

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
HERITAGE PRESERVATION COMMISSION  
MINNEAPOLIS, MINNESOTA**

The undersigned hereby applies for a Certificate of Appropriateness, as authorized in section 599.330 of the Minneapolis Code of Ordinances.

1. This application is for (check all that apply):

New Construction	X
Rehabilitation	_____
Relocation	_____
Demolition	X
Sign/Awning	_____

2. Street Address of Affected Property:

25 West Island Avenue, Minneapolis, MN 55401  
201 Island Avenue East, Minneapolis, MN 55401

Legal Description: See Exhibit A attached hereto.

3. Name of Applicant: DeLaSalle High School c/o Michael O'Keefe

Address: One DeLaSalle Drive, Minneapolis, MN 55401-1597

Daytime Telephone: 612-676-7679

4. Name of Property Owner (if different than applicant): See Exhibit B attached hereto

5. Name of Architect or Contractor (if applicable): See Exhibit C attached hereto

6. Describe the project, including changes to important architectural details such as windows, doors, siding, railings, steps, roof, foundation, porches or ornamental features. Attach specifications for doors, windows, lighting and other ornamental features, if applicable, including color and material samples. NOTE: If applying for the demolition of a property, state the reasons for the demolition, including the economic value or usefulness of the existing structure, its current use, costs of renovation and feasible alternative uses. Attach additional documentation as needed:

See Statement in Support of Application attached hereto

7. Attach a list of property owners and mailing labels for property located within 350 feet of the affected property obtained from:

Hennepin County Taxpayer Services Division

A-600 Government Center  
300 South 6th Street  
Minneapolis, MN 55487  
(612) 348-5910

8. Attach three copies of plans for the project, including at least one copy that is reduced to 8 ½" x 11" or 11" x 17". Project plans must include a site plan, floor plan and all exterior elevations.
9. Attach photographs of all affected elevations of the project (no Polaroid pictures).

Signature of Applicant:

\_\_\_\_\_ Date: \_\_\_\_\_

Submit completed application and required attachments to:

Minneapolis Planning Department  
Room 210, City Hall  
350 South Fifth Street  
Minneapolis, MN 55415-1385  
Telephone: 612-673-2597

**For Planning Department use only:**

Date received: \_\_\_\_\_

Received by: \_\_\_\_\_

Date application complete: \_\_\_\_\_

Name of building: \_\_\_\_\_

Historic district (if applicable): \_\_\_\_\_

Public hearing date: \_\_\_\_\_

Date HPC Approved: \_\_\_\_\_

Date HPC Denied: \_\_\_\_\_

## EXHIBIT A

### LEGAL DESCRIPTION OF AFFECTED PROPERTY

#### **City of Minneapolis, by and through its Park and Recreation Board**

**Parcel 1:** All that part of Block 4, Nicollet Island described as follows: Commencing on the Southerly line of said Block 4 at a point distant 100 feet Westerly from the Easterly corner thereof; thence Westerly along the Southerly line of said Block 50 feet; thence at right angles to said Southerly line of said Block Northwesterly 126.01 feet; thence Easterly to a point in the line extending at right angles from the South line of said Block 4 starting from said point of beginning, and running Northwesterly 117.11  $\frac{2}{3}$  feet therefrom; thence Southeasterly 117.11  $\frac{2}{3}$  feet to beginning, according to the plat thereof on file or of record in the office of the Register of Deeds in and for said County.

**Parcel 2:** All that part of Block 4, Nicollet Island described as follows: Commencing at the Easterly corner of said Block 4; thence Westerly along the Southerly line of said Block 4, 100 feet; thence at right angles to said Southerly line Northwesterly 117.11  $\frac{2}{3}$  feet; thence Southeasterly to the Easterly line of said Block 4 at a point 99.33 feet from the place of beginning, thence to the place of beginning, according to the plat thereof on file or of record in the office of the Register of Deeds in and for said County.

**Parcel 3:** All of Block 4, Nicollet Island, except Parcels 1 and 2 described above.

#### **Diocese of Saint Paul, a religious corporation**

**Parcel 1:** All that part of Blocks 7 and 8, Nicollet Island described as follows:

Commencing at the Northwesterly corner of Block 7; thence Northeasterly along Grove Street 80 feet, thence at right angles Southeasterly 140 feet; thence at right angles Southwesterly 27 feet, thence at right angles Southeasterly 25 feet; thence at right angles Southwesterly 53 feet to alley; thence at right angles Northwesterly 165 feet to place of beginning.

**Parcel 2:** Blocks 1 and 2, "Eastman's Second Addition To Minneapolis", also the vacated alley between said Blocks 1 and 2, and the Northeasterly half of vacated alley lying Southwesterly of said Blocks 1, 7 & 8.

#### **Grove Street**

That part of Grove Street as dedicated in the plat of NICOLLET ISLAND, according to the recorded plat thereof, Hennepin County, Minnesota lying easterly of the southerly extension of the westerly line of Block 4, said NICOLLET ISLAND and lying westerly of a line drawn from the most easterly corner of said Block 4 to the most northerly corner of Block 1, EASTMAN'S SECOND ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.

EXHIBIT B

NAME OF PROPERTY OWNERS:

25 West Island Avenue, Minneapolis, MN 55401

Diocese of Saint Paul, a religious corporation  
c/o DeLaSalle High School  
One DeLaSalle Drive  
Minneapolis, MN 55401-1597  
Attn: Michael O'Keefe  
(612) 676-7679

201 Island Avenue East, Minneapolis, MN 55401

City of Minneapolis Park Board  
2117 West River Road  
Minneapolis, MN 55411  
Attn: Don Siggelkow  
(612) 230-6406

## EXHIBIT C

### NAMES OF ARCHITECTS

Jay Pomeroy  
Anderson—Johnson Associates  
7575 Golden Valley Road, Suite 200  
Minneapolis, MN 55427  
(763) 544-7129  
Lee Meyer, Architect

Kevin Halbach, Senior Planner  
KKE Architects, Inc.  
300 First Avenue  
Minneapolis, MN 55401  
(612) 339-9601

## **Statement in Support of Application for Certificate of Appropriateness**

DeLaSalle High School submits this Statement in Support of Application for Certificate of Appropriateness for a proposed Athletic Facility, consisting of an athletic field, spectator stand, and related improvements (the “project”) within the St. Anthony Falls Historic District.

### **Project Description**

DeLaSalle proposes to add a regulation size football field to the DeLaSalle High School campus on Nicollet Island, for shared use by DeLaSalle High School and the Minneapolis Park and Recreation Board (“MPRB”). The new field will also provide one regulation size soccer field and three junior soccer fields, all superimposed on the football field, and bleacher seating for up to 750 spectators.

