



**CPED STAFF REPORT**  
 Prepared for the City Planning Commission

CPC Agenda Item #12  
 July 14, 2014  
 BZZ-6638

**LAND USE APPLICATION SUMMARY**

*Property Location:* 4250 and 4264 Upton Avenue South  
*Project Name:* Linden Crossing  
*Prepared By:* [Mei-Ling Anderson](#), City Planner, (612) 673-5342  
*Applicant:* Mark Dwyer, Linden Hills Redevelopment, LLC  
*Project Contact:* Mark Dwyer  
*Request:* To construct a four-story, mixed-use building with 20 residential units.  
*Required Applications:*

<b>Conditional Use Permit</b>	To increase the maximum allowed height from the permitted 3 stories/42 feet to 4 stories/56 feet.
<b>Variance</b>	To reduce the north interior side yard setback from 11 feet to 9 feet for the building wall, to 6.5 feet for two balconies with awnings, and to 2.5 feet for a terrace.
<b>Variance</b>	To reduce the west interior side yard setback from 12 feet to 10 feet for the building wall and terrace, to 7.5 feet for the balconies with awnings, and from 11 feet to 6 feet for two balconies, and to 5.5 feet for a terrace.
<b>Site Plan Review</b>	For a new, mixed-use building with 20 residential dwelling units and approximately 6,155 square feet of commercial space.

**SITE DATA**

<b>Existing Zoning</b>	CI Neighborhood Commercial District LH Linden Hills Overlay District
<b>Lot Area</b>	25,052 square feet / 0.58 acres
<b>Ward(s)</b>	13
<b>Neighborhood(s)</b>	Linden Hills Neighborhood Council
<b>Designated Future Land Use</b>	Mixed Use
<b>Land Use Features</b>	Neighborhood Commercial Node
<b>Small Area Plan(s)</b>	<a href="#">Linden Hills Small Area Plan</a>

<b>Date Application Deemed Complete</b>	June 20, 2014	<b>Date Extension Letter Sent</b>	Not applicable
<b>End of 60-Day Decision Period</b>	August 19, 2014	<b>End of 120-Day Decision Period</b>	Not applicable

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The subject site consists of two parcels of land at the northwest corner of the intersection of Upton Avenue South and West 43<sup>rd</sup> Street in the Linden Hills Neighborhood. The property located at 4250 Upton Avenue South is occupied by a vacant two-story office building and the property at 4264 Upton Avenue South is occupied by a one-story building that was most recently occupied by Famous Dave's restaurant and was previously a gas station.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The site is located within a designated Neighborhood Commercial Node with a mix of commercial uses, multi-family housing, low-density residential housing, and a library. Lake Harriet is less than a mile to the east of the subject property.

**PROJECT DESCRIPTION.** The proposed development would be a four-story, mixed-use building with 6,155 square feet of ground-level retail and three levels of residential uses, for a total of 20 dwelling units. The approximate gross floor area of the proposed building would be 50,996 square feet. The commercial space would be designed for four individual retail or office tenants, and the unit mix includes, one-, two-, and three-bedroom units.

The applicant is proposing a total of 60 parking spaces, of which 38 would be located below-grade for residential uses and 22 would be provided at-grade, within the building, for the non-residential uses. The applicant is proposing to honor existing parking agreements for ten of the 22 spaces provided for public use.

The pocket park located at the corner of Upton Avenue South and West 43<sup>rd</sup> Street will remain in place after construction is complete. The applicant is not proposing any modifications to the park and will instead build around it.

The applicant had completed a Travel Demand Management Plan (TDMP) for a former development project proposed for the site, which was approved by both Public Works and CPED Planning. A new TDMP was not required for this development.

**RELATED APPROVALS.** This proposal is an amendment to a project that was approved by the City Planning Commission (CPC) as of October 2012. The primary difference between the previously approved project and the one that is being proposed is the addition of a partial fourth story, which would add two residential units. The approved project contains 42,421 square feet in gross floor area, and the current proposal would increase this by 8,575 square feet to 50,997 square feet. The building's footprint of 21,076 square feet would not increase with the proposed project.

A prior proposal for a five-story building with 40 dwelling units and 11,227 square feet of commercial space. This project would have also spanned three additional parcels with a total of 89,803 square feet of gross floor area. While the CPC approved the project, the decision was appealed and the City Council denied the project in March 2012.

Planning Case #	Application	Description	Action
BZZ-5745	Variances, Site Plan Review	Three-story mixed-use building with 18 dwelling units and 6,052 square feet of commercial space across two parcels.	Approved by the CPC on October 1, 2012.
BZZ-5420	CUP for height, Variances, Site Plan Review, Vacation	Five-story mixed-use building with 40 dwelling units and 11,227 square feet of commercial space across five parcels.	Approved by the CPC on February 6, 2012; appeal upheld by the City Council on March 8, 2012.

**PUBLIC COMMENTS.** As of the printing of this report, staff has received 13 comments from the public in opposition to the project and the neighborhood group has not submitted comments on the project. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum allowed height from the permitted 3 stories/42 feet to 4 stories/56 feet based on the following [findings](#):

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The maximum allowed height of a building in the CI Neighborhood Commercial District is 2.5 stories or 35 feet, whichever is less. However, the maximum permitted height of a structure in the CI district is three stories or 42 feet if the project qualifies for the mixed commercial-residential density bonus. This project qualifies for both the density bonus and, therefore, the maximum height increase.

The proposed 56-foot tall building will not be detrimental to or endanger the public health, safety, comfort, or general welfare provided that the development complies with all applicable building codes, life safety ordinances, and Public Works standards.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The surrounding area contains a range building heights of between one to seven stories. The residential building to the north has three stories; the properties to the east of the subject site have four stories; there is a four-story building located near the southeast corner of Upton Avenue South and West 43<sup>rd</sup> Street; a seven-story building is located one block to the south of the development. The zoning classifications in the surrounding area support as-of-right building heights of four and six stories (R4, R5, R6, OR3, and C2). The CI zoning district applies to approximately twenty properties at or near the intersection of Upton Avenue South and West 43<sup>rd</sup> Street. The CI zoning

district allows buildings heights up to three stories or 42 feet for projects that qualify for the mixed commercial-residential density bonus. As the measurement of building height in the zoning code is based on the adjacent natural grade rather than actual sea elevation, the varied topography of the area plays an important role in the impact a building's height has in conjunction with the structure's bulk and height as measured by the zoning code. If all of the parcels located in the surrounding area were redeveloped up to their permitted building heights, the parcels located at the intersection of Upton Avenue South and West 43<sup>rd</sup> Street would be located in the middle of a valley.

The subject site is separated from adjacent uses on all four sides of the property. There is a public street along the east and south property lines, and the west and northwest portions of the site would contain landscaping. The single-family homes to the west of the site are located approximately 70 feet away from the shared property line. To the north, there is an accessory parking lot separating the subject site and the adjacent three-story residential building. Additionally, the fourth story of the proposed building would be set back at least 12 feet from each building wall.

For these reasons, CPED does not believe that increasing the height of the building will be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property for uses permitted in the district.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Increasing the height of the proposed building will not have an impact on utilities, access roads, or drainage.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Increasing the height of the proposed building will have no impact on traffic congestion in the public streets. The number of units is permitted and the TDMP for the project found that all intersections included in the study area would operate acceptably at Level of Service B or better in the weekday a.m. and p.m. peak hours. In addition, the TDMP found that the site is providing adequate on-site parking.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

**Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.**

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

**Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.**

- 1.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.
- 1.5.2 Facilitate the redevelopment of underutilized commercial areas by evaluating possible land use changes against potential impacts on the surrounding neighborhood.

**Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.**

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

**Land Use Policy 1.11: Preserve and enhance a system of Neighborhood Commercial Nodes that includes a mix of housing, neighborhood-serving retail, and community uses.**

- 1.11.4 Encourage a height of at least two stories for new buildings in Neighborhood Commercial Nodes, in keeping with neighborhood character.
- 1.11.5 Encourage the development of medium- to high-density housing where appropriate within the boundaries of Neighborhood Commercial Nodes, preferably in mixed use buildings with commercial uses on the ground floor.

**Environment Policy 6.2: Protect and enhance air quality and reduce greenhouse gas emissions.**

- 6.2.2 Support energy efficiency and resource conservation.
- 6.2.7 Promote the development of sustainable site and building standards.

**Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.**

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.

The site is located within the boundaries of the *Linden Hills Small Area Plan* adopted by the City Council in December 2013. The plan identifies speaks specifically to building height, shading, and commercial character. It includes the following general guidance for building height:

- Encourage overall building heights and floor-to-floor heights that reflect the adjacent architectural context and encourage buildings that are shorter than the current Zoning Code maximums for 3 and 4 story buildings (42 feet and 56 feet respectively).
- The fourth story of any building in the three neighborhood commercial nodes and along the community corridors shall be stepped back from the street facing façade(s) of the building by at least 10 feet.

The proposed development's building height of 56 feet would be consistent with the height of other buildings within the commercial node. In addition, the fourth story of the proposed project would be stepped back 10 feet from all facades to minimize shadowing on adjacent streets and residential uses. Similarly, the plan encourages the massing of new development to reflect the character established by the massing of existing development within the Neighborhood Commercial Node. The proposed project appropriately articulates the existing massing intervals of the surrounding node on each façade.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of the CI Neighborhood Commercial District.

### **Additional Standards to Increase Maximum Height**

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following [factors](#) when determining the maximum height of principal structures in commercial districts:

1. *Access to light and air of surrounding properties.*

The proposed building would be 56 feet in height as measured from natural grade. However, the building wall adjacent to the public sidewalk would be 42 feet above the adjacent grade, as the fourth story covers the middle 50 percent of the third floor and is stepped back from the edge of the floors below by 12 feet or more on all sides of the property. Increasing the height of the proposed development should not impede access to light and air that the surrounding properties receive.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The proposed building bulk is centered on the property. Allowing an increase of 14 feet above the permitted height would not have significant shadowing effects on adjacent residential properties, significant public spaces, or existing solar energy systems, if any.

The applicant submitted a shadow study showing the proposed development's impacts at 9 a.m. and 4 p.m. on June 21<sup>st</sup>, on September 23<sup>rd</sup>, and on December 21<sup>st</sup>. The shadow study indicates that there will be minimal shadowing cast on the residential properties located on the north and west sides of the development site during June, September, and December. The study does indicate some shadowing impacts on the residential properties located on the west side of the development in the winter study. The materials also include a comparison of the shadowing effect at same times of day and same times of year for a building that is 42 feet in height within the same building footprint. Due to the fourth level being set back at least 12 feet from the edge of the third floor on all sides of the building, there is little difference in shadowing impacts between the 42-foot proposal and the 56-foot proposal.

There are two existing solar energy panel systems in the area. One is on a commercial building located at 2813 West 43<sup>rd</sup> Street. The proposed development will have no impact on this system. The other solar energy panel system is located at 4231 Vincent Avenue South. The applicant submitted a detailed shadow study that looks at how the proposed development would impact the solar energy panel system located at 4231 Vincent Avenue South. The study concludes that some portion of the solar energy panel system will be shadowed between November 10<sup>th</sup> and February 1<sup>st</sup>. The longest that the solar energy panel system will be in a shadow during any given day is one hour and ten minutes. Thus, the building would not have a substantial impact on the functionality of the system.

The zoning code limits the height of a story to 14 feet in height. In the past, many conditional use permits to increase the height of a building from four stories to five stories have been approved. In most cases, the overall height of the five-story building was 56 feet, and the height of the proposed building is four stories/56 feet.

3. *The scale and character of surrounding uses.*

The buildings in the surrounding area range between one and seven stories. The residential building to the north is three stories in height, there are four-story buildings located towards the northeast and east sides of the site, there is a four-story building located near the southeast corner of Upton Avenue South and West 43rd Street and there is a seven-story building located one block south of the site on the northwest corner of Upton Avenue South and West 44th Street.

The character of the buildings in the neighborhood is varied. Most of the commercial buildings and many of the single-family homes were built in the early 1900s, while many of the multiple-family dwellings were built mid-twentieth century. There are, however, several infill buildings that have been built in the last ten years.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

The proposed development will not block views of landmark buildings, significant open spaces, or bodies of water.

## VARIANCES

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the north interior side yard setback from 11 feet to 9 feet for the building wall, to 6.5 feet for two balconies with awnings, and to 2.5 feet for a terrace, and a variance to reduce the west interior side yard setback from 12 feet to 10 feet for the building wall and terrace and to 7.5 feet for the balconies with awnings, and from 11 feet to 6 feet for two balconies, and to 5.5 feet for a terrace based on the following findings:

I. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is seeking a variance to reduce the north interior side yard setback from 11 feet to nine feet for the building structure, to 6.5 feet for two balconies with awnings on the third floor, and to 2.5 feet for the second floor terrace. The public hearing notice listed the setback for the balconies as five feet and the setback for the terrace as two feet, however, the actual distance to the property line is actually greater and the description in the staff report has been updated to reflect this.

Similarly, the applicant is seeking a variance to reduce the west interior side yard setback from 12 feet to 10 feet for the building wall of the structure and second floor terrace, to 7.5 feet for the second and third floor balconies with awnings adjacent to the RI district, and from 11 feet to 5.5 feet for the second floor terrace, and to six feet for the two third floor balconies. The actual setback distances to the property line for the balconies and terraces are actually greater than was described in the public hearing notice, and the setback description in the staff report has been updated to reflect the actual proposed distance.

The zoning code allows balconies, decks, and ground level patios not exceeding 50 square feet in area to project up to four feet into a required interior side yard of a multiple family dwelling, provided that the balcony, deck, or ground level patio be located no closer than ten feet from the interior side lot line. The proposed fabric awnings located over the balconies trigger a setback variance, as they project more than four feet into the required north interior side yard and the

balconies are within the ten-foot minimum distance to the property line that would be required for a permitted obstruction.

The site is zoned CI Neighborhood Commercial District and is located in a designated Neighborhood Commercial Node. The applicant is trying to balance the policies that support increased commercial activity and residential density on the site with the need to provide outdoor space for the residents by designing the development as a mixed-use building. The property is shaped like an “L” and the building footprint follows the shape of the lot, which makes it difficult to accommodate outdoor open space for the residential units. Balconies with awnings or resident rooftop terraces are being proposed for each unit to accommodate outdoor space for the residents. CPED staff believes that practical difficulties exist in complying with the ordinance because of the circumstances unique to the property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The request to allow a reduced setback along the north interior and west interior property lines to accommodate residential rooftop terraces and balconies with awnings is reasonable and is in keeping with the spirit and intent of the ordinance and comprehensive plan. The intent of having hard controls is to provide for the orderly development and use of land, and to minimize conflicts between adjacent land uses by regulating the dimension and use of yards by providing adequate light, air, open space, and separation of uses. The proposed rooftop terraces and balconies with awnings will not diminish light, air, or open space for the adjacent properties. There is a surface parking lot located to the north of the development site. The single-family homes that are located to the west of the site are located approximately 70 feet away.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. Again, there is a surface parking lot located to the north of the development site and the single-family homes located to the west of the site are located approximately 70 feet away.

## SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

### **I. Conformance to all applicable standards of Chapter 530, Site Plan Review.**

#### **Building Placement and Design – Meets requirements**

- The building reinforces the street wall, facilitates pedestrian access, and maximized natural surveillance. The building entrances at street level can be accessed by residents, guests, employees, and customers. There are large windows facing the street that maximize the opportunities for people to observe adjacent spaces and the public sidewalks.
- The site is located on a reverse corner lot, which requires that both walls abutting the streets be located within eight feet of the property line. The first floor of building is within eight feet of both the front property lines on both Upton Avenue South and West 43rd Street.

- The area between the building and property lines will be used for additional sidewalk space and landscaping. The applicant is proposing to locate a transformer in the northeast corner of the site between the building and Upton Avenue South. CPED is recommending that the applicant provide landscaping materials that reach a minimum height of five feet to screen the transformer from the public sidewalk.
- The principal entrance to the building is oriented toward Upton Avenue South. In addition, each of the individual commercial tenant spaces has an entrance facing either Upton Avenue South or West 43<sup>rd</sup> Street.
- All of the proposed parking is located below ground or enclosed within the building.
- The building wall along Upton Avenue South is approximately 197 feet in length. The applicant has used a variety of materials, recesses in the building wall, bay windows, and different size window openings to break up the façade into smaller sections.
- There are no areas of the development that are over 25 feet in length and void of windows, entries, recesses or projections, or other architectural elements.
- The exterior materials of the building will include stone, brick, metal, and Nichiha. The sides and rear of the building are similar to and compatible with the front of the building. Plain face concrete block is not proposed as an exterior material.
- The Linden Hills Overlay District requires that at least 40 percent of the first-floor façade facing a public street or sidewalk be windows or doors of clear or lightly tinted glass that allows views into and out of the building, as measured between two and ten feet above the finished level of the first floor. In addition, at least 10 percent of the upper floors facing a public street, sidewalk, pathway, or on-site parking lot are required to be windows. The window requirement applies to the Upton Avenue South (east) and West 43<sup>rd</sup> Street facades (south). The project is in compliance with the minimum window requirement (see **Table I**).
- The windows are vertical in nature and are evenly distributed along the building walls.
- Seventy-four percent of the building frontage along Upton Avenue South and 60 percent of the building frontage along West 43<sup>rd</sup> Street contain active functions. Alternative compliance is required for the frontage along West 43<sup>rd</sup> Street.
- The principal roof line of the building will be flat. The majority of the commercial buildings and the multiple-family buildings in the area have flat roofs and the majority of the single-family homes in the area have pitched roofs.

**Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking**

	Code Requirement		Proposed	
<b>Upton Ave S (East facade)</b>				
1 <sup>st</sup> Floor	40% minimum	630 sq. ft.	43%	636 sq. ft.
2 <sup>nd</sup> and 3 <sup>rd</sup> Floors	10% minimum	256 sq. ft.	33%	856 sq. ft.
4 <sup>th</sup> Floor	10% minimum	175 sq. ft.	35%	620 sq. ft.
<b>W 43<sup>rd</sup> St (South facade)</b>				
1 <sup>st</sup> Floor	40% minimum	205 sq. ft.	63%	324 sq. ft.
2 <sup>nd</sup> and 3 <sup>rd</sup> Floors	10% minimum	183 sq. ft.	33%	600 sq. ft.
4 <sup>th</sup> Floor	10% minimum	126 sq. ft.	16%	199 sq. ft.

**Access and Circulation – Meets requirements**

- All of the principal entrances leading into and out of the building are connected to the public sidewalk either directly or via a walkway.

- No transit shelters are proposed as part of this development.
- All of the proposed parking is located below-ground or enclosed within the building. Vehicular access has been designed to minimize conflicts with pedestrians and surrounding residential uses.
- There are no public alleys adjacent to the site.
- There is no maximum impervious surface requirement in the CI zoning district. According to the materials submitted by the applicant, 90 percent of the site will be impervious. Currently, 78 percent of the site is impervious.

**Landscaping and Screening – Meets requirements**

- The composition and location of landscaped areas complement the scale of the development and its surroundings.
- The zoning code requires that at least 20 percent of the site not occupied by buildings be landscaped. The lot area of the site is 25,052 square feet and the building footprint is 21,076 square feet. The difference is 3,976 square feet, and 20 percent of this number is 795 square feet. The applicant is proposing approximately 2,617 square feet of landscaping on the site, or approximately 66 percent of the site not occupied by the building.
- The zoning code requires that the site contain at least one canopy tree per 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space. The tree requirement for this site is two and the shrub requirement is eight. The applicant is providing a total of three canopy trees and 20 shrubs on-site, as well as a variety of perennials. The applicant is also proposing new canopy trees and other landscape materials in the right-of-way along both Upton Avenue South and West 43<sup>rd</sup> Street.
- All areas not occupied by buildings contain landscaping.
- There is no surface parking proposed for the site, so the site is not subject to the screening and landscaping requirements for parking areas per Chapter 530.

**Table 2. Landscaping and Screening Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	25,052 sq. ft.
<b>Building footprint</b>	--	21,076 sq. ft.
<b>Remaining Lot Area</b>	--	3,976 sq. ft.
<b>Landscaping Required</b>	795 sq. ft.	2,617 sq. ft.
<b>Canopy Trees (1: 500 sq. ft.)</b>	2 trees	3 trees
<b>Shrubs (1: 100 sq. ft.)</b>	8 shrubs	100 shrubs

**Additional Standards – Meets requirements**

- There are no surface parking spaces proposed on the site.
- There are no important elements of the city near the site that will be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building should have minimal wind effects on the surrounding area.
- The site plan complies with crime prevention design elements as the building entrances are located up to the front property lines, there are windows where people can see in and out

along all levels of the building and there are lights located near all of the entrances and throughout the grounds.

- This site is neither historically designated nor is it located in a historic district.

**2. Conformance with all applicable regulations of the zoning ordinance.**

The proposed use of a multiple-family dwelling with five or more units and general retail sales and services is *permitted* in the CI zoning district.

**Off-street Parking and Loading – Meets requirements**

- The minimum parking requirement for the development is 28 spaces, assuming that the four commercial spaces will be occupied by general retail sales and services. There will be a total of 60 spaces provided, as shown in **Table 3**.
- The Linden Hills Overlay District requires that the number of accessory spaces for nonresidential uses shall not exceed 150 percent of the minimum requirement. The minimum requirement for non-residential uses is 15 and the allowance under the overlay district regulations is 23. The proposed total of 22 spaces therefore meets the Linden Hills Overlay District regulations.

**Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)**

	<b>Minimum Parking Requirement</b>	<b>Maximum Parking Allowed</b>	<b>Linden Hills Overlay District Maximum</b>	<b>Proposed</b>
<b>Residential</b>	20	--	--	38
<b>General retail sales and services</b>	8	31	12	12
<b>Easement Uses</b>	--	--	--	10
<b>Total</b>	<b>28</b>	<b>31</b>		<b>60</b>

- The minimum bicycle parking requirement for multiple-family dwellings with five or more units is one space per two dwelling units. The development contains 20 dwelling units and the minimum number of bicycle parking spaces is ten. The applicant is proposing 20 bicycle racks in the below-grade parking garage for the residents of the building.
- The minimum bicycle parking requirement for the general retail sales and services uses is 3 spaces per use. Retail spaces that have less than 1,000 square feet in gross floor area are exempt from this requirement. There are two retail spaces with more than 1,000 square feet in gross floor area, so the total minimum bicycle requirement for non-residential uses is 6.
- The development is not subject to a loading requirement.

**Table 4. Bicycle Parking and Loading Requirements (Chapter 54I)**

	<b>Minimum Bicycle Parking</b>	<b>Minimum Short-Term</b>	<b>Minimum Long-Term</b>	<b>Proposed</b>	<b>Loading Requirement</b>	<b>Proposed</b>
<b>Residential dwellings</b>	10	--	Not less than 90%	20 long-term	None	None
<b>General retail sales and services</b>	6	Not less than 50%	--	12 short-term	None	None
<b>Total</b>	<b>16</b>	<b>--</b>	<b>--</b>	<b>32</b>	<b>0</b>	<b>0</b>

**Building Bulk and Height** – *Requires conditional use permit*

- The maximum floor area ratio (F.A.R.) in the CI zoning district is 1.7. The development qualifies for the mixed residential-commercial density bonus, for a maximum of 2.04 in allowed F.A.R.
- The lot in question is 25,052 square feet in area. The applicant is proposing 50,996 square feet in gross floor area, for a total of 2.04.
- As previously mentioned, a conditional use permit is required to increase the development’s allowed height in the CI zoning district from 3 stories/42 feet, whichever is less, to 56 feet.

**Table 5. Building Bulk and Height Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	25,052 sq. ft. / 0.58 acres
<b>Gross Floor Area (GFA)</b>	--	50,996 sq. ft.
<b>Maximum Floor Area Ratio (GFA/Lot Area)</b>	2.04	2.04
<b>Maximum Building Height</b>	3 stories or 42 feet, whichever is less	56 ft.

**Residential Lot Requirements** – *Meets requirements*

- The proposed dwelling units (DUs) are part of a mixed-use building and the residential lot dimension requirements for the CI district do not apply to this development.

**Table 6. Residential Lot Summary**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Dwelling Units (DU)</b>	--	20 DUs
<b>Density (DU/acre)</b>	--	34.5 DU/acre
<b>Minimum Lot Area</b>	--	1,252 sq. ft. per DU

**Yard Requirements** – *Requires variance(s)*

- The front yard setback along Upton Avenue South and West 43rd Street is zero feet. In the CI zoning district, setback requirements do not typically apply when adjacent to another commercial zoned property. However, when the use is residential and there are windows facing an interior side or rear property line, a setback is required of  $5+2x$ , where  $x$  equals the number of stories above the first floor. This provision applies to the north interior property line and the southern portion of the west rear property line. The resulting setback along these two property lines is 11 feet. The northern portion of the west rear building wall is adjacent to property that is zoned R1, so the west rear interior setback is  $6+2x$ , where  $x$  equals the number of stories above the first floor. The resulting setback along this property line is 12 feet. The applicant has applied for variances to reduce the north interior and west rear setbacks to accommodate the building structure, rooftop terraces, and balconies with awnings over them.

**Table 7. Minimum Yard Requirements**

	<b>Zoning District</b>	<b>Proposed</b>
<b>Front</b> (East – Upton Ave S)	0 ft.	7.5 ft.
<b>Front</b> (South – W 43 <sup>rd</sup> St)	0 ft.	0 ft.
<b>Interior Side</b> (North – adjacent to C1)	11 ft.	9 ft. – building wall 6.5 ft. – balconies 2.5 ft. – terrace
<b>Interior Side</b> (West – adjacent to R1)	12 ft.	10 ft. – building wall 7.5 ft. - balconies
<b>Interior Side</b> (West- adjacent to C1)	11 ft.	5.5 ft. - terrace 6 ft. - balconies

**Signs** – *Not applicable*

- Signs are subject to Chapter [543](#) of the Zoning Code. No signage is proposed for the development at this time and the applicant will be required to submit a separate signage permit application for any signage that is proposed in the future.

**Dumpster Screening** – *Meets requirements*

- There will be trash and recycling rooms located within building on the first floor.

**Screening of Mechanical Equipment** – *Meets requirements with Conditions of Approval*

- The transformer adjacent to Upton Avenue South shall be fully screened.

**Lighting** – *Meets requirements with Conditions of Approval*

- A lighting plan showing footcandles shall be submitted to show compliance with the requirements of Chapter 535, Regulations of General Applicability.

**Impervious Surface Area** – *Not applicable*

**Specific Development Standards** – *Not applicable*

**LH Linden Hills Overlay District Standards** – *Meets requirements*

- The proposal is in compliance with the LH Linden Hills Overlay District.

**3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.**

*The Minneapolis Plan for Sustainable Growth* identifies the site as Mixed Use on the future land use map and is located within a designated Neighborhood Commercial Node. In addition to the policies cited for the conditional use permit application, the proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

**Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.**

- 10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.

**Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.**

- 10.5.1 Smaller-scale, multi-family residential development is more appropriate along Community Corridors and Neighborhood Commercial Nodes.

**Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.**

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

**Urban Design Policy 10.14: Encourage development that provides functional and attractive gathering spaces.**

**Urban Design Policy 10.15: Wherever possible, restore and maintain the traditional street and sidewalk grid as part of new developments.**

**Urban Design Policy 10.16: Design streets and sidewalks to ensure safety, pedestrian comfort and aesthetic appeal.**

- 10.16.1 Encourage wider sidewalks in commercial nodes, activity centers, along community and commercial corridors and in growth centers such as Downtown and the University of Minnesota.
- 10.16.2 Provide streetscape amenities, including street furniture, trees, and landscaping, that buffer pedestrians from auto traffic, parking areas, and winter elements.
- 10.16.3 Integrate placement of street furniture and fixtures, including landscaping and lighting, to serve a function and not obstruct pedestrian pathways and pedestrian flows.
- 10.16.4 Employ pedestrian-friendly features along streets, including street trees and landscaped boulevards that add interest and beauty while also managing storm water, appropriate lane widths, raised intersections, and high-visibility crosswalks.

**Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.**

CPED believes that the proposed development is in conformance with the above policies of *The Minneapolis Plan for Sustainable Growth*.

#### **4. Conformance with applicable development plans or objectives adopted by the City Council.**

The site is located within the boundaries of the *Linden Hills Small Area Plan* adopted by the City Council in December 2013. The project is also located within a Neighborhood Commercial Node and is consistent with the small area plan's land use guidance:

- The Neighborhood Commercial Nodes and Community Corridors are valued for their eclectic diversity of buildings and their scale. New development should reflect the character of the area through articulation, such as massing intervals and varied setbacks. This should be achieved through more than just a change in building materials.

The proposed project appropriately articulates the existing massing intervals of the surrounding node on each façade through regular projections and recesses in the building wall, awnings, windows, and exterior building materials.

The plan speaks specifically to building height, shading, and commercial character. It includes the following general guidance for building height:

- Encourage overall building heights and floor-to-floor heights that reflect the adjacent architectural context and encourage buildings that are shorter than the current Zoning Code maximums for 3 and 4 story buildings (42 feet and 56 feet respectively).
- The fourth story of any building in the three neighborhood commercial nodes and along the community corridors shall be stepped back from the street facing façade(s) of the building by at least 10 feet.

In addition, the plan articulates the importance of “transition areas” between new three- or four-story buildings that are adjacent to single- or two-family structures. The plan calls for the top floor to be set back an additional ten feet from the required rear and side yards of the property. The nearest single or two-family home would be 70 feet to the west and the top floor of the proposed development would be set back from the building wall by 12 feet at minimum in every direction. Staff believes that the project conforms with the applicable policies of the small area plan.

#### **5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is not being requested for this development.

## **RECOMMENDATIONS**

### **Recommendation of the Department of Community Planning and Economic Development for the Conditional Use Permit:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use permit to increase the maximum allowed height from the permitted 3 stories/42 feet to 4 stories/56 feet at the properties located at 4250 and 4264 Upton Avenue South, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity

requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the north interior side yard setback from 11 feet to 9 feet for the building wall, to 6.5 feet for two balconies with awnings, and to 2.5 feet for a terrace at the properties located at 4250 and 4264 Upton Avenue South.

**Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the west interior side yard setback from 12 feet to 10 feet for the building wall and terrace, to 7.5 feet for the balconies with awnings, and from 11 feet to 6 feet for two balconies, and to 5.5 feet for a terrace at the properties located at 4250 and 4264 Upton Avenue South.

**Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a new, mixed-use building with 20 residential dwelling units and approximately 6,155 square feet of commercial space at the properties located at 4250 and 4264 Upton Avenue South, subject to the following conditions:

1. Approval of the final site, elevation, landscaping, and lighting plans by CPED.
2. All site improvements shall be completed by July 14, 2016, unless extended by the zoning administrator, or the permit may be revoked for non-compliance.
3. All signs are expected to comply with Chapter 541 of the Zoning Code. All new signage requires a separate permit from CPED.
4. Landscape materials that reach a minimum height of five feet shall be used to screen the transformer from the public sidewalk along Upton Avenue South.

