



Minneapolis Development Review  
250 South 4<sup>th</sup> Street  
Room 300  
Minneapolis, MN 55415

## Preliminary Development Review Report

**Development Coordinator Assigned:** **JENNIFER THORESON**  
**(612) 673-5867**  
**jennifer.thoreson@minneapolismn.gov**

<b>Status *</b>

<b>Tracking Number:</b>	PDR 1001426
<b>Applicant:</b>	PROJECT PRIDE IN LIVING 1035 EAST FRANKLIN AVE MPLS, MN 55404
<b>Site Address:</b>	41 12TH ST N
<b>Date Submitted:</b>	12-APR-2016
<b>Date Reviewed:</b>	20-APR-2016

### Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: [http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions\\_home.asp](http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp).

**DISCLAIMER:** *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

### Project Scope

Renovation and addition of Youthlink's office space and an addition of five stories of 46 unit housing units with associated office and amenity space on sublevel and level 1.

### Review Findings (by Discipline)

#### Zoning - Planning

- Staff has identified the following land use applications for the project:
- Rezoning from I1 and B4C-1 to B4C-1.
- Site plan review.
- Preliminary and final plat.
- Vacation of a portion of North 12th Street between Chestnut and Linden Avenues.

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\***Approved:** You may continue to the next phase of developing your project.

\***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

**□ Addressing**

- We will use the same address for the YouthLink addition (41 12th Street N) as the existing YouthLink building. The residential addition will be addressed as 1205 Chestnut Ave.
- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Contact Development Coordinator for new address assignment. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- When assigning suite sequences the following guidelines are as follows:
  - The first one to two digits of the suite sequence number will designate the floor number of the site.
  - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
  - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
  - Please provide each condo, suite, unit or apartment number.

**□ Parks - Forestry**

- Contact Craig Pinkalla (cpinkalla@minneapolisparcs.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance: <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project YouthLink addition and new residential construction, the calculated dedication fee is as follows:
 

Residential (46 units are affordable) - 1 x \$1521	= \$1521.00
Administrative Fee - 5% of \$1521	= \$ 76.05
<b>Total</b>	<b>= \$1597.05</b>
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal. For further information, please contact Jennifer Thoreson at 612-673-5867.

**□ Right of Way**

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application.
- Please contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way. If the racks are privately owned, they will require an encroachment permit.
- The Applicant shall continue to work with Bob Boblett at (612) 673-2428, regarding the vacation of 12th St. N. and securing the proper permits from Mn/DOT related to proposed utility work within the Mn/DOT right-of-way.

### □ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

### □ Sidewalk

- The plans indicate that a portion of the drive apron, curb and gutter and sidewalk will be removed and replaced along Chestnut Avenue. Please modify the plans to indicate that the sidewalk will be carried through the new driveway.
- Note to the Applicant: Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any concrete infrastructure damaged during construction, must be removed and replaced.
- All existing and proposed trees in the Public right-of-way are subject to the review and approval of the Minneapolis Park Board. Please contact Craig Pinkalla at (612) 499-9233 to discuss tree species removal and/or selection, planting method, spacing and locations.

### □ Traffic and Parking

- The plans reference the potential for an optional curb cut off of Linden Avenue. Due to heavy vehicular volumes, speeds and proximity to the freeway ramp, detailed information must be provided regarding the need for this access point (including parking requirements, vehicle counts, truck types, delivery schedules, etc.) as well as an explanation regarding why other on-site options would not work. It should not be assumed that the curb cut to Linden Avenue will be approved without further review of the requested additional traffic information.
- Please note that the streets adjacent to the site need to remain open during construction in order for Metro Transit bus circulation. Metro Transit buses currently use Linden Avenue to 15th Street to Chestnut Avenue. In addition there is a PM layover for buses on Chestnut Avenue nearside of 12th Street. This layover area must be preserved during and after construction. Metro Transit has already minimized this layover, making it smaller in order to accommodate surrounding business complaints.
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the loading dock/parking entrance areas.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Joseph Laurin at 612-673-5987 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels. Please be aware that 12th St N is identified as a Pedestrian Street Light Corridor per the Street Light Policy. The Minneapolis Street Light policy is available at the following:  
<http://www.minneapolismn.gov/publicworks/streetlighting/index.htm>
- All street lights shall be designed and constructed to City standards. Please refer to the following:  
[http://www.ci.minneapolis.mn.us/publicworks/plates/public-works\\_traffic](http://www.ci.minneapolis.mn.us/publicworks/plates/public-works_traffic).
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
- Note to the Applicant: Please add the following notes to the site plan:
  - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.

- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

#### □ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.
- Note to the Applicant: The proposed irrigation system cannot be tied directly to the City watermain; irrigation supply must be plumbed from a source internal to the building.

#### □ Sewer Design

**Groundwater:** Please identify the lowest floor elevation on the grading plan and provide a copy of any geotechnical reports for the site. Please also identify on the plan if any groundwater discharge would be proposed to keep the below grade portions of the building dry after completion of construction.

**Stormwater Management:** The stormwater flows for Drainage Area 2 in the 10-year event on Sheet C600 appears to be incorrect. There is a flow identified for the 2-year event, but none for the 10-year. This does not seem accurate.

- Sheet C200 includes a couple of notes on the plans indicating "Stormwater Garden" on the east side of the site. It does not appear that any stormwater management BMPs are proposed in those location however. Please clarify. One of the locations is also located outside the property boundaries, on Mn/DOT right-of-way. If a stormwater BMP were proposed here a permit from Mn/DOT would be required.
- Please identify the existing and proposed impervious square footages within the disturbed area.

**Utility Connections:** The proposed sanitary and storm sewers appear to be located partially outside the property boundaries on the southeast side. As this appears to be Mn/DOT right-of-way, a permit will be required from Mn/DOT. Please provide a copy of the approved permit from Mn/DOT.

- The existing sanitary sewer from SMH 1 to the manhole in Chestnut Ave will be considered a portion of the private sanitary sewer service for this property and will be the responsibility of the property owner. This was previously commented on as part of the right-of-way vacation procedure.
- The Applicant shall continue to work with Bob Boblett at (612) 673-2428

**Non Stormwater Discharges:** Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.

- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov)

#### □ Fire Safety

- Provide required fire suppression system throughout building.
- Fire Department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Provide required fire alarm system throughout building.
- Provide and maintain fire apparatus access at all times.

**❑ Business Licensing**

- There is not a Business Licensing review required at this time.

**❑ Environmental Health**

- City records indicate the presence of 6,000 gallon buried fuel oil tank on site, N18611. No records have been identified if the tank is still in use, been removed, abandoned-in-place or is out-of-service. Documentation on the current tank status must be submitted to environmental services. If no documentation exists a contingency plan needs to be submitted to Tom Frame (tom.frame@minneapolismn.gov) on actions that will be taken regarding the UST if the tank is found during these activities. If the tank is actively being used it must be registered with Minneapolis Environmental Services and the Minnesota Pollution Control Agency.
- If the project will be disturbing identified impacted soils on the site preapproval for removal, disposal and/or reuse of must occur from the MCPA and the City of Minneapolis prior to beginning excavation activities. If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.

**❑ Historical Preservation Committee**

- There is not an HPC flag on this property and a preservation review is not required at this time.

**❑ Construction Code Services**

- Provide signage at non accessible entrances directing public to accessible entrances.
- A SAC determination will be required and any associated fees will be attached to the construction permit fees. Please, contact Met Council to obtain a SAC determination. <http://www.metrocouncil.org/Wastewater-Water/Funding-Finance/Rates-Charges/Sewer-Availability-Charge.aspx>

END OF REPORT

## **PPL YouthLink Housing and Youth Opportunity Center Renovation Statement of Proposed Use & Project Description**

Two long-standing local non-profit organizations, Project for Pride in Living (PPL) and YouthLink, are working together to develop housing tailored to the needs of homeless youth, ages 18-23. This new-construction development will provide high-quality housing and supportive services at a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless youth to develop the goals, relationships and skills needed to navigate life as a self-sufficient adult. With these supports, homeless young people at a crossroads in life will change their trajectories from homelessness and despair to pathways of hope and opportunity.

The need is great. The most recent report from Wilder Research estimates that there are over 14,000 homeless people on any given day, with the vast majority located in the Twin Cities. Young people are disproportionately represented, making up nearly half of the homeless population (while making up only a third of the general population, according to Census data). YouthLink's experience makes these statistics real: over 2,000 homeless young people turn to YouthLink every year as a safe and supportive refuge from life on the street. YouthLink's existing day drop-in center, host site for the Youth Opportunity Center (or the 'YOC'), offers youth the chance to find a meal or some clean clothes, take a shower or use the laundry facilities, or visit the medical clinic. The YOC also offers homeless young people a safe place to be during the daytime.

While the effects of homelessness are devastating, especially for young people who are at the age of transition from adolescence to adulthood (ages 18-23), young people from this demographic are quite resilient and very likely to make positive progress toward becoming healthy, contributing, system-independent adults. Stable housing is absolutely vital to this transition out of homelessness.

This project has two primary components: 46 units of new affordable housing with service space, plus the renovation of, and addition to, YouthLink's existing service center at 41 12<sup>th</sup> Street North. The proposed housing will be attached to YouthLink's existing building.

The proposed PPL YouthLink Affordable Housing development will provide 46 units of supportive housing in a new 5-story building attached to the existing Youth Opportunity Center. The majority of the 46 SRO-style units will be grouped into suites of four rooms, with shared kitchens and bathrooms to encourage community-building amongst residents and to fight against the isolation that can be a barrier to these youths' success. One apartment for a resident advisor (staff member) will also be provided, for a grand total of 47 new housing units. The ground floor will house community spaces such as a lounge and a fitness/wellness room in addition to offices for property management and service providers. Another feature of the proposed housing is the Career Pathways Center, which will provide formerly homeless young people with guidance and assistance related to their educational and career goals.

The PPL YouthLink Supportive Housing project will be situated on YouthLink's property at 41 12<sup>th</sup> St North in Minneapolis, and on vacant land directly adjacent – for which we will be requesting vacation of the former 12<sup>th</sup> Street North right-of-way. Constructing this new housing as an addition to the current YOC allows for many efficiencies, including ease of access to the additional services offered at the YOC. Just as importantly, it allows for one central "Welcome Center" for the building, a 24-hour staffed front desk that allows for long-term cost savings by sharing this function between two programs. Residents of the proposed housing will have a separate entry off of Chestnut Avenue, but Welcome Center staff will be able to monitor comings and goings in the housing entry to forestall any crises.

In tandem with this housing development, YouthLink will be constructing a new Welcome Center and replacing their administrative offices that must be demolished to make way for the housing. They will also be undertaking a general remodel of their building. The remodel is required to maximize the use of the existing space (in particular, the underutilized basement) and to better accommodate the nearly-doubling of the number of homeless young people that YouthLink has been serving in recent years.

Anticipated land use applications include:

1. The vacation of a portion of the former 12<sup>th</sup> St right-of-way as described on the attached survey;
2. Re-zoning of the site. The site currently has split zoning, and housing is not a permitted use in part of the site (the I1 district.) Other existing zoning is B4C-1 and the DP (Downtown Parking) overlay. We will need to re-zone to B4C (Downtown Commercial District) as underlying zoning;
3. Replatting the site to create one parcel of the two currently (former 12<sup>th</sup> St right-of-way and YouthLink's parcel at 41 12<sup>th</sup> St N); and
4. Site Plan Review.

**Petition to Vacate**  
**City Of Minneapolis Street, Alley or Utility Easement**

Petitioner: Youthlink  
Address: 41 12<sup>th</sup> St. N., Minneapolis, MN 55403  
Contact: Michael Broich, Atty., (612)-252-1200

Vacation File No.  
**1649**  
Page 1 of 2

**Description of Easement to be vacated:** Part of 12<sup>th</sup> Street North, adjacent to Block 18, Wilson, Bell and Wagner's Addition, between Linden and Chestnut Streets – the area to be vacated by the City of Minneapolis and transferred to Youthlink by MNDoT.

**Review and Comment**

Utility easements cannot be reserved unless there is an existing facility within the area to be vacated. If there is an existing utility, please enclose a map showing its location.

Name of Reviewing Agency \_\_\_\_\_

Phone: \_\_\_\_\_

e-Mail: \_\_\_\_\_

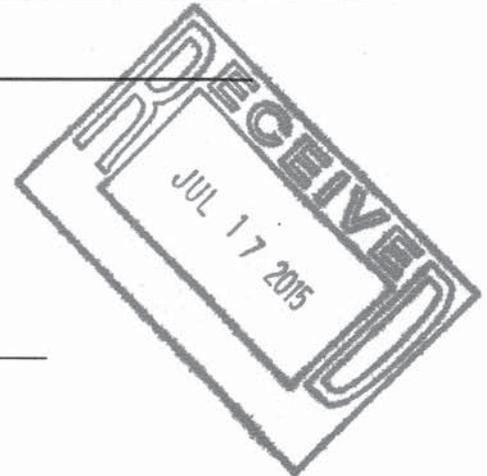
Approve petition as requested

Deny petition (provide explanation)

Reserve Easements (provide description)

By: \_\_\_\_\_

Date \_\_\_\_\_



Comments:

100' 100' 100' 100'

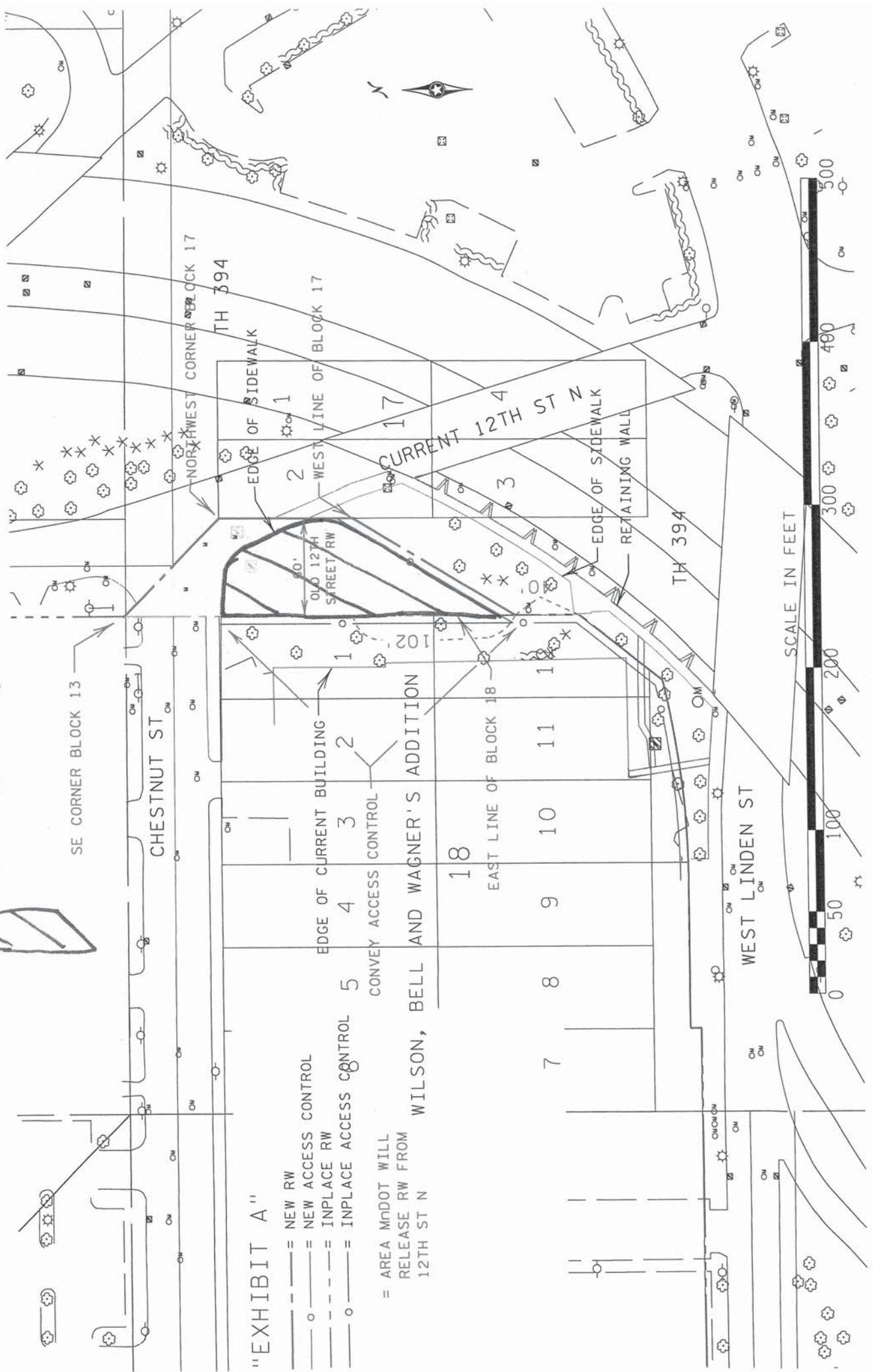
Area to be Vacated



"EXHIBIT A"

- = NEW RW
- - - = NEW ACCESS CONTROL
- = NEW ACCESS RW
- = INPLACE RW
- = INPLACE ACCESS CONTROL

= AREA MDDOT WILL RELEASE RW FROM 12TH ST N



SCALE IN FEET





Minneapolis  
City of Lakes

Department of  
Public Works

Steven A Kolke, P.E.  
City Engineer  
Director

350 South 5th Street – Room 203  
Minneapolis MN 55415

Office 612 673-3000  
Fax 612 673-3565  
TTY 612 673-2157

May 19, 2016

Hilary Dvorak  
CPED-Planning  
250 4<sup>th</sup> St. So., Room 100  
Minneapolis, MN 55415

RE: Vacating a portion of the 12<sup>th</sup> Street North street easement between  
Chestnut Avenue and Linden Avenue (Vacation 1649)

Dear Ms. Dvorak:

Public Works staff has reviewed this vacation petition and recommends Approval of  
said petition.

