

**Department of Community Planning and Economic Development**  
Variances  
BZZ 6420

**Date:** February 20, 2014

**Applicant:** Landform

**Address of Property:** 1100 and 1118 University Avenue NE

**Contact Person and Phone:** Tracey Kinney, (612) 638-0227

**CPED Staff and Phone:** Shanna Sether, (612) 673-2307

**Date Application Deemed Complete:** January 22, 2014

**End of 60-Day Decision Period:** March 23, 2014

**Ward: 3      Neighborhood Organization:** Sheridan Neighborhood Association, adjacent to Saint Anthony West

**Existing Zoning:** C2 Neighborhood Corridor Commercial District

**Existing Overlay District:** Not applicable

**Zoning Plate Number:** 9

**Proposed Use:** Three new monument signs

**Concurrent Review:**

- Variance to increase the number of freestanding signs from one to four.
- Variance to increase the maximum area of freestanding signs from 80 square feet to 330 square feet.
- Variance to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches.
- Variance to increase the maximum height of a freestanding signs from 8 feet to approximately 10 feet 3 inches and 10 feet 9 inches.

**Zoning code section authorizing the requested variance:** Chapter 525, Article IX Variances, specifically Section 525.520(21) “to vary the number, type, height, area or location of allowed signs...”

**Background:** The subject property is approximately 1.26 acres in area and is the site of McDonalds at the intersection of University Avenue NE and Broadway Street NE. The subject property was approved to be a convenience food restaurant (McDonald’s) in 1975 with a rezoning (P-261). The fast food restaurant was demolished and reconstructed with approvals in 1994 (C-1614 and V-3744) in its current configuration. The applicant is seeking approvals to go from a single to a double drive-thru. There is one

existing pole sign, 223 square feet in area, which will remain on the property. The applicant is proposing to add two canopy signs 4.32 square feet per canopy, one double gateway sign, 16.3 square feet in area and two menu boards which will include 41 square feet. The maximum number of freestanding signs for this property is one. Therefore, the applicant is seeking a variance to increase the maximum number of freestanding signs from one to four. The maximum area for all freestanding signs on a property in the C2 Neighborhood Corridor Commercial District cannot exceed 80 square feet. The total proposed sign area will be 330 square feet and the applicant is seeking a variance to exceed the maximum area allowed. There is one existing menu board, which will be replaced with two menu boards with the same height and area. The menu boards will be 6 feet 9 inches in height, where the maximum menu board height cannot exceed 6 feet. Therefore the applicant is seeking an additional variance to increase the height of the menu boards. Finally, the canopy signs will be 10 feet 3 inches in height and the directional drive-thru sign will be 10 feet 9 inches in height. The maximum height of a freestanding sign cannot exceed 8 feet and the applicant is seeking a variance.

Staff has received a letter from the Sheridan Neighborhood Organization and a copy of the letter is attached to the staff report. Staff will forward comments, if any are received, at the Board of Adjustment meeting.

**Findings Required by the Minneapolis Zoning Code:**

**VARIANCES:** (1) to increase the number of freestanding signs from one to four; (2) to increase the maximum area of freestanding signs from 80 square feet to 330 square feet; (3) to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches; and (4) to increase the maximum height of a freestanding signs from 8 feet to approximately 10 feet 3 inches and 10 feet 9 inches.

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.**

**All variances:** The circumstances of the quantity, area and height sign variances are unique to the parcel and have not been created by the applicant. The applicant is proposing to increase the number of drive-thru lanes from one to two. The requested variances are necessary in order to provide adequate direction to traffic on-site. The proposed height of the menu boards will be consistent with the existing signage to ensure readability. In addition, the proposed height of the proposed canopy and gateway signs will match the existing roof eaves of the structure to identify the clearance for oversized vehicles. Staff finds that these circumstances have created a practical difficulty in complying with the ordinance.

- 2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.**

**All variances:** The applicant is seeking variances to increase the maximum number of freestanding signs, the maximum area allowed for freestanding signs and the maximum height of

the menu boards, canopy and gateway signage in the drive-thru area. The zoning code regulations governing on-premise signs were established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property and to protect the public health safety and welfare. Staff finds that the proposed signs are necessary given the existing land use to ensure adequate direction on-site.

- 3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.**

**All variances:** The proposed signage will not alter the essential character or be injurious to the use or enjoyment of property in the vicinity. The proposed signage will be located in the drive-thru area, which is internal to the property. Staff finds that the proposed signs are necessary given the existing land use to ensure adequate direction on-site. Granting the sign variances would not likely be detrimental to health, safety or welfare of the general public. The proposed signage would be internally illuminated and not have any flashing components or project light onto adjacent property or public walkways or streets.

**Findings Required by the Minneapolis Zoning Code for a sign adjustment:**

- 1. The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.**

**All variances:** subject property is approximately 1.26 acres and has frontage along University Avenue NE and Broadway Street NE. There is one existing freestanding pole sign at the corner of the intersection and one wall sign facing Broadway Street NE. The proposed signage will be located at the northern end of the property in the drive-thru area. The zoning code regulations governing on-premise signs were established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property and to protect the public health safety and welfare. Staff finds that the proposed signage, in this case, will not lead to sign clutter, given the size of the property and the existing and proposed location of the signs.

- 2. The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.**

**All variances:** Staff finds that the signs would relate in shape, material, color, illumination and character of the building on the property. The signs will be professionally installed with quality materials. The proposed freestanding signs will be incorporated into the canopy and gateway signage. All of the lit signs and menu boards will be internally illuminated.

**Recommendation of the Department of Community Planning and Economic Development:**

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt staff findings and **approve** the variance to increase the number of freestanding signs from one to four for the properties located at 1100 and 1118 University Avenue NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

**Recommendation of the Department of Community Planning and Economic Development:**

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt staff findings and **approve** the variance to increase the maximum area of freestanding signs from 80 square feet to 330 square feet for the properties located at 1100 and 1118 University Avenue NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

**Recommendation of the Department of Community Planning and Economic Development:**

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt staff findings and **approve** the variance to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches for the properties located at 1100 and 1118 University Avenue NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

**Recommendation of the Department of Community Planning and Economic Development:**

The Department of Community Planning and Economic Development recommends that the Board of Adjustment adopt staff findings and **approve** the variance to increase the maximum height of a freestanding signs from 8 feet to approximately 10 feet 3 inches and 10 feet 9 inches, for the properties located at 1100 and 1118 University Avenue NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

Department of Community Planning and Economic Development Report  
BZZ-6420

**Attachments:**

1. Written descriptions and findings submitted by the applicant
2. Letters to Council Member Frey and Sheridan Neighborhood Association and Saint Anthony West
3. Correspondence
4. Zoning map
5. Site Plan
6. Sign plan
7. Photos

## **INTRODUCTION**

On behalf of McDonald's USA LLC ("McDonald's"), Landform is pleased to submit this plan set for Modified PDR 1001029 Amendment and Sign Variance approval to allow for renovation and new signs at the existing McDonald's Restaurant at 1100 University Avenue NE. We are excited about the improvements proposed for this site.

## **SITE PLAN**

This McDonald's Restaurant is a restaurant, fast food allowed use with conditions located on three adjacent parcels in the C2 District. We have prepared a site plan that complies with the general purpose and intent of the zoning ordinance (C2 District) and have incorporated comments from the March 18, 2013 Development Review approved site plan for renovations of the McDonald's Restaurant on this site.

The proposed site plan shows compliance with code requirements and includes provisions for Staff comments on the approved site plan with exception to the sign variance below. The modifications as noted on the new site plan include: moving the ADA parking spaces closer to the front door, removing the landscape island, increasing the access lane width from the drive-thru to Broadway Avenue, and designating the back parking spaces for employees only. The proposed improvements have the following benefits:

- Improved ADA accessibility to the building from the designated parking spaces.
- Creation of two ADA parking spaces with width for van maneuverability.
- Improved vehicle maneuverability between the drive-thru and Broadway Avenue on-site.

## **SIGN VARIANCE**

We have reviewed Staff comments from March 18, 2013 and prepared a sign package for review and approval by the City. The plan includes retention of one free standing pylon sign and the addition of two drive-thru customer order delivery canopy signs (drive-thru canopy signs), one double gateway sign and two menu boards. We are requesting sign variances to allow for proposed drive-thru signage. Specifically:

1. A variance to allow four freestanding signs. The City defines the canopy signage at the drive-thru order board and the double gateway sign signage as freestanding signage. We are requesting a variance to allow these three signs in addition to the existing freestanding pylon sign.
2. A variance to exceed a total of 80 sq. ft. of the total freestanding sign area. We have an existing pylon sign that is 223 sq. ft. in area. This sign will remain and we would like to add 2 canopies to the site, which will include 4.32 sq. ft. of sign area per canopy; one double gateway sign, which will include 16.3 sq. ft.; and two menu boards which will include 41 sq. ft. per menu board for a grand total of 330 sq. ft. of freestanding sign area.
3. A variance to exceed the height of 6 ft. for a menu board. We would like to add two menu boards that are 6.78 ft. high.

4. A variance to exceed the height of 8 ft. for freestanding sign. We have an existing pylon sign that is 25 ft. high. This sign will remain and we would like to add 2 canopies that are 10.3 ft. high per canopy and one double gateway sign, which is 10.7 ft. high.

The drive-thru canopies serve several purposes:

- This newly designed drive-thru canopy has a built-in order confirmation display area that helps to minimize the sound from the drive-thru by containing the sound in the area of the drive-thru order points.
- The drive-thru canopies are designed to match the height of the building eaves, which provides a second early warning to oversized vehicles.
- The canopy protects patrons from rain/snow during the ordering process.

The double gateway signage serves several purposes:

- The new double gateway signage indicates that safety is needed in adhering to the height limitation of the building by the cash order display and provide clear directional signage to patrons.
- The double gateway signage is designed to match the height of the building eaves, which provides an early warning to oversized vehicles.

We have reviewed the request in accordance with MN law and City ordinance standards and find that the ordinance standards have been met. Specifically:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties are created by the nature of this type of business, which requires directional signage to clearly delineate the drive-thru and order points and safety signage to indicate the low height of the building at the cashier booths. The double drive-thru means that two canopies and two menu boards are needed to order and gateway signage is needed to navigate the low height of the building. The double drive-thru will allow the restaurant to move patrons through the drive-thru more quickly and minimize traffic issues.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed canopies, gateway signage and menu boards allow the landowner to use the property in a reasonable manner that will be keeping with the spirit and intent of the ordinance and the comprehensive plan. The City ordinance defines the signs as freestanding signs, but they will truly function as directional signage.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality because restaurants with drive-thrus are allowed in this district and this type of signage is typically associated with this type of use. The canopies, safety signage and menu boards will not be injurious to the use or enjoyment of other property in the vicinity. The canopies, safety signage and menu boards will not be detrimental to the health, safety or welfare of the general public or of those utilizing the property or nearby properties.

4. *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

The sign adjustment to allow canopies, gateway signage and menu boards will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located. The signage simply serves a way finding and safety purpose.

5. *The sign adjustment will allow a sign that relates in size, shape, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

The sign adjustment will allow canopies, gateway signage and menu boards that have been designed as part of the entire building and sign package and will relate in size, shape, color, illumination and character to the function and architectural character of the building and property.

## **SUMMARY**

We respectfully request approval of the Modified PDR 1001029 Site Plan Amendment and Sign Variance to allow demolition and renovate portions of the existing McDonald's site and add new signs at 1100 University Avenue NE.

## **CONTACT INFORMATION**

This document is respectfully submitted by:

Tracey Kinney, AICP

Landform

105 South Fifth Street, Suite 513

Minneapolis, MN 55330

Any additional questions regarding this application can be directed to Tracey Kinney at [tkinney@landform.net](mailto:tkinney@landform.net) or 612.252.0227.



From Site to Finish

105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
[www.landform.net](http://www.landform.net)

January 22, 2014

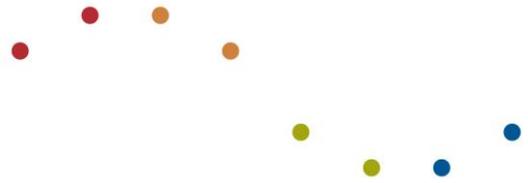
Mr. Jacob Frey  
Minneapolis City Council - Ward 3  
350 S. 5th St., Room 307  
Minneapolis, MN 55415

Re: McDonald's Restaurant at 1100 University Avenue NE - Sign variance application

Dear Mr. Frey

On behalf of McDonald's USA LLC ("McDonald's"), Landform is pleased to present a sign variance request for your consideration for the McDonald's Restaurant at 1100 University Avenue NE. As a requirement of the City of Minneapolis, all land use applicants notify the subject property Ward Council Member of submissions. This request complements site and building renovation work that is in the process of gaining approval for a Modified Site Plan Amendment. As shown in the attached exhibit we propose retention of one free standing pylon sign and the addition of two drive-thru canopy signs, one double gateway sign and two menu boards. We are requesting sign variances to allow for proposed drive-thru signage. Specifically:

1. A variance to allow four freestanding signs. The City defines the canopy signage at the drive-thru order board and the double gateway sign signage as freestanding signage. We are requesting a variance to allow these three signs in addition to the existing freestanding pylon sign.
2. A variance to exceed a total of 80 sq. ft. of the total freestanding sign area. We have an existing pylon sign that is 223 sq. ft. in area. This sign will remain and we would like to add 2 canopies to the site, which will include 4.32 sq. ft. of sign area per canopy; one double gateway sign, which will include 16.3 sq. ft.; and two menu boards which will include 41 sq. ft. per menu board for a grand total of 330 sq. ft. of freestanding sign area.
3. A variance to exceed the height of 6 ft. for a menu board. We would like to add two menu boards that are 6.78 ft. high.
4. A variance to exceed the height of 8 ft. for freestanding sign. We have an existing pylon sign that is 25 ft. high. This sign will remain and we would like to add 2 canopies that are 10.3 ft. high per canopy and one double gateway sign, which is 10.7 ft. high.



The drive-thru canopies serve several purposes:

- This newly designed drive-thru canopy has a built-in order confirmation display area that helps to minimize the sound from the drive-thru by containing the sound in the area of the drive-thru order points.
- The drive-thru canopies are designed to match the height of the building eaves, which provides a second early warning to oversized vehicles.
- The canopy protects patrons from rain/snow during the ordering process.

The double gateway signage serves several purposes:

- The new double gateway signage indicates that safety is needed in adhering to the height limitation of the building by the cash order display and provide clear directional signage to patrons.
- The double gateway signage is designed to match the height of the building eaves, which provides an early warning to oversized vehicles.

The sign variances and site work are needed to upgrade ADA accessibility, drive-thru efficiency and vehicle maneuverability onsite. We believe the customers, community and local manager will benefit from the improved readability of the drive-thru, sheltered customer order displays and better vehicle safety with the proposed new signs.

Sincerely,  
Landform

A handwritten signature in black ink that reads "Tracey Kinney". The signature is fluid and cursive, with a large loop at the end of the last name.

Tracey Kinney, AICP  
Planner  
[tkinney@landform.net](mailto:tkinney@landform.net)

Applicant:  
Ray Croaston Jr., Area Construction Manager Midwest Region  
McDonald's USA LLC  
1650 West 82nd St., Suite 900  
Bloomington, MN 55431  
P 952-486-4157



105 South Fifth Avenue  
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January 22, 2014

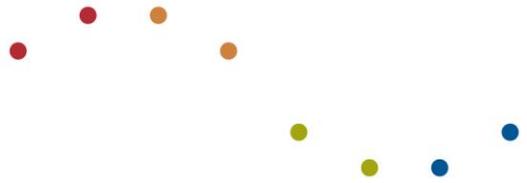
Mr. Pete Greffin, Chair  
St. Anthony West Neighborhood Group  
909 Main St. NE, Lower Level  
Minneapolis, MN 55413

Re: McDonald's Restaurant at 1100 University Avenue NE - Sign variance application

Dear Mr. Pete Greffin:

On behalf of McDonald's USA LLC ("McDonald's"), Landform is pleased to present a sign variance request for your consideration for the McDonald's Restaurant at 1100 University Avenue NE. As a requirement of the City of Minneapolis, all land use applicants notify the subject property neighborhood organization of submissions. This request complements site and building renovation work that is in the process of gaining approval for a Modified Site Plan Amendment. As shown in the attached exhibit we propose retention of one free standing pylon sign and the addition of two drive-thru canopy signs, one double gateway sign and two menu boards. We are requesting sign variances to allow for proposed drive-thru signage. Specifically:

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2. A variance to exceed a total of 80 sq. ft. of the total freestanding sign area. We have an existing pylon sign that is 223 sq. ft. in area. This sign will remain and we would like to add 2 canopies to the site, which will include 4.32 sq. ft. of sign area per canopy; one double gateway sign, which will include 16.3 sq. ft.; and two menu boards which will include 41 sq. ft. per menu board for a grand total of 330 sq. ft. of freestanding sign area.
3. A variance to exceed the height of 6 ft. for a menu board. We would like to add two menu boards that are 6.78 ft. high.
4. A variance to exceed the height of 8 ft. for freestanding sign. We have an existing pylon sign that is 25 ft. high. This sign will remain and we would like to add 2 canopies that are 10.3 ft. high per canopy and one double gateway sign, which is 10.7 ft. high.



The drive-thru canopies serve several purposes:

- This newly designed drive-thru canopy has a built-in order confirmation display area that helps to minimize the sound from the drive-thru by containing the sound in the area of the drive-thru order points.
- The drive-thru canopies are designed to match the height of the building eaves, which provides a second early warning to oversized vehicles.
- The canopy protects patrons from rain/snow during the ordering process.

The double gateway signage serves several purposes:

- The new double gateway signage indicates that safety is needed in adhering to the height limitation of the building by the cash order display and provide clear directional signage to patrons.
- The double gateway signage is designed to match the height of the building eaves, which provides an early warning to oversized vehicles.

The sign variances and site work are needed to upgrade ADA accessibility, drive-thru efficiency and vehicle maneuverability onsite. We believe the customers, community and local manager will benefit from the improved readability of the drive-thru, sheltered customer order displays and better vehicle safety with the proposed new signs.

Sincerely,  
Landform

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Tracey Kinney, AICP  
Planner  
[tkinney@landform.net](mailto:tkinney@landform.net)

Applicant:  
Ray Croaston Jr., Area Construction Manager Midwest Region  
McDonald's USA LLC  
1650 West 82nd St., Suite 900  
Bloomington, MN 55431  
P 952-486-4157, [Ray.Croaston\\_jr@us.mcd.com](mailto:Ray.Croaston_jr@us.mcd.com)

Mr. Pete Greffin  
St. Anthony West Neighborhood Group

1/22/2014



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January 22, 2014

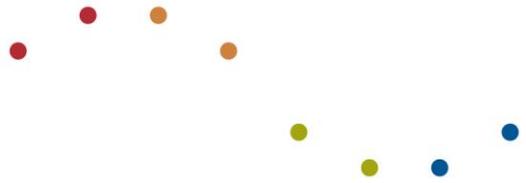
Adam Axvig, President  
Sheridan Neighborhood Group  
909 Main St. NE  
Minneapolis, MN 55413

Re: McDonald's Restaurant at 1100 University Avenue NE - Sign variance application

Dear Mr. Adam Axvig:

On behalf of McDonald's USA LLC ("McDonald's"), Landform is pleased to present a sign variance request for your consideration for the McDonald's Restaurant at 1100 University Avenue NE. As a requirement of the City of Minneapolis, all land use applicants notify the subject property neighborhood organization of submissions. This request complements site and building renovation work that is in the process of gaining approval for a Modified Site Plan Amendment. As shown in the attached exhibit we propose retention of one free standing pylon sign and the addition of two drive-thru canopy signs, one double gateway sign and two menu boards. We are requesting sign variances to allow for proposed drive-thru signage. Specifically:

1. A variance to allow four freestanding signs. The City defines the canopy signage at the drive-thru order board and the double gateway sign signage as freestanding signage. We are requesting a variance to allow these three signs in addition to the existing freestanding pylon sign.
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The drive-thru canopies serve several purposes:

- This newly designed drive-thru canopy has a built-in order confirmation display area that helps to minimize the sound from the drive-thru by containing the sound in the area of the drive-thru order points.
- The drive-thru canopies are designed to match the height of the building eaves, which provides a second early warning to oversized vehicles.
- The canopy protects patrons from rain/snow during the ordering process.

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The sign variances and site work are needed to upgrade ADA accessibility, drive-thru efficiency and vehicle maneuverability onsite. We believe the customers, community and local manager will benefit from the improved readability of the drive-thru, sheltered customer order displays and better vehicle safety with the proposed new signs.

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Planner  
[tkinney@landform.net](mailto:tkinney@landform.net)

Applicant:  
Ray Croaston Jr., Area Construction Manager Midwest Region  
McDonald's USA LLC  
1650 West 82nd St., Suite 900  
Bloomington, MN 55431  
P 952-486-4157  
Ray.Croaston\_jr@us.mcd.com

Adam Axvig, President, Sheridan Neighborhood Group

January 22, 2014

## Sether, Shanna M

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**From:** Forkenbrock, Beth <MForkenbrock@Briggs.com>  
**Sent:** Friday, February 07, 2014 2:52 PM  
**To:** Sether, Shanna M  
**Subject:** RE: Changes at McDonald's in NE Minneapolis

Shanna,

Thank you very much for sending me this information about the proposed McDonald's addition. I will definitely look it over.

By way of background, I have lived in the area by McDonald's for 40+ years. I have watched McDonald's come into the neighborhood and build their first building. Later they added a drive thru. They bought up houses in the neighborhood to increase the size of their parking lot. Then they tore down the first building and built the second one. I know that most of their business comes from the drive thru. Sometimes they have been a good neighbor and sometimes they have not. Usually, when they know there is an issue, they try to correct it.

The amount of traffic on 12<sup>th</sup> Ave. N.E. has increased many times over because of McDonald's.

One concern I currently have that may or may not be corrected in the new plan is the walking area from University Ave. to the restaurant or to University from the restaurant. A walker must cross the path of incoming cars headed into the drive thru. It can be downright dangerous, especially for slower walkers or in bad weather.

Another issue that happens now is that, although drivers entering the McDonald's area from University are directed by signs to go around the entire building in order to enter the drive thru properly, some do not. They enter from University, swerve to the left, then swerve to the right to enter the drive thru. Again, this can be dangerous for any walkers attempting to cross the parking lot toward University Ave.

A concern I have is the noise from the drive thru. The volume seems to only be on loud. From my backyard, I can hear nearly every order. "Welcome to McDonald's. May I take your order?" gets really old when you are trying to enjoy your yard. Added to that are the booming car radios going through the drive thru. Next comes the conversation between those with the loudspeakers and the booming car radios!

I will look over the information you sent me. I will also attempt to contact my neighbors about this. Thanks again.

Beth Forkenbrock

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**From:** Sether, Shanna M [mailto:Shanna.Sether@minneapolismn.gov]  
**Sent:** Friday, February 07, 2014 11:11 AM  
**To:** Forkenbrock, Beth  
**Subject:** RE: Changes at McDonald's in NE Minneapolis

Good morning Beth,

Essentially, McDonald's is requesting to move from a single drive-thru to a double drive-thru and are asking for additional signage. I have attached a copy of the sign plan for your review.

The maximum area for all of the projecting signs for the property is 80 square feet. The existing freestanding sign is 223 square feet and will remain. The additional increase will be 107 square feet for the "Order Here" (2 signs) and "Drive Thru" (1 sign) signage.

If you have any questions, please let me know.

Thank you,

**Shanna Sether**  
Senior City Planner

City of Minneapolis | Community Planning and Economic Development Department | Development Services Division  
250 4<sup>th</sup> Street South, Room 300 | Minneapolis, MN 55415  
612-673-2307 | [Shanna.Sether@minneapolismn.gov](mailto:Shanna.Sether@minneapolismn.gov)

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**From:** Forkenbrock, Beth [<mailto:MForkenbrock@Briggs.com>]  
**Sent:** Friday, February 07, 2014 9:10 AM  
**To:** Sether, Shanna M  
**Subject:** Changes at McDonald's in NE Minneapolis

Shanna,

I received a notice in the mail yesterday regarding an upcoming hearing on Feb. 20 concerning certain proposed signage changes McDonald's would like to make. My property abuts McDonald's property to the north, separated by a fence.

The notice indicates McDonald's wants to increase the number of signs from 1 to 4. I would like to know more about the location of the proposed signs. It appears that these proposed signs would be quite large since the notice indicates the area of the signs would go from 80 square feet to 330 square feet.

I would like to find out more information/details about these proposed signage changes. I am unable to attend the Feb. 20 hearing because of another appointment. Please either e-mail me more information about these proposals or feel free to give me a call at either the phone number listed below during working hours or at my home phone (612-379-9791) during evenings or weekends.

Thank you for any information you can provide.

**Beth Forkenbrock**  
Legal Administrative Assistant



Briggs and Morgan, P.A.  
Direct 612.977.8655  
Fax 612.977.8650  
[bforkenbrock@briggs.com](mailto:bforkenbrock@briggs.com)  
2200 IDS Center | 80 South 8th Street | Minneapolis, MN 55402

**CONFIDENTIALITY NOTICE:** The information contained in this e-mail communication and any attached documentation may be privileged, confidential or otherwise protected from disclosure and is intended only for

## Sether, Shanna M

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**From:** Ritchie, Heidi on behalf of Frey, Jacob  
**Sent:** Monday, February 10, 2014 9:26 AM  
**To:** rriskin@outlook.com  
**Cc:** Sether, Shanna M  
**Subject:** RE: Ward 3 Contact Form

Hi Robert-

You can send feedback and documents to [jacob.frey@minneapolismn.gov](mailto:jacob.frey@minneapolismn.gov). You may also want to consider sending feedback to the assigned planner, Shanna Sether. I have copied her on this email.

Thank you!  
Heidi

Heidi Ritchie  
Aide to [Council Member Jacob Frey, 3<sup>rd</sup> Ward](#)  
City Hall, Room 307  
350 South 5th Street  
Minneapolis, MN 55415  
612-673-2203  
[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)

**From:** [no-reply@minneapolismn.gov](mailto:no-reply@minneapolismn.gov) [<mailto:no-reply@minneapolismn.gov>]  
**Sent:** Sunday, February 09, 2014 5:10 PM  
**To:** Frey, Jacob  
**Subject:** Ward 3 Contact Form

## City of Minneapolis

---

Name *	Robert Riskin
Email *	<a href="mailto:rriskin@outlook.com">rriskin@outlook.com</a>
Phone	(612) 747-2852
Phone Type	
Address	1117 3rd St. NE
City	Minneapolis
State	MN
Zip	55413
Question/Comment *	The homeowners adjacent to McDonald's have problems with the recent request for two drive through lanes and more lighting. I have many documents to share before the February 20th public hearing at city hall room 317. Please send me your email address so I may forward the list of concerns along with the history. Thanks, Robert

This is an email generated from the City of Minneapolis website. \* Required fields are indicated with an asterisk.

## Sether, Shanna M

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**From:** Robert Riskin <[rriskin@outlook.com](mailto:rriskin@outlook.com)>  
**Sent:** Monday, February 10, 2014 4:42 PM  
**To:** Frey, Jacob  
**Cc:** Sether, Shanna M; Ritchie, Heidi; Allison Kerner; Tim Kennedy; Shelly Bertand and Tim Kennedy; John whalen; Lauren Marsh & Jeff; Jamie Swanson; Amy McGarrity  
**Subject:** RE: Ward 3 Contact Form  
**Attachments:** McDonalds Public Hearing notes to City Planner 2-10-14.docx; 2014 McDonald's Request for signage and notice 001.tif; McDonald's 2012 Complaint letter 001.tif

Please look up 1994 McDonald's original plans and agreements for this property. You will see many of the listed issues still unresolved. I tried to scan them but the file was too big to attach to this email.

Thanks,  
Robert Riskin

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**From:** Ritchie, Heidi [<mailto:heidi.ritchie@minneapolismn.gov>] **On Behalf Of** Frey, Jacob  
**Sent:** Monday, February 10, 2014 7:26 AM  
**To:** [rriskin@outlook.com](mailto:rriskin@outlook.com)  
**Cc:** Sether, Shanna M  
**Subject:** RE: Ward 3 Contact Form

Hi Robert-

You can send feedback and documents to [jacob.frey@minneapolismn.gov](mailto:jacob.frey@minneapolismn.gov). You may also want to consider sending feedback to the assigned planner, Shanna Sether. I have copied her on this email.

Thank you!  
Heidi

Heidi Ritchie  
Aide to [Council Member Jacob Frey, 3<sup>rd</sup> Ward](#)  
City Hall, Room 307  
350 South 5th Street  
Minneapolis, MN 55415  
612-673-2203  
[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)

**From:** [no-reply@minneapolismn.gov](mailto:no-reply@minneapolismn.gov) [<mailto:no-reply@minneapolismn.gov>]  
**Sent:** Sunday, February 09, 2014 5:10 PM  
**To:** Frey, Jacob  
**Subject:** Ward 3 Contact Form

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## City of Minneapolis

Name \* Robert Riskin  
Email \* [rriskin@outlook.com](mailto:rriskin@outlook.com)  
Phone (612) 747-2852

Phone Type

Address 1117 3rd St. NE

City Minneapolis

State MN

Zip 55413

Question/Comment \* The homeowners adjacent to McDonald's have problems with the recent request for two drive through lanes and more lighting. I have many documents to share before the February 20th public hearing at city hall room 317. Please send me your email address so I may forward the list of concerns along with the history. Thanks, Robert

This is an email generated from the City of Minneapolis website. \* Required fields are indicated with an asterisk.

## Sether, Shanna M

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**From:** jfort <jfort@usiwireless.com>  
**Sent:** Tuesday, February 11, 2014 12:33 PM  
**To:** Frey, Jacob; Sether, Shanna M; Ritchie, Heidi  
**Cc:** Adam Axvig; Bob Sorg; Bob Sorg; David Hildebrandt; Jillia Pessenda; Joy Smallfield; Lena Gardner  
**Subject:** McDonalds request for variance  
**Attachments:** snomcdonalds.docx

RE: Sign Variance for McDonalds

Dear Council Member Frey,

I am writing on behalf of Sheridan Neighborhood Organization (SNO) with regard to the request by McDonalds for a variance expanding their signage. SNO residents have expressed deep concerns about noise, traffic, public safety, public image & public health issues relating to this change. Furthermore, the nearest neighbors state that McDonalds has not fulfilled promises made in the past.

The intersection of University and Broadway has more than its fair share of problems. The semi-truck traffic, commuters and McDonalds customers make this a very unsafe intersection for everyone, especially the grade school children across the street. It is poorly designed and does not accommodate the traffic well. Neighbors have expressed concerns that adding drive thru capacity and the new configuration will add to the problem.

This McDonalds already exceeds the city's ordinance for signage and they are asking for permission to further exceed what is legally deemed a reasonable amount of signage. Broadway and University is the gateway to the Minneapolis Arts District and Sheridan Global Arts School, a k-5 school that plans to invest money this year to improve its image, appeal to families and appearance. McDonalds request to exceed the established standard, by my read, 400% is not going to contribute positively to any of the aforementioned community assets.

