

Dock Street Apartments

401 Washington Avenue North, Minneapolis, MN



elness swenson graham architects
500 washington avenue south
minneapolis minnesota 55415
p. 6 1 2 . 3 3 9 . 5 5 0 8
f. 6 1 2 . 3 3 9 . 5 3 8 2
w w w . e s g a r c h . c o m

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Signature
Typed or Printed Name
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Code Analysis

September 30, 2011
Washington Avenue Apartments
CODE SUMMARY
This is a summary of applicable codes relative to a new 6 story residential apartment building at the intersection of Washington Avenue and Third Street in Minneapolis. The building will consist of 5 stories of wood framed apartments over 1 story of concrete framed apartments (with light gauge steel stud mfr) at ground level, over two levels of below grade enclosed parking.
*This summary is intended to illustrate highlights of requirements to be met and is not intended to illustrate all requirements to be met.

5. Opening Protective Fire Protection Ratings (2006 IBC, Table 716.4)

Type of Assembly	Req'd. Assembly Rating	Min. Opening Protection
Fire Mail and Fire Barriers having a non-fire resistive Rating greater than 1 hr.	4 3 2 1/2	3 3 1 1/2
Fire Barriers of 1 hr. Fire-Resistance rated construction shafts, Exit Enclosure and Exit Passageway Walls, Other Fire Partition	1	1
Fire Partitions		
Corridor Walls	1	1/2
Other Fire Partitions	0.5	1/2
Exterior Walls	3	1 1/2
	2	1 1/2
Smoke Barriers	1	1/2

2006 IBC Section 101.14.1 - Elevator Lobby - Smoke proof Area of Rescue Assistance is required at each elevator serving 4 or more stories above or below the level of discharge per 2006 IBC 1007.4, therefore lobbies are required at the elevators. Elevator lobbies are not required at the street floor in sprinklered buildings. Standby power is required for the elevator. Elevator shall return to grade level in an event.

2006 IBC Section 716.5.3 - Shaft enclosures, Exception 2 - In group "R" occupancies, equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1, smoke dampers are not required at penetrations of shafts where kitchen, clothes dryer, bathroom and toilet room exhaust openings are isolated with steel exhaust sub-ducts, having a wall thickness of at least 0.019 inch and that extend at least 22 inches vertically and an exhaust fan is installed at the upper terminus of the shaft that is powered continuously in accordance with the provisions of Section 909.11, so as to maintain a continuous upward airflow to the outside. Note, the make-up air duct penetrating individual unit from the corridor shall not open to the corridor, and shall not require a fire or smoke damper.

6. Exterior Finishes - Chapter 8 - 2006 IBC
Flame Spread Classification - Table 803.5

Class	Flame Spread Index	Smoke Developed
A	0-25	0-450
B	26-75	0-450
C	76-200	0-450

Occupancy Group and Passageway
R-2
S-2
A-3
M

Corridors
C
C
C
C

Rooms Enclosed Spaces
C
C
C
C

Note: Requirements based on fully sprinklered building.

7. Fire Protection Systems (Chapter 9)

Group "R" (903.2.1): An approved sprinkler system shall be provided throughout all buildings with a group "R" fire area.

Group "S-2" Enclosed Parking Garage (903.2.4): An approved automatic sprinkler system required in enclosed parking garages.

Group A-3 Community Room (903.2.1.3): An approved automatic sprinkler system required.

Other areas where automatic sprinkler systems are required: (903.2.10.1.3), 903.2.10.2 and 903.2.10.3)
Stories and basements without openings
Trash Chutes
Buildings over 99 ft high (above lowest level of fire department vehicle access).
As required by IFC 903.2.15.

Installation Requirements: In accordance with NFPA 13 (903.3)

Standpipe Systems: Class I standpipes required per 903.3.1 Exception 1.

Fire Alarm and Detection Systems: Required as per IBC and NFPA 72 (907)
"R-2" Occupancy (907.2.4.3): Multi-Family residential occupancies.

907.2.10 - Single- and multiple-station smoke alarms. Listed single- and multiple-station smoke alarms shall be installed in accordance with the provisions of this code and the household fire-warning equipment provisions of NFPA 72.

907.2.10.1 - Where required, single- or multiple-station smoke alarms shall be installed in the locations described in Section 907.2.10.1.2.

R-2 Occupancies (907.2.10.1.2): Single or multiple station smoke alarm required in "R" occupancy in the following locations: Single or multiple-station smoke alarms shall be located in or on the ceiling or wall in the direct vicinity of bedrooms, in each room for sleeping purposes, and in each story within a dwelling unit.

907.2.10.2 - Power source. In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for over current protection.

8. Means of Egress and Occupant Load (Chapter 10)

Occupant Load (Table 1004.1.1)
Assembly (unconcentrated) 15 s.f. net per person
Residential 200 s.f. gross per person
Parking Garages 200 s.f. gross per person
Egress Width - (Table 1005.1 (with sprinkler system))
Stairways 2 inches / occupant
Other egress components .19 inches / occupant

See code / exiting plans for additional information.

4. Accessibility (Minnesota Accessibility Code Chapter 1941 & 2006 IBC Chapter 11)

Accessible Routes
2006 IBC 1104.1: At least one accessible route shall be provided from public transportation stops, accessible parking spaces, accessible passenger loading zone, public streets or sidewalks, etc. to an accessible building entrance.
MN Accessibility Code Chapter 1941 - 1104.4 - At least one accessible route shall connect each level in multi-level buildings.
MN Accessibility Code Chapter 1941 - 1105.1 - Public entrances - In addition to accessible entrances required by 1105.1 - 1105.9, at least 60% of all public entrances shall be accessible.
MN Accessibility Code Chapter 1941 - 1105.2 - Dwelling unit and sleeping unit entrances - At least one accessible entrance shall be provided to each dwelling unit and sleeping unit required to be Type "A" or Type "B" unit.

2006 IBC 1101.2.2 - Total number of units provided 120. Total number of required Type A units = 2% of 120 = 3. One Type A unit shall provide a roll-in shower. All others shall meet the requirements of Type B units.

Parking
Accessible Parking Spaces - Table 1106.1 - Total parking spaces provided 137, thus 9 are required as accessible stalls.
2006 IBC 1106.9 - For every six or fraction of six accessible parking spaces, at least one shall be van accessible parking space, that 1 van stall required.

10. Interior Environment (Chapter 12)

Ventilation and Lighting (1203, 1204 and 1205)
Buildings shall be provided with lighting, temperature control or ventilation, either natural or mechanical.

11. Roof Assemblies and Rooftop Structures (Chapter 15)

Class "B" required per Table 1505.1
Permeability and roof structures shall not exceed 1/3 the area of the supporting roof per 2006 IBC 1504.2.

12. Elevators (Chapter 20)

Openings protected as per Chapter 7. (3002)
Approved signage shall be posted adjacent to each elevator's call station on each floor.
At least one elevator cab shall accommodate a 24" x 34" ambulatory stretcher. (3002.4)
Hobbying venting required for elevators penetrating more than three stories. (3004.1)

13. Recycling Space
Minimum area required = 65F x Table 1A Factor (MN Code 1305/1500), or submitted management plan.

UNIT MIX & SQUARE FOOTAGES

Washington Avenue Dock Street Apartments						
Hines						
Unit Type	Units/Floor	Number of Units	Unit Mix	Average Unit RSF	RSF/Typ Floor	Beds/Typ Floor
1 BR	15	87	27.0%	563	5,105	9
1 + BR	2	12	6.5%	929	1,860	2
2 BR	7	36	19.5%	1,065	7,464	14
	33	185	100.0%		25,744	40

25,744 RSF / 29,231 = 88.1% efficiency on a typical floor
143,347 RSF / 170,732 GSF = 84.0% efficiency total building
Average Unit Size per 143,347 RSF / 185 = 775 RSF per DU
Average Unit Size per 170,732 GSF / 185 = 923 GSF per DU

Level	Use	Total GSF	Retail GSF	Parking GSF	Apt GSF	Common	Apt RSF	# of Units	Parking	Storage
Area										
Minus Two	parking	36,569		36,517					106	
Minus One	parking/lobby	36,619		32,487	4,132	4,132			85	
Lobby*	lobby				0					
One**	residential	27,226			23,685	3,776	19,909	26		3541
Two***	res/retail	29,201	3,210		25,991	5,449	20,542	27		
Three	residential	29,231			29,231	3,507	25,724	33		
Four	residential	29,231			29,231	3,507	25,724	33		
Five	residential	29,231			29,231	3,507	25,724	33		
Six	residential	29,231			29,231	3,507	25,724	33		
Total		246,539	3,210	69,004	170,732	23,253	143,347	185	191	3,541

*Lobby Total GSF is part of Minus One GSF
**Outdoor Courtyard areas total 4,749 SF
*** Amenity Terrace is 2,466 SF; Total adjacent interior amenity spaces are 1,628 SF

ESG Architects Inc. January 23, 2012

PROJECT LOCATION



Vicinity



Site Location

PROJECT TEAM

Owner/Developer: Hines Northstar Crossings Limited Partnership
90 South 7th Street, Suite 150
Minneapolis, MN 55402
Ph: 612-344-1200

Architect: Elness Swenson Graham Architects Inc.
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Landscape: RLK Incorporated
6110 Blue Circle Drive, Suite 100
Minnetonka, MN 55343

Civil: RLK Incorporated
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Structural Engineer: Meyer Borgman Johnson
12 South Sixth Street, Suite 810
Minneapolis, MN 55402
Ph: 612-338-0713
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MEP Engineers: Dunham
50 South Sixth Street/ Suite 1100
Minneapolis, MN 55402-1540
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Contractor: Frana and Sons, Inc
633 Second Ave South
Hopkins, MN 55343
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SHEET INDEX

SHEET NUMBER	SHEET NAME	HPC PREAPP SUB 10/17/2011	COW SUBMITTAL 11/07/2011	PDR SUBMITTAL 11/14/2011	HPC SUBMITTAL 12/16/2011	SD PRICING SET 01/06/2012	HPC SUBMITTAL PACKAGE 1/11/2012
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ARCHITECTURAL							
20.09	UNIT S-6 STUDIO 454 SF	*	*	*	*	*	*

HPC SUBMITTAL PACKAGE 01/11/2012

ORIGINAL ISSUE: 08/28/05

REVISIONS

No.	Description	Date
1	Revision	1/24/2012

211515

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Dock Street Apartments

TITLE SHEET

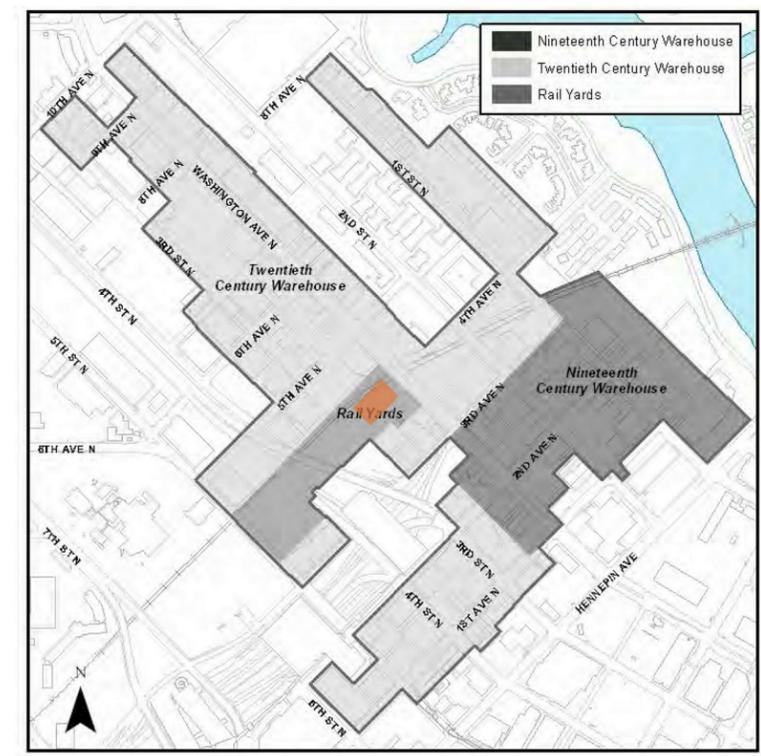
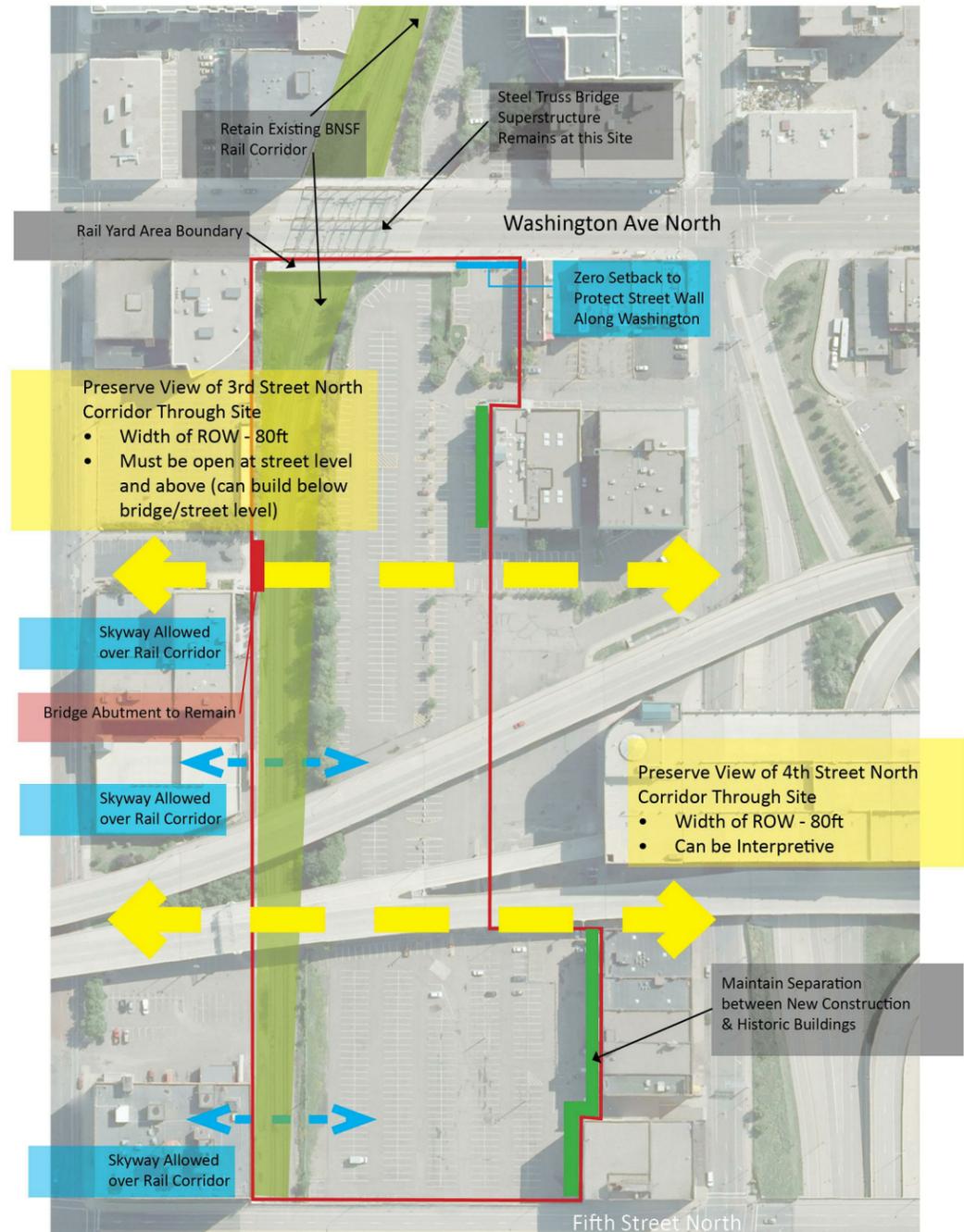
T1.1



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01/11/2012

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REVISIONS

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PROJECT INFORMATION
T1.2



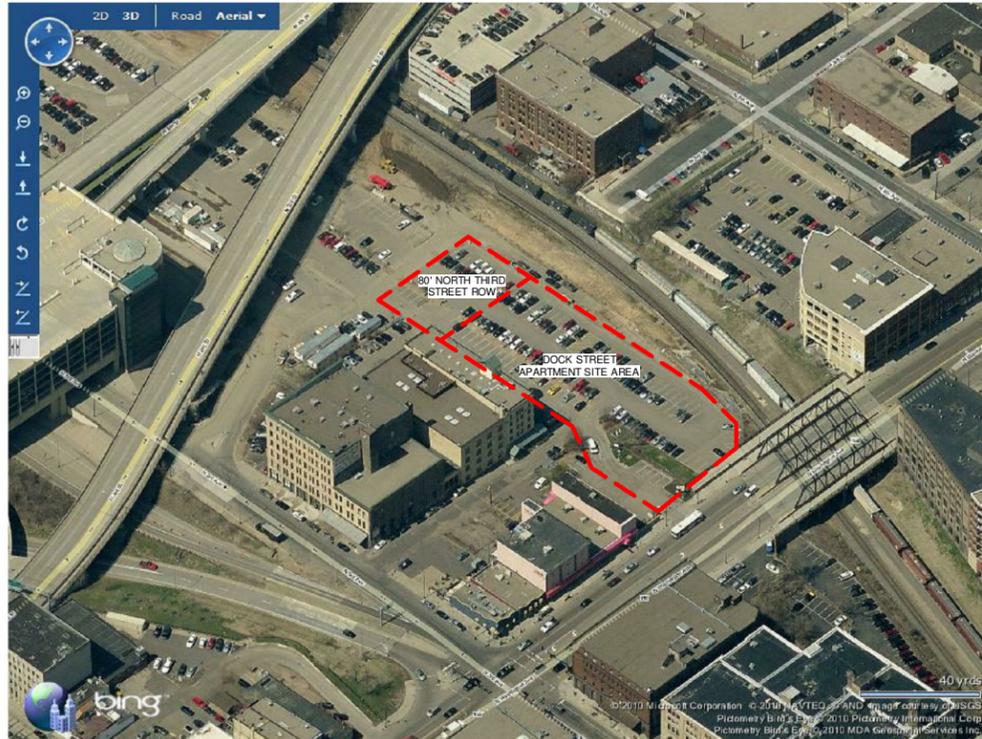
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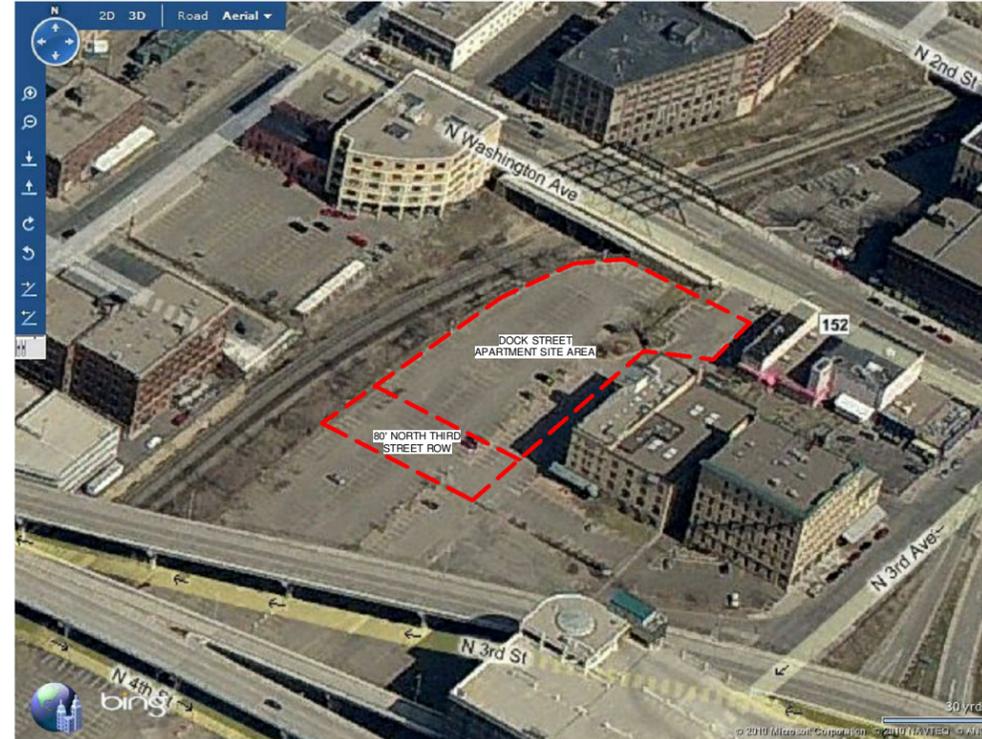
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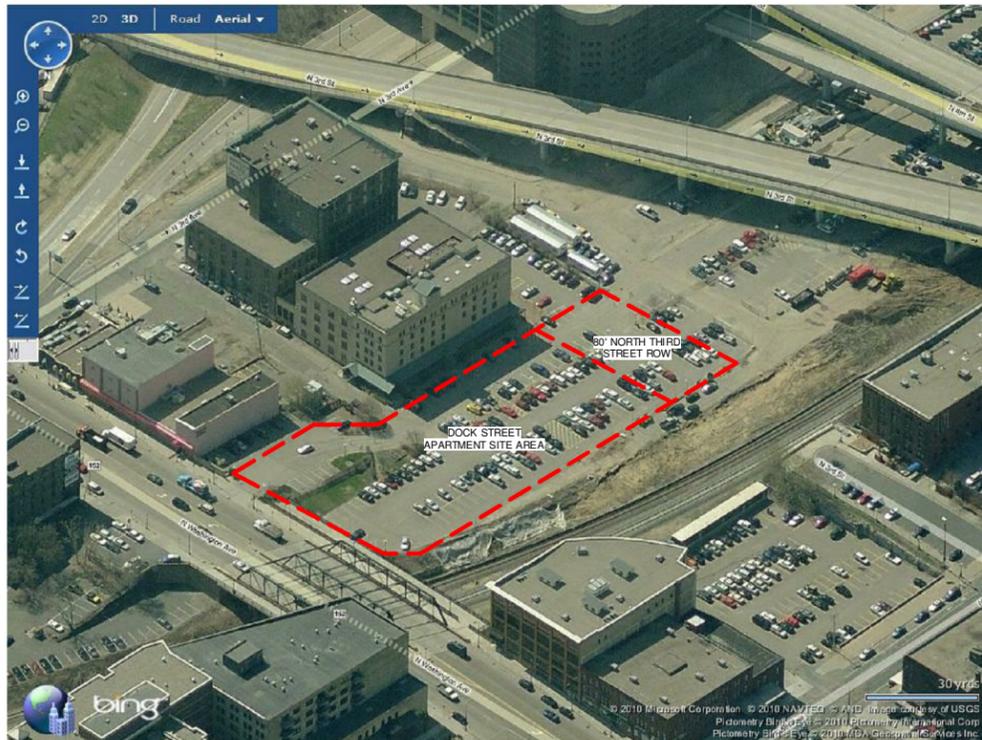
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4 BIRDSEYE FROM NORTHEAST
T1.3 1"=80'-0"



2 BIRDSEYE FROM SOUTHEAST
T1.3 1"=80'-0"



3 BIRDSEYE FROM NORTHWEST
T1.3 1"=80'-0"



1 BIRDSEYE FROM SOUTHWEST
T1.3 1"=80'-0"

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SITE PHOTOS

T1.3



3 View to North from site
T1.4 1" = 100'-0"



2 View to Southwest from Washington Ave.
T1.4 1" = 100'-0"



4 View to North from former 3rd Street North
T1.4 1" = 100'-0"



1 Washington Ave View to West
T1.4 1" = 100'-0"

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Apartments

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SITE PHOTOS

T1.4



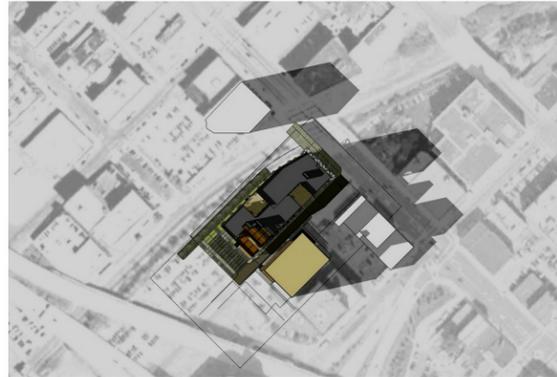
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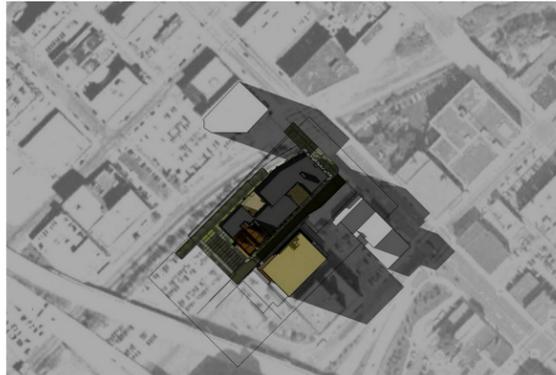
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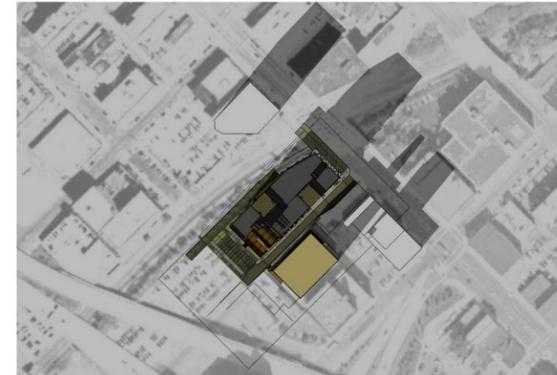
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9 SHADOW STUDY - MARCH AT SUNSET
T1.5 1" = 80'-0"