That part of 12th Street North to be vacated is described as follows:

*Commencing at the northeast corner of Lot 1, Block 18, Wilson, Bell and Wagner's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota; thence South 02 degrees 18 minutes 20 seconds West, assumed bearing, along the east line of said Lot 1 a distance of 0.65 feet to the point of beginning of the land to be described; thence South 85 degrees 42 minutes 22 seconds East 22.50 feet; thence Southeasterly 25.26 feet along a tangential curve concave to the southwest having a radius of 22.15 feet and a central angle of 65 degrees 20 minutes 09 seconds; thence South 20 degrees 22 minutes 14 seconds East, tangent to last described curve, 11.01 feet; thence South 14 degrees 33 minutes 58 seconds East 46.85 feet to the east right of way line of said 12th Street North; thence South 02 degrees 18 minutes 20 seconds West along said right of way line 15.25 feet; thence South 33 degrees 05 minutes 12 seconds West 117.24 feet to the east line of Lot 12 of said Block 18; thence North 02 degrees 18 minutes 20 seconds East along the east lines of said Lots 1 and 12 a distance of 185.34 feet to the point of beginning and there terminate.*

Sincerely,

Don Elwood, Director  
Transportation Engineering & Design

Cc: Dennis Morris, Right of Way Supervisor





700 West Linden Avenue  
PO Box 1165  
Minneapolis, MN 55440-1165

August 25, 2015

City of Minneapolis  
250 South 4<sup>th</sup> Street Room 300  
Minneapolis, MN 55415  
Hilary Dvorak  
Principal Planner

RE: Vacation file No. 1649

Dear Mrs. Dvorak:

With reference to your requests, CenterPoint Energy has no natural gas mains or services in conflict within the requesting area and CenterPoint Energy has no objection to this proposal.

If you have any questions, please contact me at 612-321-5381.

Respectfully,  
CENTERPOINT ENERGY

A handwritten signature in cursive script that reads "Chuck Mayers".

Chuck Mayers  
Right-of-Way Specialist  
Engineering Services  
charles.mayers@centerpointenergy.com  
612-321-5381

**Petition to Vacate  
City Of Minneapolis Street, Alley or Utility Easement**

Petitioner: Youthlink  
Address: 41 12<sup>th</sup> St. N., Minneapolis, MN 55403  
Contact: Michael Broich, Atty., (612)-252-1200

Vacation File No.  
**1649**  
Page 1 of 2

**Description of Easement to be vacated:** Part of 12<sup>th</sup> Street North, adjacent to Block 18, Wilson, Bell and Wagner's Addition, between Linden and Chestnut Streets – the area to be vacated by the City of Minneapolis and transferred to Youthlink by MNDOT.

**Review and Comment**

Utility easements cannot be reserved unless there is an existing facility within the area to be vacated. If there is an existing utility, please enclose a map showing its location.

Name of Reviewing Agency XCEL ENERGY - SEAN LAWLER

Phone: 612-330-1956 e-Mail: sean.w.lawler@xcelenergy.com

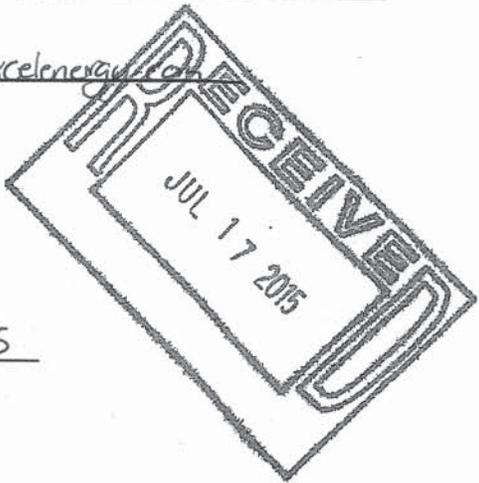
Approve petition as requested

Deny petition (provide explanation)

Reserve Easements (provide description)

By: [Signature]

Date 8/25/15



Comments:  
XCEL MAINTAINS NO FACILITIES IN THIS AREA.

**Petition to Vacate**  
**City Of Minneapolis Street, Alley or Utility Easement**

Petitioner: Youthlink  
Address: 41 12<sup>th</sup> St. N., Minneapolis, MN 55403  
Contact: Michael Broich, Atty., (612)-252-1200

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**Review and Comment**

Utility easements cannot be reserved unless there is an existing facility within the area to be vacated. If there is an existing utility, please enclose a map showing its location.

Name of Reviewing Agency Fire

Phone: 612-919-7805 e-Mail: \_\_\_\_\_

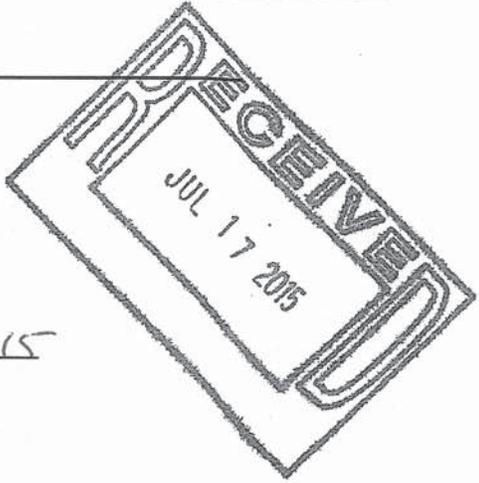
Approve petition as requested

Deny petition (provide explanation)

Reserve Easements (provide description)

By: Michael Dickinson  
Michael Dickinson

Date 8-27-15



Comments: The area to be vacated is already covered with grass and has several trees growing within its boundaries.



OSP National Support /  
Investigations  
2400 North Glenville  
Richardson, TX 75082

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**MCI Communications Services, Inc.**

08/28/2015

**CITY OF MINNEAPOLIS  
PLANNING AND DEVELOPMENT  
HILARY DVORAK  
250 S. 4TH STREET, ROOM 300  
MINNEAPOLIS, MN 55415**

**RE: VACATION FILE NO. 1649 – EASEMENT VACATION REQUEST  
12TH STREET BETWEEN LINDEN AVE. AND CHESTNUT AVE. –  
MINNEAPOLIS, HENNEPIN COUNTY, MN.**

**Verizon Business ID: 7443-2015**

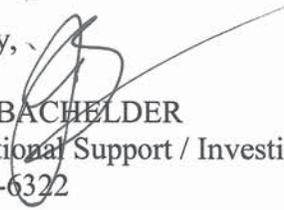
**Dear Sir or Madam:**

MCI has been notified by your office regarding the above referenced project.

For your records, in reviewing the area in question, it has been determined that MCI does not have facilities within your project area.

You should address correspondence concerning any future projects to the attention of **OSP National Support/Investigations** at the above address.

If you need further assistance with this project, please do not hesitate to call me.

Sincerely, 

JOHN BACHELDER  
OSP National Support / Investigations  
972-729-6322

***PPL YouthLink Supportive Housing – Required Findings***

- (1) The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance, and policies of the comprehensive plan.*

The request herein is a plat to combine two currently-separate parcels into one. One parcel, 41 12<sup>th</sup> Street North, is currently owned and occupied by YouthLink, a provider of social services to homeless youth. The second parcel is a portion of former 12<sup>th</sup> Street North right-of-way that became vacant land during the construction of Interstate 394. At that time, 12<sup>th</sup> Street shifted slightly east, leaving this parcel vacant. YouthLink has obtained a QuitClaim Deed from the Minnesota Department of Transportation and is requesting vacation of this former right-of-way from the City, concurrently with this plat. The plat would expand the area of the YouthLink-owned parcel slightly and would be in accordance with lot minimums for the B4C-1 district.

- (2) The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

As stated above, the plat will combine two currently-separate parcels into one. The newly platted parcel will be surrounded by public right-of-way on three sides. The proposed plat will not create a parcel that would restrict adjacent property owners from accessing their property, nor will it negatively impact surrounding uses in any way.

The plat is being proposed in conjunction with a new affordable housing development for homeless youth. This project would add 46 small affordable housing units (with a 47<sup>th</sup> unit for a resident staff member) to the site. The vast majority of the formerly homeless youth will not own cars, so the addition of this housing to the area will create more pedestrians and transit-riders than additional vehicles on the public streets. The project will not contribute to congestion but will create a new sense of vitality in this neighborhood currently dominated by one-story warehouse buildings.

- (3) All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements, or other hazard.*

The land intended to be used as the site to construct the proposed PPL YouthLink Supportive Housing is level and free from all of the hazards listed above. A utility easement will be created across a portion of the site to accommodate a City-owned water main that currently runs through the former 12<sup>th</sup> Street right-of-way property, but the project will maintain the required clearances from this main and therefore avoid any hazards that this water main could potentially present.

- (4) The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access on*

*such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The proposed plat would add about 7200 square feet to the eastern side of YouthLink's property and would create no foreseeable difficulties in securing building permits and providing driveway access to the one lot proposed. All vehicular access would take place west of YouthLink's existing building, as it does now. Conversations with Public Works have resulted in permission to install an "Exit Only" curb cut access to Linden Avenue to create better vehicular flow within the site.

- (5) The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations, and standards of the City engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

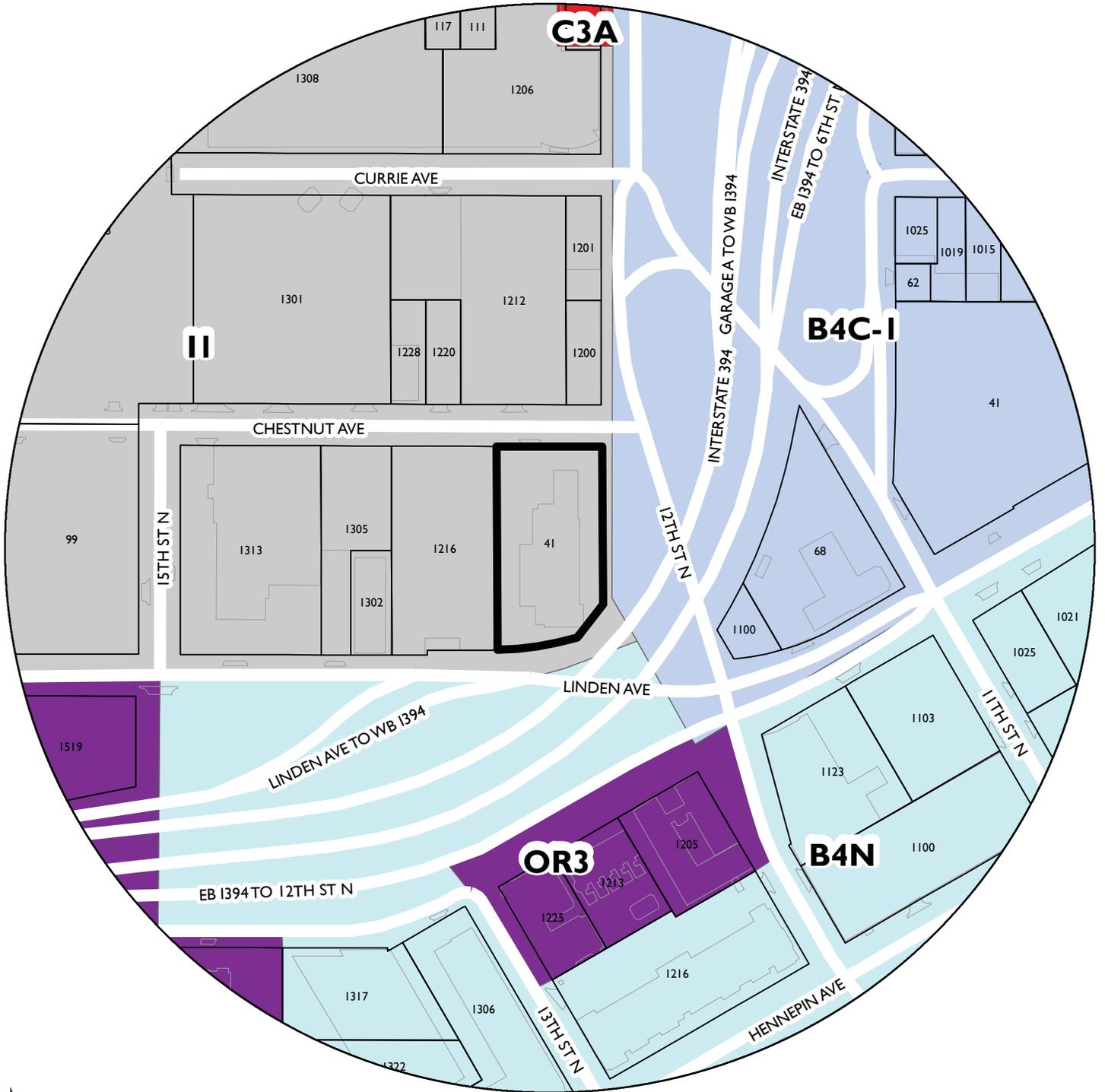
The affordable housing project proposed as part of this plat application will add 73,422 gross square feet of building area to the site, while adding only 10,890 square feet of impervious surface. The project has been designed to maximize stormwater infiltration to the extent possible on this tight site, and will utilize roof ponding, porous paving, underground stormwater tanks, and infiltration beds as part of the stormwater management plan.