SNO first discussed this a year ago. At that time that a long time resident made SNO aware that McDonalds had promised the neighbors they would manage the livability issues that arise from operation of their business in order to obtain permission for a prior request. Those neighbors adjacent to McDonalds have spent years fighting to have those promises fulfilled. These are reasonable requests that McDonalds simply behave like a good neighbor: pick up the trash its patrons leave on our streets and in our yards; post signs and enforce existing city ordinances and common decency with regard to noise and loud music; conduct routine cleaning and painting at an hour that do not disturb neighbors (i.e. 3am); turn off certain lights at night, etc.

SNO has had two public discussions about this topic. I do not recall a single SNO member speaking in favor of the project and the neighbors most affected are strongly opposed. McDonalds has not kept its promises with neighbors. Those neighbors do not wish to see McDonalds rewarded for bad behavior.

Sincerely,

Jenny Fortman, Sheridan Neighborhood Organization



RE: Sign Variance for McDonalds

Dear Council Member Frey,

I am writing on behalf of Sheridan Neighborhood Organization (SNO) with regard to the request by McDonalds for a variance expanding their signage. SNO residents have expressed deep concerns about noise, traffic, public safety, public image & public health issues relating to this change. Furthermore, the nearest neighbors state that McDonalds has not fulfilled promises made in the past.

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Sincerely,  
Jenny Fortman, Sheridan Neighborhood Organization

## Sether, Shanna M

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**From:** joyandonballoons@yahoo.com  
**Sent:** Tuesday, February 11, 2014 12:38 PM  
**To:** jfort; Frey, Jacob; Sether, Shanna M; Ritchie, Heidi  
**Cc:** Adam Axvig; Bob Sorg; Bob Sorg; David Hildebrandt; Jillia Pessenda; Lena Gardner  
**Subject:** Re: McDonalds request for variance

Thanks for sending with the boards support. This is a very important issue for many of our Sheridan Neighbors. Hopefully, Mc Donald's can be held accountable this time to adhere to current city ordinances or at least not to infringe on them further. Thanks, Joy Smallfield.

Sent from my Sprint phone.

----- Reply message -----

From: "jfort" <[jfort@usewireless.com](mailto:jfort@usewireless.com)>  
To: "Jacob Frey" <[Jacob.Frey@minneapolismn.gov](mailto:Jacob.Frey@minneapolismn.gov)>, "Shanna Sether" <[Shanna.Sether@minneapolismn.gov](mailto:Shanna.Sether@minneapolismn.gov)>, "Heidi Ritchie" <[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)>  
Cc: "Adam Axvig" <[adamaxvig@gmail.com](mailto:adamaxvig@gmail.com)>, "Bob Sorg" <[bpsorg@yahoo.com](mailto:bpsorg@yahoo.com)>, "Bob Sorg" <[noblewelding@aol.com](mailto:noblewelding@aol.com)>, "David Hildebrandt" <[hildebrandtdavid@gmail.com](mailto:hildebrandtdavid@gmail.com)>, "Jillia Pessenda" <[jilliapessenda@gmail.com](mailto:jilliapessenda@gmail.com)>, "Joy Smallfield" <[joyandonballoons@yahoo.com](mailto:joyandonballoons@yahoo.com)>, "Lena Gardner" <[lenakatherine@gmail.com](mailto:lenakatherine@gmail.com)>  
Subject: McDonalds request for variance  
Date: Tue, Feb 11, 2014 12:32 PM

RE: Sign Variance for McDonalds

Dear Council Member Frey,

I am writing on behalf of Sheridan Neighborhood Organization (SNO) with regard to the request by McDonalds for a variance expanding their signage. SNO residents have expressed deep concerns about noise, traffic, public safety, public image & public health issues relating to this change. Furthermore, the nearest neighbors state that McDonalds has not fulfilled promises made in the past.

The intersection of University and Broadway has more than its fair share of problems. The semi-truck traffic, commuters and McDonalds customers make this a very unsafe intersection for everyone, especially the grade school children across the street. It is poorly designed and does not accommodate the traffic well. Neighbors have expressed concerns that adding drive thru capacity and the new configuration will add to the problem.

This McDonalds already exceeds the city's ordinance for signage and they are asking for permission to further exceed what is legally deemed a reasonable amount of signage. Broadway and University is the gateway to the Minneapolis Arts District and Sheridan Global Arts School, a k-5 school that plans to invest money this year to

## Sether, Shanna M

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**From:** Robert Riskin <rriskin@outlook.com>  
**Sent:** Tuesday, February 11, 2014 3:12 PM  
**To:** Sether, Shanna M; Frey, Jacob  
**Cc:** Shelly Bertand and Tim Kennedy; Allison Kerner; John whalen; Lauren Marsh & Jeff; Amy McGarrity; Pam Lehan  
**Subject:** McDonald's 1994 original documentation for public hearing regarding 2014 variance requests  
**Attachments:** McDonald's 1994 letter to city council on potential conflict of interest.pdf; McDonald's 1994 letter to zoning on crime at night.pdf; McDonald's 1994 request for automobile usage.pdf; McDonald's 1994 request for hours extension.pdf; McDonald's 1994 site plan review.pdf; McDonald's 2014 notice of public hearing for variances.pdf; McDonalds Public Hearing notes to City Planner 2-10-14.docx

Neighbors:

Please share with others who own properties adjoin McDonald's and let them know of our concerns expressed in previous emails.

Robert Riskin

**SPINLER'S HOMEOWNER'S ASSOCIATION**  
**Elizabeth A. Mathews, President**  
1113-1117 Third Street Northeast  
Minneapolis, Minnesota 55413  
(612) 379-7116

*FYI -  
Can you believe  
this?*

---

August 11, 1994

Joe Biernat  
Council Member, Third Ward  
350 South Fifth Street - Room 307  
Minneapolis, MN 55415-1383

Re: McDonald's proposed Site Plan Review and conditional use permit  
V-3774, P.R. 262 & C-1614

Dear Mr. Biernat:

Subsequent to the public hearing of the City Planning Commission on August 10, 1994, allegations regarding possible conflict of interest and undue influence on the part of Commissioner Tim Baylor have been brought to our attention.

On the evening of August 10, 1994, after I returned to the Spinler Condominium properties from the above referenced public hearing, I received a telephone call from an individual who also attended the meeting. Said individual informed me that Commissioner Tim Baylor is a management employee of the McDonald's Corporation. Ms. Kathy Martin of the McDonald's corporation confirmed by telephonic conference earlier today that Mr. Baylor is not only an employee of the McDonald's Corporation, but is a Real Estate Representative for the McDonald's Corporation. While said employment alone does not preclude Mr. Baylor's involvement in Commission activities generally, you should be advised that Minnesota Statutes § 412.311 clearly prohibits local public officials' involvement where said public official has a direct or indirect financial interest in the outcome of the public proceedings. In order to avoid the appearance of impropriety, and in order to avoid creating an inference of undue influence upon said public proceedings, Mr. Baylor should have publicly disclosed his financial relationship with the McDonald's Corporation, and recused himself from any involvement, direct or indirect, which would tend to influence the public process with respect to the above-referenced applications. Mr. Baylor made no such disclosure in the public hearing, and made no attempt to recuse himself with respect to the above referenced applications. Further, the Chairman and other Commissioners knew or should have known about Mr. Baylor's financial relationship with the McDonald's Corporation, yet they failed to disclose this material fact in the public hearing, and made no attempt to examine the questionable propriety of his involvement in this public process.

You should be advised that, if Mr. Baylor is a shareholder or officer in the McDonald's Corporation, this represents an actual conflict of interest pursuant to Minn.Stat. § 412.311. To the extent that Mr. Baylor stands to financially profit, either directly through stock dividends, bonus, commission, or raise, or indirectly through promotion, advancement, or other gratuity, this would also represent an impermissible conflict of interest on the part of a local public official pursuant to Minn.Stat. § 412.311. As affected property owners, we respectfully request that the City Council demand full disclosure and investigation of possible conflict of interest with respect to this issue.

Conduct observed at the above referenced public hearing has raised concern that the entire application process may have been unduly influenced or otherwise tainted by Mr. Baylor's involvement. Our specific concerns include but are not limited to the following:

1. Mr. Maurice Sheppard, City Planner, submitted a document entitled **Minneapolis City Planning Department Report, Automobile Related Use Site Plan Review**, dated August 10, 1994, which relied upon obsolete zoning maps which failed to disclose the presence and close proximity of the affected Spinler Condominium units situated at 1113, 1115, and 1117 Third Street Northeast. Said report failed to evaluate the obvious potential for increased noise and subsequent diminution of our property values. Said zoning map erroneously and deceptively identified the property situated on the 200 block of E. Broadway as a "nursing home", thereby creating the false inference that the property is zoned commercial, when it is in fact zoned residential multiple dwelling. Any interested city official examining said zoning map might well infer that no residential properties would be affected by the proposed re-positioning of the facility, when in fact the Spinler properties are located nearby and will be adversely affected by said plan. We are concerned that the erroneous and misleading designation of "nursing home" would tend to, and perhaps was intended to, create an inference that commercial enterprise, rather than a residential multiple dwelling, is located in the midst of our residential community. Said report further failed to evaluate the potential for increased criminal activity, and failed to disclose the incidence of reported robberies occurring at or near closing time. This would clearly impact on the application for extended hours, however, the City Planning Department never investigated the potential impact on affected properties with respect to this issue, either. We respectfully submit that there is no excuse for either the City Planning Department or the City Planning Commission to rely on obsolete, slanted, and potentially deceptive materials in promulgating said report.

2. During the course of the above referenced public meeting, Mr. Sheppard devoted nearly all of his time ardently advocating for the McDonald's corporation. He only grudgingly admitted for the public record that there was any neighborhood opposition to the above referenced plans. He also sat next to Mr. Baylor and appeared to be conferring with Mr. Baylor during the course of the public hearing regarding the above referenced applications. Based upon this and other questionable conduct, we believe Mr. Baylor was directly influencing the Planning Department and possibly the Commission in favor of the McDonald's Corporation.

3. Neither the City Planner nor the Planning Commission called for McDonald's to submit a revised plan which would better protect the affected properties from increased noise and diminution of property values. For example, the plan could be revised in such a manner that would place the drive through on the east side of the proposed facility, i.e., on the side of the building bordering University Avenue. This would prevent placement of the drive through directly bordering the Spinler and other Third Street properties (only a matter of several feet from our windows), and would help diminish to some degree the increased noise problem. A fence at least 50% higher, along with a substantial landscape buffer, would also help to diminish the noise. We believe that the City Planning Commission should demand that McDonald's submit a new plan which includes these changes in order to protect the property values of directly affected property owners.

J. BIERNAT  
AUGUST 11, 1994  
PAGE 3

We are concerned that Mr. Baylor's failure to disclose his financial involvement and to recuse himself from any influence of the process, along with his apparent influence upon the City Planner during the course of the hearing, creates a reasonable inference of undue influence which must be fully investigated and disclosed in order to protect the due process rights of affected property owners. As the situation stands, we have reason to believe that the entire public process has been materially prejudiced by the above referenced alleged improprieties, and respectfully request that a new City Planning Report which fully evaluates the adverse impact on affected properties be developed by an impartial city official, free of any taint of impropriety or of undue influence. In essence, we demand that our constitutional rights to due process and equal protection be respected.

To the extent that the City Council fails to immediately intervene, we will be compelled to enlist the support of the MCLU, U of M Public Interest Law Clinic, or a private civil rights law firm in order to first exhaust our administrative remedies through appeals before the Planning Commission and City Council. At that point, we will be compelled to bring an action in the Fourth Judicial District pursuant to Minnesota Statutes § 462.361 and § 412.311 in order to protect our interests as affected property owners. We believe that the affected property owners and neighborhood associations may be entitled to punitive damages to the extent that the conduct of various city officials represent a willful intent to unduly influence the public process in favor of the McDonald's Corporation. We sincerely hope that these extreme and costly actions will not be necessary.

We are grateful for your past support and respectfully request that you take immediate action to protect the property values and constitutional rights of your taxpaying, voting constituents.

SPINLER HOMEOWNERS ASSOCIATION

BY: \_\_\_\_\_  
Elizabeth A. Mathews, President

cc: City Planning Department  
All City Planning Commissioners  
Sheridan Neighborhood Association  
File

*Joe has called  
a meeting for  
next Tues  
I'll let you  
know when  
he confirms  
time / place  
We really need  
you there!*

**SPINLER'S HOMEOWNER'S ASSOCIATION**

**Elizabeth A. Mathews, President**  
1113-1117 Third Street Northeast  
Minneapolis, Minnesota 55413  
(612) 379-7116

---

August 10, 1994

Mr. Maurice Shepard  
Zoning Administration Office  
220 Midland Square Building  
331 Second Avenue South  
Minneapolis, MN 55401

**HAND DELIVERED**

Re: McDonald's proposed Site Plan Review and conditional use permit  
V-3774, P.R. 262 & C-1614

Dear Mr. Shepard:

Please submit this written addendum to our previous statement as a part of the written record regarding the above-referenced applications.

Officer Callahan of the Minneapolis Police Department, Recap Unit (673-3045) provided the following information via telephonic conference:

The McDonald's franchise situated at 1100 University Avenue Northeast generated 20 police responses in 1993, and 6 to date in 1994. Of those incidents, the following involved robberies:

Report # 93 04 09824 - Robbery at 21:58 on 04/23/93.

Report # 93 11 312752 - Robbery at 22:06 on 11/04/93.

Report # 93 12 352777 - Robbery at 19:32 on 12/19/93.

Other calls involved fights and other criminal activity.

On information and belief, one or more of the above referenced crimes involved armed robbery. Of the more violent crimes referenced above, it is evident that they occur closer to closing time. A former employee who asked to remain anonymous for fear of reprisal by the McDonald's corporation recently informed us that, on information and belief, an armed robbery occurred in January of 1994. Without more specific information, the Minneapolis Police Department was unable to verify this with a report number. However, said former employee stated that surveillance cameras were installed after said incident, and further informed us that "McDonald's is trying to keep it [the armed robbery] quiet." This raises concern that perhaps McDonald's failed to report a violent crime to the Minneapolis Police Department.

Based upon this information, we as affected property owners are concerned that extending the hours of operation pursuant to the above-referenced application would only invite more violent crime into our residential neighborhood and further endanger the safety and lives of local residents. Because McDonald's local management does not vigilantly

ZONING ADMINISTRATION OFFICE  
AUGUST 11, 1994  
PAGE 2

monitor its existing parking area, we are further concerned that any current or future requests to expand the parking area will result in more fights, personal robberies, and related violent crime, and subsequent diminution of our property values. Accordingly, we request that the above-referenced applications be denied.

SPINLER'S HOMEOWNER'S ASSOCIATION

BY:   
\_\_\_\_\_  
Elizabeth A. Mathews, President

Minneapolis City Planning Department Report

AUTOMOBILE RELATED USE SITE PLAN REVIEW

DATE: August 10, 1994  
APPLICANT: McDonald's Corporation  
SITE ADDRESS: 1100 University Ave. NE  
EXISTING ZONING: B3S-3

**PROPOSED USE AND DESCRIPTION OF THE PROJECT:** The applicant proposes to remove the existing 4,500 SF facility (built 1975) at the above property and construct a new 3,615 SF fast-food restaurant. Construction period for this project would be 60 days. This development is brought about because the existing facility and site are functionally obsolete.

The existing building can no longer be upgraded to meet industry standards & technological improvements and the present layout of the site does not provide adequate pedestrian access or effective vehicle ingress and egress on-site. The proposed development will improve pedestrian access to the facility along with reducing vehicle conflicts on-site. (The applicant received site plan approval on May 11th, 1990 for the development of an additional ten (10) parking spaces).

The applicant has applied for a conditional use permit to allow the proposed facility to remain open for business until 12:00 AM (Midnight) Sunday through Thursday. The applicant states that the requested extension of hours is necessary to meet consumer demand for late-night convenience food service and is constant with current hours of operation for the existing facility.

Neighborhood Review

The Sheridan Neighborhood Group and residents reviewed this site plan on July 19th, 1994. The neighborhood indicated their support for the submitted site plan. The neighborhood did discuss with the applicant the possibility of installing an indoor playland at the site in the future for use by neighborhood residents.

### STAFF ANALYSIS

The question and answer analysis below is intended to determine if a use meets the site plan review standards required in section 530.10 of the Minneapolis Zoning Code.

### ALLEY ACCESS

A. Will there be any alley access to or from this auto related use? None is allowed in a block with R1-R6A or B1 zoning.

No. There is no access from the alley.

### SCREENING

B. Are the parking areas screened on each side (street, side yard, alley) where it fronts or adjoins property situated in a residence district by a wall or fence not less than 4' or more than 6' in height or a dense planting that will grow to a height of 4' in the first growing season?

The submitted site plan indicates that the off-street parking area will be screened from residential uses to the north and west by an existing 7' high wooden fence and new landscaping designed to mitigate any adverse noise and light impacts.

C. If there are any car wash bays, is there a 6' foot high solid fence along the property line adjacent to any residentially used property?

N/A

### DRIVEWAYS

D. Do driveways and alleys, if any, conform to the requirements of the Public Works Department and to their specifications for concrete driveways and alleys? Are there any driveways proposed for freeway ramps or combined freeway ramps and frontage roads? These are not allowed.

The proposed development is not adjacent to any freeway. A copy of the site plan has been forwarded to the Traffic Engineering, Fire and Licenses Departments for review.

### CURBS

E. Are all driveways and parking areas bounded by a continuous 6" by 6" concrete curb?

The driveways and parking areas will be bounded by a 6" X 6" continuous curb as required by code.

F. Is the curb along parking areas at least 2' clear of any yard or buffer and 4' clear of any frontage property line?

Existing continuous 6" X 6" curb will remain along all parking areas and serve as the bumper curb for parking stalls. Plant material will be at least 2' from the interior curb.

G. Bumper Stops (3" x 12" planks supported by 8" x 8" posts, eight feet on center). Are bumper stops proposed on the boundary of any business (other than B1) or manufacturing district boundary in order to protect the adjacent building? If there is no building on the adjacent property, is there an approved curb at least 2' from the property line.

N/A.

#### NUMBER OF PARKING SPACES

H. Will the number of parking spaces provided conform with the zoning code requirement?

Yes. The code requires that 30 off-street parking spaces be provided (the site provides 81 spaces with 3 handicapped spaces included). The site complies with code standards.

#### LANDSCAPING

I. Is there a minimum of at least 20% of the site minus the building area that is landscaped in accordance with the criteria stated in the "Design Guidelines for Site Plan Review"?

Yes. Approximately 26% of the site is landscaped. The Planning Department's landscape architect has reviewed this plan and indicates that the quality, variety and placement of the plant materials are in compliance with the ordinance.

J. Is at least 10% of the site minus the building area landscaped with enhancements allowed by the "Design Guidelines for Site Plan Review"?

Yes.

K. Is there an organically landscaped 5' strip at the boundaries with any residentially or B1 zoned property.

Yes. Organically landscaped strips at least 5' in width are located at the north, east, and western borders of the site.

L. Is there landscaping in the area between the public sidewalk and the private curbs defining the limits of the driveways and the parking areas?

Yes. Organically landscaped areas with living plant material are located along the eastern and southern property lines.

#### LOT WIDTH AND BUILDING LOCATION

M. Is the minimum lot width at least 50' as required by code when there is business zoning abutting the site?

The site is approximately 248.00' in width.

N. Is the building located as close to the front lot line as allowed by ordinance? A greater setback may be negotiated with the planning commission.

No. The proposed facility will be located approximately 100' from University Ave. NE and 90' from Broadway St. NE.

#### LIGHTING

O. Are all outside lighting fixtures located and directed away from residential property in such a way that they are shielded from direct light rays and the amount of light does not exceed three foot-candles measured at the residence district boundary or ten foot-candles at the contiguous street right of way line?

All lighting is hooded, and complies with this section.

#### REFUSE

P. Is all refuse stored in a building, a trash transport, or in covered cans? And, is this storage area enclosed on all four sides by screening, compatible with the exterior design of the building, not less than two feet higher than the refuse container.

All refuse will be stored in a trash transport (dumpster) located at the western side of the proposed facility and enclosed on all four (4) sides by masonry walls (compatible with the exterior design of the building) with wooden gates not less than 2' higher than the refuse container.

Q. Have the applicants been told of their responsibility to regularly inspect and pick up litter on their property and public property within 100' of the site?

Yes.

**EXTERIOR APPEARANCE**

R. Is the exterior appearance of the building in conformance with the requirements that all sides be uniform in appearance?

The building's exterior will be uniform as required by code. The applicant has met with the local neighborhood organization in an effort to insure that the exterior appearance of the structure is compatible with surrounding nearby uses.

S. Is the building in a heritage preservation district or other area covered by design guidelines? If yes, does the design comply with the guidelines?

The building is not in a heritage preservation district.

T. Is the building in a planned unit development? If yes, is the design similar to the overall design of the development?

The building is not in a planned unit development.

**SIGNS**

U. Is there any sign within 50' of a residence or B1 Boundary? Is there just one roof or freestanding sign of no more than 150 sq. ft.?

The existing internally lit sign (14' X 14') located at the southeast corner of the property (University Ave. NE and Broadway St. NE) will remain on site. This sign is permitted by code and is not within 50' of a residence or B1 Boundary.

**HOURS OF OPERATION**

V. Will the hours of operation conform with the zoning code requirements of:

Zone	Sunday to Thursday	Friday and Saturday
B1 - B2S	7:00A TO 10:00P	7:00A TO 11:00P
B3 - B3C	6:00A TO 11:00P	6:00A TO MIDNIGHT
B4 - M3	6:00A TO 1:00A	6:00A TO 2:00A

The applicant has submitted a conditional use permit application for extended hours of operation to remain open for business from 6:00 AM until 12:00 PM (Midnight) Sunday through Thursday. This is beyond the stated hours of 6:00 AM until 11:00 PM Sunday through Thursday (B3 - B3C zoning district).

**SPEAKER BOXES**

W. Are the speaker boxes (if any) designed to be inaudible from the adjacent residential property?

Yes. No complaints have been received from adjacent residences regarding the operation of the existing speaker boxes.

X. Is the use in conformance with the comprehensive plan?

The comprehensive plan designates the site and adjacent uses along University Ave. NE and Broadway St. NE as residential. However, the subject site is located in a commercially zoned district. It is not unusual for commercial uses along certain areas in the city to be consistent with zoning and inconsistent with the Land Use Plan map. No change in land use designation is anticipated for this or adjacent sites.

**RECOMMENDATION:**

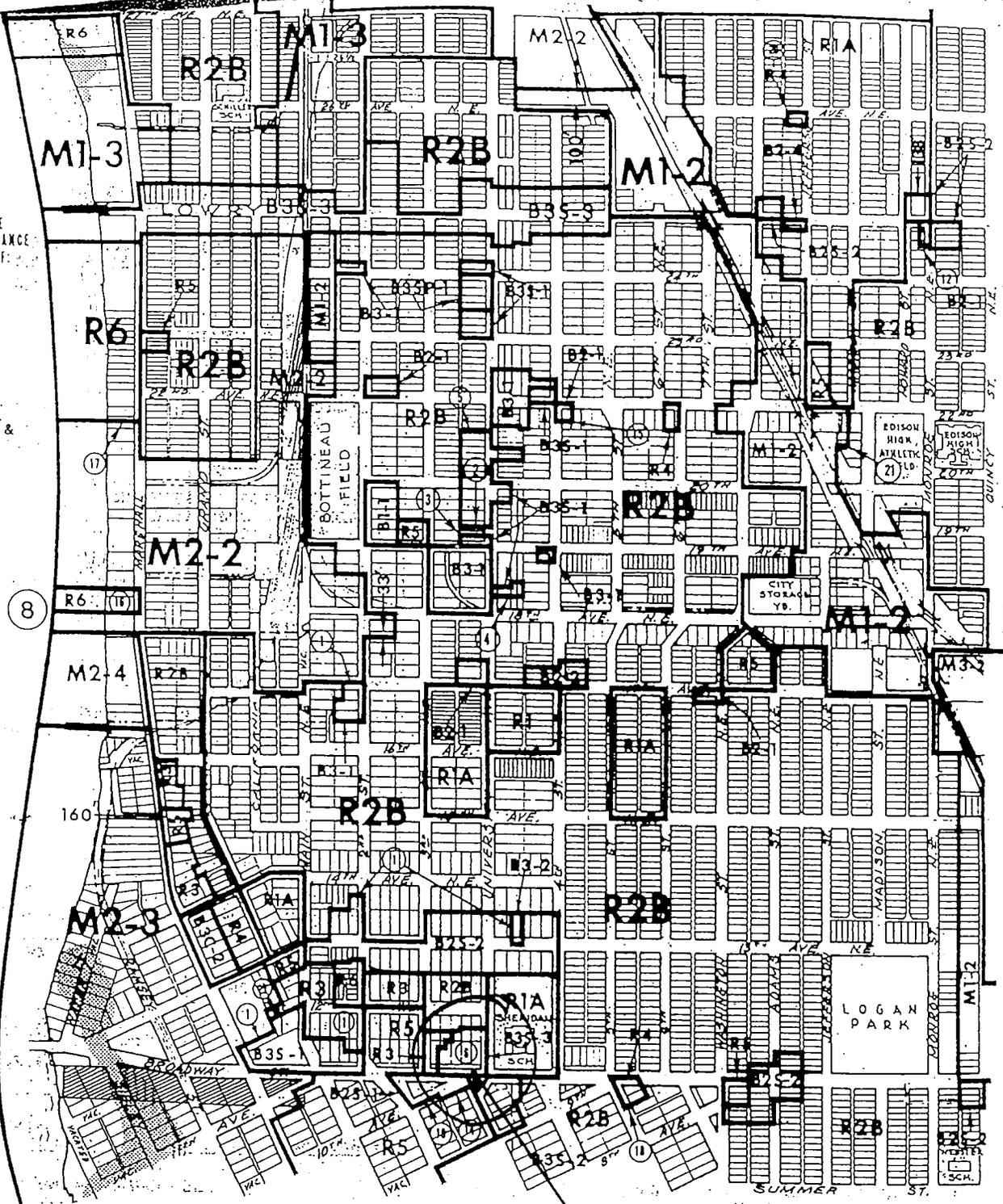
The City Planning Department recommends that the City Planning Commission adopt the findings prepared by staff and recommend that the City Council adopt like findings and that this application be approved.

mcs

FOR EXACT  
BOUNDARY SEE  
ZONING ORDINANCE  
AMENDMENT BY:

- ① 9-16-88
- ② 12-11-84
- ③ 10-28-86
- ④ 7-28-87
- ⑤ 7-3-85
- ⑥ 9-16-88 &  
4-27-90

- ⑩ 6-30-72
- ⑪ 7-13-73
- ⑫ 7-13-73
- ⑭ 6-27-75
- ⑮ 7-29-88
- ⑯ 6-24-84
- ⑰ 3-24-76
- ⑱ 2-11-77
- ⑲ 7-14-78
- ⑳ 5-11-78
- ㉑ 1-11-88
- ㉒ 9-27-91



RESIDENCE DISTRICTS

- R1
- R2
- R3
- R2B
- R2A
- R2C
- R3A
- R3B
- R3C
- R3D
- R3E
- R3F
- R3G
- R3H
- R3I
- R3J
- R3K
- R3L
- R3M
- R3N
- R3O
- R3P
- R3Q
- R3R
- R3S
- R3T
- R3U
- R3V
- R3W
- R3X
- R3Y
- R3Z

OFFICE-RESIDENCE DISTRICTS

- OR1-1,2,3,4
- OR2-1,2,3,4
- OR3-1,2,3,4
- OR4-1,2,3,4
- OR5-1,2,3,4
- OR6-1,2,3,4
- OR7-1,2,3,4
- OR8-1,2,3,4
- OR9-1,2,3,4
- OR10-1,2,3,4
- OR11-1,2,3,4
- OR12-1,2,3,4
- OR13-1,2,3,4
- OR14-1,2,3,4
- OR15-1,2,3,4
- OR16-1,2,3,4
- OR17-1,2,3,4
- OR18-1,2,3,4
- OR19-1,2,3,4
- OR20-1,2,3,4
- OR21-1,2,3,4
- OR22-1,2,3,4
- OR23-1,2,3,4
- OR24-1,2,3,4
- OR25-1,2,3,4
- OR26-1,2,3,4
- OR27-1,2,3,4
- OR28-1,2,3,4
- OR29-1,2,3,4
- OR30-1,2,3,4
- OR31-1,2,3,4
- OR32-1,2,3,4
- OR33-1,2,3,4
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- OR36-1,2,3,4
- OR37-1,2,3,4
- OR38-1,2,3,4
- OR39-1,2,3,4
- OR40-1,2,3,4
- OR41-1,2,3,4
- OR42-1,2,3,4
- OR43-1,2,3,4
- OR44-1,2,3,4
- OR45-1,2,3,4
- OR46-1,2,3,4
- OR47-1,2,3,4
- OR48-1,2,3,4
- OR49-1,2,3,4
- OR50-1,2,3,4