6 SHADOW STUDY - JUNE AT SUNSET
T1.5 1" = 80'-0"



3 SHADOW STUDY - DECEMBER AT SUNSET
T1.5 1" = 80'-0"



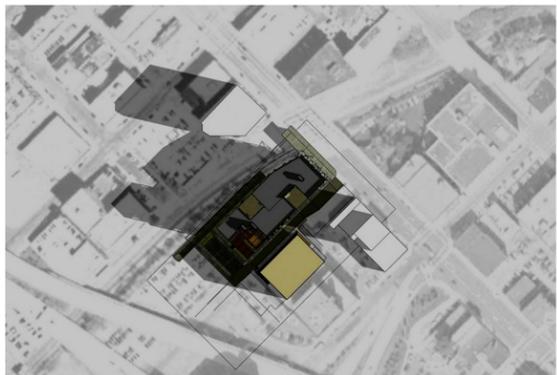
8 SHADOW STUDY - MARCH AT NOON
T1.5 1" = 80'-0"



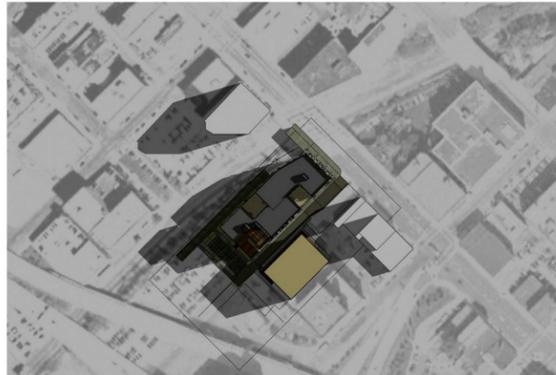
5 SHADOW STUDY - JUNE AT NOON
T1.5 1" = 80'-0"



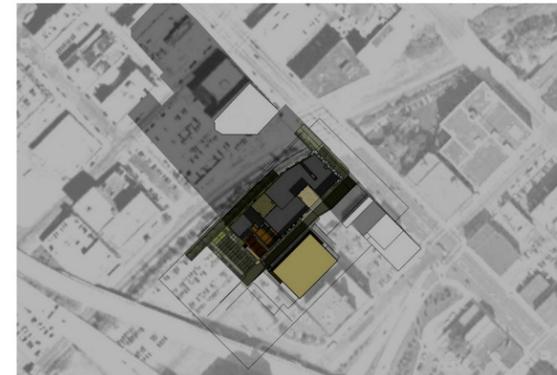
2 SHADOW STUDY - DECEMBER AT NOON
T1.5 1" = 80'-0"



7 SHADOW STUDY - MARCH AT SUNRISE
T1.5 1" = 80'-0"



4 SHADOW STUDY - JUNE AT SUNRISE
T1.5 1" = 80'-0"



1 SHADOW STUDY - DECEMBER AT SUNRISE
T1.5 1" = 80'-0"

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SHADOW STUDIES

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PERSPECTIVE VIEWS

1.1

1/11/2012 11:45:17 AM

1 CORRIDORS AND CONNECTIONS - VIEW ALONG WASHINGTON AVENUE NORTH LOOKING NORTHWEST
1.1 1" = 20' 0"

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PERSPECTIVE VIEWS

1.2

11/17/2011 1:15:56 PM

1 CORRIDORS AND CONNECTIONS - VIEW AT CORRIDOR CUT LOOKING NORTHEAST
1.2 1" = 20'-0"

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Dock Street Apartments

PERSPECTIVE VIEWS

1.3

11/11/2012 11:58 PM

1 CORRIDORS AND CONNECTIONS - VIEW AT CORRIDOR CUT LOOKING SOUTHEAST
1" = 20'-0"

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PERSPECTIVE VIEWS

1.4

11/11/2011 11:58 PM

1 CORRIDORS AND CONNECTIONS - VIEW ALONG THIRD STREET NORTH CORRIDOR LOOKING SOUTHEAST
14 1" = 20'-0"

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PERSPECTIVE VIEWS

1.5

1/11/2012 11:00 AM

1 CORRIDORS AND CONNECTIONS - VIEW ALONG WASHINGTON AVENUE NORTH LOOKING SOUTHEAST
15 1" = 20'

Dock Street
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Enter address here

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2 AERIAL PERSPECTIVE LOOKING NORTHWEST
1.6 1" = 20'-0"



3 AERIAL PERSPECTIVE LOOKING SOUTHWEST
1.6 1" = 20'-0"



1 AERIAL PERSPECTIVE LOOKING SOUTHEAST
1.6 1" = 20'-0"

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Dock Street Apartments

PERSPECTIVE VIEWS

1.6

EXTERIOR ELEVATION KEYNOTES	
NUMBER	DESCRIPTION
5A	METAL PANEL #1 - STAMPED METAL TILES (ZALMAG FINISH)
5B	PREFIN METAL TRIM - TO MATCH WINDOW FRAME
5C	METAL PANEL #2 - CORTEN (W/ EXPOSED FASTENERS)
6A	BRICK COLOR #1
6B	ABET LAMINATI RAIN SCREEN CLADDING
6C	FIBER CEMENT PANEL- COLOR #1 (AT ELEVATOR/STAIR -ROOF LEVEL)
8A	PREFIN ALUM STOREFRONT SYSTEM
8B	FIBERGLASS WINDOWS
9A	CONTROL JOINT
11A	ALUMINUM BALCONY SYSTEM
11B	ALUMINUM RAILING
11C	PRIMED & PAINTED STEEL STAIR
11D	PRIMED & PAINTED STEEL CHANNEL
12A	PREFIN METAL LOUVERS
15A	METAL CANOPY
16A	OVERHEAD DOORS
17A	TRELLIS

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2 NORTH / WASHINGTON AVENUE ELEVATION
1/7 1" = 10'-0"



1 EAST / DOCK STREET ELEVATION
1/7 1" = 10'-0"

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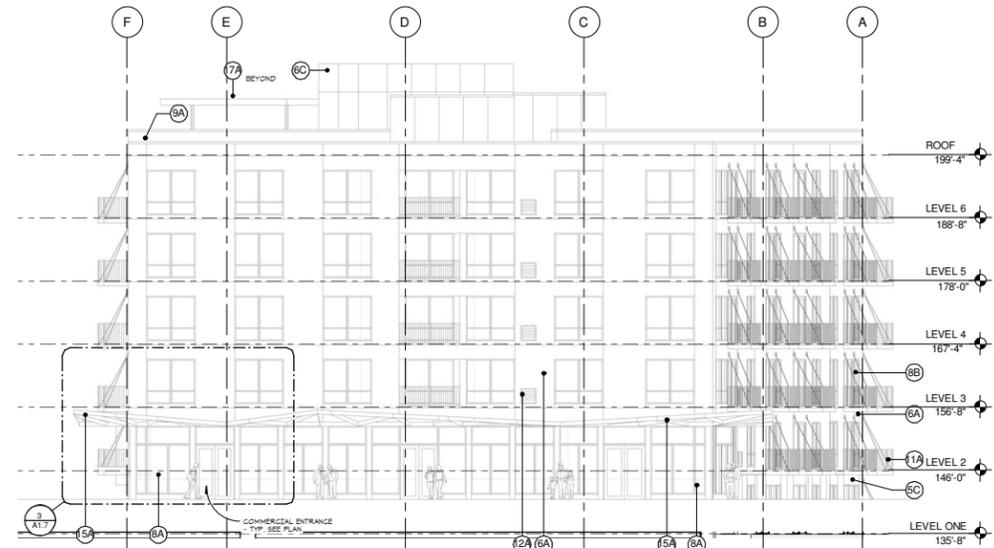
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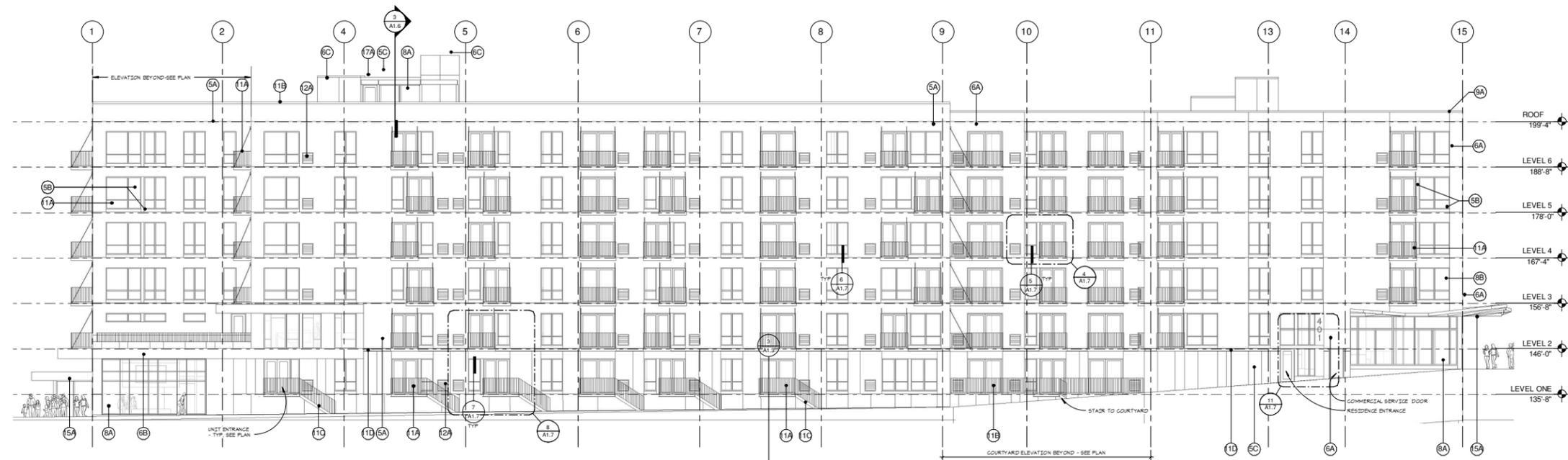
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EXTERIOR ELEVATIONS

1.7



2 NORTH / WASHINGTON AVENUE ELEVATION
1.7A 1" = 10'-0"



1 EAST / DOCK STREET ELEVATION
1.7A 1" = 10'-0"

EXTERIOR ELEVATION KEYNOTES	
NUMBER	DESCRIPTION
5A	METAL PANEL #1 - STAMPED METAL TILES (ZALMAG FINISH)
5B	PREFIN METAL TRIM - TO MATCH WINDOW FRAME
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EXTERIOR ELEVATIONS

1.7A



2 SOUTH / THIRD STREET NORTH ELEVATION
1/8" = 10'-0"



1 WEST / RAILWAY CEDAR LAKE TRAIL ELEVATION
1/8" = 10'-0"

EXTERIOR ELEVATION KEYNOTES	
NUMBER	DESCRIPTION
5A	METAL PANEL #1 - STAMPED METAL TILES (ZALMAG FINISH)
5B	PREFIN METAL TRIM - TO MATCH WINDOW FRAME
5C	METAL PANEL #2 - CORTEN (W/ EXPOSED FASTENERS)
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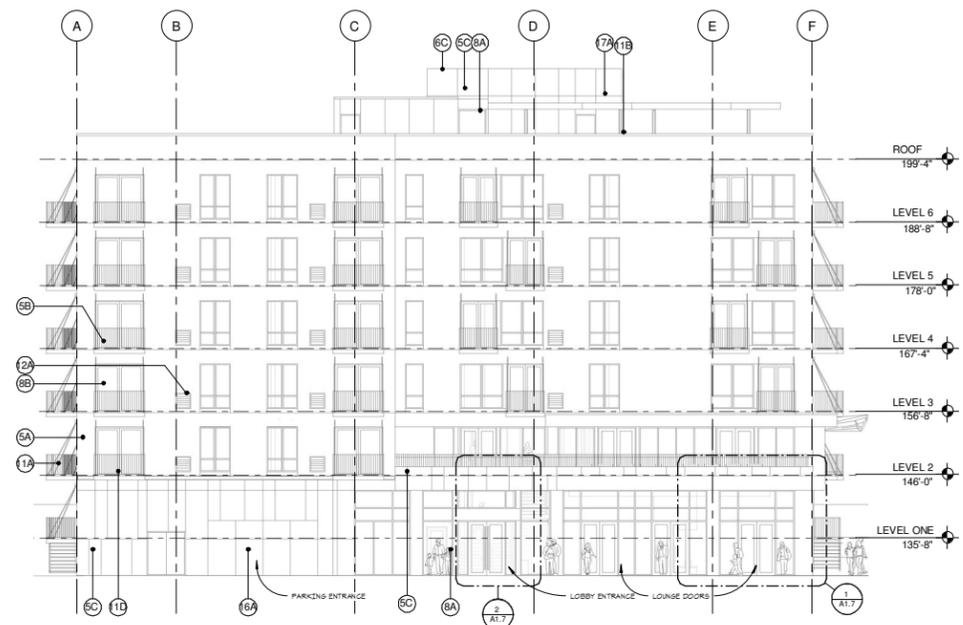
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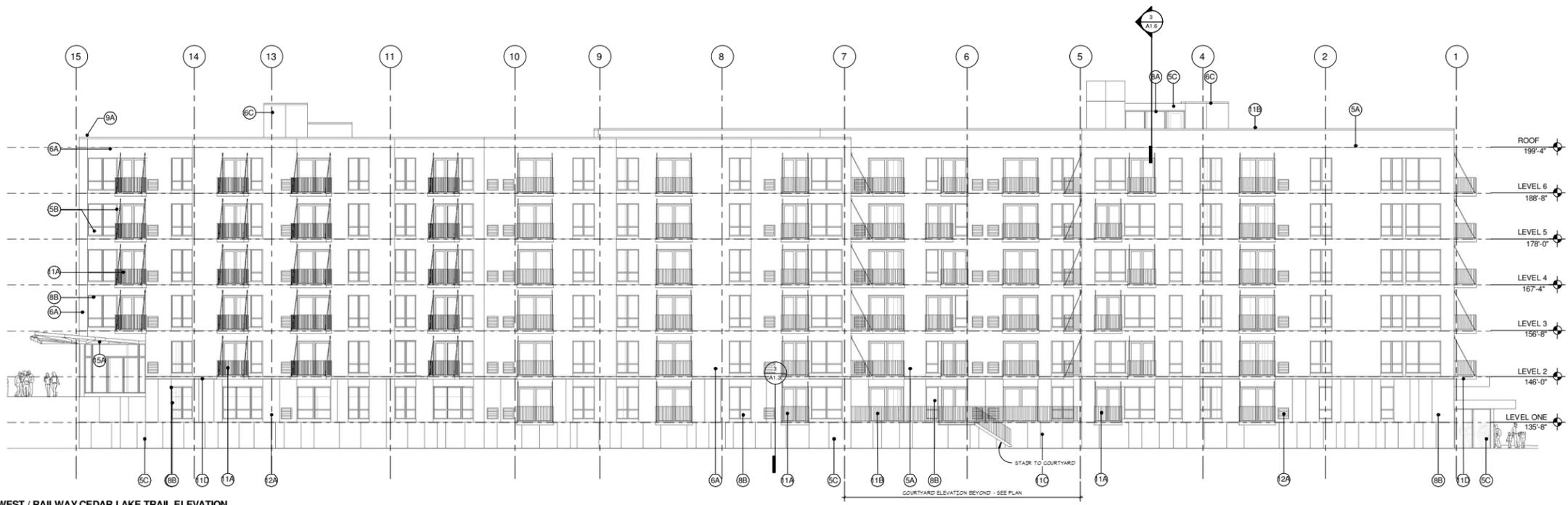
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EXTERIOR ELEVATIONS
1.8

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2 SOUTH / THIRD STREET NORTH ELEVATION
1.8A 1" = 10'-0"



1 WEST / RAILWAY CEDAR LAKE TRAIL ELEVATION
1.8A 1" = 10'-0"

EXTERIOR ELEVATION KEYNOTES	
NUMBER	DESCRIPTION
5A	METAL PANEL #1 - STAMPED METAL TILES (ZALMAG FINISH)
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15A	METAL CANOPY
16A	OVERHEAD DOORS
17A	TRELLIS

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EXTERIOR ELEVATIONS
1.8A

EXTERIOR ELEVATION KEYNOTES	
NUMBER	DESCRIPTION
5A	METAL PANEL #1 - STAMPED METAL TILES (ZALMAG FINISH)
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12A	PREFIN METAL LOUVERS
15A	METAL CANOPY
16A	OVERHEAD DOORS
17A	TRELLIS

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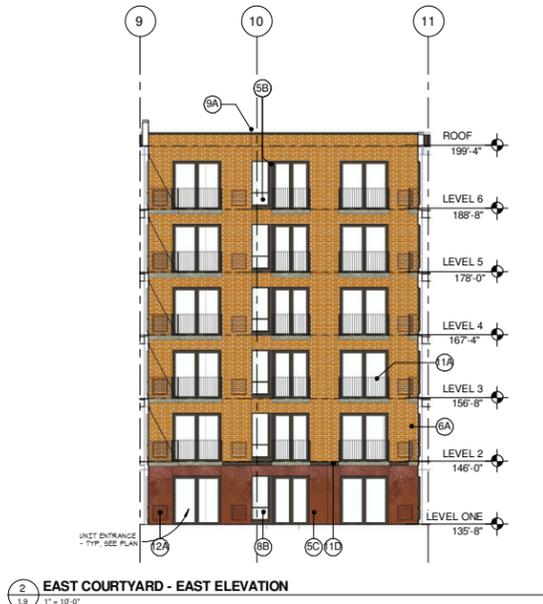
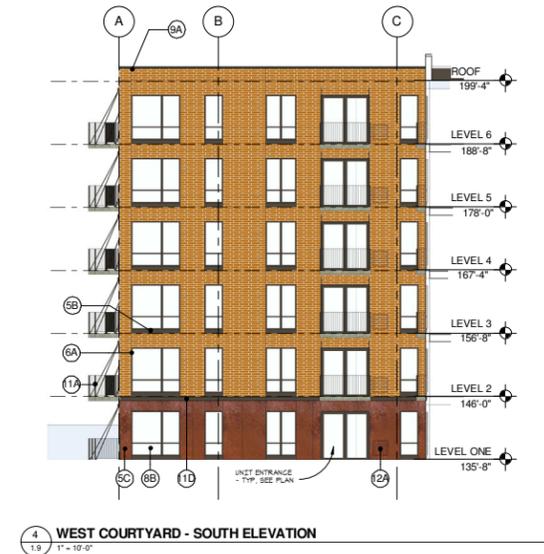
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EXTERIOR ELEVATIONS

1.9

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EXTERIOR ELEVATION KEYNOTES	
NUMBER	DESCRIPTION
5A	METAL PANEL #1 - STAMPED METAL TILES (ZALMAG FINISH)
5B	PREFIN METAL TRIM - TO MATCH WINDOW FRAME
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15A	METAL CANOPY
16A	OVERHEAD DOORS
17A	TRELLIS

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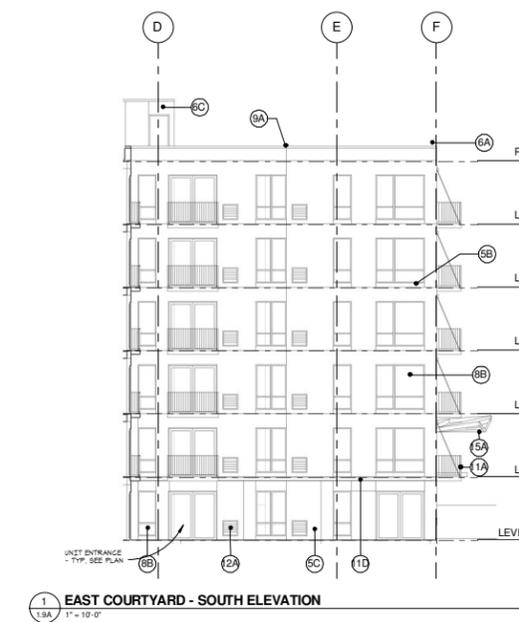
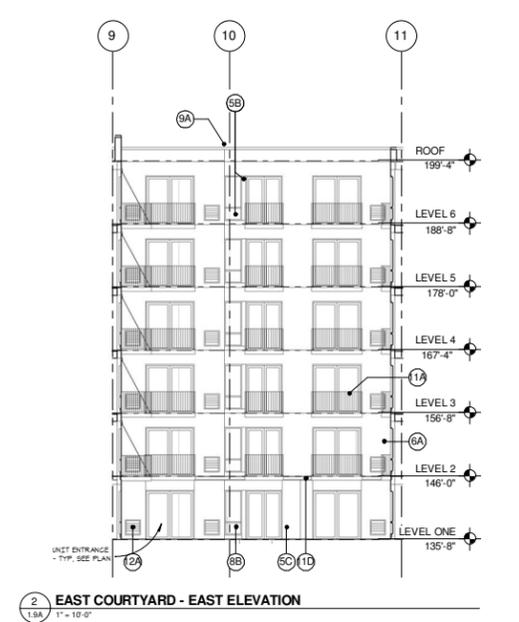
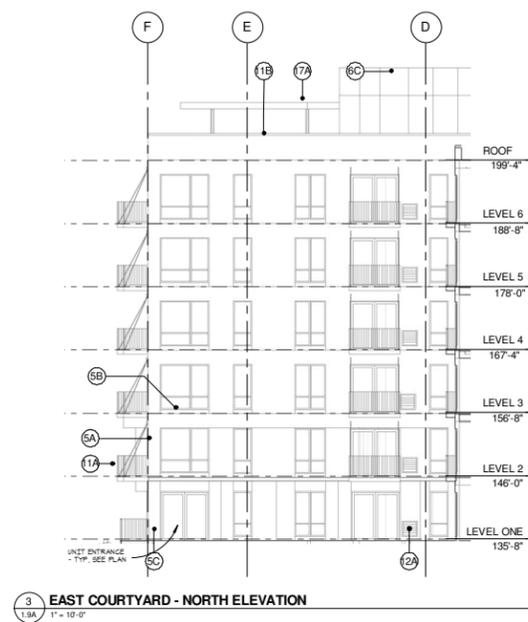
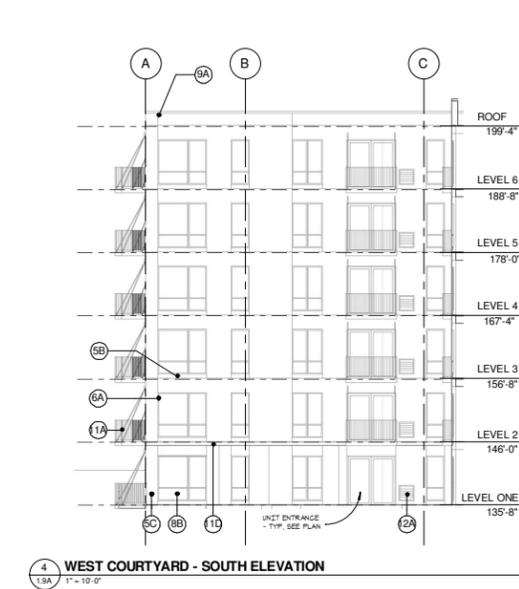
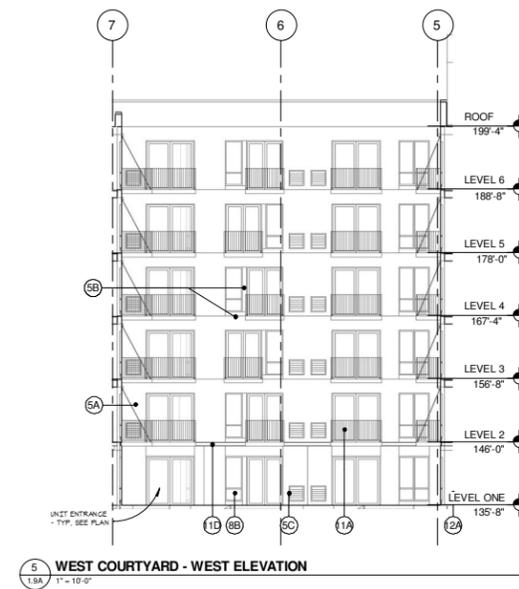
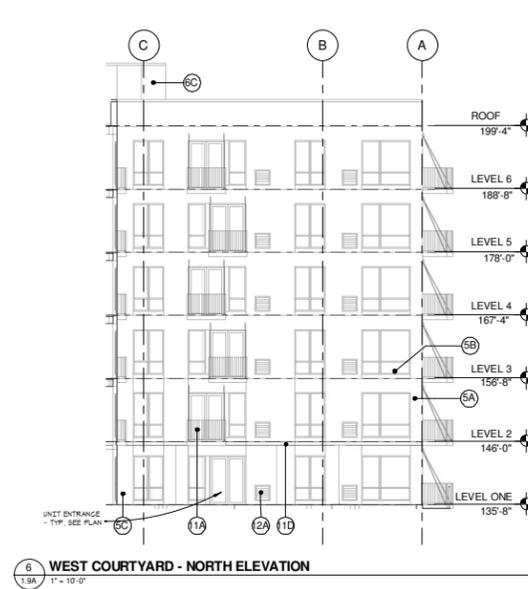
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Dock Street Apartments