The Athletic Facility will be built on three contiguous parcels of land (**Tab 4, Sheet 3**):

- (1) MPRB property bounded by the Nicollet Street bridge, the Burlington Northern Railroad right-of-way, East Island Avenue, and Grove Street,
- (2) the portion of the Grove Street right-of-way between Nicollet Street and East Island Avenue, and
- (3) the portion of the DeLaSalle property that DeLaSalle High School currently uses for its practice field.

The project also includes (1) resurfacing the existing impervious gravel parking lot between East Island Avenue and the Mississippi River (the “East Island Avenue Parking Lot”) with pervious grass pavers and (2) improvements to the existing private “Brother’s Park,” which is north of the existing DeLaSalle High School Building, to provide athletic practice facilities and improve public access to and through the new athletic field.

### **Procedural Background**

**Reciprocal Use Agreement.** The Applicant, DeLaSalle High School, is submitting this Application with the cooperation of MPRB pursuant to a Reciprocal Use Agreement (“RUA”) between MPRB and DeLaSalle, a copy of which is included in **Tab 2** of this Application. Under the RUA, DeLaSalle and MPRB each agreed to allow DeLaSalle to develop the athletic facility on the project site, at DeLaSalle’s expense, for shared use by DeLaSalle and MPRB for a term of 30 years, subject to extension for two additional 20 year terms. The RUA also requires DeLaSalle to repave the East Island Avenue Parking Lot, at DeLaSalle’s expense. The RUA does not require MPRB or DeLaSalle to sell, lease, transfer, exchange or otherwise convey real property to DeLaSalle or MPRB. The RUA provides DeLaSalle the authority and obligation to proceed with applications for all governmental approvals required for the project. The process by which MPRB approved the RUA and the design of the proposed project is discussed below.

**1983 Nicollet Island Agreement.** On May 19, 1983 the MPRB entered into an agreement with the Minneapolis Community Development Agency (“MCDA”) under which the MCDA acquired and transferred lands on Nicollet Island to the MPRB for the redevelopment (the “Nicollet Island Agreement”). Section 1.2 of the Nicollet Island Agreement, specifically requires the MPRB to “use its best efforts to construct upon property adjacent to the DeLaSalle property an outdoor neighborhood recreational Athletic Facility . . . .” The Nicollet Island Agreement specifically defines the Athletic Facility to include tennis courts and a football field. The Nicollet Island Agreement also required the MPRB and DeLaSalle to enter into the Reciprocal Use Agreement for shared use of the Athletic Facility as a condition precedent to constructing the Athletic Facility.

**MPRB Approvals/Citizens Advisory Committee.** DeLaSalle and the MPRB developed the design for the project through the MPRB Citizen Advisory Committee (“CAC”) process, pursuant to Minneapolis Park and Recreation Board Ordinance PB-11. By Resolution in the fall of 2005, the MPRB established a 22-person CAC composed of representatives of various constituencies, appointed by the Mayor, the MPRB Commissioners, and City Council Members. The Resolution ordered the CAC “to review all aspects of the project including the detailed site plan, design, location, and use of the proposed athletic facility.” Although the Resolution specifically limited consideration of alternative locations “to adjacent parkland,” the CAC did discuss site alternatives off of the Nicollet Island. Copies of the alternative plans DeLaSalle presented to the CAC are attached to this Application. **(Tab 2).** The October 4, 2005 presentation includes a discussion of alternative locations. The September 29 presentation shows the Concept Plan the CAC recommended for approval. The MPRB adopted the CAC recommendations and approved the Concept Plan after public hearings. The MPRB also authorized DeLaSalle to include the MPRB property in an Environmental Assessment Worksheet (“EAW”) for the project and resolved to proceed with negotiations of the RUA only after the City of Minneapolis completed the environmental review process.

**Environmental Review.** Because the proposed project is located in an historic district, the City of Minneapolis ordered and prepared an EAW to determine whether the project had potential for significant adverse environmental effects. With respect to impacts on historical resources, the City of Minneapolis concluded (1) the proposed construction did not appear to have an adverse impact on historical resources within the area, and (2) “the proposed vacation and demolition of a portion of Grove Street will constitute an adverse impact on the historic district.” The City nevertheless concluded that there was no need for further environmental review because the City possesses authority through its land use and HPC approval processes to “address, mitigate or avoid the environmental effects identified in the EAW . . . .” The completed EAW is attached to this Application. **(Tab 3).** Documents incorporated by reference in the EAW are also attached to this Application. **(Tab 3, behind sub-tab labeled “EAW-Documents Incorporated by Reference).** Documents incorporated by reference in the EAW include Literature Search for Archaeological Potential, prepared by Two Pines Resource Group Resource Group, LLC and Historical Resource Survey, prepared by Carole Zellie, Landscape Research LLC. The full text of the Final Findings of Fact and Record for Decision, including public comment, is available on the City of Minneapolis website, at:

[http://www.ci.minneapolis.mn.us/planning/docs/DeLaSalle\\_Final\\_Findings.pdf](http://www.ci.minneapolis.mn.us/planning/docs/DeLaSalle_Final_Findings.pdf).

## HISTORICAL ANALYSIS

DeLaSalle acknowledges the historical significance of the east portion of Grove Street, on which DeLaSalle proposes to construct a portion of the project, but believes it is nevertheless appropriate to proceed with the project because of countervailing considerations and proposed mitigation measures.

The Historical Resource Survey (**Tab 3; Documents Incorporated by Reference**) identifies three properties within the project area that contribute to the St. Anthony Falls Historic District: Grove Street, Grove Street Flats, and the St. Paul and Pacific Railroad (now Burlington Northern) alignment. The City concluded in its Findings of Fact and Final Record for Decision that Grove Street Flats, and the St. Paul and Pacific Railroad were not adversely impacted by the proposed construction. The City also concluded that vacation and demolition of a portion of Grove Street would have an adverse impact on the historic district.

### HISTORY OF DEVELOPMENT ON NICOLLET ISLAND

The Historical Resource Survey discloses a history of changing, and often conflicting, uses on Nicollet Island generally and on Grove Street specifically. From its platting in 1865, Nicollet Island was intended as “an address for the city’s elite.” Historical Resource Survey, page 10. As early as 1886, the character of Grove Street started to change, with the construction of the Minneapolis Cold Storage Company facility between Nicollet Street and West Island Avenue. By 1922 most of the land on Grove Street between Nicollet Street and East Island Avenue was taken up by Twin City Tile and Marble Co. and a store fixture company. Twin City Tile and Marble also used the riverfront area that is now the location of the East Island Avenue surface parking lot for storage. In the 1950s, that parking area was also the site of a concrete garage building that has since been demolished. Historical Resource Survey, page 18.