LIGHT MANUFACTURING DISTRICTS

- M1-1,2,3,4
- M2-1,2,3,4
- M3-1,2,3,4

LIMITED MANUFACTURING DISTRICTS

- M4-1,2,3,4

HEAVY MANUFACTURING DISTRICTS

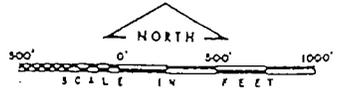
- M5-1,2,3,4

INDEX NUMBER OF ADJOINING PLATE

- 12

FLOODPLAIN DISTRICTS

SEE CHAPTER 543



APPLICANT'S NAME

TELEPHONE

1650 W. 82nd St.

Bloomington, MN 55431

ADDRESS

APPLICATION \_\_\_\_\_ 19  
BD. OF ADJUST. \_\_\_\_\_ 19

CITY PLANNING \_\_\_\_\_ 19  
CITY COUNCIL \_\_\_\_\_ 19

9

ZONING MAP CHANGE

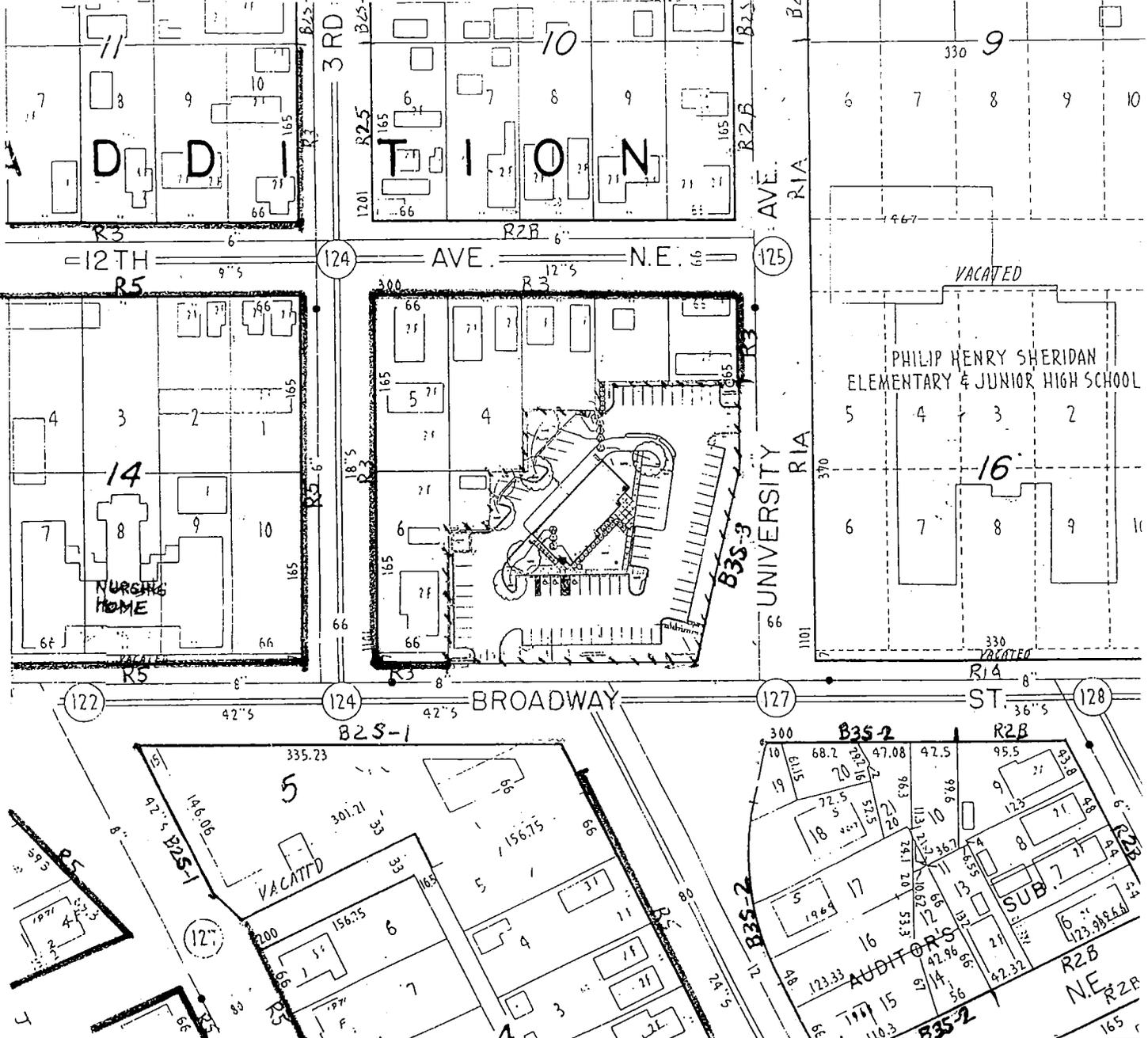
19

INITIAL

3rd

ZONING PLATE

WARD



PETITION FOR AMENDMENT		APPEAL FOR VARIATION		BOARD ACTION	
PRESENT ZONING	PROPOSED ZONING				

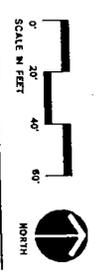
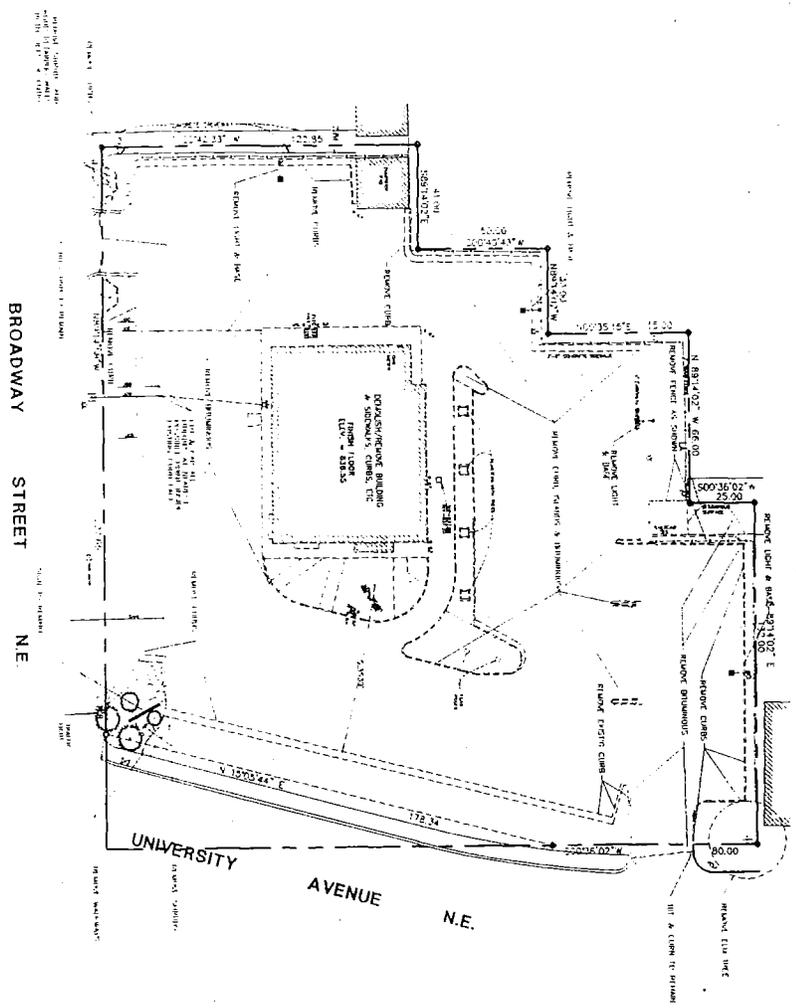
PROPERTY ADDRESS:

1100 University Ave. N.E.

FILE NUMBER

C-1614

# DEMOLITION & REMOVALS PLAN



- LEGEND**
- SHALLOW CURBS LINE
  - UNDERGROUND GAS
  - UNDERGROUND UTILITIES
  - FACE OF CONCRETE CURB
  - FACE OF CONCRETE CURB
  - WOOD FLOOR
  - EXISTING CURB
  - FLOOR FLOOR
  - FLOOR FLOOR
  - WOOD FLOOR TO FLOOR
  - WATER STAIN
  - ITEM TO BE DEMOLISHED/REMOVED

**DR-1**

**McDonald's**  
 1100 East University Avenue  
 Minneapolis, Minnesota  
**DEMOLITION & REMOVALS PLAN**

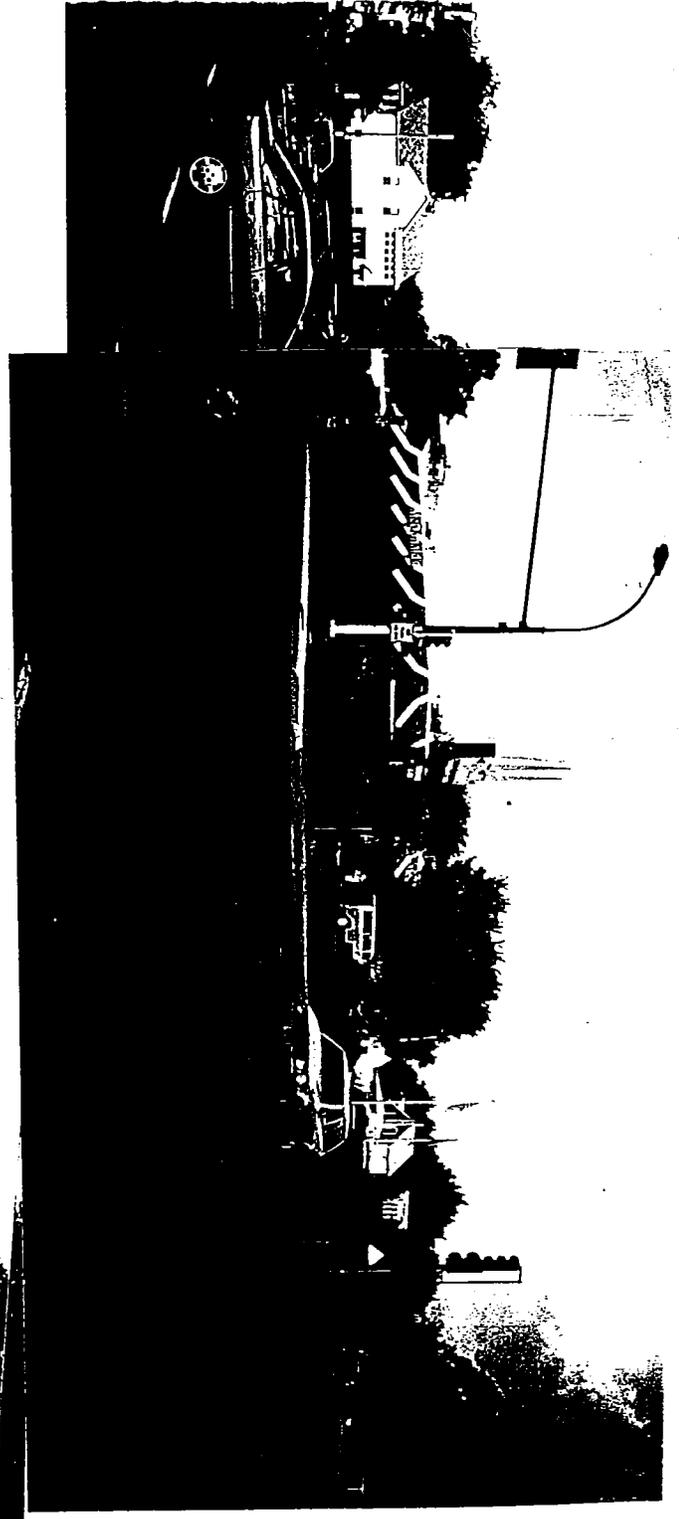
I hereby certify that the plan, specification or report herein prepared by me or under my direct supervision and that I am a duly registered Landscape Architect under the laws of the State of Minnesota.

Signature: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Registration Number: \_\_\_\_\_

REV	DATE	DESCRIPTION	BY	SCALE
1	7.19.94	REVISED CURBS / GRADING & DRAINAGE	PL	
2	7.19.94	SKETCHES / MEAN BD	PL	







Minneapolis Planning Department Report

CONDITIONAL USE PERMIT APPLICATION  
C-1614

DATE: August 10, 1994  
APPLICANT: McDonald's Corporation  
ADDRESS OF PROPERTY: 1100 University Ave. NE  
EXISTING ZONING: B2S-1  
PROPOSED USE: Extension of hours of operation.

**BACKGROUND:**

The applicant requests an extension of the hours of operation for a proposed new McDonalds restaurant to be located at 1100 University Ave. NE (replacing the existing facility) to close at 12:00 AM Midnight Sunday through Thursday instead of 11:00 PM. Business hours for commercial uses located in the B2S zoning district are 6:00 AM to 11:00 PM Sunday through Thursday and 6:00 AM to Midnight Friday & Saturday. The proposed extension of hours will allow the applicant to meet consumer demand for late-night convenience food service and is consistent with the hours of operation for the restaurant since 1975.

**Extended Hours Guidelines**

The Planning department uses the following guidelines in the assessment of extended hour requests.

- A. Location. The proposed restaurant is located in a B2S-1 zoning district. Residential uses are located to the north (R2B) and west (R3), east (R1A/school across University Ave. NE), commercial to the southeast (B3S-2/SuperAmerica across Broadway Ave. NE) and southwest (B2S-1/office use across Broadway Ave. NE). It should be noted that this use with extended hours has been located here since 1975. The closest residential use is over 100' to the northwest. It shares the block with residential uses.
- B. Character of the area. The character of the subject intersection (Broadway St. NE and University Ave. NE) is commercial with an educational use located across University Ave. NE. to the east. The surrounding area is low-density residential.

- C. Conformance of use. The commercial use located to the southeast (SuperAmerica) currently operates 24-hours a day. Also, because of the proposed new construction, the site must comply with all standards listed in section 530.10 of the zoning code. The use is in conformance to the zoning and the character of the intersection.
- D. Complaints Received. No complaints have been filed with the Inspections Department regarding the current extended hours of operation .
- E. Comprehensive Plan. The subject site is designated as residential. The subject use is not consistent with the Land Use Plan map. However, the site is located in a commercially zoned district (B2S-1).

The use is in conformance to policies 58 & 58a of the "Physical Environment" section of the Comprehensive Plan which indicates that buffer or transitional zones should be established between residential and other uses.

#### Neighborhood Review

The Sheridan Neighborhood Group and residents reviewed this request for extended hours on July 19th, 1994. The neighborhood supports of the request to extend hours of operation.

#### FINDINGS AS REQUIRED BY THE MINNEAPOLIS ZONING CODE:

The Minneapolis City Planning Department has analyzed the application and makes the following findings:

1. The establishment, maintenance, or operation of the proposed use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The proposed use is compatible with the commercial uses in the immediate area. The proposed new restaurant will be located at the intersection of Broadway St. NE and University Ave. NE with other existing commercial uses and a school. Residences located to the north and west of the site will be screened from the subject commercial use by the existing 7' high wooden fence and the installation of additional plant material to mitigate any negative noise, light, and visual affects. No complaints have been received regarding the current and proposed hours of operation. This restaurant has operated with the stated extended hours since 1975.

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2. The proposed use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed use will not negatively impact nearby uses as the site will be heavily landscaped and screened along the northern and western property lines which abut residential properties. All activities will be conducted on the subject commercial property. The commercial facility will be located approximately 100' from the nearest residence to the northwest.

3. The establishment of the proposed use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The surrounding properties are fully developed.

4. Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided..

The site is serviced by city streets, utilities and drainage system.

5. Adequate measures have been or will be taken to provide ingress and egress designed as to minimize traffic congestion in the public streets.

Existing curb-cuts located on University Ave. NE and Broadway St. NE. will be maintained to provide adequate ingress and egress.

6. The proposed use will in all other respects conform to the applicable regulations of the district in which it is located when all other departments sign off on the required permits.

**RECOMMENDATION:**

The City Planning Department recommends that the City Planning Commission adopt the findings prepared by staff and recommends that the City Council adopt like findings and that the application be approved.

mcs

REPORT ON APPLICATION FOR CONDITIONAL USE PERMIT

APPLICANT NAME: McDonald's Corporation

By Fred Reynolds

TELEPHONE: 884-4355

ADDRESS: 1650 West 82Nd St.

Bloomington, MN 55431

DATE	ZONING	PLANS	PROPOSED
FILED: 7-12-94	WARD: 3rd	PLATE: 9	ZONING: B3S-3

APPLICATION FOR CONDITIONAL USE PERMIT: to permit the convenience food restaurant to operate beyond the hours permitted in Sec. 530.10 of the Zoning Code.

AUTHORITY: Section 540.1410 (9)

(Reference To Ordinance)

PROPERTY: 1100 University Ave. N.E.

(Address)

LEGAL DESCRIPTION: See attachment

Approx.

LOT SIZE: X = 50,000 sq. ft.

Frontage	Depth	Area
----------	-------	------

BUILDING SIZE: See Plan.

SETBACK: See plan

PRESENT USE: Convenience food restaurant

VIOLATION OF ORDINANCES, IF ANY: None pertinent.

REPORT OF ZONING ADMINISTRATOR:

(5) *Refuse and litter.*

- (a) *Refuse.* All refuse must be stored in a building, a trash transport (dumpster), or in covered cans. The storage area must be enclosed on all four (4) sides by screening, compatible with the exterior design of the building, not less than two (2) feet higher than the refuse container.
- (b) *Litter.* Facilities subject to the requirements of this chapter shall regularly inspect their premises from lot line to lot line, all adjacent streets, sidewalks and alleys adjoining their premises and sidewalks and alleys within one hundred (100) feet of such facility for purposes of removing any litter found thereon.

The provisions of this subdivision shall be enforced by the director of inspections. Upon failure of any facility to comply with the requirements of this section, after seven (7) days written notice to the facility, any costs incurred by the city in cleaning up such litter shall be assessed against the facility that is the source of the litter.

- (6) *Exterior appearance.* For new or existing, freestanding buildings, all sides of the building not within one foot of an adjoining building shall be uniform in appearance with nonwindow surfaces of the building's primary face fronting on a street. Where a site is within an historic preservation district or other area covered by city council-adopted design guidelines, those guidelines shall be complied with in design of the structure. In a planned unit development, the design shall be similar to the overall design of the development.
- (7) *Signs.* No sign can be located within fifty (50) feet of a B1 or residential district boundary. One roof sign or freestanding sign per zoning lot is allowed, subject to the zoning regulations for the applicable zoning district. The sign shall not exceed one hundred fifty (150) square feet per face. Signs are also subject further to the requirements

of sections 540.70—540.200 of the zoning code.

- (8) *Hours of operation.* Hours of operation for all facilities shall be as follows:
  - (a) *In B1—B2S zones:* 7:00 a.m. to 10:00 p.m. (11:00 p.m. on Fridays and Saturdays).
  - (b) *In B3—B3C, RC, T, and TC zones:* 6:00 a.m. to 11:00 p.m. (midnight on Fridays and Saturdays).
  - (c) *B4 to M3 zones:* 6:00 a.m. to 1:00 a.m. (2:00 a.m. on Saturdays and Sundays).

Longer hours than those provided above may be requested by applying for a conditional use permit.

In all zoning districts, operating hours for facilities licensed to sell alcoholic beverages shall be those permitted by the liquor, wine, or beer license and any special late hours food license approved for the facility. Operating hours beyond those permitted by the license(s) may be requested by applying for a conditional use permit.

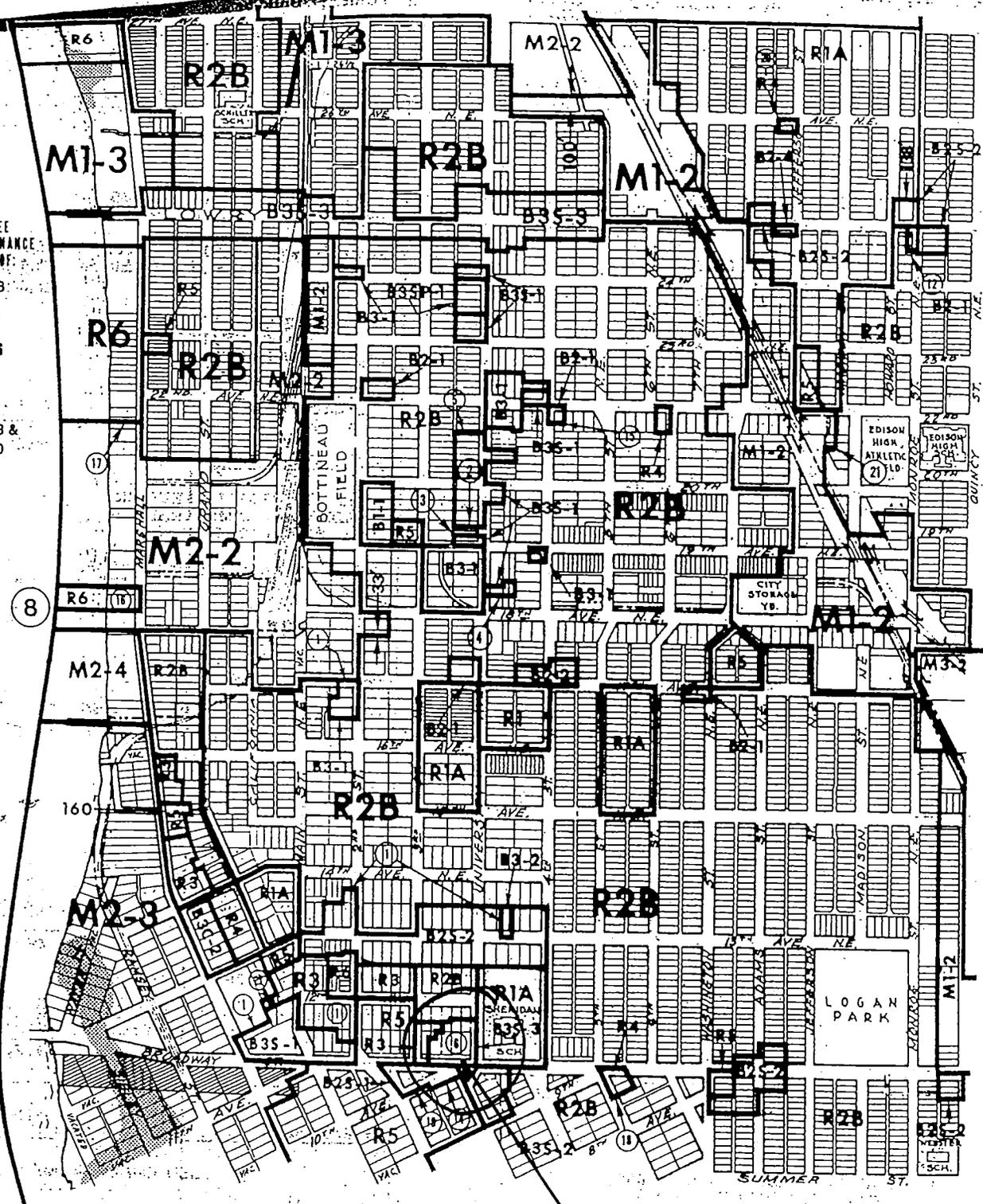
- (9) *Speaker boxes.* Speaker boxes designed to communicate from drive-thru's or pump islands shall not be audible on any residential property adjacent to the business. The director of inspections shall order removal of speaker boxes used in connection with the sale of nonpetroleum related products upon proof of two (2) or more convictions within a twelve-month period of violations of the city noise ordinance.
- (10) *Site modifications.* Modifications, or additions to existing structures, which substantially affect the usage, landscaping, parking and circulation, seating capacity, bulk, or add a drive-thru window, shall be subject to all provisions of section 530.10.
- (11) *Existing buildings.* Any of the regulated uses in this section which propose to locate in an existing storefront building which is within five (5) feet of the front property line, in a shopping center where it shares a common wall with other uses, or in a multi-tenant building, shall only be required to

- FRI  
NITE  
SAT  
NITE

C-1614

FOR EXACT BOUNDARY SEE ZONING ORDINANCE AMENDMENT OF:

- ① 9-16-88
- ② 12-11-84
- ③ 10-28-86
- ④ 7-28-87
- ⑤ 7-3-85
- ⑥ 9-16-88 & 4-27-90
- ⑩ 6-30-72
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- ⑱ 2-11-77
- ⑲ 7-14-78
- ⑳ 5-11-79
- ㉑ 1-11-80
- ㉒ 9-27-91



RESIDENCE DISTRICTS

- R1
- R1A
- R2
- R2A
- R2B
- GENERAL RESIDENCE DISTRICTS
- RA
- RB
- RC
- RD
- RE
- RESA
- REB
- REA

OFFICE-RESIDENCE DISTRICTS

- B1-1,2,3,4
- NEIGHBORHOOD BUSINESS DISTRICTS
- B2-1,2,3,4
- B2S-1,2,3,4
- COMMUNITY BUSINESS DISTRICTS
- B3-1,2,3,4
- B3S-1,2,3,4
- B3C-1,2,3,4
- B3SP-1,2,3,4
- CENTRAL BUSINESS DISTRICTS
- B4-1,2
- B4S
- B4C-1,2
- B4SP

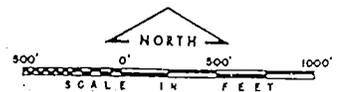
LIGHT MANUFACTURING DISTRICTS

- M1-1,2,3,4
- LIMITED MANUFACTURING DISTRICTS
- M2-1,2,3,4
- HEAVY MANUFACTURING DISTRICTS
- M3-1,2,3,4

DISTRICT BOUNDARIES

INDEX NUMBER OF ADJOINING PLATE

FLOODPLAIN DISTRICTS SEE CHAPTER 543



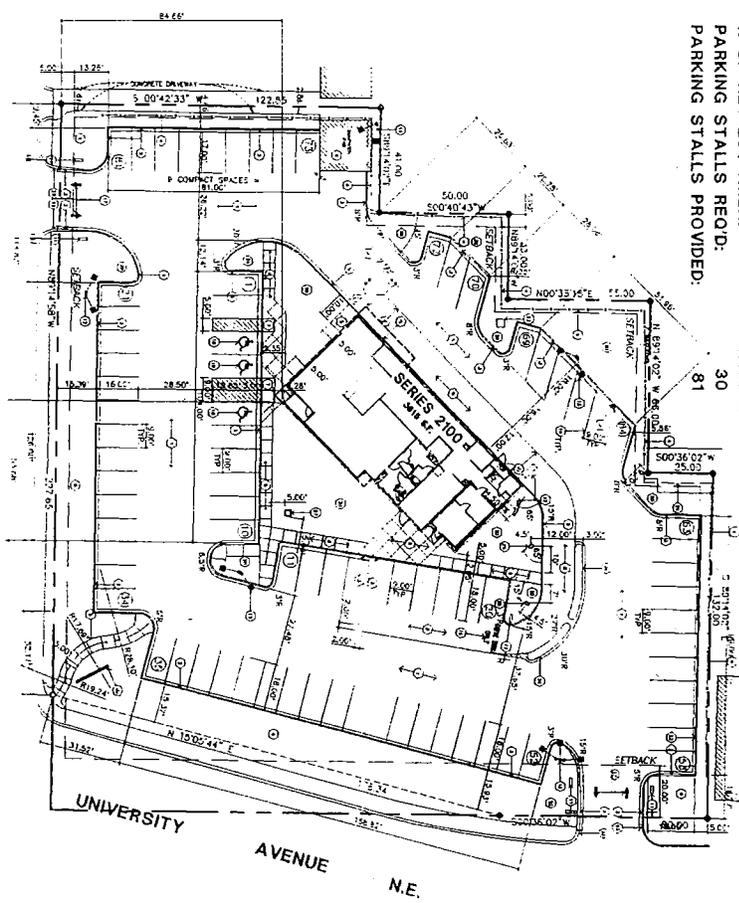
1100 UNIVERSITY AVE. SE  
SITE (WILDONALDS)





**SITE SUMMARY**

GROSS LOT AREA: 55,310.55 S.F.  
 GROSS BLDG. AREA: 3615 S.F.  
 NET LOT AREA: 51695.55 S.F.  
 LANDSCAPED AREA: 14,440 S.F.  
 LANDSCAPED AREA AS % OF NET LOT AREA: 27.93 %  
 PARKING STALLS PROVIDED: 30  
 81



**SITE PLAN**



NOTE:  
 BEARING OF SOUTHWEST WALL  
 IS N 89° 50' 00" E

SEE PLAN FOR  
 LEGEND

**GENERAL NOTES**

1. THE SITE PLAN IS BASED ON THE SURVEY AND RECORD PLAT...  
 2. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS...  
 3. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS...  
 4. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS...  
 5. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS...

**CONSTRUCTION NOTES**

1. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS...  
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 4. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS...  
 5. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS...

**LEGEND**

- SANITARY SEWER LINE
- UNDERGROUND GAS
- UNDERGROUND FIBER OPTIC
- FIVE FEET CONCRETED CURB
- WALKWAY
- 6" DIA. VENTILATION PIPE
- EXISTING CURB AND GUTTER
- LIGHT POLE
- POWER POLE
- WOOD FENCE TO PRIVATE
- WOOD SIGNET

**DIRECTIONAL SIGN SCHEDULE**

- 1. 1121 East University Ave.
- 2. 1121 East University Ave.
- 3. 1121 East University Ave.
- 4. 1121 East University Ave.
- 5. 1121 East University Ave.
- 6. 1121 East University Ave.
- 7. 1121 East University Ave.
- 8. 1121 East University Ave.
- 9. 1121 East University Ave.
- 10. 1121 East University Ave.

REV	DATE	DESCRIPTION	BY	SCALE REF.
1	7.16.94	REVISED CURBS / GROUND & DRAINAGE	PL	
2	7.15.94	SIDEWALKS / DRIVE B.C.	PL	

I hereby certify that the plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Landscape Architect under the laws of the State of Minnesota.

Signature: \_\_\_\_\_  
 Registration Number: \_\_\_\_\_

**McDonald's**  
 1100 East University Avenue  
 Minneapolis, Minnesota  
**SITE PLAN**

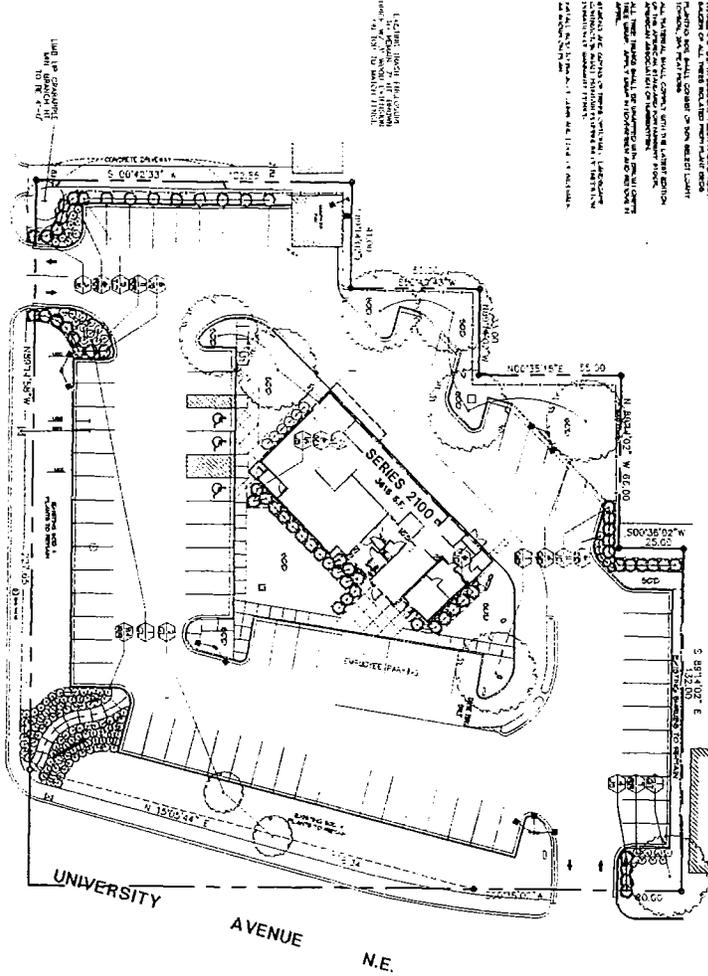
**DOVOUS JOHNSON & RUGGIERI**

1121 East University Ave.  
 Minneapolis, MN 55412  
 (612) 338-4600

**C-1**

# LANDSCAPE PLAN

BROADWAY STREET N.E.