**ATTACHMENTS**

1. Written description and findings submitted by applicant
2. Zoning map
3. Survey
4. Plans
5. Building perspectives
6. Elevations
7. Section and shadow studies
8. Photos
9. Correspondence

**LINDEN CROSSING MIXED-USE PROJEC  
FERQUEST TO AMEND DEVELOPMENT PLAN  
STATEMENT OF PROPOSED CHANGE AND PROJECT DESCRIPTION  
JUNE 17, 2014**

**Summary of Proposed Changes**

We are pleased to submit this application to amend the current approval for Linden Crossing (“Project”) – a mixed-use project at the NW corner of 43<sup>rd</sup> Street West and Upton Avenue South in the Minneapolis neighborhood of Linden Hills.

Currently approved for 3 levels, the Project was subject to moratorium constraints at the time of land use application. We were not eligible for the standard FAR bonus nor for added height. Implemented in Fall-2012, the moratorium provided time for creation of a small area plan (SAP). The moratorium has been lifted, and the small area plan is now complete. We would like to begin construction this Fall-2014.

As now approved, the building is 3-stories with underground and enclosed ground level parking, first floor retail and residential condos on floors 2 and 3. The roof is 17,000 sf in area, and surrounded on the outer edge by a 3-foot parapet. We’d like to put stepped-back housing and outdoor decks in this roof area. We propose covering 50-percent (1/2) of this 3<sup>rd</sup> floor roof area with 4 condo homes. These will step back 12-feet or more from the outer wall edge of the 3<sup>rd</sup> floor. The building footprint, design and quality will not change from what is now approved.

From adjacent streets and sidewalks, the overall height and scale of the project will seem mostly unchanged from what is approved. Most shadowing from the added condo homes will be on the building itself. And as now approved, the building has enough parking for the added residences.

The added living space will cover 50% of the roof, and transform the rest of the roof to be better used with decks and plantings.

A note on an older proposal that was rejected on appeal. You are aware that, as now approved, the Project follows a prior submittal named Linden Corner. It was approved but overturned on appeal in 2012 for being “too massive” for the neighborhood. It was 5 stories, spanned 5 lots, and totaled 89,803 GSF. Even with the added units on the 3<sup>rd</sup> floor rooftop, this Project is on 2 lots and is just over one-half the GSF of Linden Corner.

**Comparison of the LINDEN CROSSING Project as Approved vs. Proposed**

	<u>As Now Approved</u>	<u>Amend Request</u>
Stories / Height	3 stories / 42'	4 stories / 56' Will cover 50% of 3rd floor (CUP for Height Requested)
Gross Floor Area	42,588 gsf FAR = 1.70	Plus 8,408 gsf = 50,996 gsf total FAR = 2.04 Allowed FAR = 2.04
Commercial Uses	6,052 gsf	6,154 gsf
Dwelling Units	18 du's	Increase of 2 du's to 20 du's
DUs Concentration	31 per acre	35 per acre
Total Parking	62 stalls	Same: 62 stalls
Yards	9 and 10 foot yards required Variances Approved	11 and 12 foot yards required Yard Variances Requested
Assembly	2 lots / 25,052 sf	Same

**Statement Of Proposed Use**

The Project transforms a challenged site into a neighborhood benefit. New stores will activate the street front to complement existing area retail. New condominiums will address the growing need for well-located empty-nester housing choices.

The first floor of the building contains 6,154 gross square feet of street-front commercial space for up to four retailers. The exterior presents with a balance of stone and brick, and varying English-style storefronts of painted wood. The first floor will also have an entrance lobby for the residential units.

Floors two and three are residential-only, with a total of 16 condominium homes clad primarily in brick and panel. These levels step back in several places to create texture and terracing. The fourth floor units will be stepped back considerably from the level below, and are clad in a composite board and batten “medium or dark bronze” in color. Each condominium home has one or more exterior living spaces.

The Project’s fourth floor will contain 4 stepped-back dwelling units covering 50% of the third level roof. The 920 sf rooftop communal deck for residents will be accessed by an elevator lobby, and 2 stairwell vestibules. The remainder of the rooftop will contain decks for private resident use.

Project related vehicle traffic is divided between W. 43<sup>rd</sup> Street and Upton. Underground parking for the condominium owners is accessed from W 43<sup>rd</sup> Street. The first floor public parking area is accessed from Upton Avenue. Garbage is picked-up once per week at curbside on Upton. UPS-type deliveries for the retail tenants can be received on either street. Moving trucks hired by condo owners for move in/out will service curbside on Upton.

Parking spaces are required as follows:

- Twenty parking spaces are required for the 20 dwelling units.
- Eight spaces are required for the on-site commercial uses
- Ten parking spaces are required for off-site uses that currently park on-site via easement.

Parking spaces are provided as follows:

- Thirty eight secure parking spaces (1.9 ratio) below grade for residents.
- Ten for the on-site commercial.
- Two may be purposed for condo guests / service vans.
- Ten parking spaces for the easement stalls.

Below-grade parking (38 stalls) will serve building residents. Public parking (22 stalls) is provided at grade within the building. These public stalls will serve the Project’s retail users and a neighboring business with existing parking easement rights.

The project will be built to a LEED standard. Certification will not be sought. Advice will be sought through the Xcel Energy EDA program to maximize energy efficiency. There will be ample bike racks provided. The site is near the Lake Harriet portion of the Grand Rounds bike route and connect trails. It is also on the MTC bus line number 6. Programs encouraging residents to compost and recycle will be ongoing.

From most sidewalk perspectives, Linden Crossing will present as a three-story building. This is due to the cornice, the parapet, and to the step-back of the upper floor. As a result Linden Crossing shadows about the same with the rooftop units as without. Please see the attached comparative shadow study.

We believe the amended version of the Project offers added housing in a manner that creates benefit without burdening neighboring properties.

The Project does not encroach on the City’s easement at the corner of 43<sup>rd</sup> and Upton Ave. Thus, the “pocket park” at the corner will remain at its current location.

## **Existing Conditions**

The site is made up of two parcels located at the NW corner of 43<sup>rd</sup> Street and Upton Avenue South. Famous Dave's occupied a converted gas station near the corner (4264 Upton) and Edward Jones was the main tenant in a small stucco office building to the north (4250 Upton). Both Famous Dave's and Edward Jones have recently closed / vacated. Of the 25,052 SF of site area, roughly 72% is currently asphalt surface parking. Less than 4% of the site is green space.

Soils are contaminated due to the site's former gas station use. We have been awarded much needed grant funding for site cleanup. We have worked closely with PEER Engineering and American Engineering Testing to manage extensive boring activity, soils testing, and remediation planning. The site is enrolled in the MPCA VIC program.

## **Project Values and Neighborhood Engagement**

The Project is locally grown. Nearly every member of our development team lives or works in Linden Hills. We value the role of our parks, lakes, and business district in bringing us together as neighbors.

We value design form that fits and build quality that lasts. We support green space and green development. We value the benefit of open and honest public engagement.

Public engagement informing this development includes: two-dozen neighborhood council meetings over 3 years; a Fall-2011 series of design Review and Input Groups ("RINGS") meetings with nearly 40 neighbor participants; and City-level feedback gained through review of the prior project proposals.

The design of this project is also informed by the Linden Hills Neighborhood Small Area Plan and the Linden Hills Zoning Overlay. The SAP recommends stepping back the 4<sup>th</sup> story of any building along the street by 10-feet to further reduce the visibility of a fourth story from the street and overall visual impact of four story buildings. The Project's 4<sup>th</sup> story will step back 12-feet or more from the street and all other sides of the building.

## **Required Applications**

1. Conditional use permit for increased height to 4 stories/56 feet.
2. Variance for location of levels 2 and 3, balconies and terrace in a required yard.
3. Site plan review.

## Required Applications

1. Conditional use permit for increased height to 4 stories/56 feet.
2. Variance for location of levels 2 and 3, balconies and terrace in a required yard.
3. Site plan review.

### CONDITIONAL USE PERMIT FOR ADDITIONAL HEIGHT REQUIRED FINDINGS

A conditional use permit is being applied for to allow the building to exceed the 3 story/42-foot height limit for mixed-use buildings in the C-1 District. The proposed building is 4 stories/ 56' in height. The request for increased height for this project meets the required findings for the issuance of a conditional use permit under § 525.340 and the additional considerations for increased height in § 548.110:

1) *That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The proposed building height will not be detrimental to or endanger the public health, safety, comfort or general welfare. From most sidewalk perspectives, Linden Crossing will present as a 3-story building due to the cornice element at the top of the third level, the 3-foot parapet around the perimeter of the 3<sup>rd</sup> floor roof, and the step-back of the upper floor living spaces by 12 or more feet from all sides. A substantial distance separates the Project from neighboring residential structures. Relative to the lower floors of the building, the two homes to the west are 72-feet away, and the condominium complex to the north is 115-feet away. The articulation of the facades further mitigate the impact of the building mass.

2) *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The proposed 4-story building will not be injurious to the use and enjoyment of other property or impede the normal and orderly development of the area and is likely to have a positive effect on property values in the area. There is precedent for height in this area; there are several 4-story residential buildings nearby and there is a 7-story condominium building (measured from the average elevation of its base) one block south at 44<sup>th</sup> Street and Upton. These other buildings lack articulation and none have upper levels that are stepped back. Also, within 100 yards of the project, a condominium building is under construction. It sits in the Lake Harriet Shoreland Overlay District and received approval this year for a needed variance for a fourth floor. Due to area topography, the ground levels of these neighboring buildings are at higher elevations than Linden Crossing. By bringing residential density, expanded commercial services, and high-quality infill development to this corner, this mixed-use project will enhance the use, enjoyment and development of properties in the surrounding area.

3) *Adequate utilities, access roads, drainage, necessary facilities and other measures have been or will be provided.*

Adequate utilities, access, drainage, and other necessary facilities will be provided for the project and the proposed height of the building will have no impact on these features.

4) *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The additional height will have no impact on traffic congestion in the public streets.

5) *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The Project is consistent with the following guidance from the Minneapolis Plan for Sustainable Growth:

- Ensure appropriate transitions between uses with different size, scale, and intensity (Land Use Policy 1.2).
- Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area (Land Use Policy Implementation Step 1.2.1).
- Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses (Land Use Policy 1.8).
- Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features (Land Use Policy Implementation Step 1.8.1).
- Preserve and enhance a system of Neighborhood Commercial Nodes that includes a mix of housing, neighborhood-serving retail, and community uses (Land Use Policy 1.11).
- Encourage the development of medium- to high-density housing where appropriate within the boundaries of Neighborhood Commercial Nodes, preferably in mixed use buildings with commercial uses on the ground floor (Land Use Policy Implementation Step 1.11.5).
- Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks (Urban Design Policy Implementation Step 10.6.1).

The Project is also consistent with the policies of the recently adopted small area plan for Linden Hills.

- New buildings should exhibit similar height, massing and human scale as those that surround them. (SAP "Outline of Themes" p.25).
- Three or four story buildings are allowed in the commercial nodes. (SAP "Building Height and Length" p.46).
- The fourth story of any building in the three neighborhood commercial nodes and along the community corridors shall be stepped back from the street facing façade(s) of the building by at least 10 feet. (SAP "Building Height and Length" p.46).
- ..stepping back the fourth story of the building from street wall reduces the visibility of a fourth story from the street and the overall visual impacts of a four story building, furthering the compatibility with the existing context. (SAP "Building Height and Length" p.47).

The conditional use is consistent with the comprehensive plan policies applicable to the site, including the guidance for appropriate scale and form. From street level perspective, the building will present as a 3-story building. The fourth level will be stepped back 12-feet from the street facing, and all other, facades of the 3-story building. The topography of the area is such that the top of the proposed 4-story

building will be similar or lower in elevation than “shorter” buildings within a block or two radius from the project site, so the visual impact of the building from a distance will be compatible with the surrounding context.

6) *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With approval of the other zoning applications for the project, it will conform to the applicable regulations of the zoning district.

**Additional factors to be considered when determining the maximum height per §548.110:**

(1) *Access to light and air of surrounding properties.*

Public right-of-way separates the Project from a commercial building to the east and south. On the south 1/3<sup>rd</sup> of the west side of the Project, the first floor garage wall is 5 to 7-feet away from a one-story commercial building built to the property line. Residential levels two and three of the Project step away 9-feet, and level four is 30 to 39-feet, from this shared property line. Relative to residential levels two and three of the Project, the two homes to the west are 72-feet away, and the condominium complex to the north is 115-feet away. Allowing an increase in height to 4 stories will not impede access to light and air for the surrounding properties.

(2) *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The shadow studies indicate that the proposed 4-story building will shadow neighboring residential properties at various times, particularly in winter, but the degree of shadowing is not unusual compared to that typically experienced in an urban neighborhood. Moreover, as demonstrated by the comparative shadow studies, the shadows cast by the proposed 4-story building are essentially the same as those that would be cast by a building that was 42-feet tall (and which does not require a CUP for increased height). The building does not shadow significant public spaces. Shadowing of the corner “pocket park” along Upton will occur in the afternoons under any build scenario.

Two solar energy panel systems were identified on surrounding properties. (See enclosed map of solar panel locations.) One is located on the hardware store (formerly the co-op) at 2813 W. 43<sup>rd</sup> Street to the south of the project site and will not be shadowed by the new building. The second is located on the roof of a single-family home at 4231 Vincent Avenue. The panel is located on the western-most end of the south-facing side of the roof. It is anticipated that some portion of the house (but not always including the solar panel) will be shadowed by Linden Crossing from approximately November 15<sup>th</sup> to February 1<sup>st</sup>. On December 21<sup>st</sup>, when the new building will cast the longest shadow, it is projected that the house will be completely clear of shadow from Linden Corner by approximately 10:30 a.m.

(3) *The scale and character of surrounding uses.*

To the north and northeast of the project site is a surface parking lot. To its north are condominium buildings and townhomes of three and four stories in height. Commercial buildings immediately across Upton and 43<sup>rd</sup> are one and two stories tall. Single family dwellings are located on the adjacent lots to the west of the project site. There are several large and tall apartment/condo buildings (mostly 4-

stories and one 7-story building) scattered within one and two blocks around the intersection. A 4-story condominium building is under construction within 100 yards of the site. It sits in the Lake Harriet Shoreland Overlay and received approval this year for a needed CUP for a fourth floor. The topography of the area is such that the top of the proposed 4-story building will be similar or lower in elevation than “shorter” buildings within a block or two radius from the project site. The character of the proposed design takes its cues from the traditional urban forms and features of the Linden Hills commercial node. The highly-articulated facades and quality finishes of the building will be a positive contribution to the architectural character of the area and vastly more appealing than the design of many of the nearby multiple-family dwellings.

(4) *Preservation of views of landmark buildings, significant open spaces or water bodies.*

The Project will not block views of landmark buildings, significant open spaces or water bodies.

#### **VARIANCE OF YARD REQUIREMENT REQUIRED FINDINGS**

Uses in the Commercial zoning districts are not generally subject to yard requirements; however, this project is subject to yard requirements because it is a residential project that includes windows facing an interior side yard or rear yard, and because it is adjacent to an R1 zoning district on the west. For the approved 3-story project, variances were approved for terraces and balconies to project into the required 9-foot and 10-foot yards. The building itself complied with the yard requirements. Because the yard requirement increases with building height, the setback requirements for the proposed 4-story building are 11 and 12 feet and the following variances are being requested.

North interior side yard requirement adjacent to C1 District: The parking lot property to the north is also zoned C1. There is no setback requirement for non-residential uses adjacent to commercially zoned property, so there is no setback requirement for the first floor. There is an 11-foot setback requirement ( $5 + 2x$ ) for the upper floors because they are residential uses. The building wall on the second and third floors is set back 9 feet and projects into the side yard by 2 feet. The terrace area on top of the first-floor roof is within 3 feet and the third floor balconies with awnings are within 6 feet of the property line and also require a variance from the 11-foot setback requirement.

West rear yard adjacent to C1 District: The second and third residential floors are subject to an 11-foot setback on the facade of the building facing the C1 property to the west. The building wall on the second and third floors is set back 9 feet and projects into the side yard by 2 feet. The terrace area on top of the first floor roof projects within 5 feet and a balcony on the third floor projects within 6 feet of the property line and also require a variance from the 11-foot setback requirement.

West rear yard requirement adjacent to R1 District: The portion of the west facade that is adjacent to property zoned R1 is subject to a 12-foot setback requirement that applies to all floors ( $6 + 2x$ ). The building wall is setback 10 feet and projects into the rear yard by 2 feet. Two balconies project within 7 feet of the property line and also require a variance from the 12-foot setback requirement.

We are proposing to add a stepped back 4<sup>th</sup> floor without increasing the setback of the building walls for the lower floors. The proposed 4<sup>th</sup> floor will be stepped back 21 feet or more from all property lines, and 12 feet from the edge of the 3<sup>rd</sup> floor wall. Thus, the impact of the building will be like that of a 3-story building. Maintaining the same building wall, terrace and balcony placements will have the same impact as for the 3-story project already approved.

The project meets the required findings for a variance under § 525.500 of the Zoning Code.

1) *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

A key goal of the project is to provide a housing choice for the neighborhood that is not currently available: accessible, condominium homes with high-quality design and amenities located in the Linden Hills neighborhood commercial node. The proposed homes are appealing to residents who are empty nesters and want to downsize and stay in the area. This project goal is consistent with policies of the comprehensive plan that “promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.” Land Use Policy Implementation Step 1.8.1. This housing type requires spacious units and balcony or terrace amenities. The challenge is to balance unit design, desired density at this node, and setback requirements, including the increased setback associated with the adjacent R1 district which has greater requirements than other residential districts. The L-shape of the development site and the corner easement also impose constraints on the arrangement of the building, uses and amenities. These circumstances present practical difficulties in complying with the ordinance.

2) *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed setbacks are reasonable and typical of what is constructed throughout the city. The purpose of setback requirements is to ensure light and air and appropriate separation of uses. The surrounding development is a commercial building, a parking lot and residential lots that have deep back yards between the houses and the project site. The proposed setbacks will not diminish access to light and air for surrounding uses. As discussed in the findings for the CUP for increased height, the building design is also consistent with the policies of the comprehensive and small area plans.

3) *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance will not alter the essential character of the area, be injurious to the use or enjoyment of other properties, or be detrimental to health, safety or welfare. As noted, the proposed terraces and balconies are typical of multiple-family housing projects throughout the city and are an enhanced design feature. The north side of the building faces a commercial parking lot and the reduced setbacks will not interfere with the use of that property. The southwest terrace and balcony face a commercial building. The west side of the building faces the back yards of single-family homes. Those houses are set near the front of their lots, are 72-feet from the shared property line.

NAME OF APPLICANT

WARD

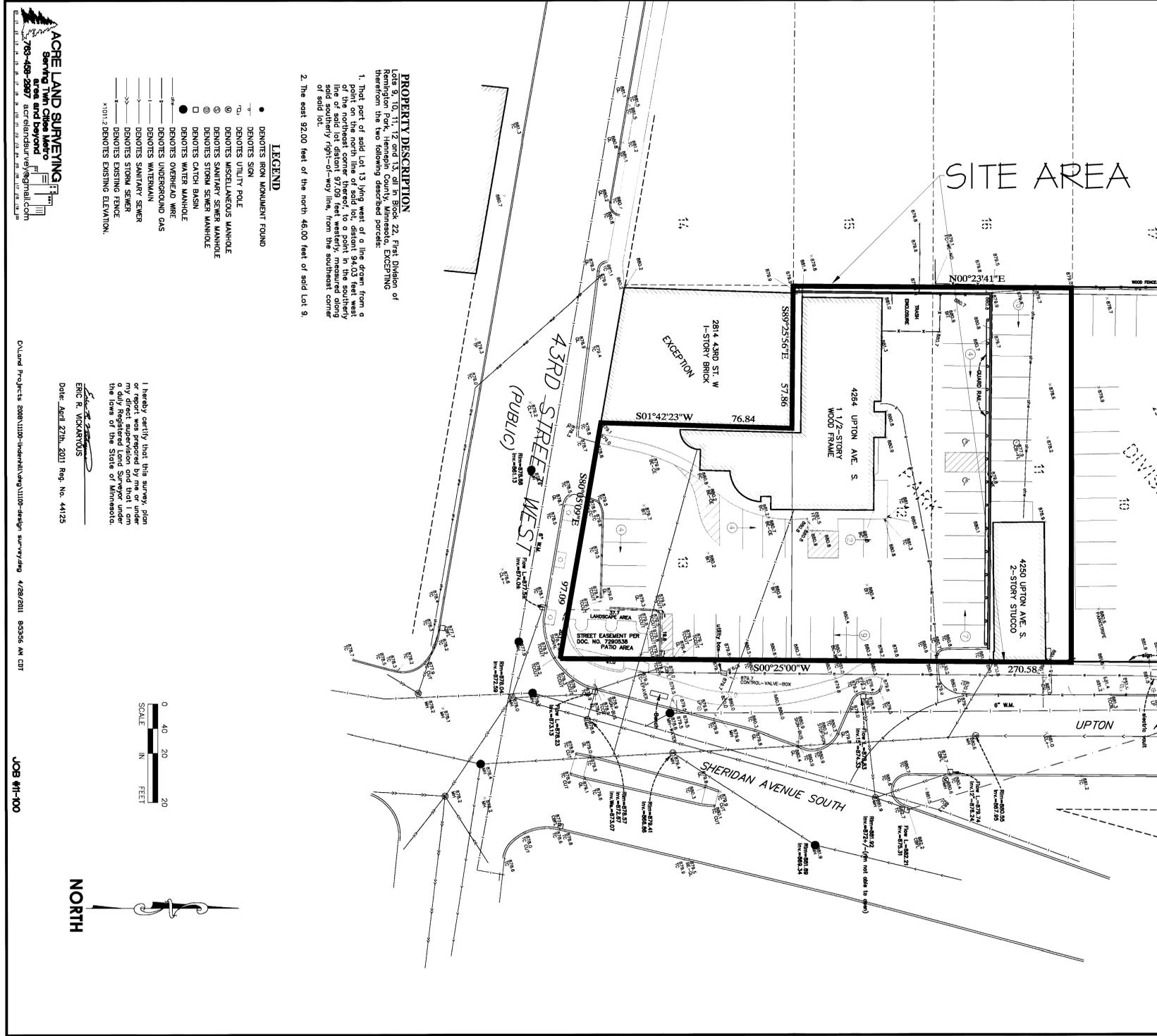


PROPERTY ADDRESS

4250 & 4264 Upton Avenue South

FILE NUMBER

BZZ-6638



**City of Minneapolis Standard Erosion Control Notes**



City of Minneapolis Standard Erosion and Sediment Control Notes for Plans  
 These notes may be used as performance standards or requirements for projects not meeting the threshold for a formal plan.

- Contractor must call a construction start 48 hours prior to any land disturbances 612-473-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
- Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
- Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
- Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped grates are not allowed for inlet protection.
- Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, traps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Repair temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
- Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
- Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated concrete mixing/washout locations as shown in the erosion control plan. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
- Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Construction and details for all proposed alternate type devices.
- If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.

**SUPPLEMENTARY REMOVALS EROSION CONTROL NOTES:**

PROJECT NARRATIVE:  
 PROJECT IS A REDEVELOPMENT OF A COMMERCIAL BUILDING AND SURFACE PARKING LOT INTO A MULTI STORY MULTI FAMILY BUILDING WITH NO SURFACE PARKING.

- CONSTRUCTION REMOVALS SEQUENCING IS PLANNED AS FOLLOWS:
- INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
  - INSTALL SILT FENCE AND INLET PROTECTION IN AND AROUND CATCH BASINS
  - REMOVE EXISTING PARKING AND BUILDING FACILITIES
  - CLEAR AND GRUB REMAINDER OF SITE
  - STRIP AND STOCKPILE TOPSOIL, AND HILL BITUMINOUS
  - PREP AND TRANSITION TO NEW CONSTRUCTION ACTIVITIES

REMOVALS DISTURBANCE LENGTH OF TIME:  
 THE REMOVALS TIMING FOR THIS PROJECT IS EXPECTED TO LAST 30-45 DAYS UNTIL THE START OF NEW CONSTRUCTION.

TEMPORARY AND PERMANENT STABILIZATION  
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1). EMBANKMENTS OF PONDS, BASINS, AND TRAPS, AND WITHIN FOURTEEN (14) DAYS ON ALL OTHER DISTURBED OR GRADED AREAS. SEE PROPOSED LANDSCAPE PLAN FOR FINAL STABILIZATION MEASURES.

SEE EROSION CONTROL PLAN (SHEET C5) FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN AFTER DEMOLITION AND REMOVALS ARE COMPLETE.

**AREAS AND QUANTITIES:**

SITE AREA = 0.57 ACRES (25,093 SF)  
 DISTURBED AREA = 0.80 ACRES (35,000 SF)  
 NEW IMPERVIOUS AREA = .03 ACRES  
 EXISTING IMPERVIOUS AREA: 0.55 ACRES (23,846 SF) 95%  
 PROPOSED IMPERVIOUS AREA: 0.52 ACRES (22,436 SF) 84%  
 QUANTITY OF SOIL TO BE MOVED ON SITE = 110,300 CY  
 SILT FENCE = 615 LF  
 EROSION CONTROL BLANKET = 0 SF  
 INLET PROTECTION DEVICES = 5 EACH

**OWNER INFORMATION**

OWNER: MARK DIMYER  
 LINDS HILLS REDEVELOPMENT LLC  
 4632 WASHBURN AVE SO  
 MINNEAPOLIS, MN 55410  
 PHONE: 612-481-0243

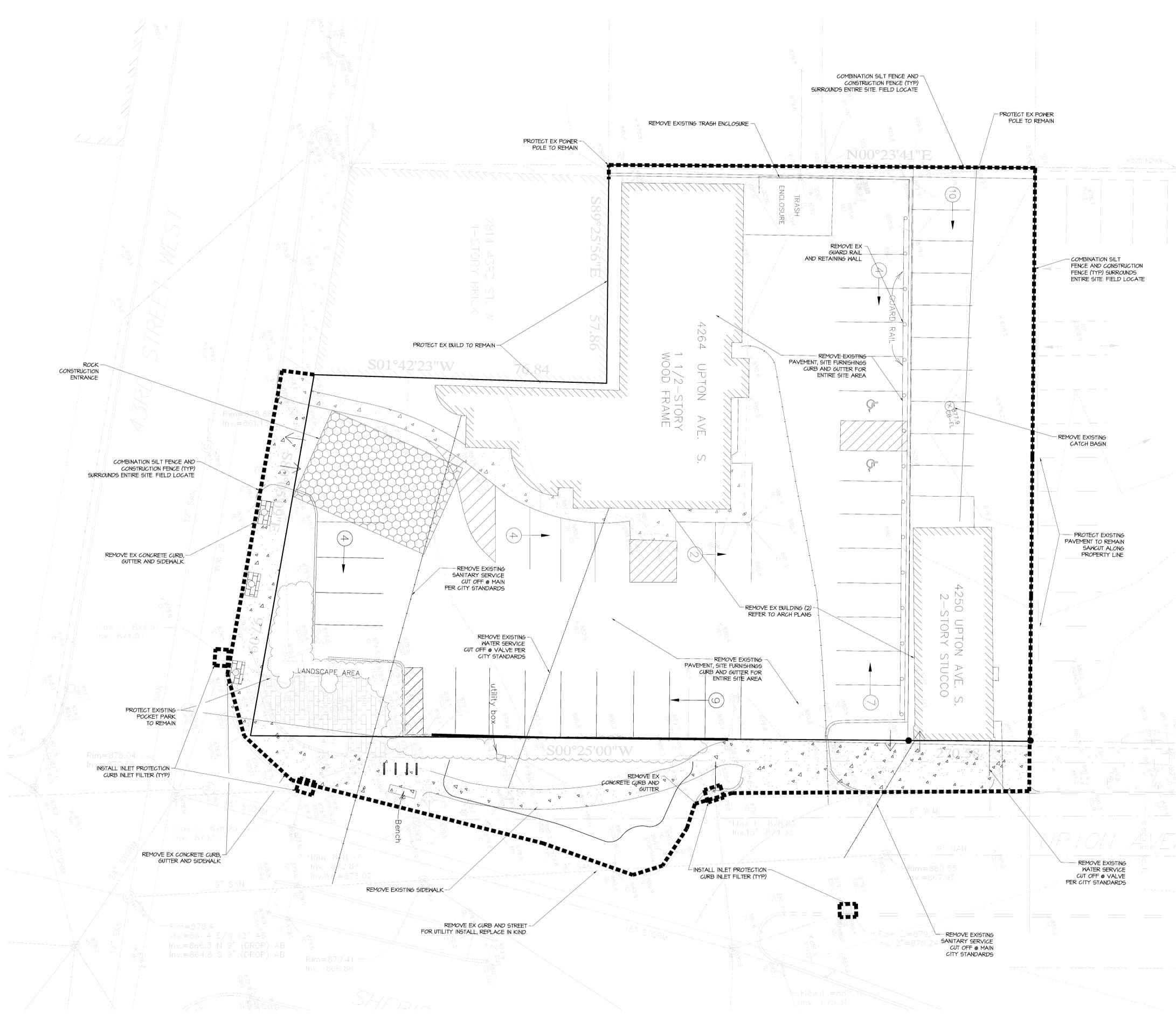
**OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT**

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW:

OWNER: \_\_\_\_\_  
 DEVELOPER: \_\_\_\_\_  
 CONTRACTOR: \_\_\_\_\_

**LEGEND:**

- EX: 1' CONTOUR ELEVATION INTERVAL
- COMBINATION SILT FENCE, CHAIN LINK CONSTRUCTION FENCE
- STABILIZED CONSTRUCTION ENTRANCE



4250 UPTON  
 MINNEAPOLIS, MINNESOTA

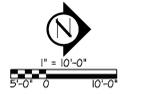
Licensed Professional Engineer  
 under the laws of the State of Minnesota  
 License No. 10019  
 Date: 8/28/24  
 Project: 24-0000