DeLaSalle High School established its home on Nicollet Island, on the south side of Grove Street, in 1898, and has owned all of the land bounded by Grove Street, East Island Avenue, Hennepin Avenue and West Island Avenue since the 1950s. DeLaSalle is the oldest continuous use surviving on Nicollet Island. Historical Resource Survey, pages 16-18.

In 1971, Nicollet Island was listed on the National Registrar of Historic Places as a portion of the St. Anthony Falls Historic District. At the time, the DeLaSalle High School campus incorporated all of the land between Grove Street and Hennepin Avenue, as it does today. In 1971, Twin City Tile and Marble was still operating on the land that is now owned by the MPRB and developed with tennis courts and open space, which is the land the MPRB proposes to provide for a portion of the proposed Athletic Facility.

In 1983, pursuant to agreements among the Metropolitan Council, The Minneapolis Park and Recreation Board and the MCDA, the MCDA acquired all of the land on Nicollet Island other than DeLaSalle High School, Grove Street Flats, and 20 Grove Street (the 1960’s Hertz truck maintenance building now converted to apartments), for development of a regional park.

The 1983 agreements, including the Nicollet Island Agreement, provide for use of park land for private purposes that are not traditional park uses. North of the railroad right-of-way, the MPRB entered into 99-year leases with private parties, who occupy the homes in consideration for nominal rents and covenants to maintain the homes in historical condition. South of Hennepin Avenue, private businesses operate Nicollet Island Inn and a catering business on park property.

In order to ensure the survival of DeLaSalle High School as an educational institution on Nicollet Island, and in recognition of the fact that converting Nicollet Island to park land deprived DeLaSalle of an opportunity to expand, the Nicollet Island Agreement allowed DeLaSalle to construct an athletic facility on park land adjacent to the existing DeLaSalle athletic fields on essentially the same terms as the other private parties on Nicollet Island, except that DeLaSalle was required to share its use.

Although the property along Grove Street was in residential and institutional use during the period of historic significance (1865 to 1900), and in industrial, institutional and residential use at the time of the 1971 historic designation and the 1983 acquisition, the MPRB developed the land it controls on Grove Street as a set of three tennis courts and passive open space. The tennis courts were inconsistent with the regional park designation and the passive open space was inconsistent with the historic designation.

Planning for the development of Nicollet Island has also been varied and sometimes inconsistent. The 1917 Plan of Minneapolis, called for development of an Olympic-class sports stadium and “aeroport.” Other proposed uses included a museum, open space, office buildings, a freeway, and park. The 1996 Nicollet Island Master Plan primarily addresses streetscape improvements designed to complement the historic district. (Historic Resource Survey, page 19)

## **MITIGATION**

The proposed design incorporates the following elements that mitigate the impact of closing a portion of Grove Street:

- (1) An opening in the bleacher structure will align with the center line of Grove Street, marking the location of the street and preserving some of the views down Grove Street from the west.
- (2) Paving and landscaping will indicate the east and west ends of the closed portion of Grove Street.
- (3) New public pedestrian paths through the project site will preserve and enhance pedestrian connections between East Island Avenue and the intersection of Grove and Nicollet Streets.
- (4) Rock-faced masonry retaining walls and painted metal fences will replace existing wood retaining walls and chain-link fences with materials that are consistent with recent improvements to Nicollet Island, including the new Nicollet Street bridge, and other improvements in the St. Anthony Falls Historic District.

- (5) New improvements will displace existing tennis courts and pastoral landscaping that are inconsistent with the residential development of the 1860s through 1890s and the industrial development of the 1900s through 1980s with improvements that are consistent with the more manicured landscapes of an affluent residential district of the late 19th Century, which is the period of historic significance for the district.
- (6) Although the parking lot improvements on East Island Avenue do not directly impact Grove Street, those improvements will replace an ad hoc eyesore of a gravel parking lot with an orderly, landscaped parking area that is more consistent with the period of historic significance.
- (7) A niche in the retaining wall at the intersection of East Island Avenue and Grove Street will provide a location for a Nicollet Island historical display.

### **OTHER CONSIDERATIONS**

The closure of the east portion of Grove Street will not cause irreparable harm to any historic resource. No physical element of the original Grove Street remains as of this date. Historic Resources Survey, page 20. The current concrete curbs and modern brick pavers were installed in the 1990's. The alignment of the south curb of the roadway was reconfigured in the 1980's. The approach to the Nicollet Street bridge was also recently reconstructed, along with the bridge itself.

The historical context of the east half of Grove Street is also gone. The historic DeLaitre and Bassett and other residences on the north side of the street were razed in the 1920s for the one-story Twin City Tile and Marble Co. building and its storage yard. The Twin City Tile and Marble Co. facility occupied the site in 1971 when Nicollet Island was listed on the National Registrar of Historic Places. The City of Minneapolis razed Twin City Tile and Marble in the 1980s and replaced it with the tennis courts and open space that exist today. On the south side of the east half of Grove Street, DeLaSalle's practice field has replaced the two original residential structures. Historic Resources Survey, pages 18-19.

A street closing is reversible. DeLaSalle proposes to alter grades and install new improvements over the location of a portion of existing Grove Street. DeLaSalle does not propose to demolish irreplaceable historic resources. Nothing in the DeLaSalle project would prevent re-establishment of Grove Street in the future.

## CONCLUSION

DeLaSalle High School respectfully requests a Certificate of Appropriateness for the proposed project, including closing Grove Street, constructing the Athletic Facility, and repaving the East Island Avenue parking lot. Through the EAW process, the City has determined that vacation and demolition of a portion of Grove Street is the only element of the project that will have an adverse impact on the historic district. The project is nevertheless appropriate for the historic district as follows:

- (1) No historic improvements remain on or around the portion of Grove Street that will be closed.
- (2) The project supports the preservation and continuation of DeLaSalle High School, the oldest continuous historic use on Nicollet Island, which is also an important educational resource for Minneapolis and the region for the present and future.
- (3) Because the affected resource is the location of the street grid, and not any existing physical improvement, the impact is reversible.
- (4) The project displaces three uses that are inconsistent with the historic district: asphalt tennis courts, pastoral landscaping, and a gravel-surfaced parking lot.
- (5) Proposed new painted metal fences, masonry retaining walls and landscaping along East Island Avenue replace wood retaining walls, chain link fencing and landscaping that are inconsistent with the historic district.
- (6) Proposed sidewalk improvements along East Island Avenue and new pedestrian paths through the site will enhance the experience of visitors to Nicollet Island.
- (7) Mitigation measures including demarcation of the original alignment of Grove Street and an historical information display at the intersection of Grove Street and East Island Avenue will provide educational opportunity for visitors.