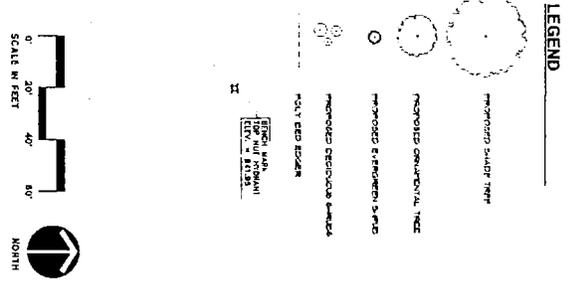
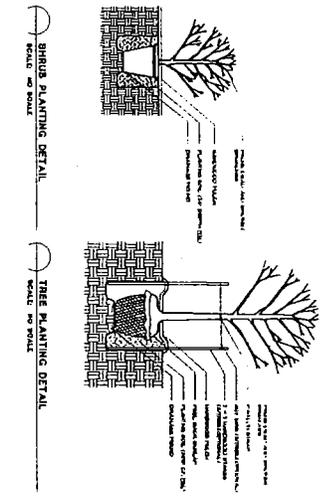


THESE PLANS ARE PREPARED FOR THE ARCHITECT'S USE ONLY. THE ARCHITECT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE LANDSCAPE AS SHOWN ON THESE PLANS. THE LANDSCAPE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE LANDSCAPE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE LANDSCAPE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.

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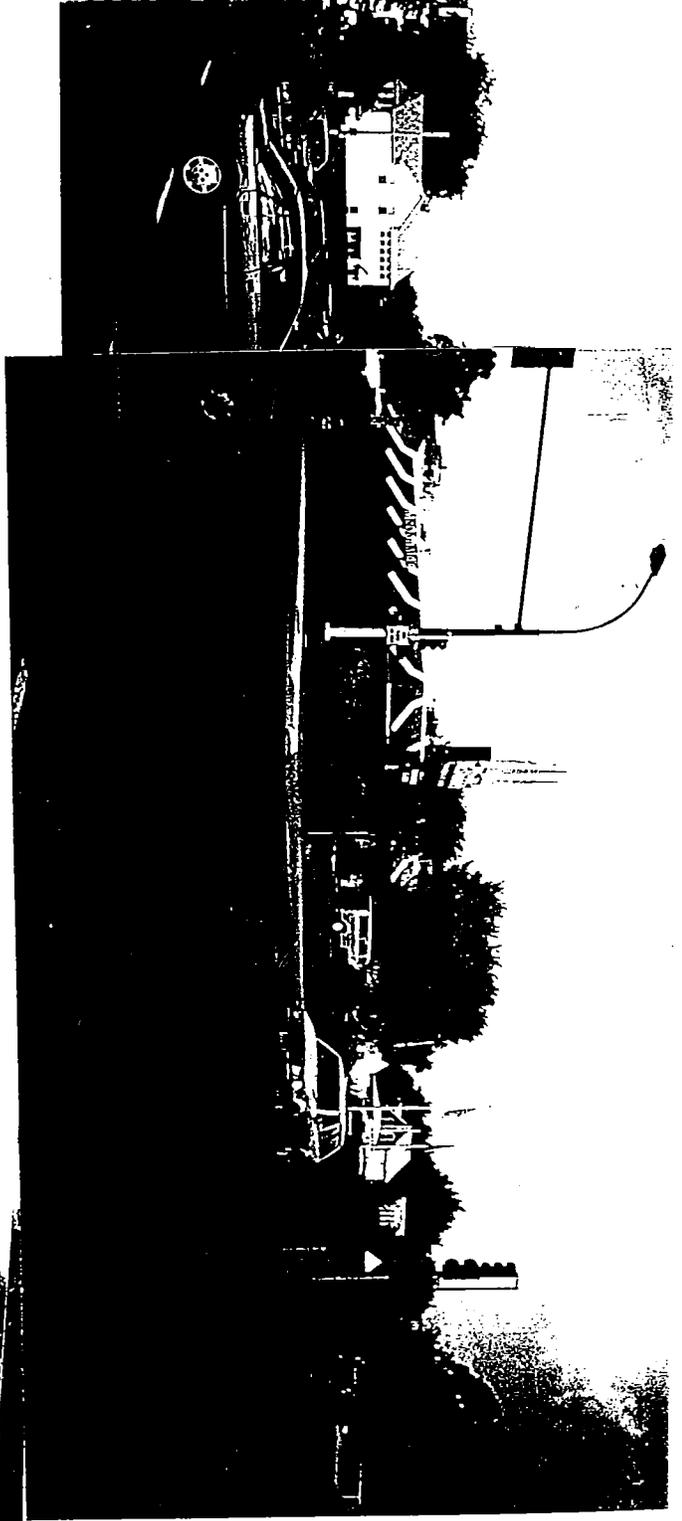
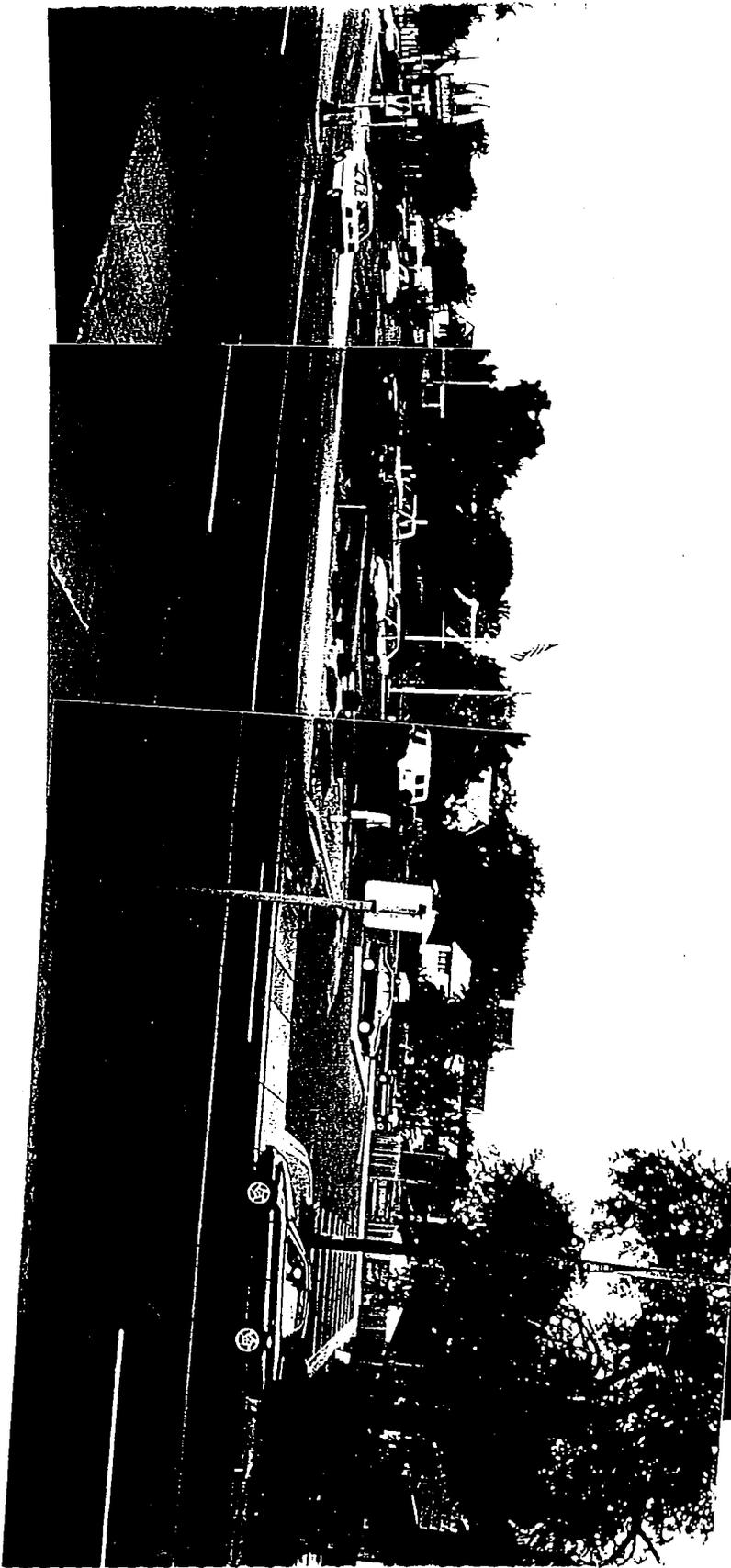
NO.	QTY	DESCRIPTION	SIZE	REMARKS
1	1	SHRUB PLANTING DETAIL	12" DIA. BUB	SEE LEGEND
2	1	TREE PLANTING DETAIL	12" DIA. BUB	SEE LEGEND
3	1	PROPAGATED SHADY TREE	12" DIA. BUB	SEE LEGEND
4	1	PROPAGATED ORNAMENTAL TREE	12" DIA. BUB	SEE LEGEND
5	1	PROPAGATED SPREADER 5-6 FT	12" DIA. BUB	SEE LEGEND
6	1	PROPAGATED DECIDUOUS SHRUB	12" DIA. BUB	SEE LEGEND
7	1	PROPAGATED EVERGREEN 5-6 FT	12" DIA. BUB	SEE LEGEND
8	1	PROPAGATED SHADY TREE	12" DIA. BUB	SEE LEGEND
9	1	PROPAGATED ORNAMENTAL TREE	12" DIA. BUB	SEE LEGEND
10	1	PROPAGATED SPREADER 5-6 FT	12" DIA. BUB	SEE LEGEND
11	1	PROPAGATED DECIDUOUS SHRUB	12" DIA. BUB	SEE LEGEND
12	1	PROPAGATED EVERGREEN 5-6 FT	12" DIA. BUB	SEE LEGEND



**McDonald's**  
1100 East University Avenue  
Minneapolis, Minnesota  
LANDSCAPE PLAN

**DOYOLIS JOHNSON & RUGGIERI**  
1131 East Franklin Ave.  
Minneapolis, MN 55404  
TEL: 612-331-0000

NO.	DATE	DESCRIPTION	BY	SCALE	REV.
1	7.18.94	REVISED CURVES / GRADING & DRAINAGE	PL		
2	7.13.94	SUBMITTAL / SIGN. BD.	PL		
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City of Minneapolis  
PLANNING DEPARTMENT  
Phone: 673-3242, Fax: 673-2728

**INTEROFFICE MEMORANDUM**

August 24, 1994

TO: City Planning Commission  
FROM: Fred Neet, City Planner  
RE: Applications by McDonald's Corporation for Site Plan Review (PR-262) and Conditional Use Permit (C-1614) at 1100 University Avenue N.E.

Because of concerns raised by neighbors at the August 10 meeting of the City Planning Commission, the recognized neighborhood organization has met three times with the most affected neighbors, and staff met this morning with the applicant's architects, to discuss outstanding issues.

Based on these meetings, and further staff review, revised staff reports shall be prepared to reflect the findings and conclusion indicated below.

Most importantly, based upon the concerns expressed, staff now recommends **denial** of the conditional use permit for expanded hours. In the B3S-3 district, which is the first district which allows a fast-food restaurant, hours of operation are permitted as of right from 6 a.m. to 11 p.m. Sundays through Thursdays (midnight Fridays and Saturdays). McDonald's is requesting continuation of existing hours to midnight Sunday through Thursday. The most affected neighbors, Spinler's Homeowners Association, now complain of noise emanating primarily from automobiles and their occupants which use McDonald's drive-through lane. The Association further asserts that repositioning the building as proposed will increase the noise. These assertions are the basis for revision of the original staff recommendation.

One alternative, which the applicant can be expected to propose, is to approve the expanded hours, subject to Commission review 12 months after operations begin. The third alternative is that McDonald's reapply for expanded hours in the future.

Second: Staff confirms the original recommendation to **approve** the site plan review.

Staff is convinced that all reasonable means to mitigate necessary noise have been studied and incorporated. Specifically, McDonald's will construct a sound wall, per specifications provided by Minnesota's Department of Transportation (MnDOT), on the lot lines adjacent to the drive-through. In addition, McDonald's will employ best management practices to reduce

noise from behavior such as loud radios or voices, and will patrol the drive-through area each half-hour. Violators of reasonable noise standards will be ejected from the premises.

Other means to mitigate noise were found to be infeasible. Repositioning the building closer to the intersection would cost 24 parking spaces which is unaffordable. It would place the less attractive side of the building at the most visible site, on Broadway Street. And it would create a safety hazard for employees who would transport trash hourly from the building to the trash receptacle across drive lanes.

A canopy over the drive-through lane was rejected because vehicle exhaust would be drawn into the building.

A second sound barrier, along the drive-through would reduce the decibel by a maximum of 5-7 decibels, according to MnDOT, but would be prohibitively expensive, and would create a potential lurking area between the two walls which could not be continuously observed by McDonald's employees.

In addition to noise mitigation, McDonald's agrees to provide a roof on the outside trash receptacle to contain fugitive odors and deter vandalism.

Finally, the original staff report must be amended to reflect the following:

Existing zoning is B3S-3 rather than B2S-1.

The new wooden fence shall be eight feet high rather than seven feet, as requested by the neighbors and recommended by the City Planning Department for noise mitigation.

Revised site and landscape plans are attached which reflect the modifications indicated above.

### RECOMMENDATION

The City Planning Department recommends that the City Planning Commission adopt the findings prepared by staff and recommend that the City Council adopt like findings and **approve** the site plan as amended and **deny** the conditional use permit for extended hours.

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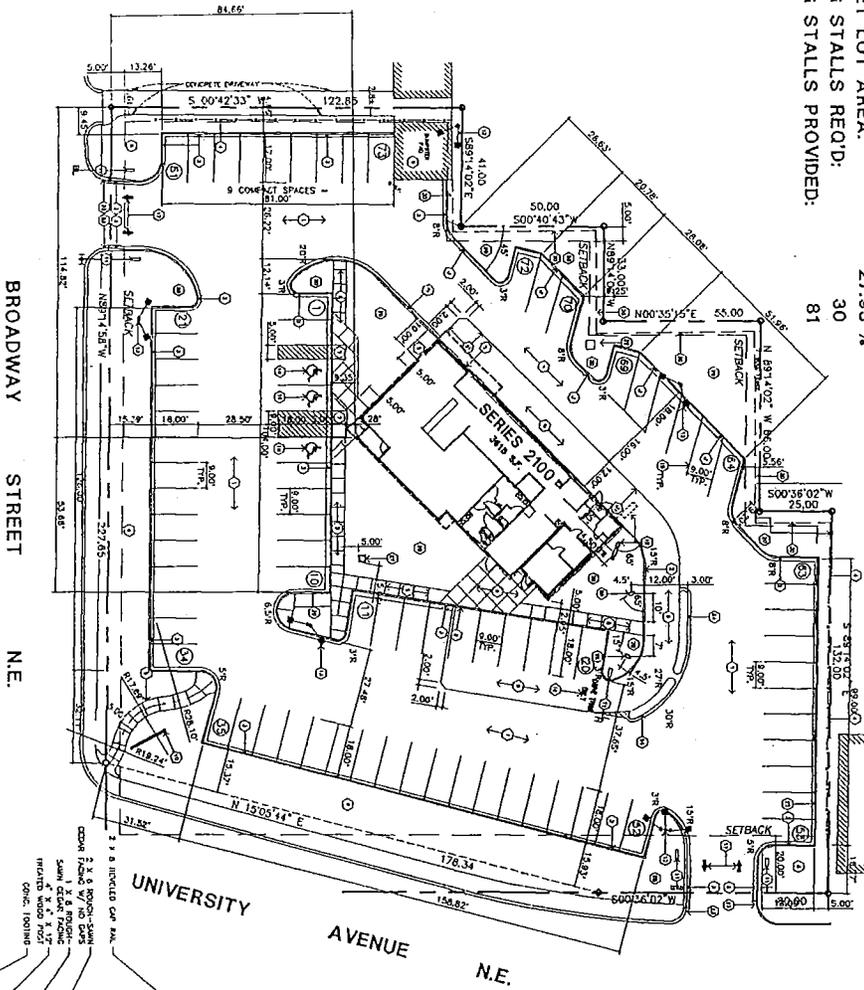
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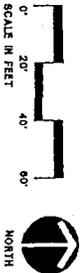
**SITE SUMMARY**

GROSS LOT AREA: 55,310.55 S.F.  
 GROSS BLDG. AREA: 3615 S.F.  
 NET LOT AREA: 51695.55 S.F.  
 LANDSCAPED AREA: 14,440 S.F.  
 LANDSCAPED AREA AS % OF NET LOT AREA: 27.93 %  
 PARKING STALLS RECID: 81  
 PARKING STALLS PROVIDED: 30

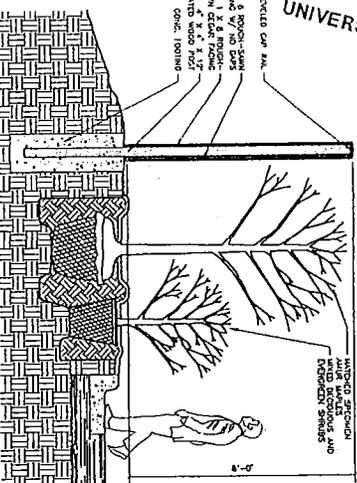


NOTE:  
 BEARING OF SOUTHWEST WALL  
 IS N 45° 40' 43" E

**SITE PLAN**



1 SOUND ABATEMENT WALL SECTION  
 SCALE: 1/2" = 1'-0"



- GENERAL NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MINNEAPOLIS AND THE STATE OF MINNESOTA.
  2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
  3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
  4. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES.
  5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES.
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  7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES.
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- LEGEND**
- SKIN SHARPEN STEEL LINE
  - UNDERGROUND GAS
  - UNDERGROUND ELECTRIC
  - FACE OF CONCRETE CURB
  - WATER VALVE
  - ELECTRIC GAS VALVE
  - ELECTRIC GUARD POST
  - LIGHT POLE
  - POWER POLE
  - WOOD FENCE TO REMAIN
  - WATER SERVICE

- DESCRIPTIVE SIGN SCHEDULE**
- |           |                 |
|-----------|-----------------|
| A. DRIVE  | F. DRIVE-CHANG  |
| B. DRIVE  | G. DRIVE-CHANG  |
| C. DRIVE  | H. DRIVE-CHANG  |
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| DB. DRIVE | DG. DRIVE-CHANG |
| DC. DRIVE | DH. DRIVE-CHANG |
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| DM. DRIVE | DR. DRIVE-CHANG |
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| DP. DRIVE | DU. DRIVE-CHANG |
| DQ. DRIVE | DV. DRIVE-CHANG |
| DR. DRIVE | DW. DRIVE-CHANG |
| DS. DRIVE | DX. DRIVE-CHANG |
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| GL. DRIVE | GQ. DRIVE-CHANG |
| GM. DRIVE | GR. DRIVE-CHANG |
| GN. DRIVE | GS. DRIVE-CHANG |
| GO. DRIVE | GT. DRIVE-CHANG |
| GP. DRIVE | GU. DRIVE-CHANG |
| GQ. DRIVE | GV. DRIVE-CHANG |
| GR. DRIVE | GW. DRIVE-CHANG |
| GS. DRIVE | GX. DRIVE-CHANG |
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| GV. DRIVE | HA. DRIVE-CHANG |
| GW. DRIVE | HB. DRIVE-CHANG |
| GX. DRIVE | HC. DRIVE-CHANG |
| GY. DRIVE | HD. DRIVE-CHANG |
| GZ. DRIVE | HE. DRIVE-CHANG |
| HA. DRIVE | HF. DRIVE-CHANG |
| HB. DRIVE | HG. DRIVE-CHANG |
| HC. DRIVE | HH. DRIVE-CHANG |
| HD. DRIVE | HI. DRIVE-CHANG |
| HE. DRIVE | HJ. DRIVE-CHANG |
| HF. DRIVE | HK. DRIVE-CHANG |
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| HH. DRIVE | HM. DRIVE-CHANG |
| HI. DRIVE | HN. DRIVE-CHANG |
| HJ. DRIVE | HO. DRIVE-CHANG |
| HK. DRIVE | HP. DRIVE-CHANG |
| HL. DRIVE | HQ. DRIVE-CHANG |
| HM. DRIVE | HR. DRIVE-CHANG |
| HN. DRIVE | HS. DRIVE-CHANG |
| HO. DRIVE | HT. DRIVE-CHANG |
| HP. DRIVE | HU. DRIVE-CHANG |
| HQ. DRIVE | HV. DRIVE-CHANG |
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| HS. DRIVE | HX. DRIVE-CHANG |
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| IM. DRIVE | IR. DRIVE-CHANG |
| IN. DRIVE | IS. DRIVE-CHANG |
| IO. DRIVE | IT. DRIVE-CHANG |
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| IQ. DRIVE | IV. DRIVE-CHANG |
| IR. DRIVE | IW. DRIVE-CHANG |
| IS. DRIVE | IX. DRIVE-CHANG |
| IT. DRIVE | IY. DRIVE-CHANG |
| IU. DRIVE | IZ. DRIVE-CHANG |
| IV. DRIVE | JA. DRIVE-CHANG |
| IW. DRIVE | JB. DRIVE-CHANG |
| IX. DRIVE | JC. DRIVE-CHANG |
| IY. DRIVE | JD. DRIVE-CHANG |
| IZ. DRIVE | JE. DRIVE-CHANG |
| JA. DRIVE | JF. DRIVE-CHANG |
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1	7.18.94	REVISED CURBS / GRANITE & DRAINAGE	FL
2	7.19.94	SIDEWALKS / MENU BO.	FL

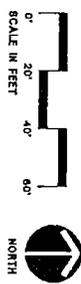
**McDonald's**  
 1100 East University Avenue  
 Minneapolis, Minnesota

**JOYNS & RUCCI**

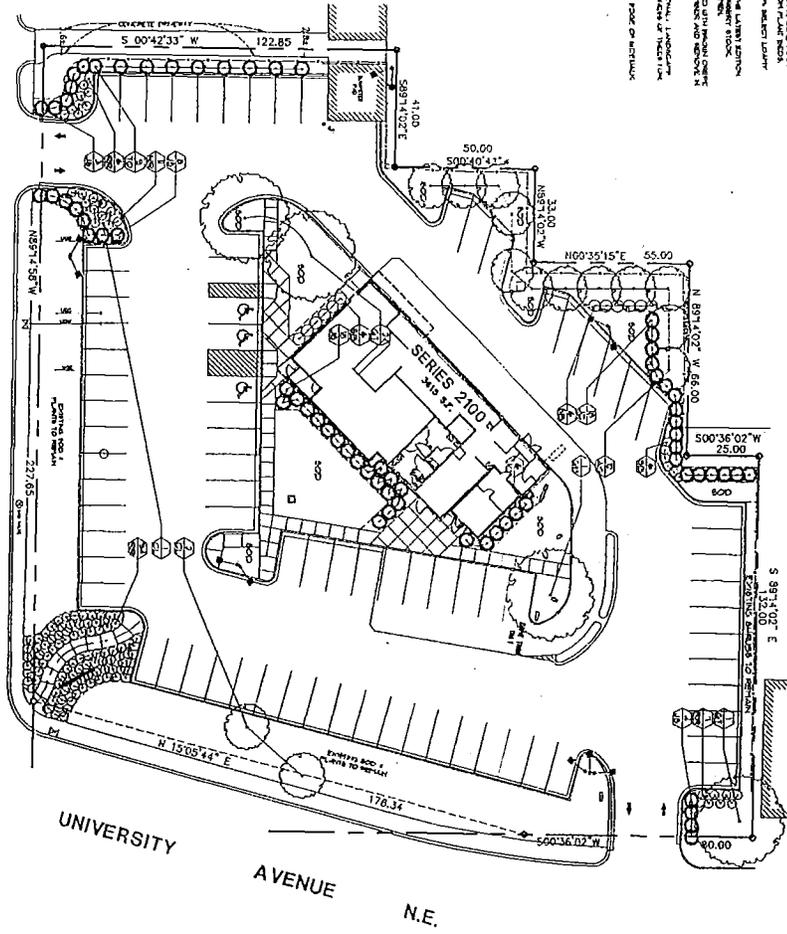
**ASPIRE**

**L-1**

# LANDSCAPE PLAN



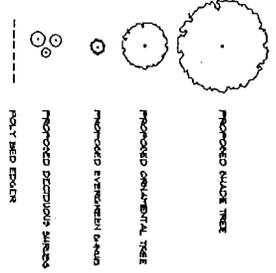
BROADWAY STREET N.E.



LANDSCAPE CONSTRUCTION SHALL BE PERFORMED BY THE CONTRACTOR UNDER THE CLOSE SUPERVISION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MINNEAPOLIS AND THE STATE OF MINNESOTA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE FEATURES.

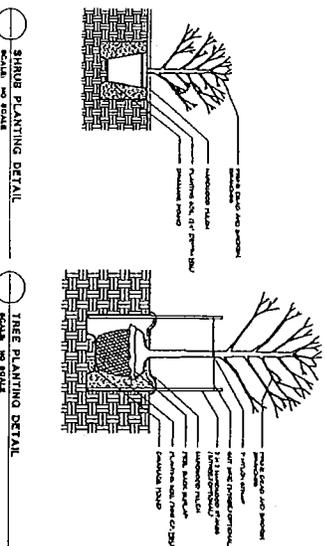
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UNIVERSITY AVENUE N.E.



## LEGEND

PLANT CODE	PLANT NAME	PLANT SIZE	PLANT QUANTITY
1	RED BUDGED DOGWOOD	1 1/2" DIA. CONT.	2
2	DOGWOOD	1 1/2" DIA. CONT.	2
3	DOGWOOD	1 1/2" DIA. CONT.	2
4	DOGWOOD	1 1/2" DIA. CONT.	2
5	DOGWOOD	1 1/2" DIA. CONT.	2
6	DOGWOOD	1 1/2" DIA. CONT.	2
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10	DOGWOOD	1 1/2" DIA. CONT.	2
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97	DOGWOOD	1 1/2" DIA. CONT.	2
98	DOGWOOD	1 1/2" DIA. CONT.	2
99	DOGWOOD	1 1/2" DIA. CONT.	2
100	DOGWOOD	1 1/2" DIA. CONT.	2



NO.	DATE	DESCRIPTION	BY
1	7.18.94	REVISED CURBS / GRADING & DRAINAGE	PL
2	7.19.94	SIDEWALKS / MENU BO.	PL

**McDonald's**
  
 1100 East University Avenue
   
 Minneapolis, Minnesota



February 5, 2014

## NOTICE OF A PUBLIC HEARING

### **Regarding: 1100 and 1118 University Ave NE**

Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for the following variances for the property located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District:

- Variance to increase the number of freestanding signs from one to four.
- Variance to increase the maximum area of freestanding signs from 80 square feet to 330 square feet.
- Variance to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches.
- Variance to increase the maximum height of a freestanding sign from 8 feet to approximately 10 feet 9 inches.

The Minneapolis Board of Adjustment will meet on **Thursday, February 20, 2014, at 4:30 p.m., in Room 317 City Hall**, 350 S. 5th St., Minneapolis, MN. Interested parties are invited to attend and be heard. Planning Department staff will issue a recommendation to the Zoning Board of Adjustment. After hearing from the public, the Zoning Board of Adjustment will make a determination based on required legal findings of fact. Please visit <http://www.minneapolismn.gov/meetings/zba> for the agenda with staff reports (web page will be updated by the end of the day Thursday prior to the meeting date).

In accordance with the Zoning Code, all property owners within 350 feet of the subject property are notified of this public hearing. Your comments can be made verbally at the meeting, or submitted in writing, to:

**Shanna Sether, Senior Planner - 250 South 4<sup>th</sup> Street Room 300, Minneapolis, MN 55415**  
**Phone (612) 673-2307 Fax (612) 673-2526 E-mail: [Shanna.Sether@minneapolismn.gov](mailto:Shanna.Sether@minneapolismn.gov).**

The meeting site is wheelchair accessible; if you need other disability related accommodations, such as a sign language interpreter or materials in alternative format; please contact [NCR@minneapolismn.gov](mailto:NCR@minneapolismn.gov) or 612-673-3737 (673-2157 TTY/VOICE) at least five days prior to the meeting.

**BZZ-6420**

**VARIANCE** - The City's principal means of controlling land use is the zoning ordinance, which divides the City into different districts. The individual districts determine lot size, building height, building and parking setbacks, required parking and various other standards. The Board of Adjustment may grant a variance from these requirements, when the applicant can demonstrate that strict adherence to the zoning code would cause an undue hardship because of conditions or circumstances unique to the individual property.

**Attention:** If you want help translating this information, call -Hmong - Ceeb toom. Yog koj xav tau kev pab txhais cov xov no rau koj dawb, hu 612-673-2800; Spanish - Atención. Si desea recibir asistencia gratuita para traducir esta información, llama 612-673-2700; Somali - Ogow. Haddii aad dooneyso in lagaa kaalmecyo tarjamadda macluumaadkani oo lacag la' aan wac 612-673-3500.

## Sether, Shanna M

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**From:** John Whalen <jolwhalen@aol.com>  
**Sent:** Wednesday, February 12, 2014 9:54 AM  
**To:** Ritchie, Heidi; rriskin@outlook.com; Frey, Jacob  
**Cc:** Sether, Shanna M; allisonakerner@gmail.com; omalleyvision@hotmail.com; bertrandshelly@gmail.com; lauren@umn.edu; jamieswanson76@gmail.com; amymcg42@yahoo.com  
**Subject:** Re: Ward 3 Contact Form

I live in the Spinler's Townhomes alongside Robert Riskin. I have lived here since early 1994 and was involved in the hearings and development. I have tried several times to reach out to MacDonald's and have been blown off by them. Frankly the previous City Council person was of no help. I am somewhat cynical about MacDonald's promises since the only one they have lived up to is to keep the fence up and at least minimally maintained since the inception of the agreement. I would like to be a part of any of the discussions. -- John Whalen 1115 3rd Street NE.

-----Original Message-----

From: Ritchie, Heidi <[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)>  
To: Robert Riskin <[rriskin@outlook.com](mailto:rriskin@outlook.com)>; Frey, Jacob <[Jacob.Frey@minneapolismn.gov](mailto:Jacob.Frey@minneapolismn.gov)>  
Cc: Sether, Shanna M <[Shanna.Sether@minneapolismn.gov](mailto:Shanna.Sether@minneapolismn.gov)>; Allison Kerner <[allisonakerner@gmail.com](mailto:allisonakerner@gmail.com)>; Tim Kennedy <[omalleyvision@hotmail.com](mailto:omalleyvision@hotmail.com)>; Shelly Bertand and Tim Kennedy <[bertrandshelly@gmail.com](mailto:bertrandshelly@gmail.com)>; John whalen <[jolwhalen@aol.com](mailto:jolwhalen@aol.com)>; Lauren Marsh & Jeff <[lauren@umn.edu](mailto:lauren@umn.edu)>; Jamie Swanson <[jamieswanson76@gmail.com](mailto:jamieswanson76@gmail.com)>; Amy McGarrity <[amymcg42@yahoo.com](mailto:amymcg42@yahoo.com)>  
Sent: Wed, Feb 12, 2014 9:13 am  
Subject: RE: Ward 3 Contact Form

Hi Robert-

Thank you so much for the email and your input. We received similar comments from Jenny Fortman at the Sheridan Neighborhood Organization. I will make sure that your comments are forwarded to the Zoning Board of Adjustment for their review when making their determination on the sign variance.