# Project for Pride in Living/YouthLink

5th

NAME OF APPLICANT

WARD

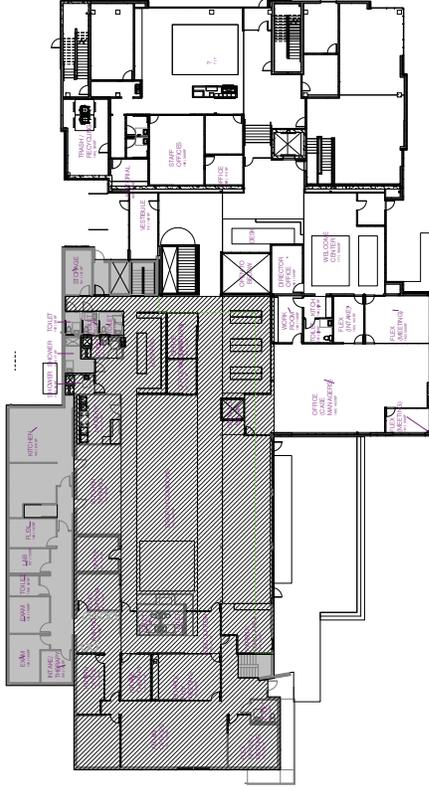


PROPERTY ADDRESS  
**41 North 12th Street**

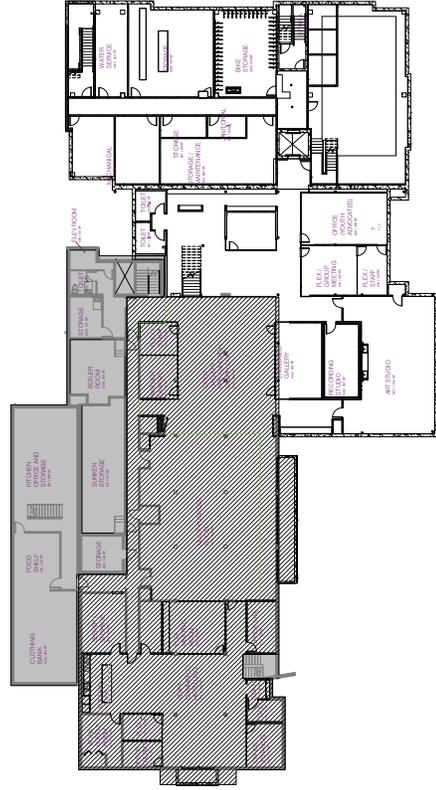
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**BZZ-7709**



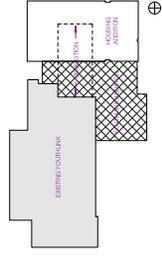




**2 LEVEL 1 SCOPE**  
1/8" = 1'-0"



**1 SUBLEVEL 1 SCOPE**  
1/8" = 1'-0"



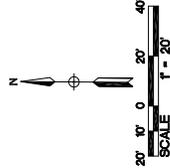
AREA OF EXISTING  
AREA OF RENOVATION AND RENOVATION  
AREA OF DEMOLITION AND ADDITION











**PROPOSED PLAN SYMBOLS**

CONSTRUCTION LIMITS	CONCRETE	CONCRETE	CONCRETE
PROPERTY LINE	CONCRETE	CONCRETE	CONCRETE
STORM SEWER	CONCRETE	CONCRETE	CONCRETE
PIPE INCLINATION	CONCRETE	CONCRETE	CONCRETE
SEWER SHARP ELEVATION	CONCRETE	CONCRETE	CONCRETE

**KEYED NOTES**

1. ALL WORK SHALL BE DONE BY A LICENSED CONTRACTOR.
2. ALL UTILITIES MUST BE LOCATED BY A MANHOLE LOCATOR OR OTHER APPROPRIATE METHOD PRIOR TO CONSTRUCTION.
3. ALL UTILITIES MUST BE PROTECTED BY A MANHOLE LOCATOR OR OTHER APPROPRIATE METHOD PRIOR TO CONSTRUCTION.
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**UTILITY NOTES:**

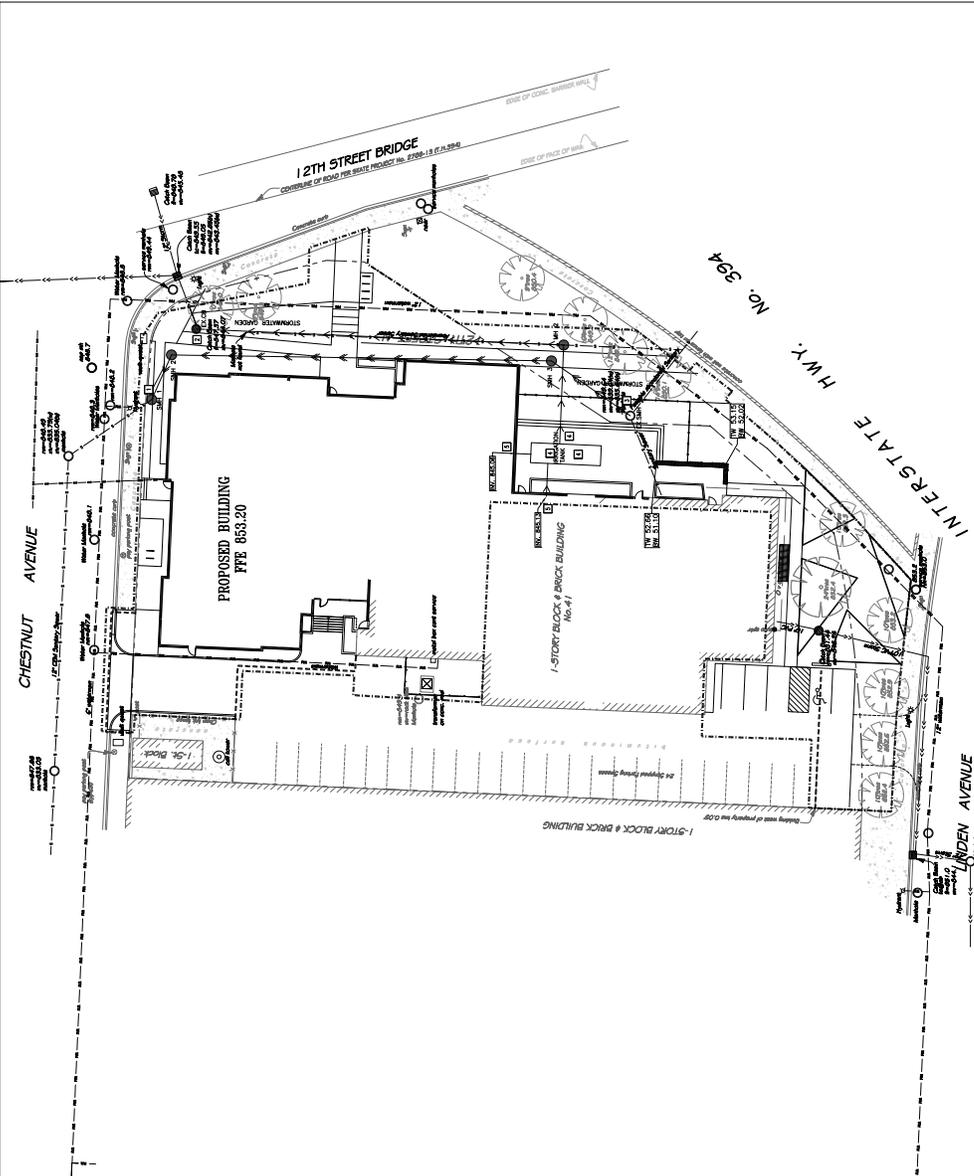
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UTILITY PLAN

**SANITARY SEWER TABLE**

STRUCTURE IDENTIFICATION	MANHOLE NUMBER	INVERT ELEVATION	PIPE LENGTH, DIAMETER, SLOPE & HOIST UPSTREAM STRUCTURE
SMH 1	48	811.12	20' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 2
SMH 2	48	811.12	15' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 3
SMH 3	48	811.12	38' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 4
EX-DM-4	NA	811.12	EXISTING BUILDING SERVICE

**STORM SEWER TABLE**

STRUCTURE IDENTIFICATION	MANHOLE NUMBER	INVERT ELEVATION	PIPE LENGTH, DIAMETER, SLOPE & HOIST UPSTREAM STRUCTURE
ST-DM-1	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 1
ST-DM-2	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 2
ST-DM-3	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 3
ST-DM-4	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 4
ST-DM-5	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 5
ST-DM-6	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 6
ST-DM-7	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 7
ST-DM-8	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 8
ST-DM-9	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 9
ST-DM-10	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 10
ST-DM-11	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 11
ST-DM-12	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 12
ST-DM-13	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 13
ST-DM-14	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 14
ST-DM-15	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 15
ST-DM-16	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 16
ST-DM-17	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 17
ST-DM-18	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 18
ST-DM-19	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 19
ST-DM-20	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 20
ST-DM-21	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 21
ST-DM-22	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 22
ST-DM-23	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 23
ST-DM-24	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 24
ST-DM-25	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 25
ST-DM-26	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 26
ST-DM-27	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 27
ST-DM-28	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 28
ST-DM-29	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 29
ST-DM-30	48	811.12	148' L.F. OF 12" PVC PIPE @ 1.00% SLOPE 30





**OTHER NOTES:**

- LOW FLOW MAINTENANCE OF THE SITE WILL BE MAINTAINED AS SHOWN ON THE PLAN. MAINTENANCE FOR STORMWATER DEVICES SHALL BE MAINTAINED AS SHOWN ON THE PLAN.
- CONSTRUCTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS STANDARD SPECIFICATIONS FOR CONSTRUCTION.
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**AGENCY CONTACTS:**

CITY OF MINNEAPOLIS  
MINNEAPOLIS PLANNING AND DEVELOPMENT DEPARTMENT  
PHONE: (612) 673-1000

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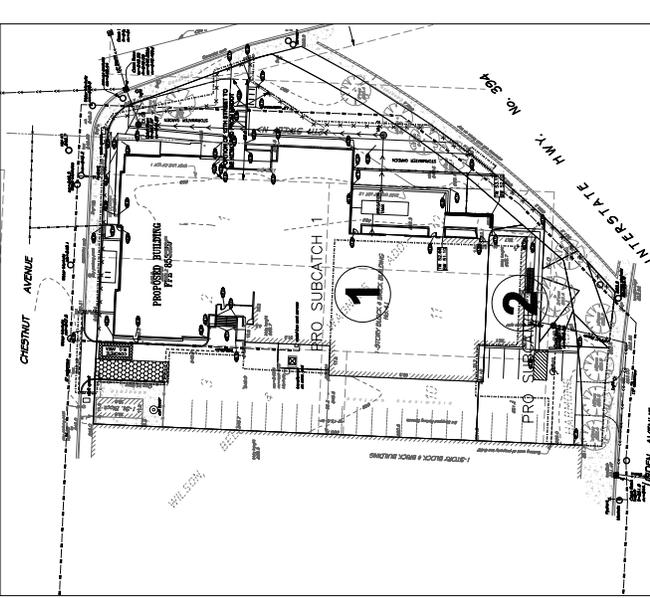
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**EXISTING CONDITIONS**

Drainage Area	Impervious Area (Sq Ft)	Proposed Area (Sq Ft)	Total Area (Sq Ft)
1	1,000	1,000	2,000
2	1,000	1,000	2,000
TOTAL	2,000	2,000	4,000

**PROPOSED CONDITIONS**

Drainage Area	Impervious Area (Sq Ft)	Proposed Area (Sq Ft)	Total Area (Sq Ft)
1	1,000	1,000	2,000
2	1,000	1,000	2,000
TOTAL	2,000	2,000	4,000

**STORMWATER RUNOFF SUMMARY**

Drainage Area	Existing Runoff (cfs)	Proposed Runoff (cfs)
1	3.33	4.24
2	3.33	4.24
TOTAL	6.66	8.48

**STORMWATER RUNOFF SUMMARY**

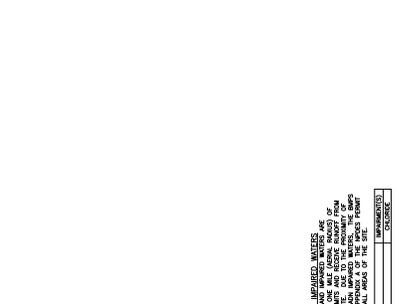
Drainage Area	Existing Runoff (cfs)	Proposed Runoff (cfs)
1	3.33	4.24
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TOTAL	6.66	8.48

**STORMWATER RUNOFF SUMMARY**

EXISTING SITE: 3.33 cfs  
PROPOSED SITE: 4.24 cfs

**STORMWATER RUNOFF SUMMARY**

EXISTING SITE: 3.33 cfs  
PROPOSED SITE: 4.24 cfs



**STORMWATER RUNOFF SUMMARY**

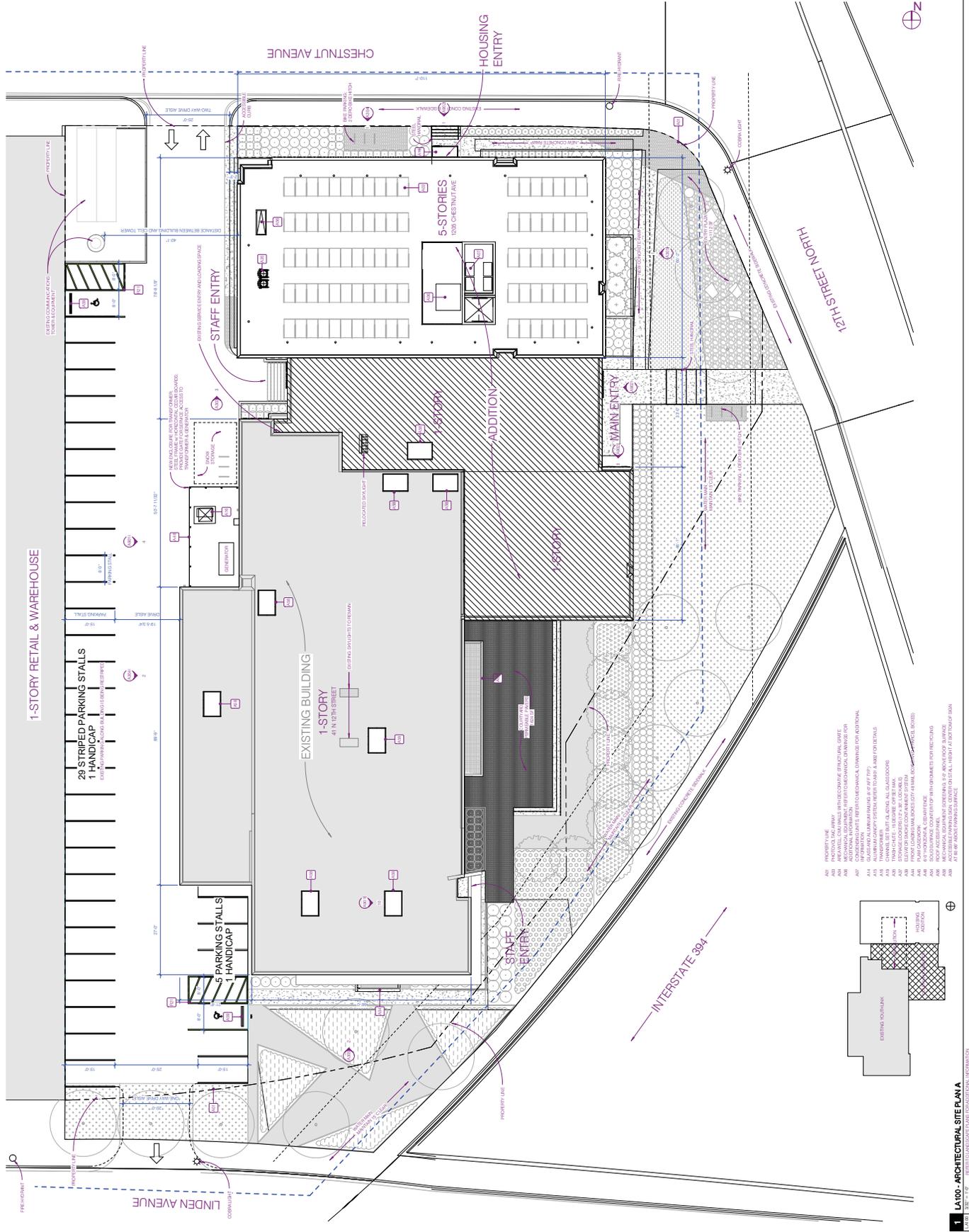
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PROPOSED SITE: 4.24 cfs