EXTERIOR ELEVATIONS

1.9A



2 VIEW AT CORNER OF WASHINGTON AVE AND CEDAR LAKE TRAIL
1" = 20'-0"



1 VIEW AT CORNER OF DOCK STREET AND WASHINGTON AVE
1" = 20'-0"

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SKETCHUP STUDIES

1.11



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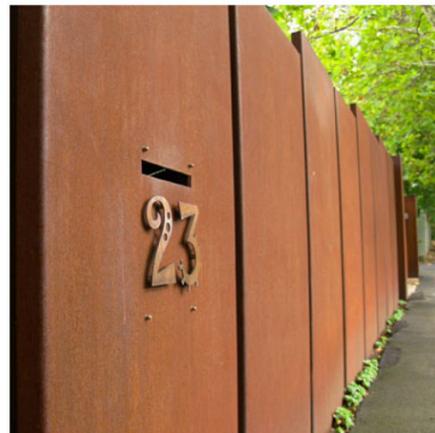
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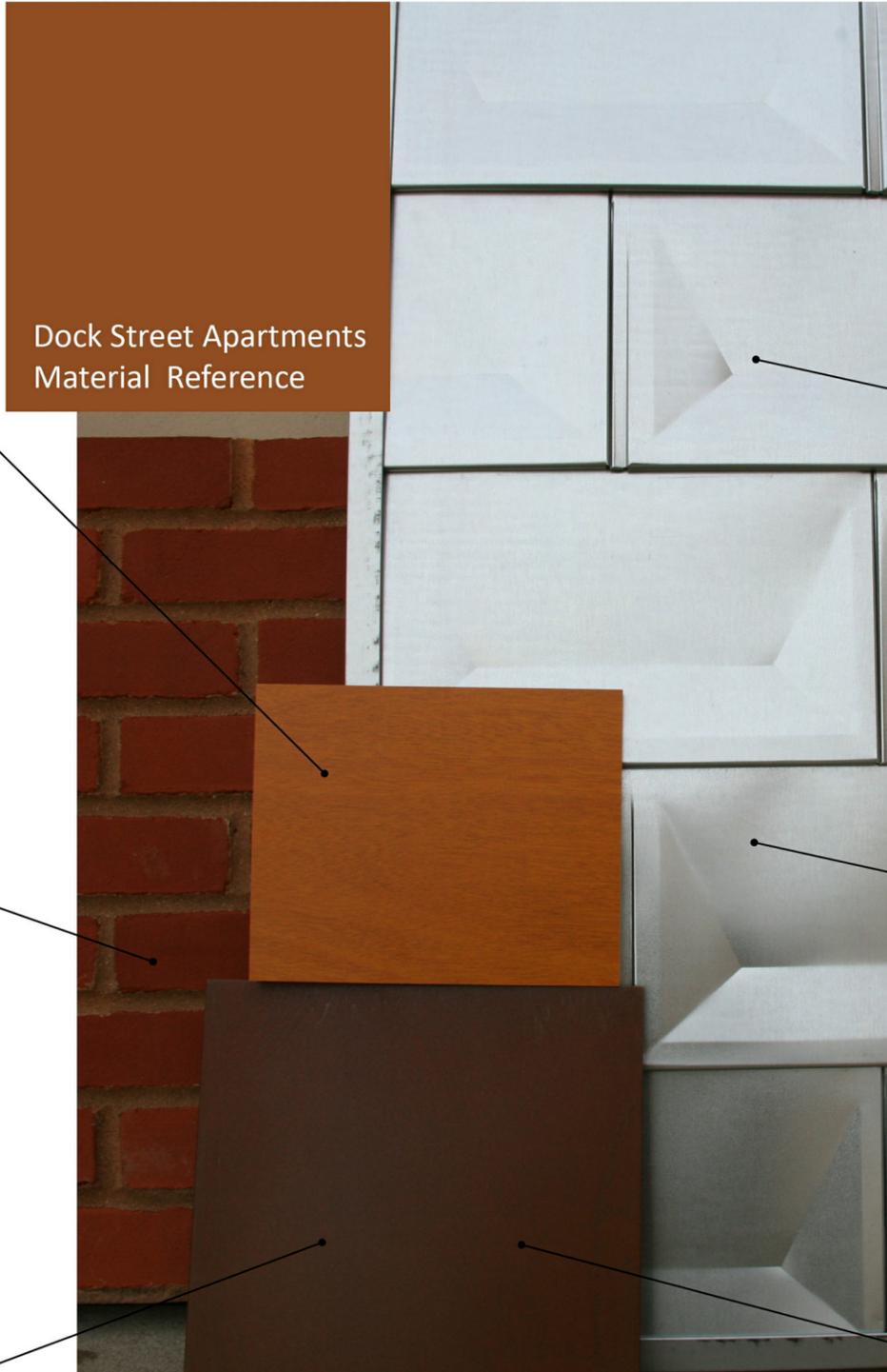
Abet Laminati



Brick



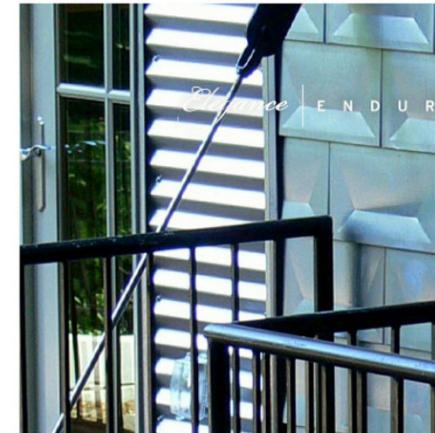
Corten



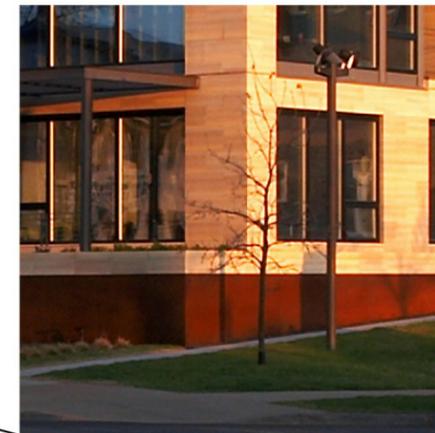
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Material Reference



Metal Shingle



Metal Shingle with Steel Supports



Corten

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EXTERIOR MATERIAL
IMAGES

1.12



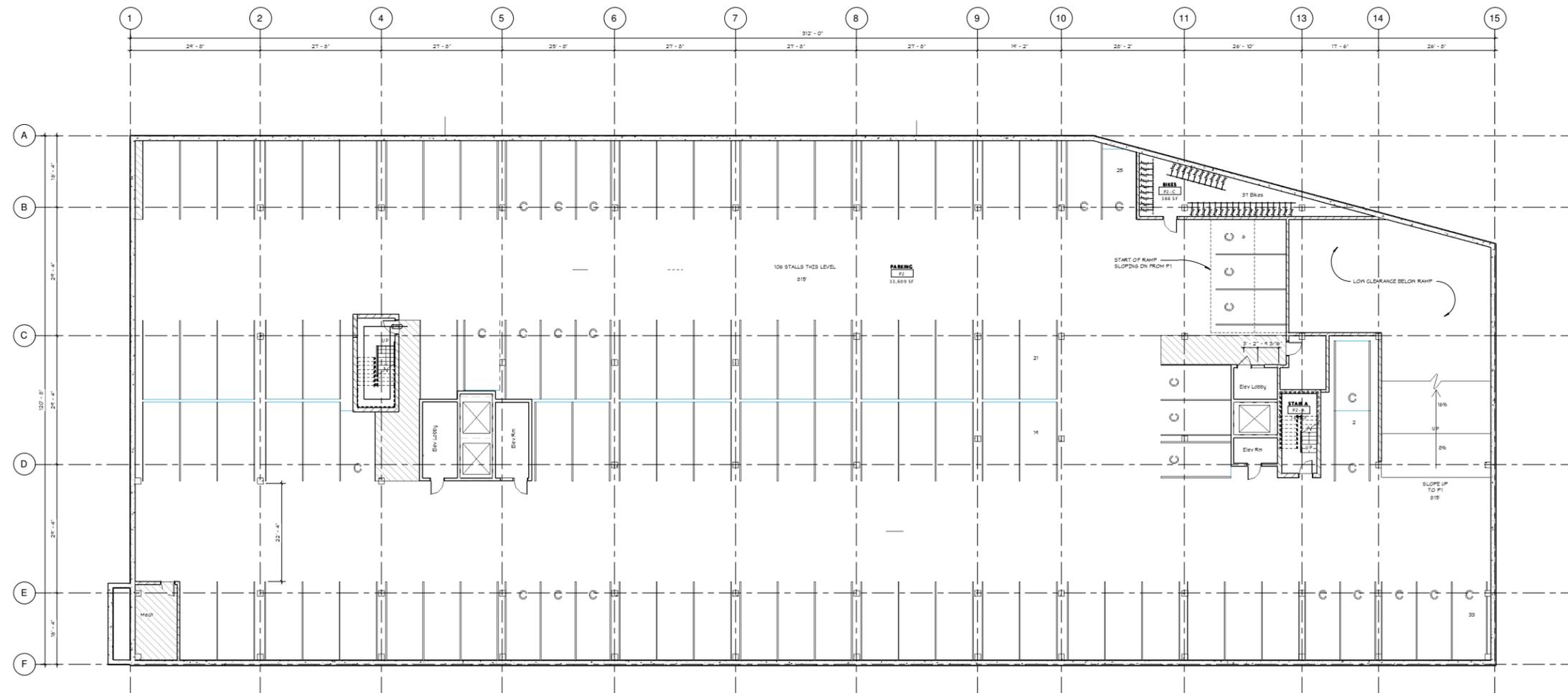
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LEVEL P2 PLAN

A1.1



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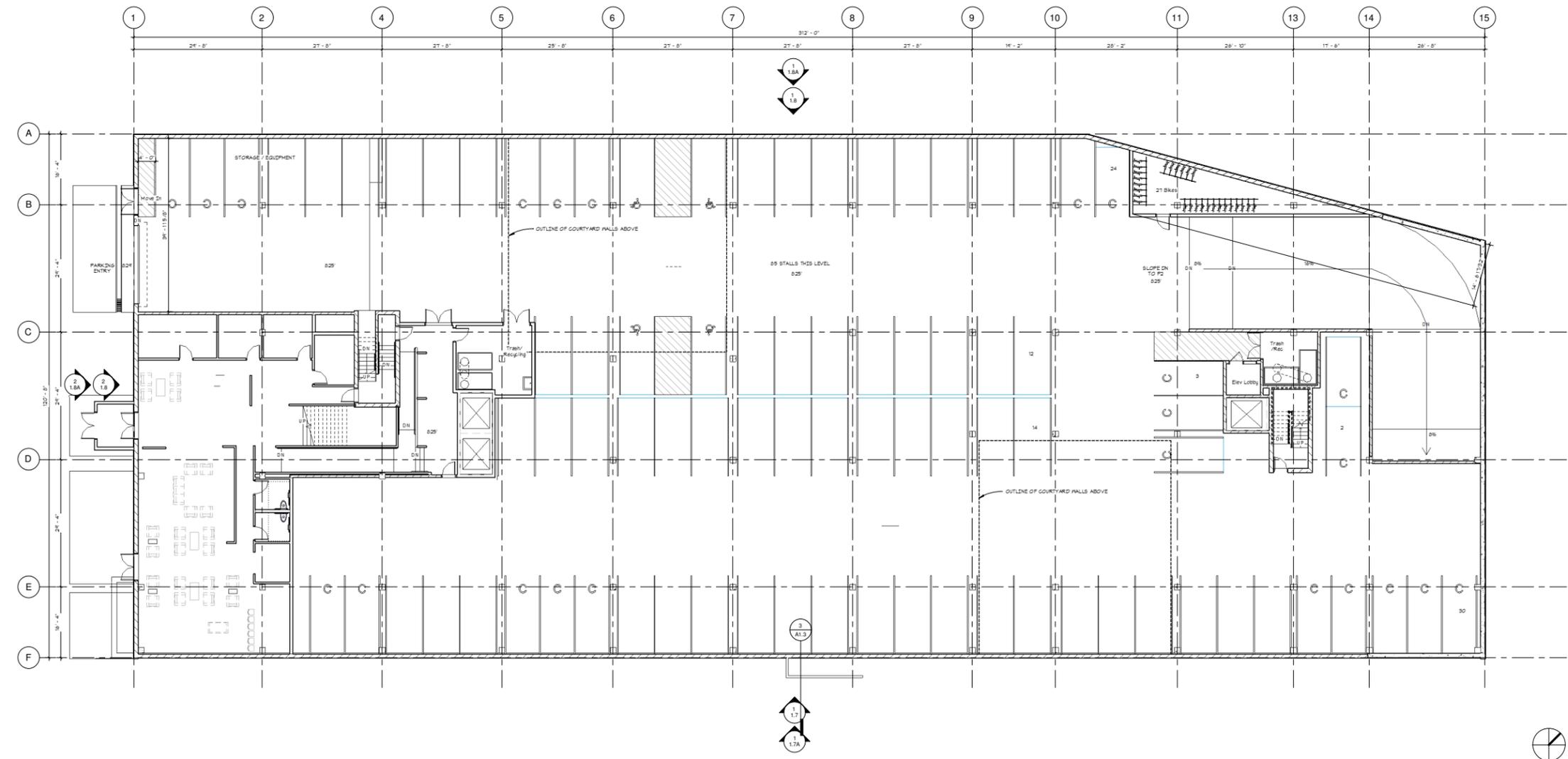
1 LEVEL P2 PLAN
A1.1 1" = 10'-0"



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LEVEL P1 PLAN
A1.2



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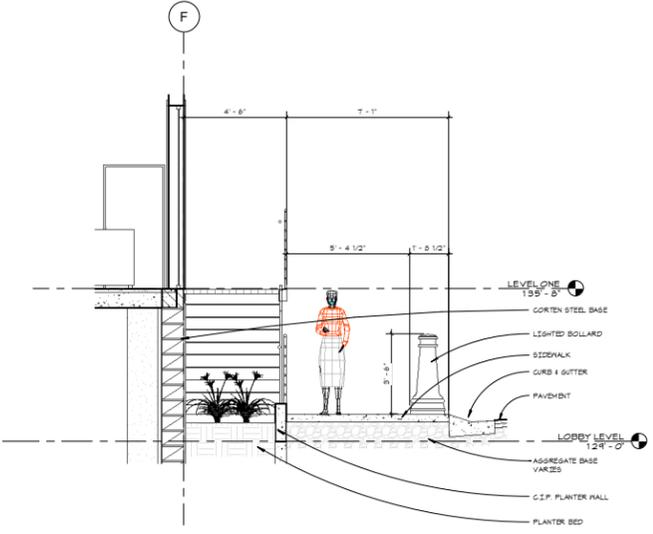
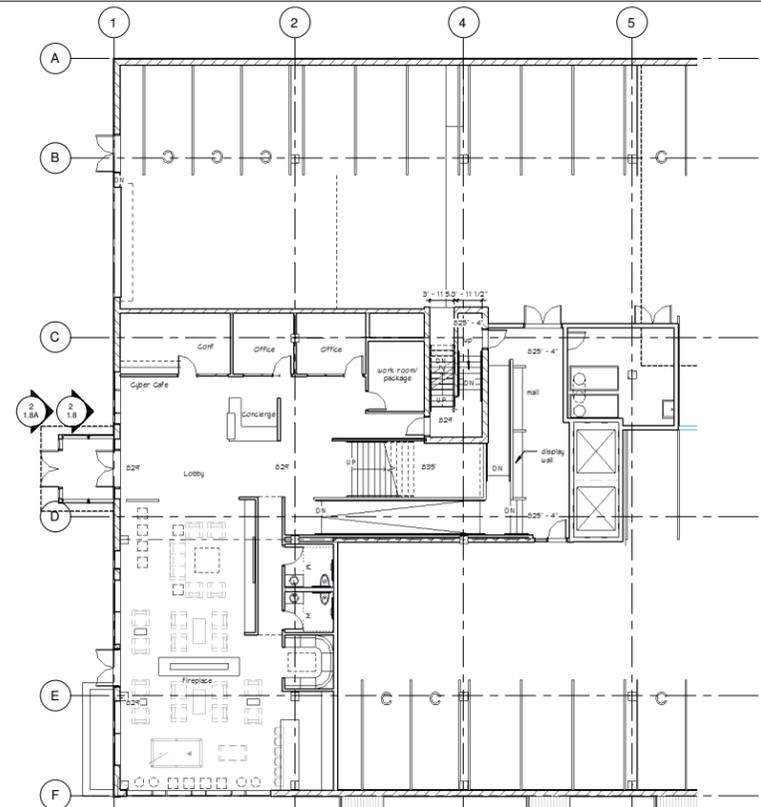
1 LEVEL P1 PLAN
A1.2 1" = 10'-0"



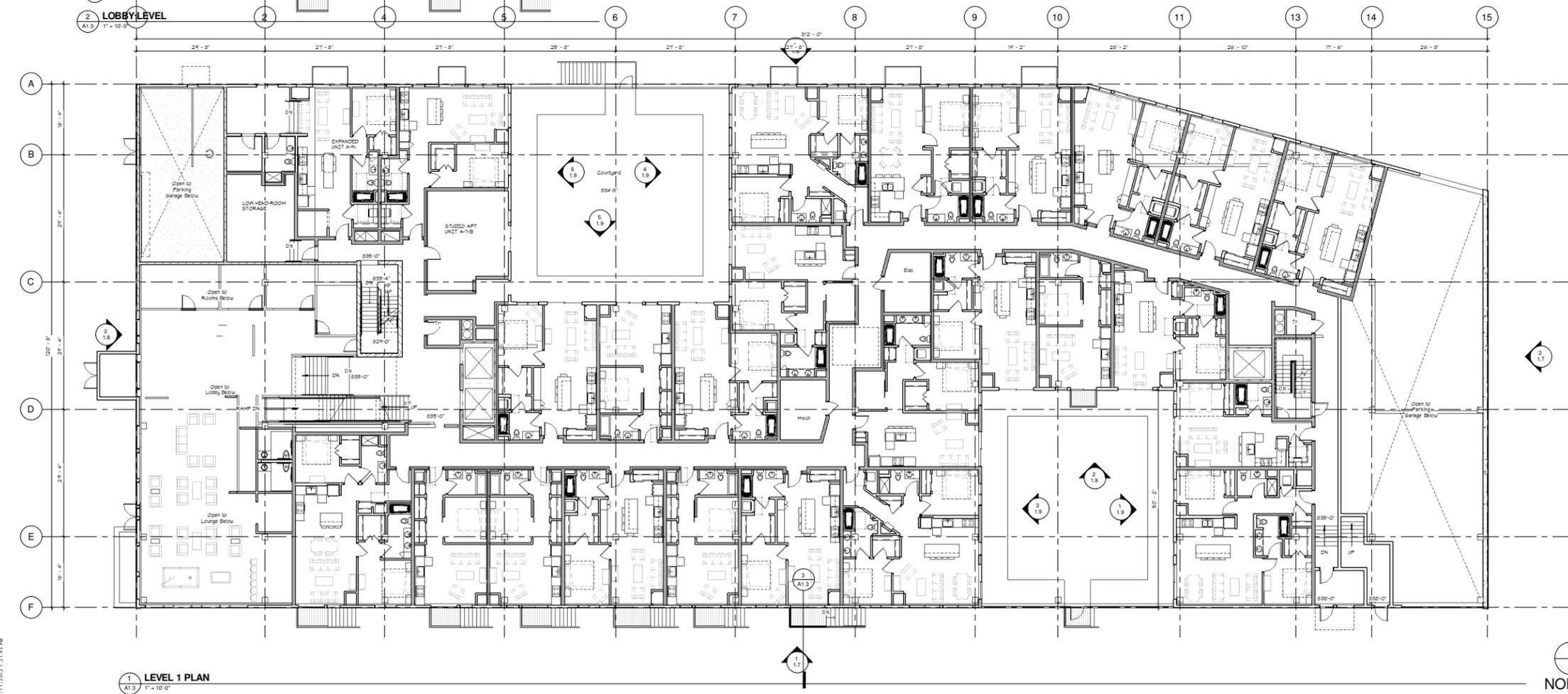
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3 TYPICAL STOOP SECTION
A1.3 3/8" = 1'-0"



1 LEVEL 1 PLAN
A1.3 1" = 10'-0"

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LEVEL 1 PLAN
A1.3

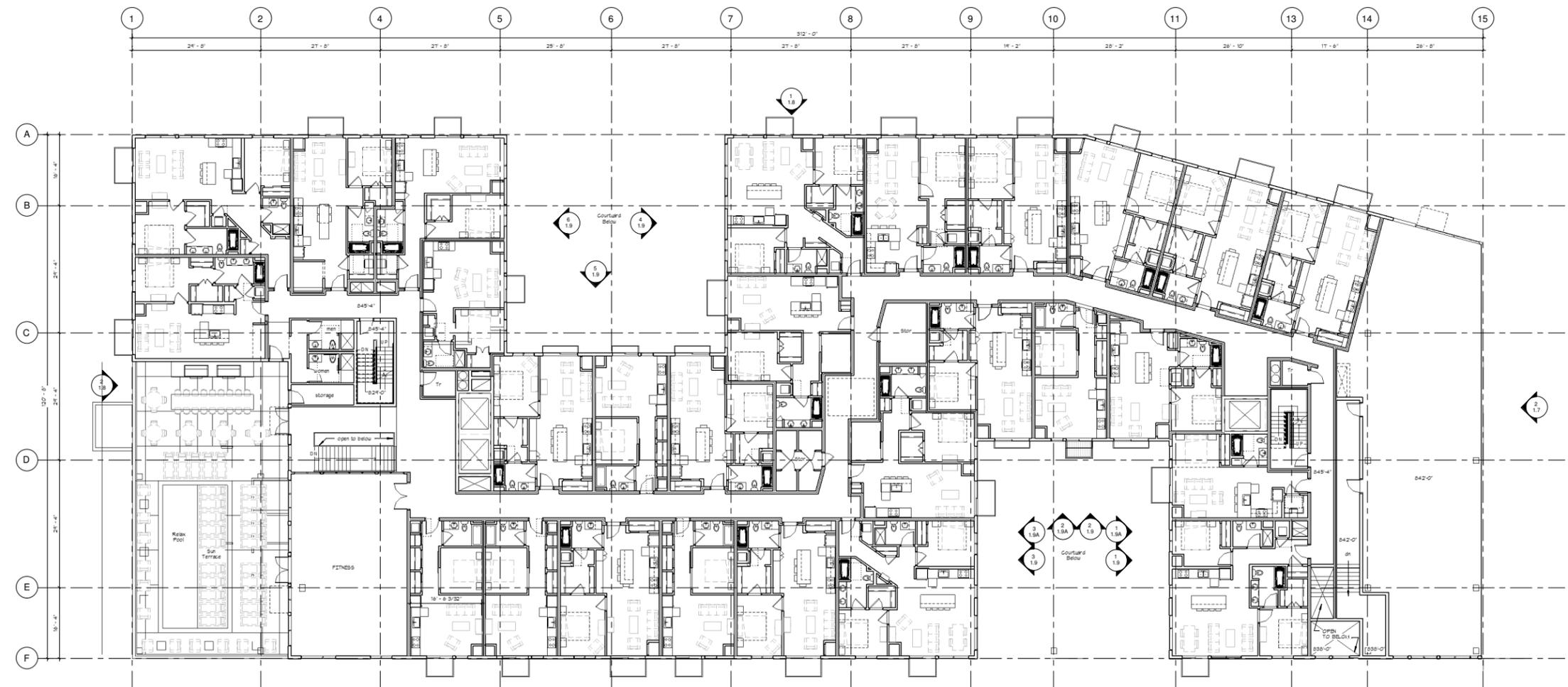
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LEVEL 2 PLAN
A1.4



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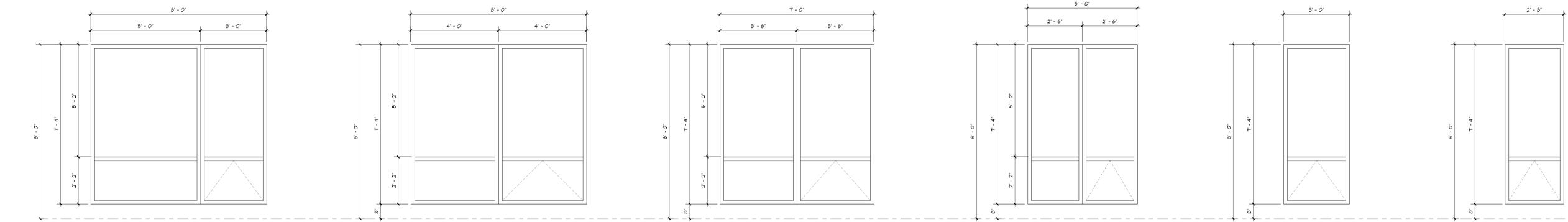
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A1.4 LEVEL 2 PLAN
1" = 10'-0"



