

Design Guidelines

October 1990

SEWARD PLACE --- INDUSTRIAL BUSINESS CENTER

A development of the
Minneapolis Community Development Agency
in cooperation with the
Seward South Project Review Committee

Lindberg Pierce, Inc. Architects

SEWARD PLACE INDUSTRIAL BUSINESS CENTER

Design Guidelines

Prepared for the

Minneapolis Community Development Agency

Midland Square, Suite 600
331 Second Avenue South
Minneapolis, MN 55401-2234
612/342-1333

Phil Hagedorn, Project Coordinator

In cooperation with the

Seward South Project Review Committee

First Bank Building
2800 East Lake Street
Minneapolis, MN 55406
Pat Wood, Chair

Prepared by

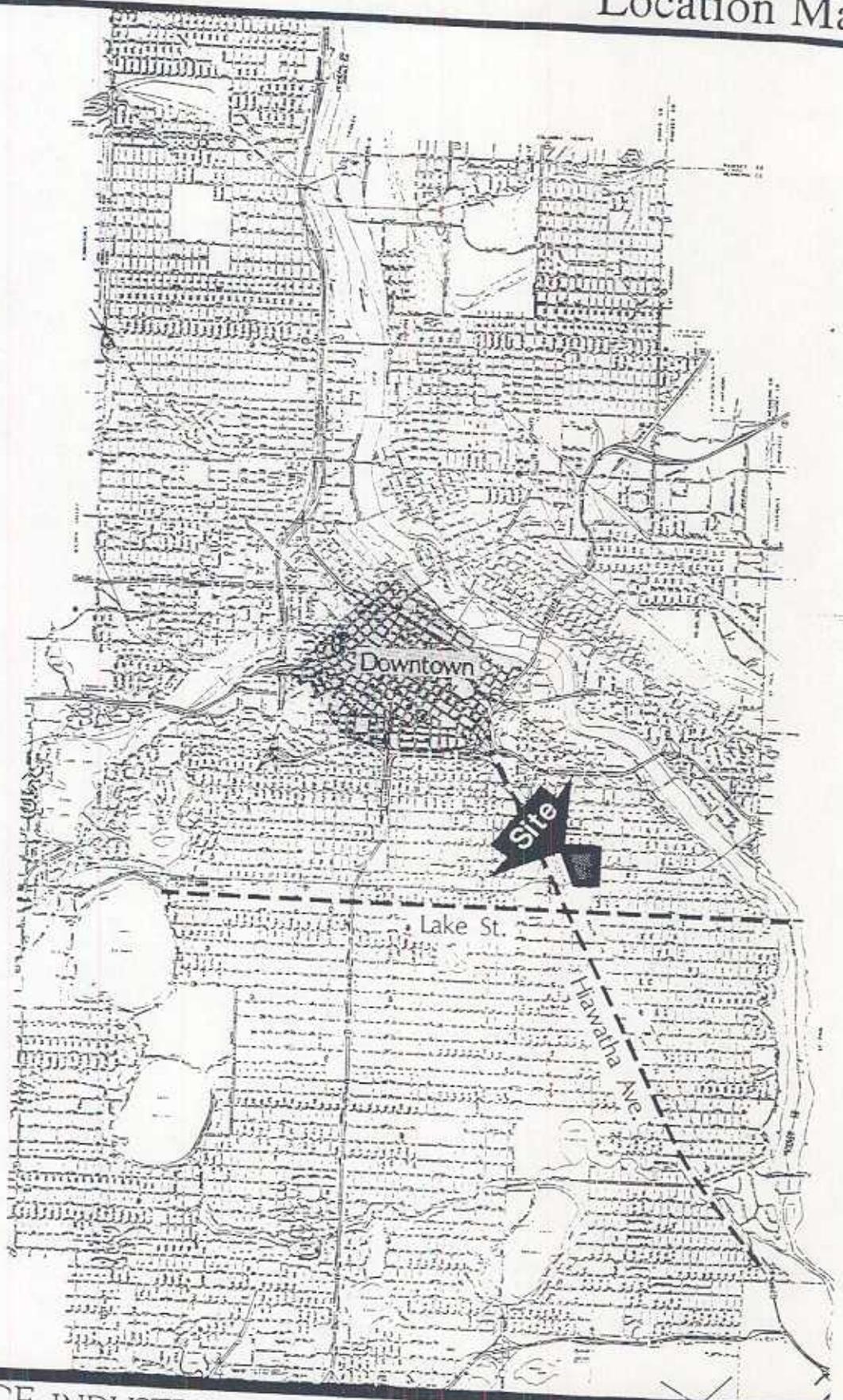
Lindberg Pierce, Inc. Architects Design Consultants

15 South Fifth Street, Suite 1200
Minneapolis, MN 55402
612/332-3339

**Dick Gilyard
Mike Kraft**

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SEWARD PLACE INDUSTRIAL BUSINESS CENTER



Site Map



SEWARD PLACE INDUSTRIAL BUSINESS CENTER



Introduction

The former Soo Line Railroad property lying south of East 26th Street and west of 26th Avenue South is the subject of these design guidelines. This 41 acre parcel is located in the Seward neighborhood. It is intersected by the proposed Minnehaha Avenue extension and the Chicago Milwaukee St. Paul & Pacific Railroad. This two-phase redevelopment process is designed to establish this area as a contemporary urban industrial and business district known as the Seward Place Industrial Business Center.

The Minneapolis Community Development Agency, acting on the expressed preference of the **Seward South Project Review Committee** which is composed of citizens and business representatives from the adjacent neighborhoods, has elected to pursue a redevelopment direction which is structured to attract a diverse collection of industrial, owner-occupied businesses. **It is the primary objective of this approach to create a significant number and variety of clean, high quality, family-supporting job opportunities which can be met by the residents of the neighborhood.**

The planning and design risk inherent in a development involving many smaller projects is the potential that the district will have less cohesiveness than a project conceived by a single developer.

In order to retain control of the development process and the overall character of the business park, the Seward South Project Review Committee has, with the assistance of the Design Consultant and under the auspices of the MCDA, formulated the Design Guidelines. **These guidelines have been framed to encourage creativity and variety, to contribute to the vitality and energy of the district and to reflect and reinforce the spirit, diversity and character of the Seward neighborhood.**

It is the focus of these materials to assist potential developers in their assessment and approach to the sites of the Seward Place Industrial Business Center. It is the specific objective of the outline to guide the development of projects which have received preliminary approval and are proceeding with site and building design.

The criteria set forth in the Guidelines are the blended product of the Seward neighborhood residents and business people, and the Design Consultant. The standards for this development are a reflection and reinforcement of this neighborhood's appreciation for its history, self image and vision for the future.

Objectives

The objective of the Design Guidelines is to give definition to the building and site design criteria and to clearly establish the process for submittal, review and approval of proposed designs.

It is the thrust of these criteria to encourage variety and creativity of approach to the challenge of becoming an appropriate "neighbor" within the district.

It is not the intent of this design framework to achieve the homogeneity of a contemporary office park with a rigid palette of materials and two or three repeated building details. Rather, the focus will be directed to achieving the cohesiveness that evolves in a neighborhood which has a shared concern for its overall sense of order and respect for the individual character of each parcel.