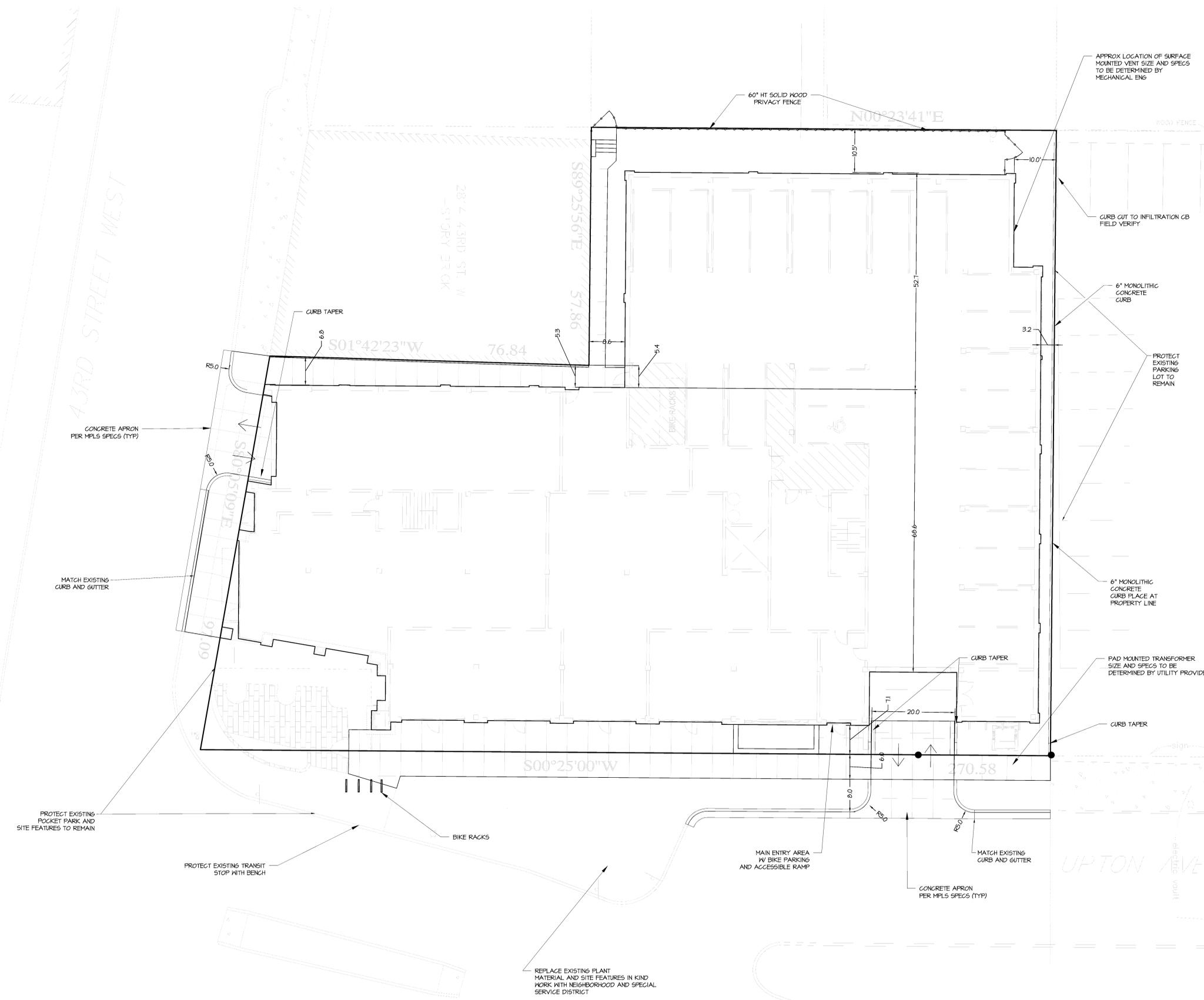
7/16/24 - PRELIMINARY SUBMITTAL
8/12/24 - CITY SUBMITTAL

Date	8/27/24	JBW	TBE	10019
Project Architect				
Permit Submit Date				
Project Number				

CONDOMINIUMS	
REMOVALS AND EROSION CONTROL PLAN	

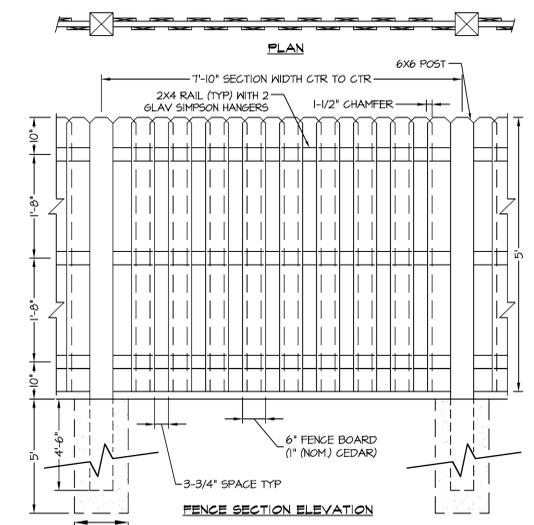
**C1**





**AREAS AND QUANTITIES:**  
 SITE AREA = 0.51 ACRES (25,053 SF)  
 DISTURBED AREA = 0.80 ACRES (35,000 SF)  
 NEW IMPERVIOUS AREA = .03 ACRES  
 EXISTING IMPERVIOUS AREA = 0.55 ACRES (23,846 SF) 45%  
 PROPOSED IMPERVIOUS AREA = 0.52 ACRES (22,436 SF) 64%  
 BUILDING COVERAGE AREA = 0.48 ACRES (21,464 SF)  
 REQUIRED LANDSCAPE YARD AREA: 113 SF = 20% OF 3,504 SF (25,053 SF MINUS 21,464 SF)  
 PROPOSED LANDSCAPE YARD AREA: 2,611 SF

- LAYOUT NOTES:**
1. PROPOSED HORIZONTAL AND VERTICAL ALIGNMENTS SHALL BE VERIFIED WITH THE EXISTING BENCHMARK PRIOR TO CONSTRUCTION ACTIVITIES.
  2. LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND SITE IMPROVEMENT MATERIALS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
  3. DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING FOUNDATION WALL. LOCATIONS SHALL BE STAKED IN THE FIELD AND VERIFIED WITH THE DRAWINGS PRIOR TO EXCAVATION ACTIVITIES.
  4. DECORATIVE PAVEMENT PATTERNS, TEXTURES, COLORS AND MATERIALS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  5. ACCESSIBLE CURB RAMPS SHALL CONTAIN TRUNCATED DOME LANDINGS AND BE CONSTRUCTED IN ACCORDANCE TO LOCAL ACCESSIBLE REQUIREMENTS.
  6. PARKING STALLS SHALL BE STRIPED WITH A 4" WIDE WHITE PAINTED LINE. ACCESSIBLE ACCESS AISLES SHALL BE PAINTED WITH A 4" WIDE WHITE PAINTED LINE, 18" ON CENTER AND AT 45° ANGLE TO THE STALL. STOP LINES SHALL BE 12" WIDE WHITE PAINTED LINE.
  7. CURB AND GUTTER TYPE SHALL BE B612 UNLESS OTHERWISE NOTED ON THE DRAWINGS. CURB AND GUTTERS HEIGHTS, LENGTHS, AND WIDTHS SHALL BE TAPERED TO MEET DIFFERENT CURB TYPES (EXISTING AND PROPOSED).
  8. RECORD DRAWINGS SHALL BE MAINTAINED THROUGHOUT THE CONTRACT AND SHALL BE SUBMITTED TO THE OWNER UPON SUBSTANTIAL COMPLETION.
  9. SERVICE DELIVERY AND TRASH PICKUP WILL BE PERFORMED BY CURBSIDE PICKUP, SIMILAR TO OTHER BUSINESSES WITHIN THIS DISTRICT WITHOUT ALLEYS.

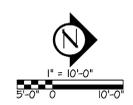


**NOTES:**  
 1. FOOTING DIAMETER TO BE 14". MINIMUM DEPTH 60".  
 2. DIMENSIONS SHOWN ARE NOMINAL FOR WOOD.

**5' SHADOWBOX WOOD FENCE**  
 N T S

**LEGEND:**

	CONCRETE PAVEMENT AS SPECIFIED (PAD OR WALK)
	PROPERTY LINE
	CURB AND GUTTER
	FENCE



7812 - PRELIM SUBMITTAL  
 8012 - CITY SUBMITTAL

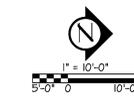
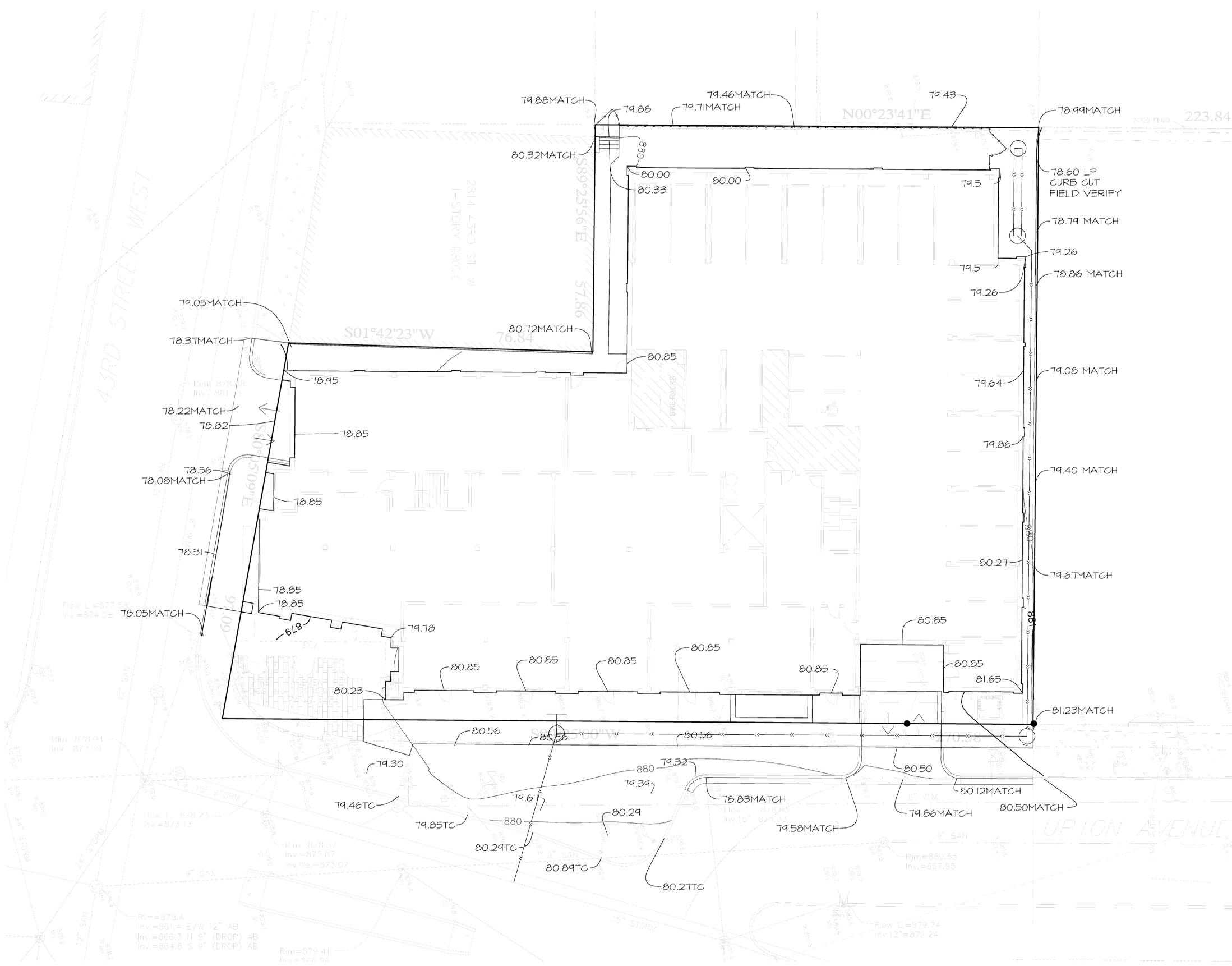
Date	8/3/25	JBW	TRE	10019
Project Architect				
Permit Submittal Date				
Project Number				

**GENERAL GRADING NOTES:**

1. SEE SITE PLAN FOR HORIZONTAL LAYOUT.
2. CONTRACTOR SHALL REFER TO RECOMMENDATIONS IN THE GEOTECHNICAL REPORT FOR ANY ADDITIONAL SITE PREPARATION INFORMATION, SOIL CORRECTION, TYPE OF BACKFILL, OR REQUIREMENTS.
3. EXCAVATION AND EMBANKMENT ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOP-SOIL AND SODDING ACTIVITIES.
5. EXCESS FILL MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR OFF-SITE.
6. PROPOSED SPOT GRADES ARE FLOWLINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
7. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
8. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. SLOPES GREATER THAN 3:1 REQUIRE SURFACE ROUGHENING BY EITHER "STAIRSTEP" GRADING, GROOVING, FURROWING, OR TRACKING TO AVOID RUNOFF VELOCITY AND RECEIVE EROSION CONTROL BLANKET AS SPECIFIED. SLOPES LESS THAN 3:1 NOT STABILIZED WITH VEGETATION SHALL HAVE THE SURFACE ROUGH GRADED TO REDUCE RUNOFF VELOCITY UNTIL SOIL HAS BECOME STABLE AND MATURE. AT NO TIME THROUGHOUT THE DURATION OF THE CONTRACT, SHALL SLOPES BE A SMOOTH GRADE OR A COMPACTED SURFACE.
9. CONTRACTOR SHALL STRIP, STOCKPILE, AND RE-SPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM 4" COMPACTED DEPTH TO DISTURBED AREAS TO BE SEEDED OR SODDED.

**EROSION CONTROL NOTES:**

SEE EROSION CONTROL PLAN FOR EROSION AND SEDIMENTATION NOTES.



**LEGEND:**

- EX. 1' CONTOUR ELEVATION INTERVAL
- 41'----- 1' CONTOUR ELEVATION INTERVAL
- 822.0 SPOT GRADE ELEVATION (FLOW LINE UNLESS OTHERWISE NOTED)
- COMBINATION SILT FENCE, CHAIN LINK CONSTRUCTION FENCE

I hereby certify that the above specifications or report was prepared by me or under my direct supervision and that I am a Licensed Professional Engineer under the laws of the State of Minnesota.  
**Robert K. Probst**  
 License No. 44268

7812 - PRELIM SUBMITTAL  
 8012 - CITY SUBMITTAL

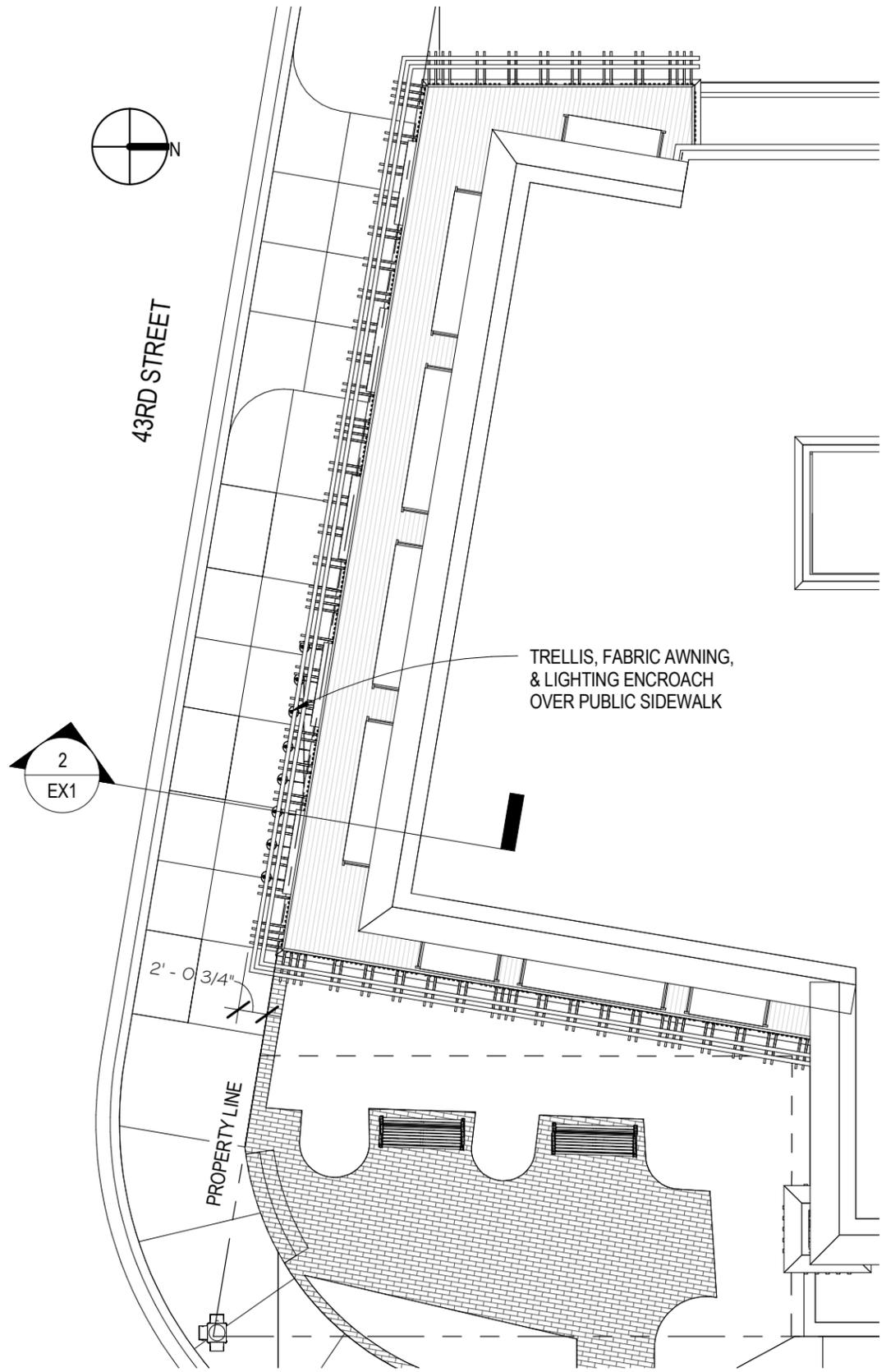
Date	8/31/24
Project Architect	JBY
Permit Submittal Date	TBD
Project Number	10016

CONDOMINIUMS  
 GRADING AND DRAINAGE PLAN  
**C3**

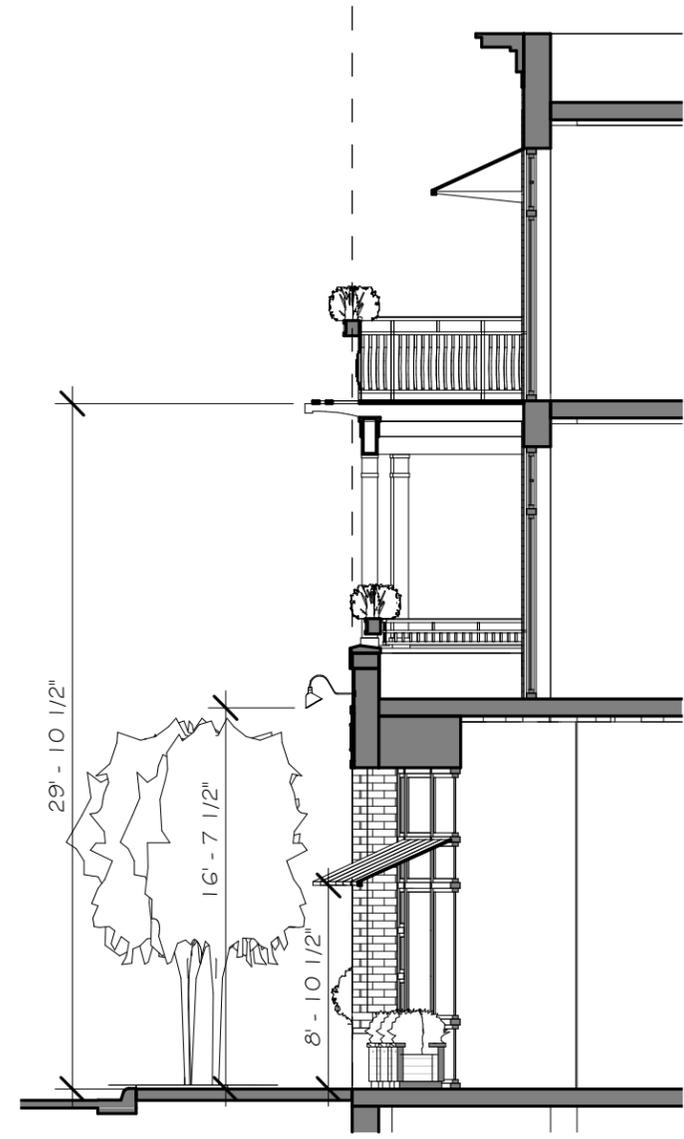








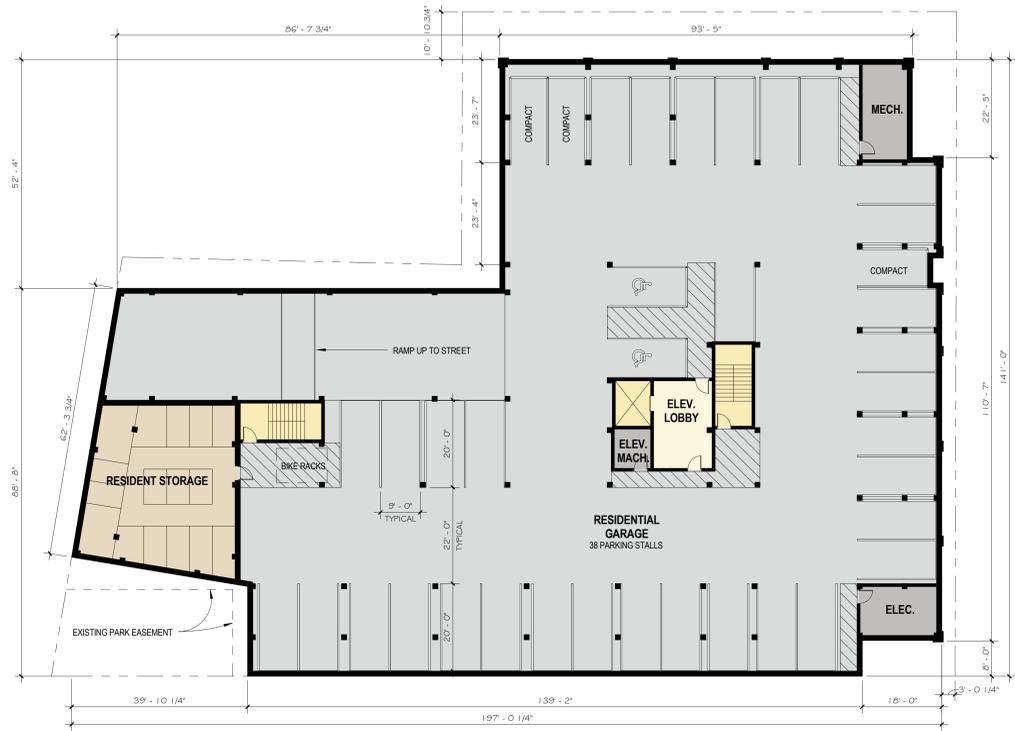
**1** Encroachment Plan  
SCALE 3/32" = 1'-0"



**2** Sidewalk Section  
SCALE 1/8" = 1'-0"

Date	10/26/12
Project Number	10016



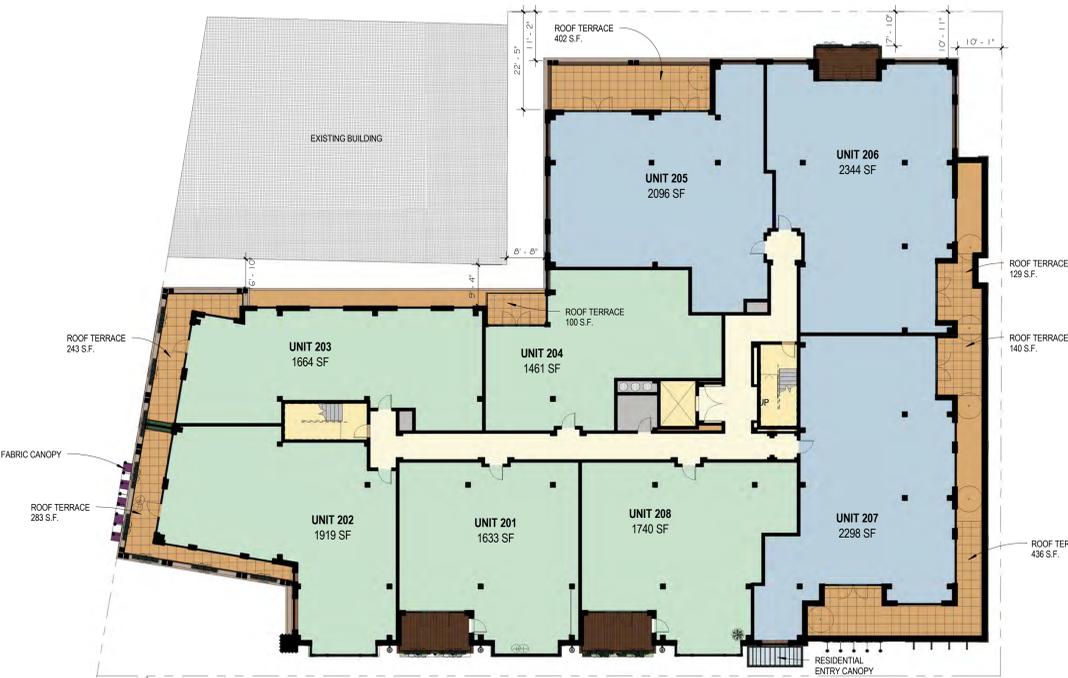


1 Garage Floor Plan  
SCALE 1/16" = 1'-0"

UNIT MIX BY TYPE			PARKING REQUIRED			PARKING PROVIDED			NET BUILDING AREA BY USE		GROSS BUILDING AREA BY FLOOR	
THREE BED	7	35%	RESIDENTIAL (1 SPACE/UNIT REQ'D.)	20		Garage	38		USE	AREA	BELOW GRADE GARAGE	21099 SF
TWO BED	13	65%	EASEMENT SPACES	10		1st Floor	22		Garage	27888 SF	Above Grade Garage	21059 SF
Grand total	20	100%	RETAIL (1 SPACE/500SF)	12		Grand total	60		Garage	6287 SF	1st Floor	9870 SF
			TOTAL REQUIRED	42					RESIDENTIAL COMMON	37227 SF	2nd Floor	17330 SF
			EXTRA SPACES	18					RETAIL SPACE	6154 SF	3rd Floor	17331 SF
									SHARED COMMON	207 SF	Roof/Floor	8605 SF
									VERTICAL CIRCULATION	2360 SF		50996 SF
												81925 SF
												Grand total
												25,052 SF = 56 ACRES
												F.A.R. = 50.996 / 25,052 = 2.04



2 1st Floor Plan  
SCALE 1/16" = 1'-0"



3 2nd Floor  
SCALE 1/16" = 1'-0"



4 3rd Floor Plan  
SCALE 1/16" = 1'-0"



5 Roof Plan  
SCALE 1/16" = 1'-0"

Date	06/25/14
Project Architect	N/A
Permit Submit Date	
Project Number	10016



**1 Perspective from Southeast**  
 SCALE

**2 Perspective from Northeast**  
 SCALE



**3 East Elevation**  
 SCALE 3/32" = 1'-0"

**4 North Elevation**  
 SCALE 3/32" = 1'-0"



**5 West Elevation**  
 SCALE 3/32" = 1'-0"

**6 South Elevation**  
 SCALE 3/32" = 1'-0"

Date	08/09/14
Project Architect	N/A
Permit Submit Date	10/01/14
Project Number	10016

Color Elevations



**1 ELEVATION - EAST**  
SCALE 3/16" = 1'-0"

Date	06/06/14
Project Architect	N/A
Permit Submit Date	
Project Number	10016

East Elevation

cA21



1 ELEVATION - SOUTH  
SCALE 3/16" = 1'-0"



METAL CORNICE  
COMPOSITE PANEL  
METAL CORNICE  
FABRIC AWNING  
BALCONY WITH ALUMINUM RAILING  
PREFINISHED PANELS  
STONE CAP  
BASE BRICK

Rooftop Roof 56' - 0"  
WOOD SCREEN FENCING  
DECORATIVE METAL CORNICE  
Parapet 44' - 0"  
Rooftop Floor 41' - 10"  
FABRIC AWNING  
ALUMINUM RAILING  
3rd Floor 28' - 0"  
CEDAR WOOD TRELLIS  
PAINTED COLUMN & BEAM ENCLOSURES  
ALUMINUM RAILING  
2nd Floor 15' - 0"  
BLUESTONE  
BASE BRICK  
BLUESTONE BASE  
1st Floor 0"

1 ELEVATION - WEST  
SCALE 3/16" = 1'-0"

Date	08/09/14
Project Architect	N/A
Permit Submit Date	10/06
Project Number	

West Elevation

cA23

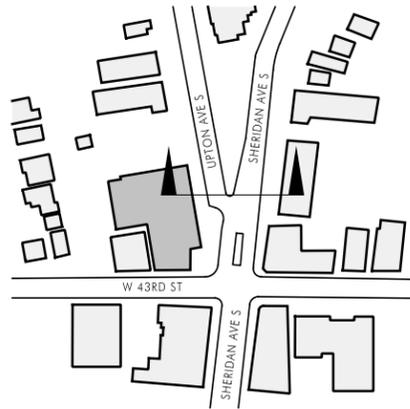


**1** ELEVATION - NORTH  
SCALE 3/16" = 1'-0"

Date	06/09/14
Project Architect	N/A
Permit Submit Date	
Project Number	10016

North Elevation

cA24



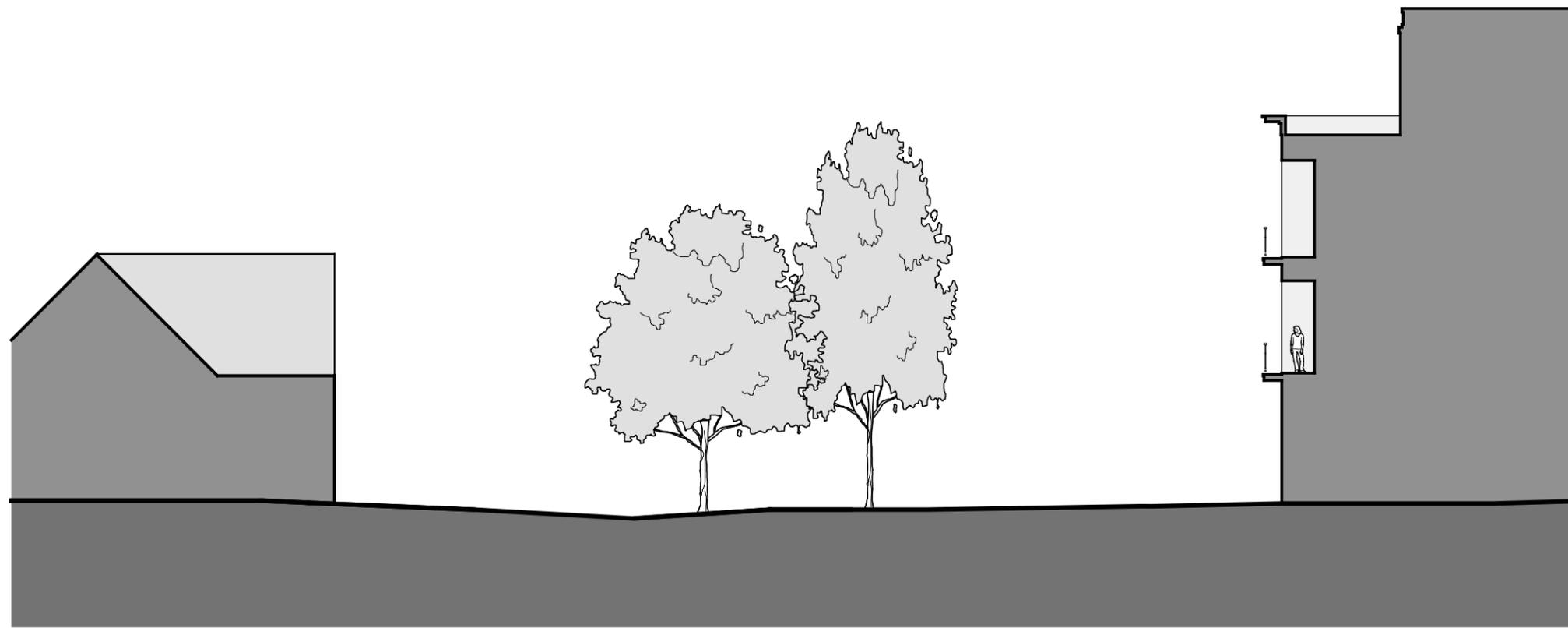
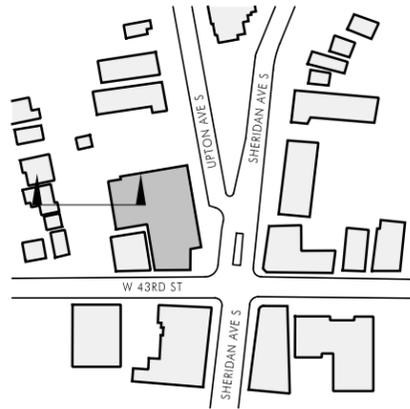
STREET SECTION - LOOKING NORTH ON UPTON