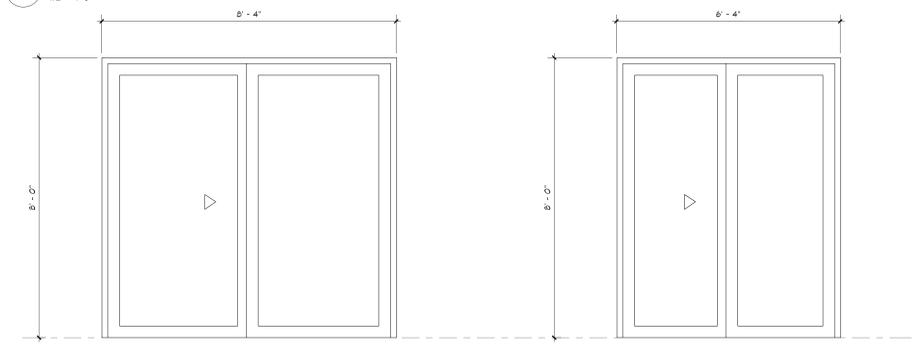
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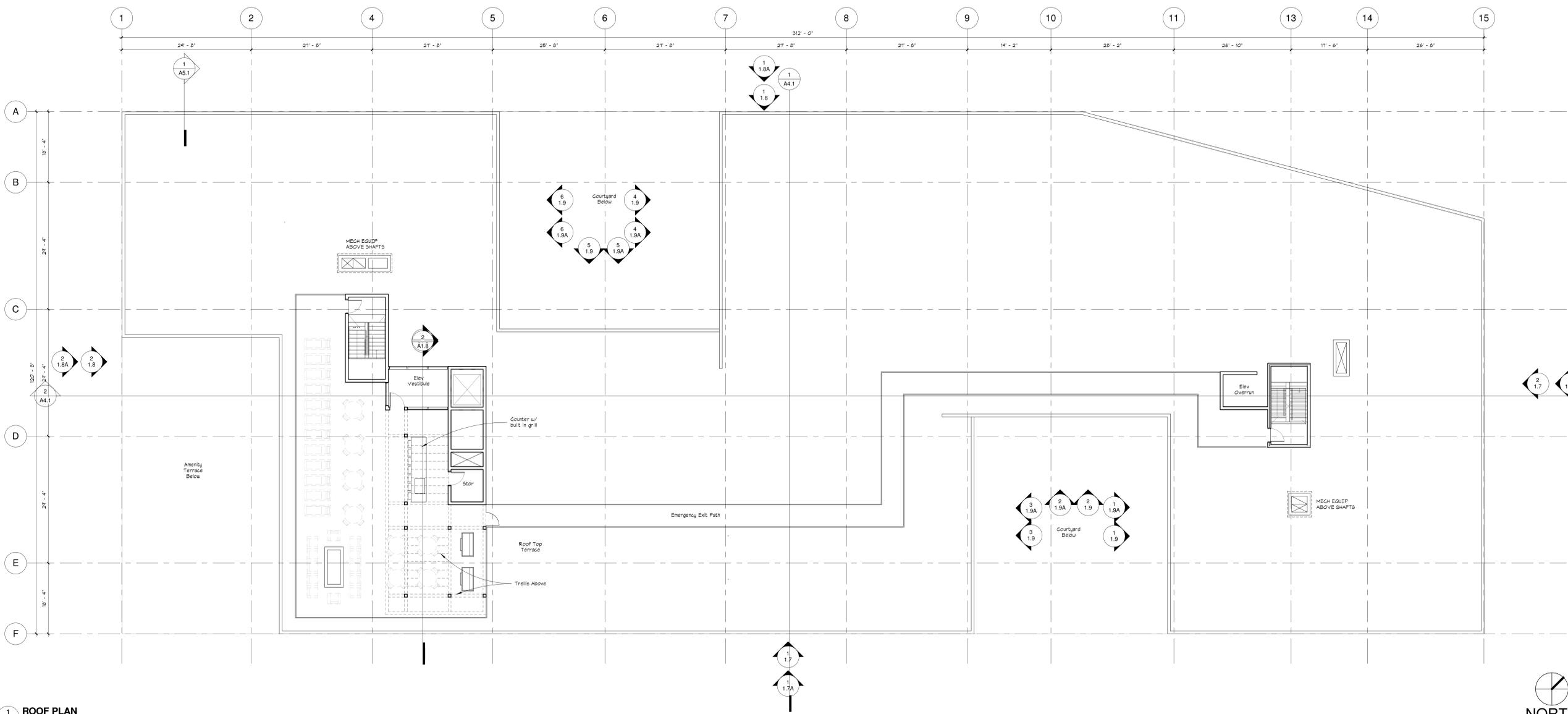
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WINDOW TYPES
1/2" = 1'-0"



DOOR TYPES
1/2" = 1'-0"



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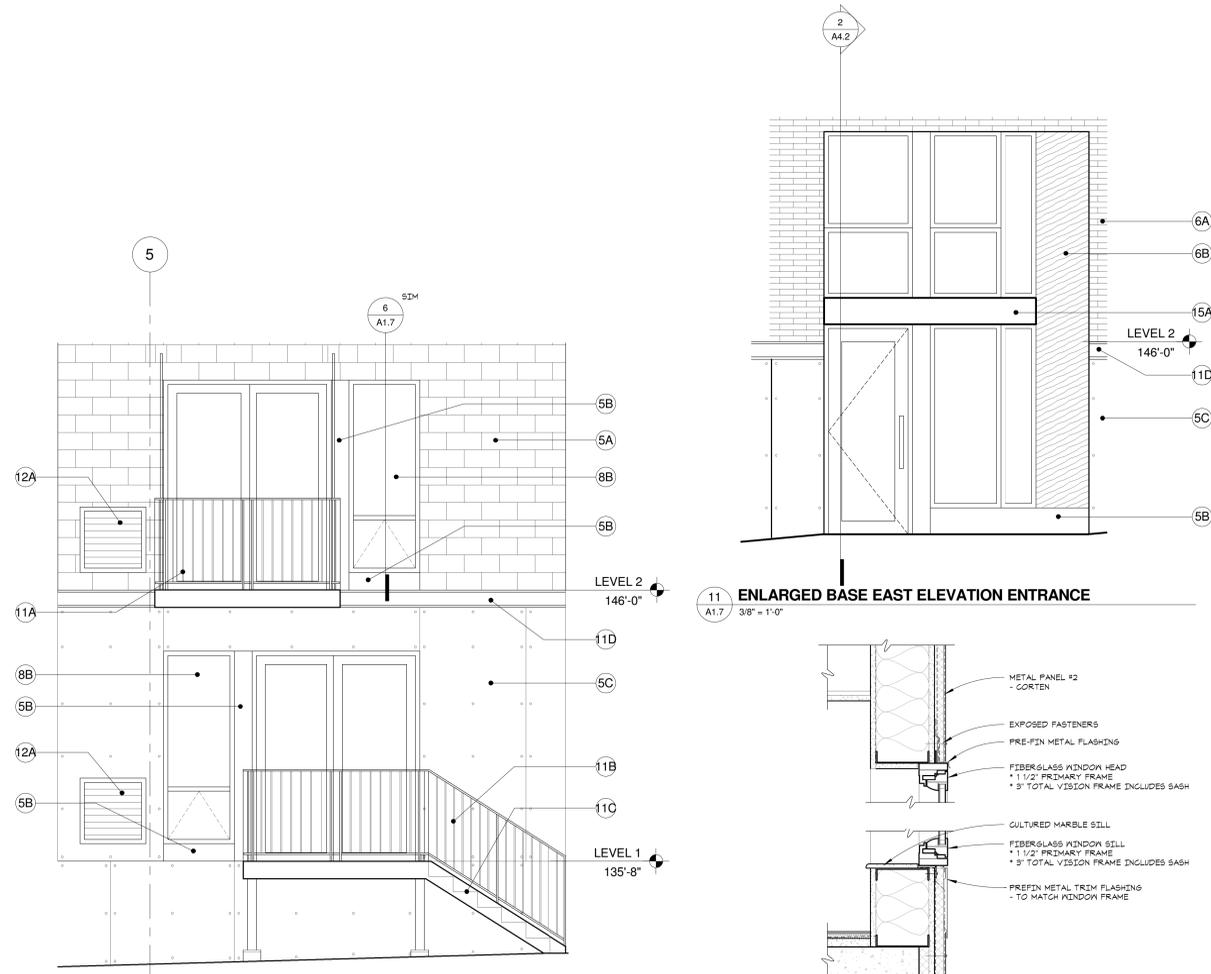
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ROOF PLAN
A1.6

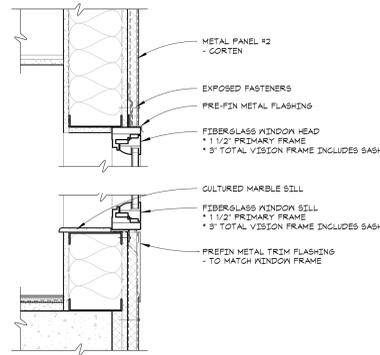


EXTERIOR ELEVATION KEYNOTES	
NUMBER	DESCRIPTION
5A	METAL PANEL #1 - STAMPED METAL TILES (ZALMAG FINISH)
5B	PREFIN METAL TRIM - DARK BRONZE COLOR
5C	METAL PANEL #2 - CORTEN (W/ EXPOSED FASTENERS)
6A	BRICK COLOR #1
6B	ABET LAMINATI RAIN SCREEN CLADDING
6C	FIBER CEMENT PANEL- COLOR #1 (AT ELEVATOR/STAIR -ROOF LEVEL)
8A	PREFIN ALUM STOREFRONT SYSTEM - DARK BRONZE COLOR
8B	FIBERGLASS WINDOWS - DARK BROWN COLOR
9A	CONTROL JOINT
11A	ALUMINUM BALCONY SYSTEM - DARK BRONZE COLOR
11B	ALUMINUM RAILING - DARK BRONZE COLOR
11C	PRIMED & PAINTED STEEL STAIR - DARK BRONZE COLOR
11D	PRIMED & PAINTED STEEL CHANNEL - DARK BRONZE COLOR
12A	PREFIN METAL LOUVERS - COLOR TO MATCH EXTERIOR WALL
15A	METAL CANOPY
16A	OVERHEAD DOORS
17A	TRELLIS

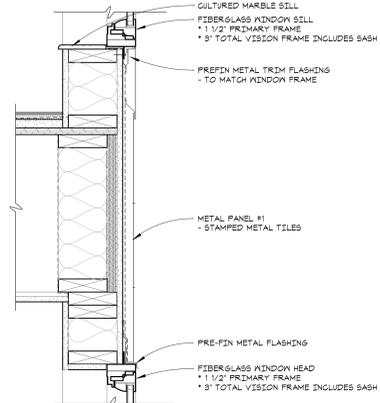


8 ENLARGED BASE EAST ELEVATION
A1.7 3/8" = 1'-0"

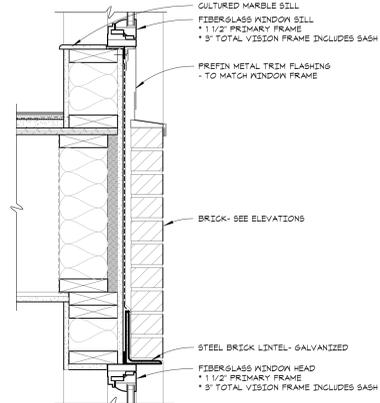
11 ENLARGED BASE EAST ELEVATION ENTRANCE
A1.7 3/8" = 1'-0"



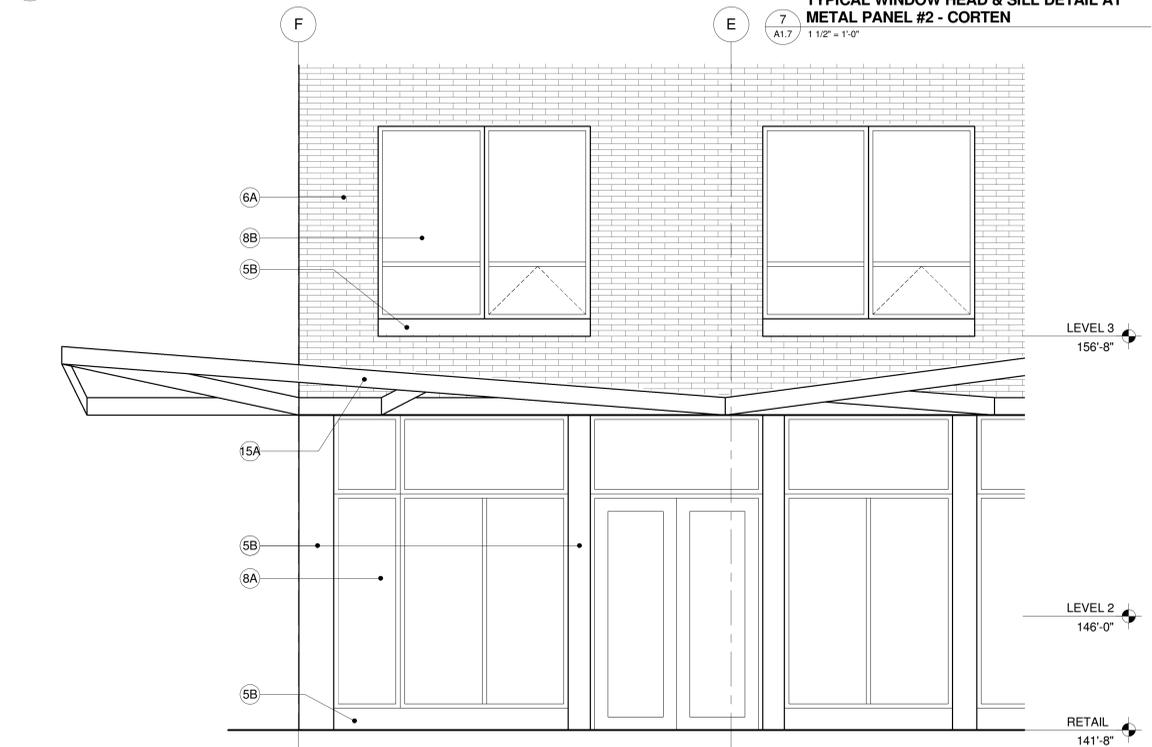
7 TYPICAL WINDOW HEAD & SILL DETAIL AT METAL PANEL #2 - CORTEN
A1.7 1 1/2" = 1'-0"



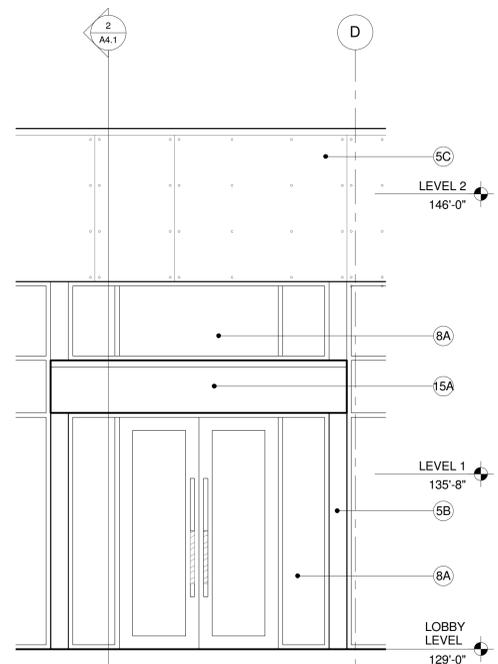
6 TYPICAL WINDOW HEAD & SILL DETAIL AT METAL PANEL #1 - STAMPED METAL TILES
A1.7 1 1/2" = 1'-0"



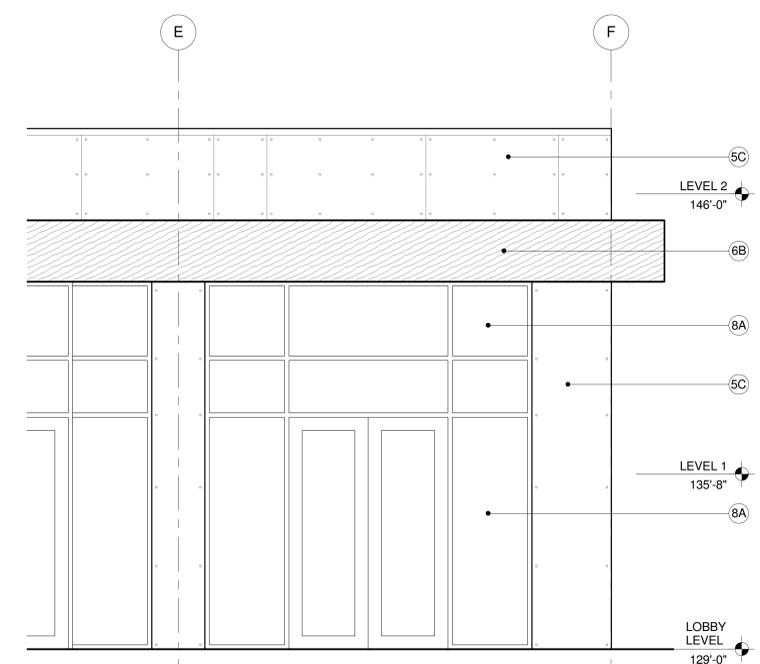
5 TYPICAL WINDOW HEAD & SILL DETAIL AT BRICK
A1.7 1 1/2" = 1'-0"



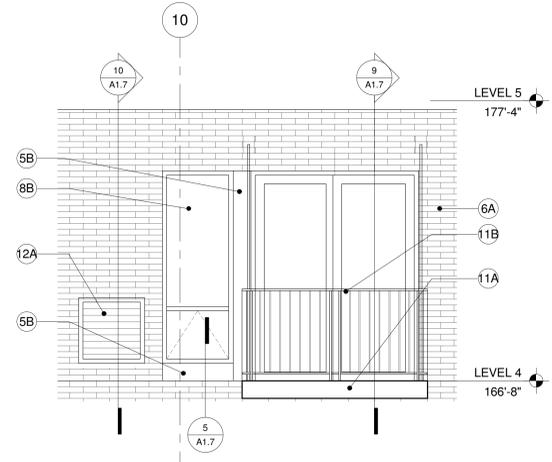
3 ENLARGED BASE NORTH ELEVATION
A1.7 3/8" = 1'-0"



2 ENLARGED BASE SOUTH ELEVATION - LOBBY ENTRANCE
A1.7 3/8" = 1'-0"



1 ENLARGED BASE SOUTH ELEVATION
A1.7 3/8" = 1'-0"



4 ENLARGED ELEVATION AT BRICK
A1.7 3/8" = 1'-0"

HPC SUBMITTAL
PACKAGE
01/11/2012

ORIGINAL ISSUE: 12/09/11

REVISIONS

No.	Description	Date
1	Revision	1/24/2012

211515
PROJECT NUMBER

Author _____ Checker _____
DRAWN BY _____ CHECKED BY _____

Dock Street Apartments

DETAILS
A1.7



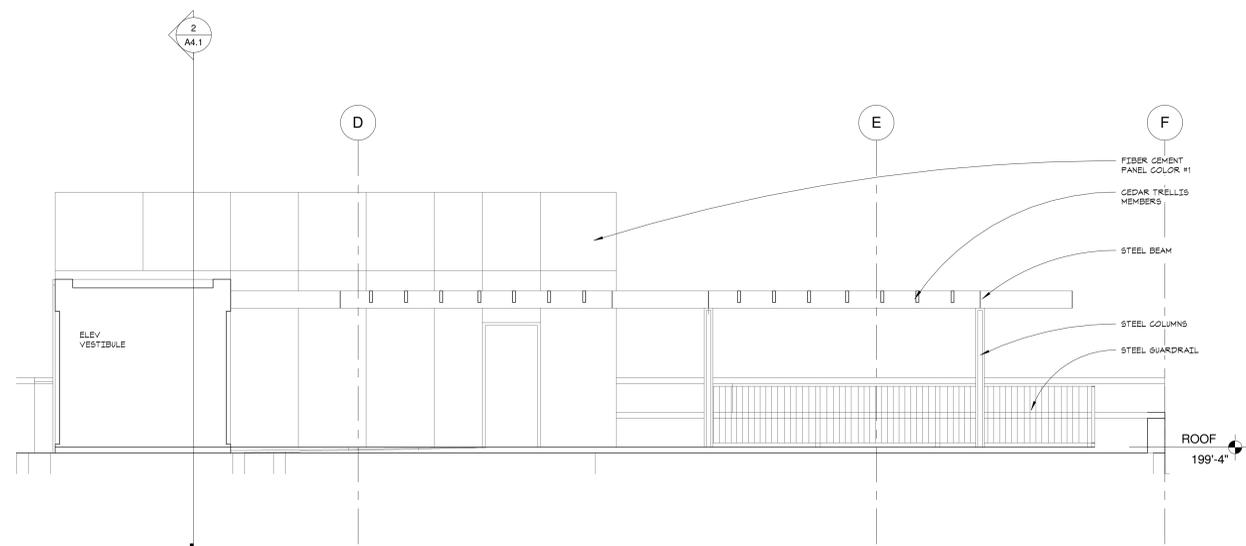
elness swenson graham architects
500 WASHINGTON AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55415
P. 612.339.5508
F. 612.339.5382
WWW.ESGARCH.COM

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

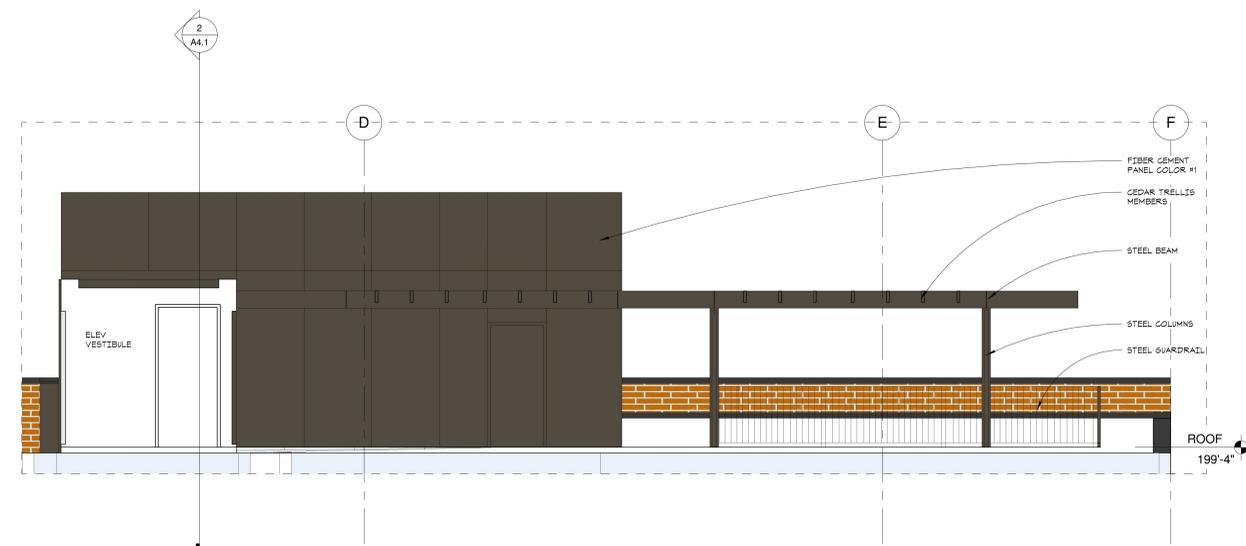
Signature _____

Typed or Printed Name _____

License # _____ Date _____



2 B&W SKETCHUP ROOF TERRACE SECTION / ELEVATION
A1.8 1/4" = 1'-0"



1 SKETCHUP ROOF TERRACE SECTION / ELEVATION
A1.8 1/4" = 1'-0"

HPC SUBMITTAL
PACKAGE
01/11/2012

ORIGINAL ISSUE: 01/23/12

REVISIONS

No.	Description	Date
1	Revision	1/24/2012

211515
PROJECT NUMBER

Author _____
DRAWN BY _____ CHECKED BY _____

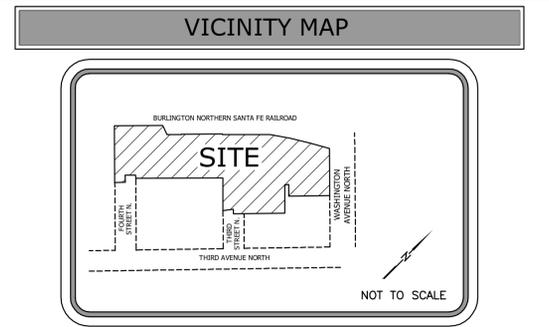
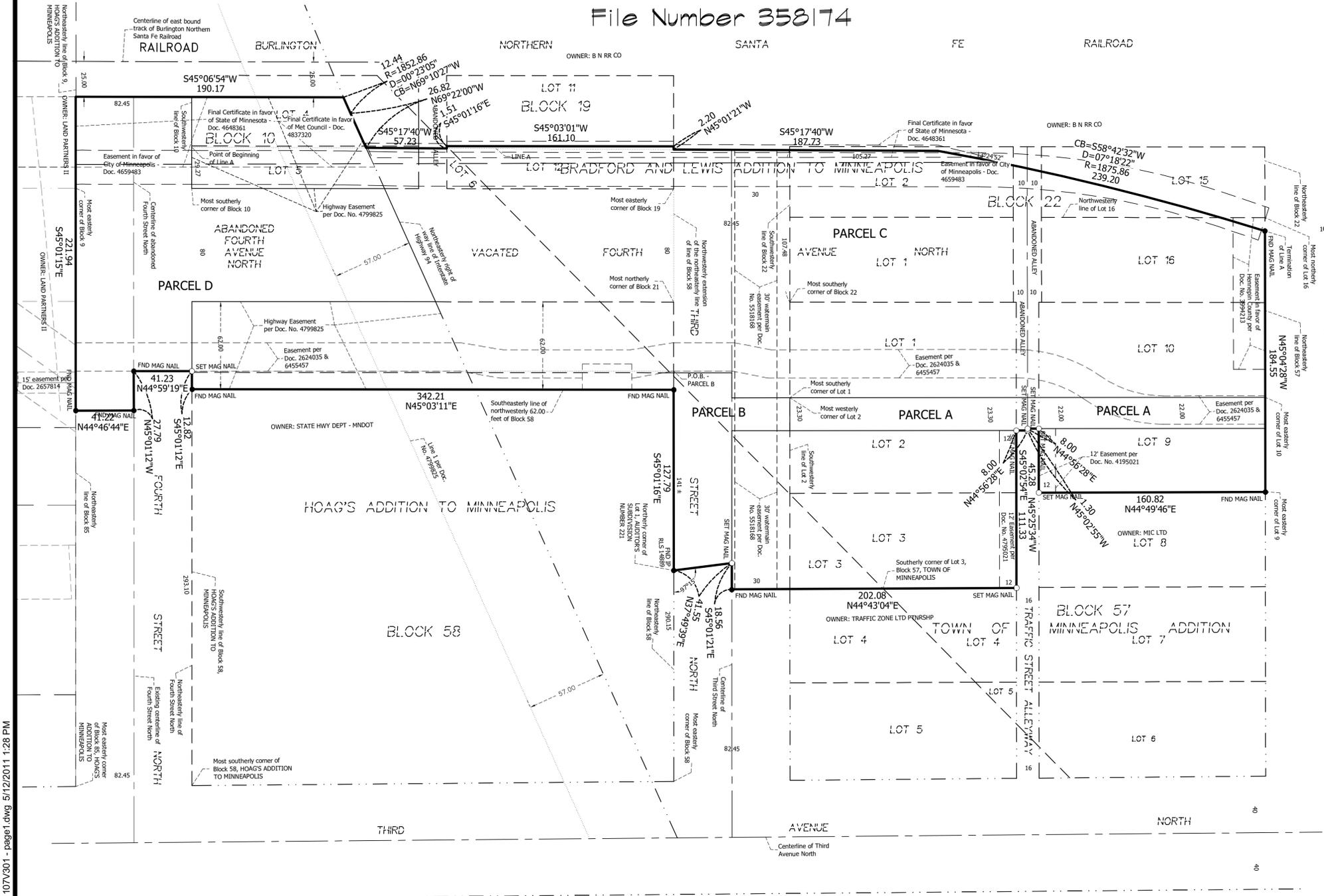
Dock Street Apartments

ENLARGED ELEVATIONS

A1.8

ALTA/ACSM LAND TITLE SURVEY

File Number 358174



LAND DESCRIPTION

Parcel A: (Torrens/Certificate No. 683870)
The Northwesterly 23.30 feet of Lot 2, and The Northwesterly 22 feet of Lot 9, Block 57, Town of Minneapolis, Hennepin County, Minnesota, together with easement filed November 30, 1995, as Document Number 2657814.