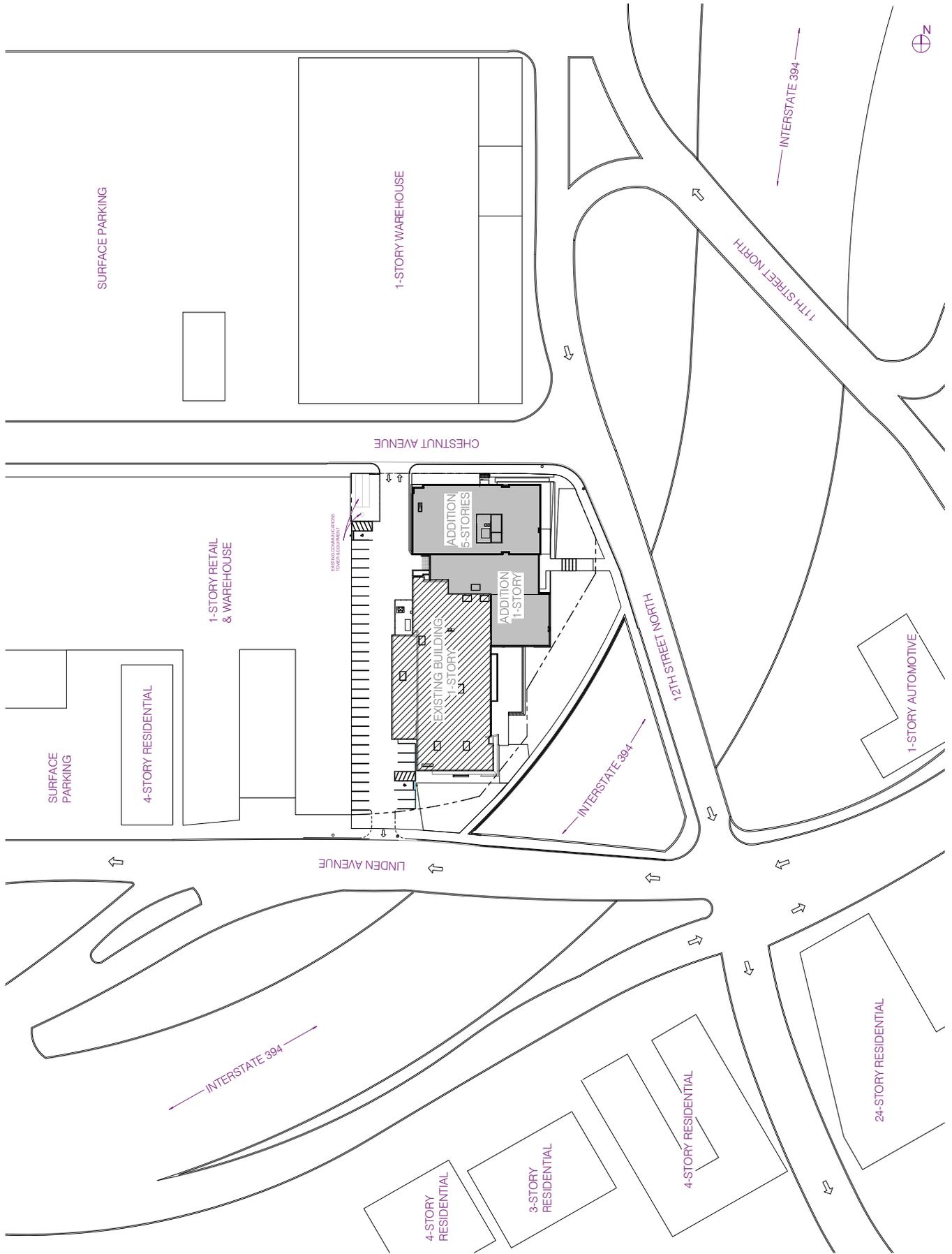


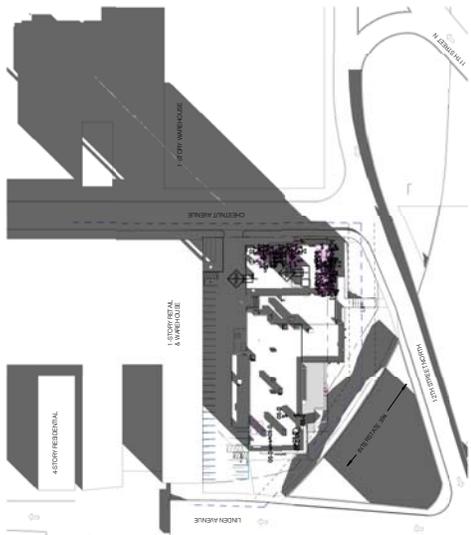


- AA1 PROPERTY LINE
- AA2 PHOTOGRAPHY AREA
- AA3 EXISTING BUILDING
- AA4 EXISTING BUILDING
- AA5 EXISTING BUILDING
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- AA7 EXISTING BUILDING
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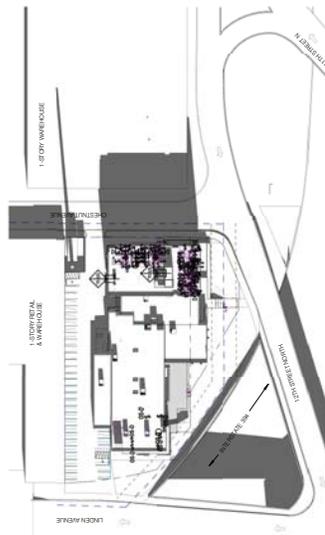
LA100 - ARCHITECTURAL SITE PLAN A

REVISIONS AND DATE OF ADDITIONAL INFORMATION

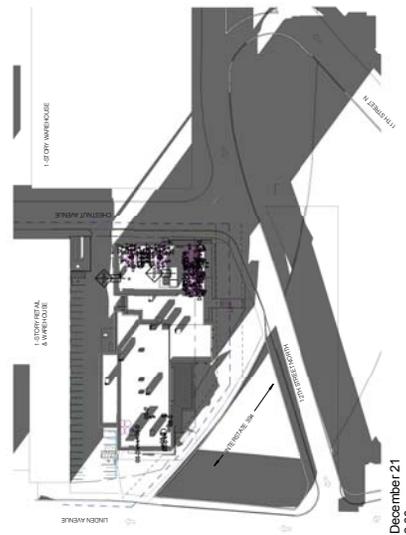




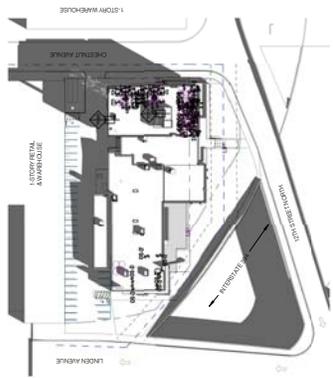
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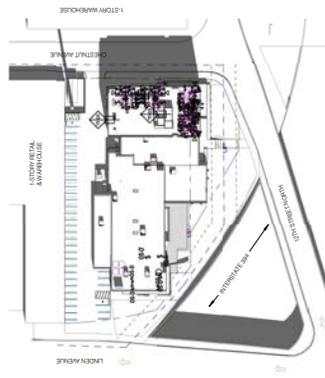
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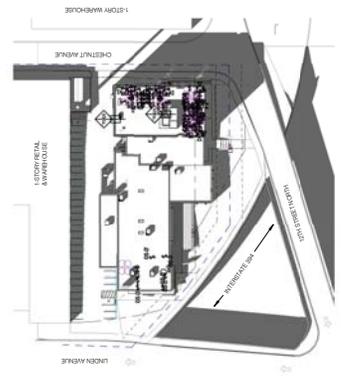
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March / September 21  
9:00 am



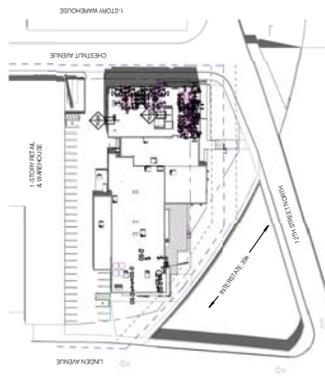
March / September 21  
12:00 pm



March / September 21  
3:00 pm



June 21  
9:00 am



June 21  
12:00 pm



June 21  
3:00 pm





901 NORTH THIRD STREET, SUITE 46  
MINNEAPOLIS, MN 55415  
812.436.8200

CONTRACT NO.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS  
# DATE DESCRIPTION

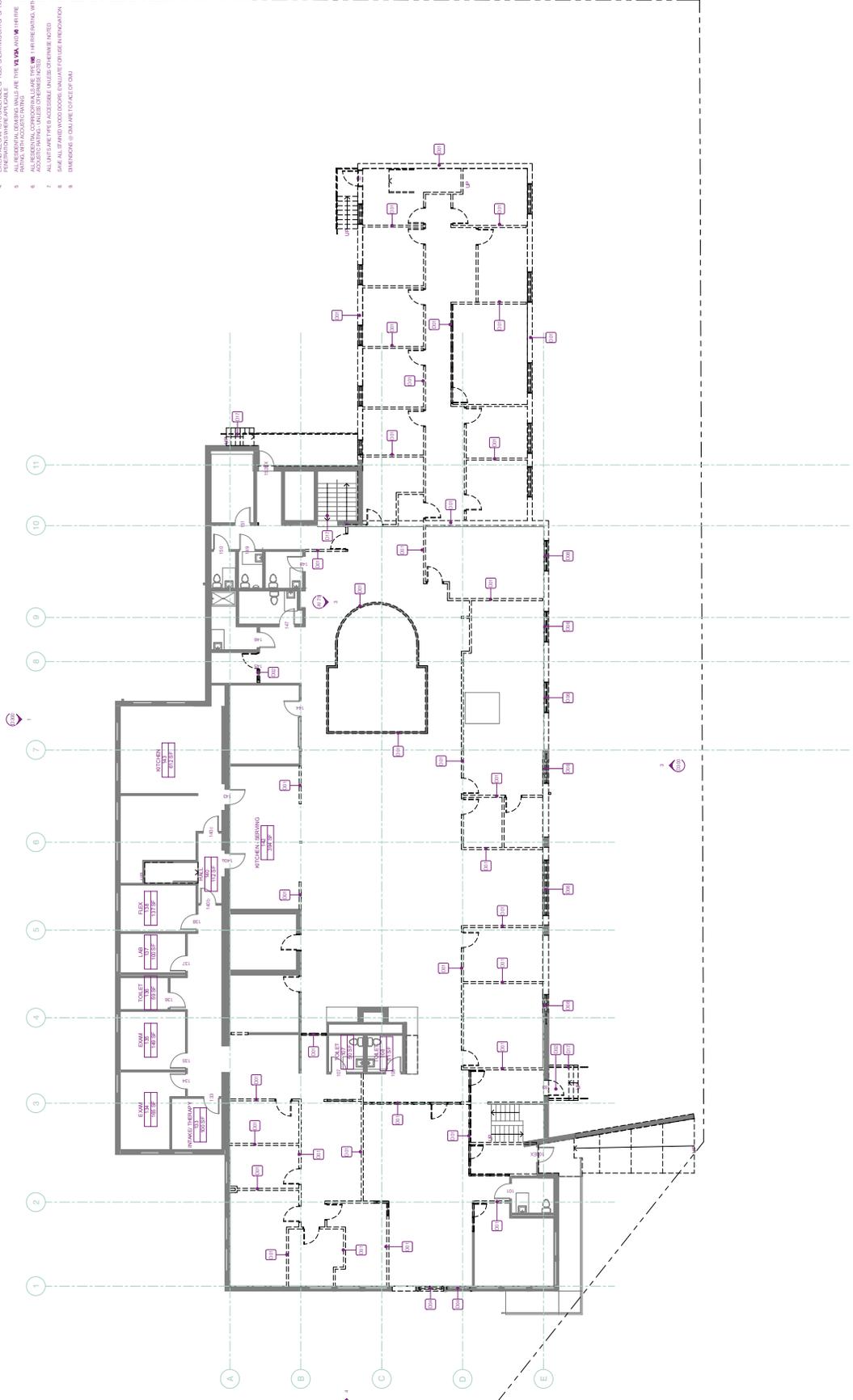
DATE: 11/11/2014  
PROJECT # 11111111  
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DRAWN BY: [Name]  
CHECKED BY: [Name]

LEVEL 1 -  
OVERALL  
DEMOLITION  
PLAN

D101.0

10/11/2014 10:00 AM

- GENERAL DEMOLITION NOTES:**
1. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING
  2. DIMENSIONS AT INTERIOR WALLS ARE TO FINISH SURFACE OF WALLS
  3. DIMENSIONS AT FLOOR SLABS ARE TO TOP OF CONCRETE OR GRC
  4. EXTEND ALL SHIFTS TO AVERAGE OF ROOF SLOPE AND TOP OF ROOF
  5. PERMITTED TO REMOVE ANY PORTION OF THE EXISTING ROOF
  6. REMOVE ALL EXISTING ROOFING MATERIALS AND DEBRIS
  7. REMOVE ALL EXISTING ROOFING MATERIALS AND DEBRIS
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  20. REMOVE ALL EXISTING ROOFING MATERIALS AND DEBRIS



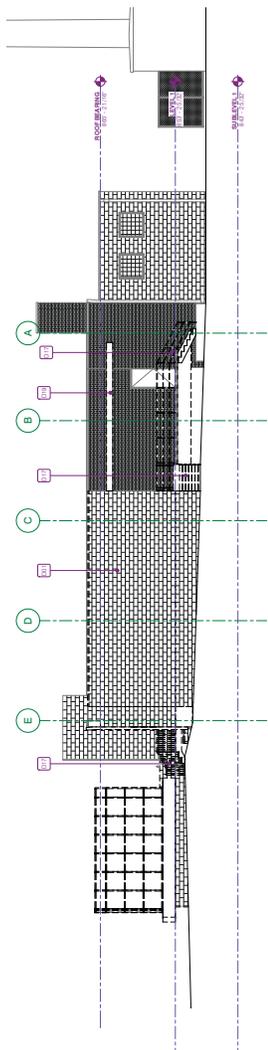


**GENERAL DEMO NOTES:**

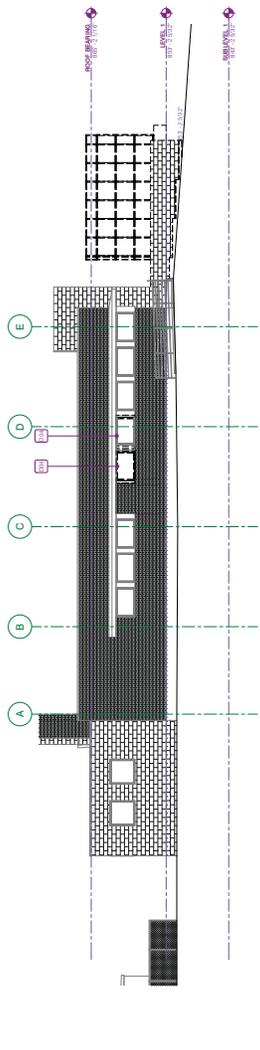
1. REFER TO DEMOLITION PLANS FOR IDENTIFICATION OF DEMOLITION.
2. REFER TO DEMOLITION PLANS FOR IDENTIFICATION OF DEMOLITION.

**DEMOLITION KEYNOTES:**

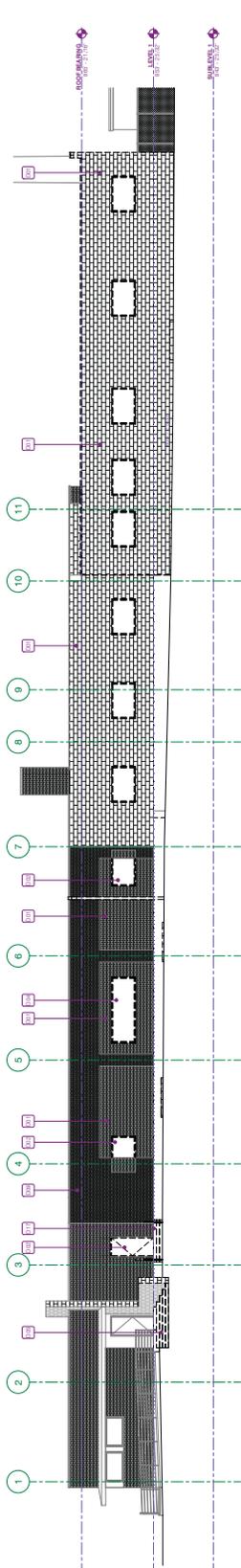
- DD1 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.
- DD2 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.
- DD3 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.
- DD4 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.
- DD5 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.
- DD6 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.
- DD7 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.
- DD8 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.
- DD9 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.
- DD10 REMOVE EXISTING WALL TO EXPOSE SKYLINE. PROTECT ADJACENT WALLS TO REMAIN.