# LINDEN CROSSING

06.16.14

SCALE: 1/16" = 1'-0"

Drawing |



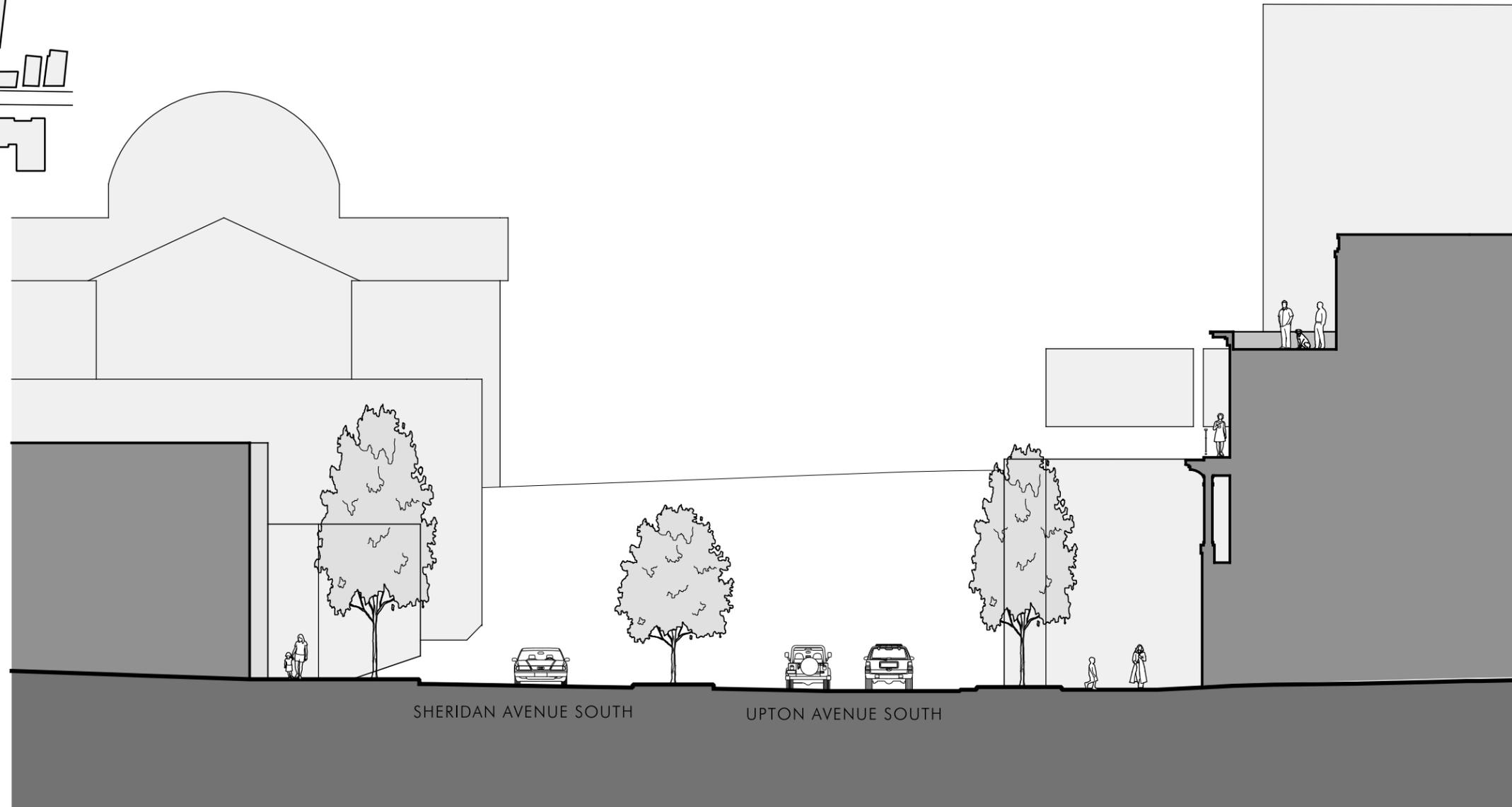
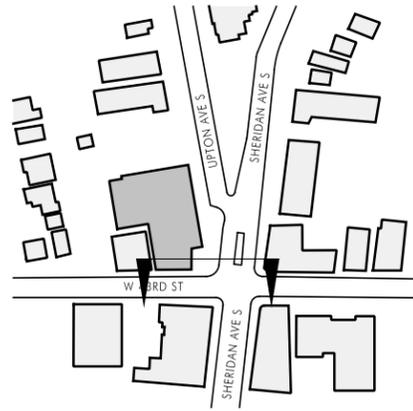
SECTION LOOKING NORTH

# LINDEN CROSSING

06.16.14

SCALE:  $\frac{1}{16}'' = 1'-0''$

Drawing 2

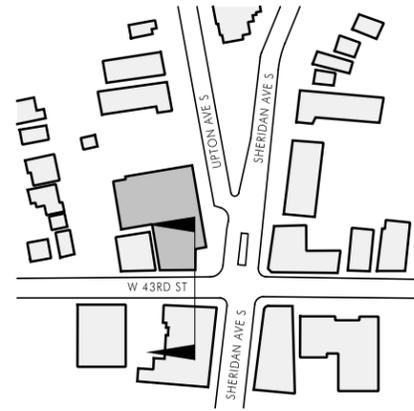


SHERIDAN AVENUE SOUTH

UPTON AVENUE SOUTH

STREET SECTION - LOOKING SOUTH ON UPTON/SHERIDAN

# LINDEN CROSSING

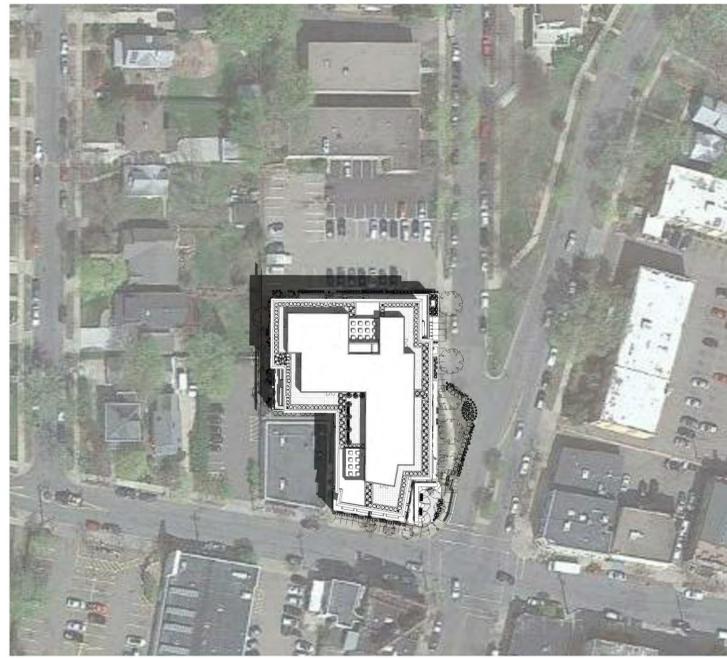


STREET SECTION - LOOKING WEST ON 43RD STREET

# LINDEN CROSSING



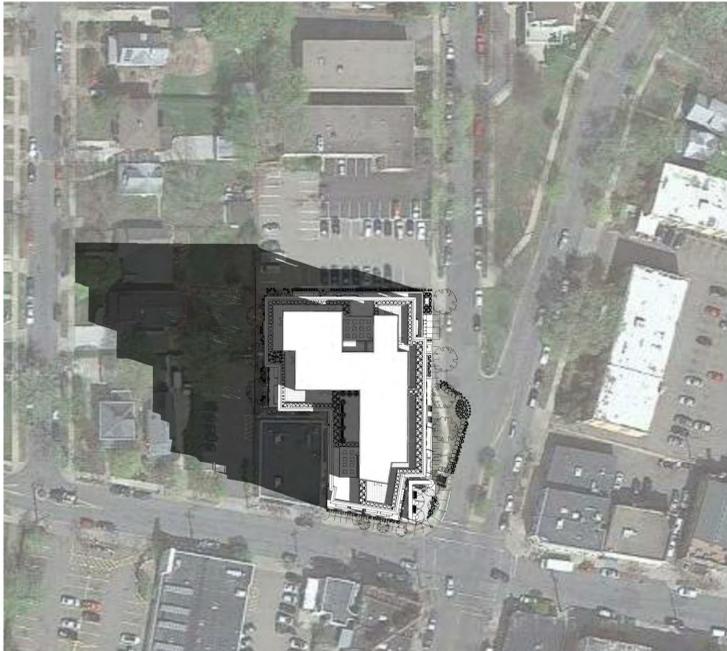
Shadow Study - Summer Solstice- 9am



Shadow Study - Summer Solstice- 12 noon



Shadow Study - Summer Solstice- 4pm



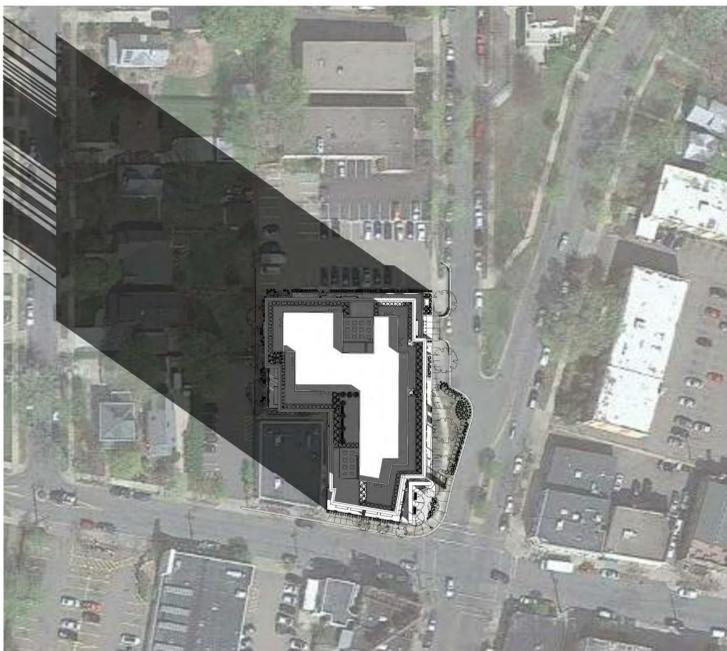
Shadow Study - Equinox - 9am



Shadow Study - Equinox - 12 noon



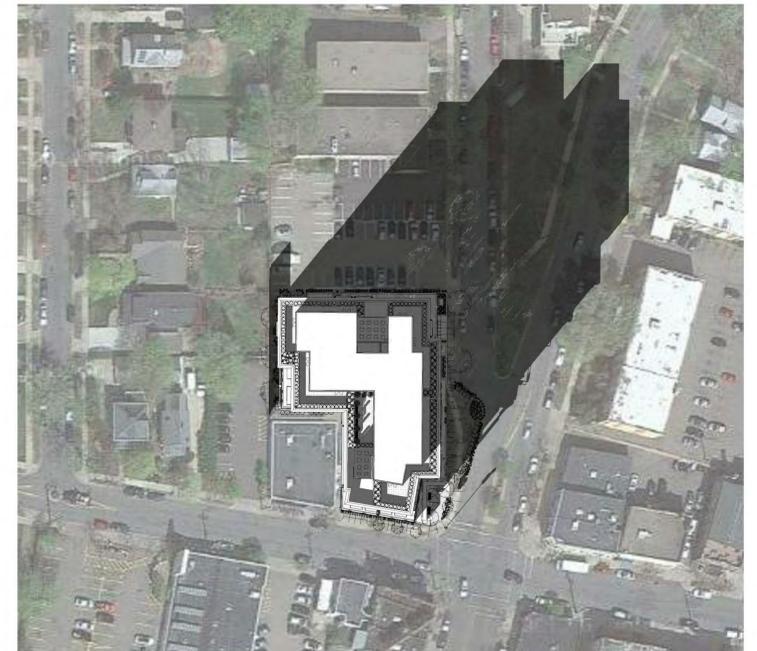
Shadow Study - Equinox - 4pm



Shadow Study - Winter Solstice- 9am



Shadow Study - Winter Solstice- 12 noon



Shadow Study - Winter Solstice- 4pm



Shadow Study - Summer Solstice- 9am



Shadow Study - Summer Solstice- 12 noon



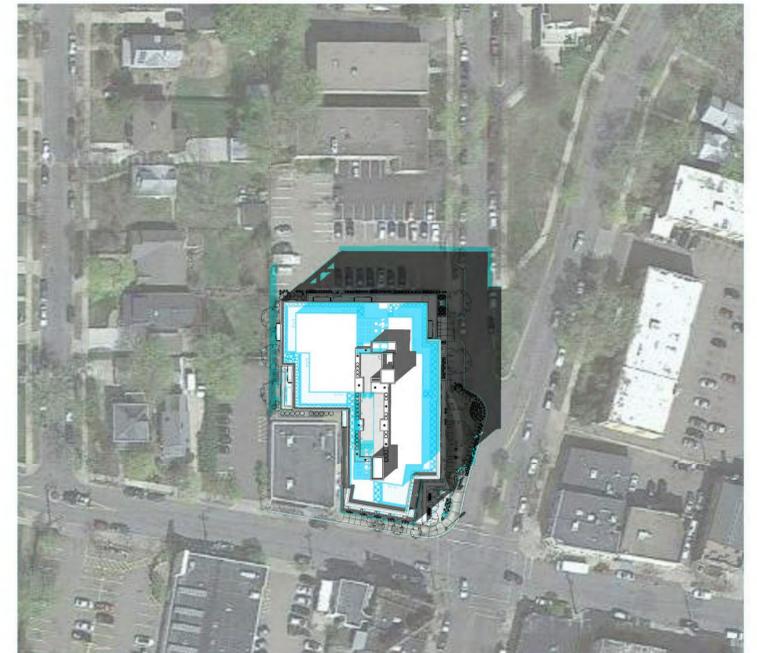
Shadow Study - Summer Solstice- 4pm



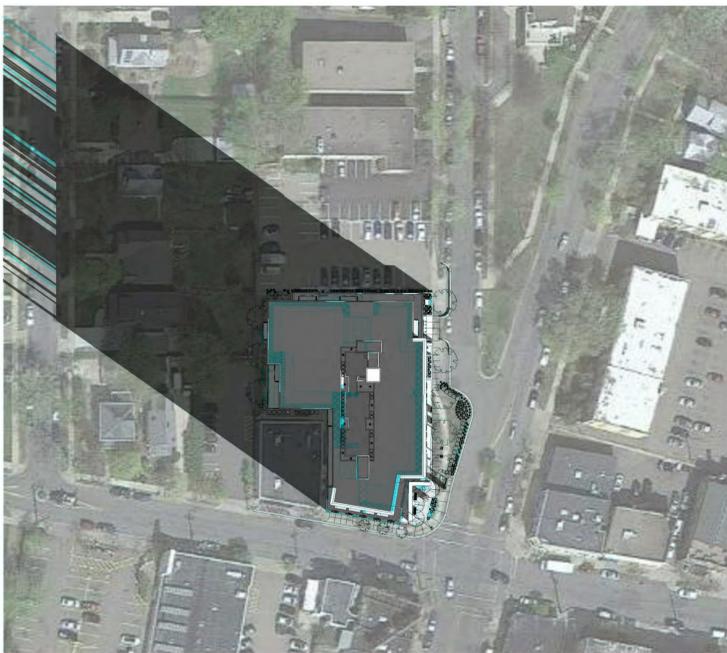
Shadow Study - Equinox - 9am



Shadow Study - Equinox - 12 noon



Shadow Study - Equinox - 4pm



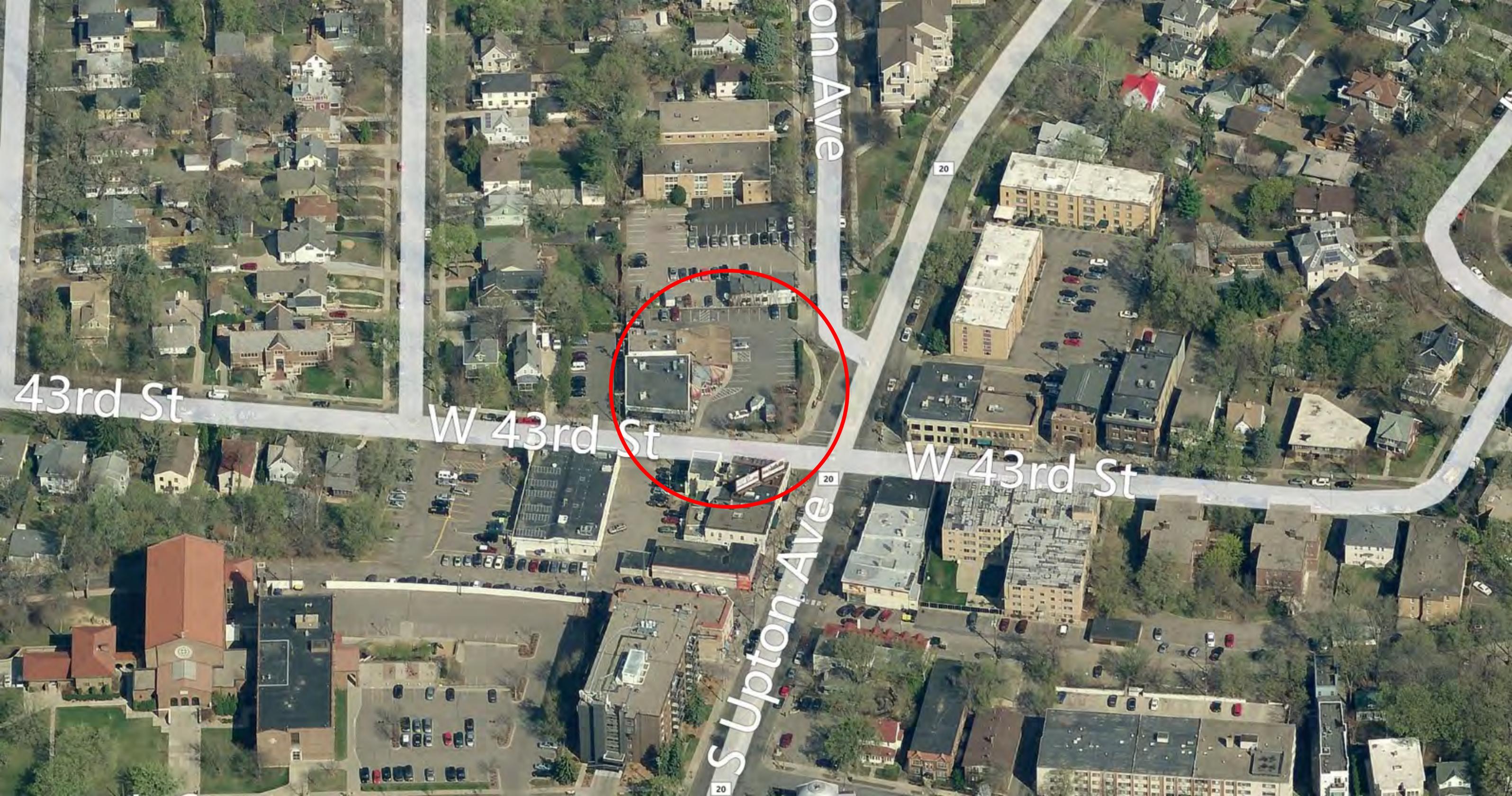
Shadow Study - Winter Solstice- 9am



Shadow Study - Winter Solstice- 12 noon



Shadow Study - Winter Solstice- 4pm



on Ave

43rd St

W 43rd St

W 43rd St

Supton Ave



Site Context

Date	06/09/14
Project Architect	NA
Permit Submit Date	NA
Project Number	10016



01.JPG, Front of Famous Daves - West Look



02.JPG, Side of Famous Dave's - North Look



05.JPG, Back of Office Bldg - East Look



06.JPG, Side of Office Bldg - South Look



07.JPG, Front of Office Bldg - West Look



03.JPG, Side of Famous Daves - SW Look



08.JPG, Houses West of Site



10.JPG, Houses West of Site



09.JPG, Houses West of Site



11.JPG, Multi Res North of Site



13.JPG, Multi Res - NE of Site



14.JPG, Multit Res NE of Site



12.JPG, Multi Res Buildings North of Site - Street View



15.JPG, Multi Res East of Site



16.JPG, Retail / Office East of Site



18.JPG, Uses & Blbrds South of Site



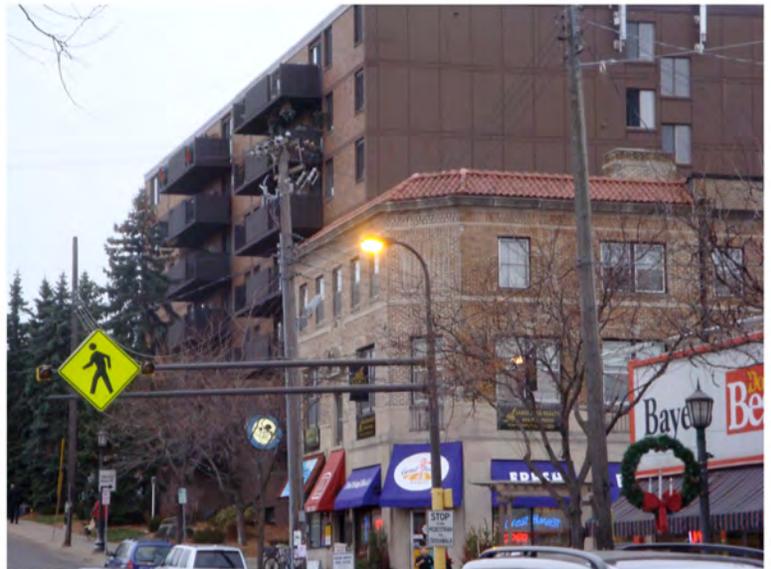
19.JPG, Uses South of Site



17.JPG, Multi Uses SE of Site



25.JPG, Within 1/2 Block - Design that informs Linden Corner



21.JPG, Within 1/2 Block - 7 Story Bldg on Hilltop



24.JPG, Across Street from Site - 4 story flat front



23.JPG, Within 1 Block - 4 story flat front - on hilltop



22.jpg, Within 1/2 Block - 7 story on hilltop



04.JPG, South Side of Office Bldg - North Look



26.JPG, Great Shops Linden Corner will Compliment



20.JPG, Uses South of Site



west look 1.JPG copy



West Look 2.JPG copy



West Look 3.JPG copy



West Look 4.JPG copy



West Look 5.JPG copy



West Look 6.JPG copy



West Look 7.JPG copy

**From:** [Dona M. Clark](#)  
**To:** [Anderson, Mei-Ling C.](#)  
**Subject:** Proposed Linden Corner project expansion  
**Date:** Wednesday, June 25, 2014 3:38:37 PM

---

Hello Mei - Ling,

I write to express my dissent to the proposed expansion of project called Linden Corners, to be located at 43rd and Upton Ave S in the Linden Hills neighborhood.

This project was approved to be a three story unit in keeping with current zoning restrictions and I believe it should stay that way. As a resident who lives two blocks away from that intersection, it is my strong opinion that a larger building would negatively affect the overall Linden Hills atmosphere, charm and culture.

Additionally, I'd like to also point out that the neighborhood at large has already spoken out with a fair amount of vigor against having a larger building built on this corner than what it is currently zoned for - three stories. Please respect the sentiment of the neighborhood at large and do not support/approve this proposed expansion. Please let me know if you have any questions or concerns, particularly if I should be contacting someone else. Thank you so much for your time.

Sincerely,

--

~ Dona Clark

**Anderson, Mei-Ling C.**

---

**From:** cement91672@mypacks.net  
**Sent:** Wednesday, June 25, 2014 7:27 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Keep 'Linden Crossing' THREE stories

Ms. Anderson,

Residents of Linden Hills do NOT want to go down this path again. The corner of 43rd and Upton is zoned C1. Please do not grant the developer a CUP to expand his project beyond three stories. This community has been fully engaged in a legal, fair, time-consuming, expensive and passionate campaign to hold Mr. Dwyer et al accountable to current zoning standards.

Let's not start considering making special exceptions at this point. Let's not let greed interfere with what is right in this situation.

Thank you!

**Anderson, Mei-Ling C.**

---

**From:** epact90076@mypacks.net  
**Sent:** Wednesday, June 25, 2014 7:32 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** NO MORE LINDEN CORNER

Ms. Anderson,

The corner of 43rd and Upton is zoned C1. Please do not grant the developer a CUP to expand his project beyond three stories. This community has been fully engaged in a legal, fair, time-consuming, expensive and passionate campaign to hold Mr. Dwyer et al accountable to current zoning standards.

Let's not start considering making special exceptions at this point. Let's not let greed interfere with what is right in this situation.

Thank you!

**Anderson, Mei-Ling C.**

---

**From:** ichors97923@mypacks.net  
**Sent:** Wednesday, June 25, 2014 7:38 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** 43RD & UPTON DEVELOPMENT - KEEP IT SMALL!!!!!!!

DO NOT GRANT THE DEVELOPERS OF THE LINDEN CROSSING A CONDITIONAL USE PERMIT. DO NOT ALLOW THEM TO BUILD A C2 BUILDING IN A C1 ZONE. HOW CAN THIS BE HAPPENING AGAIN? AFTER A LONG BATTLE THE CITY SAID NO TO THE DEVELOPER - UPHOLDING CURRENT ZONING REGULATIONS. THE PEOPLE IN LINDEN HILLS SPOKE LOUD AND CLEAR. WE DO NOT WANT A FOUR OR FIVE STORY BUILDING IN THIS NEIGHBORHOOD. HOW IS THIS BEING REVISITED, YET AGAIN.

DO THE RIGHT THING MINNEAPOLIS!

**Anderson, Mei-Ling C.**

---

**From:** pinned62971@mypacks.net  
**Sent:** Wednesday, June 25, 2014 7:45 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** NO CUP FOR LINDEN CROSSING

Dear Mei-ling Anderson,

Please understand that a vast majority of the community members in Linden Hills do not want the proposed development to expand. No re-zoning, no condition use permits, no extra stories.

We are willing to do what it takes to fight this again. Calling the press. Hiring lawyers. Demonstrating. Organizing. Campaigning.

The developers should frankly take this project somewhere else. What a complete and utter slap in the face.

J, M & B Cavanaugh

**Anderson, Mei-Ling C.**

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**From:** JENNIFER RUSSELL <jenrussell@earthlink.net>  
**Sent:** Wednesday, June 25, 2014 7:10 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** linden crossing condos

Ms. Anderson,

Hello, as a life long resident of Linden Hills, and a very dedicated and involved member of my community, I write to express my great concern and confusion about Mr. Dwyer and his backers applying for a 'conditional use permit' to expand his proposed condo development, once again. How is this even possible at this point? The city rejected Mr. Dwyer's 4 + story plan. C2 building in C1 zones should require rezoning, right? The city has said no. The residents of Linden Hills have said no. The community overwhelming expressed a desire to hold the developer accountable to current zoning regulations. We DO NOT WANT a four story / 56 foot building on that corner. It is too big for the corner. It is too big for the community, and we don't want it here. Many, many people have put in countless hours of their time, their energy and their money into standing up for what we feel is right in this community.

Please, do not allow greed to take the place of integrity.

Sincerely yours,

Jennifer Russell  
4349 Beard Ave  
612-226-2164

**Anderson, Mei-Ling C.**

---

**From:** Jon de Vaal <jcaal@earthlink.net>  
**Sent:** Wednesday, June 25, 2014 9:58 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Corner of 43rd & Upton

Ms Anderson:

How is it possible that the developers are revisiting zoning issues for their proposed development at 43rd & Upton Ave, again? Please, understand that a vast majority of the community members in Linden Hills worked long and hard to express to the city and to Mr. Dwyer, that we do NOT want the proposed development to expand beyond three stories or 42 feet. Please, do not sanction re-zoning, conditional use permits, or any special "revisions" which will allow extra stories or feet to be added to this development. Please adhere to your original findings. No C2 developments in a C1 Zones. No "Conditional Use Permits." Not four stories or five stories. No special exceptions, or favors for this developer.

If said developers are unwilling with work within the zoning regulations, perhaps they should be encouraged to take their project elsewhere. We don't want it here.

Sincerely, Jon de Vaal

**Anderson, Mei-Ling C.**

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**From:** veeps20018@mypacks.net  
**Sent:** Wednesday, June 25, 2014 10:10 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** LINDEN HILLS - business district development

Hello,

It has come to our attention that Mr. Dywer and his team are submitting a revision to their Linden Corner plans to make it a 4 story building? And this time he is simply sidestepping the neighborhood zoning committee?

Please, do not grant this developer any special exceptions or permits or favors. We do not want anything larger than current zoning regulations allow for that space. Nothing over 3 stories! This issue has come up numerous times, and the neighborhood community have made it very clear that we do not want a large building in that space. We also expect the city will uphold it's decision to limit what the developers can build there according to the zoning laws.

We are watching what the developer and his business partners are doing very closely. There has been enough controversy associate with this project, and it seems the backers have controversy around other projects they've been involved with in the city of Minneapolis.

We will be looking to our city officials to listen to the Linden Hills community members, again, and act with integrity on this matter.

Thank you.

Anderson, Mei-Ling C.

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**From:** Grant Hawthorne <rghawthorne6468@gmail.com>  
**Sent:** Wednesday, June 25, 2014 1:48 PM  
**To:** Anderson, Mei-Ling C.  
**Cc:** Larry LaVercombe; mark dwyer; Ziring, Emily; Dahler, Ken; Palmisano, Linea; Constance Pepin  
**Subject:** Re: Linden Crossing - New Application  
**Attachments:** Z&P FINDINGS OF FACT AND RECOMMENDATION hl.pdf; ATT00001.txt

Dear Mei-Ling,

Thank you for your email and the included link.