I offered to Jenny, and extend the offer to you, assistance from our office in reaching out to McDonald's managements to have some conversations aside from their variance application about being a better neighbor. Would you be interested in help from our office in setting up a meeting to discuss the noise, traffic, trash and lighting concerns with McDonald's management? We would be happy to reach out to them. Let me know.

Thank you!  
Heidi

Heidi Ritchie  
Aide to [Council Member Jacob Frey, 3<sup>rd</sup> Ward](#)  
City Hall, Room 307  
350 South 5th Street  
Minneapolis, MN 55415  
612-673-2203  
[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)

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**From:** Robert Riskin [<mailto:rriskin@outlook.com>]  
**Sent:** Monday, February 10, 2014 4:42 PM  
**To:** Frey, Jacob  
**Cc:** Sether, Shanna M; Ritchie, Heidi; Allison Kerner; Tim Kennedy; Shelly Bertand and Tim Kennedy; John whalen; Lauren Marsh & Jeff; Jamie Swanson; Amy McGarrity  
**Subject:** RE: Ward 3 Contact Form

Please look up 1994 McDonald's original plans and agreements for this property. You will see many of the listed issues still unresolved. I tried to scan them but the file was too big to attach to this email.

Thanks,  
Robert Riskin

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**From:** Ritchie, Heidi [<mailto:heidi.ritchie@minneapolismn.gov>] **On Behalf Of** Frey, Jacob  
**Sent:** Monday, February 10, 2014 7:26 AM  
**To:** [rriskin@outlook.com](mailto:rriskin@outlook.com)  
**Cc:** Sether, Shanna M  
**Subject:** RE: Ward 3 Contact Form

Hi Robert-

You can send feedback and documents to [jacob.frey@minneapolismn.gov](mailto:jacob.frey@minneapolismn.gov). You may also want to consider sending feedback to the assigned planner, Shanna Sether. I have copied her on this email.

Thank you!  
Heidi

Heidi Ritchie  
Aide to [Council Member Jacob Frey, 3<sup>rd</sup> Ward](#)  
City Hall, Room 307  
350 South 5th Street  
Minneapolis, MN 55415  
612-673-2203  
[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)

**From:** [no-reply@minneapolismn.gov](mailto:no-reply@minneapolismn.gov) [<mailto:no-reply@minneapolismn.gov>]  
**Sent:** Sunday, February 09, 2014 5:10 PM  
**To:** Frey, Jacob  
**Subject:** Ward 3 Contact Form

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### City of Minneapolis

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Name *	Robert Riskin
Email *	<a href="mailto:rriskin@outlook.com">rriskin@outlook.com</a>
Phone	(612) 747-2852
Phone Type	
Address	1117 3rd St. NE
City	Minneapolis
State	MN
Zip	55413
Question/Comment *	The homeowners adjacent to McDonald's have problems with the recent request for two drive through lanes and more lighting. I have many documents to share before the February 20th public hearing at city hall room 317. Please send me your email address so I may forward the list of concerns along with the history. Thanks, Robert

This is an email generated from the City of Minneapolis website. \* Required fields are indicated with an asterisk.

**From:** [Chris](#)  
**To:** [Sether, Shanna M](#)  
**Cc:** [Stephen Schlesinger](#)  
**Subject:** 1100-1118 University Ave NE  
**Date:** Thursday, February 20, 2014 11:32:08 AM

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Dear Ms. Sether,

Please accept this letter as expressed opposition to any and all variances related to 1100 and 1118 University Ave NE.....As vocal supporters for the job creators in our neighborhood we find ourselves completely and uniquely opposed to these variance requests.....1) This is the intersection of two major truck routes which happens to be in the middle of a residential neighborhood and directly across the street from a grade school.....2) Increased activities on this site will only increase what is already considered the most dangerous intersection in our neighborhood, a dangerous place to increase both foot and auto traffic.....3) This business is the blight of my immediate neighborhood, a day does not pass when we have not picked up a dozen pieces of trash with their logo on it, the trash blows up and down our block every day of the week.....4) When considering driving safety measures, how long before we can address the fact that a bag of warm food in a drivers lap is every bit as dangerous as someone drinking alcohol and driving, or texting and driving, for that matter....

For these reasons and several more obvious ones, we as home owners of five properties at the intersection of 3rd St NE and 12th Ave NE, oppose every variance requested on todays matter as well as any future variances for this business....

Chris Koelfgen  
916.221.8809  
Stephen Schlesinger  
612-701-4511

**From:** [Robert Riskin](#)  
**To:** [Minneapolis 311](#)  
**Cc:** [Frey, Jacob](#); [Beth Forkenbrock](#); [beth forkenbrock](#); [John whalen](#); [Shelly Bertand and Tim Kennedy](#); [Allison Kerner](#); [Lauren Marsh & Jeff](#); [Pam Lehan](#); [Robert Riskin](#); [Sether, Shanna M](#); [Jenny Fortman](#); [Juarez, Nicholas J.](#)  
**Subject:** Complaint about McDonald's on University and Broadway  
**Date:** Monday, February 24, 2014 1:18:32 PM

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It is noted in the conditional use permit that this location may operate between the hours of 6:00 AM and 11:00 PM Sunday through Thursday and 6:00AM and 12:00PM on Friday and Saturday. Last Thursday and many days preceding that day McDonalds has remained open through Midnight in violation of this use permit.

Furthermore the management of this site has been notified of numerous noise issues related to their customers at the drive through and those who park in their lot. The noise is loud music coming from car radio and stereo systems. Often the base on these vehicles makes our windows shake at the front of our home as well as the rear that actually faces their property. This nuisance has gone on far too long and needs some action on the part of the city. Noise ordinance signs should be erected at a minimum and those in violation should be fined.

In addition to these issues, litter remains a problem on the streets that border this facility. At one time the management would send out patrols to pick up discarded packaging with their logo on it. This has not happened for years and the neighbors and I are getting tired of picking up their trash off our sidewalks and yards.

And is it necessary after this facility closes that they keep their bright yellow lights on all night in the front of their building? The light is more of an annoyance and light pollution than the Super America across the street because the comes right into our back yards.

Finally, the speaker volume on the order board is much too loud when it can be heard on the other side of an 8 ft. fence originally erected to protect the home owners and residents from this type of noise pollution.

The neighbors copied on this list have all tried in vain to communicate with the management of this property. However, the turnover in this job is substantial and the only conclusion that can be drawn is that the ownership Mc Corp Co. does not adequately train their new managers or they are insensitive to the neighbor that gave them permission under certain conditions to originally build on this corner. To the best of our knowledge this is the only McDonalds in the city that has neighbors that border their property on all four streets: Broadway, University, 12<sup>th</sup> Ave NE and 3<sup>Rd</sup> St. NE.

It would be greatly appreciated if the city departments who are responsible for monitoring this type of commerce actually come out and see that they are in compliance with their agreements. Especially since this business has applied for variances for signage and an additional drive through lane across from a school and a very busy intersection taking out more parking spaces on their own property, causing semi-trucks Delivering their supplies and buses more difficulty maneuvering on their property, as well as increasing access and egress to and from their drive through. And should they get permission to build this second drive through lane, the noise will increase, litter will

increase, light pollution will increase and the overall quality of life for neighbors will be adversely impacted by these factors among others.

Respectfully submitted,

Robert Riskin  
Block Leader  
1117 3<sup>rd</sup> St. NE  
Minneapolis, MN 55413  
612-747-2852

**From:** [Robert Riskin](#)  
**To:** [Sether, Shanna M](#)  
**Cc:** [John Whalen](#); [Shelly Bertand and Tim Kennedy](#); [Allison Kerner](#); [Lauren Marsh & Jeff](#); [Frey, Jacob](#); [Jenny Fortman](#); [bethforky@yahoo.com](mailto:bethforky@yahoo.com); [bforckenbrock@briggs.com](mailto:bforckenbrock@briggs.com); [Pam Lehan](#); [Juarez, Nicholas J.](#)  
**Subject:** Feb. 20th, 2014 McDonald's Variance Meeting for adding signage to accommodate two drive through lanes  
**Date:** Friday, February 21, 2014 2:11:35 PM

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Shanna,

Please send the appeal form and process to me for completion and submission regarding the above subject.

From our discussion in the hall after the meeting, you suggested that the appropriate forum for complaining about the above property is to contact 311 and our city council member. The 311 office would record such complaints and forward to the right department within the city for follow up and compliance or penalty. We would like to know what the penalties are for non-compliance with conditional use permits related to this particular site. We would like to know how many complaints or out of compliance events would call for the revocation of the license to operate at this location.

Related issues of noise pollution and light/sight pollution should also be sent to 311 or called in. And copied to our city council member.

The citizens of the neighboring properties would like a copy of the properties to this McDonald's believe this an unusual location with residential properties bordering two sides of this business.

We would like a copy of the conditional use permit requirements the city issued to McDonald's regarding lighting, sound barrier fences and noise abatement among other criteria.

We would like a copy of the traffic pattern analysis that was done with dates and times of the study that show no adverse impact from traffic going into or out of this facility would occur as a result of adding a second drive through.

As I observed a McDonald's 18 wheeler make the turn from Broadway into McDonald's entrance this morning and circle the property park and unload supplies, I would like to see how this will impact the traffic flow when two drive through lanes are operational on this sight. An animated simulation might be in order.

The hearing was limited to the legality of signage being erected but ignored correlating factors brought up by the citizens and property owners present. We understand the limitations of this particular hearing. However, as taxpaying citizens and property owners, we would like to know the name of every city department and contact information for each department that has a say in the development of this property. That means the folks responsible for noise abatement, the department responsible for traffic flow analysis, the department responsible for handling sightline/light pollution, fence maintenance, snow removal, street cleaning, parking, stop signs, trash cans, school safety, traffic lights, etc.

Also, you mentioned as a matter of public record that there is a scheduled meeting between

McDonald's representatives and the Sheridan Neighborhood association on Monday. Please provide the exact time and location so we may ask our city council member, representative of the second precinct, and fire chief to also attend. We would also request that a member of the city inspection department be there as well.

It should be obvious from our presence and our determination to get control of this issue, that we are serious about these issues, and frustrated by the lack of coordination and recording of our many earlier complaints to various public agencies of the city.

More action will be taken on every issue and known violation as they occur going forward.

Your cooperation in these requests is appreciated as we expected that our concerns be represented by our tax supported representatives just as McDonald's expects their requests to be heard.

Respectfully,

Robert Riskin  
1117 3<sup>rd</sup> St. NE  
Minneapolis, MN, 55413

**From:** [Shelly Bertrand](#)  
**To:** [Frey, Jacob](#)  
**Cc:** [Beth Forkenbrock](#); [beth forkenbrock](#); [John whalen](#); [Shelly Bertand and Tim Kennedy](#); [Allison Kerner](#); [Lauren Marsh & Jeff](#); [Pam Lehan](#); [Robert Riskin](#); [Sether, Shanna M](#); [Jenny Fortman](#); [Juarez, Nicholas J.](#); [Timothy Kennedy](#)  
**Subject:** February 25, 2014, McDonald's  
**Date:** Tuesday, February 25, 2014 8:14:08 AM

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Jacob,

Thank you so much for taking the time to attend our neighborhood meeting regarding McDonald's. We greatly appreciate that you are responsive to our needs and concerns. Due to the fact that McDonald's turned off many more lights than they usually do last night, I believe your presence increased their ability to hear our concerns, as well.

After I left the meeting, however, I realized that we had left without giving McDonald's a time line to correct their code violations. We just left it at "moving forward". I think it is important that they have a time line stating when issues need to be resolved and we, the neighbors, need to be made aware of that time line. For instance, I am confused how they were confused about the hours of operation, since the hours of operation haven't changed since 1974. But, be that as it may, this morning McDonald's opened at 5AM and I'm wondering how long it should take for them to correct their hours of operation, change their postings on their website, and begin opening at 6AM?

In addition, I am also wondering how we can request a traffic study and request data from McDonald's showing sales before and after they installed the two lane drive thru at their Minnehaha site and their Lake street site. If both those sites showed an increase in traffic after the installation, I think it is safe to assume that the Broadway site will also show an increase. The University and Broadway intersection is a very busy intersection and an increase in traffic will be detrimental.

Finally, I am very curious about the notification process, or lack there of. It seemed to me there was a dance around words last night in regards to the notification process by the representative from Landmark.

Thank you so much for your attention to this matter.

Sincerely,  
Shelly Bertrand  
1121 3rd Street NE

**From:** [Ritchie, Heidi](#) on behalf of [Frey, Jacob](#)  
**To:** [Sether, Shanna M](#)  
**Subject:** FW: Issues about the McDonald's on University and Broadway  
**Date:** Tuesday, February 25, 2014 1:27:58 PM

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For the record.

~Heidi

Heidi Ritchie

Aide to [Council Member Jacob Frey, 3<sup>rd</sup> Ward](#)

City Hall, Room 307

350 South 5th Street

Minneapolis, MN 55415

612-673-2203

[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)

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**From:** Robert Riskin [mailto:[rriskin@outlook.com](mailto:rriskin@outlook.com)]

**Sent:** Tuesday, February 25, 2014 5:28 AM

**To:** Frey, Jacob

**Cc:** Allison Kerner; John whalen; Robert Riskin; Pam Lehan; Shelly Bertand and Tim Kennedy; Lauren Marsh & Jeff; Beth Forkenbrock; Beth Forkenbrock; brenda nyholm

**Subject:** RE: Issues about the McDonald's on University and Broadway

Jacob,

Thank you for attending the Sheridan Neighborhood Organization meeting where we discussed issues regarding the expansion of the above property. You asked that I send you a list of issues as a reminder of our concerns and request for reconsideration by the City Council upon our appeal of the one and only variance request received by property owners regarding signage.

\* The neighborhood was not informed of the site plan revisions by either the city nor the property owner.

\* The site plan was approved without a public hearing and was presented and protested to the Sheridan Neighborhood Organization in 2013 and pushed off till 2014 for reconsideration. That reconsideration was never brought up again until the latest variance request for signage was presented to the zoning committee.

\*Issues of traffic increases and safety were never brought to the neighborhood for weighing in.

\*The department of Public works claims no additional traffic will result from the site plan revision adding another lane of drive through. No traffic analysis has been done to show this to be fact.

\*Issues of noise pollution remain on two fronts: speaker volume at point of order and car stereo noise coming from patrons in drive through and parking lot.

\*Light pollution and sight pollution remain issues in lights being on all night after closure and signage proposed for the variance will exceed the height of the 8foot fence which was agreed to be erected by McDonalds to mitigate visual and noise pollution into the neighboring properties. The height of the new signage will not be mitigated by the existing fence height.

\* Though McDonald's expects no increase in traffic volume, it is likely more traffic will be attracted to two drive through lanes and thus cause actual air pollution. No analysis has been done to show this is true or not at this location.

\* This site is bordered by private property on all four sides, thus consideration of any changes should be required as this site is unique in the city.

\* Safety remains a key issue as this location is across a busy street from an elementary school with over 500 students, faculty and employees with 11 buses dropping off and picking up children not to mention parent drop offs and pick ups as well directly across from the University St. entrance to this McDonald's.

\*Another lane of drive through will also negatively impact foot traffic and bicycle along University and add safety concerns with increase traffic patterns with no cross walk barrier or stop signs except on the corner.

\*Training of management staff has been lacking many of the neighbors concerns were originally addressed in conditional use permits upon original construction of this property.

\* Litter and increase in traffic volume on both 12th Ave NE and 3rd St. NE have turned a quiet neighborhood into a thoroughfare that requires constant monitoring for suspicious behaviors and the sullyng of our streets. The Second precinct has been called many times to report criminal activities as it is easy for perpetrators to rendezvous around the corner from McDonald's. Requests to make 12th Ave NE a Cul de sac have been denied. Requests for 4 way stop signs on 12th and 13th Aves. NE and 3rd St. have been denied.

\* The neighbors who were notified about the most recent variance request were not given proper notice as required by city ordinance. We had two days to prepare, no idea of what the process was for the hearing and now are faced with filing an appeal and stuck with a \$415.32 filing fee adding insult to injury. Someone other than the neighbors should be held accountable for the lack of consideration and compliance with property owner notifications.

\*It is 5:00AM at this writing and McDonald's is open for business again in violation of the hours of operation.

Respectfully submitted,

Robert Riskin  
Block Leader  
1117 3rd St. NE  
Minneapolis, MN 55413

612-747-2852

**From:** [Robert Riskin](#)  
**To:** [Minneapolis 311](#)  
**Cc:** [Frey, Jacob](#); [Allison Kerner](#); [John whalen](#); [Shelly Bertand and Tim Kennedy](#); [Lauren Marsh & Jeff](#); [Beth Forkenbrock](#); [beth forkenbrock](#); [brenda nyholm](#); [Jenny Fortman](#); [Pam Lehan](#); [robert riskin](#); [Sether, Shanna M](#)  
**Subject:** FW: McDonalds on university and Broadway NE: Lights on after closing again 2-28-14!  
**Date:** Friday, February 28, 2014 2:29:50 AM

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Why is it necessary for McDonald's to keep their bright yellow rooftop lights on all night? It is an annoyance and serves no purpose.  
Robert Riskin

-----Original Message-----

From: Robert Riskin [<mailto:rriskin@outlook.com>]  
Sent: Thursday, February 27, 2014 3:06 PM  
To: Minneapolis 311@minneapolismn.gov  
Cc: Jacob Frey  
Subject: McDonalds on university and Broadway NE

It was pleasantly dark with no exterior lights on after closing for two nights since the last Sheridan neighborhood Organization meeting where McDonalds reps were present.

Last night the bright yellow lights were back on shining in neighbors windows all night.

Light pollution continues to be a problem

Please add to the list of complaints on this business.

Robert Riskin  
1117 3rd St. NE

Sent from my iPhone

**From:** [Ritchie, Heidi](#) on behalf of [Frey, Jacob](#)  
**To:** [Sether, Shanna M](#)  
**Subject:** FW: McDonald's on University!  
**Date:** Thursday, February 27, 2014 11:02:06 AM

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For the record

Heidi Ritchie

Aide to [Council Member Jacob Frey, 3<sup>rd</sup> Ward](#)  
City Hall, Room 307  
350 South 5th Street  
Minneapolis, MN 55415  
612-673-2203  
[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)

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**From:** IAN [mailto:[ianaces@gmail.com](mailto:ianaces@gmail.com)]  
**Sent:** Wednesday, February 26, 2014 3:28 PM  
**To:** Frey, Jacob  
**Subject:** McDonald's on University!

Jacob!

First off, congrats on your win! I like to think that my yard sign helped clinch the victory for you. Keep in mind that I also like to think that "Your Song" by Elton John is actually about me.

Add my voice to the chorus hoping to make the second drive-thru, etc that McD's is proposing an impossibility. Since buying my house at 1411 3rd St. 4 years ago, I've been a proud NE resident and first time home owner. In these 4 years only a few things have dragged me back to earth about my neighborhood and one of them is the incessant trash that turns up in my yard from McDonalds.. and I live like 4 blocks away. Or, as i like to joke, apparently I live how long it takes to eat a Big Mac combo away from McDonalds, because those bags have ended up caught in my fence, in the street outside my house or actually in my yard an unfortunate amount. All of 4th seems like a dumping ground in the warm months and i've never once thought of McDonald's as a partner to get rid of this trash. To give them extra capacity to make the refuse that I and my neighbors have to clean is untenable.

Please help if you can and thanks for reading this far down!

IAN

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Sent from an actual computer!

**From:** [Ritchie, Heidi](#)  
**To:** [Sether, Shanna M](#)  
**Subject:** FW: McDonald's Variance Appeal  
**Date:** Thursday, February 27, 2014 11:00:50 AM  
**Attachments:** [image001.gif](#)

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I saw that you weren't in this email. I certainly didn't want you to miss out on this one.

~H

Heidi Ritchie

Aide to [Council Member Jacob Frey, 3<sup>rd</sup> Ward](#)  
City Hall, Room 307  
350 South 5th Street  
Minneapolis, MN 55415  
612-673-2203  
[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)

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**From:** Andrew Korf [mailto:[akorf@doctype.cx](mailto:akorf@doctype.cx)]  
**Sent:** Wednesday, February 26, 2014 4:41 PM  
**To:** Ritchie, Heidi; Robert Riskin  
**Cc:** Allison Kerner; Amy McGarrity; Beth Forkenbrock; Bob and Barb Sorg; brenda nyholm; georgiadalebecker; [ian@drinkingwithian.com](mailto:ian@drinkingwithian.com); Jamie Swanson; Jan and David Harrison; john Bacha; Kelly Sharp; Kevin Clark; [ladyofthelatte@gmail.com](mailto:ladyofthelatte@gmail.com); Lance Fredrickson; Lauren Marsh & Jeff; [Lorren@evolaudio.com](mailto:Lorren@evolaudio.com); Mark Norris; Mary Cassidy; Paige Kraemer; Pam Lehan; Shelly Bertand and Tim Kennedy; Steve Schlesinger; Tim Kennedy; [Timformanek@gmail.com](mailto:Timformanek@gmail.com); [vincent.m.wheeler@gmail.com](mailto:vincent.m.wheeler@gmail.com)  
**Subject:** Re: McDonald's Variance Appeal

Hey all

Two questions about the McDonalds issue:

1. Shouldn't the question be reframed to the quality and quantity of the food Mcdonalds is sending into our neighborhood? By any measure McDonalds fare makes our neighborhood less healthy. Why would we want to increase the amount of unhealthy food being pushed by McDonalds to the residents of our neighborhood (not to mention the trash left behind from their unhealthy fare)
2. A worse offender and blight on the neighborhood is Super America across the street who's shelves and coolers are filled with unhealthy food , When do we talk to Super America about reinvesting some of the capital they take out of the neighborhood everyday back into making the location less of detriment to the neighborhood?

---

**From:** "Ritchie, Heidi" <[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)>  
**Date:** Wed, 26 Feb 2014 22:20:00 +0000  
**To:** Robert Riskin <[rriskin@outlook.com](mailto:rriskin@outlook.com)>  
**Cc:** Allison Kerner <[allisonakerner@gmail.com](mailto:allisonakerner@gmail.com)>, Amy McGarrity <[amymcg42@yahoo.com](mailto:amymcg42@yahoo.com)>, Andrew Korf <[akorf@doctype.cx](mailto:akorf@doctype.cx)>, Beth Forkenbrock <[mforkenbrock@briggs.com](mailto:mforkenbrock@briggs.com)>, Bob and Barb Sorg <[bpsorg@yahoo.com](mailto:bpsorg@yahoo.com)>, brenda nyholm <[nyholmbrenda@yahoo.com](mailto:nyholmbrenda@yahoo.com)>, georgiadalebecker

<[georgiadalebecker@gmail.com](mailto:georgiadalebecker@gmail.com)>, "[ian@drinkingwithian.com](mailto:ian@drinkingwithian.com)" <[ian@drinkingwithian.com](mailto:ian@drinkingwithian.com)>, Jamie Swanson <[jamieswanson76@gmail.com](mailto:jamieswanson76@gmail.com)>, Jan and David Harrison <[gneva315@gmail.com](mailto:gneva315@gmail.com)>, John Bacha <[goldyjgb@centurylink.net](mailto:goldyjgb@centurylink.net)>, Kelly Sharp <[thebarbersharp@gmail.com](mailto:thebarbersharp@gmail.com)>, Kevin Clark <[kevin.c.clarke@gmail.com](mailto:kevin.c.clarke@gmail.com)>, "[ladyofthelatte@gmail.com](mailto:ladyofthelatte@gmail.com)" <[ladyofthelatte@gmail.com](mailto:ladyofthelatte@gmail.com)>, Lance Fredrickson <[fredricksonl@comcast.net](mailto:fredricksonl@comcast.net)>, Lauren Marsh & Jeff <[lauren@umn.edu](mailto:lauren@umn.edu)>, "[Lorren@evolaudio.com](mailto:Lorren@evolaudio.com)" <[lorren@evolaudio.com](mailto:lorren@evolaudio.com)>, Mark Norris <[manorris@pacbell.net](mailto:manorris@pacbell.net)>, Mary Cassidy <[ladyofthelatte2@gmail.com](mailto:ladyofthelatte2@gmail.com)>, Paige Kraemer <[paige.kraemer@gmail.com](mailto:paige.kraemer@gmail.com)>, Pam Lehan <[pamelamlehan@earthlink.net](mailto:pamelamlehan@earthlink.net)>, Shelly Bertand and Tim Kennedy <[bertrandshelly@gmail.com](mailto:bertrandshelly@gmail.com)>, Steve Schlesinger <[nkschlesinger1@msn.com](mailto:nkschlesinger1@msn.com)>, Tim Kennedy <[omalleyvision@hotmail.com](mailto:omalleyvision@hotmail.com)>, "[Timformanek@gmail.com](mailto:Timformanek@gmail.com)" <[timformanek@gmail.com](mailto:timformanek@gmail.com)>, "[vincent.m.wheeler@gmail.com](mailto:vincent.m.wheeler@gmail.com)" <[vincent.m.wheeler@gmail.com](mailto:vincent.m.wheeler@gmail.com)>

**Subject:** RE: McDonald's Variance Appeal

Hi Robert-

It is my understanding that Shanna has talked to Beth and the mailing labels/map issues has been resolved. If you don't have the mailing labels/map by Friday, let me know. Shanna can correct me if I'm wrong, but the statement doesn't need to be comprehensive and you can continue to work on that information after submitting the completed appeal application, initial statement, filing fee and mailing labels/map.

~Heidi

Heidi Ritchie

Aide to [Council Member Jacob Frey, 3<sup>rd</sup> Ward](#)  
City Hall, Room 307  
350 South 5th Street  
Minneapolis, MN 55415  
612-673-2203  
[heidi.ritchie@minneapolismn.gov](mailto:heidi.ritchie@minneapolismn.gov)

---

**From:** Robert Riskin [<mailto:rriskin@outlook.com>]

**Sent:** Wednesday, February 26, 2014 3:08 PM

**To:** Frey, Jacob

**Cc:** Allison Kerner; Amy McGarrity; Andrew and Melissa Korf; Beth Forkenbrock; Bob and Barb Sorg; Brenda Nyholm; georgiadalebecker; [ian@drinkingwithian.com](mailto:ian@drinkingwithian.com); Jamie Swanson; Jan and David Harrison; John Bacha; Kelly Sharp; Kevin Clark; [ladyofthelatte@gmail.com](mailto:ladyofthelatte@gmail.com); Lance Fredrickson; Lauren Marsh & Jeff; [Lorren@evolaudio.com](mailto:Lorren@evolaudio.com); Mark Norris; Mary Cassidy; Paige Kraemer; Pam Lehan; Shelly Bertand and Tim Kennedy; Steve Schlesinger; Tim Kennedy; [Timformanek@gmail.com](mailto:Timformanek@gmail.com); [vincent.m.wheeler@gmail.com](mailto:vincent.m.wheeler@gmail.com)

**Subject:** FW: McDonald's Variance Appeal

Jacob,

This just keeps getting better. Can you help?

I have copied all our neighbors that should know about this. The City offices look like they favor commercial business owners much more than they do the taxpaying public who pay their salaries and benefits. I for one am getting more and more disgusted by the whole process. and feel like this whole issue is being ramrodded and road blocked.

My next communications will be with the press, news media and the Mayors office if we do not get some fairness here.

Robert Riskin

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From: [MForkenbrock@Briggs.com](mailto:MForkenbrock@Briggs.com)  
To: [Shanna.Sether@minneapolismn.gov](mailto:Shanna.Sether@minneapolismn.gov); [rriskin@outlook.com](mailto:rriskin@outlook.com)  
Subject: McDonald's Variance Appeal  
Date: Wed, 26 Feb 2014 21:01:02 +0000

Shanna and Robert,

I called the Hennepin County Taxpayer Services Department and was transferred to Mark at the Property ID and Platting Dept. (612-348-5910). I explained my request for the names and labels of the property owners within 350 feet of the McDonald's at 1100 University Ave. N.E. for our appeal process. I was told that I (as an individual property owner) cannot receive a list of the property owners and mailing labels for those property owners. Mark told me that such a request must be made by the municipality, rather than by the property owners, in which the proposed variance is being requested. He said that by law, the mailing itself must come from the municipality.

Shanna, if we cannot get the necessary list and labels of the property owners, how do you recommend we proceed with this? Per Mark, the mailing must come from the city, not from us. How do you suggest we proceed?

Beth Forkenbrock

308 12<sup>th</sup> Ave. N.E.

Minneapolis, MN 55413

**Beth Forkenbrock**

**Legal Administrative Assistant**



Briggs and Morgan, P.A.

Direct 612.977.8655

Fax 612.977.8650

[bforkenbrock@briggs.com](mailto:bforkenbrock@briggs.com)

2200 IDS Center | 80 South 8th Street | Minneapolis, MN 55402

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**From:** [Shelly Bertrand](#)  
**To:** [Sether, Shanna M](#)  
**Subject:** McDonald"s - Broadway and University  
**Date:** Thursday, February 20, 2014 9:37:11 AM

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Dear Ms. Sether,

I am writing to express my concern over the signage variance that McDonald's has proposed. I live adjacent to the McDonald's property at 1121 3rd Street and I am concerned about any increase of traffic this may bring. The intersection of Broadway and University is already very busy. Customers often can not make a left hand turn coming out of the parking lot, so they make a right hand turn and come around my block. Customers also come to eat in front of my house and leave their litter behind. Yesterday as I walked a block down Broadway and my block, I could have filled a bag with McDonald's trash. I believe they are supposed to have someone walk around the block to pick up the trash, but I have never seen anyone do this in my four years of living here.

I have been discouraged by the loud music customers play and McDonald's refusal to acknowledge the neighbors request to get signage asking people to turn down their stereos. I have been unhappy to wake up at 3:30 am by the sound of a crew striping the parking lot WITHOUT a permit and the police allowing them to continue. Or being awoken by power washing at 3:00am. This is a residential neighborhood and McDonald's has shown no inclination to respect our living space. I do not want to see any increased signage.

Please let me know if you have any questions as I am unable to attend the meeting tonight.

Thank you for your attention to this matter.

Shelly Bertrand  
1121 3rd Street NE

**From:** [Allison Kerner](#)  
**To:** [Sether, Shanna M](#)  
**Subject:** McDonald's NE Minneapolis  
**Date:** Tuesday, February 18, 2014 3:12:12 PM

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Hello. I own a property directly next to the McDonald's at 1100 University Ave. I have owned this property since June 2012 and would like to express my concerns in regard to their conduct and of their recent request for variances.

I was informed by my neighbor that McDonald's wants to increase signage amongst other changes and are supposed to be abiding by rules they agreed upon when they first opened on this site. Although I have not personally reviewed said document, I know the topics of garbage maintenance and noise were addressed.

My property is always flooded with McDonalds trash (cups, wrappers, bags, etc.) whether it gets blow in by the wind or throw over the fence. I will also mention the beer cans and liquor bottles that get consumed on their side and thrown over the fence into my driveway. I am left to clean it up on a regular basis. The amount of leaves I rake in the fall rivals the amount of McDonald's trash I collect. It is not just my property but the side streets that contain their trash. McDonald's customers like to purchase food and park on the side of my property (off 3rd street) to eat, make noise, and throw their garbage on the street.

