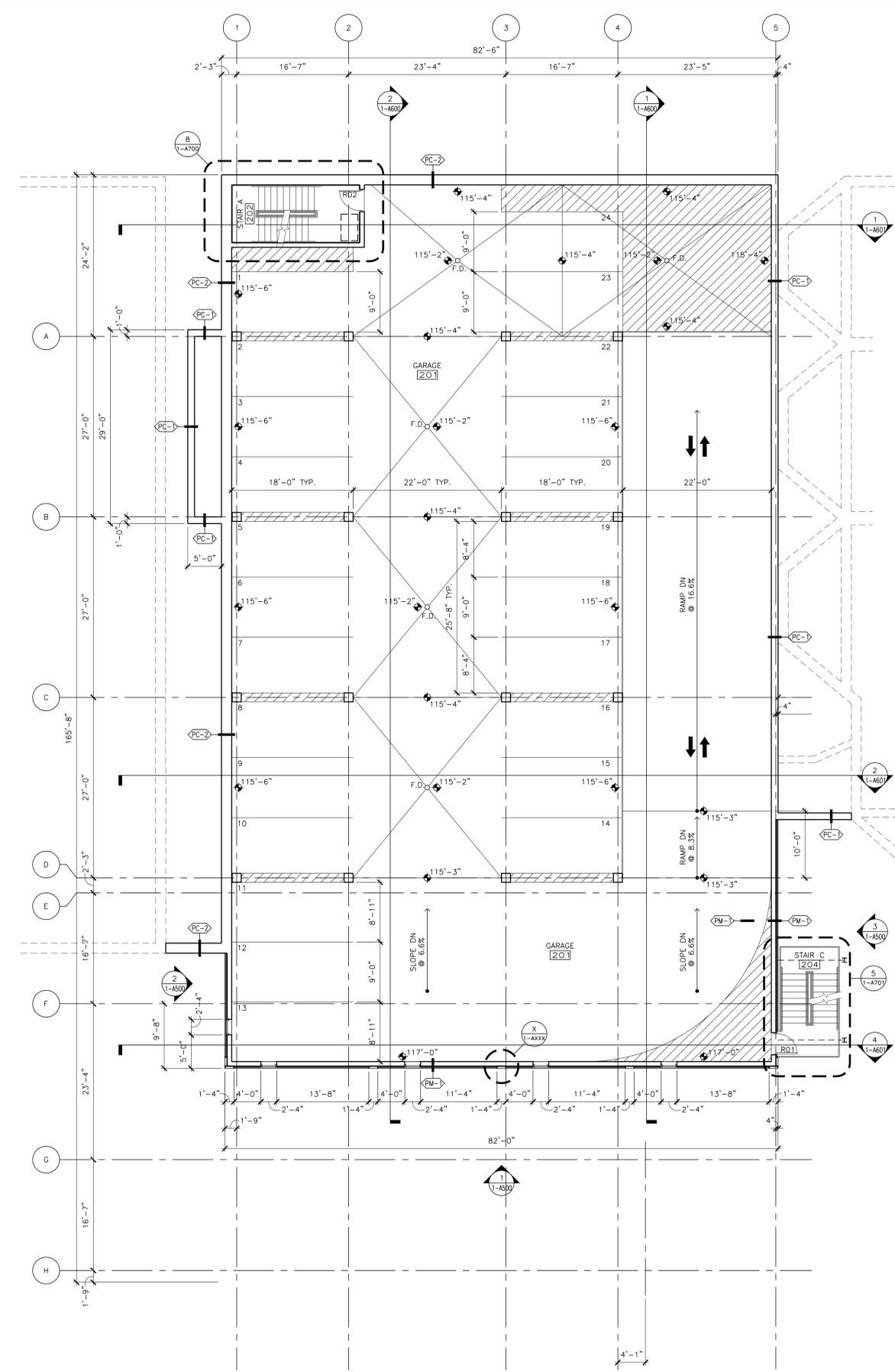
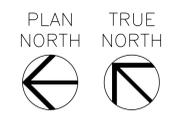
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CHECKED BY	XXX
COMMISSION NO.	139357-SP