In March 2012 the City Council Zoning & Planning Committee reversed the Planning Commission's recommendation to approve Mr. Dwyer's "Linden Corner" land use application, in large part because of "Linden Corner's" C2 building height. The Zoning & Planning Committee further objected to idea that a C2 height building was to be permitted on C1 parcels by means of a conditional use permit, instead of by a rezoning application. I have attached below the Zoning & Planning Committee's full "Findings of Fact and Recommendation" for reference. In part, it says:

In order to preserve this small, neighborhood commercial scale, the properties in the heart of the Node are zoned C1. . . . The C1 zoning district that predominates on the development site is the only commercial zoning classification in the Zoning Code that does not allow a maximum height of 56 feet as-of-right (without a CUP) (C1 is 2.5 stories/35 feet). The applicant's request for a maximum height of 59 feet for a mixed-use building might arguably be consistent with a more intensive commercial zoning district; however, it would be unprecedented in the C1 zoning district. In light of the lack of a rezoning application, the Committee voiced a concern that the developer is attempting an "end around" applicable zoning for the proposed project via the CUP application for increased height.

If CPED again recommends a C2 height building on the subject site to be allowed by means of a conditional use permit, as Planner Hillary Dvorak has recently said will be the case, it will be useful and respectful to the Linden Hills neighborhood and the public process to follow to understand the basis of the recommendation in specific view of the Zoning & Planning Committee's action on this question and the 13-0 City Council vote that accepted and ratified the Committee's recommendation.

Thank you.

Sincerely,

Grant Hawthorne

**From:** [Rosemary Murphy](#)  
**To:** [Anderson, Mei-Ling C.](#)  
**Subject:** Fwd: Linden Corners project  
**Date:** Wednesday, July 02, 2014 9:28:04 AM

---

Dear Ms. Anderson

As owners of a condo at 4236 Upton Ave S. we are opposed to the conditional use permit and variances being requested for the Linden Corner project of Mark Dwyer.

As you know these issues, or variations of the same, were addressed a couple of years ago and were ultimately denied.

We suppose the present three story construction package is not financially viable, however, this seems to be a poor reason to override the ultimate findings of the previous hearings. We support the construction of the planned three story project but oppose the four story project.

Thank you

Philip & Rosemary Murphy

**From:** [Sheryl Grassie](#)  
**To:** [Anderson, Mei-Ling C.](#)  
**Subject:** Building Project at 43rd and Upton Ave. Mpls.  
**Date:** Wednesday, July 02, 2014 5:49:24 PM

---

Please say no to a fourth story variance. We as a community worked very hard to get the larger building defeated and now Dr. Dwyer is pushing the limits once again. We don't want our neighborhood to be overly commercialized and this project, at the size the variance suggests is completely unnecessary and unacceptable to residents.

Thank you for your consideration,

Sheryl Grassie

*Dr. Sheryl R. Grassie*  
*3610 W. 40<sup>th</sup> Street*  
*Minneapolis, Mn 55410*  
*612-922-2200*  
*sgrassie@comcast.net*

**From:** [Palmisano, Linea](#)  
**To:** [Aaron Tag](#); [Anderson, Mei-Ling C.](#)  
**Cc:** [Ziring, Emily](#)  
**Subject:** RE: Linden Hills SAP, and Linden Crossing development  
**Date:** Thursday, July 03, 2014 3:18:20 PM

---

Thanks, Aaron, for your input.

By forward of this to Mei-Ling, it will be shared as part of the public record and also with the Planning Commission documents for this project.

Kindly,  
Linea

**Linea Palmisano** | 13<sup>th</sup> Ward Council Member | City of Minneapolis

350 South 5th Street – Room 307 | Minneapolis, MN 55415  
612.673.2213 | [linea.palmisano@minneapolismn.gov](mailto:linea.palmisano@minneapolismn.gov)

Subscribe to 13<sup>th</sup> ward newsletters & updates [here](#).

**From:** Aaron Tag [<mailto:aaron.tag@gmail.com>]  
**Sent:** Thursday, July 03, 2014 8:40 AM  
**To:** Palmisano, Linea  
**Cc:** Ziring, Emily  
**Subject:** Re: Linden Hills SAP, and Linden Crossing development

Linea

Thank you for the recap of the Planning Commission COW meeting.

I wanted to make a few comments on my review of the plans I have seen compared to the published SAP. These aren't my personal opinion of the proposal, but rather my interpretation of the proposal compared to the final approved SAP. I also won't rehash the development of the SAP as you have heard that before and I imagine you will get plenty of comments on that from others.

1. SAP Page 46: "Encourage overall building heights and floor-to-floor heights that reflect the adjacent architectural context and encourage buildings that are shorter than the current Zoning Code maximums for 3 and 4 story buildings (42 feet and 56 feet respectively)."
  1. The current proposal is for a 56' tall building which is the maximum for a 4 story building and does not represent an attempt to minimize the height. The developer should be asked if they looked at shorter floor to floor heights to minimize the height of the building. The previous design had a height of 42', so the additional floor is 14' high, much higher than it needs to be.
  2. The set back of the 4th floor does lessen the visual impact of the height, but I see the requirement to minimize height as additional to the requirement to provide a 10' set back of the fourth floor.

3. The third floor or at least the visual impact of the 3rd floor is now 44' high. This is higher than the 3 floor maximum of 42'.
2. SAP Page 40: "The Neighborhood Commercial Nodes and Community Corridors are valued for their eclectic diversity of buildings and their scale. New development should reflect the character of the area through articulation, such as massing intervals and varied setbacks. This should be achieved through more than just a change in building materials."

1. I do not believe the current design reflects this requirement. There are varied storefronts, but it looks like all storefronts are at the same setback from the street. If the proposal is allowed as proposed without any discussion of minimizing heights I think it will set a bad precedence and effectively render a portion of the small area plan that was very important to the neighborhood and received months of discussion ineffective. This would be unfortunate for the first proposal out of the gate after release of the final SAP.

Thank you for giving me the opportunity to comment and let me know if you would like to discuss further.

Thanks, Aaron

**From:** [dave luger](#)  
**To:** [Anderson, Mei-Ling C.](#)  
**Cc:** [Linea Palmisano](#)  
**Subject:** variance for 4250 and 4264 Upton ave So.  
**Date:** Monday, July 07, 2014 7:54:02 PM

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I am the property owner to the west of the proposed complex by Mark Dwyer, 2812 & 2814 West 43rd. St.

I strongly request that the setbacks to Mark's property remain without a variance. The proposed balconies will be a mere 4 feet from my building, I feel that 12 feet is more appropriate and that the setback rules are there for a reason, particularly if I were to add a second floor to my present structure.

**\* I do not support this request for the west side setback variance.**

Also in regard to the request for 4 stories / 56 feet, The neighborhood clearly voiced almost three years ago that 3 stories / 42 feet better reflects the surrounding present architecture and massing in the area. Having been involved in this community for 30 some years, in both LHINC and LHBA, I've never seen such an outpouring of opinion on a matter affecting our neighborhood such as this particular issue. This enormous public outpouring was also the catalyst for the SAP.

As a (past) member of the Small Area Plan committee, I saw that it was clearly evident that the majority of input by the community was in favor of a three story limit for the 43rd & Upton node. The resulting language in the plan that suggests otherwise was an unfortunate last minute addition to the plan in its 11th hour and does not accurately reflect the community preference.

This last minute insertion foisted upon the committee by certain positions in the City, of said language caused a great deal of distress and turbulence with the SAP committee.

**\*I am supportive of a development on this site but do not support 4 stories.**

On a final note, the City may not be getting full benefit of input by the community on this issue as the orange 'Notice Of Public Hearing' signs required to be posted at the corners of the property are simply posted on the (Famous Dave's) building, which is vacant and set back 50 to 60 feet from the property lines and sidewalks and obscured from view by trees and arborvitae surrounding the building. I believe this could be viewed by some as violation of proper posting regulations for these requests.

Best regards,

Dave Luger

612-759-7815

\*FYI to all, Please use Bcc when adding my address to a group mail, thank you.

Meeting w/ Grant Hawthorne

7/10/14, 9:30 am, Council Member Palmisano's office

People present:

- Council Member Linea Palmisano
- Ken Dahler, Policy Aide, note-taker
- Grant Hawthorne, Linden Hills resident

RE: Linden Crossing

Discussion about last night's meeting held by Linden Hills Neighborhood Council

Grant: talking about LH small area plan. Then-CM Hodges expressed concern about LHiNC board working on small-area plan (SAP), so a few external folks worked on the plan. Allocated \$60k and handed over to Brian Schaeffer. SAP settled on 3-story height limit in commercial nodes. The "beating heart" was ripped out of the SAP by proposing Linden Crossing plan. He believes the process was abusive, and an undercutting of the process and the result of the SAP. It was always known by those who worked on it that the SAP was advisory.

CM Palmisano: What was learned was that height limits don't belong in a SAP.

Grant: belief is that it does belong there, because it's what the neighborhood wants. Now, he believes the SAP has been re-written to meet the City's needs and desires. He would've liked City to apologize to neighborhood for allowing them to spend so much money on the SAP when the City was just going to re-write it.

CM Palmisano: Discussion about Jen Swanson's e-mail (while she was an aide to CM Hodges). CM has had conversations with Jen and Gary Schiff and Hodges and many people in this process. The City Atty's office has been clear that height limits are out-of-bounds for SAPs.

Grant: believes that "not advisable" was what the Atty's office said.

CM Palmisano: there's a lot of meat in the SAP. She recognizes there's a lot of heartache and passion in this. Believes the developer's rationale is that he has greatly stepped back his desire by removing a floor from the plan.

Grant: but it's still 4 stories tall. He believes it's setting a precedent for a 56-ft. applicant. It's a massive building for this neighborhood. The SAP was never intended to allow a 56-ft. building. It's an offense to the people who wrote the plan.

CM Palmisano: discussion about zoning standards for this area

Grant: referral to CM Hodges email: she said there'll be no re-zoning. She never said that a 56-ft. building would actually be allowed. He believes it was a "slight of hand." The neighborhood made it clear that 3 stories was their preference.

CM Palmisano: discussion about LHiNC's potential grant money for historic designation. She's disappointed that some people believe that SAP is only about a height limit, while there is lots of good info in there.

Grant: it's important to remember that people are engaged now, and that's important.

CM Palmisano: there are so many things in the SAP that can/should guide this development process. The City can offer mediation, and she's concerned that some board members are unwilling to compromise.

Grant: mediation would be great, but he's not sure he can speak on behalf of board members.

CM Palmisano: frustrated that other neighborhoods (Fulton, for example) are concerned about SAPs because of the controversy surrounding LH's SAP. But she again believes that there is much value in the LH SAP.

Grant: It's not LHiNC's job to continue defending the SAP. They worked on it, but it was then "hijacked" by City staff. Linden Corner was too big at 59 ft., Linden Crossing is too big at 56 ft. They want it no more than 3 stories. Believes the City owes an explanation as those who worked on the LH SAP as to why the work it did has been ignored.

CM Palmisano: nothing's decided yet. But she believes the current proposal has been scaled back by the developer as a result of the community's concerns.

Grant: believes the SAP should be protecting the community's desires, but it was re-written by the City.

CM Palmisano: at the end of the day, zoning is what will decide what is allowed, not precedent. There is a sense of loss in the LHiNC community, but she believes the stepping back by the developer is a product of the neighborhood's concerns and the SAP. To Grant, she asked if there is something he would like her to do.

Grant: if this project is approved, in spite of the community's expressed wish, the neighborhood needs a sufficient explanation as to why their wishes are being ignored. Whatever happens needs to be clearly explained. And the SAP that's currently does not express the community's wishes and their intent in the original SAP.

**From:** [Anderson, Mei-Ling C.](#)  
**To:** [Anderson, Mei-Ling C.](#)  
**Subject:** variance for 4250 and 4264 Upton ave So.  
**Date:** Friday, July 11, 2014 11:23:39 AM

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**From:** dave luger [mailto:[dwluger@gmail.com](mailto:dwluger@gmail.com)]  
**Sent:** Friday, July 11, 2014 10:45 AM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Re: variance for 4250 and 4264 Upton ave So.

Mei-Ling,

I think I may have missed that, I understand the about the balcony variance and my original concern is that were I to build a second or third floor those balconies would be almost arms distance. The plan I saw showed the building 5.5 and about 7 feet from me but if you think nine that's great.

Looking at the plan again I see that the proposed drawing shows a snow storage area in back of my building. I do have a concern here as in the past Famous Dave's roof run off undermined my foundation and flooded my building in this area. Will there be safeguards to prevent this? If you could forward this concern to planing that would be great.

Finally, I would like to simply comment on the ingress and egress, I think that having both along Upton Ave would be best. It would allow a store front in place of a driveway along 43rd which would look better for the area and remove a pedestrian / vehicle conflict where there is so much pedestrian traffic along the sidewalk. Also it puts traffic in and out along an immediate stop sign and onto a main roadway. It is much quieter both in terms of traffic and pedestrian traffic at Upton and I think the continuity of continuous storefronts here would be best suited visually and practically.

I appreciate if you would forward this on.

Thank you,

Dave

Best regards,

Dave Luger

612-759-7815

\*FYI to all, Please use Bcc when adding my address to a group mail, thank you.

**Anderson, Mei-Ling C.**

---

**To:** Donna Ziemer  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Donna Ziemer [<mailto:ziemerditzel@hotmail.com>]  
Sent: Saturday, July 12, 2014 9:27 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

Hello,  
KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.  
The newly proposed structure appears to be a structure that was waiting to be built outside of the legal limits - quite crafty though process by the builder.  
I am not opposed to progress, just those who are not straight-forward in binging it to light.  
Thank you for your consideration.  
Sincerely,  
Donna Ziemer Ditzel

**Anderson, Mei-Ling C.**

---

**To:** griley2051@aol.com  
**Subject:** RE: 42 feet

-----Original Message-----

From: [griley2051@aol.com](mailto:griley2051@aol.com) [<mailto:griley2051@aol.com>]  
Sent: Saturday, July 12, 2014 7:06 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: 42 feet

Hello Linnea and Mei-Ling,

My name is Gregg Riley. I am a long time resident of Linden Hills. I am not sure what happened or why but it seems that the developer who originally wanted to put an overly large building on the corner of 43rd and Upton is again seeking a variance to the 42 foot height restriction imposed in the small commercial district. Please help us to respect the small village feel and oppose this attempt to put a larger project on the site.

Thank you,  
Gregg Riley  
612.928.8076

**Anderson, Mei-Ling C.**

---

**To:** terry olson  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: terry olson [<mailto:olson@pro-ns.net>]  
Sent: Saturday, July 12, 2014 6:17 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**To:** John King  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: John King [mailto:mimijohnk@aol.com]  
Sent: Saturday, July 12, 2014 6:14 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

I totally oppose this plan the additional floor was added kind of last minute. It seems to me that Mark could careless what the neighborhood wants. I say no way. Make it work the way the community dictated or move it to Fridley.

jk & mk

4841 Upton Ave So  
Minneapolis, Mn 55410  
612 730 1635

Sent from my <http://www.amazon.com/Augies-Secrets-Minneapolis-Hennepin-Strip/dp/0873518896>iPad

**Anderson, Mei-Ling C.**

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**To:** Margrit  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Margrit [mailto:[margritw@gmail.com](mailto:margritw@gmail.com)]  
Sent: Saturday, July 12, 2014 5:18 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

UKEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

---

**To:** James Maertens  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

**From:** James Maertens [<mailto:alferian@gmail.com>]  
**Sent:** Saturday, July 12, 2014 5:10 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

James Maertens  
26 yr resident

**Anderson, Mei-Ling C.**

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**To:** Maxine Davis  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Maxine Davis [<mailto:maxinedavis@me.com>]  
Sent: Saturday, July 12, 2014 5:00 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

My family has been part of the Linden Hills neighborhood for over 29 years. We live here because it is an unusual and special residential place.

We fought to keep height restrictions in Linden Hills "downtown" for years. Now the same problem we spent loads of time and money to fight has re-appeared!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height!  
DENY the CUP for C2 height.

I will be out of town during the Monday meeting, which otherwise I would attend. I believe this came up now, because someone knew Linden Hills residents would be out of town and the "wool could be pulled" over our eyes.

NO GOING OVER THE PRESENT 3-story limit!!!

Best wishes for a correct decision.

Maxine Davis  
2925 West 40th Street  
Mpls, MN  
612-805-0146  
[maxinedavis@mac.com](mailto:maxinedavis@mac.com)  
[tellyourhistory.com](http://tellyourhistory.com)

**Anderson, Mei-Ling C.**

---

**To:** Jeff Dusek  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

**From:** Jeff Dusek [<mailto:jeffery.dusek@gmail.com>]  
**Sent:** Monday, July 14, 2014 7:19 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Jeff Dusek

**Anderson, Mei-Ling C.**

---

**To:** Kimberle Linder  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Kimberle Linder [<mailto:kimberleqlinder@gmail.com>]  
Sent: Sunday, July 13, 2014 9:38 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPad

Come on you people! Are bigger, cheaply built buildings, selling expensive apartment rentals, cafés for the suburbanites, and stores carrying more cheesy merch from China, always more desirable?

We in Linden Hills are trying to keep our integrity here!

Though developers are buying old property ,and tearing it down to build the tear-downs of the future, we want to maintain the special neighborhood that we enjoy.

Humpty-Dumpty may be rich but let him fall!

Linden Hills is a classic because it maintains it's natural village appeal- not because it has bigger , taller, and more commercial buildings. There's a reason we love this place- it's because the people who LIVE here made it what it is- NOT because some outside developer wants to cash out and make Linden Hills another unsuccessful strip mall!

Really think about it! There are enough extinctions...

Sincerely,  
Kimberle

**Anderson, Mei-Ling C.**

---

**To:** Patty Gourley  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Patty Gourley [mailto:[pattytgourley@yahoo.com](mailto:pattytgourley@yahoo.com)]  
Sent: Sunday, July 13, 2014 7:17 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. Please respect the amount of time and money we have spent and listen to the members of our Linden Hills community. We should not have to fight the same fight over and over again.

Thank you,  
Patty Gourley

Sent from my iPad

**Anderson, Mei-Ling C.**

---

**To:** Seth Heimermann  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

**From:** Seth Heimermann [<mailto:seth.heimermann@gmail.com>]  
**Sent:** Sunday, July 13, 2014 2:35 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Seth Heimermann

**Anderson, Mei-Ling C.**

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**To:** stuart cone  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: stuart cone [<mailto:stuartcone@hotmail.com>]  
Sent: Sunday, July 13, 2014 1:08 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

I support the present 3-story 42 feet maximum height for Linden Crossing. No special privileges for developers! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**To:** Kate  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Kate [<mailto:jkdusek@comcast.net>]  
Sent: Sunday, July 13, 2014 10:57 AM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sincerely

Jeff and Kate Dusek

Sent from my iPhone

**Anderson, Mei-Ling C.**

---

**To:** Tomi Kean  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

**From:** Tomi Kean [<mailto:asn3kids@gmail.com>]  
**Sent:** Saturday, July 12, 2014 3:29 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Tomi Kean

**Anderson, Mei-Ling C.**

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**To:** Paula Heller  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Paula Heller [<mailto:paula2010@me.com>]  
Sent: Saturday, July 12, 2014 3:15 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.  
THANK YOU!!

Paula Heller

Sent from my iPhone

**Anderson, Mei-Ling C.**

---

**To:** Richardson, Jean  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Richardson, Jean [<mailto:JeanRichardson@edinarealty.com>]  
Sent: Saturday, July 12, 2014 3:00 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

It's unfortunate that we are once again revisiting this issue, wasting more time and taxpayer dollars. The people have overwhelmingly spoken, both via general neighborhood opposition and via the Small Area Plan. When does "no" constitute "NO?"

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you for your consideration.

Jean Richardson  
4653 Drew Ave S.

Sent from my iPad

**Anderson, Mei-Ling C.**

---

**To:** Robert.Nichols  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Robert.Nichols [<mailto:Robert.Nichols@target.com>]  
Sent: Saturday, July 12, 2014 2:53 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**To:** Libby Gordon  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

**From:** Libby Gordon [<mailto:libbygordon123@gmail.com>]  
**Sent:** Saturday, July 12, 2014 2:40 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Hello,

I am a resident of Linden Hills, and would like to strongly encourage you to keep our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! Please deny the CUP for C2 height.

Thank you!

Libby Gordon  
4335 York Ave. S.

**Anderson, Mei-Ling C.**

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**To:** rlaumer  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: rlaumer [<mailto:rlaumer@gmail.com>]  
Sent: Saturday, July 12, 2014 2:29 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**To:** Karen Schleske  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Karen Schleske [<mailto:nerakske@earthlink.net>]  
Sent: Saturday, July 12, 2014 2:15 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**To:** Fred Walker  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

Thank you for your comments. They will be entered into the public record.

Mei-Ling Anderson, City Planner  
City of Minneapolis | CPED – Land Use, Design & Preservation  
250 South 4th Street – Room 300 | Minneapolis, MN 55415  
Office: 612.673.5342 | [mei-ling.anderson@minneapolismn.gov](mailto:mei-ling.anderson@minneapolismn.gov)

**From:** Fred Walker [<mailto:fredwalk@gmail.com>]  
**Sent:** Saturday, July 12, 2014 2:08 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Fred Walker  
[fredwalk@gmail.com](mailto:fredwalk@gmail.com)

Sent using [CloudMagic](#)

**Anderson, Mei-Ling C.**

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**To:** Laurel Braun  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Laurel Braun [[mailto:laurel\\_braun@hotmail.com](mailto:laurel_braun@hotmail.com)]  
Sent: Saturday, July 12, 2014 2:04 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

Honestly, continuing attempts to build beyond the zoning at 43rd and Upton is beyond irritating especially since residents have opposed the previous requests. Please keep our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you,  
Laurel Braun  
4141 France Ave S

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**To:** Thomas Keith  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

**From:** Thomas Keith [<mailto:tomk@usiwireless.com>]  
**Sent:** Saturday, July 12, 2014 1:57 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

As a 38 year resident of Linden Hills, I can appreciate the value of the construction of Linden Crossing that meets the codes of the city. However, I am concerned with the number of exceptions this developer has sought. We have codes and rules for reasons. Exceptions should be very few and far between. KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Tom Keith  
4012 Washburn Ave S

**Anderson, Mei-Ling C.**

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**To:** Cindy Nollette  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Cindy Nollette [<mailto:cindy@cindynollette.com>]  
Sent: Saturday, July 12, 2014 1:54 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

I have been a resident of Linden Hills for over 30 years. I live here because I love it here. I love the people, the values, the architecture etc. Clearly there is change in our neighborhood with the tear downs, regrowth of business etc. Change is unavoidable. We want to maintain the integrity of our neighborhood and restrictions and limits such as these allow us to maintain the traffic, volume in the neighborhood etc.

I fully support the restrictions.

Cindy Nollette  
4515 York S.  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**To:** lbjohnson  
**Subject:** RE: Please Deny the "Linden Crossing" CUP for C2 height!

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**From:** lbjohnson [mailto:lbjohnson@MCHSI.com]  
**Sent:** Saturday, July 12, 2014 1:50 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Please Deny the "Linden Crossing" CUP for C2 height!

PLEASE KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

The community has spent much time and money on this issue. I do not want the max. height limit to be disregarded. We have limits in place for a reason, and we uphold those limits by having city codes. Please respect them!

Sincerely,

Beverly Johnson  
3006 W 44th St.

Sent from Samsung tablet

**Anderson, Mei-Ling C.**

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**To:** Shiela Robertson  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Shiela Robertson [<mailto:srobertson55410@comcast.net>]  
Sent: Saturday, July 12, 2014 1:50 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Try walking around in the area and imagining the shadow that will be cast by this monstrous proposal.

Thank you,

Shiela Robertson

**Anderson, Mei-Ling C.**

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**To:** Steven Hendrickson  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

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**From:** Steven Hendrickson [<mailto:stevehendrickson@me.com>]  
**Sent:** Saturday, July 12, 2014 1:50 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Cheers,

Steve Hendrickson  
[612.986.4615](tel:612.986.4615)  
[www.stevehendrickson.info](http://www.stevehendrickson.info)  
[www.beau-geste.org](http://www.beau-geste.org)  
[www.audio-visceral.com](http://www.audio-visceral.com)  
via iPhone

**Anderson, Mei-Ling C.**

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**From:** elise koonmen <ekoonmen@hotmail.com>  
**Sent:** Saturday, July 12, 2014 1:45 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**To:** Tom Galvin  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Tom Galvin [mailto:[tomndee92@gmail.com](mailto:tomndee92@gmail.com)]  
Sent: Saturday, July 12, 2014 1:35 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**To:** jdelkoski  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: jdelkoski [mailto:jdelkoski@comcast.net]  
Sent: Saturday, July 12, 2014 1:32 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

We already spent a considerable amount of money and time to develop Linden Hills Small Area Plan, please honor our efforts.

Thank You

--

John R. Delkoski  
Linden Hills Resident

**Anderson, Mei-Ling C.**

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**To:** Tom Mattox  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: Tom Mattox [<mailto:tmattox@popearch.com>]  
Sent: Saturday, July 12, 2014 1:31 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Bob Weiner <rweinerlaw@aol.com>  
**Sent:** Saturday, July 12, 2014 1:31 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Robert Weiner and  
Paula Leaf  
3804 Chowen Av. S.  
Mpls., MN 55410

**Anderson, Mei-Ling C.**

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**To:** Tim Galligan  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

**From:** Tim Galligan [<mailto:tgalligan@earthlink.net>]  
**Sent:** Saturday, July 12, 2014 1:29 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Tim Galligan  
3932 Thomas Ave  
Mpls MN 55410

**Anderson, Mei-Ling C.**

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**From:** Gina Bacigalupo Zappia <ginazappia@gmail.com>  
**Sent:** Saturday, July 12, 2014 1:15 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

It is outrageous that this developer would have the nerve to present this proposal after what the neighborhood just went through with him!

Thank you,  
Tim and Gina Zappia  
4231 Vincent Ave. S

**Anderson, Mei-Ling C.**

---

**To:** Alex Home  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

Thank you for your comments. They will be entered into the public record.

Mei-Ling Anderson, City Planner  
City of Minneapolis | CPED – Land Use, Design & Preservation  
250 South 4th Street – Room 300 | Minneapolis, MN 55415  
Office: 612.673.5342 | [mei-ling.anderson@minneapolismn.gov](mailto:mei-ling.anderson@minneapolismn.gov)

-----Original Message-----

From: Alex Home [<mailto:alex@danzberger.com>]  
Sent: Saturday, July 12, 2014 1:11 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

We've already been through this and the community spoke. What part of NO don't you "elected" officials understand?

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone  
952-212-9373  
[Alex@Danzberger.com](mailto:Alex@Danzberger.com)  
[Alex@OfferSavvy.com](mailto:Alex@OfferSavvy.com)

"Knowledge of the fact differs from knowledge of the reason for the fact." – Aristotle

**Anderson, Mei-Ling C.**

---

**To:** John MacFarlane  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

Thank you for your comments. They will be entered into the public record.

Mei-Ling Anderson, City Planner  
City of Minneapolis | CPED – Land Use, Design & Preservation  
250 South 4th Street – Room 300 | Minneapolis, MN 55415  
Office: 612.673.5342 | [mei-ling.anderson@minneapolismn.gov](mailto:mei-ling.anderson@minneapolismn.gov)

-----Original Message-----

From: John MacFarlane [<mailto:jmurdoch@aol.com>]  
Sent: Saturday, July 12, 2014 1:10 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Bill Brink <bill.brink@activesportsinc.com>  
**Sent:** Saturday, July 12, 2014 1:07 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thanks for all you do!

Bill Brink

4544 Chowen ave so

55410

**Anderson, Mei-Ling C.**

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**To:** amburns2@comcast.net  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

-----Original Message-----

From: [amburns2@comcast.net](mailto:amburns2@comcast.net) [mailto:[amburns2@comcast.net](mailto:amburns2@comcast.net)]  
Sent: Monday, July 14, 2014 12:29 PM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

No more variance. Ann Burns 3812 Vincent Ave So Sent from my iPhone

**Anderson, Mei-Ling C.**

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**To:** Leandra Peak  
**Subject:** RE: Please deny the Linden Crossing CUP

-----Original Message-----

From: Leandra Peak [mailto:[leandra@leandrapeak.com](mailto:leandra@leandrapeak.com)]  
Sent: Monday, July 14, 2014 11:55 AM  
To: Anderson, Mei-Ling C.  
Subject: Please deny the Linden Crossing CUP

Greetings,

Though I cringe at the overly dramatic posturing of certain neighborhood groups, I find myself in agreement with their goal to keep the Linden Crossing C1 corner at the present 42 feet and I respectfully ask that you vote to keep it at the lower height in accordance with the previous agreement. While I am sure the developer has compelling reasons for requesting the change, the ill will and rancor it visits upon the community again, not to mention its dwarfing size, gives me reason enough to ask the council to deny the request for a change in the previously agreed upon height.

Please respect the initial agreement and keep the corner at 42 feet.

Thank you for your consideration,  
Leandra Peak  
4049 Zenith Avenue S

**Anderson, Mei-Ling C.**

---

**To:** Elizabeth Galster  
**Subject:** RE: Deny the "Linden Crossing" CUP for C2 height!

**From:** [elizabeth.galster@gmail.com](mailto:elizabeth.galster@gmail.com) [mailto:[elizabeth.galster@gmail.com](mailto:elizabeth.galster@gmail.com)] **On Behalf Of** Elizabeth Galster  
**Sent:** Monday, July 14, 2014 9:39 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. The integrity of the Linden Hills neighborhood is important to its residents.

Thank you for your consideration,

Elizabeth Galster

**Anderson, Mei-Ling C.**

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**From:** Dee Galvin <tnd922u@gmail.com>  
**Sent:** Saturday, July 12, 2014 1:17 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Please KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Tom and Dee Galvin  
4316 Zenith Ave S  
Minneapolis, MN 55410

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Elinor <e\_daleiden@yahoo.com>  
**Sent:** Saturday, July 12, 2014 1:15 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Joanna Furth <joannafurth@yahoo.com>  
**Sent:** Saturday, July 12, 2014 1:10 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Dear Ms. Anderson,

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Why do we have to fight this a second time?

Why is the city helping him do this?

Sincerely,  
Joanna Furth  
resident

**Anderson, Mei-Ling C.**

---

**From:** Constance Pepin <cpepin@bitstream.net>  
**Sent:** Saturday, July 12, 2014 9:29 AM  
**To:** Anderson, Mei-Ling C.  
**Cc:** Palmisano, Linea; Ziring, Emily; Kusz, Lisa M.  
**Subject:** Linden Crossing Project Application

Dear Members of the Minneapolis Planning Commission,

After the Linden Hills neighborhood spent \$60,000 and worked for nearly two years developing the Linden Hills Small Area Plan, the City Council approved the Plan in December of 2013. Council Member Betsy Hodges wrote:

*"My expectation for the Small Area Plan process was for it to be as wide open as possible and that input from all parties was respected and included. The neighborhood did just that. The Steering Committee held public meetings, conducted surveys, and solicited comments on draft plans in order to ensure that the final Linden Hills Small Area Plan represented the neighborhood's diverse interests."*

Council Member Hodges also stated: *"Any future rezoning of the commercial nodes in Linden Hills will require public hearings and a thorough process to examine the area and the suitable zoning adjustments."*

Despite unexpected and last-minute changes to the Plan forced by CPED without neighborhood input or consent, the Linden Hills Small Area Plan is clear in its intent that commercial buildings in the 43rd & Upton business area stay within the C1 zoning requirements with heights less than the maximum allowed 42 feet.