# ATHLETIC FACILITY

## DeLaSalle High School

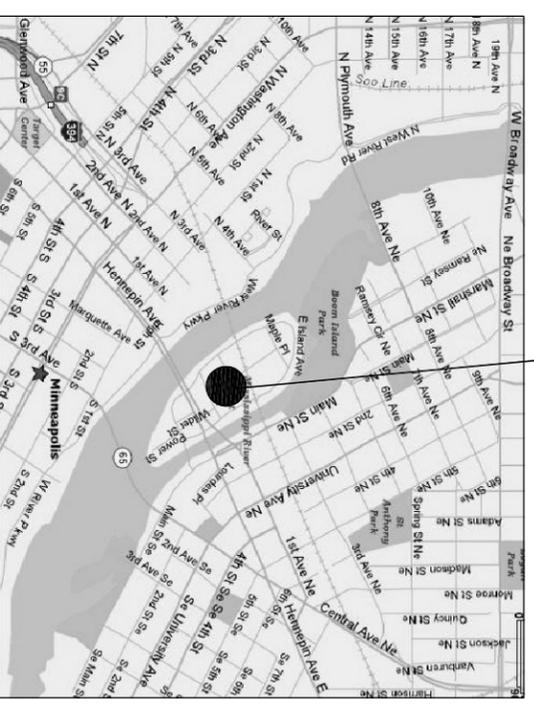
### Minneapolis Park & Recreation Board

## DELASALLE HIGH SCHOOL

### 1 DELASALLE AVENUE

### MINNEAPOLIS, MINNESOTA

#### VICINITY MAP



DELASALLE HIGH SCHOOL  
1 DELASALLE AVENUE  
MINNEAPOLIS, MINNESOTA

#### GENERAL NOTES

1. REFER TO SHEET C3 FOR GENERAL NOTES.
2. INSPECT SITE AND REVIEW SOIL BORING LOGS TO DETERMINE EXTENT AND NATURE OF EARTHWORK.
3. INSTALL BARRICADES OR FENCING AS NECESSARY TO FULLY SECURE SITE AND TO PROTECT PUBLIC.
4. ALL PHYSICAL ELEMENTS IMPACTING CONSTRUCTION AND REQUIRING REMOVAL, MAY NOT BE IDENTIFIED ON THE REMOVALS PLAN. THE CONTRACTOR MUST VISIT THE SITE, PRIOR TO BIDDING, TO CONFIRM OR TO SUPPLEMENT THE EXTENT OF REMOVAL WORK NECESSARY.
5. CHECK ALL DIMENSIONS AND VERIFY BEFORE STAKING.
6. INSTALL EROSION CONTROL DEVICES BEFORE BEGINNING EXCAVATING OR GRADING. MAINTAIN AND REPAIR UNTIL CONSTRUCTION IS COMPLETE.
7. LOCATE ALL ON-SITE UTILITIES BEFORE BEGINNING CONSTRUCTION. THERE WILL BE NO ADDITIONAL COMPENSATION FOR CONTRACTOR'S LACK OF VERIFICATION OR OMISSION BY LOCATION SERVICE.
8. PROTECT EXISTING PLANT AND FACILITIES WHICH ARE TO REMAIN.
9. SALVAGE TOPSOIL, INCLUDING SAND-BASED SOIL, MEDIUM OF EXISTING PRACTICE FIELD, FOR REUSE. PRIOR TO STRIPPING TOPSOIL, SPRAY GRASS WITH ROUNDUP AND THOROUGHLY DISK OR ROTOTILL VEGETATION INTO SOIL.
10. PROVIDE ALL MATERIALS NECESSARY TO CONSTRUCT NEW FACILITIES. REMOVE ALL UNSUITABLE AND/OR EXCESS EARTH MATERIALS FROM SITE AS MAY BE NECESSARY TO ACCOMPLISH PROPOSED ELEVATIONS.
11. MAINTAIN DUST CONTROL DURING CONSTRUCTION OPERATIONS.
12. LIMIT ACTIVITIES TO THE CONSTRUCTION SITE.
13. MAINTAIN ADJACENT CITY STREETS CONTINUOUSLY CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS DURING ALL SITE OPERATIONS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
14. ALL CONSTRUCTION MUST COMPLY WITH APPLICABLE CODES AND ORDINANCES.
15. BENCH MARK - REFER TO APPLICABLE SHEETS.

#### DRAWING INDEX

- |    |   |
|----|---|
| 1  | TITLE SHEET                               |
| 2  | EXISTING CONDITIONS AND REMOVALS PLAN     |
| 3  | LAYOUT PLAN                               |
| 4  | GRADING AND DRAINAGE PLAN                 |
| 5  | EROSION AND SEDIMENT CONTROL PLAN (SWPPP) |
| 6  | UTILITY PLAN                              |
| 7  | LANDSCAPING PLAN                          |
| 8  | SITE DETAILS                              |
| 9  | SITE DETAILS                              |
| 10 | SITE DETAILS                              |
| B1 | BLEACHER AND STRUCTURE PLANS AND SECTIONS |
| B2 | BLEACHER ELEVATIONS AND VIEWS             |
| B3 | ENTRY DEVELOPMENT STAIR DETAILS           |
| B4 | FACILITY VIEW                             |
| B5 | LOCATION STUDIES                          |
| B6 | SITE PHOTOS (EXISTING)                    |

PRELIMINARY DRAFT  
HPC SUBMITTAL

Project No.	05078
Date	06/01/06
Drawn By	JRP
Ck. By	DLJ
Revisions	

#### SITE DETAILS

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed ENGINEER under the laws of the State of Minnesota.