It is the underlying premise of the Guidelines that harmony and cohesiveness can be achieved by insistence on a design approach which incorporates the following principal features:

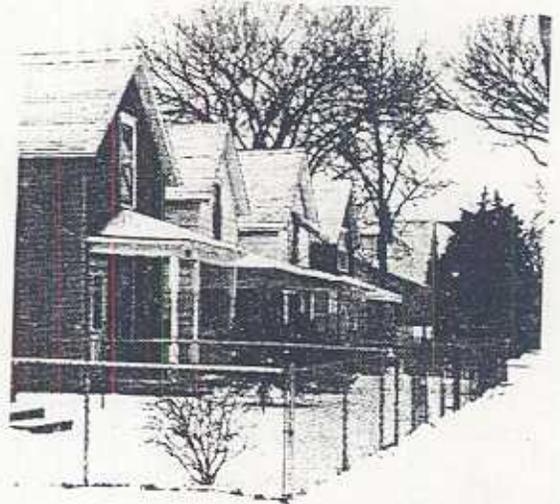
- Adherence to strict site use and planning principles including intensity of development, setbacks and parking design.
- Development of building designs which capitalize on and express the individual activity components of the building; entries, people spaces, offices, lunchrooms, and manufacturing or processing areas.
- Incorporation of planning concepts and architectural elements which give rhythm, scale, articulation and texture to the building's exterior walls and a design objective geared to achieving an expression which has meaning and is appropriate in terms of the building's activities, structure and the adjacent streetscape.
- Development of substantial landscaping utilizing only the plant materials vocabulary established by the Guidelines to achieve a connecting fabric of color, form and texture.
- Design of site and building lighting to achieve light patterns which highlight the landscape features, give brightness and life to pedestrian areas, destinations, and significant building features, and avoid glare in parking and security applications.

- Development of signing and graphics which are strong, appropriate to the business and reinforce the vitality and vibrancy of the area.

The following outline is organized to facilitate convenient reference by business owners and developers, their development team, architects, engineers and planners.

Its purpose is to illustrate the goals and design expectations of the MCDA and the Seward Community for this very important neighborhood redevelopment project.

Neighborhood Features



Residential



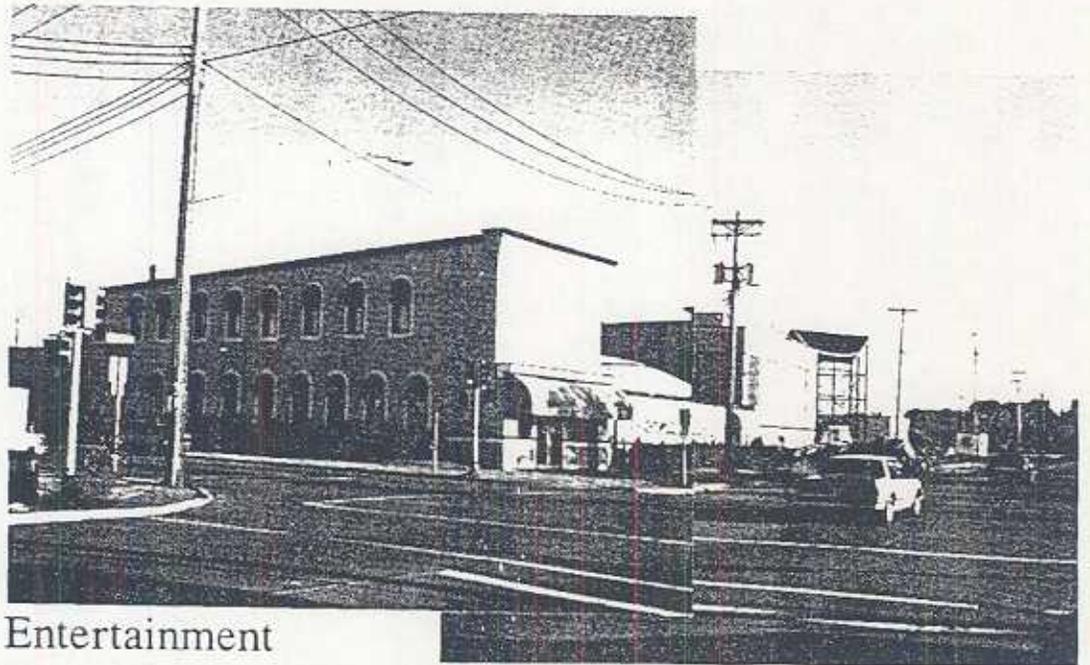
Industrial

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Neighborhood Features



Commercial



Entertainment

Neighborhood Features

■ Overview

The composition of the existing adjacent neighborhoods is of significant influence on the development of design guidelines for the district.

The Seward area is one of great diversity and vitality, and development proposals for the Seward Place Business Center should strive to be compatible with and reinforce the rich variety and energy that characterizes the area.

The neighborhood's principal uses and activities include:

■ Residential

The Seward residential area is defined by dense single family housing, some of significant architectural strength and heritage, with a mix of duplexes and apartments.

■ Industrial

The district developed as a strong industrial center in large measure because of its railroad access. It continues to support major industrial activity due to its proximity to freeways and truck routes serving all directions.

■ Commercial / Service

This development area is immediately adjacent to one of the largest urban concentrations of retailing, including major strip center and mall anchors Target and Rainbow Foods.

Lake Street continues to serve the neighborhood in its historic role as a major commercial strip. It is home to hundreds of small businesses, many directly related to serving the day to day needs of the adjacent community - coffee shops, cleaners, banking, clothing, grocery and repair shops.

■ Entertainment

This neighborhood has long served as a Twin Cities entertainment center with a strong collection of night clubs, restaurants, bowling alleys and bars. These uses are especially significant for the light and activity they bring to the area at night and on weekends.

▪ **Transportation Corridors:**

Lake Street and Hiawatha Avenue are major traffic arteries which serve the entire city bringing huge volumes of traffic to and through the district.

The Light Rail Transit (LRT) Hiawatha corridor is planned to lie adjacent to Hiawatha Avenue and is scheduled as a First Phase (within 10 years) priority project.

Minnehaha Avenue is being extended and will complete the street network for this area, directly serving the Seward Place Industrial Business Center and alleviating traffic congestion in the surrounding neighborhood.

The MTC serves the community with a network of bus routes on Lake Street, 25th Street and 27th Avenue.

▪ **Synopsis**

The significance of capsulizing and emphasizing these primary features and influences is to paint the background - to capture the character and composition - of the neighborhood and to establish the framework into which any new proposal must find its appropriate fit and relationship.

This is not a quiet, suburban industrial park neighborhood. This is an area of enormous vitality; a rich blend of uses, movement, energy and life. The design approach to this district is structured to build upon and reinforce this character.

Planning and Design Review Process

Planning and Design Review Process

It is an objective of the Design Guidelines to encourage a review process which is open and ongoing. Upon receipt of the Guidelines from the MCDA, the developer should contact the Design Consultant to begin the process of communication essential to this review process.

The design review approach is based on the following two-phase process and exchange of information:

Phase 1 - Preliminary Review Process

In the preliminary stages of a development proposal, a two-step review process has been structured to ensure that the project develops in a manner consistent with the Design Guidelines. The proposer is encouraged to submit proposal materials at the earliest possible stages of design so that the evolving design will be in conformance with the vision of the Seward Place Industrial Business Center.

Presentation of Proposal

- Developer will present a comprehensive overview of the business proposal to the Seward South Project Review Committee. The principal elements featured must include:

- Description of the business
 - Functions
 - Employment profile
 - Growth projections
- Site requirements / access / parking
 - Current and in relation to projected growth
- Schedule of development
- Primary building features / requirements

Preliminary Planning and Design Submittal

- Developer shall submit preliminary planning and design drawings to the MCDA and Design Consultant. Submittal drawings shall indicate:

- Size and location of building
- Massing and materials
- Parking and driveway locations
- Landscaping, lighting and signing concepts

- The Design Consultant will review the documents for consistency with the Guidelines and provide a brief evaluation advising the developer, MCDA and Project Review Committee of their findings and recommendations

▪ Phase 2 - Final Review Process

When the project reaches its final design development state, but prior to commencement of construction documents, the developer shall submit design development documents which respond to all issues or recommendations previously identified and which are otherwise consistent with the Design Guidelines.