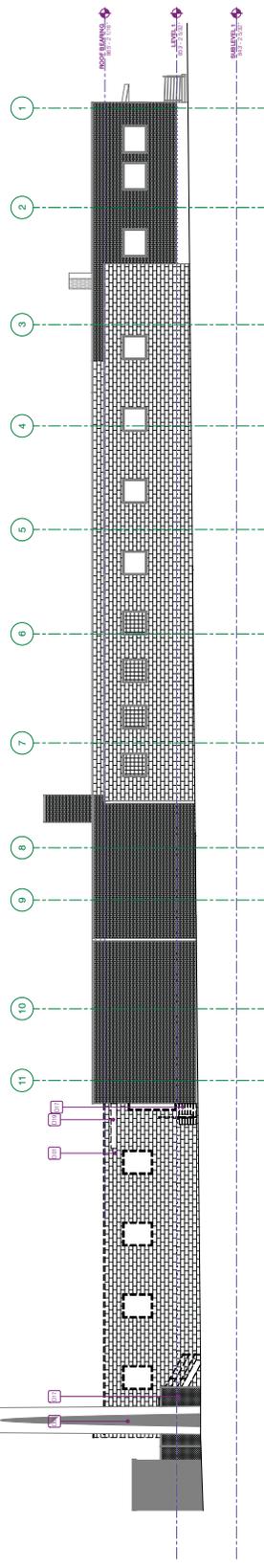
**2 East DEMO**  
1/8" = 1'-0"



**4 West DEMO**  
1/8" = 1'-0"



**3 South DEMO**  
1/8" = 1'-0"



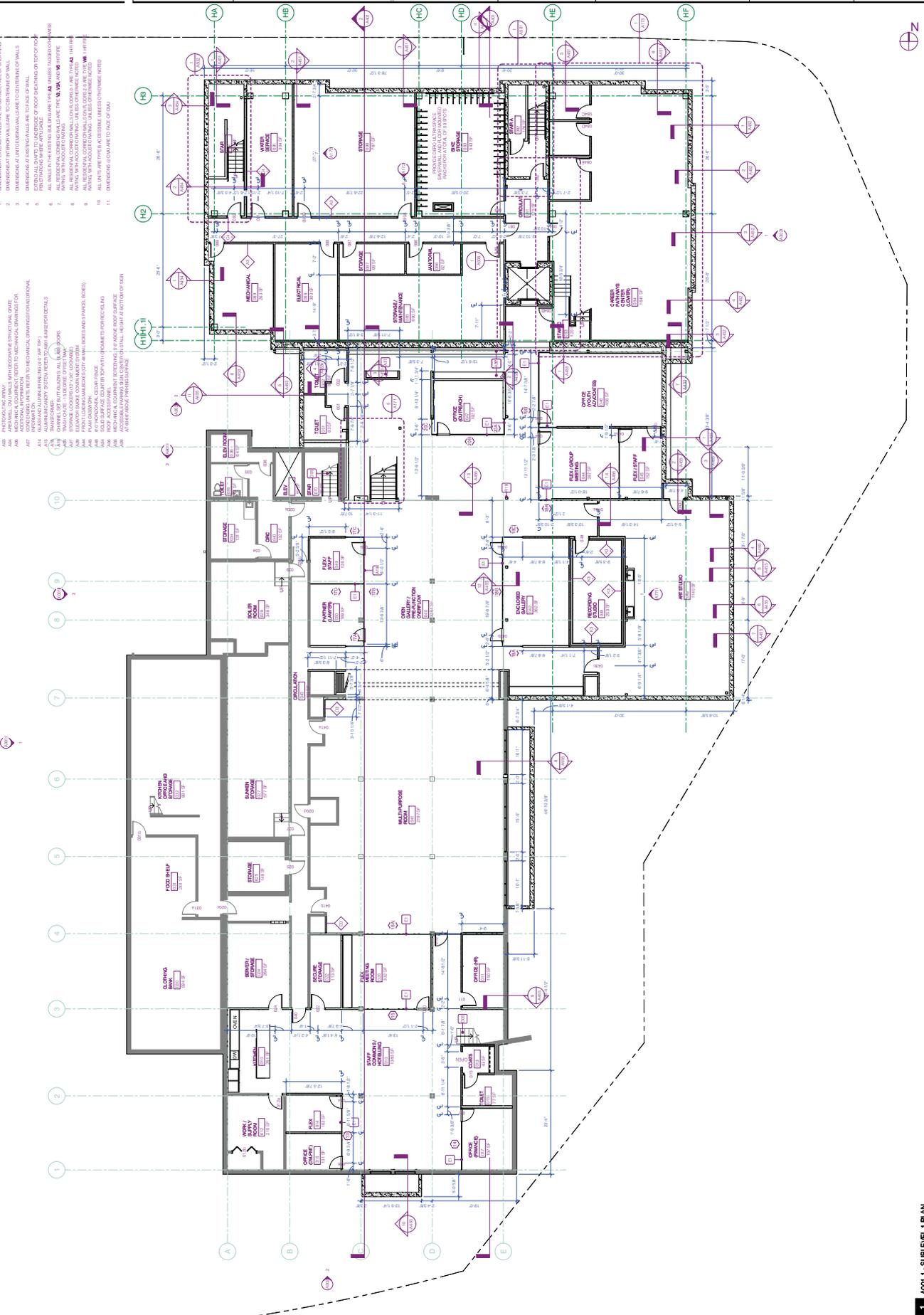
**1 North DEMO**  
1/8" = 1'-0"

GENERAL NOTES:

1. UNLESS NOTED OTHERWISE, ALL WALLS SHALL BE CONCRETE ON GRADE.
2. DIMENSIONS AT UNITS (MEASUREMENTS) SHALL BE TO THE FACE OF WALLS.
3. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
4. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
5. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
6. ALL WALLS IN THE EXISTING BUILDING ARE THE ALL UNLESS INDICATED OTHERWISE.
7. ALL DIMENSIONS SHALL BE TO THE FACE OF WALLS.
8. ALL DIMENSIONS SHALL BE TO THE FACE OF WALLS.
9. ALL DIMENSIONS SHALL BE TO THE FACE OF WALLS.
10. ALL DIMENSIONS SHALL BE TO THE FACE OF WALLS.
11. DIMENSIONS (ROOM ARE TO FACE OF WALL).

KEYNOTES:

1. MECHANICAL ROOMS SHALL BE CONCRETE ON GRADE.
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1 A001.1 - SUBLEVEL 1 PLAN  
1/11/16



90 NORTH THIRD STREET, SUITE 140  
MINNEAPOLIS, MN 55401  
02.2018 (REV)

CONTRACT NO.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

REVISIONS:  
# DATE DESCRIPTION

DATE: 02/22/18  
PHASE: 100  
DRAWN BY: J. HARRIS  
CHECKED BY: C. HARRIS

LEVEL 1 PLAN -  
OVERALL

**A101.0**

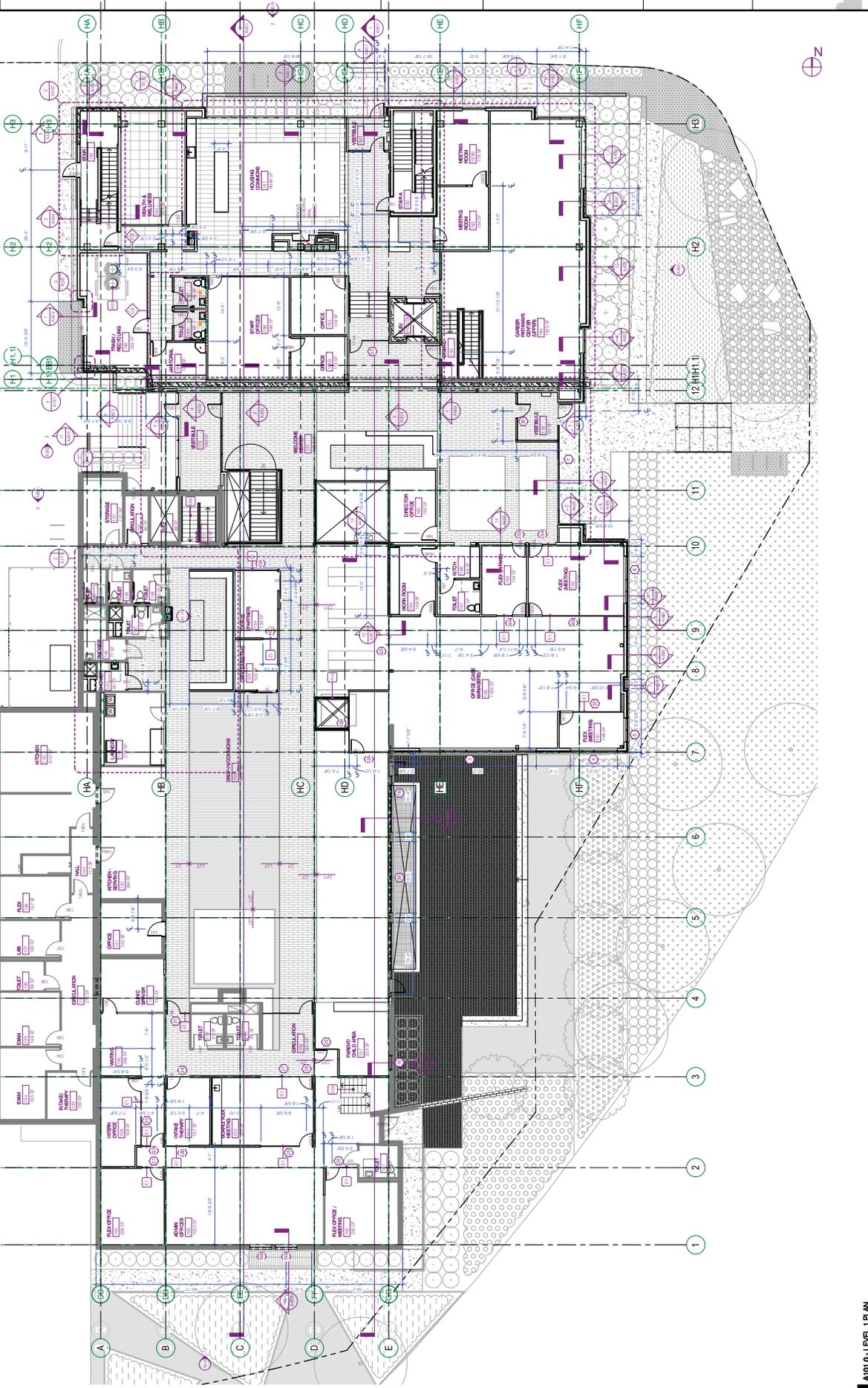
PROJECT: 10010000000000000000

**GENERAL NOTES:**

1. UNLESS NOTED OTHERWISE, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MINNESOTA BUILDING CODE.
2. DIMENSIONS AT JOINTS SHALL BE TO THE FACE UNLESS NOTED OTHERWISE.
3. DIMENSIONS AT INTERSECTIONS SHALL BE TO THE CENTERLINE OF WALLS.
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**KEYNOTES:**

1. PROPERTY LINE
2. EXISTING WALL
3. EXISTING WINDOW
4. EXISTING DOOR
5. EXISTING STAIR
6. EXISTING ELEVATOR
7. EXISTING MECHANICAL
8. EXISTING ELECTRICAL
9. EXISTING PLUMBING
10. EXISTING FIRE
11. EXISTING STRUCTURE
12. EXISTING LANDSCAPE
13. EXISTING SITEWORK
14. EXISTING UTILITIES
15. EXISTING SIGNAGE
16. EXISTING FENCE
17. EXISTING DRIVEWAY
18. EXISTING PAVEMENT
19. EXISTING CURB
20. EXISTING SIDEWALK
21. EXISTING BIKEWAY
22. EXISTING TRAIL
23. EXISTING PATH
24. EXISTING OPEN SPACE
25. EXISTING WATER
26. EXISTING SEWER
27. EXISTING GAS
28. EXISTING TELEPHONE
29. EXISTING CABLE
30. EXISTING FIBER
31. EXISTING POWER
32. EXISTING WATER
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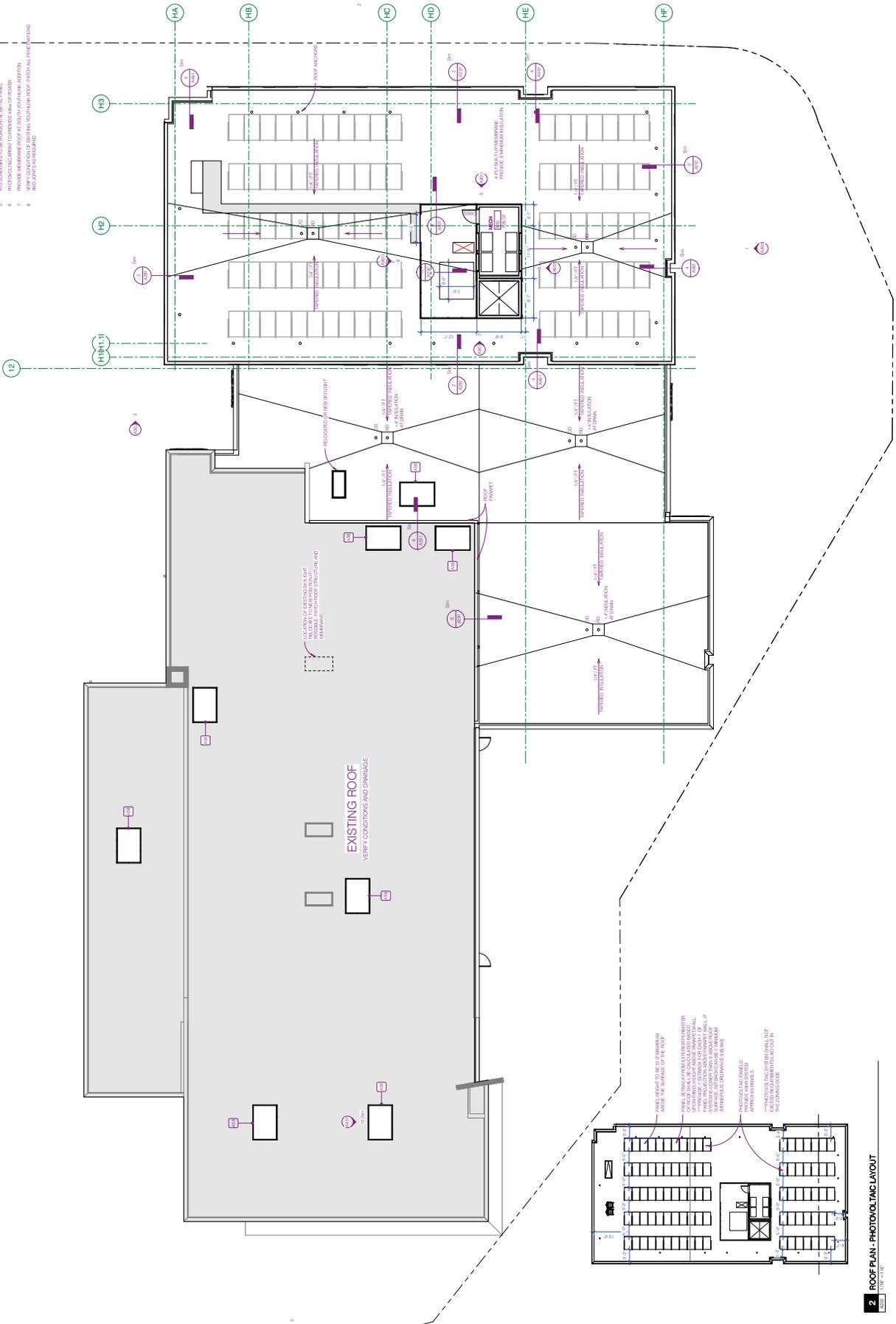






**GENERAL NOTES:**

1. PROVIDE RAINFALL PROOF AT REINFORCED ROOFING
2. INSULATION TO BE APPROX. 4" R-ROOF
3. PROVIDE ROOF AND FLOOR WINDOW FLASHING
4. PHOTOVOLTAIC PANELS TO BE HORIZONTAL, METAL PANEL
5. PHOTOVOLTAIC SYSTEM TO PROVIDE 50% OF POWER
6. PHOTOVOLTAIC PANELS TO BE HORIZONTAL
7. PHOTOVOLTAIC PANELS TO BE HORIZONTAL
8. PHOTOVOLTAIC PANELS TO BE HORIZONTAL



**2 ROOF PLAN - PHOTOVOLTAC LAYOUT**  
SCALE: 1/8" = 1'-0"

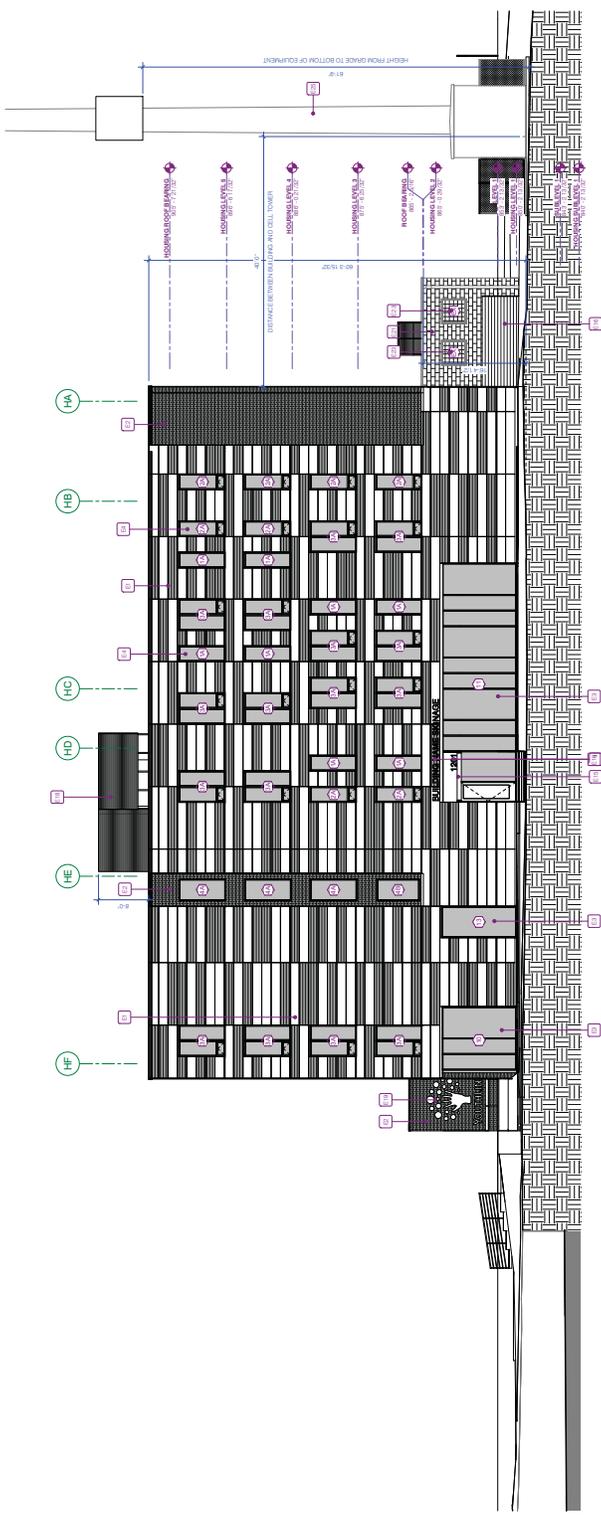
**1 OVERALL ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