My tenants and I have to deal with the constant noise from the McDonald's parking lot. This is due to loud music and stereos in cars, engines, dogs left unattended in cars, and arguments/fights between customers. I have a porch that directly overlooks the parking lot and have witnessed drug deals, drug usage, domestic violence (a man hitting a woman as they sat in their car eating in which I had to call the police). This site is poorly monitored and we (the neighborhood) have to suffer the consequences.

I also had an incident where a car from the parking lot came through the fence, causing damage to my property. After numerous phone calls in attempt to reach a manager and a visit to the establishment myself, I ended up having to file a complaint with the City of Minneapolis. Even then they went beyond their given time frame before the fence was fixed. The incident occurred in July and it wasn't fixed until October.

Please take into consideration the short duration of time (<2 years) in which these incidences have occurred and the impact of increasing their customers at this location will have on the neighborhood. Unbeknownst to me, McDonald's is the most obnoxious neighbor imaginable.

Regards,  
Allison Kerner

**From:** [Shelly Bertrand](#)  
**To:** [Sether, Shanna M](#)  
**Cc:** [Robert Riskin](#); [John whalen](#); [Allison Kerner](#); [Lauren Marsh & Jeff Frey, Jacob](#); [Jenny Fortman](#); [bethforky@yahoo.com](#); [bforckenbrock@briggs.com](#); [Pam Lehan](#); [Juarez, Nicholas J.](#)  
**Subject:** Re: Feb. 20th, 2014 McDonald's Variance Meeting for adding signage to accommodate two drive through lanes  
**Date:** Monday, February 24, 2014 10:52:02 AM  
**Attachments:** [image001.png](#)

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Shanna,  
Thank you so much for the information. I am wondering if you could look into the hours again. If you look at their website (<http://www.mcminnesota.com/3524>) it says they are open from 5AM -11PM, drive thru 5AM-12AM. Friday morning I saw someone at the drive thru at 4:45AM.

In your email, it states that hours should be 6AM.

Thank you for your attention to this matter.  
Shelly Bertrand

On Mon, Feb 24, 2014 at 10:37 AM, Sether, Shanna M  
<[Shanna.Sether@minneapolismn.gov](mailto:Shanna.Sether@minneapolismn.gov)> wrote:

Hello Robert,

I have attached a copy of the appeal form to appeal the decision of the Zoning Board of Adjustment granting sign variances A, B and D:

1. 1100 and 1118 University Ave NE (BZZ# 6420, Ward 3) ([Shanna Sether](#))

**A. Variance:** Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the number of freestanding signs from one to four at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

**Action:** The Board of Adjustment adopted staff findings and **approved** the variance to increase the number of freestanding signs from one to four for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

**Absent:** A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed

**B. Variance:** Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the maximum area of freestanding signs from 80 square feet to 330 square feet at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

**Action:** The Board of Adjustment adopted staff findings and **approved** the variance to increase the maximum area of freestanding signs from 80 square feet to 330 square feet for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

**Absent:** A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed

**C. Variance:** Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

**Action:** Notwithstanding staff recommendation, the Board of Adjustment **denied** the variance to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, based on the following finding:

**Finding #1:** The increased height of the menu board to maintain consistency with the existing signage is not a unique circumstance of the property that creates practical difficulties in complying with the ordinance.

**Absent:** A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed

**D. Variance:** Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the maximum height of a freestanding sign from 8 feet to approximately 10 feet 9 inches at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

**Action:** The Board of Adjustment adopted staff findings and **approved** the variance to increase the maximum height of a freestanding signs from 8 feet to approximately 10 feet 3 inches and 10 feet 9 inches, for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

**Absent:** A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed

In the attached appeal application, you'll find the appeal worksheet which needs to be completed. In addition, you must submit a written reason for appeal, an appeal fee (\$413.52) and a copy of the map, mailing labels and list of property owners within 350 feet of 1100 and 1118 University Avenue NE prepared by Hennepin County Taxpayer Services.

525.550. Procedures upon discovery of violations. 

(a) *Notice of violation.* The zoning administrator or the director of regulatory services shall provide a written notice to the property owner or to any person responsible for such violation, identifying the property in question, indicating the nature of the violation, and ordering the action necessary to correct it, including a reasonable time period to remedy the violation. The written notice shall advise that the decision or order may be appealed to the board of adjustment in accordance with the provisions of [section 525.170](#). Additional written notices may be provided at the discretion of the enforcement official. Where the violation involves work being done contrary to the provisions of this zoning ordinance, the zoning administrator or director of regulatory services may order the work stopped. No further work shall be undertaken while a stop-work order is in effect.

(b) *Enforcement without notice.* Whenever the zoning administrator or director of regulatory

services finds that an emergency exists in relation to the enforcement of the provision of the zoning ordinance which requires immediate action to protect the health, safety or welfare of occupants of any structure, or the public, they may seek immediate enforcement without prior written notice, notwithstanding any other provision of this ordinance.

(2002-Or-083, § 6, 8-9-02; 2004-Or-143, § 8, 12-23-04)

525.560. Conditional use permit and site plan review revocation. 

(a) *In general.* The zoning administrator shall have the authority to recommend revocation of a conditional use permit or site plan review approval to the city council when the zoning administrator has determined that the terms of such approval have been violated, subject to [section 525.550](#) above.

(b) *Revocation hearing.* The zoning and planning committee of the city council shall hold a public hearing to determine whether there has been a violation of the conditional use permit or site plan review approval and whether the conditional use permit or site plan review approval shall be revoked. Not less than ten (10) days before such public hearing, the zoning administrator shall mail notice of the hearing to any person responsible for such violation, the owner(s) of record of the subject property, all owners of record of property located in whole or in part within three hundred fifty (350) feet of the boundaries of the subject property and the registered neighborhood group(s) for the neighborhood in which the subject property is located. The failure to give mailed notice to individual property owners, or defects in the notice, shall not invalidate the proceedings, provided a bona fide attempt to comply with this section has been made.

(2002-Or-083, § 7, 8-9-02; 2004-Or-143, § 9, 12-23-04)

Can you explain what you're asking here? "The citizens of the neighboring properties would like a copy of the properties to this McDonald's believe this an unusual location with residential properties bordering two sides of this business."

I have attached the General Performance Standards regarding lighting and noise. The hours of operation are Sunday through Thursday from 6:00am to 11:00pm and Friday and Saturday from 6:00am to 12:00am. McDonald's property was rezoned to B3C-2 in 1975 (P-261); the B3C-2 allowed convenience food restaurants (fast food restaurants) as a permitted use (no conditional use permit was required). In 1999, the property was rezoned to C2 Neighborhood Commercial District, where a fast food restaurant was deemed to have a conditional use permit. A conditional use permit (C-1614) was applied for to extend the hours of operation and was subsequently withdrawn by the applicant in 1994. The required fence height was increased as a condition of approval for a variance (V-3744) to reduce the front yard setback along University Avenue NE, which was granted on August 24, 1994, from 6 feet to 8 feet.

I understood from Landform, the applicant, that they conducted a traffic study. You may contact them directly to obtain this information. This information was not required for analysis for the sign variances.

Please contact 311 for issues related to traffic, sightline/light pollution, fence maintenance, snow removal, street cleaning, parking, stop signs, trash cans, school safety, traffic lights, etc.

Please contact Jenny Fortman ([jfort@usiwireless.com](mailto:jfort@usiwireless.com)) with Sheridan Neighborhood Organization for information about the neighborhood meeting.

As I mentioned to you last week, our Zoning Enforcement team has not received any complaints on this property until I forwarded your letter (at your request) dated February 10, 2014.

Thank you,

**Shanna Sether**

Senior City Planner

City of Minneapolis | Community Planning and Economic Development Department | Development Services Division

250 4<sup>th</sup> Street South, Room 300 | Minneapolis, MN 55415

[612-673-2307](tel:612-673-2307) | [Shanna.Sether@minneapolismn.gov](mailto:Shanna.Sether@minneapolismn.gov)

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**From:** Robert Riskin [mailto:[rriskin@outlook.com](mailto:rriskin@outlook.com)]

**Sent:** Friday, February 21, 2014 2:11 PM

**To:** Sether, Shanna M

**Cc:** John whalen; Shelly Bertand and Tim Kennedy; Allison Kerner; Lauren Marsh & Jeff; Frey, Jacob; Jenny Fortman; [bethforky@yahoo.com](mailto:bethforky@yahoo.com); [bforckenbrock@briggs.com](mailto:bforckenbrock@briggs.com); Pam Lehan; Juarez, Nicholas J.

**Subject:** Feb. 20th, 2014 McDonald's Variance Meeting for adding signage to accommodate two drive through lanes

Shanna,

Please send the appeal form and process to me for completion and submission regarding the above subject.

From our discussion in the hall after the meeting, you suggested that the appropriate forum for complaining about the above property is to contact 311 and our city council member. The 311 office would record such complaints and forward to the right department within the city for follow up and compliance or penalty. We would like to know what the penalties are for non-compliance with conditional use permits related to this particular site. We would like to know how many complaints or out of compliance events would call for the revocation of the license to operate at this location.

Related issues of noise pollution and light/sight pollution should also be sent to 311 or called in. And copied to our city council member.

The citizens of the neighboring properties would like a copy of the properties to this McDonald's believe this an unusual location with residential properties bordering two sides of this business.

We would like a copy of the conditional use permit requirements the city issued to McDonald's regarding lighting, sound barrier fences and noise abatement among other criteria.

We would like a copy of the traffic pattern analysis that was done with dates and times of the study that show no adverse impact from traffic going into or out of this facility would occur as a result of adding a second drive through.

As I observed a McDonald's 18 wheeler make the turn from Broadway into McDonald's entrance this morning and circle the property park and unload supplies, I would like to see how this will impact the traffic flow when two drive through lanes are operational on this sight. An animated simulation might be in order.

The hearing was limited to the legality of signage being erected but ignored correlating factors brought up by the citizens and property owners present. We understand the limitations of this particular hearing. However, as taxpaying citizens and property owners, we would like to know the name of every city department and contact information for each department that has a say in the development of

this property. That means the folks responsible for noise abatement, the department responsible for traffic flow analysis, the department responsible for handling sightline/light pollution, fence maintenance, snow removal, street cleaning, parking, stop signs, trash cans, school safety, traffic lights, etc.

Also, you mentioned as a matter of public record that there is a scheduled meeting between McDonald's representatives and the Sheridan Neighborhood association on Monday. Please provide the exact time and location so we may ask our city council member, representative of the second precinct, and fire chief to also attend. We would also request that a member of the city inspection department be there as well.

It should be obvious from our presence and our determination to get control of this issue, that we are serious about these issues, and frustrated by the lack of coordination and recording of our many earlier complaints to various public agencies of the city.

More action will be taken on every issue and known violation as they occur going forward.

Your cooperation in these requests is appreciated as we expected that our concerns be represented by our tax supported representatives just as McDonald's expects their requests to be heard.

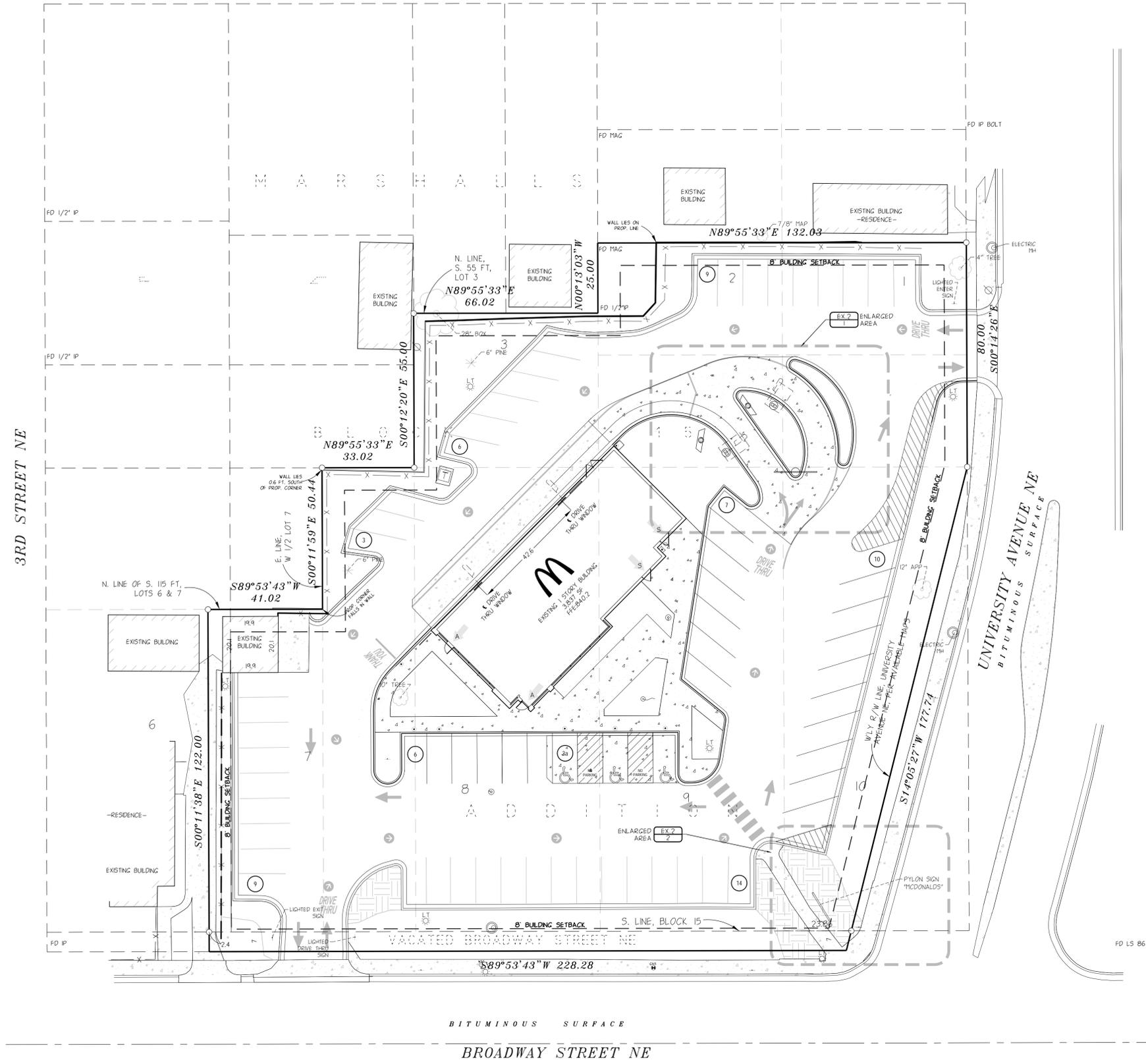
Respectfully,

Robert Riskin

1117 3<sup>rd</sup> St. NE

Minneapolis, MN, 55413



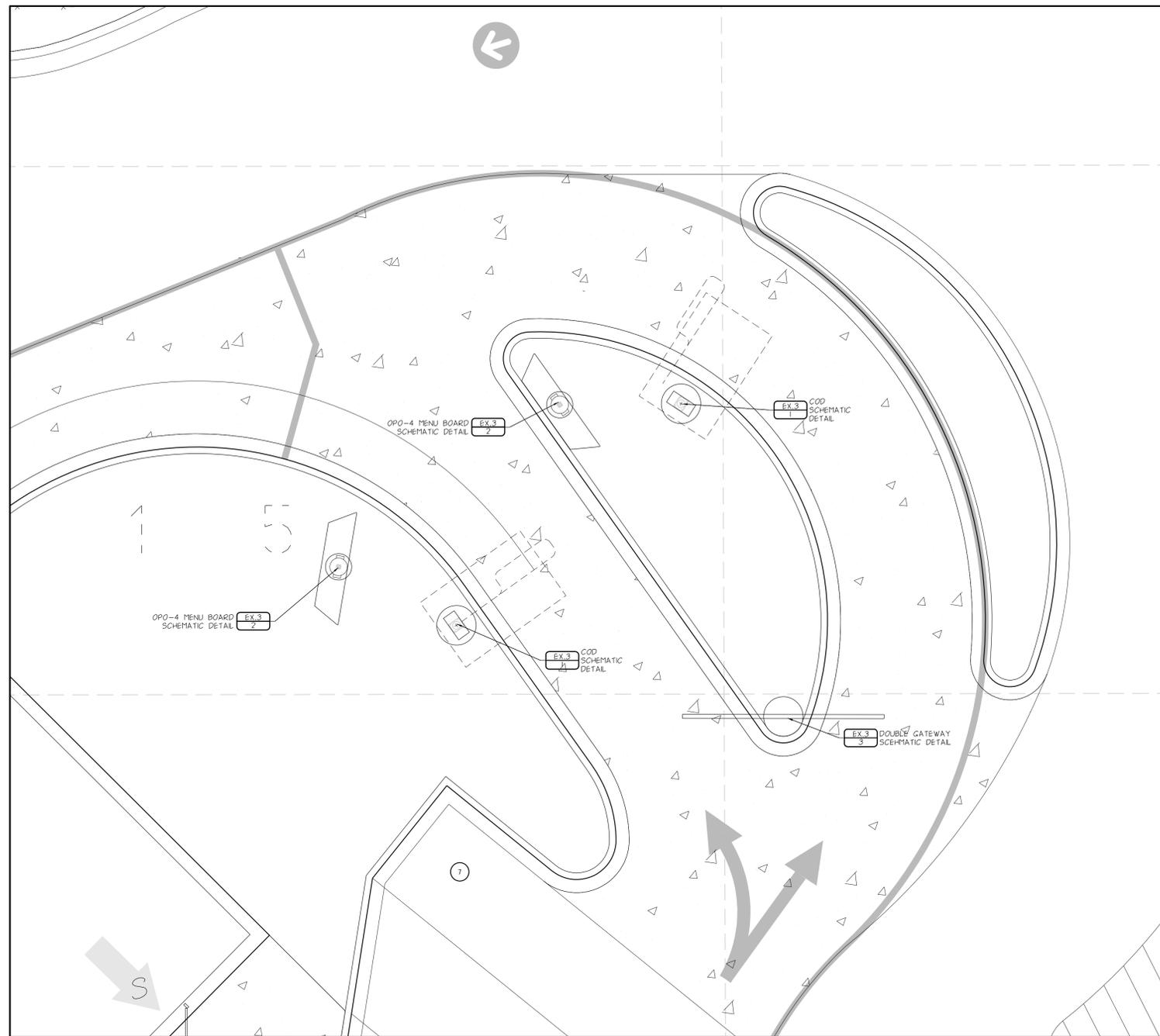


NORTH



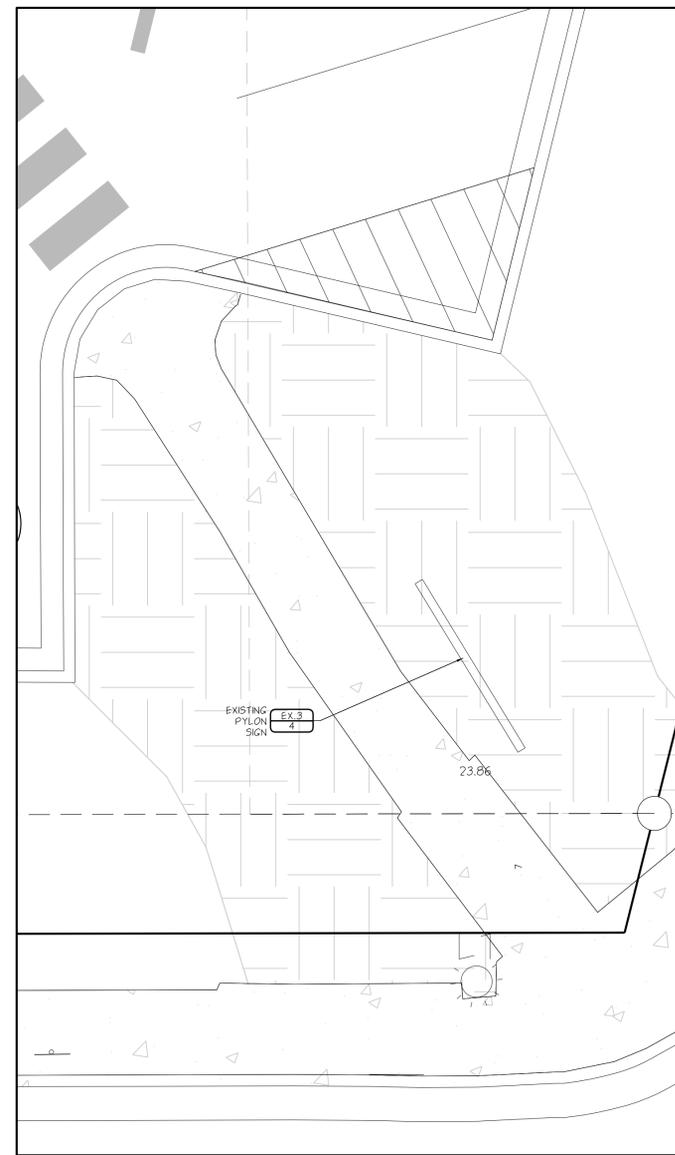
From Site to Finish

**DRIVE-THRU SIGNAGE  
EXHIBIT 1**



1 ENLARGED DRIVE-THRU SIGNAGE

NO SCALE



2 EXISTING PYLON SIGN

NO SCALE

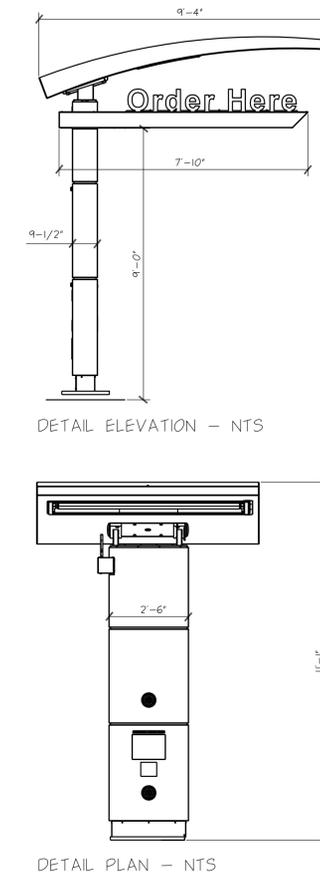
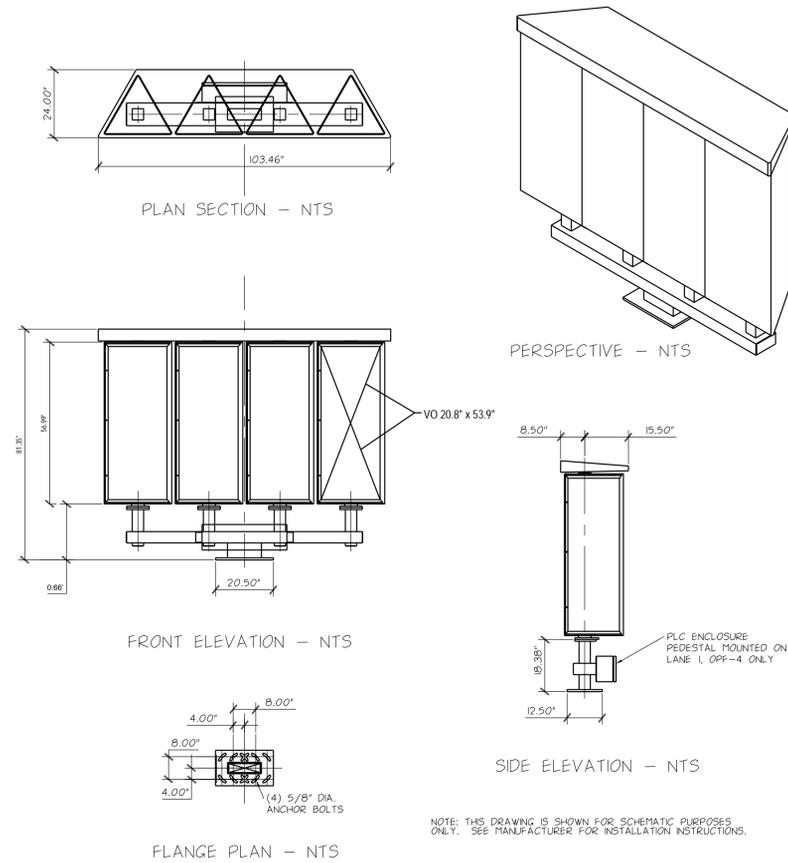


NORTH



LANDFORM  
From Site to Finish

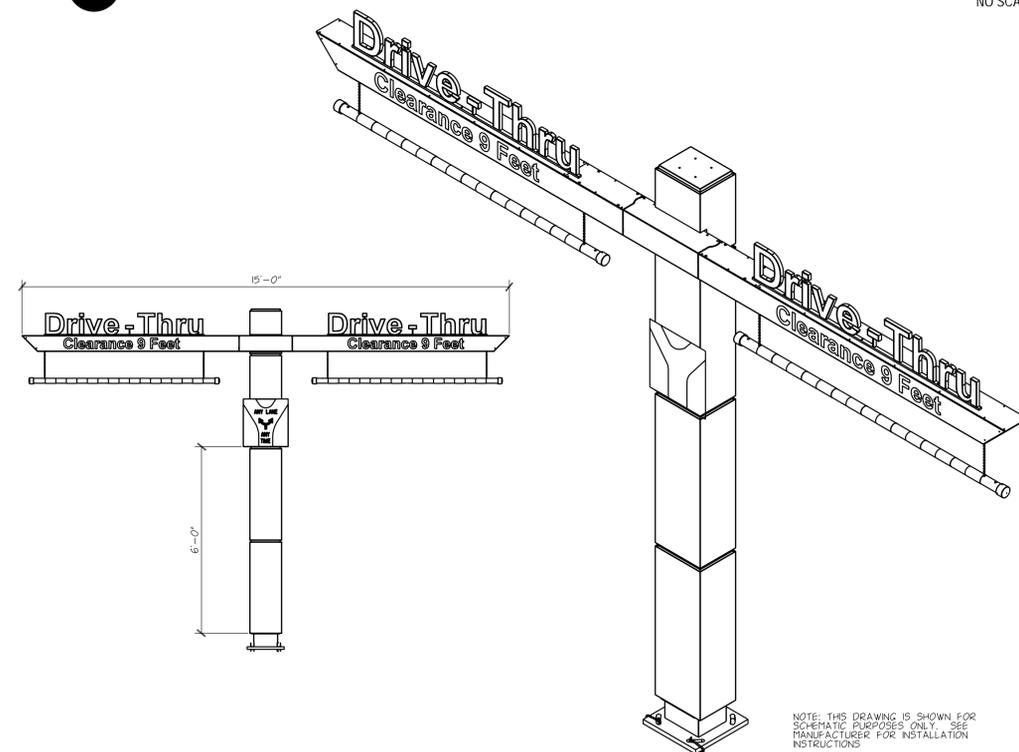
DRIVE-THRU SIGNAGE  
EXHIBIT 2



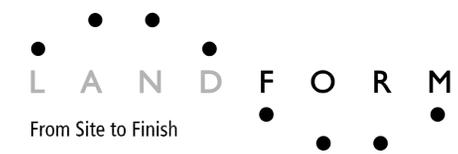
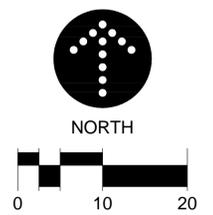
4 EXISTING PYLON SIGN NO SCALE