▪ Final Design Submittal

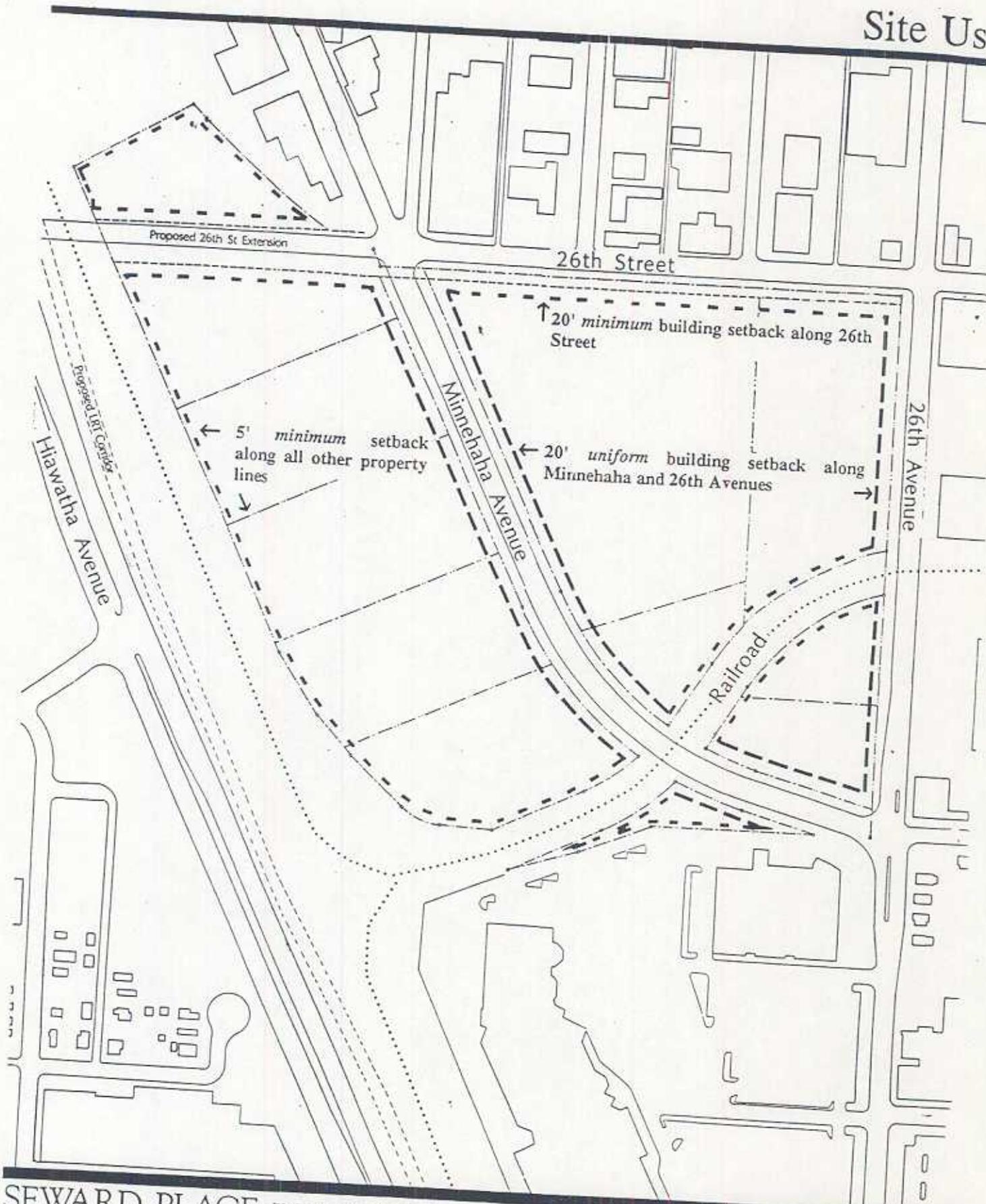
- Developer will submit to the MCDA and Design Consultant documents which fully illustrate the following:
 - Site plan
 - Floor plan(s)
 - Building elevations
 - Landscape plan
 - Lighting and signing plan
 - Materials and color palette
 - All other information required by the MCDA approval process
- The Design Consultant will review the submittal and provide a written report of their findings and recommendations to the developer, MCDA and Project Review Committee.
- If design adjustments are required, the developer shall resubmit materials which demonstrate the response to any Project Review Committee requirements.

▪ Compliance Review

- Upon completion of working drawings, the developer shall provide the Design Consultant with one set of architectural and landscape drawings.
- Throughout the construction process, the MCDA and their consultants will monitor the development to observe implementation of the design as approved.

Note: The Design Consultant will issue their Phase 1 and Phase 2 design evaluations within ten (10) working days of a complete submittal. In order for a project to be eligible for Committee action, the required submittal materials must be received by the MCDA and Design Consultant in sufficient time for this review and scheduling of a Committee meeting.

Design Guidelines



Site Use

■ Overview

These site use criteria are structured to create a closely related, readily apparent organization of the building masses in relationship to the roadways, sidewalks and one another. The purpose is to achieve a consistent intensity of use, to establish open spaces and to organize and control the service elements of the business.

It is the underlying concept that these standards will result in a uniquely urban business district which is especially appropriate to the character and tradition of this neighborhood.

■ Design Criteria

■ Setbacks

A **uniform** building setback of 20 feet from the property line shall be maintained along Minnehaha and 26th Avenues.

Along 26th Street, a **minimum** building setback of 20 feet from the property line shall be maintained.

A minimum five foot setback from all other property lines shall be maintained, plus 2 feet per story over one story in height.

These minimum yard requirements may be adjusted by the MCDA upon demonstration by the prospective developer that the objectives of the Design Guidelines can better be met through other provisions or a modification of these requirements.

■ Parking and Loading

The prospective developer must demonstrate that their proposal for parking and off-street loading will meet the requirements of the site use proposed. Such demonstration must address the size of individual parking spaces, drive access lanes, turning movement areas, whether for automobiles or trucks, and storage areas for snow.

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- **Landscaping and Related Requirements**

All developments will be required to landscape or plant a minimum of 15% of the gross site area. Areas for vehicular traffic cannot be counted as landscaping. Pedestrian circulation space and other areas partly developed with planting will be counted as landscaping.

All landscaping, including the screen walls, must be developed in a manner satisfactory to the MCDA and comply with the **Landscape Section of this Design Guidelines**.

- **Floor Area Ratio**

The Floor Area Ratio (FAR) of the building or buildings on any site sold for new development shall be no less than .4.