The Linden Crossing developer has submitted an application for a Conditional Use Permit to construct a building at 43rd & Upton that would be 56 feet tall. The property is zoned C1, with a 42-foot height limit. This application essentially ignores the Linden Hills Small Area Plan, which explicitly states the intent *"to allow for the achievable densities called for in City policies while encouraging compatible design through lower maximum foot height of building heights than allowed in the current Zoning Code."* (page 46)

Approving this CUP would in effect nullify our Small Area Plan and upzone the C1 parcel to C2, without the public hearings and thorough process that the community was assured would happen before any rezoning. Please deny the developer's request for a Conditional Use Permit to expand his Linden Crossing building.

Thank you,  
Constance Pepin  
Minneapolis resident

**Anderson, Mei-Ling C.**

---

**From:** Mastery Bridge <woody@masterybridge.com>  
**Sent:** Saturday, July 12, 2014 1:17 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height and BAN this developer from resubmitting!

<https://m.youtube.com/watch?v=xWwUJH70ubM>

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. Ban this developer from doing any new building in our community, I'm sick of this.

John

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Paula and Phil <philpaula@comcast.net>  
**Sent:** Saturday, July 12, 2014 1:21 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Gail Wells <geewellzie@yahoo.com>  
**Sent:** Saturday, July 12, 2014 1:25 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Debra Bistodeau <debrabistodeau@gmail.com>  
**Sent:** Saturday, July 12, 2014 1:44 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Please!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.  
thank-you.

**Anderson, Mei-Ling C.**

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**From:** Cchvaldes@aol.com  
**Sent:** Saturday, July 12, 2014 1:37 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

I am deeply disappointed that we have to go through this again.

Catherine Chastek  
4236 Upton Ave. S.#201  
Minneapolis, MMN 55410

**Anderson, Mei-Ling C.**

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**From:** Tom Eaton <eatont@gmail.com>  
**Sent:** Saturday, July 12, 2014 1:29 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** bharati <bharati718@hotmail.com>  
**Sent:** Saturday, July 12, 2014 1:30 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone apologies for typos

**Anderson, Mei-Ling C.**

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**From:** Donna Mayotte <draemayo@yahoo.com>  
**Sent:** Saturday, July 12, 2014 1:29 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** lynnecaron@gmail.com on behalf of Lynne Olson <olynne@msn.com>  
**Sent:** Saturday, July 12, 2014 1:29 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

I am really not happy that this is an issue again.

Lynne Olson

**Anderson, Mei-Ling C.**

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**From:** Mary Nagle <mary@storliecompany.com>  
**Sent:** Saturday, July 12, 2014 1:28 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. I can't believe this is coming up AGAIN.  
Please keep the height restriction!

**Anderson, Mei-Ling C.**

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**From:** Anne Arden <annearden@yahoo.com>  
**Sent:** Saturday, July 12, 2014 1:28 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

I'm not sure how or why the developer of the Linden Corner project thinks he can get the city to allow him to increase the height of the building, when clearly the people of the neighborhood has spoken, with severe opposition to it just a couple years ago. (And he was also denied the special allowance by the City Council).

Please, KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Anne Arden

4919 Queen Ave S

**Anderson, Mei-Ling C.**

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**From:** Louise Sundin <lsundin@mft59.org>  
**Sent:** Saturday, July 12, 2014 1:27 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my Windows Phone

**Anderson, Mei-Ling C.**

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**From:** Alex Home <alex@danzberger.com>  
**Sent:** Saturday, July 12, 2014 1:26 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** NOOOOOOO TO "Linden Crossing"

We've spoken once. What didn't you understand? KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Alex Danzberger

Sent from my iPhone  
952-212-9373  
[Alex@Danzberger.com](mailto:Alex@Danzberger.com)  
[Alex@OfferSavvy.com](mailto:Alex@OfferSavvy.com)

"Knowledge of the fact differs from knowledge of the reason for the fact." – Aristotle

**Anderson, Mei-Ling C.**

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**From:** KRISTINA LONG <kristinalong@me.com>  
**Sent:** Saturday, July 12, 2014 1:25 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Cc:** Jeanne Long; Benson, Bruce O  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Hello,

Please KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height and DENY the CUP for C2 height.

I OPPOSE the increased height of the new "Linden Crossing" proposal and I would strongly encourage the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan.

Thank you very much for respecting the parameters of the Small Area Plan and keep any new proposals to the 42-foot maximum height and not allow those that request to go against these thought-out parameters.

Sincerely,

Kristina Long  
3212 W 46th St  
Minneapolis, MN 55410  
612-961-7039

**Anderson, Mei-Ling C.**

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**From:** Sallie Neall <sallie.neall@gmail.com>  
**Sent:** Saturday, July 12, 2014 2:06 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

PLEASE honor the Small Area Plan drafted by the community and limit this development to NO MORE THAN 42'.

Respectfully,

Sallie Neall  
4236 Drew Ave S.  
Linden Hills

**Anderson, Mei-Ling C.**

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**From:** Donna Ziemer Ditzel <ziemerditzel@hotmail.com>  
**Sent:** Saturday, July 12, 2014 2:00 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. This area cannot absorb the amount of increased traffic and parking for the proposals. Please let us keep our neighborhood!

Jeff & Donna Ditzel  
3936 Chowen Ave S  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Vito Bongiorno <vbongiorno@comcast.net>  
**Sent:** Saturday, July 12, 2014 1:55 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

TO: Mei-Ling Anderson and Linea Palmisano:

I have been a resident of Linden Hills, living at my home on 4201 Linden Hills Blvd., for now over 38 years.

The same developer whose 56-foot tall "Linden Corner" was **denied** by the Minneapolis City Council and faced **overwhelming opposition** from the neighborhood, is seeking a special allowance from the City's Planning Commission to build a new 56' building called "Linden Crossing" on the same site.

**Right now, the maximum height for this corner allowed by City code is 3 stories tall and 42 feet maximum.**

**What troubles me greatly by this is that we all went through a long process last year about this very issue and the developer agreed to the 42-foot maximum height. Now, at the eleventh hour (literally), he wants to make a change.**

Please keep our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! Deny the CUP for C2 height.

Thank you.

Sincerely,

Vito Bongiorno, Jr.  
4201 Linden Hills Blvd.

**Anderson, Mei-Ling C.**

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**From:** Kristi SK <smith\_knutson@hotmail.com>  
**Sent:** Saturday, July 12, 2014 1:54 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** DENY the Linden Crossing CUP for C2 height

Dear Ms. Anderson and Councilmember Palmisano,  
I'm writing as a Linden Hills resident and homeowner to let you know that I strongly oppose the current proposed Linden Crossing development at 56'. It is a crazy use of time, money and energy to revisit this issue. The neighborhood spoke loudly and clearly: this development should not exceed 3 stories and 42 feet.

Please show your insight and respect as Minneapolis leaders and KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height!

DENY the CUP for C2 height.

Sincerely,  
Kristen Smith Knutson

**Anderson, Mei-Ling C.**

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**From:** Maggie <maggieorth@gmail.com>  
**Sent:** Saturday, July 12, 2014 1:52 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Deb <debousley6@gmail.com>  
**Sent:** Saturday, July 12, 2014 1:51 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Deb Ousley  
Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** louis burg <rockyshane\_2000@yahoo.com>  
**Sent:** Saturday, July 12, 2014 1:48 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Marie Idelkope <midelkope@gmail.com>  
**Sent:** Saturday, July 12, 2014 1:49 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Hi Mei-Ling and Linea,

It has come to my attention that there has been a request to develop the corner of 43rd and Upton again. Please consider all the work that went into keeping the zoning limit to 42 feet, 3 story. I think it is extremely rude of the developer, who was already denied to rezone the property, to try again. He is not taking into consideration what the people who live in the community want for the area. His fight will continue to make him a contentious neighbor.

Please KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sincerely,  
Marie Idelkope

**Anderson, Mei-Ling C.**

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**From:** Debbie Balli <debbie.balli@gmail.com>  
**Sent:** Saturday, July 12, 2014 1:48 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** paulspatter@aol.com  
**Sent:** Saturday, July 12, 2014 1:46 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Jenny Bender <jennylbender@gmail.com>  
**Sent:** Saturday, July 12, 2014 2:10 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Opposed to the "Linden Crossing" 4th Story

I would like to voice my support to keep the current C1 neighborhood commercial corner at its present 3-story 42 feet maximum height. We had this discussion last year and after major efforts and discussion, to have his brought up again is frustrating. I know in the past Ms Palmisano supported the 4th story that the neighborhood opposed. Now as our council representative, I hope that she will vote with the constituent majority. I've reviewed the updated design and I still disagree with the 4th story. Please deny the CUP for C2 height.

Thank you,  
Jenny Bender  
5255 Ewing Ave S

**Anderson, Mei-Ling C.**

---

**From:** IMAPOSH@aol.com  
**Sent:** Saturday, July 12, 2014 2:09 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

*KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height!*

*DENY the CUP for C2 height.*

*come on .... let 's get on with this ....*

*three stories... that 's it!*

*too much time and money being spent by the neighborhood!*

*thanks ....*

**Anderson, Mei-Ling C.**

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**From:** Stewart G. <skgregg01@gmail.com>  
**Sent:** Saturday, July 12, 2014 2:08 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Schultz, Brenda <brenda.schultz@medtronic.com>  
**Sent:** Saturday, July 12, 2014 2:06 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

As a homeowner in Linden Hills, I OPPOSE the increased height of the new "Linden Crossing" proposal and I want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thanks so much,  
Brenda Schultz      4449 Washburn Ave So   Minneapolis, MN 55401

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<http://emaildisclaimer.medtronic.com>

**Anderson, Mei-Ling C.**

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**From:** Kathy Pavia <kathypavia@yahoo.com>  
**Sent:** Saturday, July 12, 2014 2:20 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

---

**From:** Lawrence A. Lockman <lockm001@umn.edu>  
**Sent:** Saturday, July 12, 2014 2:19 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

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Lawrence A. Lockman, M.D.  
2605 West 44th Street  
Minneapolis, MN 55410  
My Zazzle store: <http://www.zazzle.com/lockm001>

Universal (Rings where I am): 612-568-0881  
Home: 612-825-9467  
Cell: 612-718-8260

**Anderson, Mei-Ling C.**

---

**From:** Royce Lawler <roycelawler@comcast.net>  
**Sent:** Saturday, July 12, 2014 2:14 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**RIGHT NOW**, we need to tell the Planning Commission members that we expect them to follow the policy staff direction given by Mayor Hodges and the community in our Linden Hills Small Area Plan and **DENY THE DEVELOPER'S APPLICATION to use a Conditional Use Permit to go around the Small Area Plan.**

Sent from my iPhone

**Anderson, Mei-Ling C.**

---

**From:** Kitty Westin <westin.kitty@gmail.com>  
**Sent:** Saturday, July 12, 2014 2:16 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Respectfully yours,

Kitty Westin

3921 Drew Ave S

Minneapolis, MN. 55410

612-259-7103

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Dianne Rentschler <dmrentschler5132@gmail.com>  
**Sent:** Saturday, July 12, 2014 2:14 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

This is part of the character of Linden Hills. As I see McMansions destroyers mansions the neighborhood, this would be a similar eyesore.

PLEASE VOTE NO

**Anderson, Mei-Ling C.**

---

**From:** Jenny Bender <jennylbender@gmail.com>  
**Sent:** Saturday, July 12, 2014 2:10 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Opposed to the "Linden Crossing" 4th Story

I would like to voice my support to keep the current C1 neighborhood commercial corner at its present 3-story 42 feet maximum height. We had this discussion last year and after major efforts and discussion, to have his brought up again is frustrating. I know in the past Ms Palmisano supported the 4th story that the neighborhood opposed. Now as our council representative, I hope that she will vote with the constituent majority. I've reviewed the updated design and I still disagree with the 4th story. Please deny the CUP for C2 height.

Thank you,  
Jenny Bender  
5255 Ewing Ave S

**Anderson, Mei-Ling C.**

---

**From:** susan perry <susanlperry@mac.com>  
**Sent:** Saturday, July 12, 2014 2:25 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** "Linden Crossing" - please deny request for conditional use permit

Ms. Anderson,

It's very frustrating to learn that the builder who is developing the corner of 43rd and Upton is back with another request to build an out-of-proportion building at the corner—after his first request was overwhelmingly rejected by the neighborhood.

I live two blocks from the project, at 41st and Upton Ave. S. I have lived in the neighborhood for 25 years. I have never been opposed to developing 43rd and Upton, but the project must fit that corner and the neighborhood. The project the developer wants to build is simply too big for that location.

Please deny the developer's request for a conditional use permit and make sure the project meets current zoning requirements: 3-story, 42 feet maximum height.

Thank you.

Susan Perry  
4133 Upton Ave. S.  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Zan Chandler <suzanchandler@msn.com>  
**Sent:** Saturday, July 12, 2014 3:19 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

SuZan Chandler  
Sent from my iPhone

**Anderson, Mei-Ling C.**

---

**From:** Kate Mackin <kmackin@mnbrokerage.com>  
**Sent:** Saturday, July 12, 2014 3:19 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

*Sent from my Verizon Wireless 4G LTE DROID*

**Anderson, Mei-Ling C.**

---

**From:** JENNIFER RUSSELL <jenrussell@earthlink.net>  
**Sent:** Saturday, July 12, 2014 3:13 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

---

**From:** Peggy Brandt <pfrance88@comcast.net>  
**Sent:** Saturday, July 12, 2014 3:11 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

This is an outrage!

Developer Scott Carlston is being allowed to RUIN the 44/45th & France Ave area by demolishing the current TO NEIGHBORHOOD SCALE 3-story apartment building & erect a huge monstrosity of a building instead, forcing me & numerous others to vacate the building & the area, & now to add insult to injury, this OTHER GREEDY PIG developer will be putting my daughter through the SAME fight down on 43rd & Upton where she resides in the TO NEIGHBORHOOD SCALE 3-story apartment building across from Famous Dave's on Sheridan Ave.

The Small Area Plan, though costly (more government waste in action) & TIME CONSUMING for many SINCERE residents in the area, wasn't able to stop Scott Carlston's Plan from being approved by you people downtown, & no doubt the Small Area Plan ultimately will fail in stopping this other developer either, thanks to all the city officials who are going FULL STEAM AHEAD apparently with the United Nations AGENDA 21 VERSION of worldwide utopia - what a CROCK!

I'd love to know the actual OCCUPANCY RATE of all these Agenda 21 "luxury living" buildings that have sprung up all over town in recent years. My daughter & I are moving down to Tampa as soon as she finishes college in another year or so. I'm sure Agenda 21 is in full swing down there as well, thanks to government officials who are no doubt getting kickbacks from the UN along with the developers, but at least we won't have to live with the agony of "what used to be" before you guardians of the cities took it all away & transformed this beautiful country from Land of the Brave to Land of the BOZOS.

**Anderson, Mei-Ling C.**

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**From:** Walter Pitt <salvationworldwide@earthlink.net>  
**Sent:** Saturday, July 12, 2014 3:08 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

At the corner of 43rd and Upton, in the heart of Linden Hills . . .

The same developer whose 56-foot tall "Linden Corner" was **denied** by the Minneapolis City Council and faced **overwhelming opposition** from the neighborhood, is seeking a special allowance from the City's Planning Commission to build a new 56' building called "Linden Crossing" on the same site.

**Right now, the maximum height for this corner allowed by City code is 3 stories tall and 42 feet maximum.**

Recently, your neighborhood Council spent \$60,000 dollars and residents spent hundreds of hours research and writing the Linden Hills Small Area Plan as a guiding document for future development in the business nodes.

This statement made by our then Council Member Betsy Hodges (on December 9, 2013) is included in our Small Area Plan:

"In light of the input by the entire community and the many months of work by the steering committee, I requested that my colleague, Council Member Lisa Goodman move a staff direction at the Zoning and Planning meeting . . . The motion passed to direct staff to encourage overall building heights and floor-to-floor heights that reflect the adjacent architectural context and **encourage buildings that are shorter than the current Zoning Code maximums for 3 and 4 story buildings (42 feet and 56 feet respectively) in the Linden Hills Small Area Plan.**

"Although the encouragement of lower building heights is already in the plan, I felt it a staff direction was an important step **to ensure awareness of this priority for any future development projects.**"

**Remember, the corner of 43rd & Upton is zoned C1 and has a 3-story 42' maximum, and the developer is requesting to build a C2 4-story 56' building.**

**RIGHT NOW**, we need to tell the Planning Commission members that we expect them to follow the policy staff direction given by Mayor Hodges and the community in our Linden Hills Small Area Plan and **DENY THE DEVELOPER'S APPLICATION to use a Conditional Use Permit to go around the Small Area Plan.**

The Planning Commission must honor the community's vision for height-limited new development that preserves the Linden Hills we love *and* provides for the growth we want and need.

**Anderson, Mei-Ling C.**

---

**From:** Tanya Laumbach <tlaumbach@yahoo.com>  
**Sent:** Saturday, July 12, 2014 3:06 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** Walter Pitt <walterpittcompany@earthlink.net>  
**Sent:** Saturday, July 12, 2014 3:05 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Proposed amendment to the LHSAP. To be included:

**“To clarify the neighborhood’s intention regarding the inclusion of “3-4” stories for the neighborhood commercial nodes, as a matter of policy, the community supports a 3 story maximum in C-1 zones and intends buildings of 4 stories to be in zones that presently allow them as-of-right.”**

This clarification is necessary because the insertion of “3-4” is non specific and could be misinterpreted to imply that the community is encouraging the building of additional floors in C-1 zones, (which it obviously did not evidenced by the communities original instruction in the LHSAP to keep building heights to 3 stories).

***As-of-right Development***

An as-of-right development complies with all applicable zoning regulations and does not require any discretionary action by the City Planning Commission or Board of Standards and Appeals. Most developments and enlargements in the city are as-of-right.

**Anderson, Mei-Ling C.**

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**From:** Larry Stephan <larry.stephan@gmail.com>  
**Sent:** Saturday, July 12, 2014 2:59 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

I OPPOSE the increased height of the new "Linden Crossing" proposal and want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan! Please KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Regards,

Larry Stephan  
4121 Vincent Ave S

**Anderson, Mei-Ling C.**

---

**From:** Cjturpin@aol.com  
**Sent:** Saturday, July 12, 2014 2:49 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.  
Zoning has a purpose. Otherwise why bother? The default position is to deny Zone changes that change the character of out neighborhood.

Charles Turpin  
4932 Queen Avenue S

**Anderson, Mei-Ling C.**

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**From:** Herb Morgenthaler <herbmn61@usewireless.com>  
**Sent:** Saturday, July 12, 2014 2:42 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Bill Arimond <arimond@visi.com>  
**Sent:** Saturday, July 12, 2014 2:41 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

How many times do we have to say it!

Bill Arimond  
4304 Abbott Avenue S

**Anderson, Mei-Ling C.**

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**From:** Sally Blood <sallyblood@earthlink.net>  
**Sent:** Saturday, July 12, 2014 2:36 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** dthomp5950@aol.com  
**Sent:** Saturday, July 12, 2014 3:20 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

So much effort has gone into the recommendation to keep the height and zoning restrictions as they stand. Please, please, please prevent the undoing of all the work that previously was done regarding this same issue/developer!! And, please show us that voicing our opinions really does matter.

Thank you!

Sincerely,

Trudy and Dan Thompson  
4700 Upton Ave. S.  
612-926-5950

**Anderson, Mei-Ling C.**

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**From:** greg tetrault <g.tetrault@att.net>  
**Sent:** Saturday, July 12, 2014 3:26 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Lindsey Leshner <lindseylesher@gmail.com>  
**Sent:** Saturday, July 12, 2014 3:25 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Hello,

PLEASE keep our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

The community has worked so hard on this issue. PLEASE listen to your constituents.

Best regards,  
Lindsey

**Anderson, Mei-Ling C.**

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**From:** Linda Crawford <linda@originsonline.org>  
**Sent:** Sunday, July 13, 2014 9:51 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. What is the point of neighborhood associations, meetings, and actions about our concerns if after establishing a Small Area Plan, the first request to ignore it is agreed to by the Planning Commission.

Linda Crawford  
4632 Vincent Ave. S.

**Anderson, Mei-Ling C.**

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**From:** Connie Peterson <corgidogteddy@yahoo.com>  
**Sent:** Sunday, July 13, 2014 9:43 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Mac <m\_sexton71@hotmail.com>  
**Sent:** Sunday, July 13, 2014 9:29 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** RICK & KATHY BUNNELL <hammesk@msn.com>  
**Sent:** Sunday, July 13, 2014 8:53 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** ANDREA <amstar44@comcast.net>  
**Sent:** Sunday, July 13, 2014 6:56 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Linden Crossing

Dear Ms Anderson,

It has been brought to my attention that there is another meeting in which the same already-denied proposal for Linden Corner is being brought up once again, but with a new name, linden Crossing. It is for the same out-of-compliance plan as was previously brought up and denied. It seems to me that there are zoning regulations in place for a reason, and unless there is some extenuating circumstance, it seems to me that they ought to be appropriately enforced. This is just a rehash of the previously denied proposal without any changes to comport with the zoning requirements that are in place.

As a Linden Hills resident, i urge you to deny this new request for the same problematic plan. Sometimes when speculators buy up property, they guess wrong about what they might be able to do with it. This is one of those instances. It is clear that the building restrictions in place are what should be followed in this case.

Thank you for your time, Andrea Starin, Linden Hills resident

**Anderson, Mei-Ling C.**

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**From:** Emily Knight <knight1979@gmail.com>  
**Sent:** Sunday, July 13, 2014 6:53 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Respect the process that has taken place in the Linden Hills community and abide by the results of that planning process. Respect the wishes of the community.

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Bob and Emily Knight

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Emily Knight <knight1979@gmail.com>  
**Sent:** Sunday, July 13, 2014 6:53 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Respect the process that has taken place in the Linden Hills community and abide by the results of that planning process. Respect the wishes of the community.

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Bob and Emily Knight

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Elizabeth W Miller <emiller18@comcast.net>  
**Sent:** Sunday, July 13, 2014 6:43 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Elizabeth Miller  
4232 Sheridan So.

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Jeffry Magnuson <jdmagnuson@msn.com>  
**Sent:** Sunday, July 13, 2014 6:40 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Cc:** Bender, Lisa  
**Subject:** Comments for the Planning Commission - Linden Corner

Dear Minneapolis City Planner Mei-Ling Anderson and City Councilmember Linea Palmisano;

I am a member of the Linden Hills Zoning Sub-Committee. Previously, I spoke before the Planning Commission in opposition of the original 5-story building proposal. I supported the revised three-story proposal .

I wish to comment in opposition of the new four-story building proposal for much the same reasons that I opposed the five-story building - I believe that this building, with its height of 56 feet, violates the C1 zoning district allowable height of 42 feet. In fact, this four-story building is only 3 feet lower than the five-story building which was previously denied by the city council.

The C1 zoning district is supposed to be the lowest density commercial district in the city. Allowing this building height with just a simple CUP vote is the wrong process. If this developer wants a higher building, he should apply for a rezoning of the property to allow the higher building.

I urge the Planning Commission to deny the CUP for height and the associated setback variances.

Thank you,  
Jeffry Magnuson  
3010 West 43rd St  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Dave Musser <Dave.Musser@genmills.com>  
**Sent:** Sunday, July 13, 2014 6:21 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Leota Pearson <leota@lpearsoncompany.com>  
**Sent:** Sunday, July 13, 2014 6:03 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Leota Pearson

4012 Vincent Ave. S.

**Anderson, Mei-Ling C.**

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**From:** Laura Ferster <bobandlaura@visi.com>  
**Sent:** Sunday, July 13, 2014 5:45 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Please KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height at Linden Crossing.

Thank you.

Laura Ferster  
2614 W. 49th St.  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Jane Musser <jane.musser11@gmail.com>  
**Sent:** Sunday, July 13, 2014 5:43 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Lesley Bennett <bennettesley@yahoo.com>  
**Sent:** Sunday, July 13, 2014 5:38 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Margaret <mml789@aol.com>  
**Sent:** Sunday, July 13, 2014 5:37 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Margaret London, Linden Hills

**Anderson, Mei-Ling C.**

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**From:** John Santiago <johnzutanosantiago@yahoo.com>  
**Sent:** Sunday, July 13, 2014 4:50 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Above is the "canned message" that was part of the e-mail chain on this matter. Here is my message: as someone who lives in Lynnhurst and is the natural enemy of Linden Hillers I will show up to as many open council meetings possible to protest the insertion of unbecoming development projects into a very becoming neighborhood. While it is true that said developer is a citizen and (I surmise) a tax payer and must be heard on this venture his narrow interests and short-term gains should be rejected.

D. Edwards  
5056 Oliver Ave S  
Mpls 55419

**Anderson, Mei-Ling C.**

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**From:** ceceliaerickson@comcast.net  
**Sent:** Sunday, July 13, 2014 4:24 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** 43rd and Upton building request

Please follow the Linden Hills Small Area Plan and **deny a 4th story to the new constructions on 43rd and Upton Ave S.** This area is zoned C 1 for three stories. We worked so hard to keep this at three stories.

Thank you,  
Cecelia DuPlessis Erickson  
4106 Upton Ave S

**Anderson, Mei-Ling C.**

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**From:** dr <kanndunn@aol.com>  
**Sent:** Sunday, July 13, 2014 4:20 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Our neighborhood worked hard to get the 42 foot maximum height as part of our small area plan. The developer of "Linden Crossing" has been denied once before, and the neighborhood is very opposed to any height change exceeding the 42 foot maximum.

Please KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Don't vote against the wishes of the neighborhood.

Karen Dunn

**Anderson, Mei-Ling C.**

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**From:** lila deye <ldeye@yahoo.com>  
**Sent:** Sunday, July 13, 2014 3:56 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Amy Caron <amy3914@gmail.com>  
**Sent:** Sunday, July 13, 2014 3:55 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

As I renovated my home in Linden Hills, I followed the city zoning ordinance. I would expect a commercial property to do the same.

Regards,  
Amy Caron  
3914 Drew Ave S

**Anderson, Mei-Ling C.**

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**From:** mimijohnk@aol.com  
**Sent:** Sunday, July 13, 2014 3:32 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Mimi King  
4841 Upton Ave So  
Minneapolis 55410  
612-418-0648

**Anderson, Mei-Ling C.**

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**From:** Marcella Grandpre <marcella@grandpre.net>  
**Sent:** Sunday, July 13, 2014 3:01 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

There are two critical issues at hand.

1. The proposed height itself. It is simply too too high for that area even with the setback and it would get a dangerous precedent.

2. The neighborhood's belief in the city's government. A great deal of thought and citizenry involvement went into the current guidelines.

To wave them, at this point, would basic say that when all is said and done citizen input is meaningless.

Sincerely,  
Marcella Grandpre  
3030 West 43rd st

**Anderson, Mei-Ling C.**

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**From:** Stricherz, Melisa K <MSTRICH1@Fairview.org>  
**Sent:** Sunday, July 13, 2014 2:59 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

We love our quaint neighborhood and do not want to change the height req. it was voted no once, Please deny again.

Sincerely,  
Melisa STRICHERZ

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Catherine Pringle <catherine.pringle@gmail.com>  
**Sent:** Sunday, July 13, 2014 2:04 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

PLEASE!

It's what makes our neighborhood unique, desirable and special.

Catherine Pringle  
42nd & Chowen

**Anderson, Mei-Ling C.**

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**From:** klbooth@hotmail.com  
**Sent:** Sunday, July 13, 2014 1:43 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

So, how many letters must be written? How many lawyers consulted? How many community engagement meetings must be scheduled before city officials GET IT? if someone is zoned, and yet that zoning decision is up for reconsideration EVERT time a developer challenges it, how long before the greed just wins out? We already became involved on the tear down issue..but as soon as a deal was struck what happened???? another tear down on our block and what is replacing is it a MUCH bigger home taking up a MUCH larger footprint of the original structure. and, again, i feel like i just have been dropped into Woodbury. Nothing MEANINGFUL HAS CHANGED.

and, guess what, my property taxes go up due to this greed.

agan, i am NOT opposed to new development replacing neglected properties...or re-designs that expand on the current footprint..I OPPOSE the larger footprints, designs that don;t related to the age and era of the neighborhood etc. and, i am now seeing children play in the front yards and large wide concrete driveways as though this were Woodbury and some safe culdesac. we live on city streets and cars don;t slow down for wayward basketballs and children right behind them.....

WHEN will city officials begin to connect the dots on climate change and this development? WHEN? OBVIOUSLY our national leaders are failing at taking the lead on this issue..and recent survey show that Americans think those that believe in Science) Climate Change is a problem for somewhere else in the world..and not in OUR part of the world..let alone part of the US. And midwesterners who are not getting hurricanes, or massive sea rise, or melting mountain peaks are getting it even less. and yet, we in Linden Hills have this nice compost project, we put signs up about not tossing animal waste in gutters, or not to use chemicals on our lawns to protect Lake Harriet etc....but we are building to the MAXIMUM and at an alarming rate. help me understand this...one one hand we try to be good environmental stewards and on the other, we are ENCOURAGING larger footprints..and lining the pockets of developers and suburbanites who now love the city and bring their lifestyles and needs for large homes with them...to a more urban zip code. and we say this helps strengthen our city?????

I thought this linden crossing issue was settled....so we moved the developer from 5 floors to 4....and it is zoned for less....what GOOD are your decisions if every time a developer comes calling YOUR zoning decisions have to be fought with time, energy, money and lawyers?

Please stop this madness. We have Climate Change...and yes, it is affecting our city. The climate is changing...but we are NOT.

Regards,  
Karen Louise Boothe  
Linden Hills resident since 2000

**Anderson, Mei-Ling C.**

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**From:** Al Lorenz <allorezn1@icloud.com>  
**Sent:** Sunday, July 13, 2014 1:24 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Thomas S. Greenspon, Ph.D. <tsg@greensponassociates.com>  
**Sent:** Sunday, July 13, 2014 12:33 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Please say "no" to any attempts to ignore the recent decisions Linden Hills residents have agreed on concerning these matters.

(Dr.) Tom Greenspon  
4108 Abbott. Ave. S.

**Anderson, Mei-Ling C.**

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**From:** bharati <bharati718@hotmail.com>  
**Sent:** Sunday, July 13, 2014 12:04 PM  
**To:** Palmisano, Linea; Anderson, Mei-Ling C.  
**Subject:** Linden Hills

Hello Council members,

I am incredibly disappointed with the ways in which my neighborhood is changing. As a home owner committed to reducing my green footprint and living sustainably I have been disheartened by the rampant construction of huge homes ( tear downs) that barely fit the size of existing lots on my block. We don't know what the long term environmental impact of these large construction projects will be.

Now, after a long battle for a small area plan for Linden Crossing the developer has new intentions of building beyond the originally agreed upon height? What good are all of these zoning laws when they can be re- visited and worked around?

Is Linden Hills going to be the next Uptown?  
Please oppose his latest application.

Thank you.