**LEVEL TWO &
ROOF LEVEL
PARKING PLANS**

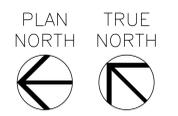
I-A102



2 ROOF LEVEL PARKING PLAN
1-A102 1/8"=1'-0"

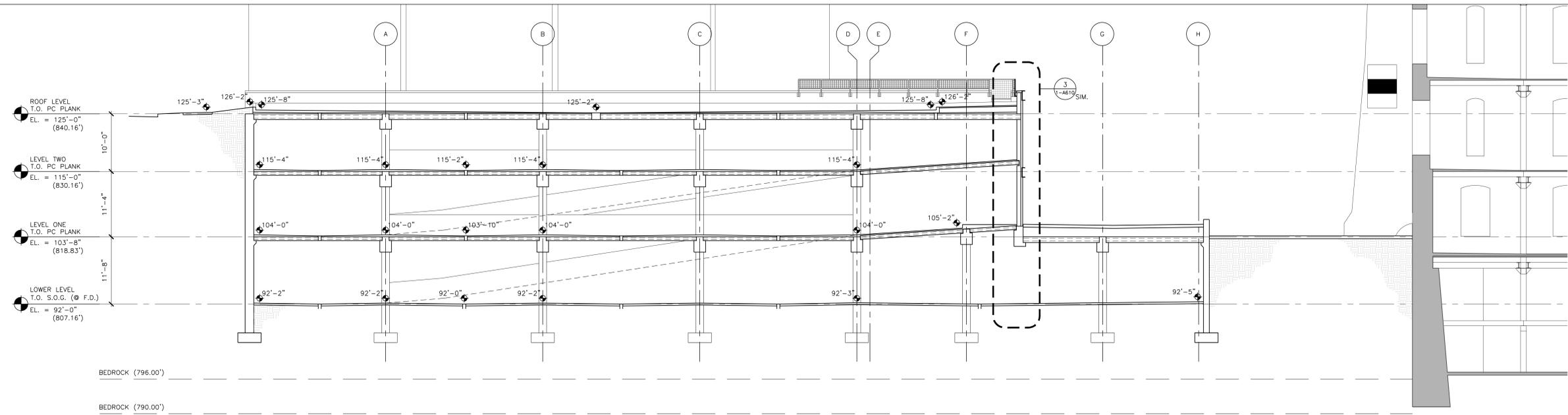


1 LEVEL TWO PARKING PLAN
1-A102 1/8"=1'-0"

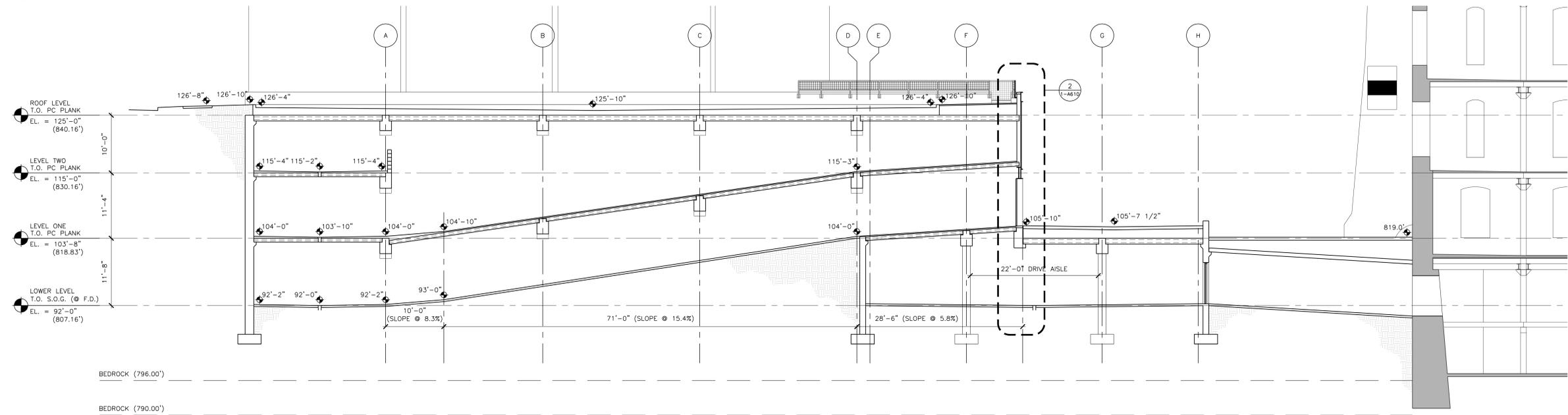


REVISIONS	No.	DATE

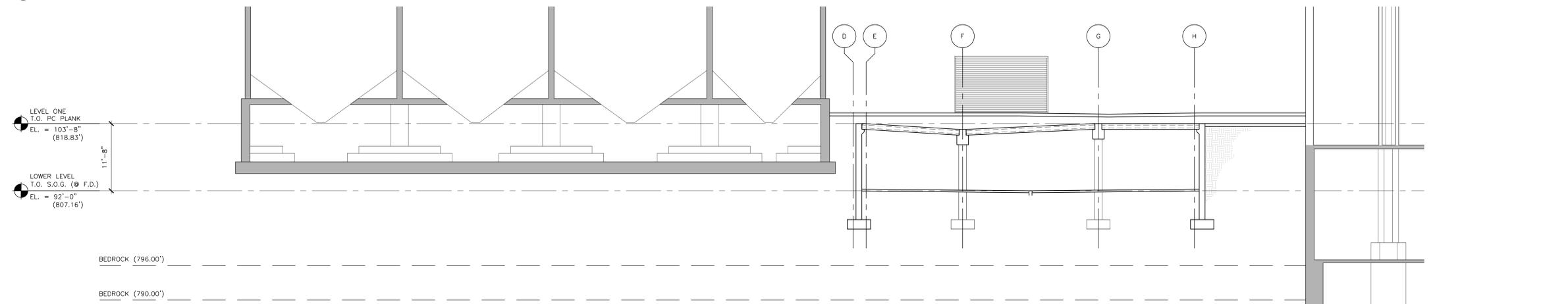
DATE	01-09-12
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CHECKED BY	XXX
COMMISSION NO.	139357-SP