Parcel B: (Torrens/Certificate No. 823432)
That part of vacated or abandoned Third Street North described as beginning at a point on the Northwesterly extension of the Northwesterly line of Block 58, Hoag's Addition to Minneapolis, distant 290.15 feet Northwesterly from the most Easterly corner of said Block 58; thence Southeasterly along said Northwesterly line a distance of 141 feet, more or less, to the most Northerly corner of Lot 1, Auditor's Subdivision Number 221, Hennepin County, Minnesota; thence Northwesterly, deflecting to the left 97 degrees 15 minutes, a distance of 41.55 feet to the center line of vacated or abandoned Third Street North; thence Northwesterly along said center line to its intersection with the Southwesterly extension of the Northwesterly line of the Northwesterly 23.30 feet of Lot 2, Block 57, Town of Minneapolis; thence Northwesterly along said extension to the Southwesterly line of said Lot 2, thence Northwesterly to the Westerly corner of said Lot 2; thence Southwesterly along the extension of the Northwesterly line of said Lot 2 to the center line of vacated or abandoned Third Street North; thence Northwesterly along said center line to its intersection with the Northwesterly extension of a line drawn from a point of the Southwesterly line of Block 58, Hoag's Addition to Minneapolis, distant 293.10 feet Northwesterly from the most Southerly corner of said Block 58 to the point of beginning; thence Southwesterly along the last mentioned extension to the point of beginning, together with easement filed November 30, 1995 as Document Number 2657814.

Parcel C: (Torrens/Certificate No. 1032399)
Those portions of Block 10, 57, and 58, Hoag's Addition to Minneapolis; and those portions of Blocks 57 and 58, Town of Minneapolis; and those portions of Blocks 19, 21, and 22 in Bradford and Lewis Addition to Minneapolis; Together with those portions of abandoned alleys, abandoned Fourth Avenue North, and abandoned Third Street North, all described as follows:
Lot 3, said Block 57; Lot 6, said Block 10; all in Hoag's Addition to Minneapolis;
Those portions of Lots 4 and 5, said Block 10, lying Southeasterly drawn parallel with and 25 feet Southeasterly from the center line of the Eastbound track of the Burlington Northern Railroad, which lies Southwesterly of the Northwesterly right of way of Interstate No. 94;
The Northwesterly 62 feet of said Block 58, the Southeasterly line of said Northwesterly 62 feet is prolonged to terminate on the Northwesterly line of said Block 58;
That part of Lot 10, Block 58, Town of Minneapolis, shown as Block 21 in the plat of Bradford and Lewis Addition to Minneapolis;
Together with that part of said abandoned Fourth Avenue North lying between a line drawn Northerly from the most Northerly corner of said Block 21, to the most Easterly corner of said Block 19 and the Northerly right-of-way line of Interstate No. 94;
Lots 1, 3, and 10; that part of Lot 2 lying Southeasterly of the Northwesterly 23.3 feet of said Lot 2; that part of Lot 9, lying Southeasterly of the Northwesterly 22 feet of said Lot 9, all in said Block 57, Town of Minneapolis;
Those portions of Lots 2, 15, and 16, Block 22, Bradford and Lewis Addition to Minneapolis, and that part of said Lot 5, Block 10, Hoag's Addition to Minneapolis, lying Northwesterly of the Northwesterly right-of-way line of Interstate Highway No. 94, together with that part of adjoining abandoned Alleys in said Block 10 and 22, all which lie Southeasterly of a line hereinafter referred to as "Line A", described as follows:
Beginning at a point on the Southwesterly line of said Block 10, distant 29.27 feet Northwesterly from the most Southerly corner of said Block 10; thence Northwesterly along a straight line to a point on the Southwesterly line of said Block 22 distant 107.48 feet Northwesterly from the most Southerly corner of said Block 22; thence Northwesterly along the prolongation of last described line 105.27 feet; thence Northwesterly along a non-tangential curve concave to the South having a radius of 1875.86 feet, the chord of said curve is measured 13 degrees 24 minutes 52 seconds to the right from said prolongation of the last described line to the Northwesterly line of said Block 22 and said "Line A" there terminating;
Lot 12, Block 19; Lot 1, Block 22; all in Bradford and Lewis Addition to Minneapolis;
That part of abandoned Third Street North lying between "Line A" and a line described as beginning at the most Southerly corner of Lot 1, Block 57, Town of Minneapolis; thence along the Southwesterly extension of the Southeasterly line of said Lot 1 to the center line of said street; thence Northwesterly along said center line to the Northwesterly prolongation of a line drawn Northwesterly from a point on the Southwesterly line of Block 58, Hoag's Addition to Minneapolis distant 293.1 feet Northwesterly from the most Southerly corner of said Block 58 to a point on the Northwesterly extension of the Northwesterly line of said Block 58 distant 290.15 feet Northwesterly from the most Easterly corner of said Block 58; thence Southwesterly along the last described line to said Northwesterly extension and there terminating;
Together with that part of said abandoned Third Street North lying Northwesterly of the center line of said street which lies between the Southwesterly extension of the Southeasterly line of the Northwesterly 23.3 feet of Lot 2, of said Block 57 and the Southwesterly extension of the Southeasterly line of Lot 3, Block 57, Town of Minneapolis to said center line and there terminating;
That part of the Northwesterly half of the abandoned Alley in Block 57, Town of Minneapolis lying Northwesterly of the Northwesterly 23.3 feet of Lot 2, said Block 57;
Together with an easement for maintaining a building coping encroachment over the Northwesterly 0.2 feet of Lot 4, Block 57, Town of Minneapolis and over the Northwesterly 0.2 feet of Lot 4, Block 57, Hoag's Addition to Minneapolis, Document No. 4447168 as reformed in Document No. 3204728; and together with easement for storm sewer line as contained in Document Number 6506644 (Abstract) and 2657814 (Torrens).
Parcel D: (Abstract Property)
That part of abandoned Fourth Avenue North which lies Northwesterly of the Northwesterly line of Fourth Street North and Southerly of a line run parallel with and distant 57 feet Northerly of line 1, described as follows:
Line 1: Beginning at the point of intersection of the centerline of Second Avenue North with the centerline of Third Street North; thence run Northwesterly on the centerline of Third Street North for 10.43 feet; thence deflect to the left on a tangential curve having a radius of 818.51 feet and a delta angle of 24 degrees 30 minutes 39 seconds for 347.77 feet; thence tangent to said curve for 605.89 feet; thence deflect to the right on a tangential curve having a radius of 1909.86 feet and a delta angle of 24 degrees 30 minutes 00 seconds for 816.67 feet and there terminating.
and, That part of the Southwesterly half of abandoned Fourth Street North which is adjacent to Blocks 9 and 85, HOAGS ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota, which lies Northwesterly of the following described line:
Beginning at a point on the Northwesterly line of said Block 85 distant 265.87 feet Northwesterly of the most Easterly corner of said Block 85; thence Northwesterly along an extension of a line drawn from the last described point to a point on the Southwesterly line of said Block 85, distant 267.56 feet Northwesterly from the most Southerly corner of said Block 85 to the centerline of abandoned Fourth Street North and said line there terminating;
and lying Southeasterly of the following described line: Beginning at the point of intersection of the Northwesterly line of said Block 9 and a line which is parallel with and 25 feet Southeasterly of the centerline of the Eastbound main track of the Burlington Northern Railroad, said point of beginning, being 64.72 feet Northwesterly of the most Easterly corner of said Block 9; thence Northwesterly along said line which is parallel with and 25 feet Southeasterly of the centerline of the Eastbound main track to a point on the Southwesterly line of Block 10, HOAGS ADDITION TO MINNEAPOLIS, distant 64.63 feet Northwesterly of the most Southerly corner thereof and said line there terminating.
and, That part of the Northwesterly half of abandoned Fourth Street North, which is adjacent to Block 10 and 58, HOAGS ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota, and which lies Northwesterly of the following described line:
Beginning at a point on the Southwesterly line of Block 58, HOAGS ADDITION TO MINNEAPOLIS, said point distant 293.10 feet Northwesterly from the most Southerly corner of said Block 58; thence Southwesterly along an extension of a line drawn from the last described point to a point on Northwesterly extension of the Northwesterly line of said Block 58, distant 290.15 feet Northwesterly from the most Easterly corner of said Block 58 to the centerline of Fourth Street North and said line there terminating;
and lying Southeasterly of the following described line: Beginning at the point of intersection of the Northwesterly line of said Block 9 and a line which is parallel with and 25 feet Southeasterly of the centerline of the Eastbound main track of the Burlington Northern Railroad, said point of beginning, being 64.72 feet Northwesterly of the most Easterly corner of said Block 9; thence Northwesterly along said line which is parallel with and 25 feet Southeasterly of the centerline of the Eastbound main track to a point on the Southwesterly line of Block 10, HOAGS ADDITION TO MINNEAPOLIS, distant 64.63 feet Northwesterly of the most Southerly corner thereof and said line there terminating.

Bonestroo
St. Paul Office
2335 West Highway 36
Saint Paul, MN 55113
Fax: 651.686.3141
Website: www.bonestroo.com

DATE	REVISION

HINES INTERESTS LIMITED PARTNERSHIP
ALTA/ACSM LAND TITLE SURVEY
TITLE COMMITMENT No. 358174
333 WASHINGTON AVENUE NORTH

422-1107-001-0001
PROJECT NUMBER
422-11107
SHEET NUMBER
1 OF 2

Zoning Information

According to the City of Minneapolis Zoning Ordinance, Subject property is zoned B4S-1, Downtown Service District, Downtown Parking Overlay District and is subject to all the requirements listed in the Ordinance.

Principal use setbacks are:
There are no formal building or parking lot setbacks for this property.

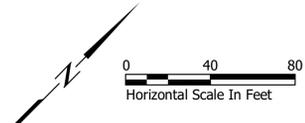
Note: This information was verified by a telephone call to the City of Minneapolis Planning and Zoning Office.

CERTIFICATION

To Hines Northstar Crossings Limited Partnership and Stewart Title Guaranty Company, its successors and/or assigns:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(b), 7(a), 8, 9, 11(a), and 13 of Table A thereof. The field work was completed April 20, 2011 & May 2, 2011.

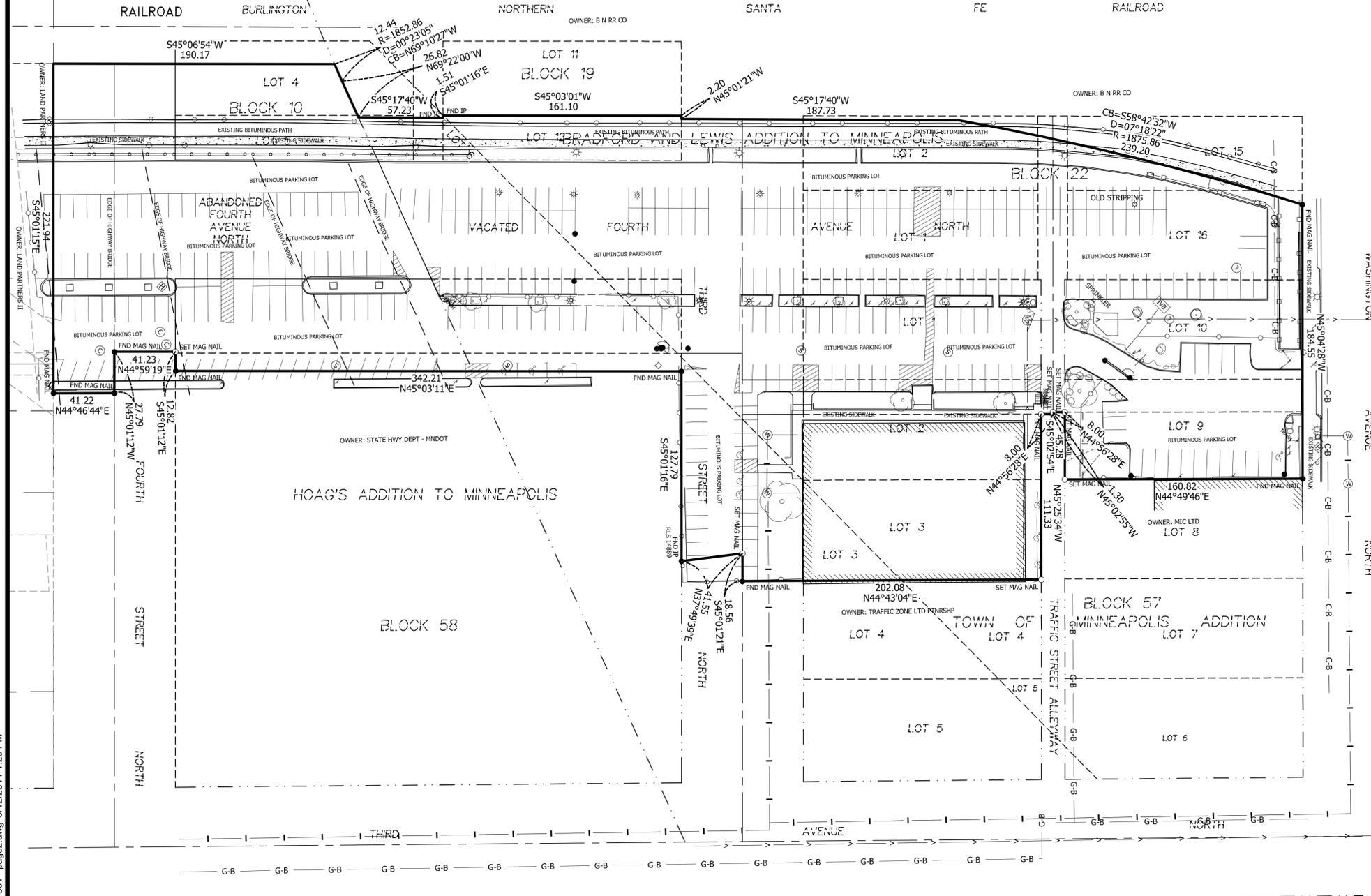
BONESTROO
Daniel J. Roeb
Daniel J. Roeb, Professional Land Surveyor
Minnesota License Number 43133
May 12, 2011



- DENOTES IRON MONUMENT FOUND
- DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET WITH PLASTIC PLUG INSCRIBED WITH 43133

ALTA/ACSM LAND TITLE SURVEY

File Number 358174



Legend of Symbols & Abbreviations

--- (dashed line)	RIGHT-OF-WAY	⊙ (circle with dot)	DECIDUOUS TREE
--- (dotted line)	LOT LINE	⊙ (circle with star)	CONIFEROUS TREE
--- (line with dashes)	EX. CURB & GUTTER	⊙ (circle with cross)	SHRUB
--- (line with circles)	EX. SANITARY SEWER	⊙ (circle with U)	ROAD SIGN
--- (line with squares)	EX. STORM SEWER	⊙ (circle with M)	MAILBOX
--- (line with triangles)	EX. WATER MAIN	⊙ (circle with L)	LIGHT POLE
--- (line with diamonds)	CHAIN LINK FENCE	⊙ (circle with P)	POWER BOX
--- (line with circles)	BURIED TELEPHONE	⊙ (circle with T)	TELEPHONE BOX
--- (line with squares)	BURIED GAS MAIN	⊙ (circle with H)	HAND HOLE
--- (line with diamonds)	BURIED ELECTRIC	⊙ (circle with B)	BOLLARD
--- (line with circles)	AERIAL UTILITIES	⊙ (circle with dot)	BITUMINOUS PAVING
--- (line with squares)		⊙ (circle with cross)	CONCRETE

Miscellaneous Notes

- The property described hereon is the same as the property described in the title commitment prepared by Stewart Title Guaranty Company, Commitment No. 358174 with an effective date of February 21, 2011 at 7:00 am.
- The subject property contains ±190,656 square feet, (±4.38 acres) of land, more or less.
- The utilities shown hereon were located using the Gopher State One-Call system and verified in the field where possible. Private utility locations, such as underground sprinklers, underground service lines, etc. may not have been located. Bonestroo cannot guarantee that all utility companies responded or the accuracy or completeness of the locates. Prior to any digging, contact Gopher One at 1-800-252-1166 and refer to ticket number 111180302.
- The bearing system is based upon Hennepin County Coordinates System NAD 83 (1986 adjustment).
- The subject property appears on Flood Insurance Rate Map, Community Panel Number 27053C0357E, dated September 2, 2004, and lies within Zone X.
- There are 346 regular parking stalls and 7 designated handicap parking stalls.
- The subject property has direct access to Washington Avenue North and Traffic Street Alleyway, dedicated public roadways.
- All recorded easements, if any, listed in Schedule B of the Commitment for Title Insurance No. 358174, dated February 21, 2011, issued by Stewart Title Guaranty Company, located on the above described land described as follows:

- SCHEDULE B - Section II Exceptions
- Item 11: Subject to easement for public bridge in favor of City of Minneapolis per Doc. No. 5518167 (abstract) & Doc. No. 1978931 (torrens). Appears to be for property to the southwest.
 - Item 12: Easement agreement per Doc. No. 2657814 (torrens) and amended per Doc. No. 4322097 (Torrens). Shown on Survey.
 - Item 14: Final Certificate in favor of State of Minnesota per Doc. No. 4648361. Shown on Survey.
 - Item 15: Final Certificate in favor of State of Minnesota per Doc. No. 4760893, and Quit Claim Deed for easement interest to Metropolitan Council per Doc. No. 4837320. Shown on Survey.
 - Item 16: Easement in favor of Land Partners II Limited Partnership per Doc. No. 2624035 (torrens) and Doc. No. 6455457 (abstract). Shown on Survey.
 - Item 17: Easement between Duddy Limited Partnership and Land Partners II Limited Partnership, per Doc. No. 6506644 (abstract) and Doc. No. 2657814 (torrens) and amended per Doc. No. 4322097 (torrens) and filed as Doc. No. 8886056. See Item 12. Shown on Survey.
 - Item 18: Easement for bridge footings, abutments, walls and overhand purposes in favor of Hennepin County, per Doc. No. 3994213. Shown on Survey.
 - Item 19: Easement in favor of the City of Minneapolis per Doc. No. 4659483. Shown on Survey.
 - Item 20: Water main easement in favor of City of Minneapolis per Doc. No. 5518168. Shown on Survey.
 - Item 21: Easement for highway purposes in favor of the State of Minneapolis per Doc. No. 4799825. Shown on Survey.
 - Item 22: Rights of the public and the City of Minneapolis in street per Doc. No. 242436, and in alley per Doc. No. 4195021, and in alley per Doc. No. 4865989. Shown on Survey.
 - Item 23: Easement Agreement for ingress, egress and driveway purposes for the benefit of adjoining property owned by Land Partners II per Doc. No. 6455457 (abstract) and Doc. No. 2624035 (torrens). Same as Item 16. Shown on Survey.

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- DENOTES IRON MONUMENT FOUND
- DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET WITH PLASTIC PLUG INSCRIBED WITH 43133

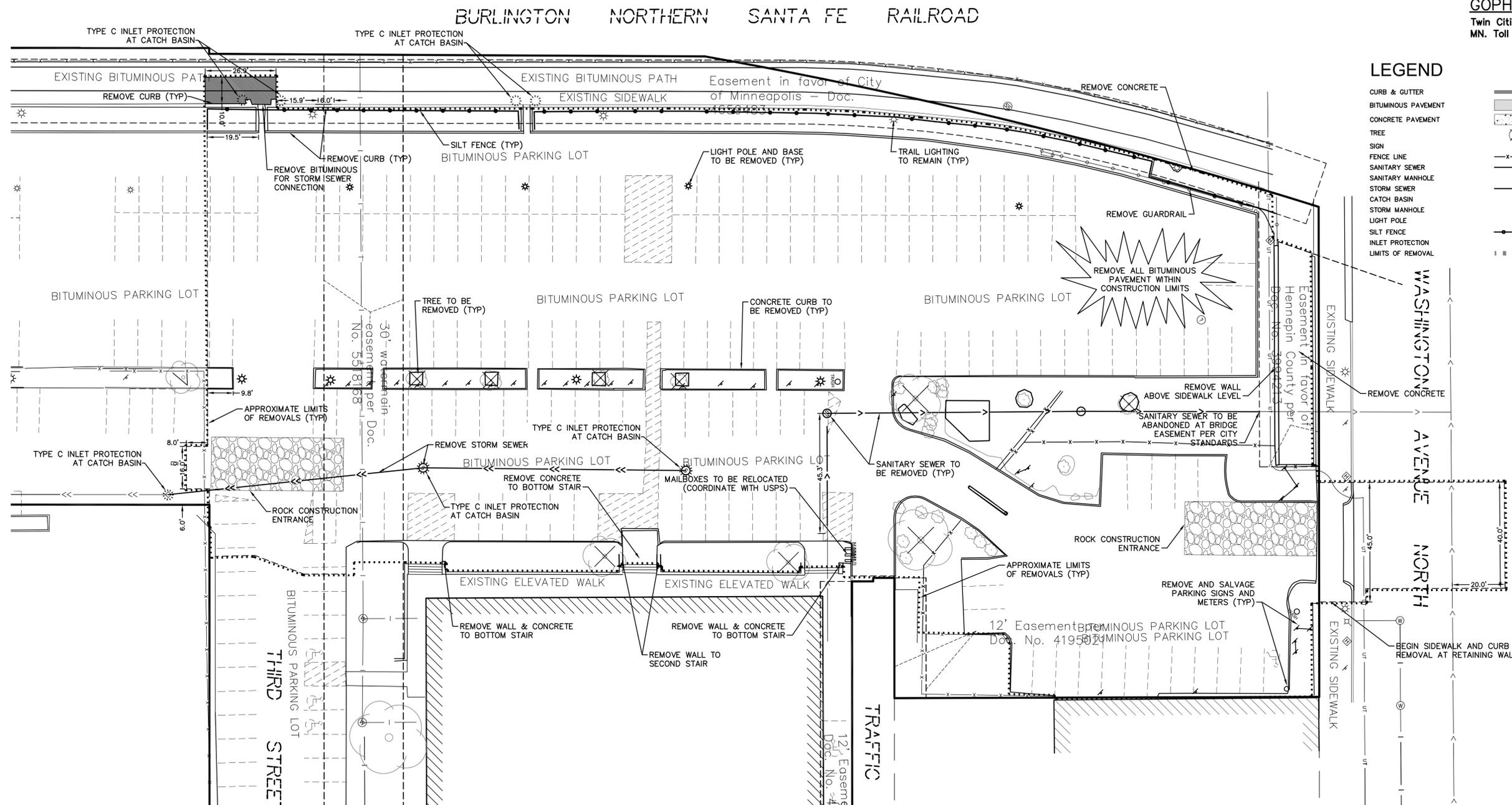


St. Paul Office
2335 West Highway 36
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Fax: 651-686-3111
Website: www.bonestroo.com

SURVEY BY: [Signature]
DRAWN BY: [Signature]
DESIGNED BY: [Signature]
APPROVED BY: [Signature]
DATE: MAY 12, 2011

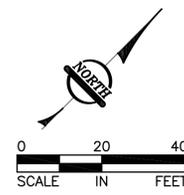
REVISION	DATE

HINES INTERESTS LIMITED PARTNERSHIP
ALTA/ACSM LAND TITLE SURVEY
TITLE COMMITMENT No. 358174
333 WASHINGTON AVENUE NORTH



LEGEND

REMOVAL	EXISTING
CURB & GUTTER	
BITUMINOUS PAVEMENT	
CONCRETE PAVEMENT	
TREE	
SIGN	
FENCE LINE	
SANITARY SEWER	
SANITARY MANHOLE	
STORM SEWER	
CATCH BASIN	
STORM MANHOLE	
LIGHT POLE	
SILT FENCE	
INLET PROTECTION	
LIMITS OF REMOVAL	



EROSION CONTROL NOTES

SEE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL NOTES REGARDING EROSION AND SEDIMENT CONTROL.