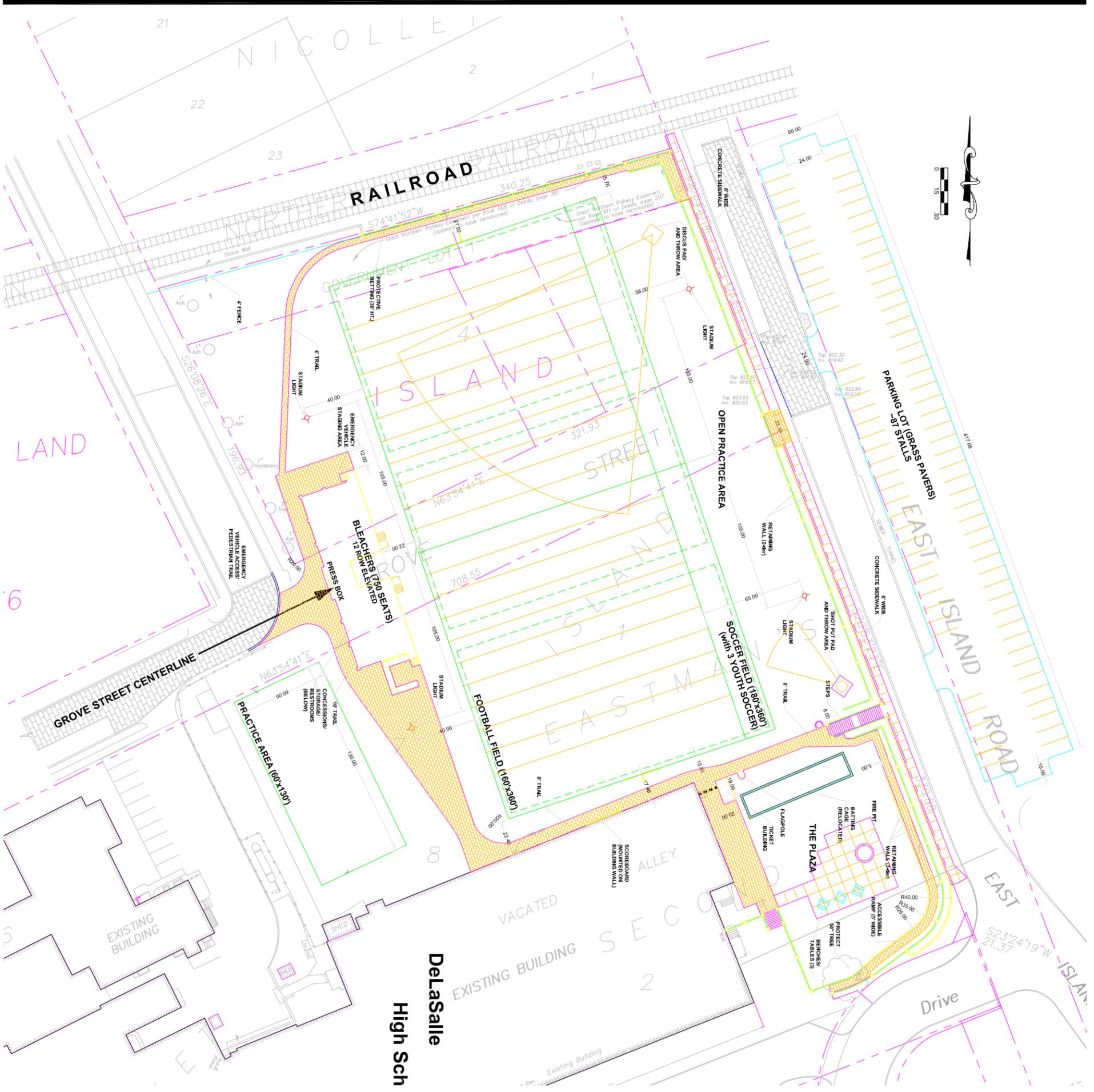
DANIEL L. JOHNSON  
Reg. No. 17279 Date 06/01/06



ANDERSON - JOHNSON  
ASSOCIATES,  
INC.

LANDSCAPE ARCHITECTURE • SITE PLANNING • CIVIL ENGINEERING  
7575 GOLDEN VALLEY ROAD • SUITE 200 • MINNEAPOLIS, MN 55427  
FAX (763) 544-0331 • PH (763) 544-7129

ATHLETIC FACILITY  
DELASALLE HIGH SCHOOL  
MINNEAPOLIS PARK & RECREATION BOARD  
MINNEAPOLIS, MINNESOTA

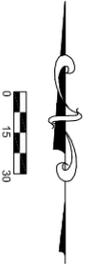


- NOTES**
1. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
  2. ALL APPLICABLE DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURSOR CENTERLINE OF FENCE, UNLESS OTHERWISE NOTED.
  3. REFER TO ARCHITECTURAL PLANS FOR BUILDING AND STOOP DIMENSIONS AND LAYOUT.



RETAINING AND SEAT WALLS

PRELIMINARY DRAFT  
HPC SUBMITTAL



**PLANTING, SEEDING AND SODDING NOTES:**

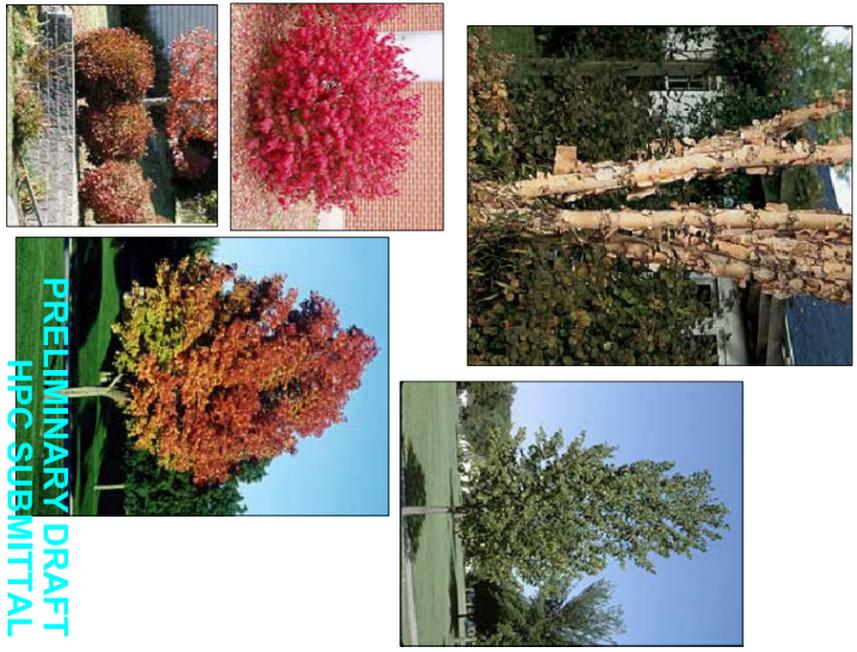
1. LANDSCAPE ARCHITECT MUST INSPECT AND APPROVE FINISH GRADING BEFORE CONTRACTOR PROCEEDS WITH SEEDING OR SODDING.
2. ALL DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE SEEDED OR SODDED, UNLESS OTHERWISE NOTED.
3. BEGIN TURF ESTABLISHMENT IMMEDIATELY AFTER SEEDING AND SODDING. REFER TO SPECIFICATION FOR PROCEDURE.
4. ALL TREES TO BE BALLED AND BURLAPPED.
5. ALL TREES AND SHRUBS SHALL RECEIVE 4" DEPTH OF CLEAN SHREDED HARDWOOD MULCH.
6. ALL SHRUB BEDS SHALL BE EDGED WITH A POLY-EDGER STAKED AT 5' O.C. MAX. SHRUB BEDS TO RECEIVE 4" DEPTH OF CLEAN SHREDED HARDWOOD MULCH OVER 4 MIL. WEED BARRIER.
7. ALL PLANT MATERIALS SHALL BE NO. 1 QUALITY, NURSERY-GROWN AND SPECIMENS MUST BE MATCHED. ALL OVERSTORY TREES MUST BE PLANTED TO DRIVE AND IN PARKING LOT SHOULD BEGIN BRANCHING NO LOWER THAN 6'.
8. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO PLANTING RELOCATED TREES FOR FIELD LOCATION BY LANDSCAPE ARCHITECT.