1 BUILDING SECTION
1-A600 1/8"=1'-0"



2 BUILDING SECTION
1-A600 1/8"=1'-0"



3 BUILDING SECTION
1-A600 1/8"=1'-0"

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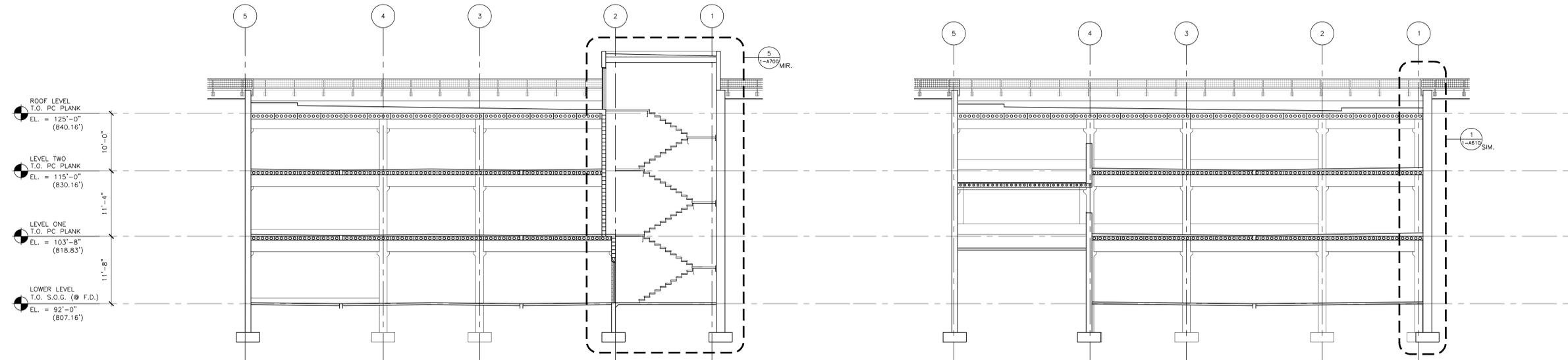
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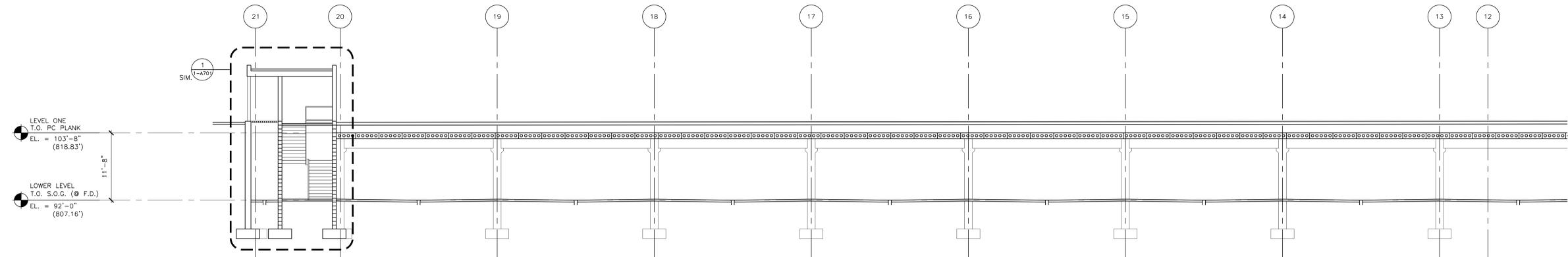
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CHECKED BY	XXX
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**BUILDING
SECTIONS**