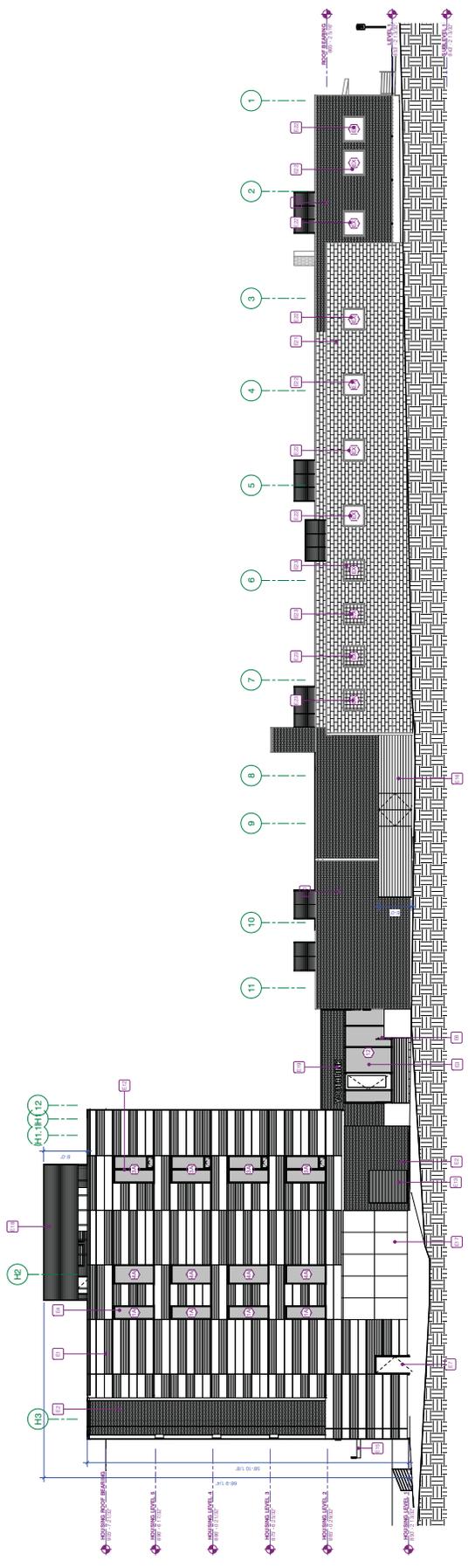
1. REFER TO SPEC SECTION FOR COMPLETE GENERAL DETAILS.

**KEYNOTES:**

- K1 NOMIX ILLUMINATA & METALLIC SERIES HORIZONTAL SPANEL PROFILE
- K2 ELECTROLYSE POLYMER COATING SYSTEM
- K3 POLYMER COATING SYSTEM
- K4 BLACK ANODIZED ALUMINUM STRIP PROF
- K5 ANODIZED ALUMINUM STRIP PROF
- K6 ANODIZED ALUMINUM STRIP PROF
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- K100 ANODIZED ALUMINUM STRIP PROF



**2** EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"



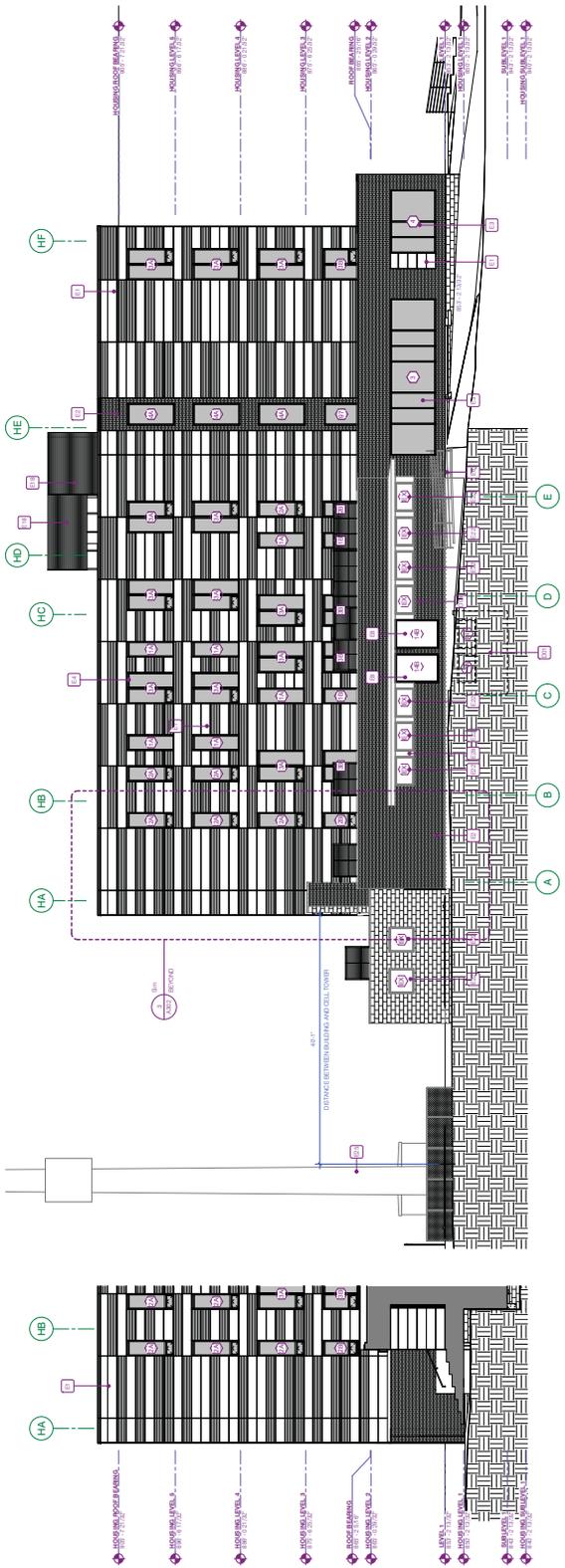
**1** EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"

GENERAL NOTES:

REFER TO SPEC FOR MATERIALS AND FINISHES.

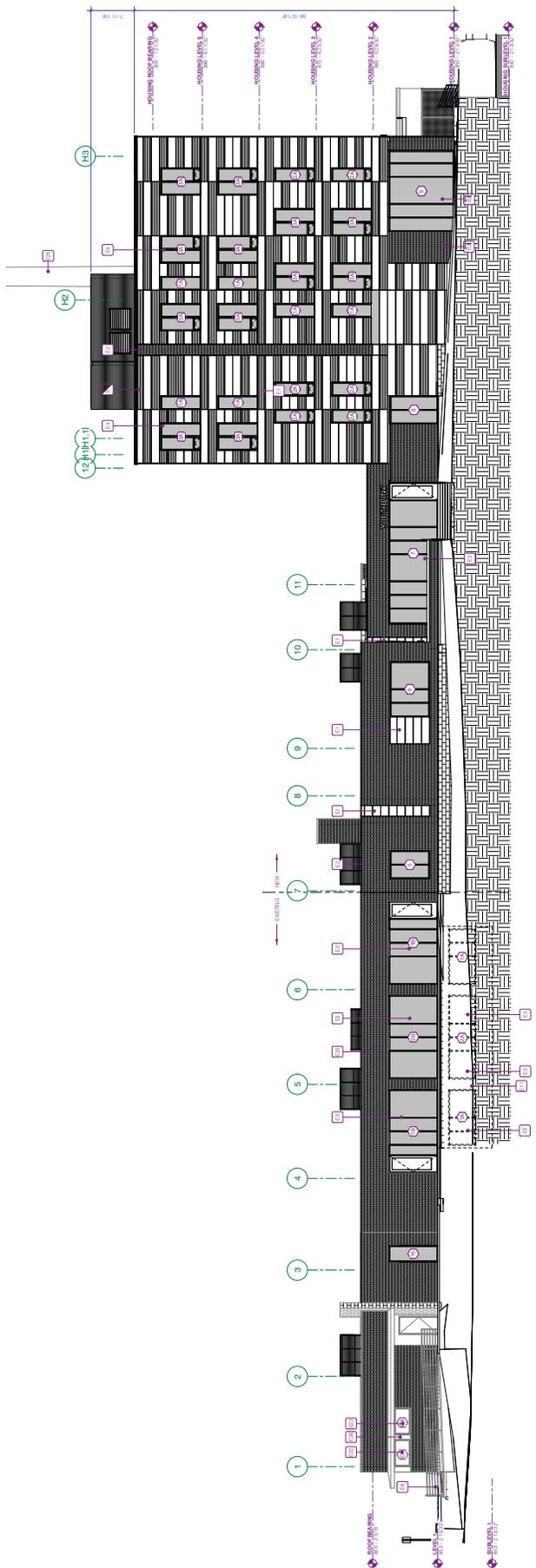
KEYNOTES:

- K1 NORMAL ILLUMINATION & METALLIC FINISHES - HORIZONTAL SPAN OF PANEL, PROVIDE ELECTROLYTIC ANODES TO PROTECT FROM CORROSION
- K2 BACK ANODED ALUMINUM STRIP DOOR
- K3 ALUMINUM ANODAL
- K4 METALLIC FINISHES
- K5 METALLIC FINISHES
- K6 METALLIC FINISHES
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- K100 METALLIC FINISHES



3 EXTERIOR ELEVATION - SOUTH - PARTIAL  
SCALE: 1/8" = 1'-0"

2 EXTERIOR ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - EAST  
SCALE: 1/8" = 1'-0"





90 NORTH THIRD STREET, SUITE 40  
MINNEAPOLIS, MN 55401  
87.348.8284  
CONTRACT #

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS  
# DATE DESCRIPTION

DATE 4/14/2014  
PROJECT # 1100  
PHONE 612.338.1100  
DRAWN BY C. BROWN  
CHECKED BY C. BROWN  
LSE C. BROWN

BUILDING  
ELEVATIONS

A305

GENERAL NOTES:

1. REFER TO SPEC CONTRACT FOR SCHEDULE OF MATERIALS DETAILS.

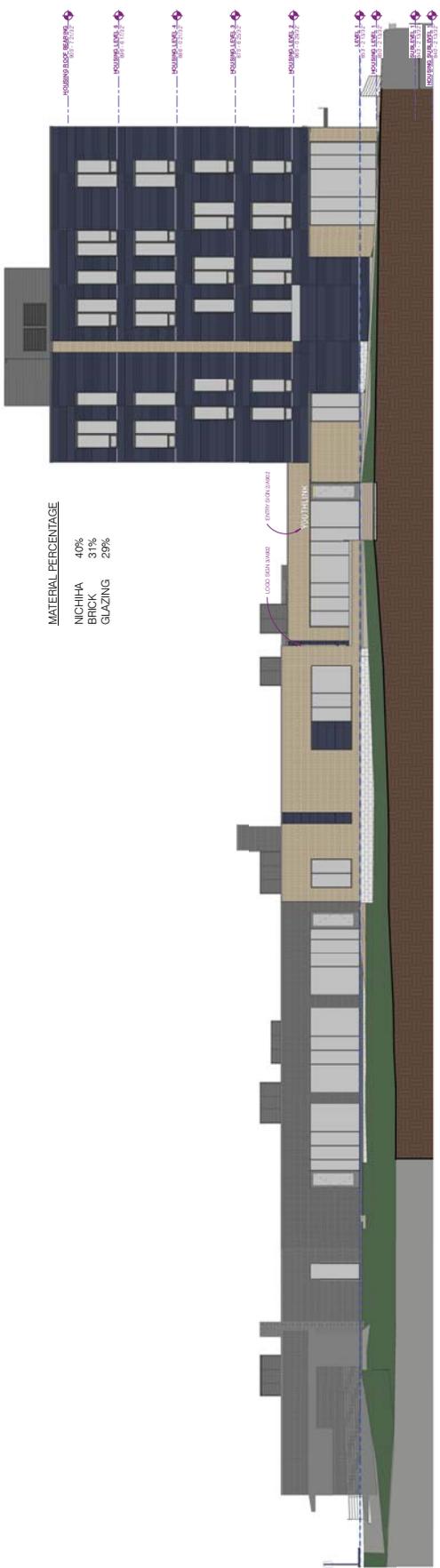
KEYNOTES:

- K1. MODERN ILLUMINATION & METALLIC SERIES HORIZONTAL SPANEL POUCE ELECTRONICS
- K2. BRICK TO MATCH EXISTING BRICK ON ADJACENT BUILDING
- K3. BRICK ANODIZED ALUMINUM STORE FRONT
- K4. ALUMINUM FINISH
- K5. FIBERGLASS INSULATION
- K6. INTERIOR WALLS PAINTED TO MATCH EXISTING INTERIOR
- K7. INTERIOR WALLS COVATED
- K8. FINISH TO MATCH EXISTING DOOR
- K9. INTERIOR OPERABLE WINDOW
- K10. INTERIOR OPERABLE WINDOW HORIZONTAL GLAZING ON STEEL FRAME
- K11. INTERIOR OPERABLE WINDOW HORIZONTAL GLAZING ON STEEL FRAME
- K12. INTERIOR OPERABLE WINDOW HORIZONTAL GLAZING ON STEEL FRAME
- K13. INTERIOR OPERABLE WINDOW HORIZONTAL GLAZING ON STEEL FRAME
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- K27. INTERIOR OPERABLE WINDOW HORIZONTAL GLAZING ON STEEL FRAME
- K28. INTERIOR OPERABLE WINDOW HORIZONTAL GLAZING ON STEEL FRAME
- K29. INTERIOR OPERABLE WINDOW HORIZONTAL GLAZING ON STEEL FRAME
- K30. INTERIOR OPERABLE WINDOW HORIZONTAL GLAZING ON STEEL FRAME