**LEGEND**

- REFERENCE KEY TO SITE DETAILS  
DETAIL ID, NUMBER (TOP)  
SHEET NUMBER (BOTTOM)
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB BED - 3" DEPTH  
WOOD MULCH OVER 4 MIL. WEED BARRIER.  
SPACE PLANTS EVENLY APART.
- SEED / SOD LIMITS

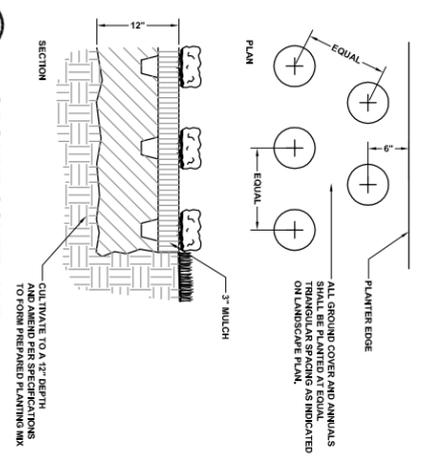
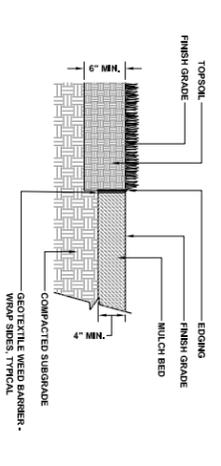
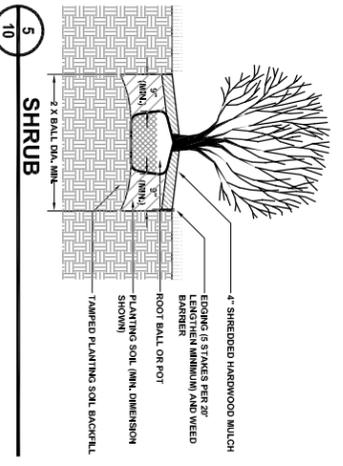
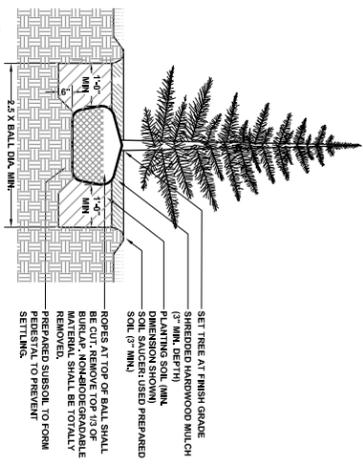
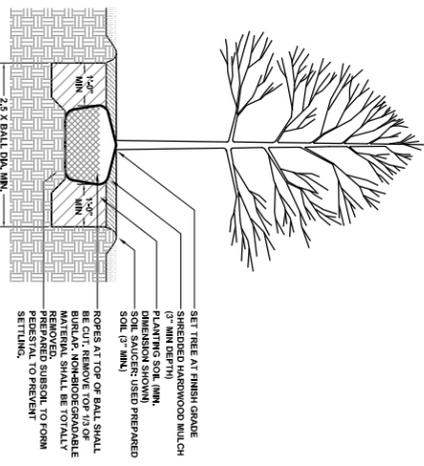
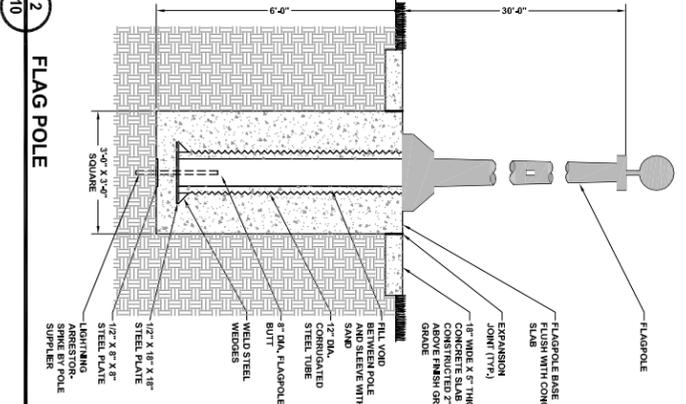
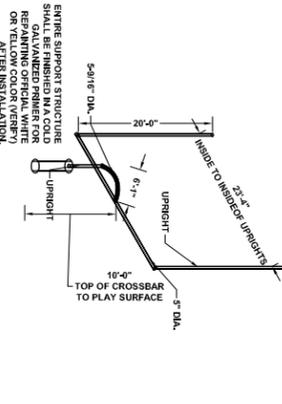
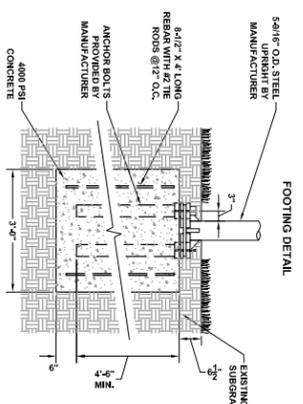
**NATIVE TREES AND SHRUBS**