2 OPO-4 MENU BOARD SCHEMATIC DETAIL NO SCALE

1 COD SCHEMATIC DETAIL NO SCALE

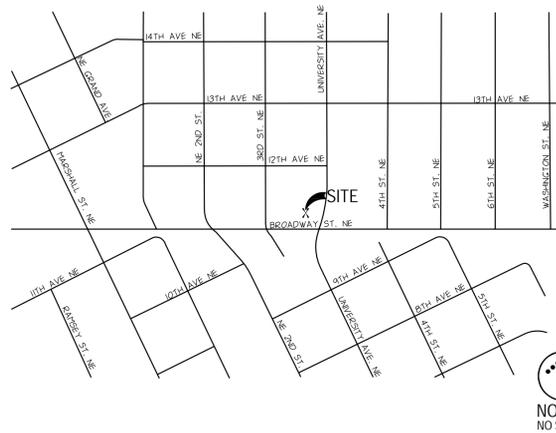


3 DOUBLE GATEWAY SCHEMATIC DETAIL NO SCALE

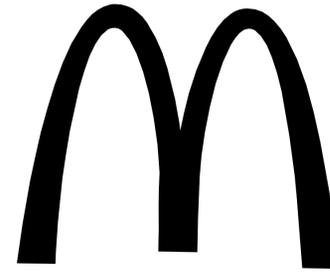


DRIVE-THRU SIGNAGE  
EXHIBIT 3

MINNEAPOLIS, MN AREA LOCATION MAP



# McDONALD'S, USA LLC.



## MINNEAPOLIS, MN

ABBREVIATIONS

D	Angle	JT.	Joint
&	And	L.F.	Lead Feet
OR	Or	L.P.	Low Point / Liquid Petroleum
100 YR.	100 Year Flood Elevation	L.B.	Local Government Unit
A.B.	Anchor Bolt	L.C.U.	Local Government Unit
A.D.	Area Drain	LONG.	Longitudinal
A/C	Ar Conditioning Unit	LT.	Light / Lighting
ADD.	Addendum	MAINT.	Maintenance
ADJ.	Adjacent / Adjust	MAS.	Masonry
AHU	Air Handling Unit	MATL.	Material
ALT.	Alternate	MECH.	Mechanical
ALLM.	Aluminum	MED.	Medium
ANOD.	Anodized	MFR.	Manufacturer
APPROX.	Approximate	MH	Manhole
ARCH.	Architect / Architectural	MIN.	Minimum / Minute
AUTG.	Automatic	MISC.	Miscellaneous
AVG.	Average	MNDOT	Minnesota Department of Transportation
B.C.	Back of Curb	MOD.	Module / Modular
B/W	Bottom of Wall	MUL.	Mulch
BFE	Basement Floor Elevation	N.	North
BLDG	Building	NO. OR #	Not in Contact Number
BSMT.	Basement	NO.	Normal
C.F.	Cubic Feet	NTS	Not to Scale
C.F.S.	Cubic Feet Per Second	NWE	Normal Water Elevation
C.G.	Corner Guard	NWL	Normal Water Level
C.J.	Control Joint	ON CONC.	On Concrete
C.L.	Centerline	O.D.	Outside Dimension
C.M.U.	Concrete Masonry Unit	O.E.	Overhead Electric
C.O.	Cleanout	O.H.W.L.	Ordinary High Water Level
C.O.E.	U.S. Army Corps Of Engineers	OPEN.	Opening
C.Y.	Cubic Yards	ORIG.	Original
CB	Catch Basin	P.I.	Point of Intersection
CBTH	Catch Basin Manhole	P.I.V.	Post Indicator Valve
CEM.	Cement	P.L. OR P/L	Property Line
CP	Cast Iron Pipe	P.O.B.	Point of Beginning
CMP	Corrugated Metal Pipe	P.S.F.	Pounds Per Square Foot
CONC.	Concrete (Portland)	P.S.I.	Pounds Per Square Inch
CONN.	Connection	P.T.	Point of Tangency
CONST.	Construction	P.V.C.	Point of Vertical Curvature
CONT.	Continuous	P.V.T.	Point of Vertical Tangency
CONTR.	Contractor	P.V.T.	Point of Vertical Tangency
COP.	Copper	P.V.T.	Point of Vertical Tangency
CU.	Cubic	PE	Polyethylene
D.S.	Down Spout	PEP.	Pedestal / Pedestrian
DEC.	Degree	PERF.	Perforated
DEM.	Demolition / Demolish	PREP.	Preparation
DEPT.	Department	PROL.	Proposed
DET.	Detail	PROP.	Proposed
DIA.	Diameter	PVC	Poly-Vinyl-Chloride (Pvc)
DIAG.	Diagonal	PVMT.	Pavement
DM.	Dimension	QTR.	Quarter
DP	Ductile Iron Pipe	QTY.	Quantity
DN	Down	R	Radius
DWG.	Drawing	RAD.	Radius
E	Elevation	R.D.	Roof Drain
E.J.	Expansion Joint	R.E.	Remove Existing
E.O.F.	Emergency Overflow	R.O.	Rough Opening
E.O.S.	Emergency Overflow Slope	R.P.	Radius Point
E.W.	Each Way	RCP	Reinforced Concrete Pipe
EA.	Each	R.S.	Rough Slab
EL.	Elevation	RSD	Roof Storm Drain
ELEC.	Electrical	RE.	Regarding
ELEV.	Elevation	REINF.	Reinforced
EMER.	Emergency	REQD.	Required
ENGR.	Engineer	REV.	Revision / Revised
ENTR.	Entrance	REG.	Regulatory Government Unit
EQ.	Equal	R.O.W. OR R/W	Right of Way
EQUIP.	Equipment	S	Square Feet
EQUIV.	Equivalent	SAN.	Sanitary Sewer
EXIST.	Existing	SECT.	Section
EXP.	Expansion	SE	Side Exit
F & I	Furnish and Install	SEWO	Side Exit Walk Out
F.B.O.	Face of Curb	SH	Sheet
F.C.	Face of Curb	SHR	Shrub
F.D.	Floor Drain	SLNT.	Slant
F.D.C.	Fire Department Connection	SPEC.	Specification
F.V.	Field Verify	SQ.	Square
FB	Full Basement	SSD	Subsurface drain
FBWO	Full Basement Walk Out	STIMH	Storm Sewer Manhole
FBLD	Full Basement Look Out	STD	Standard
FDN.	Foundation	STRUCT.	Structural
FES	Finished Floor Elevation	SYM.	Symmetrical
FIE	Finished Floor Elevation	T	Thickness
FLR.	Floor	T/R	Top of Rim
FT. OR ( )	Foot	T/W	Top of Wall
FUT.	Future	TEMP.	Temporary
G.B.	Grade Break	THK.	Thick / Thickness
G.C.	General Contractor	TH	Thick / Thickness
G.C.	Galvanneal	TYP.	Typical
GALV.	Galvanized	UN.O.	Unless Noted Otherwise
GFE	Garage Floor Elevation	V.B.	Vapor Barrier
GL.	Class	V.C.	Vertical Curve
GR.	Grade	V.I.F.	Verify in Field
H.	High	VERT.	Vertical
H.P.	High Point	VEST.	Vestibule
HOPEP	High Density Polyethylene Pipe	W	Width
HCT	Horizontal	W.P.T.	Working Point
HORIZ.	Horizontal	W	Width
HVAC	Heating, Ventilation, Air Conditioning	W.I.F.	Welded Wire Fabric
HYD	Hydrant	W	Width
I.D.	Inside Dimension	W/O	Without
IN. OR ( )	Inches	W/O	Without
INFO.	Information	W/LD	Wetland
INL.	Inlet Elevation	WETL.	Wetland
INSUL.	Insulation	WP	Waterproof
INV.	Invert Elevation	WT.	Weight
		YD.	Yard
		YR.	Year

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	CONTOUR		CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY/OVERHANG
	CONCRETE		CONCRETE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	PAVING BLOCK		GUARD RAIL
	STORM SEWER LINE		CONCRETE RETAINING WALL
	SANITARY SEWER LINE		MODULAR RETAINING WALL
	WATER MAIN		FELDSTONE RETAINING WALL
	OVERHEAD ELECTRIC		EXIT LOCATION
	UNDERGROUND TELEPHONE		LIGHT STANDARD
	UNDERGROUND ELECTRIC		POWER POLE
	GAS LINE		SLOPE DIRECTION
	CONCRETE CURB		CATCH BASIN
	FENCING		MANHOLE
	RETAINING WALL		BOLLARD
	POWERPOLE		STORM SEWER
	GUY WIRE		SANITARY SEWER-WASTE
	GUARD POST		FORCE MAIN
	GAS METER		ROOF DRAIN SYSTEM
	TRANSFORMER		WATERMAN
	WATER SHUT-OFF VALVE		FIRE LINE (IF SEPARATE)
	TRAFFIC SIGN		FIRE DEPARTMENT CONNECTION
	FLAG POLE		SOIL SUBDRAIN
	LIGHT POLE		GAS LINE-UNDERGROUND
	TREES		ELECTRIC-UNDERGROUND
	TREE LINE		TELEPHONE-UNDERGROUND
	MANHOLE		UNDERGROUND CABLE/TV
	CATCH BASIN		LAWN SPRINKLER SLEEVE
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SEDIMENT CONTROL FENCE
	INLET PROTECTION

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)
	EXIT LOCATION: A = ACCESSIBLE E = EGRESS S = SERVICE

LEGAL DESCRIPTION

THE SOUTH 40 FEET OF LOTS 1 AND 2; THE SOUTH 55 FEET OF LOT 3; ALL IN BLOCK 15, MARSHALLS ADDITION TO THE TOWN OF ST. ANTHONY.

THE NORTH 40 FEET OF THE SOUTH 80 FEET OF LOTS 1 AND 2, BLOCK 15, MARSHALLS ADDITION TO THE TOWN OF ST. ANTHONY, HENNEPIN COUNTY, MINNESOTA.

LOTS 8, 9 AND 10, AND THE EAST ONE-HALF (E 1/2) OF LOT 7 ALSO THE SOUTH ONE HUNDRED AND FIFTEEN FEET (S 15) OF THE WEST ONE-HALF (W 1/2) OF LOT 7 AND THE SOUTH ONE HUNDRED AND FIFTEEN FEET (S 15) OF THE EAST EIGHT FEET (E 8) OF LOT 6, INCLUDING ADJOINING SEVEN FEET (7) OF BROADWAY VACATED, BLOCK 15, MARSHALLS ADDITION, EXCEPT THAT PART THEREOF, WHICH LIES WITHIN THE RIGHT OF WAY OF UNIVERSITY AVENUE NE.

BENCHMARK #1  
IN SOUTHEAST CORNER OF 26TH AVENUE NORTH BRIDGE 2784 OVER INTERSTATE HIGHWAY 94. ELEV.=932.85

BENCHMARK #2  
NEAR JUNCTION OF WASHINGTON AVENUE NORTH AND 22ND AVENUE. ELEV.=933.82

BENCHMARK

L THE VERTICAL DATUM IS BASED ON NAVD83. THE ORIGINATING BENCH MARKS ARE 2781 AU AND STERN MNDOT RM 3, BOTH REFERENCED FROM THE MNDOT GEODETIC DATABASE

OWNER

McDONALD'S USA, LLC.  
1650 WEST 82ND STREET #900  
BLOOMINGTON, MN 55431-9888  
TEL (952) 486-4157  
FAX (952) 885-4769  
CONTACT: RAY CROASTON

CIVIL SHEET INDEX

SHEET NO.	DESCRIPTION
C01	CIVIL TITLE SHEET
C11	EXISTING CONDITIONS & DEMOLITION
C21	SITE PLAN
C22	COD LAYOUT
C23	COD DETAILS
C24	COD DETAILS
C25	DRIVE-THRU DETAILS
C26	STRIPING
C31	GRADING, DRAINAGE, PAVING & EROSION CONTROL UTILITIES
C41	CIVIL CONSTRUCTION DETAILS
C71	CIVIL CONSTRUCTION DETAILS
C72	CIVIL CONSTRUCTION DETAILS

SITE/UTILITY CONTACTS

<p>WATER AND SANITARY SEWER CITY OF MINNEAPOLIS-PUBLIC WORKS 350 SOUTH 5TH STREET RM 203 CITY HALL MINNEAPOLIS, MN 55415</p> <p>TEL: 612.673.3000 FAX:</p>	<p>GAS CENTERPOINT ENERGY 800 LASALLE AVE. P.O. BOX 590338 MINNEAPOLIS, MN 55459</p> <p>TEL: 612.321.4939 FAX:</p>
--	--

REV	DATE	REVISION HISTORY
1	11-18-2013	REVISED PERMIT ISSUE
2	1-21-2014	MODIFIED FOR 10/02/2014 PERMIT
3	1-21-2014	SIGN VARIANCE SUBMITTAL

CERTIFICATION

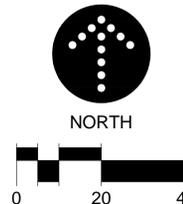
NOT FOR CONSTRUCTION

McDONALD'S USA, LLC.

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S USA, LLC. NO PART OF THESE DRAWINGS OR SPECIFICATIONS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF McDONALD'S USA, LLC. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR AT A LATER DATE WITHOUT THE WRITTEN PERMISSION OF McDONALD'S USA, LLC. ANY REVISIONS TO THESE DRAWINGS SHALL BE INDICATED BY A REVISION SYMBOL AND A REVISION NUMBER. ANY REVISIONS TO THESE DRAWINGS SHALL BE INDICATED BY A REVISION SYMBOL AND A REVISION NUMBER. ANY REVISIONS TO THESE DRAWINGS SHALL BE INDICATED BY A REVISION SYMBOL AND A REVISION NUMBER.

CITY	MINNEAPOLIS	STATE	MN
COUNTY	HENNEPIN	STATE	MN
STREET ADDRESS	1100 UNIVERSITY AVENUE NE	NATIONAL NUMBER	
SHEET NAME	CIVIL TITLE SHEET	DATE ISSUED	11-18-2013
DATE REVIEWED	11-12-2013	DATE ISSUED	11-18-2013
REVIEWED BY	CNC	DATE ISSUED	11-18-2013
PROJ. ISSUED	BRC	DATE ISSUED	11-18-2013

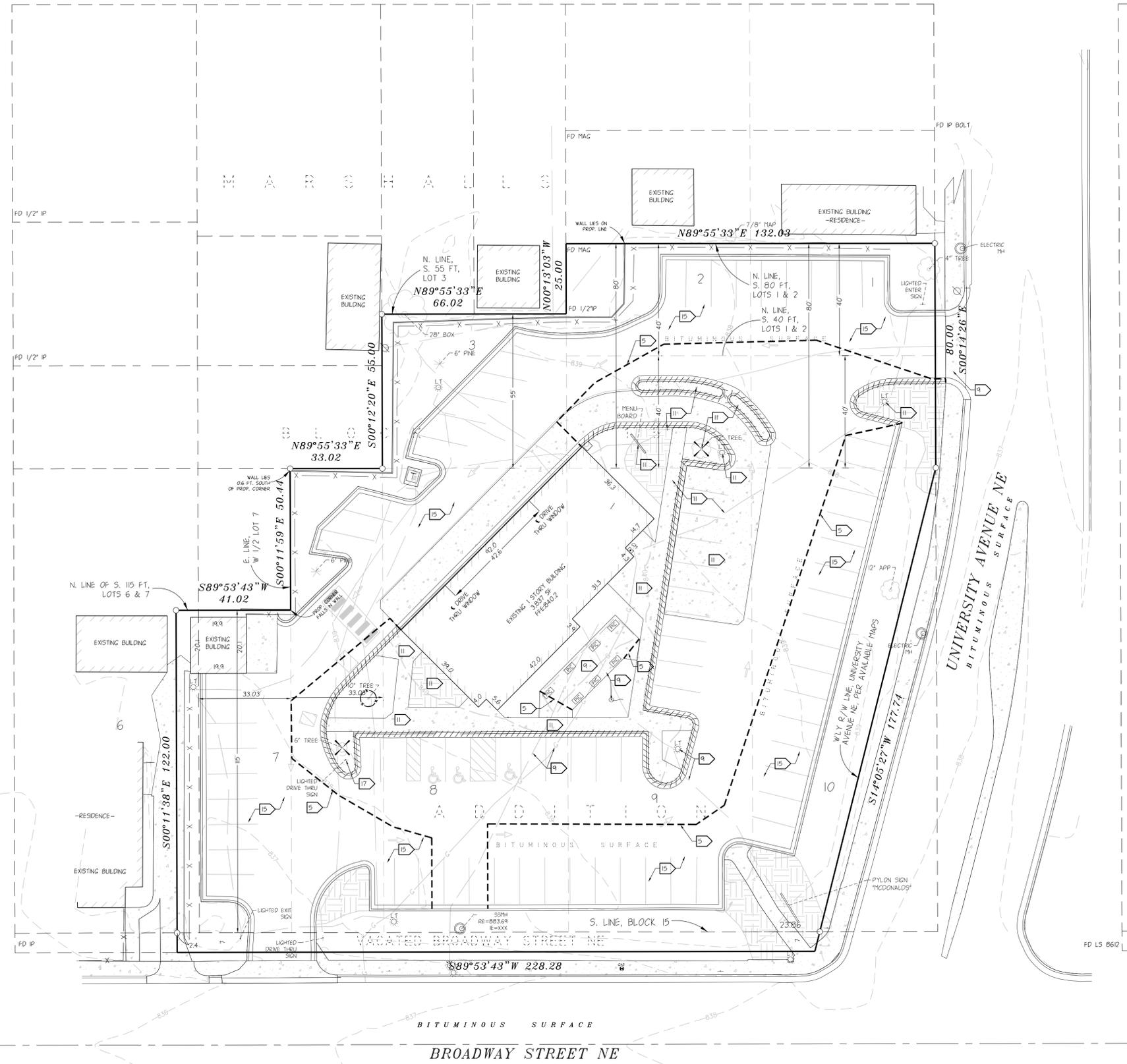
SHEET NO. C0.1  
FILE NAME: C001MCD247.DWG  
PROJECT NO. MCD13247



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3RD STREET NE



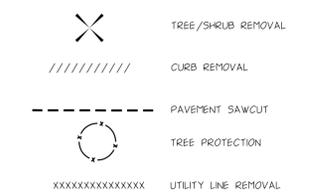
EXISTING CONDITIONS

BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY MFRA, PLYMOUTH, MINNESOTA ON AUGUST 8, 2012, EXPRESSLY FOR THIS PROJECT, MINNEAPOLIS, MINNESOTA RECORD DRAWINGS, AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

DEMOLITION AND CLEARING NOTES

- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
- BUILDING DEMOLITION: VERIFY WITH OWNER THAT BUILDING HAS BEEN CLEARED OF REGULATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL AND EXAMINED BY COMPETENT PERSON. REMOVE STRUCTURE, COLUMNS, CANOPIES, AND ANY ASSOCIATED CONSTRUCTION IN ITS ENTIRETY. REFER TO ARCHITECTURE.
- DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
- SAWCUT EXISTING PAVEMENT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
- SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
- COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY SERVICE PROVIDERS.
- PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION. THE CITY REQUIRES TRAFFIC CONTROL MEASURES TO BE IN PLACE DURING UTILITY INSTALLATION, EXISTING BUILDING DEMOLITION, DRIVEWAY INSTALLATION, SIDEWALK INSTALLATION AND FINAL RESTORATION WITHIN THE RIGHT-OF-WAY.
- PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOD, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
- REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH OWNER TO MARK TREES TO BE SAVED OR TRANSPLANTED PRIOR TO CLEARING.
- REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
- HALL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS.
- FILL AND OVERLAY ALL REMAINING BITUMINOUS PAVEMENT OUTSIDE THE SAWCUT LINE. REFER TO SHEET C3.1 FOR SPECIFICATIONS.
- REMOVE AND SALVAGE LIGHT POLE. REFER TO SHEET C4.1 FOR NEW LOCATION.
- REMOVE AND SALVAGE SIGN. REFER TO SHEET C2.1 FOR NEW LOCATION.

DEMOLITION LEGEND



REV	DATE	REVISION HISTORY
1	11-18-2013	REVISED PERMIT ISSUE
2	1-2-2014	MODIFIED FOR 100/224 AGREEMENT
3	1-2-2014	SIGN VARIANCE SUBMITTAL

CERTIFICATION

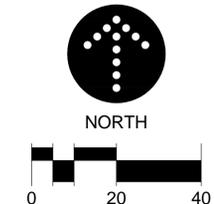
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DRAWN BY BRC	STATE MN
PROTO. ISSUED	COUNTY HENNEPIN
REVIEWED BY CNC	STREET ADDRESS 1100 UNIVERSITY AVENUE NE
DATE REVIEWED 11-12-2013	SHEET NAME EXISTING CONDITIONS & DEMOLITION
DATE ISSUED 11-18-2013	NATIONAL NUMBER
	STATE NUMBER

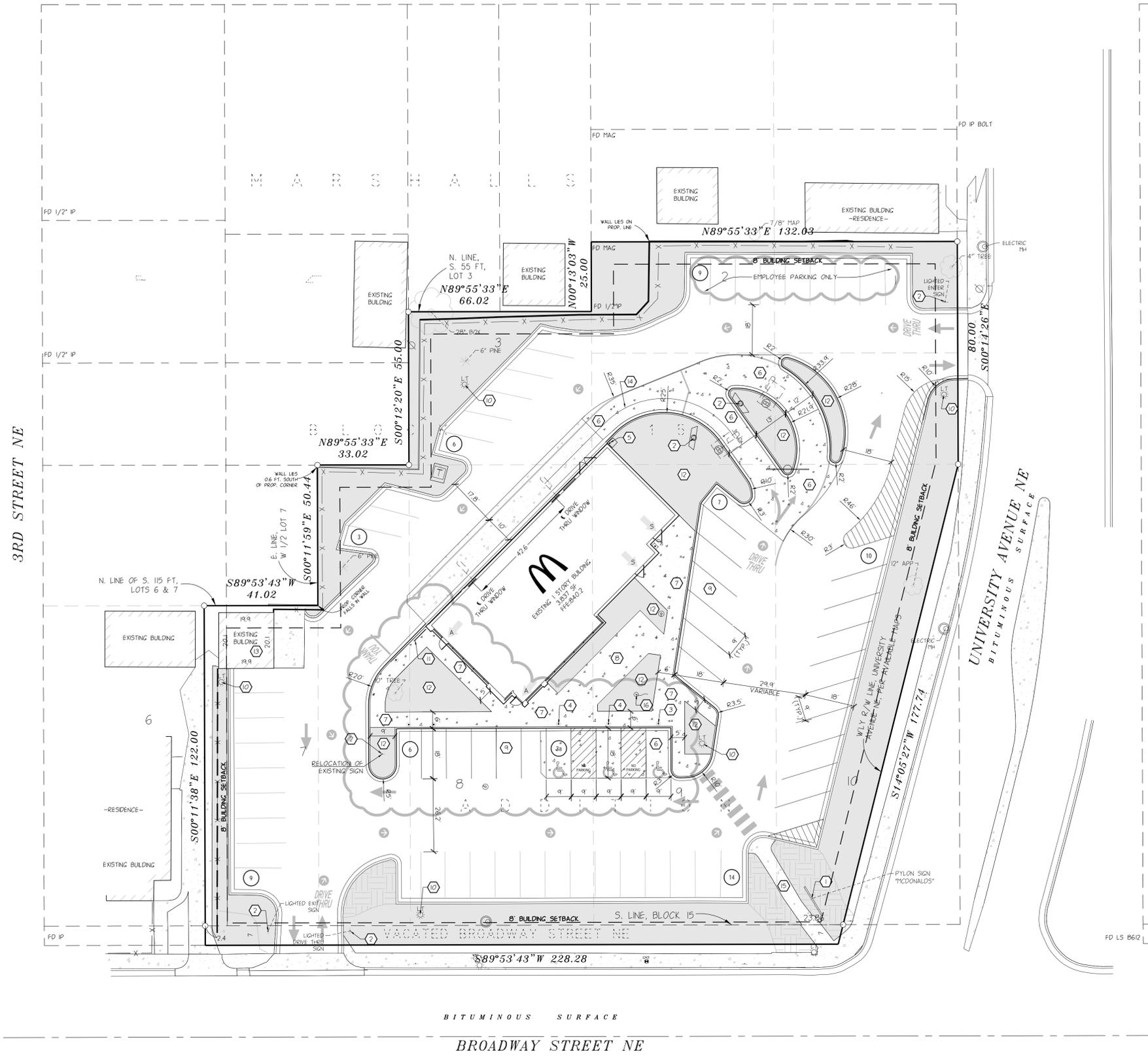


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**SITE CONSTRUCTION NOTES**

- 1 EXISTING McDONALD'S PYLON SIGN.
- 2 DRIVE-THRU SIGNAGE. SEE McDONALD'S AREA CONSTRUCTION MANAGER.
- 3 STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARDS PER DETAIL C7.1/5.
- 4 STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARDS WITH "VAN ACCESSIBLE" SIGN PER DETAIL C7.1/5.
- 5 6' x 36' BOLLARD. REFER TO DETAIL C7.1/2.
- 6 CONCRETE DRIVE APRONS AND SLABS. REFER TO SHEET C3.1 FOR SPECIFICATIONS.
- 7 CONCRETE SIDEWALK. MEET AND MATCH EXISTING SIDEWALK. REFER TO SHEET C3.1.
- 8 CONCRETE PATIO.
- 9 BITUMINOUS PAVEMENT. REFER TO SHEET C3.1 FOR SPECIFICATIONS.
- 10 EXISTING PARKING LOT LIGHT.
- 11 6' x 42" RAILING. REFER TO ARCHITECTURAL.
- 12 PLANTING AREA. SEE McDONALD'S AREA CONSTRUCTION MANAGER.
- 13 EXISTING TRASH ENCLOSURE.
- 14 STACKING DISTANCE IS 85'.
- 15 EXISTING CONNECTION TO PUBLIC SIDEWALK.
- 16 FLAG POLE.

**SITE PLAN NOTES**

1. OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
  2. THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
  3. DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- GREEN SPACE

**ZONING AND SETBACK SUMMARY**

THE PROPERTY IS ZONED C2-NEIGHBORHOOD CORRIDOR COMMERCIAL DISTRICT

BUILDING SETBACK INFORMATION IS AS FOLLOWS:  
 FRONT YARD = 8 FT.  
 REAR = 8 FT.  
 SIDE = 8 FT.

**PARKING SUMMARY**

**REQUIRED PARKING:**

ONE STALL PER 500 SF OF GFA UP TO 2,000 SF  
 ONE STALL PER 300 SF OF GFA AFTER 2,000 SF  
 4,039 SF TOTAL  
 2,000 SF / 500 = 4 STALLS  
 2,039 SF / 300 = 7 STALLS

TOTAL PARKING STALLS REQUIRED 11 EA.

**PROVIDED PARKING:**

STANDARD STALLS (9x18)	64 EA.
ACCESSIBLE STALLS (9x18)	3 EA.
TOTAL PARKING STALLS PROVIDED	67 EA.

**AREA SUMMARY**

	PERVIOUS	IMPERVIOUS	TOTAL (1.27 AC)
<b>EXISTING:</b>	13,675 S.F. 24.7%	41,586 S.F. 75.3%	55,261 S.F. 100.0%
<b>PROPOSED:</b>	14,249 S.F. 25.8%	41,012 S.F. 74.2%	55,261 S.F. 100.0%

REV	DATE	REVISION HISTORY
1	11-18-2013	REVISED PERMIT ISSUE
2	1-21-2014	MODIFIED FOR 100/224 APPEAL
3	1-21-2014	SIGN VARIANCE SUBMITTAL

**CERTIFICATION**

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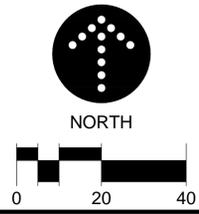
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DRAWN BY <b>BRC</b>	STATE <b>MN</b>
PROTO. ISSUED	COUNTY <b>HENNEPIN</b>
REVIEWED BY <b>CNC</b>	STREET ADDRESS <b>1100 UNIVERSITY AVENUE NE</b>
DATE REVIEWED <b>11-12-2013</b>	SHEET NAME <b>SITE PLAN</b>
DATE ISSUED <b>11-18-2013</b>	NATIONAL NUMBER
	STATE NUMBER

SHEET NO. **C2.1**

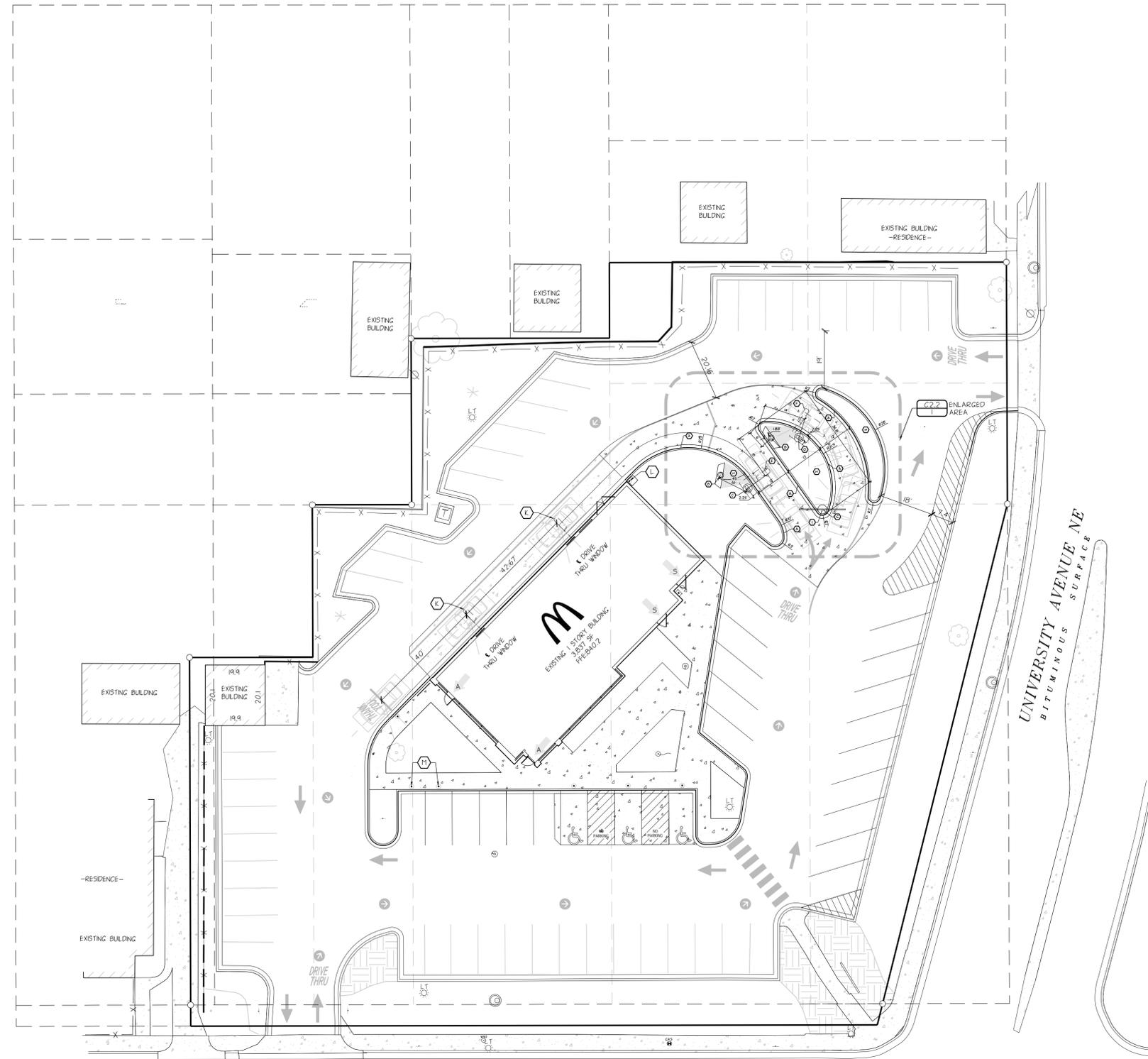
FILE NAME: C201MCD247.DWG  
 PROJECT NO. MCD13247



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3RD STREET NE



BITUMINOUS SURFACE  
BROADWAY STREET NE

1

**COD CONSTRUCTION NOTES**

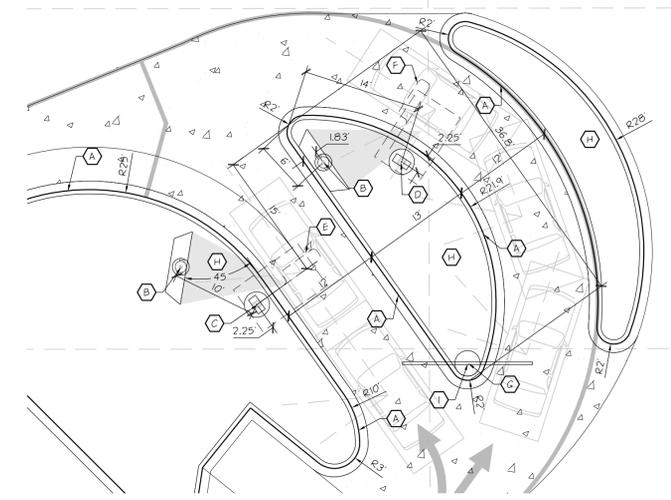
- (A) NEW CONCRETE CURB AND GUTTER.
- (B) INSTALL NEW MENU BOARD. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (C) PRIMARY LANE HIGH IMPACT COD AND CANOPY. LOCATE B5 FROM C.L. OF COD TO C.L. OF CASH WINDOW MEASURED ALONG C.L. OF TRAVEL PATH. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (D) SECONDARY LANE HIGH IMPACT COD AND CANOPY. LOCATE 14'-0" FROM NOSE OF CONCRETE ISLAND. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (E) INSTALL PRIMARY LANE DETECTOR LOOP. FLIP LOOP FORWARD.
- (F) INSTALL SECONDARY LANE DETECTOR LOOP 2'-0" FORWARD OF C.L. OF COD. FLIP LOOP FORWARD.
- (G) DOUBLE ARM GATEWAY SIGN. CENTER OF THE FOOTING OF THE GATEWAY SIGN SHALL BE 18" FROM THE BACK OF CURB. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (H) LANDSCAPED AREA.
- (I) ANY LANE ANY TIME SIGN. ATTACH SIGN TO GATEWAY 6' FROM BOTTOM OF POST. SEE SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (J) OPTIONAL PRE-SELL BOARD. BOARD SHALL BE LOCATED 30' FRONT THE C.L. OF THE PRIMARY COD TO THE C.L. OF THE PRE-SELL BOARD AND 12" TO 18" FROM THE BACK OF CURB. SEE SHEET C2.3 FOR FOUNDATION DETAIL, C2.5 FOR SCHEMATIC DETAIL, AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS. NOT USED.
- (K) INSTALL DETECTOR LOOPS AT CASH AND PRESENT WINDOWS.
- (L) INSTALL BOLLARD AT THE CORNER OF THE BUILDING ON THE DRIVE THRU SIDE. BOLLARD SHALL BE FLUSH AGAINST THE BUILDING AND THE FACE OF THE BOLLARD SHALL BE TIGHT AGAINST THE BACK OF CURB. SEE DETAIL 12 SHEET C7.1.
- (M) INSTALL PULL FORWARD SIGN & BOLLARD. SEE DETAIL 2 SHEET C2.5.