Sent from my iPhone apologies for typos

**Anderson, Mei-Ling C.**

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**From:** Anthony Smith <tonyvsis@gmail.com>  
**Sent:** Sunday, July 13, 2014 11:35 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. I OPPOSE the increased height of the new "Linden Crossing" proposal and that you want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan!

**Anderson, Mei-Ling C.**

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**From:** Gay Herzberg <gherzberg@stkate.edu>  
**Sent:** Sunday, July 13, 2014 11:18 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Please honor the commitment to keep the 42 foot maximum height and the integrity of the neighborhood intact.

Thank you,

Gay Herzberg

**Anderson, Mei-Ling C.**

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**From:** Mary Ollerich <mbadgerheels@live.com>  
**Sent:** Sunday, July 13, 2014 10:56 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Carol Clemens <clem3@visi.com>  
**Sent:** Sunday, July 13, 2014 10:27 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

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Carol Clemens

**Anderson, Mei-Ling C.**

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**From:** Pc Wickland <pcwickland@yahoo.com>  
**Sent:** Sunday, July 13, 2014 10:17 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Claire Wickland  
3312 west 45 st

**Anderson, Mei-Ling C.**

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**From:** Pc Wickland <pcwickland@yahoo.com>  
**Sent:** Sunday, July 13, 2014 10:16 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Karen <karen2tone@gmail.com>  
**Sent:** Sunday, July 13, 2014 10:09 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Suzy Hillard <shillard34@msn.com>  
**Sent:** Sunday, July 13, 2014 10:01 AM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

I am opposed to a 4-story building at the corner of 43rd Street and Sheridan/Upton. It is out of character with the neighborhood. Thank you, Suzy Hillard, Linden Hills resident.

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Leslie Granbeck <lgranbeck@q.com>  
**Sent:** Sunday, July 13, 2014 9:57 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

I have been a Linden Hills resident for over 50 years. I oppose the increased height of the new "Linden Crossing" proposal and I ask the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height!

Leslie Granbeck

**Anderson, Mei-Ling C.**

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**From:** Valerie Rittler <valerie.rittler@gmail.com>  
**Sent:** Sunday, July 13, 2014 9:55 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Dear Ms. Anderson and Ms. Palmisano,

Please KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you, Valerie Rittler

**Anderson, Mei-Ling C.**

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**From:** CenturyLink Customer <k8hencir@q.com>  
**Sent:** Sunday, July 13, 2014 9:53 AM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Linden Hills corner

How many times do we need to express our concern about the height of the building going up on 42nd/Upton? The developer just keeps trying to make it taller and we don't want that for our neighborhood.

**Anderson, Mei-Ling C.**

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**From:** L A CAMERON <l.a.cam@msn.com>  
**Sent:** Sunday, July 13, 2014 9:38 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Dear Ms. Anderson and Ms. Palmisano -

As a long-time resident of Linden Hills, I have watched with extreme unhappiness as the City has encouraged and sanctioned the overdevelopment of the residential side of Linden Hills, as new, large, soul-less suburban homes suddenly appear literally in our backyards, and need our council members to stop caring more for the people who want to live here than the people who do.

This extends to the Linden Hills commercial district.

PLEASE! Help to preserve the character of our wonderful neighborhood and it's charming business district by voting to KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. We have had enough of development and change. Let's preserve what's left.

Sincerely,  
Linda Cameron  
4605 Beard Ave. S.  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** lymeawaydoc@yahoo.com  
**Sent:** Sunday, July 13, 2014 9:35 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

I that OPPOSE the increased height of the new "Linden Crossing" proposal and that I want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you for keeping our area from becoming polluted.

Mary Ann Ryken Griffin  
3800 Vincent Ave S  
Minneapolis, MN 55410  
612 220-2224

**Anderson, Mei-Ling C.**

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**From:** Sheryl Grassie <srgrassie@comcast.net>  
**Sent:** Sunday, July 13, 2014 9:19 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Please say no to a fourth story variance. We as a community worked very hard to get the larger building defeated and now Mr. Dwyer is pushing the limits once again. We don't want our neighborhood to be overly commercialized and this project, at the size the variance suggests, is completely unnecessary and unacceptable to residents.

Thank you for your consideration,

Sheryl Grassie

*Dr. Sheryl R. Grassie*  
3610 W. 40<sup>th</sup> Street  
Minneapolis, MN 55410  
612-922-2200  
[srgrassie@comcast.net](mailto:srgrassie@comcast.net)

**Anderson, Mei-Ling C.**

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**From:** Robert W. Russell <rwryes@usewireless.com>  
**Sent:** Sunday, July 13, 2014 8:53 AM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Linden Corners !

This issue was decided upon last year last year . The vast majority of concerned neighbors were polled and opposed anything to be built over 3 stories . So , what has changed ? Why is this even up for consideration ? The developer is not concerned about the will of the neighbors and again is going for the profit margin . Please keep the zoning intact and deny the proposal for four stories . I've lived in the immediate neighborhood for 49 years and currently live a half a block from the proposed building site . R.W.RUSSELL

**Anderson, Mei-Ling C.**

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**From:** Bill Peters <wjp\_1028@yahoo.com>  
**Sent:** Sunday, July 13, 2014 8:30 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Bill Peters  
612-965-3828

**Anderson, Mei-Ling C.**

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**From:** Cyndi <cyndijp@live.com>  
**Sent:** Sunday, July 13, 2014 7:22 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

I especially expect the Council to OPPOSE this increased height of the new "Linden Crossing" proposed and I want the Planning Commission to DENY THE HEIGHT INCREASE and respect our community's new Small Area Plan!

I fully expect Linea voted into office by me and my neighbors to fully acknowledge that she IS our representative and is here "In Office" doing the work that we have voted her into office to do.

I am a very long term resident and my extended family have been residents of Linden Hills for over 65 years. I have a definite desire towards progress, yet see this project as nothing more than greed of a wealthy developer with little regard to the wholesomeness of our neighborhood.

Thank you,  
Cyndi Porter  
4143 Beard Ave. So.

**Anderson, Mei-Ling C.**

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**From:** Barbara Cumnard <bcumnard@gmail.com>  
**Sent:** Sunday, July 13, 2014 7:20 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Barbara Cumnard: Linden Hills Resident

**Anderson, Mei-Ling C.**

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**From:** Joe Sayles <joseph.sayles@gmail.com>  
**Sent:** Saturday, July 12, 2014 11:58 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** "Linden Crossing" was fought and won? ...

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 .

The developer is trying an end run around the public input and action. He agreed to C1 already!!  
This is unfair and wrong.  
Thank you.

**Anderson, Mei-Ling C.**

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**From:** Mary Ollerich <mbadgerheels@live.com>  
**Sent:** Saturday, July 12, 2014 11:34 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Deb Cutkomp <debcutkomp@gmail.com>  
**Sent:** Saturday, July 12, 2014 11:33 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you,

Kent and Deborah Cutkomp

**Anderson, Mei-Ling C.**

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**From:** Philip Kucera <pdkucera@mac.com>  
**Sent:** Saturday, July 12, 2014 11:00 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

There is a reason this law is on the books. Just because someone requests an exception is no reason to approve it. Maintain the spirit of Linden Hills. Please.

Regards,

Philip Kucera

**Anderson, Mei-Ling C.**

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**From:** William Arends <motormanbill@gmail.com>  
**Sent:** Saturday, July 12, 2014 10:46 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

I thought this was settled. Why are we again having to justify why we do not want something which by zoning is not allowed? It is zoned for 3-story 42 feet. Tell the developer to take a hike if any larger.

Bill Arends

**Anderson, Mei-Ling C.**

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**From:** Ed Piotrowski <yellowandme@yahoo.com>  
**Sent:** Saturday, July 12, 2014 10:45 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** marjean altemeier <altemeier.marjean@gmail.com>  
**Sent:** Saturday, July 12, 2014 10:42 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. Please!

Thank you.

Marjean Altemeier

**Anderson, Mei-Ling C.**

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**From:** Barbara Glaser <beglaser@gmail.com>  
**Sent:** Saturday, July 12, 2014 10:42 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone



**Anderson, Mei-Ling C.**

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**From:** Deborah <deborahkarentolmach@gmail.com>  
**Sent:** Saturday, July 12, 2014 10:34 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

How many times can we go through this? Doesn't this developer understand the word "no"?  
Deborah Tolmach Sugerman

**Anderson, Mei-Ling C.**

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**From:** Allen Gibas <ahgibas@yahoo.com>  
**Sent:** Saturday, July 12, 2014 10:05 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height!  
DENY the CUP for C2 height. The character of the neighborhood will be seriously disrupted with any failure to comply with this important limitation.

Allen H. Gibas

**Anderson, Mei-Ling C.**

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**From:** Mary Seth <mary.seth@icloud.com>  
**Sent:** Saturday, July 12, 2014 9:53 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Mary Ellen Seth  
4213 Chowen Ave S  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Shelly Ann Moorman <samoorman@yahoo.com>  
**Sent:** Saturday, July 12, 2014 9:43 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

To Ms. Anderson and Ms. Palmisano -

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

You assured us during your campaign visits to our homes that you would respect the wishes of the neighbors!  
Thank you.

Shelly Ann Moorman

**Anderson, Mei-Ling C.**

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**From:** Charles Nyberg <charles.nyberg@gmail.com>  
**Sent:** Saturday, July 12, 2014 9:40 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

DO NOT allow this C2 building to be built which will encourage the erosion and destruction of the community, philosophy and way of life of this extraordinary area of our wonderful city!

Sincerely,

Chuck Nyberg

**Anderson, Mei-Ling C.**

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**From:** Lundquist, John <jlundquist@fredlaw.com>  
**Sent:** Saturday, July 12, 2014 9:13 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

I thought we had already addressed this during the extensive discussions we had previously. Please keep our neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** svea samuelson <swedishnightingale@hotmail.com>  
**Sent:** Saturday, July 12, 2014 9:00 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Carrie Eliason <cleiason@gmail.com>  
**Sent:** Saturday, July 12, 2014 8:55 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Mac <m\_sexton71@hotmail.com>  
**Sent:** Saturday, July 12, 2014 8:48 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Sandy Eliason <seliason02@gmail.com>  
**Sent:** Saturday, July 12, 2014 8:44 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Nedzelda <nedzelda@earthlink.net>  
**Sent:** Saturday, July 12, 2014 8:41 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Please deny the "Linden Crossing" CUP for C2 height

Hi,

Though I don't agree with the strident nature of the campaign of certain groups to keep the Linden Crossing C1 corner at the present 42 feet, I respectfully ask that you do keep it at its agreed upon 42 feet. This is an issue that was settled by agreement of both parties, and for it to come up again at this last minute seems, at best, disingenuous by the developer. I suspect he has compelling reasons, but so much work and heartache on both sides went into approving the current plan. To ask for a variance in direct conflict to what the neighborhood agreed to is disturbing to me.

Please respect the initial agreement and keep the corner at 42 feet.

Thank you for considering this,

Neal Hagberg  
4049 Zenith Ave. S.

**Anderson, Mei-Ling C.**

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**From:** Mark Westin <mark.westin@gmail.com>  
**Sent:** Saturday, July 12, 2014 8:36 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

How many times do we have to fight and win this same battle before it will go away? Geez!

Mark Westin

3821 Drew Ave S

Minneapolis, MN 5510

612-259-7103

**Anderson, Mei-Ling C.**

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**From:** Coleen Murphy <coleen.murphy1@gmail.com>  
**Sent:** Saturday, July 12, 2014 8:33 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

---

**From:** SARA MARCK <smarck@usiwireless.com>  
**Sent:** Saturday, July 12, 2014 8:32 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.  
Thank you, Sara Marck

**Anderson, Mei-Ling C.**

---

**From:** sharon@weopleland.com  
**Sent:** Saturday, July 12, 2014 8:21 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Our neighborhood recently went through an extensive and expensive process in order to convince the zoning commission to deny a special allowance on building heights in downtown Linden Hills. We shouldn't have to do this every year. Now, it is possible that you are sensible and see the lunacy of having to listen to another proposal to you only half a year after the first was denied. In that case, this letter is sent with a smile and I nod. That's the way I hope it can be received. If not, please consider.

Sharon Kaplan  
Linden Hills resident.

**Anderson, Mei-Ling C.**

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**From:** Dorothy Woodard <djwoodard4@gmail.com>  
**Sent:** Saturday, July 12, 2014 8:16 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Please do this for the good of the neighborhood.

D. J. Woodard  
4747 Upton Avenue South  
Minneapolis, MN 55410  
612 926 8488

**Anderson, Mei-Ling C.**

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**From:** Bethignaut <beth@bethignaut.com>  
**Sent:** Saturday, July 12, 2014 7:56 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

I am writing to ask that the Planning Commission please respect the character and community of Linden Hills (character that makes it a vital, thriving **neighborhood**) by limiting the height of new construction at the corner of 43rd and Upton Ave South, to the currently zoned C1 limitations of 42'

I feel that the proposed Linden Crossing – at 56' – is another example of ill-advised, development-for-profit which will permanently alter this community's character.

Beth Ignaut  
3008 James Ave South  
612-929-0417

Former Linden Hills resident

**Anderson, Mei-Ling C.**

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**From:** Bruce Reichert <reichert.bruce@gmail.com>  
**Sent:** Saturday, July 12, 2014 7:53 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Why are we doing this again? Didn't this building height get voted down already?

NO! We don't need a bigger building!

Bruce Reichert

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Roger K. Wiard-Bauer <wiard-bauer@usiwireless.com>  
**Sent:** Saturday, July 12, 2014 7:42 PM  
**To:** Anderson, Mei-Ling C.; Linea.Palmisano@minneapolismn.gov?subject=Deny the Linden Crossing CUP for C2  
**Subject:** Concern over Variance Request By Linden Crossing Development to violate Small Area Plan

Dear All:

Please Please Please don't approve the variance request from the Linden Crossing Development team. According to information I received, they are requesting the development in Linden Hills wants to build a 56 ft. high (four story) structure.

I really don't think it would benefit the neighborhood to construct a tall building on the corner of 43rd and Upton Ave. I think our neighborhood has made its feelings clear when there was a development attempt on the same corner for the same height - we didn't like it.

That's why our neighborhood ended up making a small area plan - and the ink is barely dry and here is a request for a variance.

Please stick to the rules! KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you for your time!

Roger K. Wiard-Bauer

email: [wiard-bauer@usiwireless.com](mailto:wiard-bauer@usiwireless.com)

home address: 4046 Linden Hills Blvd, Mpls. (about 3 blocks from the proposed development)

**Anderson, Mei-Ling C.**

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**From:** Don Laufenburger <d.laufenburger@gmail.com>  
**Sent:** Saturday, July 12, 2014 7:25 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Barbara C. Greenspon <barbaragreenspon1@mac.com>  
**Sent:** Saturday, July 12, 2014 7:23 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPad

**Anderson, Mei-Ling C.**

---

**From:** Gail Hartman <gailhartman1@gmail.com>  
**Sent:** Saturday, July 12, 2014 7:17 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. This is so important to the uniqueness of the neighborhood.

Gail Hartman

**Anderson, Mei-Ling C.**

---

**From:** Kathryn Pavia <kathypavia@yahoo.com>  
**Sent:** Saturday, July 12, 2014 6:54 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Please keep Linden Hills a quaint neighborhood by voting against this development.  
KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY  
the CUP for C2 height.  
Thank you,  
Kathy Pavia

**Anderson, Mei-Ling C.**

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**From:** Fiona <fiona@visi.com>  
**Sent:** Saturday, July 12, 2014 6:10 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Democracy should not fail in the face of personal gain. Linden Hills has told you what they want. Please honor it.

Fiona Lennox

**Anderson, Mei-Ling C.**

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**From:** Frederique Toft <frederiquetoft@hotmail.com>  
**Sent:** Saturday, July 12, 2014 6:06 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Kim43@q.com  
**Sent:** Saturday, July 12, 2014 6:05 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** I oppose the Linden Crossing Proposal!

To Whom it may concern:

I am writing to say that I OPPOSE the increased height of the new "Linden Crossing" proposal and that you want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan!

Thank You.

Kim-Linden Hills Resident.

**Anderson, Mei-Ling C.**

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**From:** Ann Burk <annkingsley@comcast.net>  
**Sent:** Saturday, July 12, 2014 5:59 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Mary Hanvik <mary.hanvik@gmail.com>  
**Sent:** Saturday, July 12, 2014 5:42 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

If you give Mark Dwyer an inch, he will take a mile. It's not up to area residents to make sure that Mr. Dwyer recoups his investment.

He went into this with his eyes wide open. He knew that he was battling a group that didn't share his vision of a five story, multi-use building. He needs to work with area residents, which he doesn't seem to be able or willing to do.

I am not opposed to greater density in the city, I am just opposed to developers coming in and deciding what would work best for long time residents. Keep Linden Hills as a quiet, quaint, family friendly neighborhood. We have lovely restaurants and destination shops. Do we need million dollar apartments whose residents will take their cars and travel out of the neighborhood to find groceries, gifts and restaurants?

I certainly oppose the new height as a Linden Hills neighbor and shopper.

Mary L. Hanvik  
4720 Beard Ave S  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Monson, William <w9monson@stthomas.edu>  
**Sent:** Saturday, July 12, 2014 5:30 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Cc:** Hodges, Betsy A.  
**Subject:** Enough

I'm worn out revisiting the "Linden Crossing" height exception requested for 43rd and Upton in Linden Hills.

I am pro-development. I am pro-business. I am also pro-government that listens to constituents. City of Minneapolis already invited and responded to a comprehensive, fair, and expensive Linden Hills small area plan that was mindful of competing stakeholder interests in our neighborhood. Had that process resulted in a 56' building I would have accepted the 56' outcome. Given last year's 42' decision, it's time for us all to accept the 42' outcome. Citizens and government have more urgent and important unresolved priorities that need our attention. Please don't further waste anybody's time, energy, money, and good will by re-, re-, reconsidering an issue that was previously (and painfully) decided in a process where everyone had a chance to influence and be influenced.

Enough.

Bill Monson  
4430 W Lake Harriet Pkwy, 101  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Caren Roberts <pwfrenzel@aol.com>  
**Sent:** Saturday, July 12, 2014 5:29 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Rose Arends <rosearends@gmail.com>  
**Sent:** Saturday, July 12, 2014 5:27 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

As a long-time resident of Linden Hills, I OPPOSE the increased height of the new "Linden Crossing" proposal. I ask and urge that the Planning Commission DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan.

Keep our C1 neighborhood corner at its present 3-story, 42-foot maximum height. DENY the CUP for C2 height.

Thank you.

Rose Arends

Abbott Ave So, Minneapolis

**Anderson, Mei-Ling C.**

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**From:** ELAINE GARLEY <egarley@msn.com>  
**Sent:** Saturday, July 12, 2014 5:26 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Please following the existing zoning rules!

Thank you,  
Elaine Garley (who was not allowed to build a garage that fit the city zoning due to interpretation)  
4201 Abbott Ave South  
62-237-9580

**Anderson, Mei-Ling C.**

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**From:** Duncan Odegard <dodegard@live.com>  
**Sent:** Saturday, July 12, 2014 5:15 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Deny the "Linden Crossing" CUP for C2 height

I OPPOSE the increased height of the new "Linden Crossing" proposal. I want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan! - Duncan Odegard

**Anderson, Mei-Ling C.**

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**From:** Barbara F Weissberger <weiss046@umn.edu>  
**Sent:** Saturday, July 12, 2014 4:55 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

I completely oppose the increased height for the Linden Crossing business. It will significantly change the character of the village that we residents all love. Please respect the LH Plan.

Barbara Weissberger

**Anderson, Mei-Ling C.**

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**From:** Rebecca Knill <rknill@comcast.net>  
**Sent:** Saturday, July 12, 2014 4:36 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you,

Rebecca Knill  
4221 Upton Avenue South  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Jim Anderson <jim.anderson.mn@gmail.com>  
**Sent:** Saturday, July 12, 2014 4:30 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** 42 Feet Is Plenty at 43rd and Upton

Please,

Haven't we been through this already? After all the study, wasn't 43rd and Upton zoned for 3 stories and 42 feet? Please, let's stick with that.

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thanks

Jim Anderson  
4010 Upton Ave S

**Anderson, Mei-Ling C.**

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**From:** Personal Email <mlennander@comcast.net>  
**Sent:** Saturday, July 12, 2014 4:26 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

The neighborhood has spoken. The Linden Hills Small Area Plan includes support from the mayor of Minneapolis. How many times does this fight have to be fought?

I want to believe residents of this city have a voice that is heard. I want to believe their quality of life matters to those who work for them. But years of watching what developers have done to our neighborhoods, tells me the people who really count are the ones who build structures that bring in the most tax revenue. Please prove me wrong.

Meg Lennander

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** ansuti <ansuti@yahoo.com>  
**Sent:** Saturday, July 12, 2014 4:23 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Is there a master plan for Linden Hills that we are not informed about? Is there some reason the desires of a majority of taxpayers who have lived in the area for decades, some prewar along with younger families, as well, come to no good end ... so that this issue must be addressed again and again. You have my letters and so many who have asked to keep the building heights at a 42 foot maximum but it seems to no avail. What is it we are expected to do to get our voices heard over corporate demands that press to make a profit from the community we built, in essence destroying the very character that makes this neighborhood desirable?

Please sustain the majority rule and desire to maintain a livable, lower density community by not adding structures that tower over existing buildings and homes in the area.

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Anita Suzanne Tillemans  
4021 Chowen Ave South  
Minneapolis, MN 55410-1013

**Anderson, Mei-Ling C.**

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**From:** Carol.Lemmer <Carol.Lemmer@target.com>  
**Sent:** Saturday, July 12, 2014 4:14 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** Voigt, Julie <julie.voigt@walkerart.org>  
**Sent:** Saturday, July 12, 2014 4:09 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

I am a 30 year Linden Hills resident who is deeply opposed to the conditional use permit applied for by the developers of Linden Crossing. I live within one block of this future building and I can't believe that this is even being considered give the decisions by the neighborhood and Minneapolis City Council denying this similar request from the developer last year for his Linden Crossing project. I was thankful that the previous 56 foot proposed building was turned down in the past, and I greatly urge you to follow the policy staff direction given by Mayor Hodges and the community in our Linden Hills Small Area Plan and DENY THE DEVELOPER'S APPLICATION to use a Conditional Use Permit to go around the Small Area Plan for this future building.

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you.

Julie Voigt

2903 West 43<sup>rd</sup> Street

Minneapolis, MN 55410

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If you have received this transmission in error, please immediately notify us at [maildisc@walkerart.org](mailto:maildisc@walkerart.org) and delete this transmission from your computer.

**Anderson, Mei-Ling C.**

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**From:** Pamela Johnson <plj100@gmail.com>  
**Sent:** Saturday, July 12, 2014 3:55 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

It is very important to us to maintain the area with a 3-story building. Please do not approve a bigger building.

Pamela Johnson  
5021 Vincent Av S  
Minneapolis, MN

**Anderson, Mei-Ling C.**

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**From:** Colleen C. Krebs <ckrebs@usfamily.net>  
**Sent:** Saturday, July 12, 2014 4:04 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Neighbors approached this issue thoughtfully and respectfully, assuming they could then trust the city's assurances. Otherwise, what is the point of such neighborhood involvement? Density isn't everything.

Thank you,

Colleen Krebs

**Anderson, Mei-Ling C.**

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**From:** cheryl robinson <cleer1953@yahoo.com>  
**Sent:** Saturday, July 12, 2014 3:51 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

PLEASE KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height!  
DENY the CUP for C2 height.

Thank you!

*Cheryl Robinson*  
*612-929-5043*

**Anderson, Mei-Ling C.**

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**From:** Kathy Kosnoff <kosnoff@gmail.com>  
**Sent:** Saturday, July 12, 2014 3:47 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Kathy Kosnoff  
(612)926-2175/868-3725

**Anderson, Mei-Ling C.**

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**From:** Kelley Gourley <kgourley@comcast.net>  
**Sent:** Saturday, July 12, 2014 3:46 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

We have spent a ton of money, and time, and energy to place a limit on this developer's project in Linden Hills. Please stand by the earlier decisions made and side with the residents of this community, not the desire of a developer.

Please KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height!  
Please DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Monica STUART <monicastuart@me.com>  
**Sent:** Saturday, July 12, 2014 3:44 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Monica

please excuse brevity & errors, sent from my iPhone

**Anderson, Mei-Ling C.**

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**From:** joe dickinson <zjoe626di@earthlink.net>  
**Sent:** Saturday, July 12, 2014 3:38 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** "Linden Crossing" development

Dear Ms Anderson and Ms Palmisano,

I recently heard that the same developer as before has requested a variance for building height for a development at the corner of 43rd St. S. and Upton Ave. S. in my neighborhood. I STRONGLY OPPOSE this variance!!! Please do not allow the 4 story building! Linden Hills spent time and money to develop a plan for our neighborhood and it supports the 3 restriction.

Thank you very much,  
Joe Dickinson  
4125 Ewing Ave S.

**Anderson, Mei-Ling C.**

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**From:** Pamela Bednar <pambednar@msn.com>  
**Sent:** Saturday, July 12, 2014 3:26 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** Renee Maul <nee1017@hotmail.com>  
**Sent:** Saturday, July 12, 2014 3:34 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Dear Council Member Palmisano,

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

- Renee maul

**Anderson, Mei-Ling C.**

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**From:** clare foley <clare@clarefoleyassociates.com>  
**Sent:** Saturday, July 12, 2014 3:32 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.  
Please!

Thank you.

Clare Foley

**Anderson, Mei-Ling C.**

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**From:** rustywrh@yahoo.com  
**Sent:** Saturday, July 12, 2014 3:29 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

William Hill

Sent from my Verizon Wireless 4G LTE Smartphone

**Anderson, Mei-Ling C.**

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**From:** Amy.R.Edelstein@wellsfargo.com  
**Sent:** Monday, July 14, 2014 8:18 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! **DENY the CUP for C2 height.**

**Please encourage buildings that are shorter than the current Zoning Code maximums for 3 and 4 story buildings (42 feet and 56 feet respectively) as noted in the Linden Hills Small Area Plan.**

Thank you,  
Amy Edelstein  
3801 Upton Ave S.

**Anderson, Mei-Ling C.**

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**From:** Erica Whittlinger <ewhittlinger@cs.com>  
**Sent:** Monday, July 14, 2014 8:08 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

How does the proposal for Linden Crossing differ from Linden Corner? We residents poured time and money into developing a small neighborhood plan that clearly shows that WE WANT THE CURRENT ZONING HEIGHT LIMITS ENFORCED: 3-STORY, 42-FEET MAXIMUM. A tall condo building is inappropriate for that site for a number of reasons. This isn't 50th & France!

Thank you,  
Erica Whittlinger  
4300 Xerxes Avenue South

**Anderson, Mei-Ling C.**

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**From:** Jo Devlin <jo@originsonline.org>  
**Sent:** Monday, July 14, 2014 7:45 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Our neighborhood has complied with the process to establish guidelines for buildings, but they are simply ignored. Dwyer presented a plan a dominating for three-story building, and it was approved; now he wants to add a fourth. Please do not grant the variance he requests. Please do not grant this – otherwise, what is the point of our governmental processes?

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height. DENY the CUP for C2 height.

Jo Devlin, 4632 Vincent Ave. S., Minneapolis 55410

**Anderson, Mei-Ling C.**

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**From:** cement91672@mypacks.net  
**Sent:** Monday, July 14, 2014 7:27 AM  
**To:** Palmisano, Linea  
**Cc:** Anderson, Mei-Ling C.  
**Subject:** Keep 'Linden Crossing' THREE stories

Please, KEEP our C1 Neighborhood commercial corner at its present 3 story 42 feet maximum high! DENY the CUP for C2 height, stand by the initial findings for the 'Linden Corner' AKA 'Linden Crossing.'

Please show residents that the city has integrity, and stands with the people who live here, not developers who want to profit.

Thank you.

**Anderson, Mei-Ling C.**

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**From:** Linda Collins <Imacollins@q.com>  
**Sent:** Monday, July 14, 2014 7:23 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

PLEASE.....KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height!  
DENY the CUP for C2 height.

Maggie Collins

Sent from my iPad

**Anderson, Mei-Ling C.**

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**From:** Don Laufenburger <d.laufenburger@gmail.com>  
**Sent:** Monday, July 14, 2014 12:03 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** tim voltz <tvoltz@comcast.net>  
**Sent:** Sunday, July 13, 2014 10:54 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

I am in support of the 3 story project as currently approved. I have attended the developers info session and presentation. I heard no valid reason to grant this CUP request other than a claim that this is needed to make the project financially viable. **I DO NOT SUPPORT the request for an additional floor.** This developer has an approved project, one that has variances approved in good faith. One that he assured was viable and he wanted to build. Now he is back with the same claims and threats that led to the moratorium and the neighborhood developing the "small area plan". A plan that was developed with the city's direction and approval. A plan that was done to address situations like this. LETS USE IT.

My comments on some of the points raised by the developer and supporters..

**City needs density:** This project is low density. Adding two additional luxury units is not density.

**There is demand for luxury units:** Since when is demand a reason to subvert zoning?

**Neighborhood needs to accept growth and change:** We have, and we have developed a SAP, approved by the city, to manage it.

**Neighborhood needs to quit picking on developers:** This developer has an approved project, with variances supported by the neighborhood. Yet he has not executed in over 18 months. Lack of progress is on the developer not the neighborhood.

**If we don't approve this someone else will come in and build a less attractive project:** This threat did not work last time, and should not be taken seriously this time.

**Neighborhood needs a place for empty nest families:** I personally don't believe this is an issue, but even if it is, 2 units wont resolve it. Whatever balance of housing LH needs – two 1.5 million apts is not what it needs.

**Better use of roof space:** Let me just reference the city's experience with large roof decks.

**These will make the other units more affordable:** Real estate pricing does not work that way. Markets set the prices, not the developer.

**This will help the city and reduce out taxes:** 2 units won't change anything. LH residents already pay an outrageous amount of city taxes, and we deserve a city that protects out property rights by supporting the current zoning and SAP.

**You won't even notice the 4<sup>th</sup> floor:** Please!

**Anderson, Mei-Ling C.**

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**From:** John Goetz <jcgjacksonhole@gmail.com>  
**Sent:** Sunday, July 13, 2014 10:33 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** John Goetz <jcgjacksonhole@gmail.com>  
**Sent:** Sunday, July 13, 2014 10:33 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

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**From:** stephendmerrill@comcast.net  
**Sent:** Sunday, July 13, 2014 10:14 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Linden Corners

Dear Ms. Anderson,

We who live and do business in Linden Hills spent much time and money to fight back against the 5-story zoning-busting building that the developer tried to foist on our community and we thought we had won; now we are under threat again and we are very angry about this. Please deny this variance, this is not going to go away, the community will keep on fighting this stab in the back and it's on its way to court if we don't get relief from Cithy Hall.

Steve Merrill  
5317 Zenith Ave. S.  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Constance Pepin <cpepin@bitstream.net>  
**Sent:** Monday, July 14, 2014 11:13 AM  
**To:** Anderson, Mei-Ling C.  
**Cc:** Palmisano, Linea; Ziring, Emily; Kusz, Lisa M.  
**Subject:** Linden Crossing Project Application

To Members of the Minneapolis Planning Commission:

Eighteen months after gaining approval to build a C1 building in a C1 zone in the Linden Hills business district, with no opposition from the neighborhood, Mr Dwyer is back seeking your approval to build a C2 building in the same C1 zone, a building that many Linden Hills residents oppose.