- SUBARALPINE
- HICKORY
- HACKBERRY
- AMERICAN LINDEN
- BURNING BUSH
- AMER. CRANBERRYBUSH VIBURNUM



**PRELIMINARY DRAFT  
HPC SUBMITTAL**





6 SHRUB BED EDGING

3 DECIDUOUS TREE

4 CONIFEROUS TREE

5 SHRUB

2 FLAG POLE

10 FOOTBALL GOAL POST (CANTILEVER)

7 GROUND COVER AND PERENNIALS

Project No. 05078  
 Date 06/01/06  
 Drawn By JRP  
 Ck. By DLJ  
 Revisions

SITE DETAILS

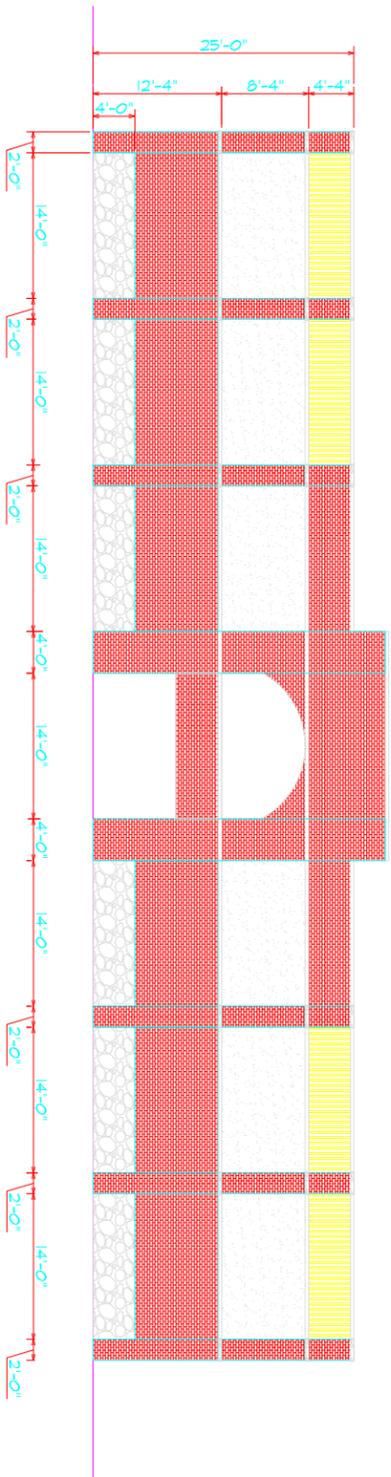
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed ENGINEER under the laws of the State of Minnesota.  
 DANIEL L. JOHNSON  
 Reg. No. 17279 Date 06/01/06



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 LANDSCAPE ARCHITECTURE • SITE PLANNING • CIVIL ENGINEERING  
 7575 GOLDEN VALLEY ROAD SUITE 200 MINNEAPOLIS, MN 55427  
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ATHLETIC FACILITY  
 DELASALLE HIGH SCHOOL  
 MINNEAPOLIS PARK & RECREATION BOARD  
 MINNEAPOLIS, MINNESOTA