CONTRACTOR MUST CALL FOR A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO ANY LAND DISTURBANCES 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.

INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.

BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.

REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.

LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.

MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.

TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENuded AREA.

READY MIXED CONCRETE AND CONCRETE BATCH/MIX PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.

CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.

IF DEWATERING OR PUMPING OF WATER IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND/OR APPROVALS PRIOR TO DISCHARGE OF ANY WATER FROM THE SITE. IF THE DISCHARGE FROM THE DEWATERING OR PUMPING PROCESS IS TURBID OR CONTAINS SEDIMENT LADEN WATER, IT MUST BE TREATED THROUGH THE USE OF SEDIMENT TRAPS, VEGETATIVE FILTER STRIPS, OR OTHER SEDIMENT REDUCING MEASURES SUCH THAT THE DISCHARGE IS NOT VISIBLY DIFFERENT FROM THE RECEIVING WATER. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCHARGE POINT TO PREVENT SCOUR EROSION. THE CONTRACTOR SHALL PROVIDE A DEWATERING/PUMPING PLAN TO THE EROSION CONTROL INSPECTOR PRIOR TO INITIATING DEWATERING ACTIVITIES.

CONCRETE WASHOUT TO BE RELOCATED, AS NECESSARY, DURING CONSTRUCTION. CONTRACTOR TO DOCUMENT IN FIELD TO ENSURE LOCATION MEETS SWPPP REQUIREMENTS.

REMOVAL NOTES

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO EXCAVATION.

ALL EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO REMOVALS.

CONTRACTOR TO REMOVE/RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.

CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NOTED ON PLANS. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

Engineering - Landscape Architecture - Planning - Surveying - Traffic
Creating extraordinary Communities
RLK INCORPORATED
6110 Blue Circle Dr. Minneapolis, MN 55433
(651) 933-8972 1-888-884-9878
www.rlkinc.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

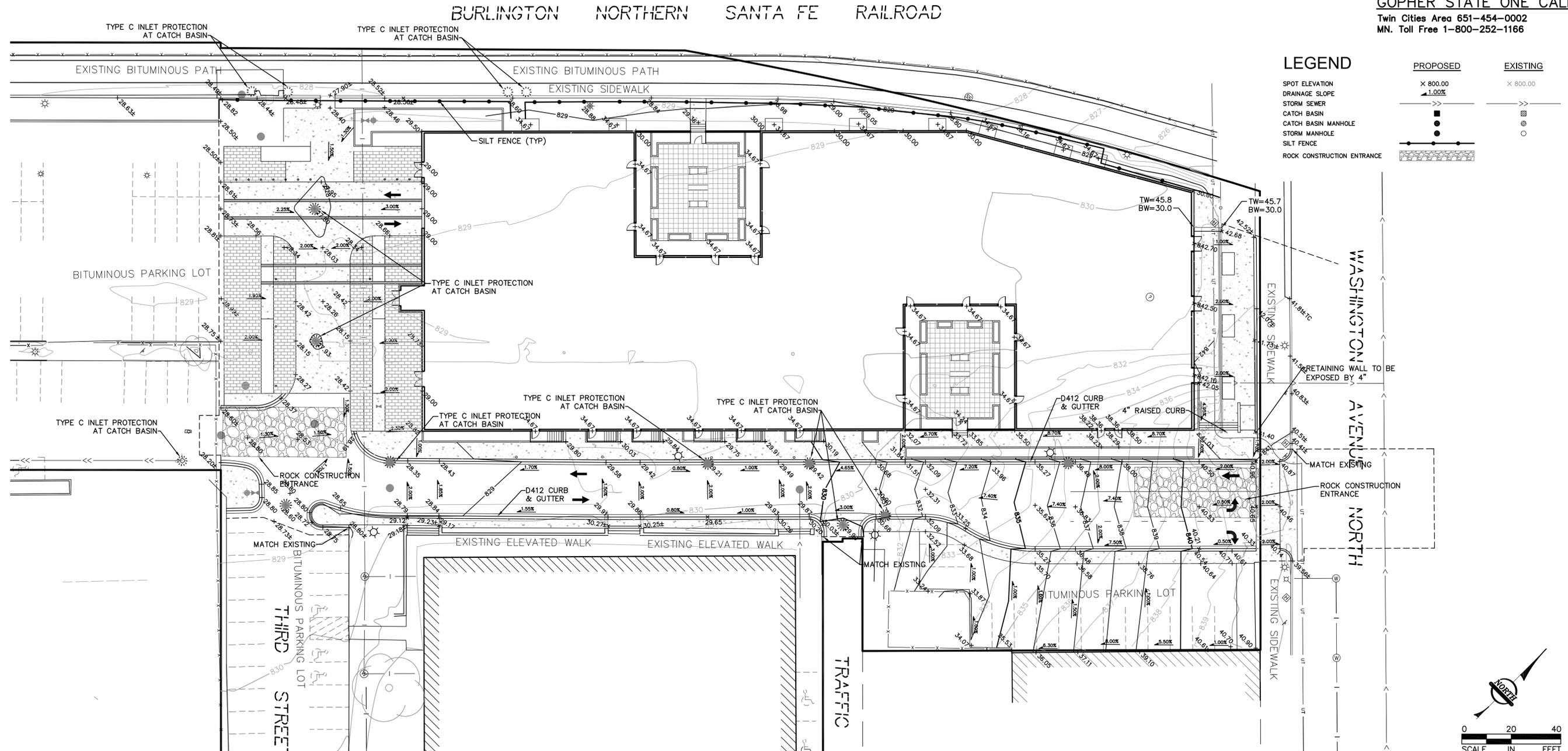
DATE _____ LIC. NO. _____

SURVEYED	DESIGNED	CDH	TBR
REVISIONS	FOR HPC	2-13-11	
REVISIONS	FOR HPC	2-23-12	
REVISIONS	FOR HPC	1-10-12	

HINES NORTHSTAR CROSSINGS LLP
90 SOUTH SEVENTH STREET, SUITE 150
MINNEAPOLIS, MN 55402

DOCK STREET APARTMENTS
MINNEAPOLIS, MINNESOTA
PRELIMINARY REMOVALS PLAN

SHEET # C3
PROJECT # 2011164M
DATE 11/14/11



LEGEND

SPOT ELEVATION	× 800.00	EXISTING	× 800.00
DRAINAGE SLOPE	1.00%	STORM SEWER	—
CATCH BASIN	■	CATCH BASIN MANHOLE	○
STORM MANHOLE	●	STORM MANHOLE	○
SILT FENCE	—	ROCK CONSTRUCTION ENTRANCE	—

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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
DATE _____ LIC. NO. _____

SURVEYED	DESIGNED	DRAWN	CHECKED
KLG	KLG	KLG	KLG

REVISIONS
REVISED FOR: HPC 2-13-11
REVISED FOR: HPC 3-12-11

HINES NORTHSTAR CROSSINGS LLP
90 SOUTH SEVENTH STREET, SUITE 150
MINNEAPOLIS, MN 55402

DOCK STREET APARTMENTS
MINNEAPOLIS, MINNESOTA
PRELIMINARY GRADING AND EROSION CONTROL PLAN

SHEET # C5
PROJECT # 2011164M
DATE 11/14/11

EROSION CONTROL NOTES

SEE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL NOTES REGARDING EROSION AND SEDIMENT CONTROL.

CONTRACTOR MUST CALL FOR A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO ANY LAND DISTURBANCES 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.

INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.

BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.

REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.

INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.

LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.

MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.

TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENuded AREA.

READY MIXED CONCRETE AND CONCRETE BATCH/MIX PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.

CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.

IF DEWATERING OR PUMPING OF WATER IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND/OR APPROVALS PRIOR TO DISCHARGE OF ANY WATER FROM THE SITE. IF THE DISCHARGE FROM THE DEWATERING OR PUMPING PROCESS IS TURBID OR CONTAINS SEDIMENT LADEN WATER, IT MUST BE TREATED THROUGH THE USE OF SEDIMENT TRAPS, VEGETATIVE FILTER STRIPS, OR OTHER SEDIMENT REDUCING MEASURES SUCH THAT THE DISCHARGE IS NOT VISIBLY DIFFERENT FROM THE RECEIVING WATER. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCHARGE POINT TO PREVENT SCOUR EROSION. THE CONTRACTOR SHALL PROVIDE A DEWATERING/PUMPING PLAN TO THE EROSION CONTROL INSPECTOR PRIOR TO INITIATING DEWATERING ACTIVITIES.

CONCRETE WASHOUT TO BE RELOCATED, AS NECESSARY, DURING CONSTRUCTION. CONTRACTOR TO DOCUMENT IN FIELD TO ENSURE LOCATION MEETS SWPPP REQUIREMENTS.

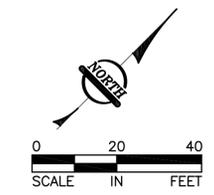
GRADING NOTES

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO EXCAVATION.

THE SITE GRADING OPERATIONS, WHEN COMPLETED, SHALL RESULT IN ALL AREAS BEING GRADED TO "PLAN SUBGRADE ELEVATION". THIS "PLAN SUBGRADE ELEVATION" SHALL BE CONSISTENT WITH THE GEOTECHNICAL REPORT FOR BUILDING AND PAVEMENT AREAS. THE "PLAN SUBGRADE ELEVATION" IN THE PARKING LOT AND DRIVEWAY AREAS SHALL BE DETERMINED BY CHECKING THE PAVEMENT SECTION DETAILS AND REFERRING TO PAVING PLAN FOR LOCATIONS AND LIMITS OF VARIOUS PAVEMENT SECTIONS.

ALL SPOT ELEVATIONS REPRESENT FINISHED SURFACE OR GUTTER LINE GRADES UNLESS OTHERWISE NOTED.



PROJECT NARRATIVE

THE EXISTING SITE, CONSISTING OF PRIMARILY BITUMINOUS SURFACE IS BEING CONVERTED TO A MIXED USE BUILDING CONTAINING RESIDENTIAL AND RETAIL SPACE PLUS ADJACENT LANDSCAPE AREAS.

SEQUENCE OF CONSTRUCTION

(RECOMMENDED SEQUENCE - CONTRACTOR TO DETERMINE FINAL SEQUENCE.)

- 1. CONTRACTOR TO VERIFY THAT ALL PERMITS HAVE BEEN OBTAINED.
2. CONTRACTOR TO SCHEDULE FIELD MEETING WITH CITY OR LGU AND/OR WATERSHED.
3. CONTRACTOR TO INSTALL ALL PERIMETER SEDIMENT CONTROL DEVICES, CONSTRUCTION ENTRANCES, AND PROTECTIVE FENCING FOR TREES, EXISTING WATER BODIES AND AREAS TO REMAIN UNDISTURBED.
4. CONTRACTOR TO CONSTRUCT STORMWATER AND/OR TEMPORARY SEDIMENTATION BASINS.
5. CONTRACTOR TO CONTACT CITY OR LGU AND/OR WATERSHED FOR APPROVAL OF SEDIMENT CONTROL DEVICES.
6. CONTRACTOR TO ROUGH GRADE SITE AND INSTALL UTILITIES.
7. CONTRACTOR TO INSTALL TEMPORARY EROSION CONTROL DEVICES AS NECESSARY. CONTRACTOR TO FILL TEMPORARY SEDIMENTATION BASINS, COMPACTING TO SPECIFIED DENSITIES, REMOVE ALL UNSUITABLE SEDIMENT PER RECOMMENDATION OF GEOTECHNICAL ENGINEER.
8. CONTRACTOR TO INSTALL SUBBASE AND BASE FOR PAVEMENT.
9. CONTRACTOR TO INSTALL BITUMINOUS SURFACE.
10. CONTRACTOR TO INSTALL EROSION CONTROL BLANKETS WITH PERMANENT SEED MIX.
11. ONCE ALL DISTURBED AREAS HAVE BEEN STABILIZED, OBTAIN APPROVAL FROM THE CITY ENGINEER AND WITHIN TWO WEEKS OF FINAL STABILIZATION.
12. CONTRACTOR TO REMOVE SEDIMENT CONTROL DEVICES WITHIN TWO WEEKS OF APPROVAL.
13. SUBMIT NOTICE OF TERMINATION WITHIN 30 DAYS OF FINAL STABILIZATION.

RESPONSIBILITIES

THE PROPERTY OWNER OR CONTRACTOR MUST SUBMIT A COMPLETED NPDES APPLICATION FORM WITH THE \$400 APPLICATION FEE.

THE OWNER AND THE GENERAL CONTRACTOR ARE JOINTLY RESPONSIBLE FOR ALL TERMS AND CONDITIONS OF THE PERMIT.

PROPERTY OWNER OR CONTRACTOR TO SUBMIT NPDES NOTICE OF INTENT PERMIT 7 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

CONTRACTOR TO SUBMIT NPDES NOTICE OF TERMINATION TO MPCA WITHIN ONE WEEK OF FINAL RESTORATION ACCEPTANCE.

CONTRACTOR TO MONITOR AND REPORT ON STORM WATER MANAGEMENT REQUIREMENTS PER MPCA.

FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS WHERE THE OWNER OR OPERATOR CHANGES, THE NEW OWNER OR OPERATOR MUST SUBMIT A NOTICE OF TERMINATION/PERMIT MODIFICATION FORM UPON TRANSFER.

CONTRACTOR RESPONSIBILITY

- 1. OVERSEE IMPLEMENTATION OF THE SWPPP.
2. INSTALLATION, INSPECTION AND MAINTENANCE OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S BEFORE AND DURING CONSTRUCTION.
3. IDENTIFY PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP BEFORE AND DURING CONSTRUCTION.
4. DEVELOP A CHAIN OF RESPONSIBILITY WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE. THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION, AND A NOTICE OF TERMINATION HAS BEEN SUBMITTED TO THE MPCA.
5. AMEND THE SWPPP AS NECESSARY TO KEEP IT CURRENT WITH THE POLLUTION CONTROL MEASURES UTILIZED ON-SITE. AMENDMENTS TO THE SWPPP MUST BE SHOWN ON SKETCHES AND MUST BE KEPT ON-SITE.

PERMITEE MUST AMEND SWPPP AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMP'S, DESIGNED TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER:
6. THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION OR MAINTENANCE.
7. WEATHER OR SEASONAL CONDITIONS THAT HAVE SIGNIFICANT EFFECT ON DISCHARGE.
8. INSPECTION OR INVESTIGATION BY SITE OPERATORS, LOCAL, STATE, OR FEDERAL OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE.
9. THE SWPPP IS NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS OR THE SWPPP IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THIS PERMIT.
10. THE MPCA DETERMINES THAT DISCHARGE MAY CAUSE OR CONTRIBUTE TO NON-ATTAINMENT OF ANY APPLICABLE WATER QUALITY STANDARD OR THE SWPPP DOES NOT INCORPORATE THE REQUIREMENTS RELATED TO AN APPROVED TOTAL MAXIMUM DAILY LOAD (TMDL). THE RUNOFF FROM THE SITE DISCHARGES TO AN IMPAIRED WATER WHICH HAS AN APPROVED TMDL AND HAS NOT BEEN PROPERLY DETAILED IN THE SWPPP.

ESTIMATED QUANTITIES

Table with 4 columns: ITEM, UNIT, QUANTITY. Rows include ROCK CONSTRUCTION ENT. (EA, 2), INLET PROTECTION (EA, 17), EROSION CONTROL BLANKET (SF, -), SILT FENCE/ROCK LOG (LF, 445).

NPDES AREA SUMMARY

Table with 2 columns: ITEM, QUANTITY. Rows include TOTAL PROJECT AREA (1.80 AC), EXISTING IMPERVIOUS AREA (1.55 AC), EXISTING PERVIOUS AREA (0.25 AC), PROPOSED IMPERVIOUS AREA (1.65 AC), PROPOSED PERVIOUS AREA (0.15 AC).

EROSION PREVENTION AND SEDIMENT CONTROL

PERMITEE MUST IMPLEMENT THE SWPPP AND INSTALL BMP'S IDENTIFIED IN THE SWPPP IN AN APPROPRIATE AND FUNCTIONAL MANNER.

THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE DELINEATED ON THE SITE BEFORE DEVELOPMENT BEGINS.

ALL DOWN GRADIENT PERIMETER SEDIMENT CONTROLS MUST BE IN PLACE BEFORE ANY UP GRADIENT DISTURBANCE BEGINS & MAINTAINED UNTIL FINAL STABILIZATION.

STORM WATER PONDS, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT ON-SITE WILL BE CONSTRUCTED AS A FIRST STEP IN GRADING, AND WILL BE MADE FUNCTIONAL BEFORE LAND DISTURBANCE TAKES PLACE UPSLOPE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS MUST BE SEEDED AND MULCHED WITHIN 48 HOURS OF INSTALLATION. UTILITY AND PAVING WORK WILL COMMENCE UPON COMPLETION OF THE GRADING OPERATIONS. ALL EROSION CONTROL MEASURES AND PROTECTIVE FENCING MUST BE INSTALLED AND INSPECTED BY THE CITY OR LOCAL GOVERNMENT UNIT PRIOR TO BEGINNING OF ANY GRADING.

RESURF TOPSOIL AND ESTABLISH TURF ON ALL ROUGH GRADED AREAS OTHER THAN THOSE DESIGNATED FOR PADS, BITUMINOUS, AND CONCRETE WITHIN 48 HOURS AFTER COMPLETION OF EARTH MOVING.

RESURF TOPSOIL AND ESTABLISH TURF ON ALL FINAL GRADED AREAS WITHIN 72 HOURS AFTER COMPLETION OF FINAL GRADING.

TEMPORARY STOCKPILES MAY BE LEFT ON THE SITE FOR USE IN BACKFILL REPLENISHMENT. STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE BMP'S TO CONTROL RUNOFF. STOCKPILES CANNOT BE PLACED IN SURFACE WATER CONVEYANCE DEVICES (CURB AND GUTTER, SWALES OR DITCHES). TOPSOIL WILL BE RESURF PROGRESSIVELY AS THE GRADING WORK CONTINUES. IF STOCKPILES ARE TO REMAIN FOR MORE THAN 60 DAYS, TEMPORARY SEEDING MUST BE PLACED.

NORMAL WETTED PERIMETER OF DITCHES THAT DRAIN WATER FROM, OR AROUND A SITE, MUST BE STABILIZED WITHIN 200 FEET OF PROPERTY EDGES OR POINT OF DISCHARGE TO SURFACE WATER WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.

STABILIZATION MUST OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 14 DAYS, REGARDLESS OF DEGREE OF SLOPE OR DISTANCE FROM A SURFACE WATER.

ALL STORM DRAIN INLETS MUST BE PROTECTED WITH BMP'S

ROCK CONSTRUCTION ENTRANCES OR EQUIVALENT SYSTEM MUST BE USED TO MINIMIZE TRACKING FROM SITE.

ALL OUTFLOWS FROM BMP'S MUST HAVE APPROVED ENERGY DISSIPATION SUCH AS RIP RAP WITHIN 24 HOURS OF CONNECTION TO SURFACE WATER.

CONTRACTOR SHALL OVEREXCAVATE TEMPORARY SEDIMENT POND BOTTOM IF POOR SUBSOILS BECOME SATURATED AND REPLACE WITH COMPACTED FILL MATERIAL PER REQUIREMENTS OF GEOTECHNICAL REPORT.

CONTRACTOR IS TO PLACE A THREE FOOT WIDE STRIP OF SOD BEHIND THE CURB FOLLOWING BACKFILLING TO PREVENT EROSION IN THIS AREA.

CONTRACTOR TO PROVIDE INLET PROTECTION AT CATCH BASIN INLETS (SEE DETAIL).

EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.

PERMANENT STORMWATER PONDS TO BE USED FOR TEMPORARY TREATMENT PONDS DURING CONSTRUCTION MUST BE CLEANED AND REESTABLISHED TO DESIGN GRADES.

CONTRACTOR SHALL COMPLETELY REMOVE TEMPORARY EROSION & SEDIMENT CONTROL MEASURES UPON ESTABLISHMENT OF FINAL MEASURES & SITE STABILIZATION.

POLLUTION PREVENTION

CONTRACTOR TO DISPOSE OF ALL TRASH AND POTENTIALLY HAZARDOUS MATERIALS IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL STANDARDS.

THE PERMITEE SHALL IMPLEMENT THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE:

- 1. SOLID WASTE: COLLECT SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
2. HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
3. EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED & WASTE PROPERLY DISPOSED OF. NO ENGINE DEGREASING ALLOWED ON SITE.
4. CONTRACTOR SHALL FOLLOW THE MNDOT GUIDANCE FOR BEST MANAGEMENT PRACTICE FOR CONCRETE WASHOFF OF VEHICLE, EQUIPMENT, PAVEMENT & WALLS.
5. CONTRACTOR SHALL FORMULATE A PLAN TO ADDRESS ANY ACCIDENTAL DISCHARGE OF POLLUTANTS OR POTENTIALLY HAZARDOUS MATERIALS. THIS PLAN SHOULD INCLUDE CONTAINMENT, CONTRACTING OF LOCAL AND STATE AGENCIES, MITIGATION AND DISPOSAL.
6. FORM RELEASE OIL USED FOR CONCRETE WORK MUST BE APPLIED OVER A PALLET CONTAINING ADSORBENT TO COLLECT EXCESS LIQUID. THE ADSORBENT MATERIAL WILL BE REPLACED AND PROPERLY DISPOSED WHEN SATURATED.
7. DISCHARGES FROM BASIN Dewatering OPERATIONS THAT ARE TURBID OR SEDIMENT LADEN SHALL BE DISCHARGED TO TEMPORARY SEDIMENTATION BASINS CONSTRUCTED ON THE SITE TO PROVIDE TREATMENT PRIOR TO DISCHARGE TO A WATER OF THE STATE. IF BASINS ARE NOT FEASIBLE, DISCHARGES WILL BE DISPERSED OVER NATURAL ROCK RIPRAP, SHEETING, PLASTIC OR OTHER ENERGY DISSIPATION MEASURES. (DEWATERING AND ANY SWPPP MEASURES ARE INCIDENTAL)
8. CONTRACTOR SHALL FOLLOW MNDOT GUIDANCE FOR WATER POLLUTION CONTROL FOR VEHICLE AND EQUIPMENT OPERATIONS.
9. ALL STATIONARY EQUIPMENT AND TANKS SHALL HAVE SECONDARY CONTAINMENT. MOBILE FUELING OPERATIONS SHALL USE DRIP PANS TO PROTECT SOILS.

INFILTRATION SYSTEMS

INFILTRATION/FILTRATION SYSTEMS SHOULD NOT BE EXCAVATED TO FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

INFILTRATION AREAS MUST BE STAKED OFF AND MARKED TO ELIMINATE CONSTRUCTION TRAFFIC FROM COMPACTING THE SOIL.

DURING EXCAVATION, SEDIMENT AND EROSION CONTROL DEVICES SHOULD BE UTILIZED TO PREVENT SEDIMENTATION.

INFILTRATION BASINS SHALL BE SCARIFIED TO A DEPTH OF 6 INCHES FOLLOWING FINAL GRADING.

INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION IS REACHING THE INFILTRATION AREA.

INFILTRATION AREAS SHALL BE EXCAVATED AND GRADED WITH LOW IMPACT TRACKED EARTH MOVING EQUIPMENT.

MAINTENANCE OF BMP'S

CONTRACTOR TO MAINTAIN ALL EROSION CONTROL ITEMS, REMOVE ACCUMULATED SEDIMENTS, CLEAN UP MUD TRACKED FROM THE SITE ON TO ADJACENT STREETS, AND CONTROL JUST ALL EROSION CONTROL MEASURES MUST BE INSTALLED AND MAINTAINED ACCORDING TO THE DETAILS INCLUDED IN THE CONSTRUCTION DOCUMENTS.

ALL SILT MUST BE REMOVED FROM SILT FENCE WHEN IT REACHES A HEIGHT EQUAL TO ONE-THIRD OF THE HEIGHT OF THE SILT FENCE.