The developer has stated on several occasions that he can afford to build the approved 3-story version of Linden Crossing. The new proposal adds a fourth story for luxury penthouses, at the expense of the neighborhood, by virtually ignoring the Linden Hills Small Area Plan. To quote our former City Council Member, now Mayor Betsy Hodges: *"The vision, goals and recommendations of the Small Area Plan recognize the traditional urban form of Linden Hills as character defining features that should be supported and enhanced in the future."*

Linden Crossing doesn't respect the existing scale or character of that historic corner. It also doesn't respect the City's focus on transitions between commercial and residential properties. The developer is again seeking variances to reduce the setbacks which would make the building appear even more intrusive, massive and out of scale and character.

The new Linden Crossing application does not reflect the Planning staff directive that our Council Member incorporated into the SAP to *Encourage buildings that are shorter than the current Zoning Code maximums*. The proposal is to build at the C2 maximum height.

**And the new Linden Crossing application does not add density!**

The developer already has permission to build 18 units in the approved version of Linden Crossing; yet he decided to reduce the number of units to 16. Now he wants to exceed the C1 height limit to add two units to the 18. A fourth story for two more units than he is already approved to build, against the wishes of the neighborhood as stated in the Linden Hills Small Area Plan. This proposal does not add density!

Linden Hills is not against density. In fact, during work on the Small Area Plan, we were told by a City Planner that Linden Hills currently has more density than several other Southwest neighborhoods. Community members have told me that they welcome a condominium or apartment building at that corner; in fact, we've been waiting for one to take shape there for years. We were led to believe that the developer would build a C1 building that was approved with no opposition from the neighborhood.

The neighborhood is not resistant to change or against development and density. We accept change and development as inevitable, and we welcome increased density as described in our Small Area Plan. What we do oppose is using a Conditional Use Permit to essentially upzone this corner and set a precedent that will make it even harder for the neighborhood to retain the character and scale that attracts residents, business owners and visitors.

**The revised proposal does not comply with the Linden Hills Small Area Plan and does not contribute to the City's goal of increased density.**

**Anderson, Mei-Ling C.**

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**From:** Bonnie Dudovitz <dudov002@umn.edu>  
**Sent:** Monday, July 14, 2014 10:34 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you!

Bonnie Dudovitz  
3942 York Avenue South  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

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**From:** Julia Kallenberg <julia.kallenberg@comcast.net>  
**Sent:** Monday, July 14, 2014 10:26 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Julia Kallenberg

**Anderson, Mei-Ling C.**

---

**From:** Hanson, Jeff (BW-Mpls) <jeff.hanson@barry-wehmiller.com>  
**Sent:** Monday, July 14, 2014 10:24 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

We oppose this new building request as it would change the feel of an otherwise unique part of S Mpls.

Jeff Hanson

**Anderson, Mei-Ling C.**

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**From:** Rosemary Stalter <rosemary84@comcast.net>  
**Sent:** Monday, July 14, 2014 10:19 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** City e-mail form - Do not reply  
**Sent:** Friday, July 11, 2014 1:12 PM  
**To:** Dahler, Ken; Ziring, Emily  
**Subject:** Ward 13 Contact Form

**City of Minneapolis**

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Name \* Ken Stone  
Email \* [kstone@kodet.com](mailto:kstone@kodet.com)  
Phone (612) 377-2737  
Phone Type  
Address 4516 Ewing Avenue South  
City Minneapolis  
State MN  
Zip 55410

Question/Comment \* Regarding the Linden Corner Project: I am against the CUP for additional height for this project because it ignores the Small Area Plan (SAP) and therefore the wishes of the neighborhood. The neighborhood spent \$60,000 and 2 years of community meetings developing the SAP. As a member of the Steering Committee for the SAP, I would distill the SAP's recommendation on building height to one sentence: " The intent is to allow for the achievable densities called for in City policies while encouraging compatible design through lower maximum heights than allowed in the current Zoning Code." (pg. 46 SAP) By requesting a much greater height than the current zoning allows, this project is ignoring this basic concept in the SAP. The property is zoned C1, which has a 42' height limit. Granting a CUP for additional height to 56' is the height allowed for a C2 zone. The developer is going around the re-zoning process to up-zone the C1 property to a C2 zone for height through the CUP request. Please deny this developer's CUP for height. Sincerely, Ken Stone 4516 Ewing Avenue South Minneapolis, MN 55410

This is an email generated from the City of Minneapolis website. \* Required fields are indicated with an asterisk.

**Anderson, Mei-Ling C.**

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**From:** City e-mail form - Do not reply  
**Sent:** Monday, July 14, 2014 9:12 AM  
**To:** Dahler, Ken; Ziring, Emily  
**Subject:** Ward 13 Contact Form

**City of Minneapolis**

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Name \* Mary and Keith Schwender  
Email \* [kmcs93@comcast.net](mailto:kmcs93@comcast.net)  
Phone (612) 920-8182  
Phone Type  
Address 5224 Upton Ave. S.  
City Minneapolis  
State MN  
Zip 55410  
Question/Comment \* We OPPOSE the increased height of the new "Linden Crossing" proposal and want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan!

This is an email generated from the City of Minneapolis website. \* Required fields are indicated with an asterisk.

**Anderson, Mei-Ling C.**

---

**From:** City e-mail form - Do not reply  
**Sent:** Monday, July 14, 2014 9:15 AM  
**To:** Dahler, Ken; Ziring, Emily  
**Subject:** Ward 13 Contact Form

**City of Minneapolis**

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Name \* Michael Foley  
Email \* [mfpfoley@hotmail.com](mailto:mfpfoley@hotmail.com)  
Phone (612) 926-9608  
Phone Type  
Address 4126 Upton Ave South  
City Minneapolis  
State MN  
Zip 55410

Question/Comment \* I oppose the proposal to allow a proposed development at 43rd Street and Sheridan/Upton and named Linden Corner or Linden Corners to exceed 42 feet. I also have concerns that the ground at that site, is "bog" or similar "unstable" ground that may not support such a structure, even the one planned. Furthermore I believe the residents have a right to know whether or not the site has been properly "cleaned". It use dot be a gas station and I do not believe the tanks have been removed. These two problems listed above may well not be in the present financing for the development. Plan review processes are not infallible and even obvious issues like this can be missed. The developer has said on several occassions that "he didn't realize..." various things. If the development is approved, even as planned, will the City be stuck with a claim for assistance for additional funds to cover these costs. Michael Foley

This is an email generated from the City of Minneapolis website. \* Required fields are indicated with an asterisk.

**Anderson, Mei-Ling C.**

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**From:** Ilandum K <ilandum@gmail.com>  
**Sent:** Monday, July 14, 2014 10:15 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** John & Linda Meneely <jlmeneely@gmail.com>  
**Sent:** Monday, July 14, 2014 10:00 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. I was a Linden Hills resident for over 27 years. After all the work Linden Hills residents have done to maintain L.H.'s charm and to keep the heights of new commercial construction at 3-story maximum, I am truly disappointed by the `new' proposal to increase the height. This proposal should be DENIED.

Thank you.

Linda Meneely, former Linden Hills resident

**Anderson, Mei-Ling C.**

---

**From:** John Gray <grayjr12@gmail.com>  
**Sent:** Monday, July 14, 2014 10:00 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** Ryan Dow <dowrj@yahoo.com>  
**Sent:** Monday, July 14, 2014 9:49 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** Stephanie Avalon <savalon@bwjp.org>  
**Sent:** Monday, July 14, 2014 9:41 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

Please KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** Schaffer, Brian C.  
**Sent:** Monday, July 14, 2014 9:42 AM  
**To:** Anderson, Mei-Ling C.  
**Subject:** FW: Linden Hill Height

For tonight.

---

**From:** Mary Schwender [<mailto:Mary.Schwender@rd.com>]  
**Sent:** Monday, July 14, 2014 9:21 AM  
**To:** Schaffer, Brian C.  
**Subject:** Linden Hill Height

We OPPOSE the increased height of the new "Linden Crossing" proposal and we want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan!

Sincerely,  
Mary and Keith Schwender

**Anderson, Mei-Ling C.**

---

**From:** Brian Stromquist <bstromquist@unimax.com>  
**Sent:** Monday, July 14, 2014 9:36 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** Karen Anderson <ander352@umn.edu>  
**Sent:** Monday, July 14, 2014 9:32 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** Freddie Houston <freddie.houston@artspace.org>  
**Sent:** Monday, July 14, 2014 9:30 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Freddie Houston-Director  
Performance Property Management Company  
250 Third Ave. N Suite 525  
Minneapolis, MN 55410  
612-455-0234  
[www.artspaceusa.org](http://www.artspaceusa.org)  
[Freddie.Houston@artspace.org](mailto:Freddie.Houston@artspace.org)

**Anderson, Mei-Ling C.**

---

**From:** Todd Cavanaugh <connectpc@gmail.com>  
**Sent:** Monday, July 14, 2014 9:24 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** Christoph Noetzli <cnoetzli@gmail.com>  
**Sent:** Monday, July 14, 2014 8:57 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

I would like to voice my opinion on this. Too much time and money was already spent on this. Please deny this application.

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Christoph Noetzli  
4116 Beard Ave S  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

---

**From:** Jordan Hoof <jordan.hoof@gmail.com>  
**Sent:** Monday, July 14, 2014 12:10 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

**Anderson, Mei-Ling C.**

---

**From:** randall@lakeharrietlaw.com  
**Sent:** Monday, July 14, 2014 12:49 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thank you,

Randall A. Smith  
**LAKE HARRIET LAW OFFICE**  
4316 Upton Ave. South  
Suites 201 & 202  
Minneapolis, MN 55410  
Phone: (612) 750-4843  
Fax: (612) 234-4643  
Email: [randall@lakeharrietlaw.com](mailto:randall@lakeharrietlaw.com)  
[www.lakeharrietlaw.com](http://www.lakeharrietlaw.com)

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**Anderson, Mei-Ling C.**

---

**From:** Palmisano, Linea  
**Sent:** Monday, July 14, 2014 12:53 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** FW: Deny the "Linden Crossing" CUP for C2 height

Linea Palmisano | 13<sup>th</sup> Ward Council Member | City of Minneapolis

350 South 5th Street – Room 307 | Minneapolis, MN 55415  
612.673.2213 | [linea.palmisano@minneapolismn.gov](mailto:linea.palmisano@minneapolismn.gov)

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---

**From:** Duncan Odegard [<mailto:dodegard@live.com>]  
**Sent:** Saturday, July 12, 2014 5:17 PM  
**To:** Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height

I OPPOSE the increased height of the new "Linden Crossing" proposal. I want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan! - Duncan Odegard

**Anderson, Mei-Ling C.**

---

**From:** Jim Hartmann <butzodaddy@gmail.com>  
**Sent:** Monday, July 14, 2014 11:30 AM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height

Hellow Mei-Ling, Linea,

I am writing to ask that we keep our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height and deny the Linden crossing CUP for C2 height.

Best regards,  
Jim Hartmann  
4206 Washburn Ave S  
Minneapolis, MN 55410

612-501-9943

**Anderson, Mei-Ling C.**

---

**From:** Palmisano, Linea  
**Sent:** Monday, July 14, 2014 12:53 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** FW: Linden Crossing

Linea Palmisano | 13<sup>th</sup> Ward Council Member | City of Minneapolis

350 South 5th Street – Room 307 | Minneapolis, MN 55415  
612.673.2213 | [linea.palmisano@minneapolismn.gov](mailto:linea.palmisano@minneapolismn.gov)

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---

**From:** Nancy Edwards [<mailto:heynewartie@yahoo.com>]  
**Sent:** Saturday, July 12, 2014 4:51 PM  
**To:** Palmisano, Linea  
**Subject:** Linden Crossing

Dear Councilwoman Palmisano,

I oppose the increased height of the new "Linden Crossing" proposal. I respectfully ask that the Planning Commission deny the developer's application to use a conditional permit to circumnavigate the Small Area Plan.

I voted for you expressly to fight this sort of development in our neighborhood (i.e. the inappropriate, out-of-character development of houses, businesses and multi-residence facilities) .

Kind regards,  
Nancy Edwards  
5056 Oliver Ave. S.

**Anderson, Mei-Ling C.**

---

**From:** Palmisano, Linea  
**Sent:** Monday, July 14, 2014 12:53 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** FW: Linden Crossing Oppose (UNCLASSIFIED)

Linea Palmisano | 13th Ward Council Member | City of Minneapolis

350 South 5th Street – Room 307 | Minneapolis, MN 55415  
612.673.2213 | [linea.palmisano@minneapolismn.gov](mailto:linea.palmisano@minneapolismn.gov)

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-----Original Message-----

**From:** Mangan, Kelli E CPT USARMY NG MNANG (US) [<mailto:kelli.e.mangan.mil@mail.mil>]  
**Sent:** Saturday, July 12, 2014 4:10 PM  
**To:** Palmisano, Linea  
**Subject:** Linden Crossing Oppose (UNCLASSIFIED)

Classification: UNCLASSIFIED  
Caveats: NONE

Good Afternoon; My husband and I own the property which would share the backyard of Linden Crossing; 4251 Vincent and we also spend hours and money opposing the last time.

We strongly OPPOSE the increased height of the new "Linden Crossing" proposal and want the Planning Commission to DENY THE HEIGHT INCREASE and respect the community's new Small Area Plan!

Thank you for your continued support!

CPT Mangan, Kelli  
Sustainment Operations Officer  
St Paul  
651-268-8957

Classification: UNCLASSIFIED  
Caveats: NONE

**Anderson, Mei-Ling C.**

---

**From:** Palmisano, Linea  
**Sent:** Monday, July 14, 2014 12:51 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** FW: "Linden Crossing" - please deny request for conditional use permit

Linea Palmisano | 13th Ward Council Member | City of Minneapolis

350 South 5th Street – Room 307 | Minneapolis, MN 55415  
612.673.2213 | [linea.palmisano@minneapolismn.gov](mailto:linea.palmisano@minneapolismn.gov)

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-----Original Message-----

**From:** susan perry [<mailto:susanlperry@mac.com>]  
**Sent:** Saturday, July 12, 2014 2:23 PM  
**To:** Palmisano, Linea  
**Subject:** "Linden Crossing" - please deny request for conditional use permit

Lisa,

It's very frustrating to learn that the builder who is developing the corner of 43rd and Upton is back with another request to build an out-of-proportion building at the corner—after his first request was overwhelmingly rejected by the neighborhood.

I live two blocks from the project, at 41st and Upton Ave. S. I have lived in the neighborhood for 25 years. I have never been opposed to developing 43rd and Upton, but the project must fit that corner and the neighborhood. The project the developer wants to build is simply too big for that location.

Please deny the developer's request for a conditional use permit and make sure the project meets current zoning requirements: 3-story, 42 feet maximum height.

Thank you.

Susan Perry  
4133 Upton Ave. S.  
Minneapolis, MN 55410

**Anderson, Mei-Ling C.**

---

**From:** Palmisano, Linea  
**Sent:** Monday, July 14, 2014 12:57 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** FW: Deny the "Linden Crossing" CUP for C2 height!

Linea Palmisano | 13<sup>th</sup> Ward Council Member | City of Minneapolis

350 South 5th Street – Room 307 | Minneapolis, MN 55415  
612.673.2213 | [linea.palmisano@minneapolismn.gov](mailto:linea.palmisano@minneapolismn.gov)

Subscribe to 13<sup>th</sup> ward newsletters & updates [here](#).

---

**From:** Marcia.Yeung [<mailto:Marcia.Yeung@target.com>]  
**Sent:** Monday, July 14, 2014 8:16 AM  
**To:** [Anderson@minneapolismn.gov](mailto:Anderson@minneapolismn.gov); Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

We do not want anything any taller than what has been previously agreed upon. We thank you for your work & help with this issue.

Marcia Yeung

resident of linen hills

**Anderson, Mei-Ling C.**

---

**From:** Palmisano, Linea  
**Sent:** Monday, July 14, 2014 12:57 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** FW: Deny the "Linden Crossing" CUP for C2 height!

Linea Palmisano | 13<sup>th</sup> Ward Council Member | City of Minneapolis

350 South 5th Street – Room 307 | Minneapolis, MN 55415  
612.673.2213 | [linea.palmisano@minneapolismn.gov](mailto:linea.palmisano@minneapolismn.gov)

Subscribe to 13<sup>th</sup> ward newsletters & updates [here](#).

---

**From:** Claudia Reichert [<mailto:creichert@nelsononline.com>]  
**Sent:** Monday, July 14, 2014 8:26 AM  
**To:** Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

-----  
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ARCHITECTURAL, ENGINEERING AND INTERIOR DESIGN SERVICES OFFERED BY LICENSED AFFILIATES.

**Anderson, Mei-Ling C.**

---

**From:** Jackson, Koblar Alan <jacks1ka@cmich.edu>  
**Sent:** Monday, July 14, 2014 1:16 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

Thanks,  
Koblar Jackson  
2727 W 43rd St Apt 404  
MPLS, MN 55410

**Anderson, Mei-Ling C.**

---

**From:** Julie Martinez <julie2dance@aol.com>  
**Sent:** Monday, July 14, 2014 1:00 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height. We need to preserve the charm of Linden Hills and one huge building with lead to more huge buildings. These structures are completely out of character for our charming town plus will lead to serious traffic situations and the need for updated roads and stoplights. I'm thinking also increased pollutants into Lake Harriet as well. Let stop it before it gets out of control. There will always be pressure from developers and I know the city likes the revenue.

Thank you~

Julie Martinez

**Anderson, Mei-Ling C.**

---

**From:** Schaffer, Brian C.  
**Sent:** Friday, July 11, 2014 2:35 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** FW: Linden Crossing project

For your record

-----Original Message-----

**From:** Ken Stone [<mailto:kstone@kodet.com>]  
**Sent:** Friday, July 11, 2014 1:22 PM  
**To:** Schaffer, Brian C.; Linea Palmisano  
**Cc:** [rghawthorne6468@gmail.com](mailto:rghawthorne6468@gmail.com)  
**Subject:** Linden Crossing project

Brian and Linea,

I am against the CUP for additional height for this project because it ignores the Small Area Plan (SAP) and therefore the wishes of the neighborhood. The neighborhood spent \$60,000 and 2 years of community meetings developing the SAP. As a member of the Steering Committee for the SAP, I would distill the SAP's recommendation on building height to one sentence: "The intent is to allow for the achievable densities called for in City policies while encouraging compatible design through lower maximum heights than allowed in the current Zoning Code."(pg. 46

SAP)

By requesting a greater height than the current zoning allows, this project is ignoring this basic concept in the SAP.

The property is zoned C1, which has a 42' height limit. Granting a CUP for additional height to 56' is the height allowed for a C2 zone.

The developer is going around the re-zoning process to up-zone the C1 property to a C2 zone for height through the CUP request.

Please forward this email to the Planner handling this application and the Planning Commission. I ask that they deny this developer's CUP for height.

Sincerely,  
Ken Stone, AIA, LEED AP BD + C  
4516 Ewing Avenue South  
Minneapolis, MN 55410  
612-377-2737

**Anderson, Mei-Ling C.**

---

**From:** Ziring, Emily  
**Sent:** Friday, July 11, 2014 1:13 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** FW: Ward 13 Contact Form

For the record.

**From:** no-reply@minneapolismn.gov [mailto:no-reply@minneapolismn.gov]  
**Sent:** Friday, July 11, 2014 1:12 PM  
**To:** Dahler, Ken; Ziring, Emily  
**Subject:** Ward 13 Contact Form

**City of Minneapolis**

---

Name \* Ken Stone  
Email \* [kstone@kodet.com](mailto:kstone@kodet.com)  
Phone (612) 377-2737  
Phone Type  
Address 4516 Ewing Avenue South  
City Minneapolis  
State MN  
Zip 55410

Question/Comment \* Regarding the Linden Corner Project: I am against the CUP for additional height for this project because it ignores the Small Area Plan (SAP) and therefore the wishes of the neighborhood. The neighborhood spent \$60,000 and 2 years of community meetings developing the SAP. As a member of the Steering Committee for the SAP, I would distill the SAP's recommendation on building height to one sentence: " The intent is to allow for the achievable densities called for in City policies while encouraging compatible design through lower maximum heights than allowed in the current Zoning Code." (pg. 46 SAP) By requesting a much greater height than the current zoning allows, this project is ignoring this basic concept in the SAP. The property is zoned C1, which has a 42' height limit. Granting a CUP for additional height to 56' is the height allowed for a C2 zone. The developer is going around the re-zoning process to up-zone the C1 property to a C2 zone for height through the CUP request. Please deny this developer's CUP for height. Sincerely, Ken Stone 4516 Ewing Avenue South Minneapolis, MN 55410

This is an email generated from the City of Minneapolis website. \* Required fields are indicated with an asterisk.

**Anderson, Mei-Ling C.**

---

**From:** Cinda Yager <Cindasan21@aol.com>  
**Sent:** Friday, July 11, 2014 11:22 AM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Linden Crossing Proposal

Dear Mei-Ling,

I am a 30+ year resident of Linden Hills in southwest Minneapolis, and was unable to attend the neighborhood meeting this past Wednesday evening regarding the new proposal for the Linden Crossing development at the corner of West 43<sup>rd</sup> and Upton Ave. South, the site of a Famous Dave's restaurant. The developer received approval in 2013 for a 3-story building which is in compliance with the zoning for that corner. The approved proposal also included a "pocket park" in the same location of the current pocket park.

The developer's new proposal for which he wants a CUP in order to build it now has a fourth story and no pocket park. I am 100% against this proposal. The building, like the developer's original 5-story proposal that was shot down, is too high for the area. I understand the developer's desire to build more condos in order to insure the project is financially viable. The developer needs to take his proposal and find a different place for it where its size will not overwhelm and depreciate the area.

The approved 2013 proposed building would have been just fine, I think. I also don't like that the developer receives an approval then decides to come back for more, as if trying to do an end run around the Linden Hills neighborhood in order to build the larger building.

Thank you for your time and attention to this matter. I do not support approval of a CUP for this proposal.

Sincerely,

Cinda C. Yager  
2629 West 43<sup>rd</sup> Street  
Minneapolis, MN 55410

*Anatomy of Perceval blog at <http://ccyager.wordpress.com>  
Eyes on Life blog at <http://eyesonlife-qinahunter.blogspot.com>*

**Anderson, Mei-Ling C.**

---

**From:** Mary Ann Lundquist <maryann@mtn.org>  
**Sent:** Monday, July 14, 2014 2:44 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Deny the "Linden Crossing" CUP for C2 height!

KEEP our C1 neighborhood commercial corner at its present 3-story 42 feet maximum height! DENY the CUP for C2 height.

I cannot understand why we would want to do this all over again. Linea assured me that she had made a mistake by supporting the last request for a variance. This seems like a waste of time and money to bring this up again at this time.

Mary Ann Lundquist  
4224 Queen Ave S

**Anderson, Mei-Ling C.**

---

**From:** Dave Alampi <davealampi@gmail.com>  
**Sent:** Sunday, July 13, 2014 9:27 PM  
**To:** Anderson, Mei-Ling C.; Palmisano, Linea  
**Subject:** Approve the "Linden Crossing" CUP for C2 height!

There is an effort to within the Linden Hills neighborhood to block this request, but I've been a resident of Linden Hills since 1991 and I'm in favor of this request. The building will help to further advance the attractiveness (from a business perspective) of Linden Hills and the building will be tastefully done, which is more than can be said for some of the other run-down and very tall buildings (e.g., the apartment building on 44th and Sheridan) within the neighborhood. Don't let a relatively small number of highly vocal people decide what is best for the entire neighborhood.

Thanks,  
Dave Alampi

**Anderson, Mei-Ling C.**

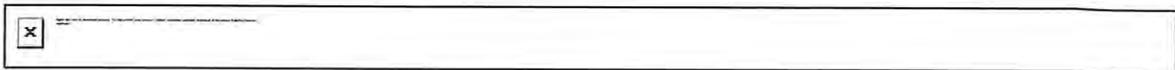
---

**From:** Katheryne Moran <katiemoranmn@aol.com>  
**Sent:** Saturday, July 12, 2014 7:33 PM  
**To:** nolindencorner@gmail.com  
**Cc:** Palmisano, Linea; Anderson, Mei-Ling C.  
**Subject:** Yes to Linden Corners

I do not agree with your position. I was an original supporter of Linden Corners and am not opposed to the new proposal. I do not believe there was overwhelming opposition to the original proposal. What I do believe, is that your voice was overwhelming and did not reflect that of a silent majority in favor of the development. Famous Dave's is an eyesore and vertical living is needed for our neighborhood. We are not a village but part of the city.

Regards,

Katheryne Moran



Dear Neighbors,

At the corner of 43rd and Upton, in the heart of Linden Hills . . .

The same developer whose 56-foot tall "Linden Corner" was **denied** by the Minneapolis City Council and faced **overwhelming opposition** from the neighborhood, is seeking a special allowance from the City's Planning Commission to build a new 56' building called "Linden Crossing" on the same site.

**Right now, the maximum height for this corner allowed by City code is 3 stories tall and 42 feet maximum.**

Recently, your neighborhood Council spent \$60,000 dollars and residents spent hundreds of hours research and writing the Linden Hills Small Area Plan as a guiding document for future development in the business nodes.

This statement made by our then Council Member Betsy Hodges (on December 9, 2013) is included in our Small Area Plan:

"In light of the input by the entire community and the many months of work by the steering committee, I requested that my colleague, Council Member Lisa Goodman move a staff direction at the Zoning and Planning meeting . . . The motion passed to direct staff to encourage overall building heights and floor-to-floor heights that reflect the adjacent architectural context and **encourage buildings that are shorter than the current Zoning Code maximums for 3 and 4 story buildings (42 feet and 56 feet respectively) in the Linden Hills Small Area Plan.**

**Anderson, Mei-Ling C.**

---

**From:** Aaron Eisenberg <aaron.m.eisenberg@gmail.com>  
**Sent:** Monday, July 14, 2014 12:02 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Linden Crossing - (4264 Upton Ave S) 4th Story Addition

I just wanted to write a quick note in favor of the 4th story addition to this development. I think it improves the aesthetics without adding bulk. Can't wait to see this building at that corner!

Aaron Eisenberg  
Minneapolis resident

**Aaron Eisenberg | Realtor, Coldwell Banker Burnet | 5516 Lyndale Avenue S**  
[612.568.5828](tel:612.568.5828) | [agentaaron.com](http://agentaaron.com) | [aaron.m.eisenberg@gmail.com](mailto:aaron.m.eisenberg@gmail.com) | [@aaronmeisenberg](https://twitter.com/aaronmeisenberg)

**Anderson, Mei-Ling C.**

---

**From:** Erik Randall <kirby96@gmail.com>  
**Sent:** Monday, July 14, 2014 11:19 AM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Support for Linden Crossing variance.

Ms. Anderson-

I am writing to express my support for the 4th story variance requested at the proposed Linden Crossing development. I recently completed a two year rental in Linden Hills, and although I wished to stay, the limited housing stock available forced me to look elsewhere to ultimately purchase my current home (in Kingfield). Minneapolis desperately needs increased housing supply and even high-end developments such as Linden Crossing will help to decrease housing pressure in the area. The 4th story addition should be approved.

Regards,

Erik Randall  
3840 Harriet Ave S.

**Anderson, Mei-Ling C.**

---

**From:** CenturyLink Customer <frenchfry60@q.com>  
**Sent:** Monday, July 14, 2014 11:08 AM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Linden Crossing

I am a resident of downtown Minneapolis with an interest in urban design and how it impacts our community. I want to express my support for the conditional use permit for the increase of the proposed Linden Crossing to four stories with two additional units. When this project was initially proposed, I did sympathize with neighborhood opposition due to the scale of the project which was too massive for the site, and agreed it would have a negative impact on the character of the Linden Hills commercial district. However, with the new proposal and zoning request, I feel the project still maintains a much smaller presence which seems a very appropriate fit for the site. In fact, my opinion is the inclusion of the fourth floor creates a nice setback and culmination for the three story massing that actually softens the whole impact of the structure's scale as it relates to the area around it.

In addition, I would like to comment this is one of the most aesthetically attractive and high quality proposals I have seen in this city for many years. I wish more projects in our city would pay attention to the architectural detailing, good use of exterior materials, and strong street frontage included in this project. I'm very optimistic this will be a great asset to the Linden Hills retail district. Thanks for your consideration of my comments. John Frey

**Anderson, Mei-Ling C.**

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**From:** Matt Steele <mattaudio@gmail.com>  
**Sent:** Monday, July 14, 2014 10:53 AM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Linden Crossing

Mei-Ling,

I just want to share my support for the CUP and variances before the PC for this project.

This is going to be a wonderful outcome at the sidewalk level, and if two minimally invasive additional units and some minor setback changes can help this project get off the ground, it's a good thing. This will bring new storefronts in place of a parking lot, and the neighborhood will benefit from that.

Thanks

Matt Steele  
4412 18th Ave S  
612-293-9091

**Anderson, Mei-Ling C.**

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**From:** Matt Brillhart <MBrillhart@cityofrichfield.org>  
**Sent:** Monday, July 14, 2014 1:35 PM  
**To:** Anderson, Mei-Ling C.  
**Subject:** Support for Linden Crossing CUP request

Ms. Anderson,

Please enter this note of support into the public record for 4250-4264 Upton Ave S (Linden Crossing).

I support the request for a CUP to increase height to allow a partial 4<sup>th</sup> story that includes two additional residential units. The proposed addition to the previously approved building is sensitive to the context of the neighborhood and does take into consideration elements from the Linden Hills Small Area Plan. Additionally, there are already taller buildings in the area and allowing this building to add a partial 4<sup>th</sup> story will not impact the character of the neighborhood in any way. The 4<sup>th</sup> story addition is stepped back from the street and has minimal impact on shadowing, as the studies show. The proposed addition is consistent with Minneapolis' Comprehensive Plan. I won't comment on the proposed setback reductions or urge support one way or the other, trusting your professional judgment. I look forward to this development finally moving towards construction and bringing additional street life to the Linden Hills commercial node.

Sincerely,

Matt Brillhart  
2800 Grand Ave S  
Minneapolis MN 55408

**Anderson, Mei-Ling C.**

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**To:** Crimmins Email  
**Subject:** RE: Okay with Linden Crossing

-----Original Message-----

From: Crimmins Email [<mailto:crimmp1s@yahoo.com>]  
Sent: Monday, July 14, 2014 10:17 AM  
To: Anderson, Mei-Ling C.; Palmisano, Linea  
Subject: Okay with Linden Crossing

Good morning Linea and Mei.

We have lived in Linden Hills for over 14 years and have no problem with this development exceeding standard height, especially since the extra story is only partial and will be invisible from the street.

The level of panic and exaggeration i.e.;"Linden Hills under threat", is beyond ridiculous and must detract from the validity of their argument.

The neighborhood needs new development and this will be a great addition.

Thank you for your consideration.

Sean Crimmins  
612-408-3736