MATERIAL PERCENTAGE  
NICH-HA 55%  
BRICK 20%  
GLAZING 21%  
CMU 4%

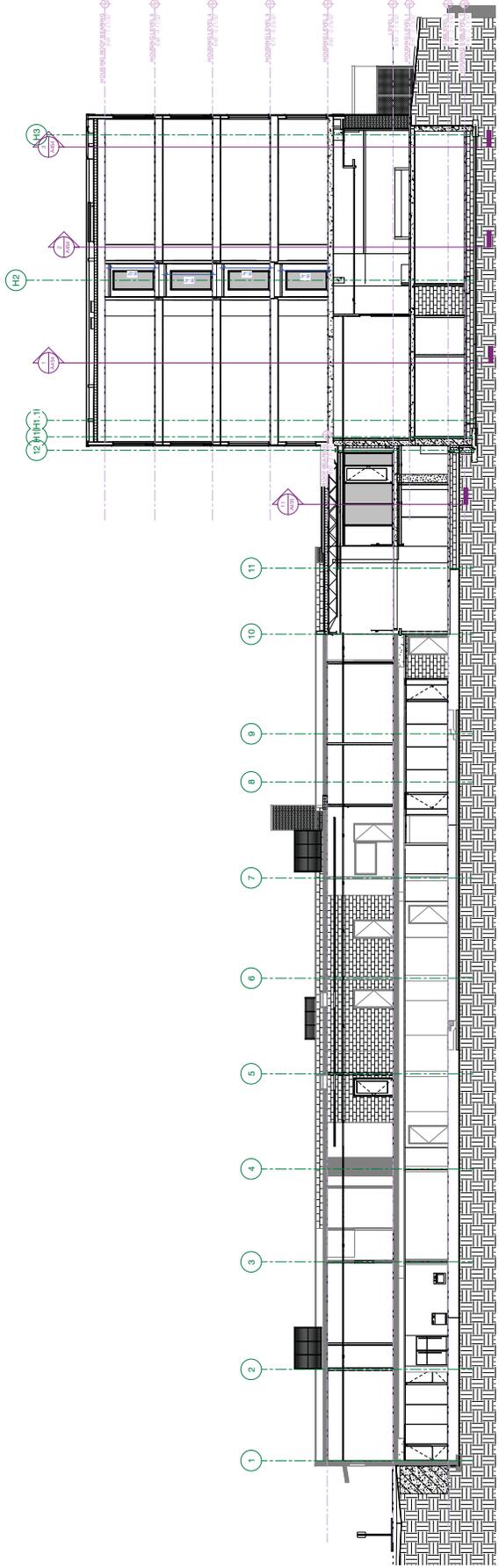
2 SOUTH GRAPHIC



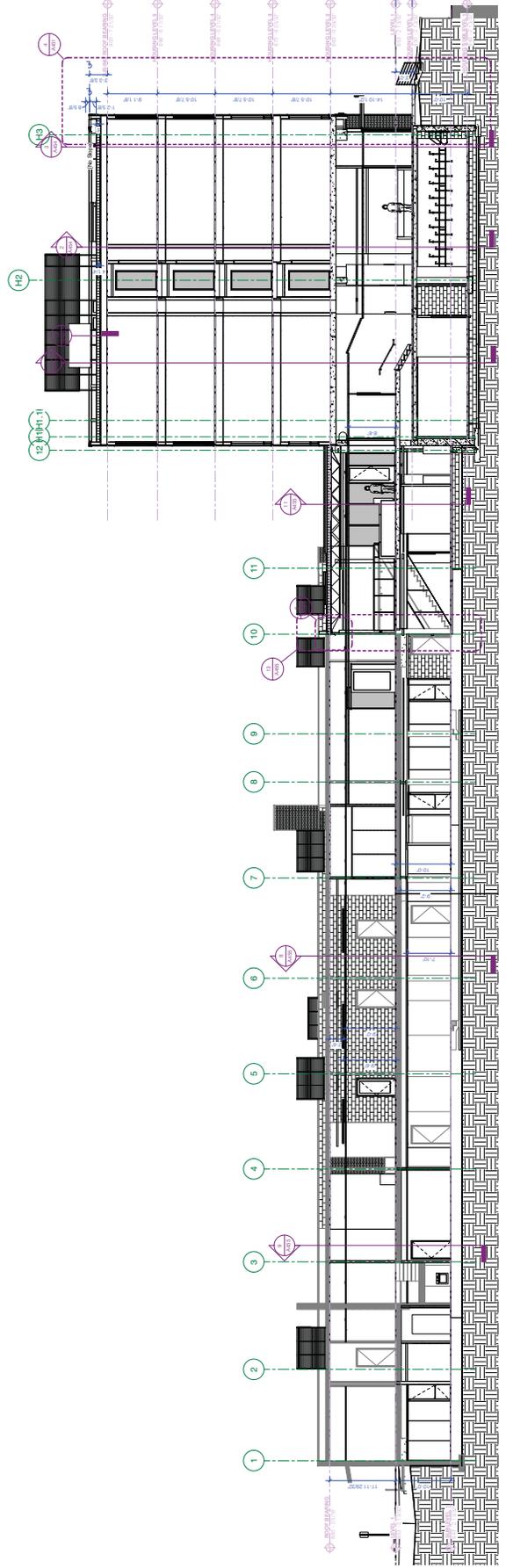
MATERIAL PERCENTAGE  
NICH-HA 40%  
BRICK 51%  
GLAZING 29%

1 EAST GRAPHIC

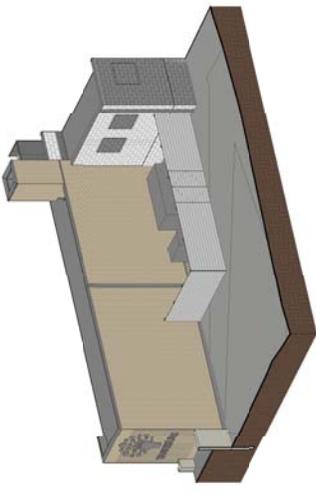




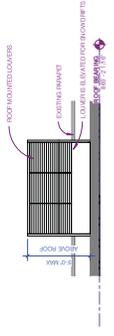
**2** North - South Section1  
1/8" = 1'-0"



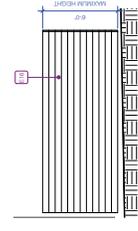
**1** North - South Section  
1/8" = 1'-0"



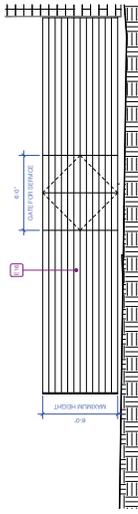
**2** TRANSFORMER & GENERATOR SCREENING  
1/8" = 1'-0"



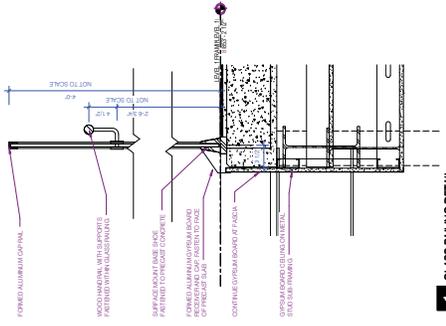
**10** SCREENING @ EXISTING MECHANICAL EQUIPMENT  
1/8" = 1'-0"



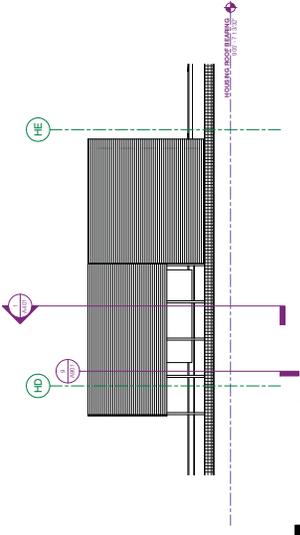
**3** NORTH ELEVATION - TRANSFORMER SCREEN  
1/8" = 1'-0"



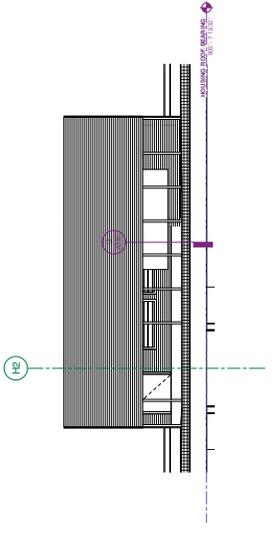
**4** WEST ELEVATION - TRANSFORMER SCREEN  
1/8" = 1'-0"



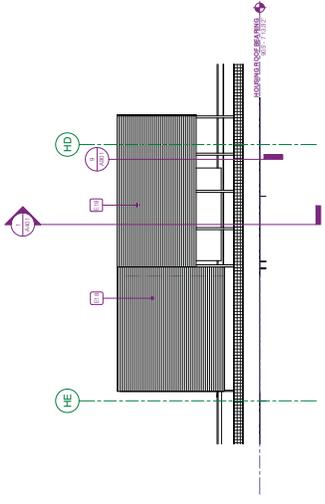
**1** GLASS RAILING DETAIL  
1/8" = 1'-0"



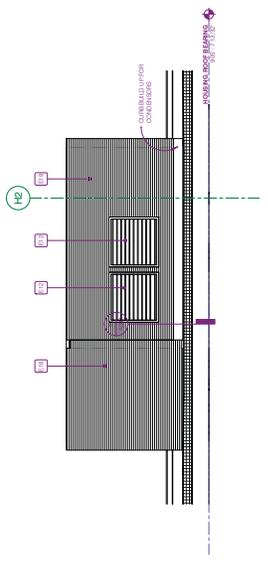
**7** Elevation Roof Screening South  
1/8" = 1'-0"



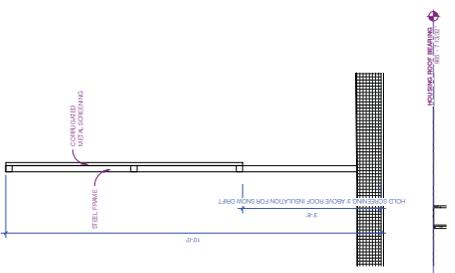
**8** Elevation Roof Screening West  
1/8" = 1'-0"



**5** Elevation - Roof Screening North  
1/8" = 1'-0"



**6** Elevation Roof Screening East  
1/8" = 1'-0"



**9** Section - Roof Screening  
1/8" = 1'-0"





901 BERTH PARK DRIVE, SUITE 410  
MINNEAPOLIS, MN 55412  
CONSULTANT  
**STEEN**  
ENGINEERS, ARCHITECTS &  
DESIGNERS  
700 WASHINGTON AVENUE  
SUITE 1000  
MINNEAPOLIS, MN 55401  
5400 DUNFORD DRIVE NORTH  
CROSSLAKE, MN 55129

I hereby certify that this document was  
prepared by me or under my direct supervision  
and that I am a duly licensed engineer  
under the laws of the State of Minnesota

Signature: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

Project Development  
4/11/2016

PRELIMINARY  
**NOT FOR  
CONSTRUCTION**

REVISIONS  
# Date Description

DATE: APRIL 11, 2016  
PROJECT #:  
PHASE:  
DRAWN BY:  
CHECKED BY:  
BY:  
SAY

SITE  
PHOTOMETRIC  
PLAN

**E003**



### TYPE EE

#### LUMINAIRE SPECIFICATION

**USM-10692**  
Smith ballast LED

Smith ballast LED luminaire is a high performance, energy efficient luminaire. It is designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaire is available in a variety of colors and finishes, and is designed to be easy to install and maintain.

**Physical Data:**  
 LED Color: Warm White (3000K)  
 LED Power: 100W  
 LED Voltage: 120V  
 Luminaire Height: 10.692 ft  
 Luminaire Width: 10.692 ft  
 Luminaire Depth: 10.692 ft

**Options (Please Specify):**  
 □ 100W  
 □ 150W  
 □ 200W  
 □ 300W  
 □ 400W  
 □ 500W  
 □ 600W  
 □ 700W  
 □ 800W  
 □ 900W  
 □ 1000W

**Mounting Accessories:**  
 □ 1/2" Inch Ballast  
 □ 3/4" Inch Ballast  
 □ 1" Inch Ballast  
 □ 1 1/2" Inch Ballast  
 □ 2" Inch Ballast  
 □ 3" Inch Ballast  
 □ 4" Inch Ballast  
 □ 5" Inch Ballast  
 □ 6" Inch Ballast  
 □ 7" Inch Ballast  
 □ 8" Inch Ballast  
 □ 9" Inch Ballast  
 □ 10" Inch Ballast

### TYPE FF

#### LUMINAIRE SPECIFICATION

**USM-21121**  
Smith light column 6' Diameter

Smith light column 6' Diameter luminaire is a high performance, energy efficient luminaire. It is designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaire is available in a variety of colors and finishes, and is designed to be easy to install and maintain.

**Physical Data:**  
 LED Color: Warm White (3000K)  
 LED Power: 21121W  
 LED Voltage: 120V  
 Luminaire Height: 6 ft  
 Luminaire Width: 6 ft  
 Luminaire Depth: 6 ft

**Options (Please Specify):**  
 □ 6 ft  
 □ 8 ft  
 □ 10 ft  
 □ 12 ft  
 □ 14 ft  
 □ 16 ft  
 □ 18 ft  
 □ 20 ft  
 □ 22 ft  
 □ 24 ft  
 □ 26 ft  
 □ 28 ft  
 □ 30 ft

**Mounting Accessories:**  
 □ 1/2" Inch Ballast  
 □ 3/4" Inch Ballast  
 □ 1" Inch Ballast  
 □ 1 1/2" Inch Ballast  
 □ 2" Inch Ballast  
 □ 3" Inch Ballast  
 □ 4" Inch Ballast  
 □ 5" Inch Ballast  
 □ 6" Inch Ballast  
 □ 7" Inch Ballast  
 □ 8" Inch Ballast  
 □ 9" Inch Ballast  
 □ 10" Inch Ballast

### TYPE AA, BB, CC

#### CSAW LED LED Wall Luminaire

CSAW LED LED Wall Luminaire is a high performance, energy efficient luminaire. It is designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaire is available in a variety of colors and finishes, and is designed to be easy to install and maintain.

**Specifications:**  
 LED Color: Warm White (3000K)  
 LED Power: 100W  
 LED Voltage: 120V  
 Luminaire Height: 10.692 ft  
 Luminaire Width: 10.692 ft  
 Luminaire Depth: 10.692 ft

**Options (Please Specify):**  
 □ 100W  
 □ 150W  
 □ 200W  
 □ 300W  
 □ 400W  
 □ 500W  
 □ 600W  
 □ 700W  
 □ 800W  
 □ 900W  
 □ 1000W

**Mounting Accessories:**  
 □ 1/2" Inch Ballast  
 □ 3/4" Inch Ballast  
 □ 1" Inch Ballast  
 □ 1 1/2" Inch Ballast  
 □ 2" Inch Ballast  
 □ 3" Inch Ballast  
 □ 4" Inch Ballast  
 □ 5" Inch Ballast  
 □ 6" Inch Ballast  
 □ 7" Inch Ballast  
 □ 8" Inch Ballast  
 □ 9" Inch Ballast  
 □ 10" Inch Ballast

### TYPE DD

#### New and Existing Construction

**LBSLEDA10L**  
**LBSQLEDA10L**  
1000 Luminaire  
3000K

LBSLEDA10L and LBSQLEDA10L luminaires are high performance, energy efficient luminaires. They are designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaires are available in a variety of colors and finishes, and are designed to be easy to install and maintain.

**Specifications:**  
 LED Color: Warm White (3000K)  
 LED Power: 100W  
 LED Voltage: 120V  
 Luminaire Height: 10.692 ft  
 Luminaire Width: 10.692 ft  
 Luminaire Depth: 10.692 ft

**Options (Please Specify):**  
 □ 100W  
 □ 150W  
 □ 200W  
 □ 300W  
 □ 400W  
 □ 500W  
 □ 600W  
 □ 700W  
 □ 800W  
 □ 900W  
 □ 1000W

**Mounting Accessories:**  
 □ 1/2" Inch Ballast  
 □ 3/4" Inch Ballast  
 □ 1" Inch Ballast  
 □ 1 1/2" Inch Ballast  
 □ 2" Inch Ballast  
 □ 3" Inch Ballast  
 □ 4" Inch Ballast  
 □ 5" Inch Ballast  
 □ 6" Inch Ballast  
 □ 7" Inch Ballast  
 □ 8" Inch Ballast  
 □ 9" Inch Ballast  
 □ 10" Inch Ballast

**resolite**  
1000 Luminaire  
3000K

resolite 1000 Luminaire 3000K is a high performance, energy efficient luminaire. It is designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaire is available in a variety of colors and finishes, and is designed to be easy to install and maintain.

**Specifications:**  
 LED Color: Warm White (3000K)  
 LED Power: 100W  
 LED Voltage: 120V  
 Luminaire Height: 10.692 ft  
 Luminaire Width: 10.692 ft  
 Luminaire Depth: 10.692 ft

**Options (Please Specify):**  
 □ 100W  
 □ 150W  
 □ 200W  
 □ 300W  
 □ 400W  
 □ 500W  
 □ 600W  
 □ 700W  
 □ 800W  
 □ 900W  
 □ 1000W

**Mounting Accessories:**  
 □ 1/2" Inch Ballast  
 □ 3/4" Inch Ballast  
 □ 1" Inch Ballast  
 □ 1 1/2" Inch Ballast  
 □ 2" Inch Ballast  
 □ 3" Inch Ballast  
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 □ 7" Inch Ballast  
 □ 8" Inch Ballast  
 □ 9" Inch Ballast  
 □ 10" Inch Ballast



974 BERTH STREET, SUITE 410  
MINNEAPOLIS, MN 55415  
TEL: 612.339.2200

CONSULTANT

**STEEN**  
ENGINEERS, ARCHITECTS & PLANNERS  
1000 WASHINGTON AVENUE, SUITE 1000  
MINNEAPOLIS, MN 55402  
TEL: 612.339.2200  
WWW.STEENENGINEERS.COM

2400 Douglas Drive North  
Clyde, MN 55229

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota.