THE CONTRACTOR MUST PERFORM ANY CORRECTIVE MEASURES ORDERED BY THE CITY, LOCAL GOVERNMENT UNIT, OR MPCA WITHIN 24 HOURS OF SUCH NOTICE. THE CONTRACTOR SHALL ALSO PLACE ANY ADDITIONAL EROSION CONTROL MEASURES DEEMED NECESSARY BY THE CITY OR MPCA WITHIN 24 HOURS OF NOTICE.

ALL MEASURES MUST BE REPLACED OR REPAIRED WITH THE APPROVAL OF CITY, AND MPCA, WHEN THEY BECOME NONFUNCTIONAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING EXISTING PAVED SURFACES CLEAN OF SEDIMENT BY STREET SWEEPING ROADWAYS WHEN A SIGNIFICANT ACCUMULATION OF SEDIMENT OCCURS ON THESE SURFACES. ANY SEDIMENT TRACKED OFF-SITE IS TO BE REMOVED WITHIN 24 HOURS. SWEEPING MUST ALSO OCCUR WHEN DIRECTED BY CITY.

CONTRACTOR SHALL OVEREXCAVATE TEMPORARY SEDIMENT POND BOTTOM IF POOR SUBSOILS BECOME SATURATED AND REPLACE WITH COMPACTED FILL MATERIAL PER REQUIREMENTS OF GEOTECHNICAL REPORT.

TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND SEDIMENT REMOVED ONCE THE SEDIMENT COLLECTED REACHES ONE-THIRD THE STORAGE VOLUME WITHIN 72 HOURS, AS FIELD CONDITIONS ALLOW.

SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION.

THE PERMITEE(S) MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS (INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS) AND RESTABILIZED THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOILS. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. THE PERMITEE IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES & RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING WORK.

IF THE DOWN GRADIENT TREATMENT SYSTEM IS OVER LOADED, THE SWPPP MUST BE AMENDED.

INSPECTION & RECORD RETENTION

THE SWPPP, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT ON-SITE DURING CONSTRUCTION BY THE PERMITEE WHO HAS OPERATIONAL CONTROL OF THE PORTION OF THE SITE. THE OWNER MUST KEEP THE SWPPP ON FILE FOR THREE YEARS AFTER THE SUBMITTAL OF THE NOTICE OF TERMINATION, INCLUDING THE FOLLOWING INFORMATION:

- 1. ANY OTHER PERMITS REQUIRED FOR THE PROJECT.
2. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION.
3. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING RIGHT OF WAY, CONTRACTS, COVENANTS, AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE.
4. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS.

THE PERMITEE MUST ROUTINELY INSPECT THE SITE ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.

ALL INSPECTIONS AND MAINTENANCE CONDUCTED DURING CONSTRUCTION MUST BE RECORDED IN WRITING AND RETAINED WITH THE SWPPP.

RECORDS SHOULD INCLUDE:

- DATE AND TIME OF INSPECTIONS.
• NAME OF PERSON CONDUCTING INSPECTION.
• FINDING OF INSPECTION INCLUDING CORRECTIVE ACTION, DETAILS OF CORRECTIVE ACTION (DATE, TIME, PARTY COMPLETING MAINTENANCE)
• DATE & AMOUNT OF RAINFALL GREATER THAN 0.5 INCHES/24 HRS.
• DOCUMENTATION OF CHANGES TO SWPPP.

IN AREAS OF PROJECT WHERE FINAL STABILIZATION IS COMPLETE, INSPECTIONS CAN BE REDUCED TO ONCE A MONTH.

INSPECTIONS CAN BE SUSPENDED DUE TO FROZEN GROUND CONDITIONS UNTIL FIRST RUNOFF OCCURS OR CONSTRUCTION ACTIVITIES RESUME.

NOTICE OF TERMINATION

PERMITEES MUST SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 30 DAYS IF ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:

- 1. FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH PERMITEE IS RESPONSIBLE, INCLUDING THE REMOVAL OF ALL TEMPORARY MEASURES SUCH AS SILT FENCE.
2. ANOTHER OWNER HAS ASSUMED CONTROL OVER ALL PORTIONS OF THE SITE THAT HAVE NOT ACHIEVED FINAL STABILIZATION. IN THE CASE OF RESIDENTIAL CONSTRUCTION, TEMPORARY EROSION PROTECTION AND DOWN GRADIENT PERIMETER CONTROL FOR INDIVIDUAL LOTS HAS BEEN COMPLETED AND THE RESIDENCE HAS BEEN TRANSFERRED TO THE HOMEOWNER. PERMITEE MUST ENSURE FINAL STABILIZATION OF THE SITE AND SUBMIT THE NOT WITHIN 30 DAYS OF FINAL STABILIZATION.

FINAL STABILIZATION CAN BE ACHIEVED IN THE FOLLOWING WAY:

ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ACHIEVED, INCLUDING:
• STABILIZATION OF DITCHES AND SWALES.
• REMOVAL OF ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMP'S.
• REMOVAL OF SEDIMENTS FROM STORM WATER CONVEYANCES AND PERMANENT WATER QUALITY BASINS.
FOR RESIDENTIAL DEVELOPMENTS, FINAL STABILIZATION HAS BEEN ACHIEVED WHEN:
• TEMPORARY EROSION PROTECTION AND DOWN GRADIENT PERIMETER CONTROL FOR INDIVIDUAL LOTS HAVE BEEN COMPLETED.
• RESIDENCE HAS BEEN TRANSFERRED TO THE HOMEOWNER, THE PERMITEE MUST DISTRIBUTE THE MPCA "HOMEOWNER FACT SHEET" TO THE HOMEOWNER.

SPECIAL OR IMPAIRED WATERS

THE SITE IS WITHIN ONE MILE OF BASSETT CREEK WHICH IS AN IMPAIRED WATER DUE TO CHLORIDE, FECAL COLIFORM AND FIS HBI. THE PROPOSED CONSTRUCTION ACTIVITIES WILL NOT INCREASE THESE IMPAIRMENTS.

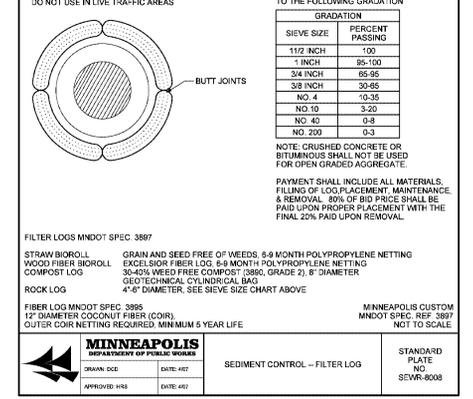
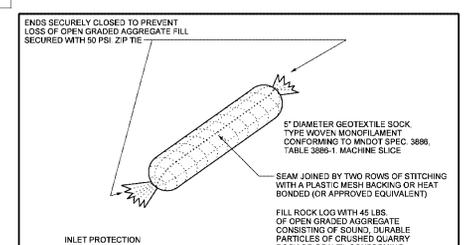
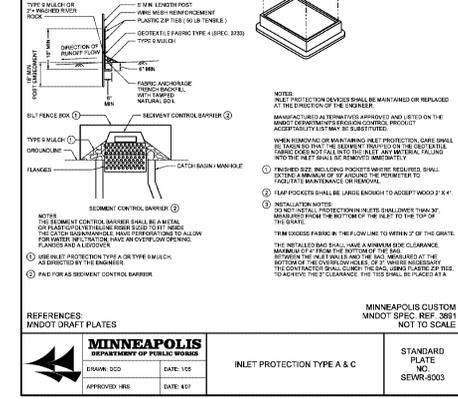
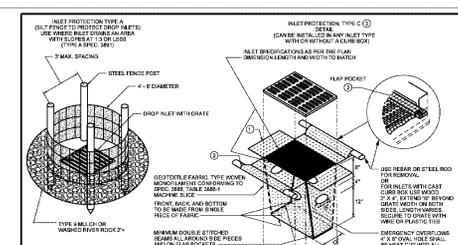
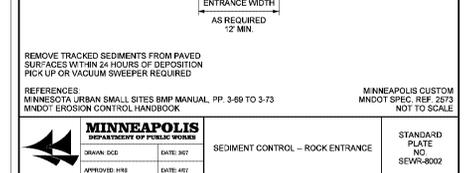
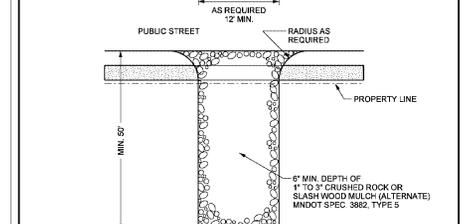
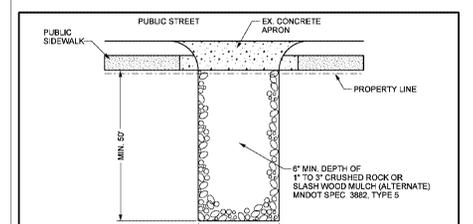
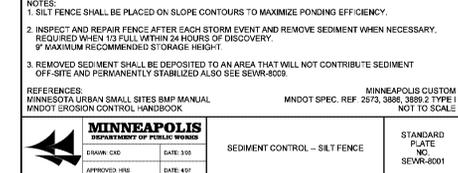
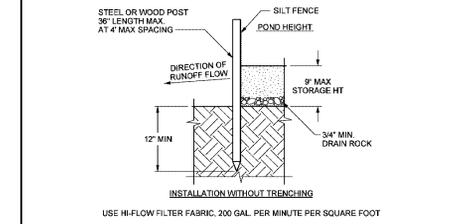
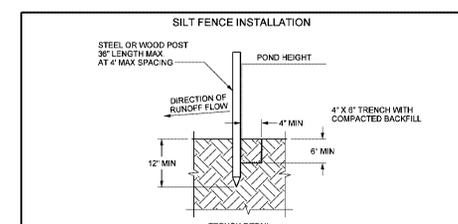
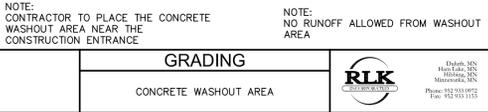
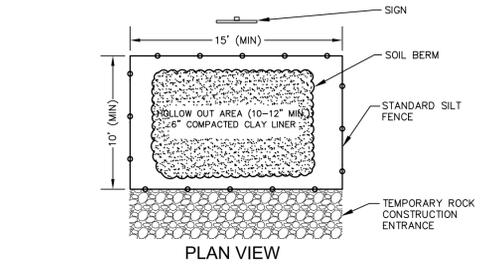
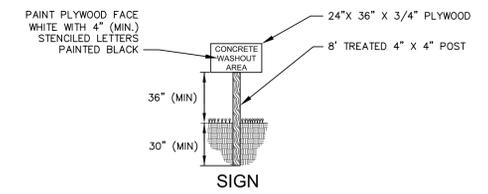
Table titled 'TRAINED PERSONNEL' listing SWPPP Designer (Chris Huss, RLK Inc.), Site Manager, BMP Installer, and BMP Installer with names and training details.

DEWATERING

PERMITEE MUST ENSURE CONSTRUCTION ACTIVITIES THAT INVOLVE DEWATERING AND/OR BASIN DRAINING ARE ADEQUATELY PROTECTED FROM EROSION AND SCOUR. THE DISCHARGE MUST BE DISPERSED OVER RIP RAP, SANDBAGS, PLASTIC SHEETING, OR OTHER ACCEPTABLE DISSIPATION MEASURES.

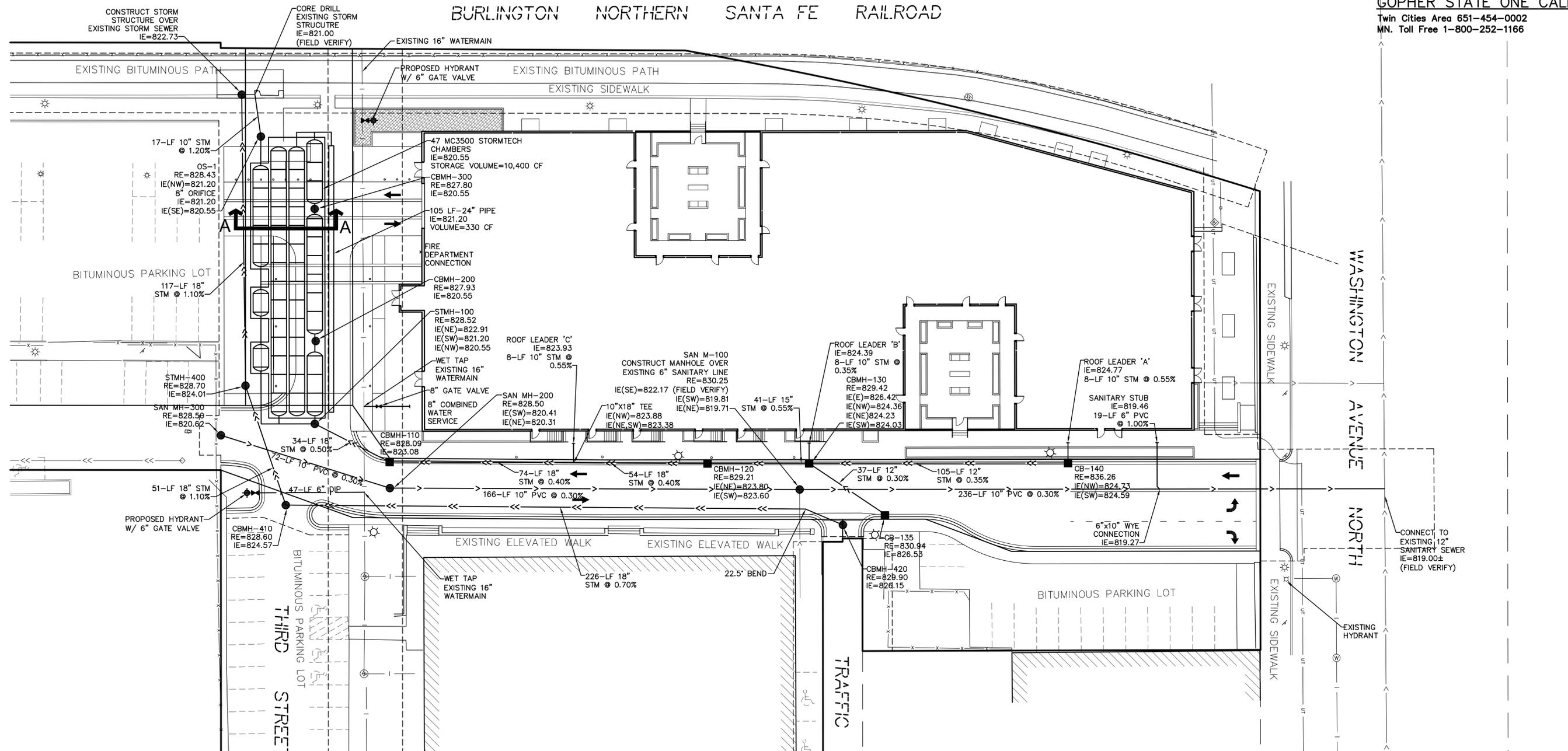
THE PERMITEE MUST ENSURE THAT DEWATERING DISCHARGE POINTS AND/OR THE TEMPORARY SEDIMENTATION BASIN DISCHARGE POINT HAS ADEQUATE PROTECTION FROM EROSION AND SCOUR.

TEMPORARY SEDIMENTATION BASINS OR OTHER EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF DEWATERING.



Vertical sidebar containing RLK logo, project information (HINES NORTHSTAR CROSSINGS LLP, 90 SOUTH SEVENTH STREET, SUITE 150, MINNEAPOLIS, MN 55402), sheet number (C6), date (11/7/11), and revision table.

BURLINGTON NORTHERN SANTA FE RAILROAD



UTILITY NOTES

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO EXCAVATION.

WATER MAIN, SANITARY SEWER & STORM SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.

CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.

STORM SEWER SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE PER MNDOT SPEC 3247 OR REINFORCED CONCRETE PIPE PER MNDOT SPEC 3236. ALL RCP PIPE 18" IN DIA. AND SMALLER SHALL BE CLASS 5, AND ALL RCP PIPE 21" DIA. & LARGER SHALL BE CLASS 3 UNLESS OTHERWISE NOTED. CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION.

ALL WATER PIPE TO BE DUCTILE IRON PIPE (D.I.P.) CLASS 52 UNLESS OTHERWISE NOTED.

ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.

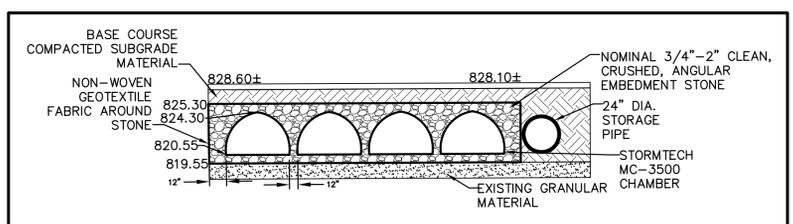
TYPICAL HYDRANT CONSISTS OF: HYDRANT, GATE VALVE, 2.5' OF 6" DIP WATERMAIN AND ANY HYDRANT EXTENSION. HYDRANT EXTENSIONS SHALL BE INCIDENTAL.

A MINIMUM OF 7.5 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES.

A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.

ALL SANITARY SEWER PIPE TO BE POLYVINYL CHLORIDE PIPE (P.V.C.) SDR 35 UNLESS OTHERWISE NOTED.

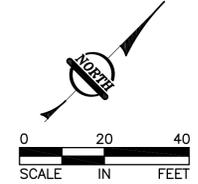
CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.

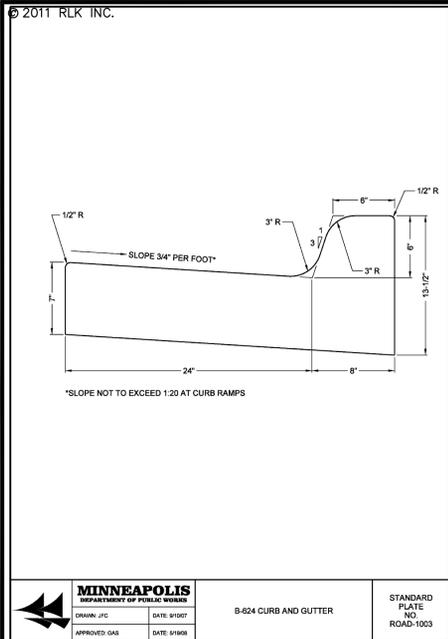


X-SECTION A-A
UNDERGROUND CHAMBER SYSTEM

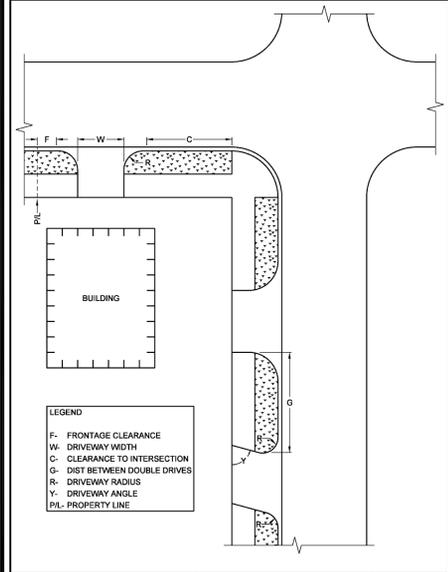
LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	---	---
EASEMENT LINE	---	---
SANITARY SEWER	—>	—>
SANITARY MANHOLE	●	○
STORM SEWER	—>	—>
CATCH BASIN	■	■
CATCH BASIN MANHOLE	●	○
STORM MANHOLE	●	○
WATERMAIN	—	—
FIRE HYDRANT W/ VALVE	◆	◆
GATE VALVE	◆	◆
GAS MAIN	—	—
UNDERGROUND ELECTRIC	—	—
UNDERGROUND TELEPHONE	—	—

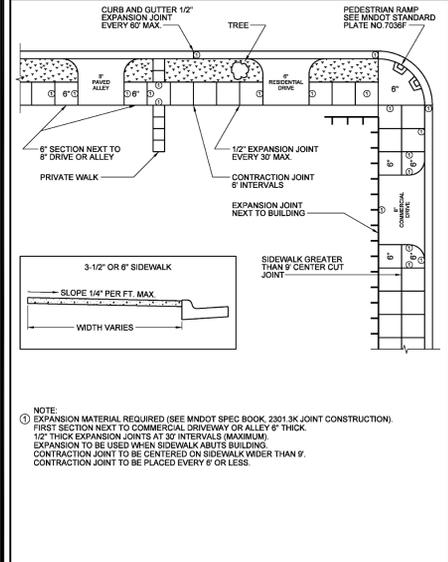




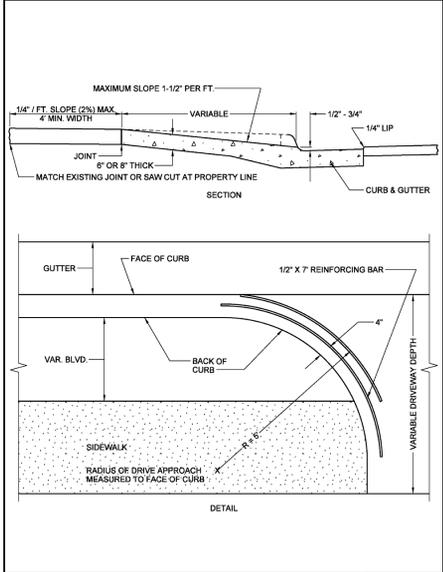
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DATE: 9/10/07	DATE: 9/10/07	
APPROVED: GAS	DATE: 9/10/07	



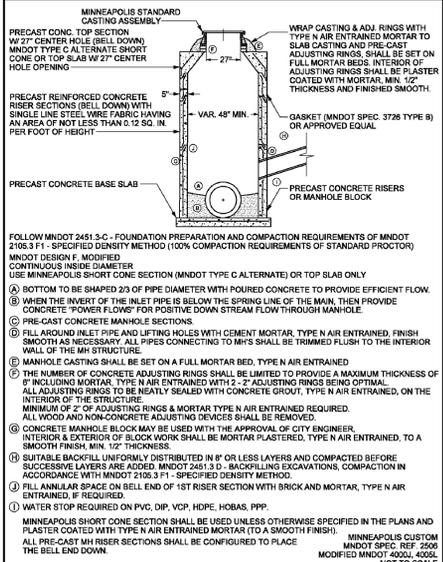
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	DRIVEWAY REFERENCE	STANDARD PLATE NO. ROAD-2000
DATE: 9/10/07		
APPROVED: GAS	DATE: 9/10/07	



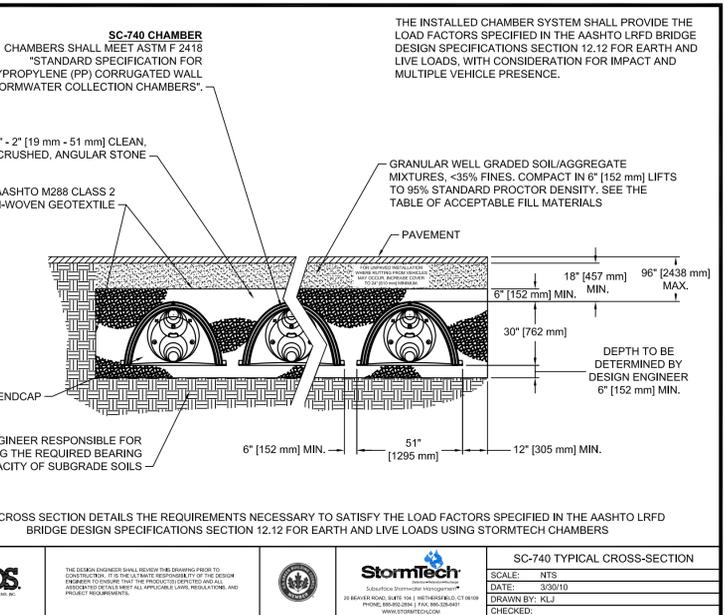
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION	STANDARD PLATE NO. ROAD-2003
DATE: 9/10/07		
APPROVED: GAS	DATE: 9/10/07	



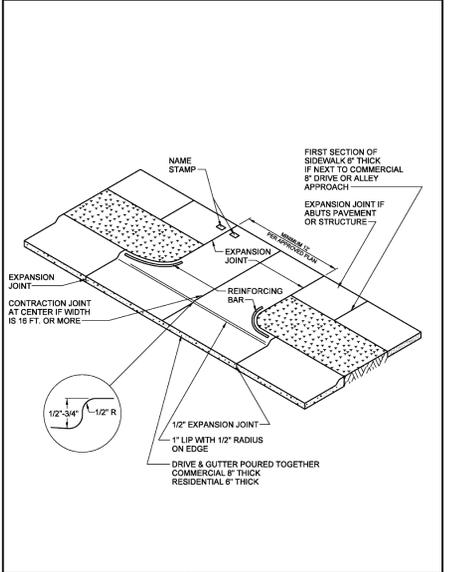
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DATE: 9/10/07		
APPROVED: GAS	DATE: 9/10/07	



MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	TYPICAL MANHOLE CONSTRUCTION	STANDARD PLATE NO. SEWR-1000
DATE: 9/10/07		
APPROVED: HRS	DATE: 9/10/07	