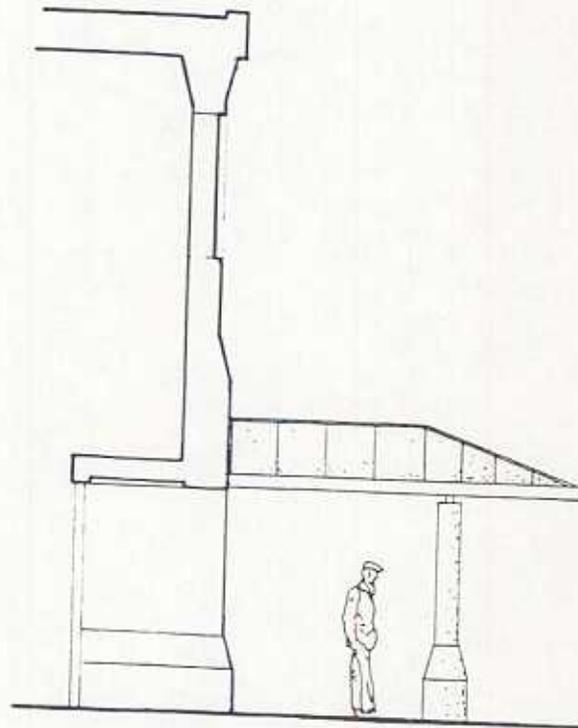
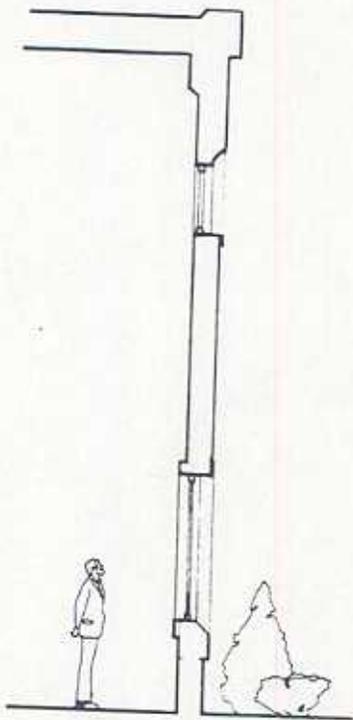
The MCDA may give consideration to proposals of less than the .4 minimum required FAR upon demonstration by the developer that expansion is likely in the near future and that a reasonable number of jobs would be provided by the development.

- **Open Storage and Screening**

No storage of salvage, used materials, waste paper, scrap paper, rags, scrap metal, used bottles, trash or junk (including inoperable vehicles) shall be allowed on a building site outside of a building or structure unless said material covers less than 400 square feet in land area, is screened completely from view and is contained in a fireproof container suitable for the temporary storage thereof and designed for the permanent removal thereof.

All building sites are to be used primarily for the construction of structures or buildings and their appurtenances. After a building is constructed, the outside storage of personal property other than discussed above shall be allowed only when the requirements are met as described in the MCDA Seward South Development Guidelines (See p. 19).

Building Design



Design objectives include emphasis of human scale features - windows/sills, entryways - articulation of facade to create rhythm and scale with specific attention directed to relationship/transition between "people" and "bulk" spaces.

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Building Design

▪ **Overview / Objectives**

It is the objective of the Project Review Committee and the Guidelines to establish a "family" of buildings which are fresh, contemporary, cohesive in their overall character and uniquely responsive to the composition and character of the Seward neighborhood.

Toward that objective, the following guidelines have been formulated to achieve consistency of approach and shared vocabulary:

▪ **Building Design Criteria**

▪ **Height and Massing**

The building shall have a continuity of massing. It shall appear as a cohesive entity and not a conglomeration of unrelated forms and sizes. Where the function of the facility calls for variation in building height and form, attention must be directed to achieving appropriate transitions and relationships.

▪ **Scale / Rhythm / Openings**

It should be the objective of the facility design to express the activities of the building and to emphasize the human scale elements of the streetscape and district. Attention should be given to the relationship of the human scale windows and doors to the much larger scale of warehouse spaces.

The development of detailing which reflects concepts and patterns incorporated in the historic Flour City Architectural Metals building will create the scale, rhythm and sense of cohesiveness that is desired for this district.

- Facades without dimensional rhythm or pattern will not be allowed.
 - Windows, doors and people spaces should be planned and expressed in a manner that brings variety and life to the street side(s) of the building.
 - All building elevations must be treated in a similar and related manner. (No undeveloped exterior walls will be allowed.)
 - Architectural features which create a sculptural or three dimensional quality are encouraged; entry canopies, balconies, grill work, sculpted keystones, brackets, integral lighting, awnings and niches are examples of detail which will add texture and vibrancy to the overall development.
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▪ **Building Materials**

It is an overriding objective of the Guidelines to achieve design cohesiveness through a limited materials vocabulary. Primary building envelope materials will be confined to the following:

- Modular masonry materials; brick, block, stone
- Precast panels with a cast-in-place pattern similar in scale and texture to masonry units with panels organized in a manner which reflects the building's activities
- Cementitious, stucco or stucco-like materials

The consistent use of these materials on all Seward Place developments will provide a strong base of continuity and reinforce the streetscape image of this development as a district and identifiable place.

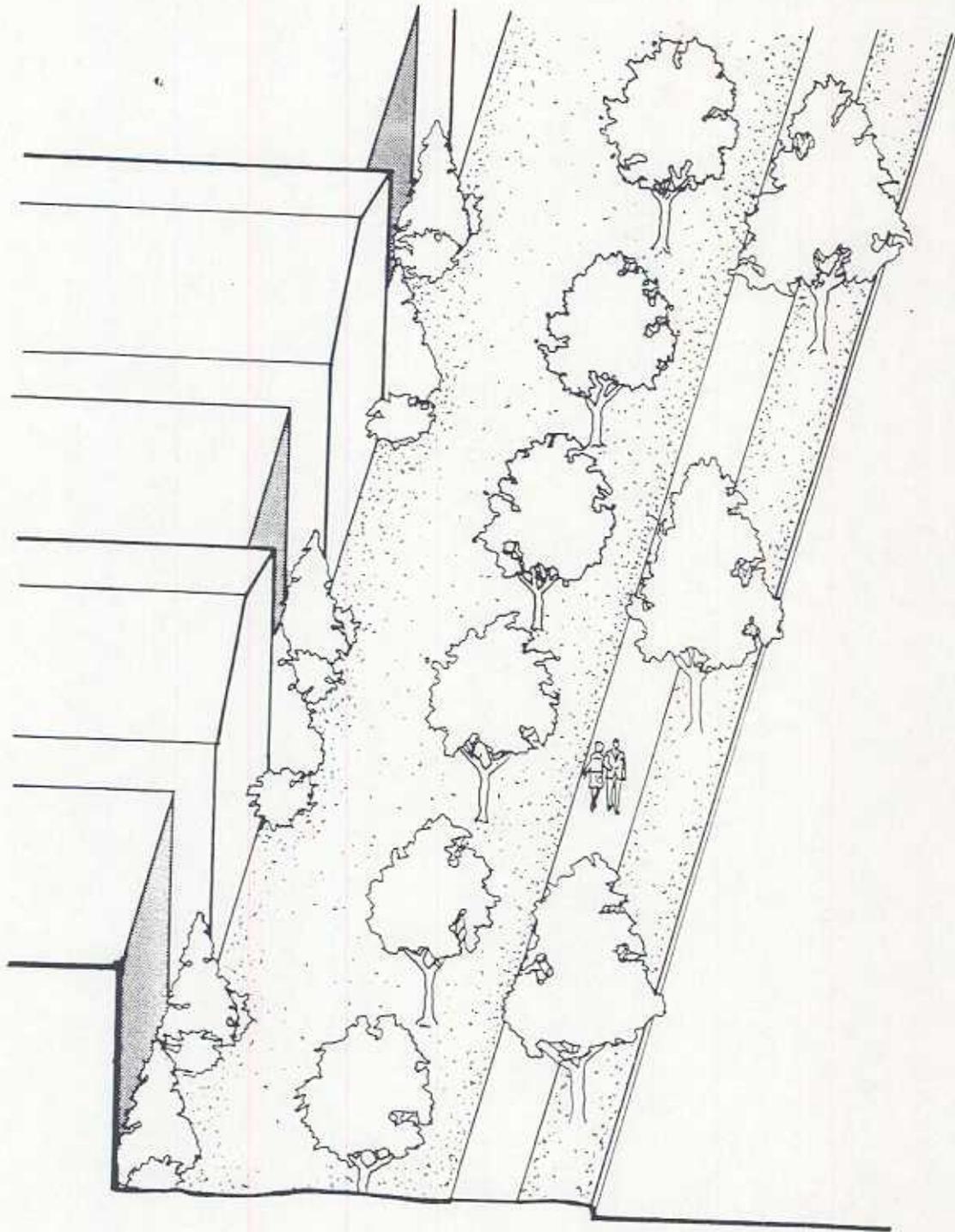
The use of other materials - metals, wood, stone, ornamental iron, fabricated panels - is appropriate, but it is the intent of the Guidelines that these materials be incorporated as accents, links, or as building components which do not form the principal mass of the building.