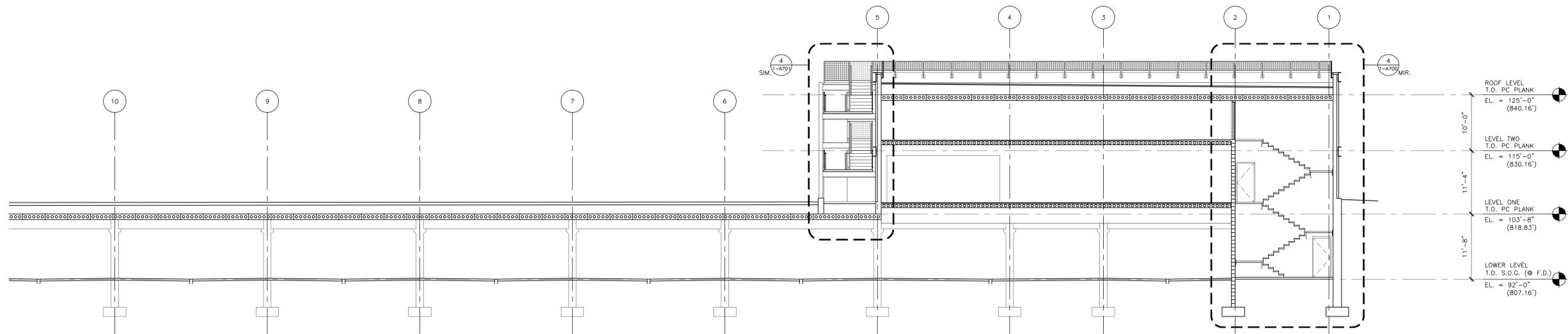


1 BUILDING SECTION
1-A601 1/8"=1'-0"

2 BUILDING SECTION
1-A602 1/8"=1'-0"



3 PARTIAL BUILDING SECTION
1-A603 1/8"=1'-0"



4 PARTIAL BUILDING SECTION
1-A604 1/8"=1'-0"

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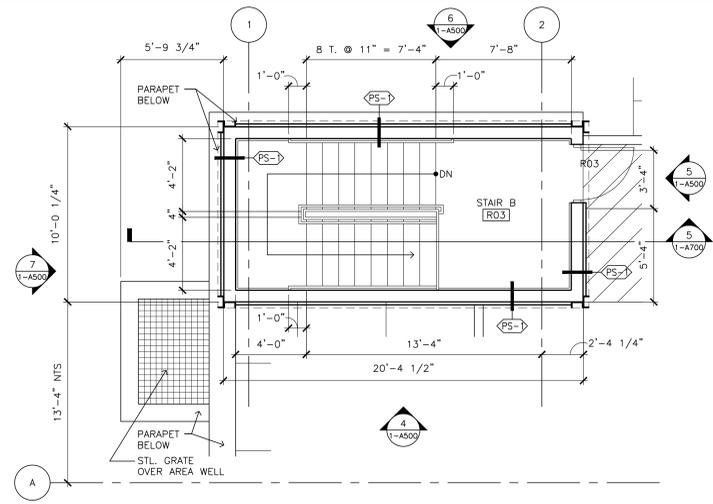
REVISIONS	No.	DATE