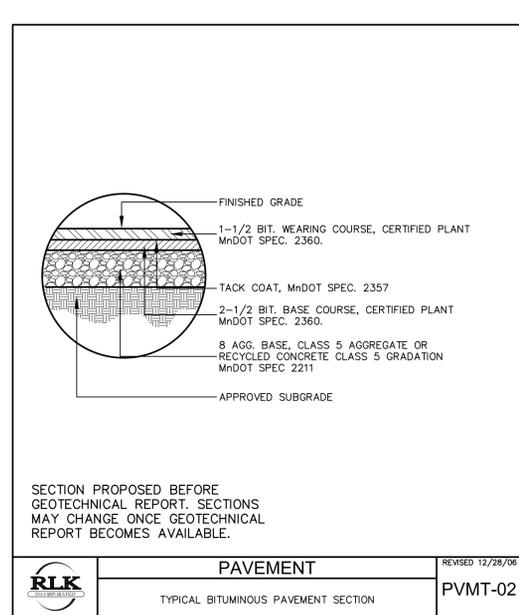
Stormtech	SC-740 TYPICAL CROSS-SECTION	STANDARD PLATE NO. ROAD-1003
DATE: 3/30/10		
APPROVED: KJL	DATE: 3/30/10	



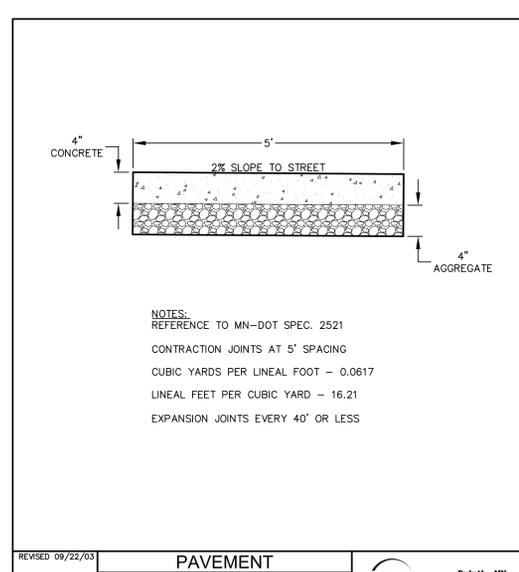
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	TYPICAL DRIVEWAY	STANDARD PLATE NO. ROAD-2002
DATE: 9/10/07		
APPROVED: GAS	DATE: 9/10/07	

PIPE CLASS	CLASS I	CLASS II	CLASS III	CLASS IV	CLASS V
PIPE DIA. (in)	N	W	N	W	N
12	6	8	9	13	13
15	6	8	9	13	13
18	7	7	9	14	13
21	7	7	9	14	14
24	7	7	9	14	14
27	7	7	9	15	14
30	7	7	10	9	15
33	7	7	10	9	15
36	7	7	10	9	17
42	7	7	10	9	17
48	8	8	11	10	18
54	8	8	11	10	18
60	8	8	11	10	18
66	8	8	11	10	18
72	8	8	12	11	19
78	9	8	12	11	20
84	9	8	12	11	20
90	9	8	12	11	20
96	9	8	13	11	20
102	9	8	13	11	20
108	9	8	13	12	20

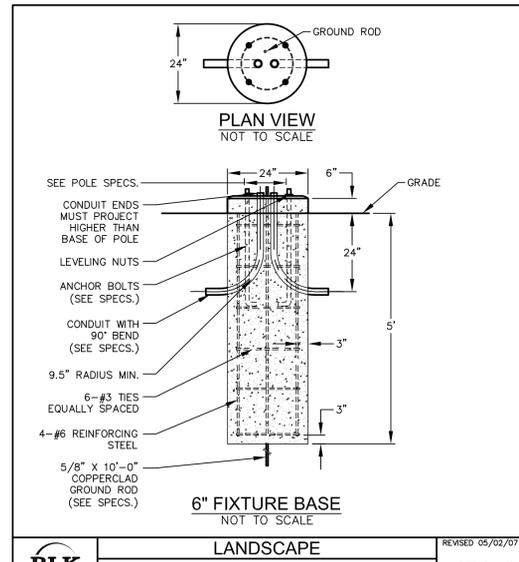
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	CLASS 'C' BEDDING FOR TRENCH CONDITION	STANDARD PLATE NO. SEWR-6002
DATE: 10/03		
APPROVED: HRS	DATE: 10/03	



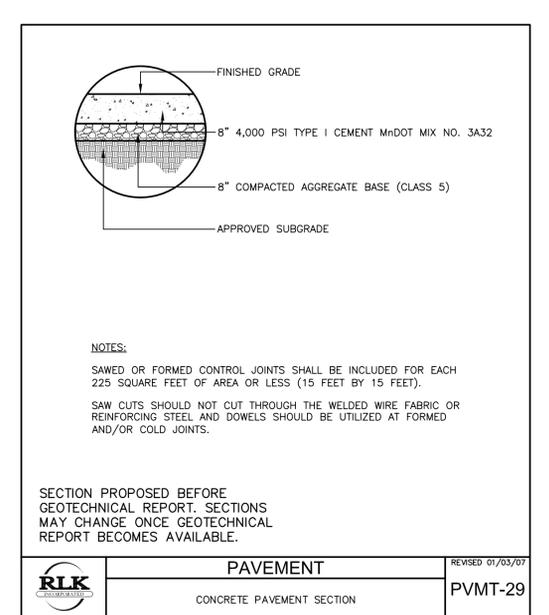
RLK	PAVEMENT	REVISED 12/28/06
	TYPICAL BITUMINOUS PAVEMENT SECTION	PVMT-02



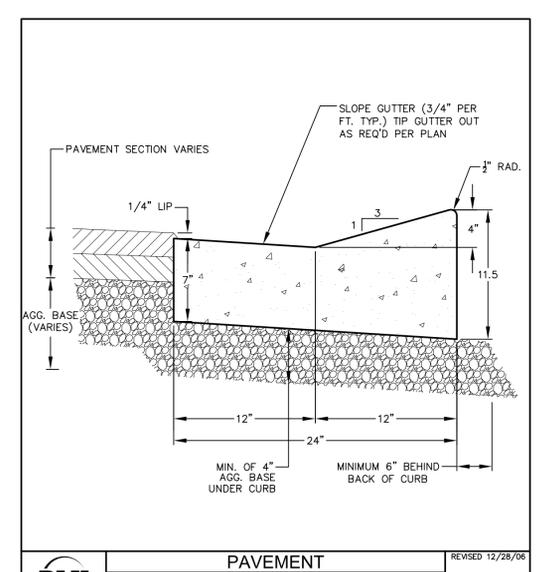
RLK	PAVEMENT	REVISED 09/22/03
	CONCRETE SIDEWALK SECTION	PVMT-24



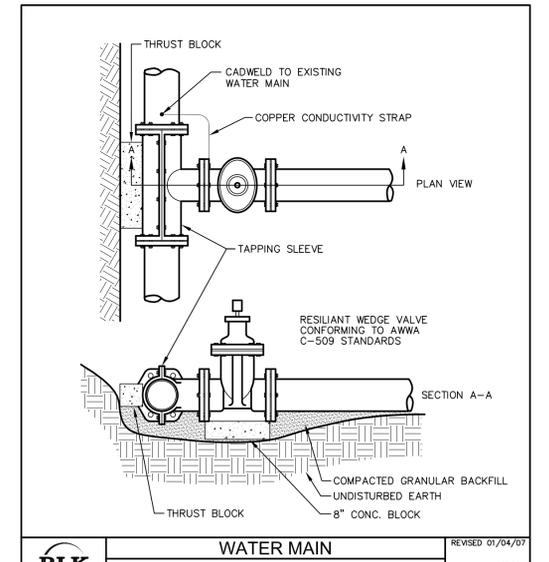
RLK	LANDSCAPE	REVISED 09/02/07
	LIGHT BASE FOUNDATION PUBLIC LIGHTING UNIT	LDSP-13



RLK	PAVEMENT	REVISED 01/03/07
	CONCRETE PAVEMENT SECTION	PVMT-29



RLK	PAVEMENT	REVISED 12/28/06
	D412 CONCRETE CURB AND GUTTER	PVMT-04



RLK	WATER MAIN	REVISED 01/04/07
	WET TAP	WAT-06

CONCEPTUAL IMAGERY BELOW



ROOFTOP FURNITURE



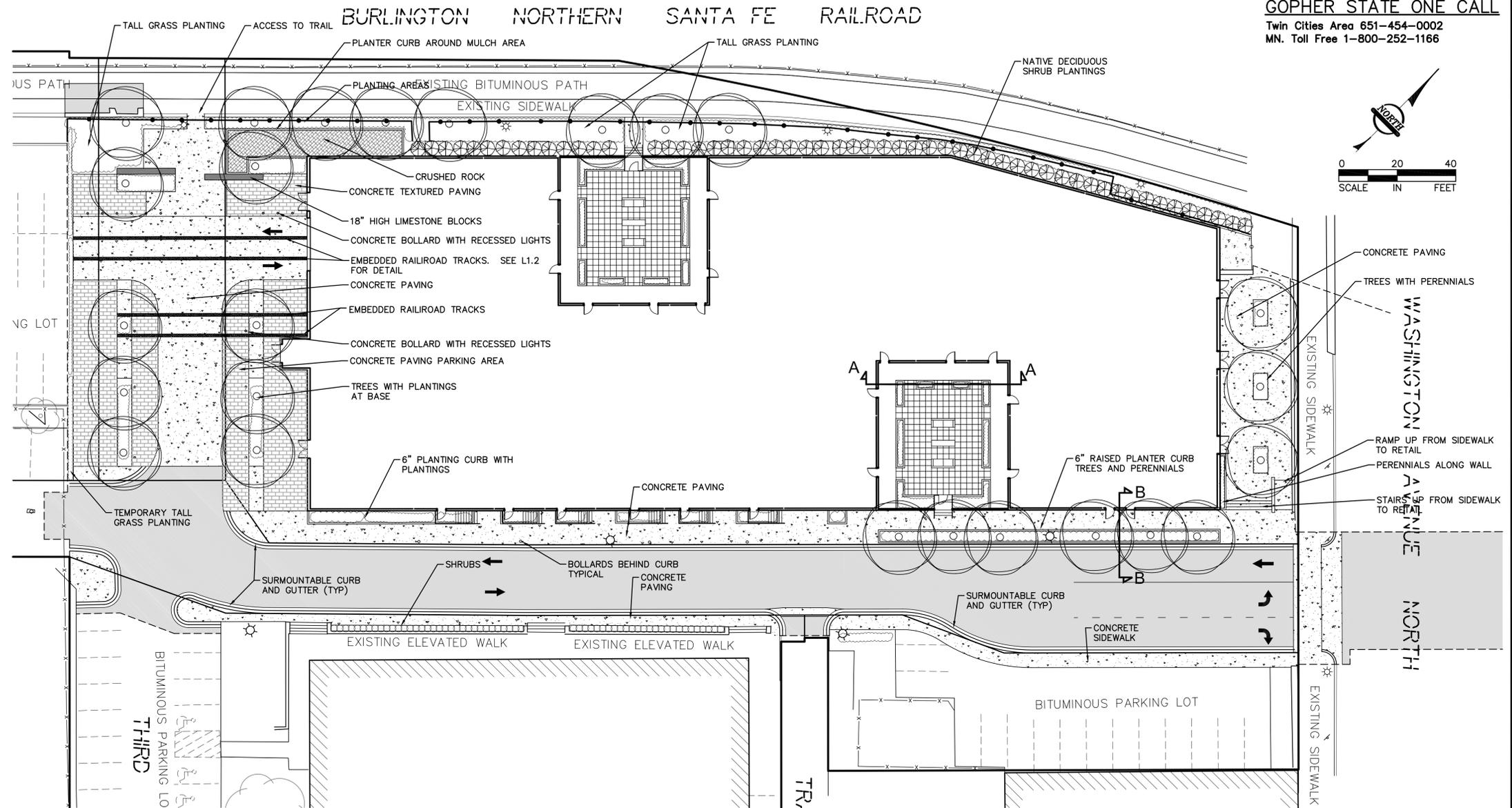
CORTEN PLANTERS



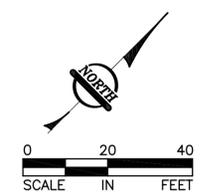
VINE PLANTING



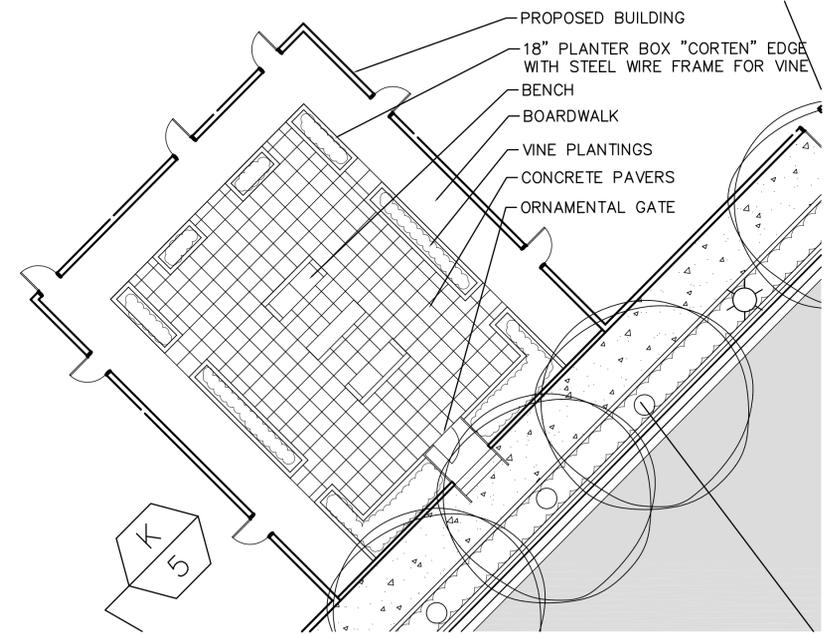
VINE PLANTING



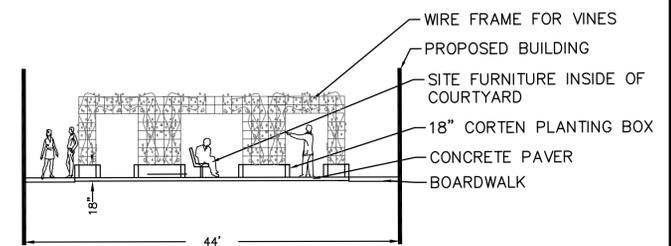
Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



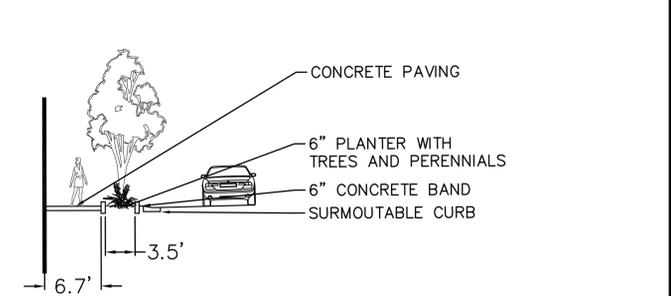
PROPOSED BOLLARD ALONG DOCK ST.



COURTYARD PLAN



COURTYARD SECTION A-A



SIDEWALK SECTION BB

Engineering - Landscape Architecture - Planning - Surveying - Traffic
 Creating extraordinary Communities
RLK INCORPORATED
 6110 Blue Circle Dr. Minneapolis, MN 55443
 (650) 933-6972 | 1-888-884-9878
 www.rlkinc.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.
 DATE: _____ LIC. NO. _____

SURVEYED	DESIGNED	DRAWN	CHECKED
REVISIONS	FOR: HPC	2-13-11	
REVISIONS	FOR: HPC	2-23-12	
REVISIONS	FOR: HPC	3-12-12	

HINES NORTHSTAR CROSSINGS LLP
 90 SOUTH SEVENTH STREET, SUITE 150
 MINNEAPOLIS, MN 55402

DOCK STREET APARTMENTS
 MINNEAPOLIS, MINNESOTA
 PRELIMINARY LANDSCAPE PLAN

SHEET # L1.1
 PROJECT # 2011164M
 DATE 11/14/11

GENERAL NOTES

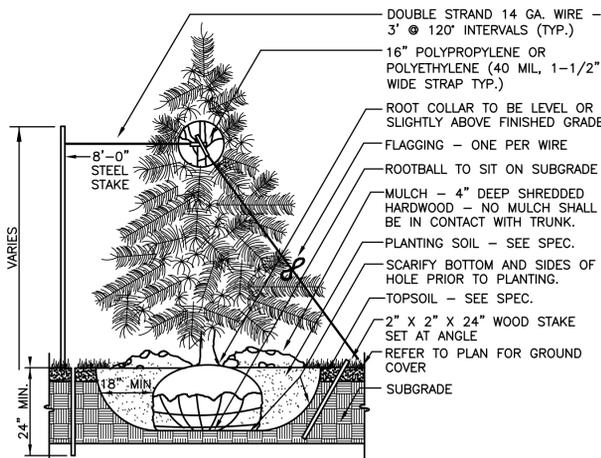
- LANDSCAPE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS ON PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING GOPHER STATE ONE CALL (651-454-0002) PRIOR TO STAKING PLANT LOCATIONS.
- THE OWNER RESERVES THE RIGHT TO INCREASE THE NET QUANTITIES OF LANDSCAPE UNITS, USE LARGER UNIT SIZES, OR VARY THE SPECIES ACCORDING TO AVAILABILITY AT THE TIME OF PLANTING PER THE LANDSCAPE ARCHITECTS WRITTEN APPROVAL.
- COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUBS MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWING OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED, ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- B&B TREES AND SHRUBS ARE BALLED AND BURLAPED.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE CITY AND LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.
- ALL PLANT MATERIAL SHALL BE NO. 1 QUALITY AND COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST TO THE LANDSCAPE ARCHITECT FOR THE OWNER ACCEPTANCE INSPECTION.
- WARRANTY FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE WITH ALL REPLACEMENTS TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES ADJACENT TO HYDRANTS REQUIRE AT LEAST A 6'-0" SEPARATION FROM STEM TO TOP NUT OF HYDRANT.

IRRIGATION NOTES

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SHOP DRAWING ILLUSTRATING AN IRRIGATION PLAN AND SPECIFICATION AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER.
- VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LOCATION.
- UNLESS OTHERWISE NOTED ALL SOD/SEED AND PLANTING AREAS INDICATED ON PLAN SHALL BE 100% IRRIGATED. THE IRRIGATION SHALL INCLUDE THE PUBLIC RIGHT OF WAY BETWEEN PROPERTY LINE AND BACK OF CURB WHERE NEW LANDSCAPE IMPROVEMENTS ARE PROPOSED.
- IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

CONIFEROUS TREE

NOTES:
 IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. TWO ALTERNATE METHODS OF TREE STAKING ARE ILLUSTRATED.
 REMOVE AT LEAST HALF OF THE WIRE, TWINE, AND BURLAP FROM B&B PLANTS.



PLANTING SPECIFICATIONS

- PLANTING BED PREPARATION: ALL MASS PLANTING BEDS SHALL BE TILLED TO A MINIMUM DEPTH OF 10". AMENDMENTS SHALL BE APPLIED AFTER CULTIVATION.
- BACKFILL/TOP SOIL: USE TOP SOIL EXCAVATED FROM SITE AND PLANTING HOLES AND PROVIDE AMENDMENTS TO MEET MNDOT TOP SOIL SPECIFICATIONS. REMOVE ALL DEBRIS INCLUDING ROCKS LARGER THAN 3" DIAMETER.
- FERTILIZATION: ALL PLANT MATERIALS SHALL BE FERTILIZED, UPON INSTALLATION, WITH DRIED BONE MEAL OR OTHER SPECIFIED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.
- MULCH MATERIAL: AS SPECIFIED ON THE LANDSCAPE PLANS. MASS MULCH SITE PLANTING BEDS TO 3" DEPTH OVER FIBER MAT WEED BARRIER. ALL FOUNDATION PLANTING BEDS TO RECEIVE 5" PVC COMMERCIAL GRADE EDGER AND 4" OF WASHED RIVER ROCK MULCH OVER 6 MIL BLACK POLY LANDSCAPE FABRIC. SITE PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO FIBER MAT WEED BARRIER. ALL EVERGREEN AND DECIDUOUS TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.
- TREE STAKING: IT SHALL BE THE CONTRACTOR'S OPTION TO STAKE AND/OR GUY THE TREES ACCORDING TO THE DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS IN AN UPRIGHT AND PLUMB CONDITION AT ALL TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD ESPECIALLY WHERE VANDALISM, SOIL OR WIND CONDITIONS ARE A PROBLEM. AT THE END OF PLANT GUARANTEE PERIOD CONTRACTOR SHALL REMOVE STAKING, IF INSTALLED, PRIOR TO OWNER ACCEPTANCE.
- TREE WRAPPING: WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO NOVEMBER 15 AND REMOVE ALL WRAPPING AFTER APRIL 1.
- RODENT PROTECTION: PROVIDE ON ALL TREES, EXCEPT SPRUCE UNLESS OTHERWISE SPECIFIED.
- PLANTING PLAN: ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS. PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES. RESPECT STATED DIMENSIONS. DO NOT SCALE DRAWINGS.
- EDGING: EDGING SHALL BE 5" P.V.C. COMMERCIAL GRADE EDGING WITH THREE (3) METAL ANCHOR STAKES PER 20 FOOT SECTION. ALL MASS PLANTING BEDS SHALL HAVE EDGING PLACED BETWEEN MULCH AREA AND ANY ADJACENT TURF AREA.

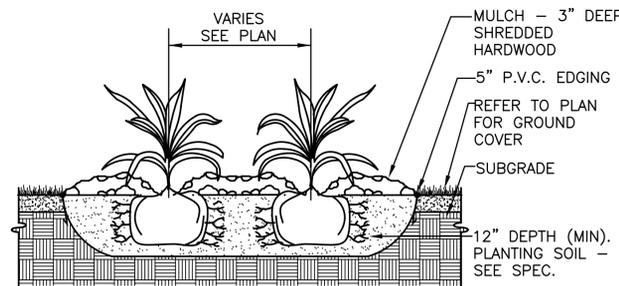
PLANTING NOTES

- NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL LOCATIONS MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY AND ALL DIGGING.
- IF THE LANDSCAPE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE CITY AND LANDSCAPE ARCHITECT MUST BE NOTIFIED.
- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS.
- ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
- WHERE TURF AREAS ABUT PAVED SURFACES, FINISHED GRADE OF TURF AREAS SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.
- SOD ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SEED.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.

PERENNIAL

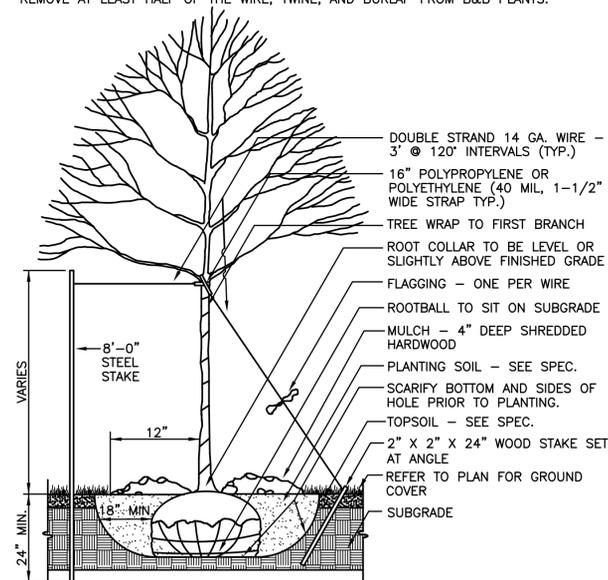
NOTE:
 HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYP.) (UNLESS NOTED OTHERWISE) SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

ROOT COLLAR TO BE LEVEL OR SLIGHTLY ABOVE FINISHED GRADE.



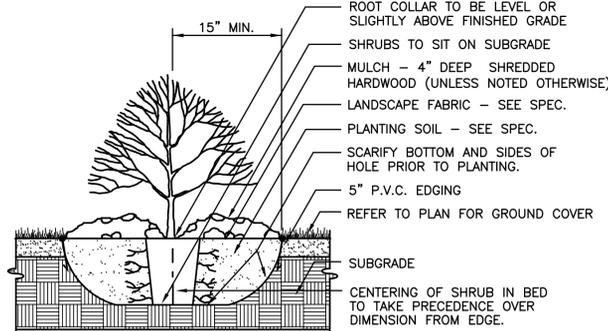
DECIDUOUS TREE

NOTES:
 IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. TWO ALTERNATE METHODS OF TREE STAKING ARE ILLUSTRATED.
 REMOVE AT LEAST HALF OF THE WIRE, TWINE, AND BURLAP FROM B&B PLANTS.



SHRUB

NOTES:
 HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYP.)
 REMOVE AT LEAST HALF OF THE WIRE, TWINE, AND BURLAP FROM B&B PLANTS.



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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.
 DATE _____ LIC. NO. _____

SURVEYED	DESIGNED	DRAWN	CHECKED
REVISIONS	REVISIONS	REVISIONS	REVISIONS

HINES NORTHSTAR CROSSINGS LLP
 90 SOUTH SEVENTH STREET, SUITE 150
 MINNEAPOLIS, MN 55402

DOCK STREET APARTMENTS
 APARTMENTS
 MINNEAPOLIS, MINNESOTA

LANDSCAPE DETAILS
 LANDSCAPE PLAN

SHEET # **L2**
 PROJECT # **2011164M**
 DATE **11/14/11**