▪ **Colors**

It is the intent of the Design Guidelines to establish a restricted color palette which emphasizes the freshness and vitality of the business activities and the quality of the employment opportunities. The palette concept is to develop primary building masses which are "light" in value with entries, building trim and specific features being potential areas for accents.

A demonstration board of the color concept and examples of possible schemes will be made available by the Design Consultant when project design and planning work is initiated.

Individual projects will be viewed in relationship to adjacent developments and scrutinized for their architectural sensitivity to existing and planned buildings. The Design Consultant and the Project Review Committee may request a special design detail consideration of a particular building proposal in order to enhance its relationship to its immediate neighbors and context.



Landscaping designs and materials organized to relate to the building's architectural expression and moderate scale and to create a relationship between the building and streetscape planting.

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Landscape Design

■ Overview

Landscape concepts for the district are planned to maintain consistency of theme and allow for individual expression. The approach is designed to moderate scale, create texture and year-round color, provide appropriate buffering and screening, express visual site organization, and identify the Seward Place Industrial Business Center as a good neighbor and integral, identifiable component within the Seward community.

■ Design Criteria

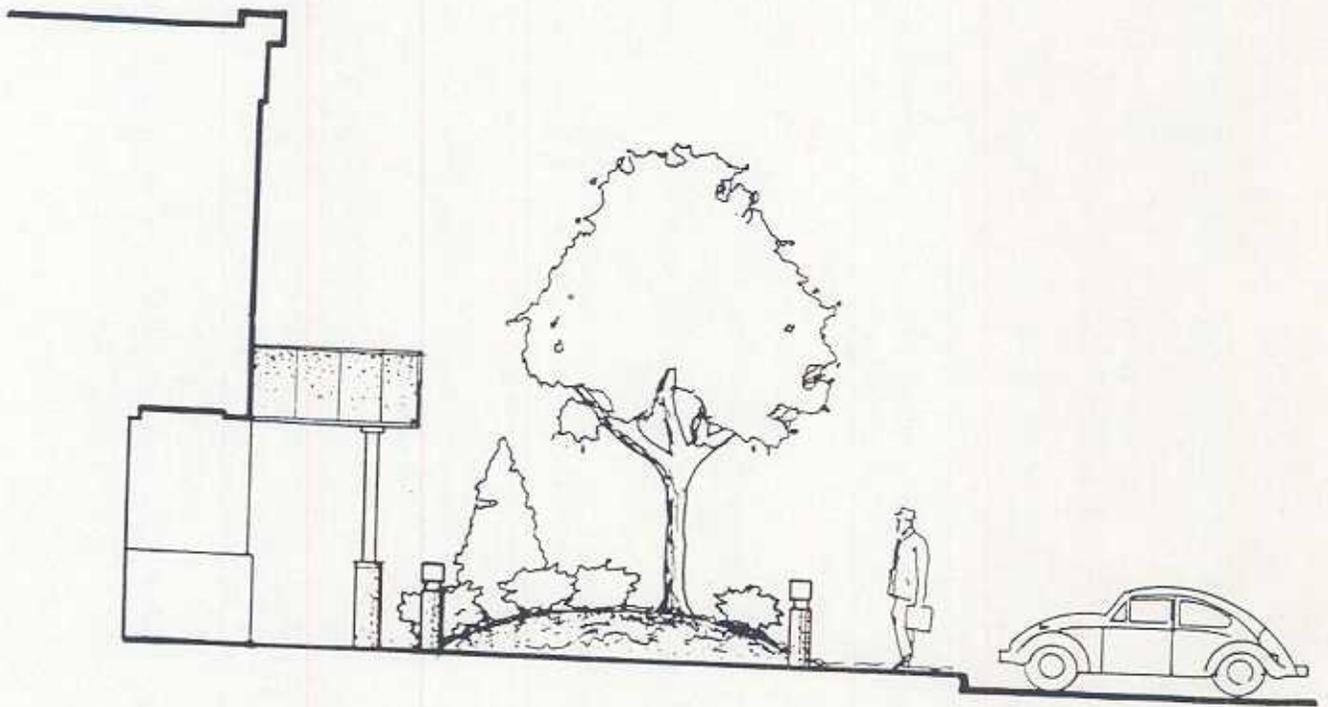
Preliminary Development Guidelines for the Seward South redevelopment area, as proposed by the MCDA, stipulated the following (See p. 19):

- All new developments will be required to landscape or plant a minimum of 15% of the gross site area.
- Areas for vehicular traffic cannot be counted as landscaping.
- Pedestrian circulation space and other areas partly developed with planting will be counted as landscaping.
- All landscaping, including screen walls, must be developed in a manner satisfactory to the MCDA in and for the City of Minneapolis.

All landscape designs shall be developed within the following plant materials vocabulary:

- Spreading Evergreen Shrubs
 - Juniper, Chinese Spreading/*Juniperus chinensis* (Hetz, Maney, Mint Julep, Pfitzer)
 - Juniper, Savin/*Juniperus sabina* (Arcadia, Broadmoor)
- Spreading Yews
 - Yew, Japanese Spreading/*Taxus cuspidata*
- Pyramidal Evergreens
 - Arborvitae, American/*Thuja occidentalis*

Landscape Design



Landscaping and shaping of site to define and separate activities, to give emphasis to walkways, building "people" spaces and entries.

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- Evergreen Trees
 - Pine, Austrian/*Pinus nigra*
 - Spruce, Black Hills/*Picea glauca densata*
 - Spruce, Colorado Blue/*Picea pungens glauca*
- Shade Trees
 - Ash, Green/*Fraxinus pennsylvanica*
 - Hackberry/*Celtis occidentalis*
 - Honeylocust, Thornless/*Gleditsia tricanthos*
'inermis'
 - Linden, American/*Tilia americana*
 - Linden, Littleleaf/*Tilia cordata*
 - Maple, Rubrum (Red)/*Acer rubrum*
 - Oak, Pin/*Quercus palustris*
- Ornamental Trees
 - Cherry, Canada Red/*Prunus virginiana*
 - Crabapple, Flowering/*Malus*
 - Hawthorn, Cockspur/*Crataegus cursgalli*
 - Maple, Amur/*Acer ginnala*
- Dwarf Shrubs
 - Barberry, Japanese/*Berberis thunbergi*
 - Bush Honeysuckle/*Diervilla Ionicera*
 - Potentilla/*Potentilla fruticosa*
- Shrubs - 4 to 6 feet
 - Burning Bush, Compact/*euonymus alatus*
'compacta'
 - Honeysuckle, Clavey's Dwarf/*Ionicera* 'Clavey's Dwarf'
 - Maple, Compact Amur/*Acer ginnala* 'compacta'
 - Rose, Hardy Shrub/*Rosa rugosa*
 - Viburnum, Compact American Cranberry Bush/*Viburnum trilobum* 'compacta'
- Shrubs - over 6 feet
 - Buckthorn, Columnar/*Rhamnus frangula*
'columnaris'
 - Cotoneaster, Peking/*Cotoneaster acutifolia*
 - Dogwood, Red Twigged/*Cornus stolonifera Baileyi*
 - Lilac, Common Purple/*Syringa vulgaris purpurea*
 - Viburnum, American Cranberry Bush/*Viburnum trilobum*