Signature: \_\_\_\_\_  
Title: \_\_\_\_\_

Project Name: \_\_\_\_\_  
Project #: \_\_\_\_\_

Date: \_\_\_\_\_

Scale: \_\_\_\_\_

Sheet No: \_\_\_\_\_

Project No: \_\_\_\_\_

Revision: \_\_\_\_\_

Drawn By: \_\_\_\_\_

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Revision: \_\_\_\_\_

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Date: \_\_\_\_\_

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Revision: \_\_\_\_\_

Drawn By: \_\_\_\_\_

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# PPL YouthLink Housing and Youth Opportunity Center Renovation

LAND USE APPLICATION 05.02.2016





# PPL YouthLink Housing and Youth Opportunity Center Renovation

MINNEAPOLIS, MN | 03.21.2016 | 15-0032



1.  
VIEW FROM EAST



2.  
VIEW FROM NORTHEAST



## PPL YouthLink Housing and Youth Opportunity Center Renovation

MINNEAPOLIS, MN | 03.21.2016 | 15-0032



3.

VIEW OF EXISTING ENTRY



4.

VIEW FROM SOUTHWEST



5.

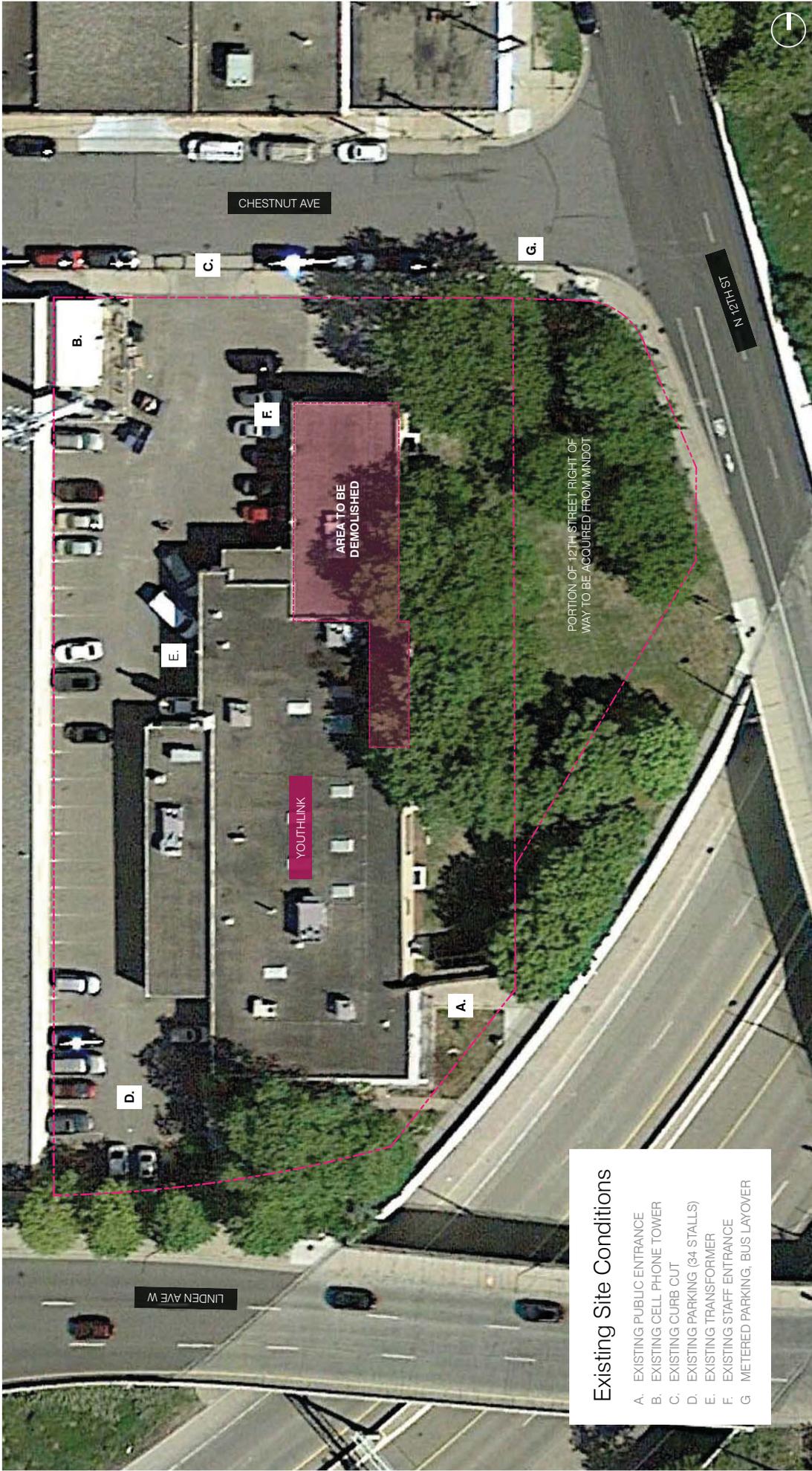
VIEW FROM NORTHWEST



# PPL YouthLink Housing and Youth Opportunity Center Renovation

MINNEAPOLIS, MN | 03.21.2016 | 15-0032

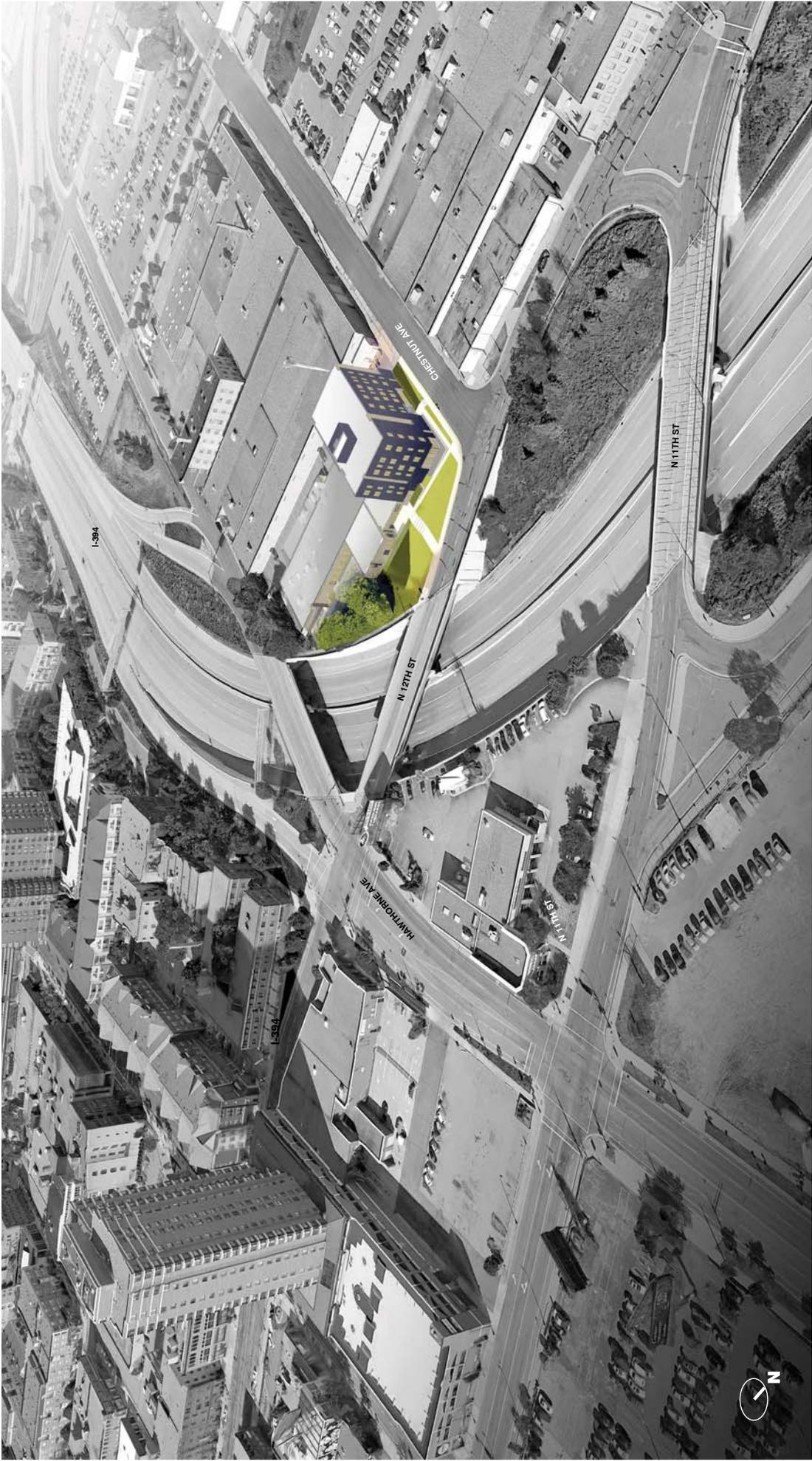




### Existing Site Conditions

- A. EXISTING PUBLIC ENTRANCE
- B. EXISTING CELL PHONE TOWER
- C. EXISTING CURB CUT
- D. EXISTING PARKING (34 STALLS)
- E. EXISTING TRANSFORMER
- F. EXISTING STAFF ENTRANCE
- G. METERED PARKING, BUS LAYOVER





# PPL YouthLink Housing and Youth Opportunity Center Renovation

MINNEAPOLIS, MN | 03.21.2016 | 15-0032





Councilmember Blong Yang  
350 S. 5th St., Room 307  
Minneapolis, MN 55415

April 27, 2016

Re: PPL YouthLink Supportive Housing Development

Dear Councilmember Yang:

We are sending this letter as part of the formal land use application for the PPL YouthLink Supportive Housing project. As you may recall, this project will provide life-changing stable housing and social services to 46 formerly homeless young people. The project's target age of 18-23 is a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless young people to develop the goals, relationships and skills needed to navigate life as self-sufficient adults. Project for Pride in Living (or 'PPL') will develop, own and manage the housing long-term, and YouthLink will provide supportive services to residents. The new housing will be located on YouthLink-owned land at 41 12<sup>th</sup> Street North and will be attached to the existing Youth Opportunity Center. The project has the formal support of the North Loop Neighborhood Association.

We are submitting our application for the following land use changes and reviews in early May:

- Site Plan Review
- Vacation of the former 12<sup>th</sup> Street right-of-way (vacant land directly adjacent to YouthLink's current site)
- Rezoning from Industrial 1 to B4C
- Replat of the property into one parcel
- Solar Energy Systems application (for a roof-mounted photovoltaic array)

PPL will be submitting the land use applications, with YouthLink's acknowledgement and support. Both of our organizations appreciate the staunch support City of Minneapolis staff and Councilmembers have provided to the project to date, and we look forward to continued fruitful collaboration as we get closer to closing and construction start!

Please let me know if you have any questions about the land use application, or the project more generally. I can be reached at 612-455-5220 or [abbie.loosen@ppl-inc.org](mailto:abbie.loosen@ppl-inc.org).

Sincerely,

Abbie Loosen, Project Manager



North Loop Neighborhood Association  
207 5<sup>th</sup> Avenue North  
Minneapolis, MN 55401

April 27, 2016

Re: PPL YouthLink Supportive Housing Development

Dear North Loop neighbors:

We are sending this letter as part of the formal land use application for the PPL YouthLink Supportive Housing project. As you may recall from our recent presentations to the Land Use Committee and Board of the North Loop Neighborhood Association, this project will provide life-changing stable housing and social services to 46 formerly homeless young people. The project's target age of 18-23 is a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless young people to develop the goals, relationships and skills needed to navigate life as self-sufficient adults. Project for Pride in Living (or 'PPL') will develop, own and manage the housing long-term, and, thanks in part to the North Loop's support, YouthLink will provide supportive services to residents. The new housing will be located on YouthLink-owned land at 41 12<sup>th</sup> Street North and will be attached to the existing Youth Opportunity Center, hosted by YouthLink. Though we have visited the North Loop Neighborhood Association many times about this project, Minneapolis' land use application requirements dictate that we document our communication in writing – hence this letter.

We are submitting our application for the following land use changes and reviews in early May:

- Site Plan Review
- Vacation of the former 12<sup>th</sup> Street right-of-way (vacant land directly adjacent to YouthLink's current site)
- Rezoning from Industrial 1 to B4C
- Replat of the property into one parcel
- Solar Energy Systems application (for a roof-mounted photovoltaic array)

This project is a collaboration between two local non-profit organizations, each with a long history of results-oriented service to low-income households. PPL will be submitting the land use applications, with YouthLink's acknowledgement and support. Please let me know if you have any questions about the land use application – my direct number is 612-455-5220.

Sincerely,

Abbie Loosen, Project Manager



Downtown Minneapolis Neighborhoods Association  
40 South Seventh Street, Suite 212 PMB 172  
Minneapolis, MN 55402

April 27, 2016

Re: PPL YouthLink Supportive Housing Development

To the Downtown Minneapolis Neighborhoods Association:

We are sending this letter as part of the formal land use application for the PPL YouthLink Supportive Housing project. As you may recall from our recent presentations to Committees and Board of the DMNA, this project will provide life-changing stable housing and social services to 46 formerly homeless young people. The project's target age of 18-23 is a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless young people to develop the goals, relationships and skills needed to navigate life as self-sufficient adults. Project for Pride in Living (or 'PPL') will develop, own and manage the housing long-term, and, thanks in part to the DMNA's support, YouthLink will provide supportive services to residents. The new housing will be located on YouthLink-owned land at 41 12<sup>th</sup> Street North and will be attached to the existing Youth Opportunity Center, hosted by YouthLink. This project will not be located within either of the Downtown Neighborhoods, but will be located very close to DMNA boundaries, which is why we are providing this formal notice.

We are submitting our application for the following land use changes and reviews in early May:

- Site Plan Review
- Vacation of the former 12<sup>th</sup> Street right-of-way (vacant land directly adjacent to YouthLink's current site)
- Rezoning from Industrial 1 to B4C
- Replat of the property into one parcel
- Solar Energy Systems application (for a roof-mounted photovoltaic array)

This project is a collaboration between two local non-profit organizations, each with a long history of results-oriented service to low-income households. PPL will be submitting the land use applications, with YouthLink's acknowledgement and support. Please let me know if you have any questions about this application or the project more generally. My direct number is 612-455-5220.

Sincerely,

Abbie Loosen, Project Manager



Citizens for A Loring Park Community  
430 Oak Grove Street # 117  
Minneapolis, MN 55403

April 27, 2016

Re: PPL YouthLink Supportive Housing Development

To Citizens for a Loring Park Community:

We are sending this letter as part of the formal land use application for the PPL YouthLink Supportive Housing project. As you may recall from our presentation to your Land Use Committee in winter of 2015, this project will provide life-changing stable housing and social services to 46 formerly homeless young people. The project's target age of 18-23 is a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless young people to develop the goals, relationships and skills needed to navigate life as self-sufficient adults. Project for Pride in Living (or 'PPL') will develop, own and manage the housing long-term, and YouthLink will provide supportive services to residents. The new housing will be located on YouthLink-owned land at 41 12<sup>th</sup> Street North and will be attached to the existing Youth Opportunity Center, hosted by YouthLink. This project will not be located within the Loring Park neighborhood, but will be located very close to Loring Park's boundaries, which is why we are providing this formal notice.

We are submitting our application for the following land use changes and reviews in early May:

- Site Plan Review
- Vacation of the former 12<sup>th</sup> Street right-of-way (vacant land directly adjacent to YouthLink's current site)
- Rezoning from Industrial 1 to B4C
- Replat of the property into one parcel
- Solar Energy Systems application (for a roof-mounted photovoltaic array)

This project is a collaboration between two local non-profit organizations, each with a long history of results-oriented service to low-income households. PPL will be submitting the land use applications, with YouthLink's acknowledgement and support. Please let me know if you have any questions about this application or the project more generally. My direct number is 612-455-5220.

Sincerely,

Abbie Loosen, Project Manager



**NORTH  
LOOP**  
NEIGHBORHOOD

Abbie Loosen  
Project Manager  
Project for Pride in Living  
1035 E. Franklin Avenue  
Minneapolis, MN 55404

February 29, 2016

**RE: Letter of Support – Project for Pride & Youthlink**

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Dear Abbie,

Thank you for presenting the Youthlink and Project for Pride in Living joint development project on February 17<sup>th</sup> at 41 N 12<sup>th</sup> St. The proposed project would be a housing development of 46 units to add to the headquarters and opportunity center now located on the property. The project includes a remodel to the central Youthlink facility and would also include a community space, conference area, lobby, and new entrance. The North Loop Neighborhood Association (NLNA) understands that to develop the project the site requires a vacation of 12<sup>th</sup>, rezoning to B4C and replatting.

The NLNA supports the project team with their plans as presented. The NLNA also supports the continuing programming that Youthlink and Project for Pride perform in the community and strongly support the affordable housing goals of the project. NLNA wishes the team well in gathering the remainder of the fundraising dollars needed for the project.

Sincerely,  
North Loop Neighborhood Association

DJ Heinle, AIA  
Co-Chair P&Z Committee