**04** BLEACHER ELEVATION W  
SCALE: 1/8" = 1'-0"



**06** BLEACHER SIDE VIEW  
SCALE: No Scale

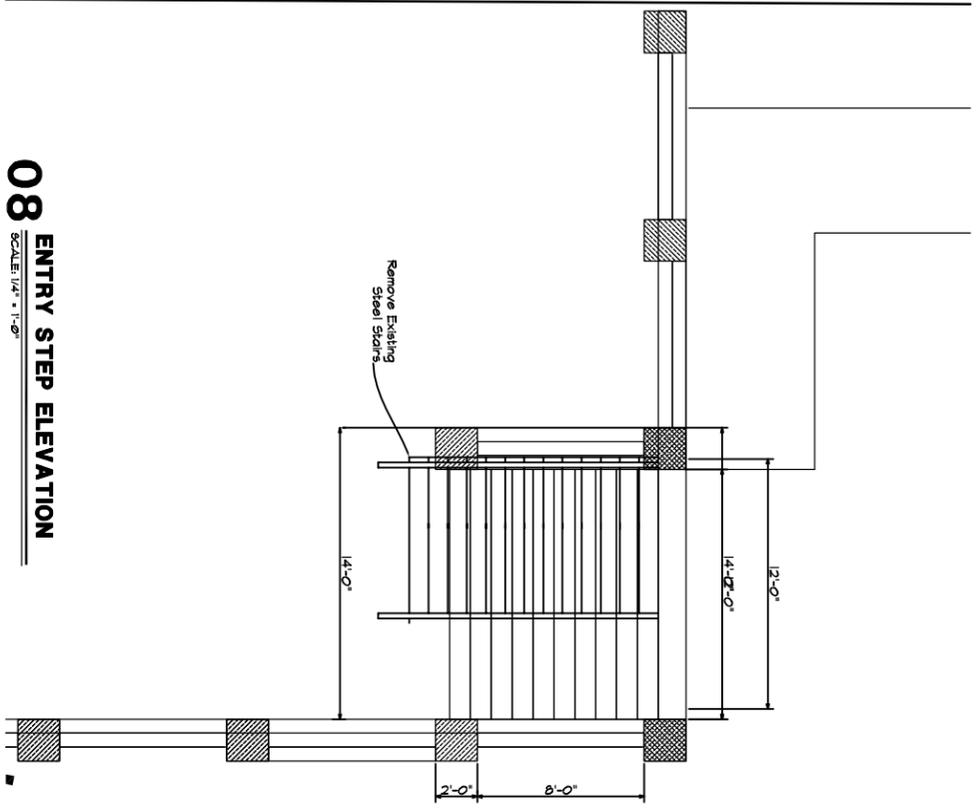


**05** BLEACHER FRONT VIEW  
SCALE: No Scale

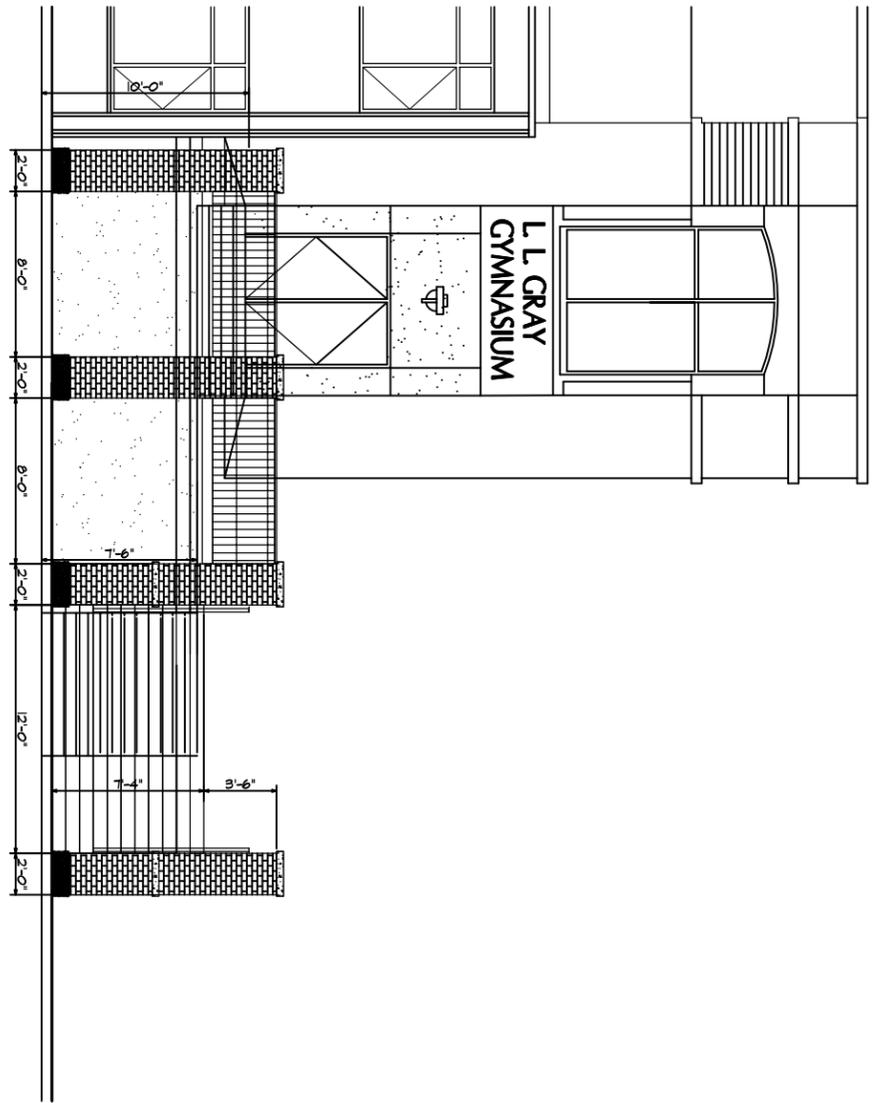


**07** BLEACHER BACK VIEW  
SCALE: No Scale

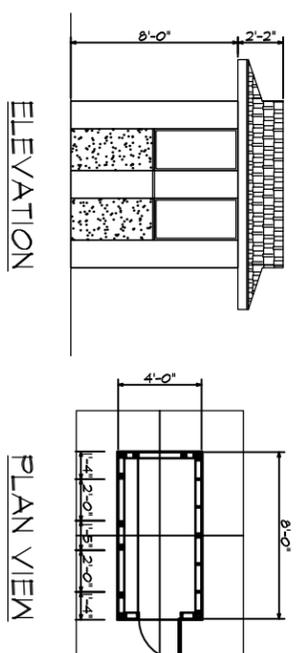
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**08** ENTRY STEP ELEVATION  
SCALE: 1/4" = 1'-0"



**09** ENTRY STEP ELEVATION  
SCALE: 1/4" = 1'-0"



**10** TICKET BOOTH DETAIL  
SCALE: 1/4" = 1'-0"

ELEVATION

PLAN VIEW

Project No.	_____
Date	06/01/06
Drawn By	KWH
Ck. By	KWH
Revisions	_____

**ENTRY DEVELOPMENT  
STAIR DETAILS**

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed ARCHITECT under the laws of the State of Minnesota.

**KEVIN WM. HALBACH, AIA**  
Reg. No. 15123 Date 06/01/06



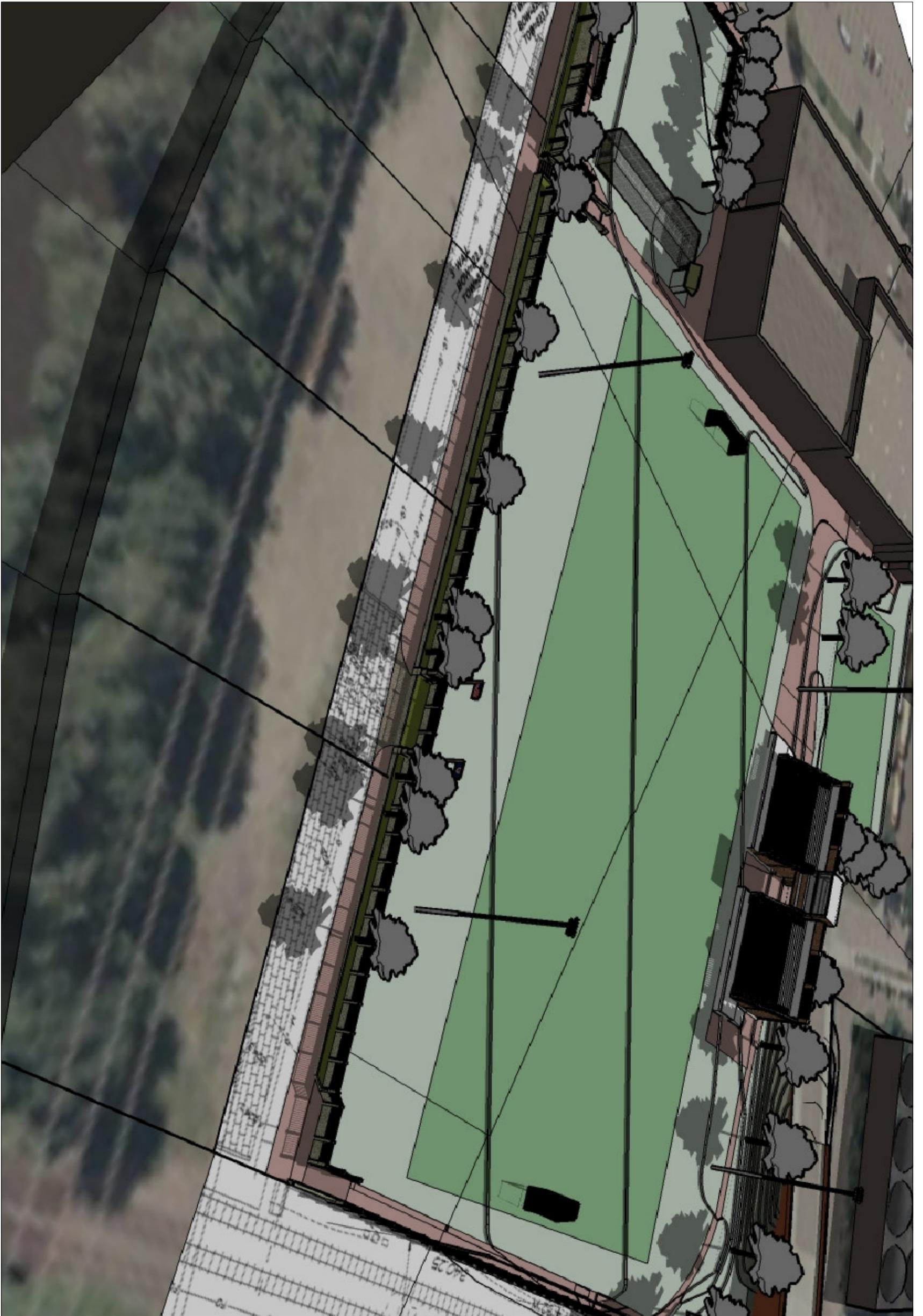
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1 SITE DEVELOPMENT CONCEPT  
SCALE: 1/8" = 1'-0"

PRELIMINARY DRAFT  
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Sheet

**B4**

of 6

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KEVIN WM. HALBACH, AIA  
Reg. No. 15123 Date 06/01/06

**FACILITY VIEW**

Project No. \_\_\_\_\_  
Date 06/01/06  
Drawn By KWH  
Ck. By KWH  
Revisions \_\_\_\_\_  
\_\_\_\_\_



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