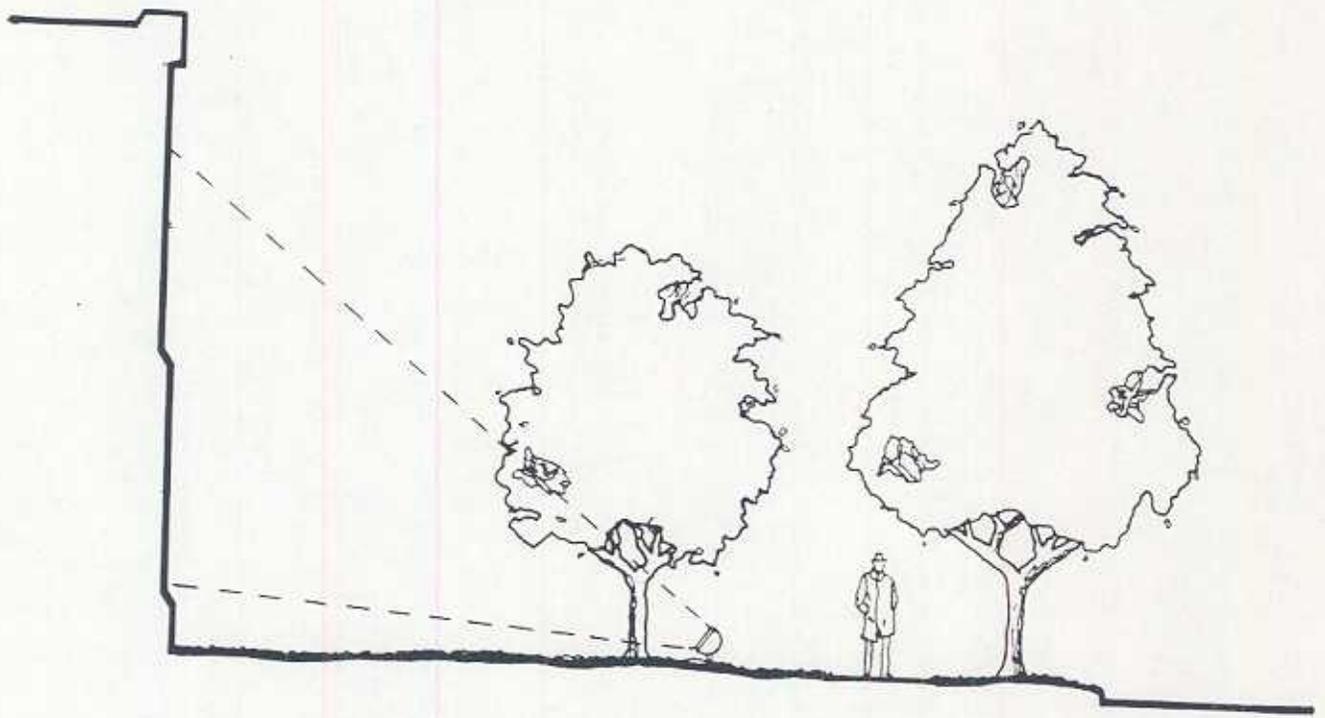
- In order to achieve landscaping which is appropriate in scale with the size of a building and site, the minimum number of caliper inches of trees required will be determined by dividing the total gross square footage of

all floors of a building by 350. A single-story building in excess of 20 feet in height shall be considered a two-story building for the purpose of determining its total gross square footage. A mixture of plant materials sizes shall be required as follows:

Bldg. Ht. (Stories)	2.5" Cal.	3.0" Cal.	4.0" Cal.	6.0" Cal.
One	70%*	20%	10%	--
Two	60%	10%	20%	10%
Three	50%	20%	10%	20%

*Percentage of trees required to be of this caliper size.

- For the purposes of satisfying the total caliper inch requirement, coniferous trees can be considered equivalent to overstory trees by dividing the height of a coniferous tree - 6 feet height minimum - by 2.4 to determine equivalent caliper inches.
- Planting islands should occupy at least 5% of the parking area to visually break up expanses of hard surface parking areas, for safe and efficient traffic movement, and to define rows of parking.
- Parking, loading, service, utility and outdoor storage areas shall be screened from public roads and adjacent, differing land uses. Screening may consist of any combination of the following: earth mounds, walls, fences, shrubs, evergreen trees or dense deciduous hedges 6 (ultimate) feet in height. Hedge materials must be at least 3 feet in height at planting. The height and depth of the screening shall be consistent with the height and size of the area for which screening is required. When materials, such as trees or hedges, are used to meet screening requirements, density and species of planting should attempt to achieve 75% opacity year-round.
- Deciduous overstory plantings should be a minimum of 2.5 caliper inches.
- Deciduous understory trees should be a minimum of 1.5 caliper inches.
- Coniferous trees should be a minimum of 6 feet in height.



Lighting emphasizing landscape and creating shadow and texture on facade.

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Lighting Design / Signage

▪ Lighting Overview

Good lighting provides safety and security, clarity of site organization, and ambient, aesthetic focus.

Lighting shall be placed at key points throughout the site. Appropriately selected and placed, it is an essential ingredient to the district's unified sense of place and continuity.

Consistency of lighting element sizes, lamp types and landscape applications will establish a clearly identifiable night image for the district.

The lighting types discussed by this outline include:

- Parking lot and roadway lighting
- Architectural, landscape and security lighting
- Signage illumination

This outline is presented to establish the conditions and relationship of the desired lighting types and their performance standards.