DATE 01-09-12

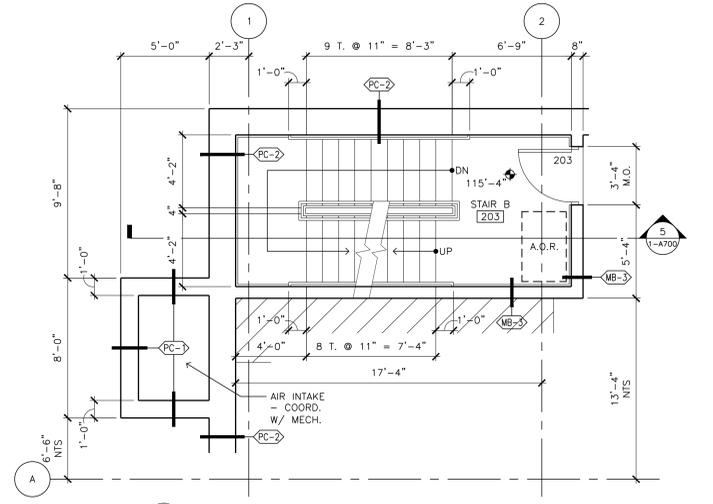
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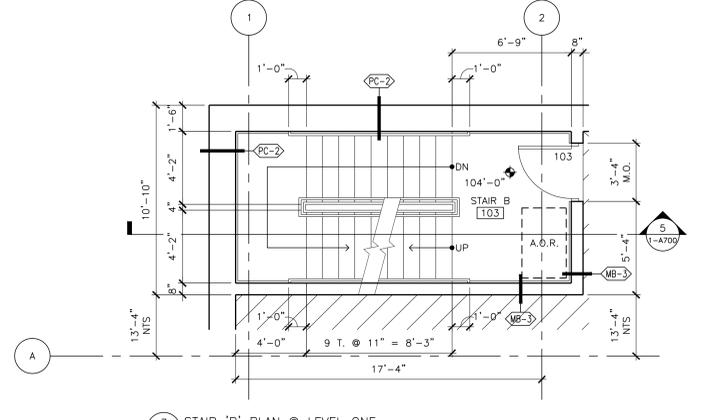
COMMISSION NO. 139357-SP



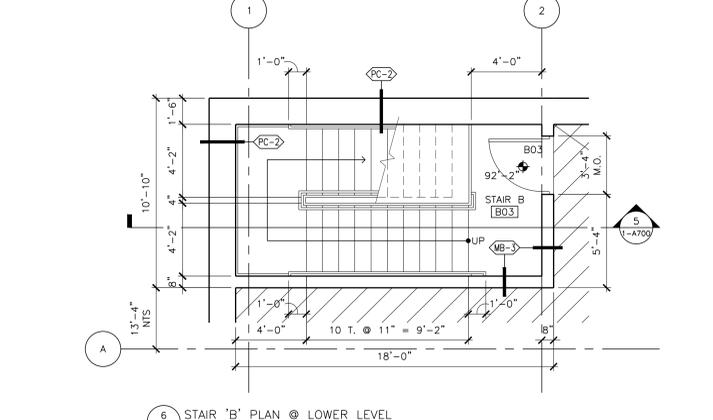
9 STAIR 'B' PLAN @ ROOF LEVEL
1/4"=1'-0"