▪ Lighting Criteria

▪ Parking Lot and Walkway Lighting Performance

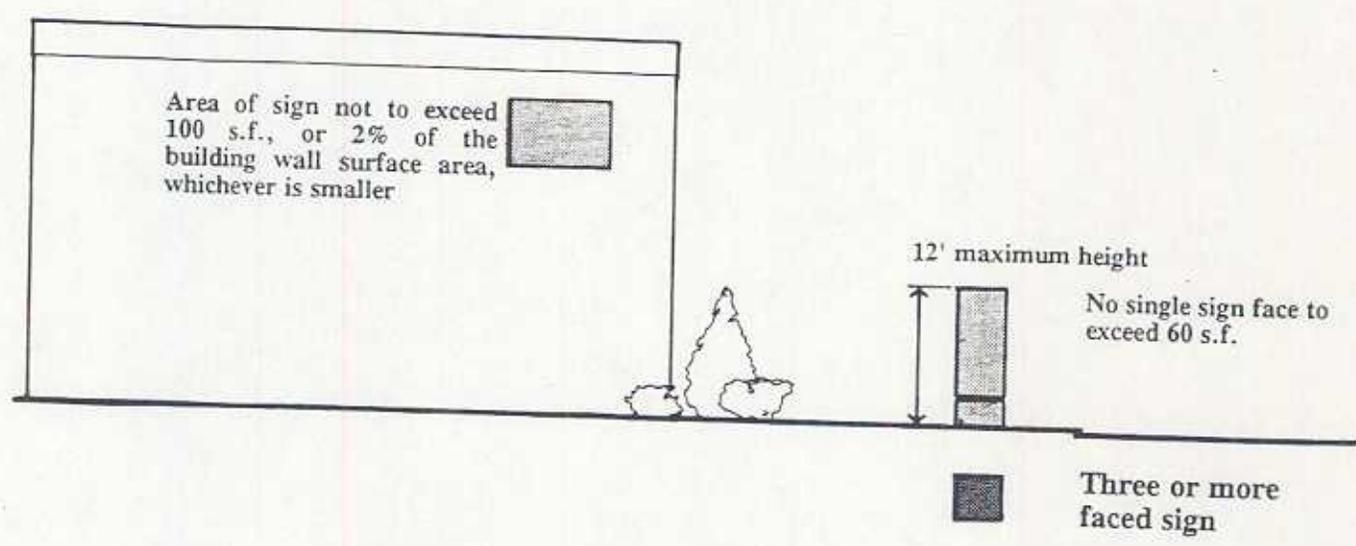
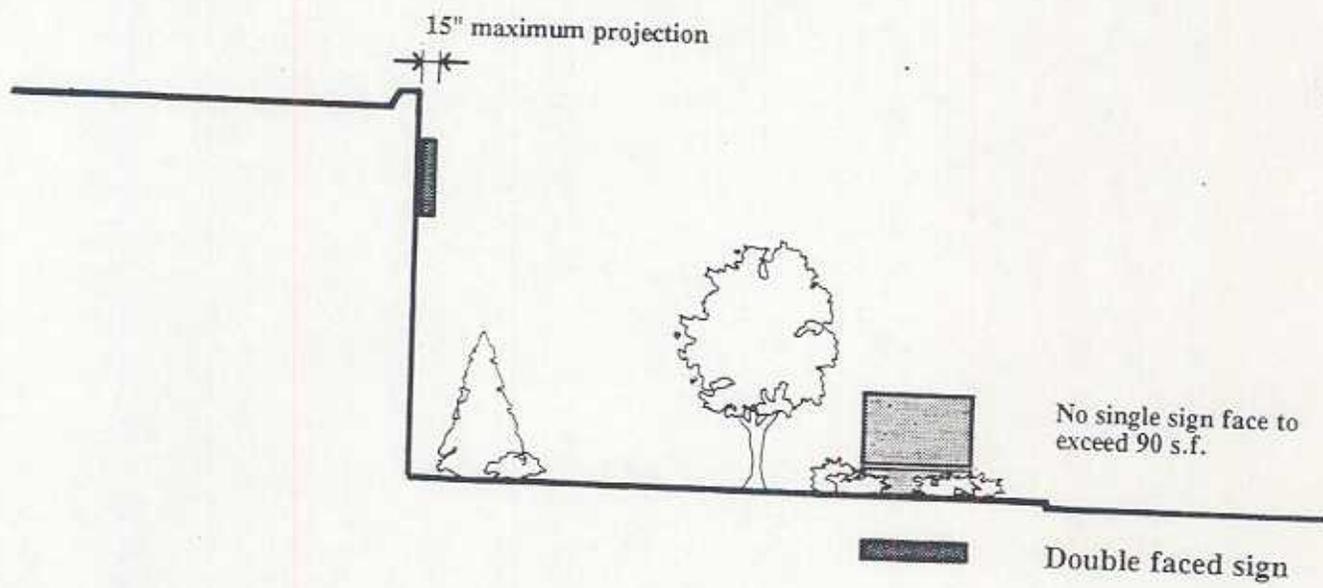
- Parking lot luminaires shall be mounted at not less than 18 feet. Based on the use of a cutoff luminaire, a mounting height of 25 feet is recommended.
- The minimum maintained illuminance in parking areas shall be 0.9 footcandles with an average to minimum uniformity of 4:1.
- Walkways may be illuminated by parking lot luminaires or bollards. When parking lot luminaires are used, the mounting height shall be the same as is used for the luminaire in the roadway or parking lot. When bollards or other low-mounted luminaires are used, the mounting height shall be less than 3.5 feet.

- The design average maintained illuminances for walkways shall be 0.9 footcandles on the horizontal plane and 2.0 footcandles on the vertical plane at 6 feet above the ground.
- The selection of walkway luminaires shall be coordinated with the remainder of the street furniture.
- The specific selection of light standards may vary from one area to another, but each should be part of a comprehensive signage and lighting package. Color, material and form should take on generally the same vocabulary as the signage system.

▪ General Performance Characteristics

- The light source for all system elements (except signage) shall be high pressure sodium vapor. As an option, "color-improved" lamps may be used in lieu of standard lamps. Also, for walkways and low mounting heights, diffuse (coated) lamps may be used to reduce glare.
- All areas shall be lit to the illumination levels recommended by the Illuminating Engineering Society (IES). In addition to the average illumination to minimum illumination ratio specified by the IES documents, the maximum illumination to minimum illumination ratio for the area being illuminated shall not exceed 10:1.
- Glare is a significant concern. Luminaires which are pole or structure mounted shall be shielded or of the "sharp cutoff" designation such that no light is directed above the horizontal plane through the luminaire. Ground mounted luminaires (landscape or architectural lighting) shall be shielded to prevent stray light from being directed into the eyes of pedestrians, drivers, or persons on adjacent property.

Signage



▪ Signage Overview

Signs shall be designed to be consistent in character with the business and its logo and to be integrated with the design of the building. Signs which are sculptural, creative and add light and life to the Seward Place Industrial Business Center are encouraged.

▪ Signage Criteria / General

- Signage shall be permanent in construction, readable and consistent in their graphic format.
- Only those signs which identify the business will be allowed.
- Illumination of signs is encouraged when the lighting is internal or designed to be directed only to the sign surface.
- Acceptable light sources are fluorescent, neon and high intensity discharge lamps.
- Flashing signs will not be allowed.
- As per the Minneapolis Sign Ordinance, the gross area of all business signs shall not exceed the following:
 - One story building - four (4) times the lineal street frontage of the site
 - Two story building - six (6) times the lineal street footage of the site

▪ Building Mounted Signs

- One sign shall be allowed for each street frontage.
- Each sign that is attached to a building shall be mounted to and not project more than 15 inches from the face wall and shall not extend above the top of the wall. No sign shall exceed 100 square feet in area or an area equal to 2% of the building wall surface area, whichever is smaller.
- No roof signs will be allowed.

▪ **Free Standing Signs**

- Each business will be allowed one free standing sign
- No sign shall exceed 12 feet in height
- Single faced signs shall not exceed 90 s.f.
- Double faced signs shall not exceed 180 s.f.
- Signs with three or more sign faces
shall not exceed60 s.f./face

▪ **Informational / Directional Signs**

A family of support signing to designate activity areas, delivery, parking, etc. is allowed. This signing shall be designed so as to be in harmony with the primary signage elements and the building design.

The largest sign in this family hierarchy cannot exceed 9 square feet.

MCDA Seward South Development Guidelines

The preceding design guidelines are intended as an amplification of the MCDA Development Guidelines and are structured to provide further definition to design issues and criteria. The Design Guidelines is not intended to replace the development objectives, parameters, regulations and controls contained in the MCDA document attached here for reference and information.

DEVELOPMENT GUIDELINES: SEWARD SOUTH REDEVELOPMENT AREA

- A. Objectives: The objective of these Guidelines is to provide for the development of an industrial park of high physical and design quality in which the maximum feasible development can be obtained given the limited land available. It will be expected that such development produce significant numbers of jobs and contribute significantly to the tax base of the City.
- B. Priorities: In view of the above objectives priority will be given to proposals which are industrial in character and to proposals which are multi-story. Priority will also be given to proposals which provide at least 1.5 FTE jobs per 1,000 square feet of building. Additional priorities will be given to proposals of City of Minneapolis based businesses providing at least 10% new jobs, those which will be completed within an 18 month period vs long-range expansion, and those which propose energy efficient buildings. Priority will be given to owner occupied vs speculative construction and to businesses displaced by public action.

C. Land Use Provisions and Building Requirements

Industrial:

New uses shall be restricted to the production, processing, cleaning, servicing, testing, repair, storage, or wholesaling of materials, goods or products. Due to the close proximity of this project to adjacent residential areas, uses producing obnoxious odors, smoke, noise, toxic or noxious matter, or excessive vibration will not be permitted. Other uses permitted may include but are not limited to:

Business and professional offices
Medical and dental clinics and offices
Printing and publishing
Public utility and service uses
Accessory uses incidental to and on the same zoning lot as the principal use
Private, professional, and technical schools
Parking structures

D. Additional Regulations, Controls, or Restrictions to be Imposed by This Urban Renewal Plan on the Sale of All Land Acquired

(1) Minimum Yard Requirements:

A twenty (20) foot setback from the front property line shall be required.

A five (5) foot setback from all other property lines shall be required plus two (2) feet per story for each story over one (1) story in height.

These minimum yard requirements may be adjusted by the Community Development Agency in and for the City of Minneapolis upon demonstration by the prospective developer that the objectives of the Urban Renewal Plan can better be met through other provisions or a modification of these requirements.

(2) Parking and Loading

The prospective developer of any new construction in this project must demonstrate that this proposal for parking and off-street loading will meet the requirements of the uses proposed. Such demonstration must cover the size of individual parking spaces, drive access lands, turning movement areas, whether for automobiles or trucks, and storage areas for snow.

Any existing use which acquires land from the Community Development Agency in and for the City of Minneapolis under this Urban Renewal Plan for additional site area must meet the parking and loading requirements for the entire development before constructing new buildings or building additions on the acquired land.

(3) Landscaping and Related Requirement

All new developments will be required to landscape or plant a minimum of 15 percent of the gross site area. Areas for vehicular traffic cannot be counted as landscaping. Pedestrian circulation space and other areas partly developed with planting will be counted at landscaping. Sites which abut adjacent residential districts outside the project boundary must be provided with solid screening not less than eight (8) feet in height set back five (5) feet from the property line next to the residential district. The five (5) foot setback must be landscaped. All landscaping, including the aforementioned screen walls, must be developed in a manner satisfactory to the Community Development Agency in and for the City of Minneapolis.

(4) The Floor-Area-Ratio of the building or buildings on any site sold for new development shall be no less than .4.

The Community Development Agency may give consideration to proposals of less than the .4 minimum required FAR upon demonstration by the prospective developer that expansion is likely in the near future and that a reasonable number of jobs would be provided by the development.

(5) Vehicular access to the project area via the cul-de-sacs and alleys lying north of East 25th Street shall be prohibited.

(6) Bulk and Height

The buildings should have a continuity of massing; and it should appear as a single entity and not a conglomeration of unrelated shapes, sizes, and colors.

(7) Exterior Materials

Exterior walls harmoniously designed, using quality maintenance-free materials such as face brick, prefinished metal panels, glass and/or curtain wall construction are preferred. Concrete blocks when surfaced with stucco, granite or masonry paints are permissible and are preferred to those requiring excessive maintenance.

All building facades visible from any public roadway shall be treated equally and as an architectural surface which is to be compatible with adjacent buildings.

All metal-clad or one hundred per cent painted concrete block buildings shall have other compensatory features justifying their acceptability.

Materials used for smaller elements such as light standards and landscaping screens shall be compatible with materials used in the building itself.

Any covered parking, whether separate or part of the primary structure, shall be visually integrated in terms of location, materials and design, with the primary structure.

(8) Open Storage and Screening

No storage of salvage, used materials, waste paper, scrap paper, rags, scrap metal, used bottles, trash, or junk (including inoperable vehicles) shall be allowed on a building site outside of a building or structure unless said material covers less than 400 square feet in land area, is screened completely from view, and is contained in a fireproof container suitable for the temporary storage thereof and designed for the permanent removal thereof.

All building sites are to be used primarily for the construction of structures or buildings and their appurtenances; however, after a building is constructed, the outside storage of personal property other than discussed above shall be allowed only when the following minimum requirements are met:

- Such storage areas shall be provided with a firm, dust-free and weed-free surface.
- Such areas shall conform with the setback requirements for buildings or other structures as established.
- Such areas shall be completely screened from view from any public street or other building site within the project. The screen may be provided by structure, architectural feature, wall, fence, landscape planting, landscaped earthen berm, or any combination thereof.
- Such screening shall be high enough to preclude visual contact with the enclosed area from points beyond the screening, one hundred per cent opaque, and shall be treated as an architectural surface and be compatible with adjacent buildings or structures.
- All exterior equipment (including roof-top equipment and mechanical systems) shall be masked from view with maintenance-free screening unless such equipment or systems is exposed consistent with the overall concept of the facility.

(9) Lighting System Plan

All lighting (functional, security, and ornamental) shall be coordinated and integrated with the total development.

Lighting fixtures should conform to the architectural design. The same quality standards for materials and finishes should apply.

Downward directed lighting fixtures as opposed to non-directed fixtures shall be used when the site is adjacent to any residential property or across the street from residences.

Street lighting should provide for pedestrian safety and security as well as automobile safety.

(10) Signage System Plan

General Sign Requirements

All signs, including informational, directional, and advertising, shall be designed as part of an overall sign system which is to be architecturally compatible with the overall design and quality of the proposed structure.

Signs must be readable, consistent, and have a pleasing figure and ground relationship.

Only those signs advertising or identifying the name and/or building, business, and/or products of businesses, corporations, or other entities lawfully occupying the site shall be allowed.

Night illumination of signs shall be permitted when the method used is direct and the overall visual effect is positive.

Neon and flashing signs shall not be allowed.

One identification sign shall be permitted for each place of business.

Each sign that is attached to a building shall be mounted to and flush with the wall and shall not extend above the top of the wall. Each sign shall not exceed 90 square feet in area or an area equal to two (2) percent of the building wall surface area, whichever is smaller.

An additional temporary sign may be erected, containing no more than 32 square feet of advertising space, for the purpose of offering the building or a portion thereof for sale, lease, or sublease.

Parking Signage

One sign per parking area shall be allowed for the purpose of designating allowed usage (e.g., guests, employees, commercial parking, etc.).

Each sign shall not exceed nine square feet in area.

Traffic control signs shall be designed so as to be part of the overall sign system.

(11) Required Documents

Community Development Agency staff will review developer's proposals to determine conformance with these building requirements. To facilitate this effort, the following documents shall be submitted for approval at appropriate times; site plan, construction, mechanical, and electrical system drawings; landscaping plan, grading and storm drainage plans; utility network and site connection plans; lighting system plan; signage system plan; and any other drawings or narrative deemed necessary by the developer and/or Agency staff to demonstrate the conformance of the development with the building requirements. In addition, all developers will prior to closing be required to have an approved Affirmative Action Plan and First Source Agreement. Following closing the Agency will require sufficient security to guarantee construction performance, and other guarantees pursuant to a redevelopment contract, and require compliance with the provisions of Davis Bacon regarding prevailing wages.

Applicability of Regulations and Controls

The requirements and provisions noted above in this Redevelopment Plan shall apply to all acquired property except where strict compliance thereto would, in the judgement of the Community Development Agency, either cause a hardship for an existing owner, or not be in the best interest of the project and the City, or would not contribute to the achievement of the objectives of the Redevelopment Plan, and shall remain in effect for 20 years from the date of the conveyance of the property title.

Applicability of Land Use Objectives and Provisions to Property Not Acquired

These requirements and provisions shall also apply to property not acquired when the owner acquires other project land from the Community Development Agency.