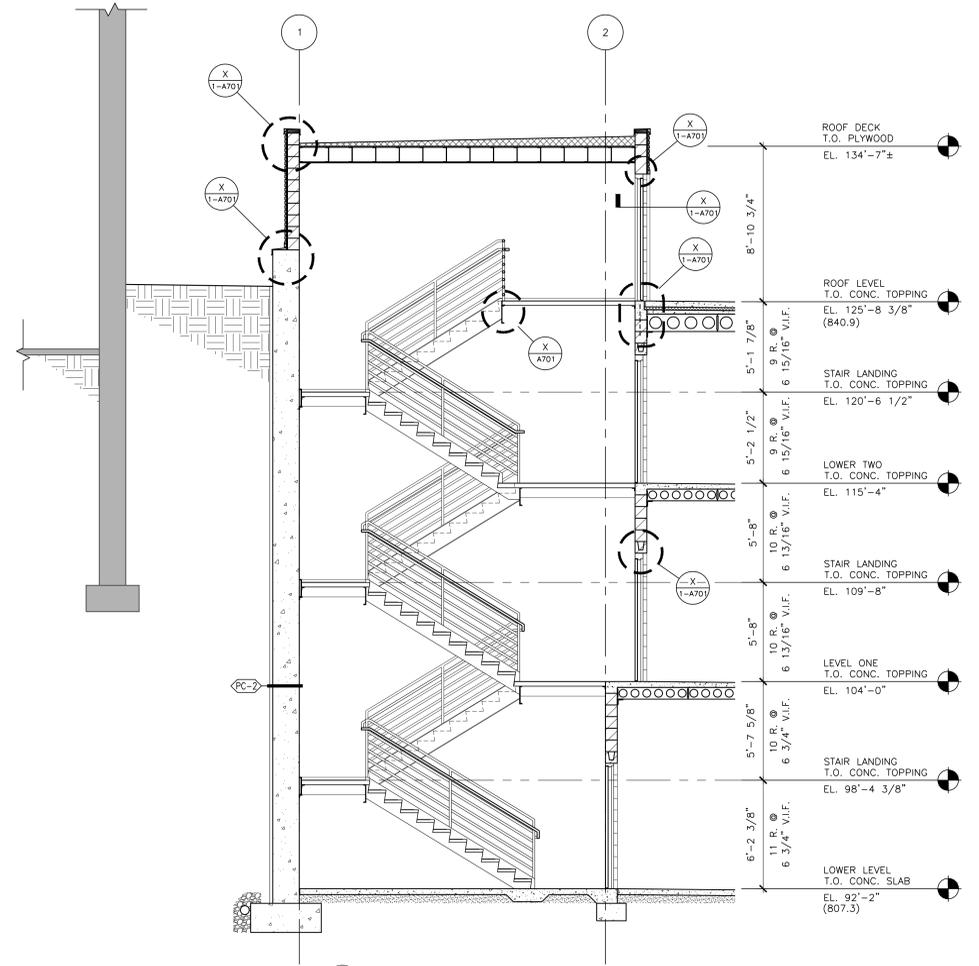
8 STAIR 'B' PLAN @ LEVEL TWO
1/4"=1'-0"



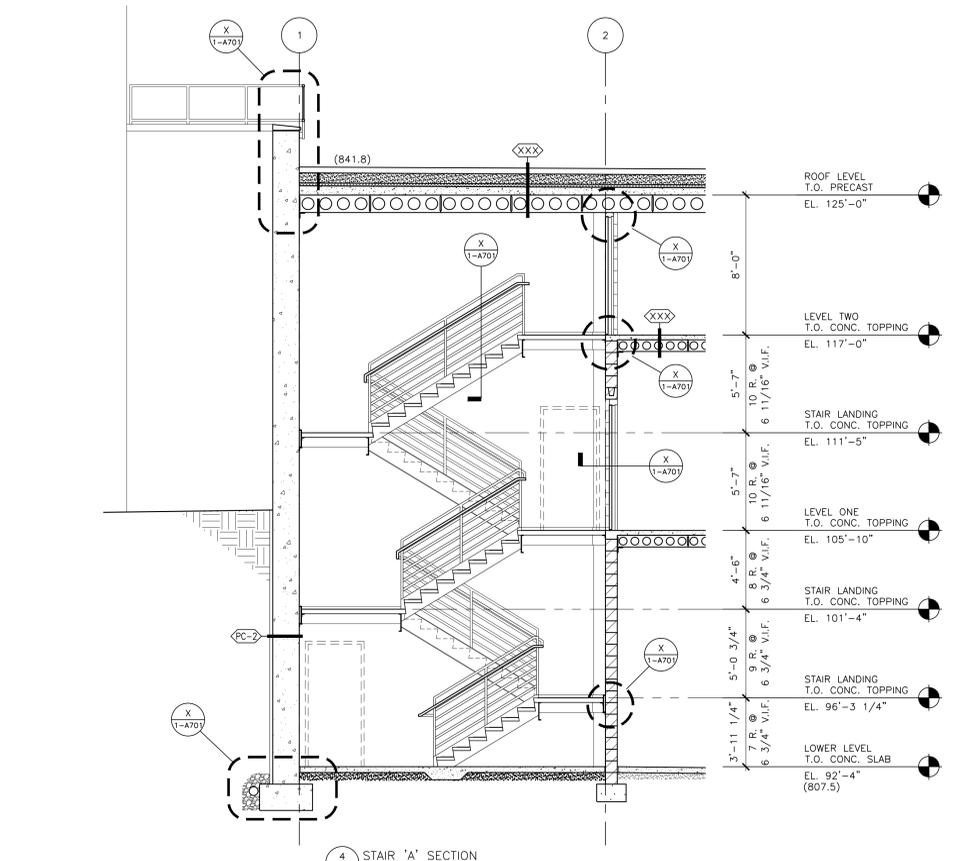
7 STAIR 'B' PLAN @ LEVEL ONE
1/4"=1'-0"



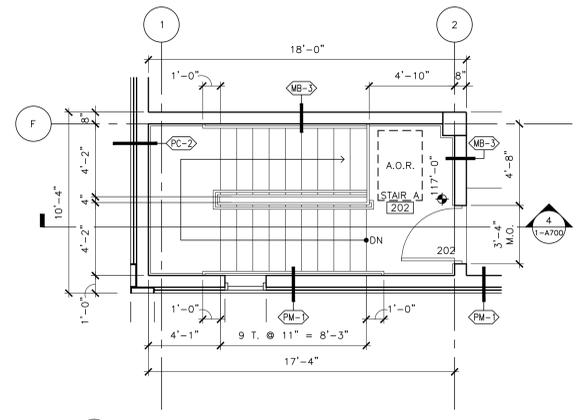
6 STAIR 'B' PLAN @ LOWER LEVEL
1/4"=1'-0"



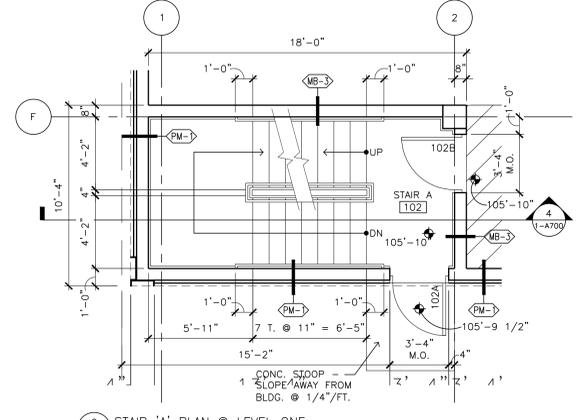
5 STAIR 'B' SECTION
1/4"=1'-0"



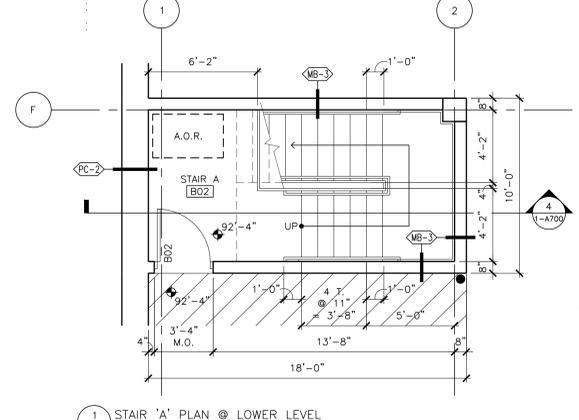
4 STAIR 'A' SECTION
1/4"=1'-0"



3 STAIR 'A' PLAN @ LEVEL TWO
1/4"=1'-0"



2 STAIR 'A' PLAN @ LEVEL ONE
1/4"=1'-0"



1 STAIR 'A' PLAN @ LOWER LEVEL
1/4"=1'-0"

REVISIONS	No.	DATE

**STAIR C & D
PLANS, SECTIONS
& DETAILS**

I-A701