**GENERAL NOTES**

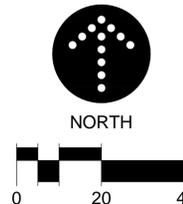
1. SIGNAGE & DRIVE-THRU ELEMENTS:  
COD, DRIVE-THRU PYLON/CLEARANCE POLE, BOLLARD SIGN, AND FREESTANDING PERSONALIZER SHALL BE CONSISTENT WITH THE 2010 STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS. OTHER DESIGNS MAY NOT BE USED.
2. GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL PLANS, MCDONALD'S PROJECT MANAGER, AND SIGNAGE SUPPLIER TO DETERMINE THE EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF SIGNS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES.
3. CONTACT MCDONALD'S PROJECT MANAGER FOR SIGNAGE & DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS. SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
4. SEE SHEET C2.5 AND ELECTRICAL SHEETS FOR DRIVE-THRU WIRING INFORMATION.
5. GENERAL CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
6. GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
7. GENERAL CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.

**COD LAYOUT NOTES**

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE ON PLAN.
2. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY MCDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
3. SEE SHEET C2.1 FOR ALL OTHER CONSTRUCTION SITE DIMENSIONS.
4. SEE SHEET C2.6 FOR STRIPING.



ENLARGED AREA 1  
SCALE: 1"=10'



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	1-2-2014	MODIFIED FOR 100/224 APPROXIMATE
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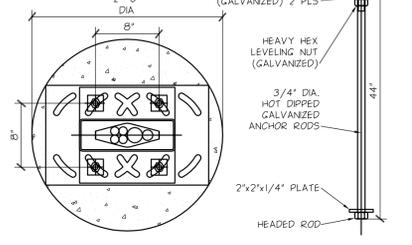
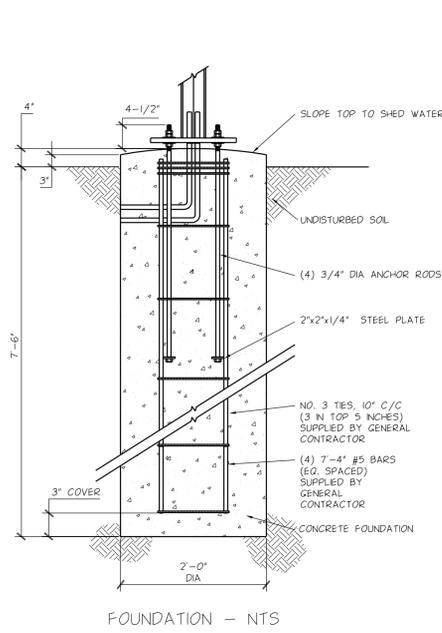
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STATE	MN
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STREET ADDRESS	1100 UNIVERSITY AVENUE NE
SHEET NAME	COD LAYOUT
NATIONAL NUMBER	
STATE NUMBER	
DATE ISSUED	11-18-2013
DATE REVIEWED	11-12-2013
REVIEWED BY	CNC
PROT. ISSUED	
DRAWN BY	BRC
SHEET NO.	C2.2
FILE NAME:	C202MCD247.DWG
PROJECT NO.	MCD13247

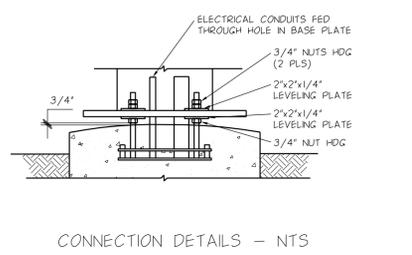
**FOUNDATION NOTES:**  
 -PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2)  
 -ALL REINFORCING STEEL BY GENERAL CONTRACTOR

**NOTES:**  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER



**ANCHOR BOLT PATTERN - NTS**

**NOTES:**  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



**FP43-OPO MENUBOARD FOUNDATION - 90 MPH**

**GENERAL NOTES**

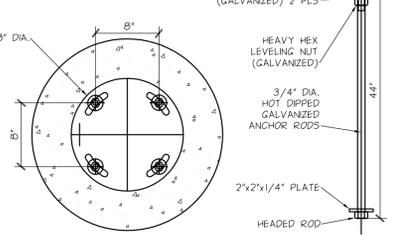
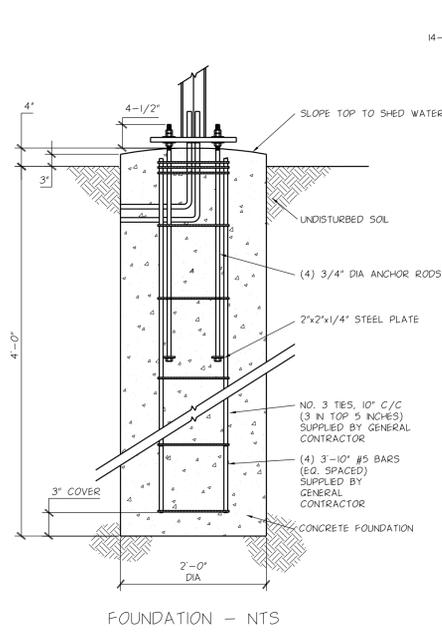
-THE FOLLOWING CODES WERE USED IN DESIGN:  
 -BC 2009  
 -ASCE 7-05  
 -ACI 308-08  
 -ASC 15th EDITION  
 -WIND SPEED 90 MPH (MPH 3-SEC GUST)  
 -EXPOSURE C  
 -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:  
 -SHEAR - 1350#  
 -TORSION - 1290#  
 -ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.  
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2).  
 -SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.  
 -TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).  
 -ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.  
 -CONCRETE:  
 -ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.  
 -ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -MINIMUM CONCRETE STRENGTH (F'<sub>c</sub>=3000 PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.  
 -USE OF ADmixTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.  
 -AIR ENTRAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.4.  
 -PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.  
 -REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5, PERFORMED BY GENERAL CONTRACTOR.  
 -ANCHOR RODS TO BE SET IN ACCORDANCE WITH ASC CODE OF STANDARD PRACTICE CAST-IN-PLACE CONCRETE UNITS. CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.1-E.  
 -STEEL:  
 -STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F<sub>y</sub>=35ksi)  
 -HSS ROUND SECTION: ASTM A500 GRADE B (F<sub>y</sub>=42ksi)  
 -HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F<sub>y</sub>=42ksi)  
 -HEADED ANCHOR RODS ASTM F1954 OR 25. AN ACCEPTABLE ALTERNATIVE IS ASTM F1954 OR 25. 51 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZING.  
 -STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
 -NUTS: ASTM A563A, HEAVY HEX  
 -WASHERS: ASTM A563A, HEAVY HEX  
 -USE ASTM A303 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.  
 -DO NOT HEAT TO BEND STEEL. SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.  
 -DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE.  
 -ANCHOR RODS TO BE SET IN ACCORDANCE WITH ASC CODE OF STANDARD PRACTICE CAST-IN-PLACE CONCRETE UNITS. CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.1-E.  
 -ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D11.  
 -REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.  
 -CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.  
 -DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS.  
 -ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER.  
 -THIS FOUNDATION TO BE USED ONLY WITH FLORIDA PLASTICS INTERNATIONAL INC. STANDARD 090-4/ FP43 PENU BOARD WITH TOPPER.

NO SCALE

3

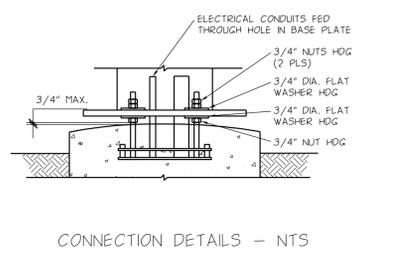
**FOUNDATION NOTES:**  
 -PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2)  
 -ALL REINFORCING STEEL BY GENERAL CONTRACTOR

**NOTES:**  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER



**ANCHOR BOLT PATTERN - NTS**

**NOTES:**  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



**OPO PRE-SELL FOUNDATION - 90 MPH**

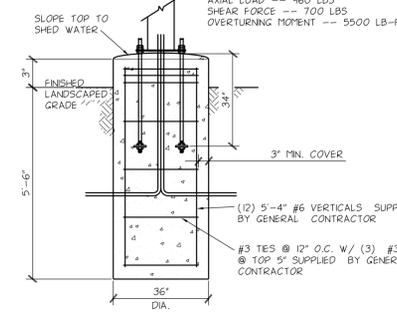
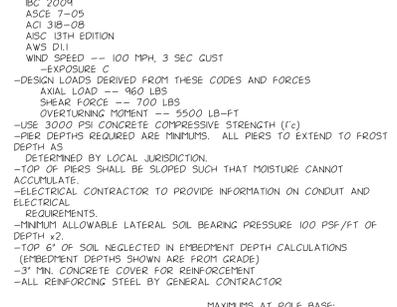
**GENERAL NOTES**

-THE FOLLOWING CODES WERE USED IN DESIGN:  
 -BC 2009  
 -ASCE 7-05  
 -ACI 308-08  
 -ASC 15th EDITION  
 -WIND SPEED 90 MPH (MPH 3-SEC GUST)  
 -EXPOSURE C  
 -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:  
 -SHEAR - 1350#  
 -TORSION - 1290#  
 -ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.  
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2).  
 -SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.  
 -TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).  
 -ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.  
 -CONCRETE:  
 -ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.  
 -ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -MINIMUM CONCRETE STRENGTH (F'<sub>c</sub>=3000 PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.  
 -USE OF ADmixTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.  
 -AIR ENTRAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.4.  
 -PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.  
 -REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5, PERFORMED BY GENERAL CONTRACTOR.  
 -ANCHOR RODS TO BE SET IN ACCORDANCE WITH ASC CODE OF STANDARD PRACTICE CAST-IN-PLACE CONCRETE UNITS. CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.1-E.  
 -STEEL:  
 -STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F<sub>y</sub>=35ksi)  
 -HSS ROUND SECTION: ASTM A500 GRADE B (F<sub>y</sub>=42ksi)  
 -HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F<sub>y</sub>=42ksi)  
 -HEADED ANCHOR RODS ASTM F1954 OR 25. AN ACCEPTABLE ALTERNATIVE IS ASTM F1954 OR 25. 51 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZING.  
 -STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
 -NUTS: ASTM A563A, HEAVY HEX  
 -WASHERS: ASTM A563A, HEAVY HEX  
 -USE ASTM A303 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.  
 -DO NOT HEAT TO BEND STEEL. SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.  
 -DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE.  
 -ANCHOR RODS TO BE SET IN ACCORDANCE WITH ASC CODE OF STANDARD PRACTICE CAST-IN-PLACE CONCRETE UNITS. CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.1-E.  
 -ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D11.  
 -REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.  
 -CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.  
 -DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS.  
 -ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER.  
 -THIS FOUNDATION TO BE USED ONLY WITH FLORIDA PLASTICS INTERNATIONAL INC.

NO SCALE

4

**NOTE:**  
 -DESIGN CODES  
 BC 2009  
 ASCE 7-05  
 ACI 308-08  
 ASC 15th EDITION  
 WIND SPEED 100 MPH (MPH 3-SEC GUST)  
 EXPOSURE C  
 DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:  
 AXIAL LOAD - 960 LBS  
 SHEAR FORCE - 700 LBS  
 OVERTURNING MOMENT - 5500 LB-FT  
 USE 3000 PSI CONCRETE COMPRESSIVE STRENGTH (F'<sub>c</sub>)  
 PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
 TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.  
 MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2).  
 TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).  
 PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.  
 FOUNDATION IS DESIGNED FOR SINGLE OR DOUBLE POLE COLLUMNS.  
 ALL REINFORCING STEEL BY GENERAL CONTRACTOR

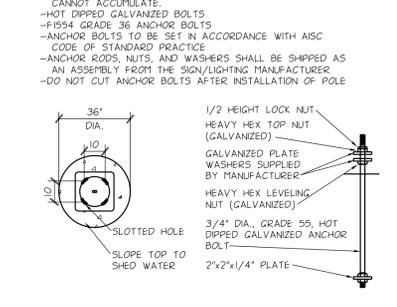


**FOUNDATION - NTS**

**CONNECTION DETAILS - NTS**

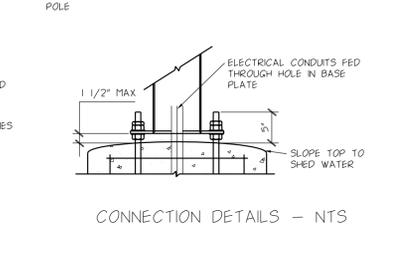
1

**NOTES:**  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



**ANCHOR BOLT PATTERN - NTS**

**NOTES:**  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



**ORDER HERE CANOPY - 100 MPH**

**GENERAL NOTES**

-THE FOLLOWING CODES WERE USED IN DESIGN:  
 -BC 2009  
 -ASCE 7-05  
 -ACI 308-08  
 -ASC 15th EDITION  
 -WIND SPEED 100 MPH 3 SEC GUST  
 -EXPOSURE C  
 -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:  
 -AXIAL - 960 LBS  
 -SHEAR - 700 LBS  
 -TORSION - 5500 LB-FT  
 -ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.  
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2).  
 -SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.  
 -TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).  
 -ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.  
 -CONCRETE:  
 -ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.  
 -ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
 -TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
 -MINIMUM CONCRETE STRENGTH (F'<sub>c</sub>) SHOULD CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.  
 -USE OF ADmixTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.  
 -AIR ENTRAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.4.  
 -WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.1-A.  
 -FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.1-A.  
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 -ANCHOR RODS TO BE SET IN ACCORDANCE WITH ASC CODE OF STANDARD PRACTICE CAST-IN-PLACE CONCRETE UNITS. CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.1-E.  
 -STEEL:  
 -STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F<sub>y</sub> = 35ksi)  
 -HSS ROUND SECTION: ASTM A500 GRADE B (F<sub>y</sub> = 42ksi)  
 -HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F<sub>y</sub> = 42ksi)  
 -STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
 -NUTS: ASTM A563A, HEAVY HEX  
 -WASHERS: ASTM A563A, HEAVY HEX  
 -USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.  
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 -ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER.

REVISION HISTORY	DATE	REVISED PERIT ISSUE
1	11-18-2013	REVISED PERIT ISSUE
2	11-21-2014	MODIFIED FOR 100/274 APPROXIMATE SIGN VARIANCE SUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

**DOUBLE GATEWAY FOUNDATION - 100 MPH**

NO SCALE

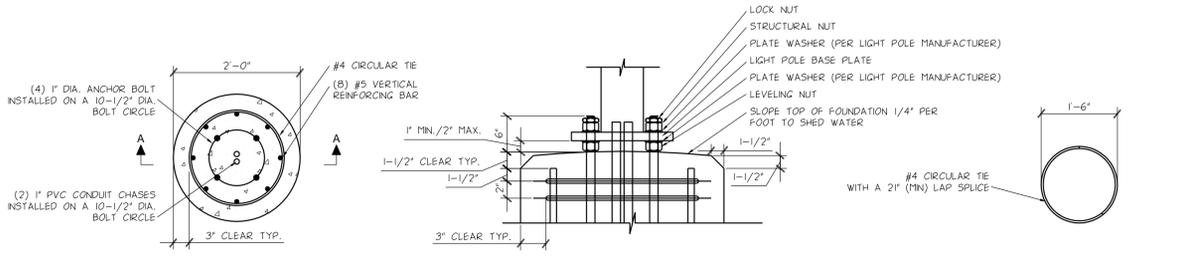
**GENERAL NOTES**

-THE FOLLOWING CODES WERE USED IN DESIGN:  
 -BC 2009  
 -ASCE 7-05  
 -ACI 308-08  
 -ASC 15th EDITION  
 -WIND SPEED 100 MPH 3 SEC GUST  
 -EXPOSURE C  
 -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:  
 -AXIAL - 960 LBS  
 -SHEAR - 700 LBS  
 -TORSION - 5500 LB-FT  
 -ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.  
 -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2).  
 -SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.  
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 -STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F<sub>y</sub> = 35ksi)  
 -HSS ROUND SECTION: ASTM A500 GRADE B (F<sub>y</sub> = 42ksi)  
 -HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F<sub>y</sub> = 42ksi)  
 -STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
 -NUTS: ASTM A563A, HEAVY HEX  
 -WASHERS: ASTM A563A, HEAVY HEX  
 -USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS  
 -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.  
 -DO NOT HEAT TO BEND STEEL. SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.  
 -DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.  
 -ANCHOR RODS TO BE SET IN ACCORDANCE WITH ASC CODE OF STANDARD PRACTICE CAST-IN-PLACE CONCRETE UNITS. CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.1-E.  
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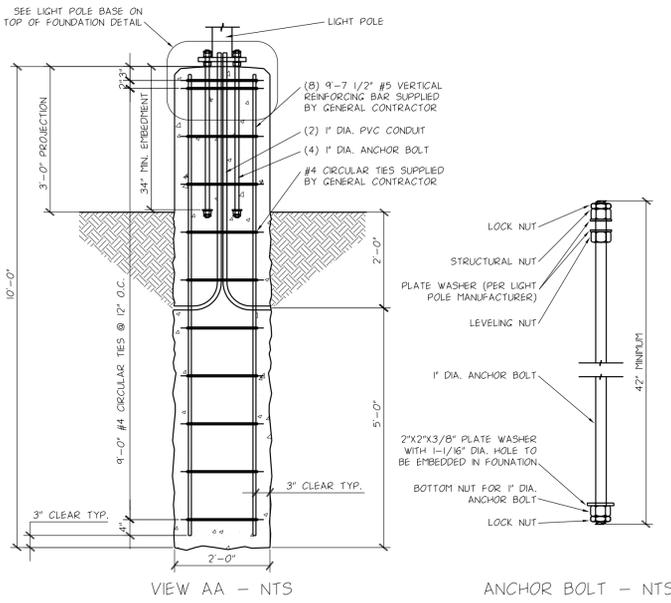
McDONALD'S USA, LLC.

CITY	MINNEAPOLIS	STATE	MN
STREET ADDRESS	100 UNIVERSITY AVENUE NE	COUNTY	HENNEPIN
SHEET NAME	COD DETAILS	DATE REVIEWED	11-12-2013
NATIONAL NUMBER		DATE ISSUED	11-18-2013
FILE NAME	C203MCD247.DWG	OFFICE ADDRESS	900 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355
PROJECT NO.	MCD13247		

C2.3



POLE BASE - PLAN VIEW - NTS      POLE BASE AT FOUNDATION - NTS      CIRCULAR TIE DETAIL - NTS



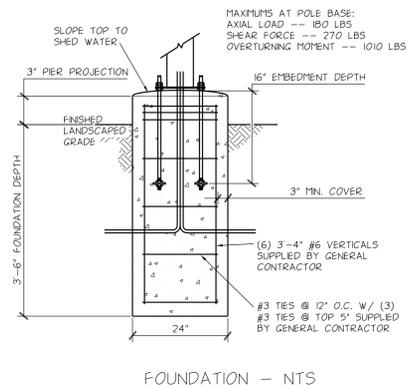
VIEW AA - NTS      ANCHOR BOLT - NTS

DESIGN CRITERIA:  
AASHTO "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS, FIFTH EDITION, 2009"

- FOUNDATION DESIGN PARAMETERS:
- MAXIMUM LIGHT POLE BASE REACTIONS: BASE MOMENT = 16,845 lbs-ft. BASE SHEAR = 978 lbs.
  - MAXIMUM WIND SPEED (3 SECOND GUST) = 120MPH
  - MINIMUM REQUIRED SOIL PARAMETERS: COHESIVE SOILS:  
- SHEAR STRENGTH = 750 lb/ft<sup>2</sup>  
- MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL COHESIONLESS SOILS:  
- ANGLE OF INTERNAL FRICTION = 27 DEGREES  
- WATER TABLE SHALL BE LOCATED BELOW THE BOTTOM OF THE FOUNDATION  
- MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL
  - THE SOILS REPORT SHALL BE REVIEWED BY THE ENGINEER OF RECORD TO CONFIRM THAT THE MINIMUM SOIL PARAMETERS ARE MET OR EXCEEDED. IF THE FOUNDATION'S MAXIMUM DESIGN LOADS HAVE NOT BEEN EXCEEDED, THIS FOUNDATION DESIGN SHALL NOT BE USED IF THE MINIMUM SOIL PARAMETERS ARE NOT MET, THIS DESIGN SHALL NOT BE USED.
  - THE ENGINEER OF RECORD SHALL REVIEW THE MAXIMUM BASE REACTIONS AND DESIGN WIND SPEED FOR THE LIGHT POLE TO BE INSTALLED TO DETERMINE IF THE FOUNDATION'S MAXIMUM DESIGN LOADS HAVE NOT BEEN EXCEEDED. THIS FOUNDATION DESIGN SHALL NOT BE USED IF THE MAXIMUM DESIGN LOADS OR WIND SPEED HAVE BEEN EXCEEDED.
  - THIS FOUNDATION DESIGN SHALL NOT BE USED IN LOCATIONS WHICH ARE CLOSER THAN 8ft FROM A RETAINING WALL.
  - THIS FOUNDATION DESIGN SHALL NOT BE USED AT LOCATIONS WHERE THE GROUND SLOPE EXCEEDS 4 INCHES PER FOOT.

- GENERAL NOTES:
- CONCRETE COMPRESSIVE STRENGTH (f<sub>c</sub>) SHALL BE A MINIMUM OF 3000psi
  - ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 55, HOT DIP GALVANIZED PER ASTM F2329
  - REINFORCING STEEL SHALL BE ASTM A615 GRADE 60, SUPPLIED BY GENERAL CONTRACTOR
  - NUTS SHALL BE HEAVY HEX ASTM A563 GRADE 50, HOT DIP GALVANIZED PER ASTM A153
  - PLATE SHALL BE ASTM A572 GRADE 50, HOT DIP GALVANIZED PER ASTM A153
  - LOCK NUT SHALL BE HOT DIP GALVANIZED PER ASTM A153

- NOTE:
- DESIGN CODES: IBC 2009, ASCE 7-05, ACI 318-08, AISC 13th EDITION, AWS D11, EXPOSURE C, WIND SPEED 100 MPH 3-SEC GUST
  - DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
  - AXIAL - 180#
  - SHEAR - 270#
  - MOMENT - 1010#
  - USE CONCRETE WITH A 3000PSI MINIMUM COMPRESSIVE STRENGTH (f<sub>c</sub>)
  - PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
  - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
  - ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
  - MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2)
  - TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).
  - PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.
  - ALL REINFORCING STEEL BY GENERAL CONTRACTOR.



FOUNDATION - NTS      CONNECTION DETAILS - NTS

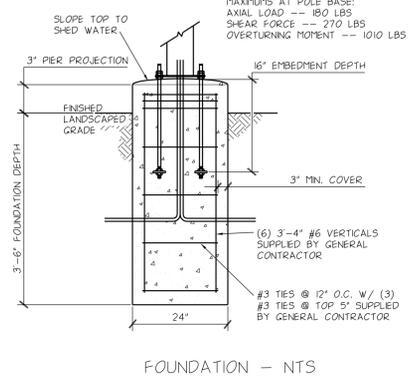
1 TYPICAL DIRECTIONAL SIGN WITH ARCH FOUNDATION & CONNECTION DETAILS - 100 MPH RATING

NO SCALE

3 TYPICAL DIRECTIONAL LIGHT POLE FOUNDATION DETAILS

NO SCALE

- NOTE:
- DESIGN CODES: IBC 2009, ASCE 7-05, ACI 318-08, AISC 13th EDITION, AWS D11, EXPOSURE C, WIND SPEED 100 MPH 3-SEC GUST
  - DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
  - AXIAL - 180#
  - SHEAR - 270#
  - MOMENT - 600#
  - USE CONCRETE WITH A 3000PSI MINIMUM COMPRESSIVE STRENGTH (f<sub>c</sub>)
  - PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
  - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
  - ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
  - MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2)
  - TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).
  - PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.
  - ALL REINFORCING STEEL BY GENERAL CONTRACTOR.

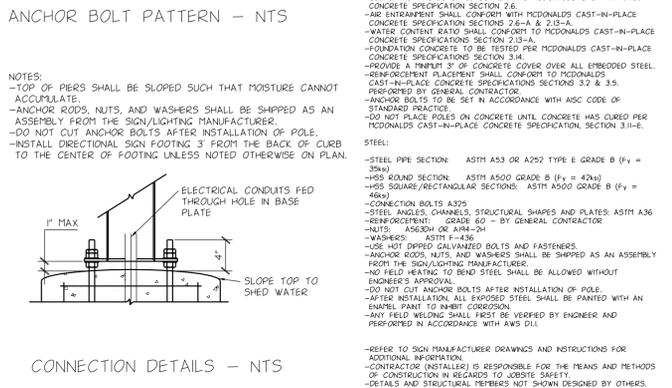


FOUNDATION - NTS      CONNECTION DETAILS - NTS

2 TYPICAL DIRECTIONAL SIGN WITHOUT ARCH FOUNDATION & CONNECTION DETAILS - 100 MPH RATING

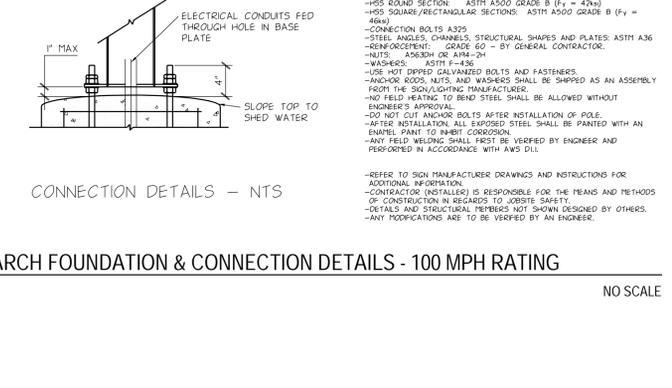
NO SCALE

- GENERAL NOTES
- THE FOLLOWING CODES WERE USED IN DESIGN: BC 2009, ASCE 7-05, ACI 318-08, AISC 13th EDITION, AWS D11, WIND SPEED 100 MPH 3-SEC GUST, EXPOSURE C, DESIGN LOADS DERIVED FROM THESE CODES AND FORCES: AXIAL - 180#, SHEAR - 270#, MOMENT - 1010#
  - ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
  - MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
  - SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
  - TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).
  - ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
  - CONCRETE:
  - ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 1587-10 (STANDARD PRACTICE) UNLESS NOTED OTHERWISE.
  - ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
  - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
  - MINIMUM CONCRETE STRENGTH (f<sub>c</sub>) SHOULD CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.3.1-A.
  - USE OF ADAPTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.
  - AIR ENTRAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 2.6.4 & 2.13.1-A.
  - WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13.1-A.
  - FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.4.
  - PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
  - REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.
  - ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
  - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
  - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.
  - INSTALL DIRECTIONAL SIGN FOOTING 3' FROM THE BACK OF CURB TO THE CENTER OF FOOTING UNLESS NOTED OTHERWISE ON PLAN.



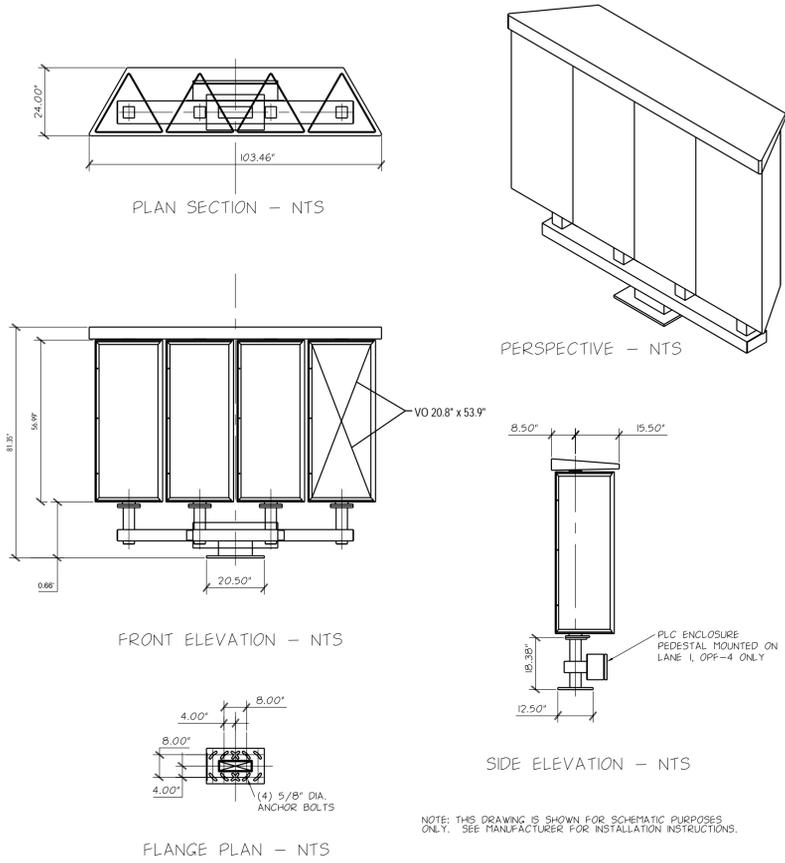
ANCHOR BOLT PATTERN - NTS      CONNECTION DETAILS - NTS

- GENERAL NOTES
- THE FOLLOWING CODES WERE USED IN DESIGN: BC 2009, ASCE 7-05, ACI 318-08, AISC 13th EDITION, AWS D11, WIND SPEED 100 MPH 3-SEC GUST, EXPOSURE C, DESIGN LOADS DERIVED FROM THESE CODES AND FORCES: AXIAL - 180#, SHEAR - 270#, MOMENT - 600#
  - ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
  - MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
  - SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
  - TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).
  - ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
  - CONCRETE:
  - ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 1587-10 (STANDARD PRACTICE) UNLESS NOTED OTHERWISE.
  - ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
  - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
  - MINIMUM CONCRETE STRENGTH (f<sub>c</sub>) SHOULD CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.3.1-A.
  - USE OF ADAPTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.
  - AIR ENTRAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 2.6.4 & 2.13.1-A.
  - WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13.1-A.
  - FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.4.
  - PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
  - REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.
  - ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
  - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
  - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.
  - INSTALL DIRECTIONAL SIGN FOOTING 3' FROM THE BACK OF CURB TO THE CENTER OF FOOTING UNLESS NOTED OTHERWISE ON PLAN.



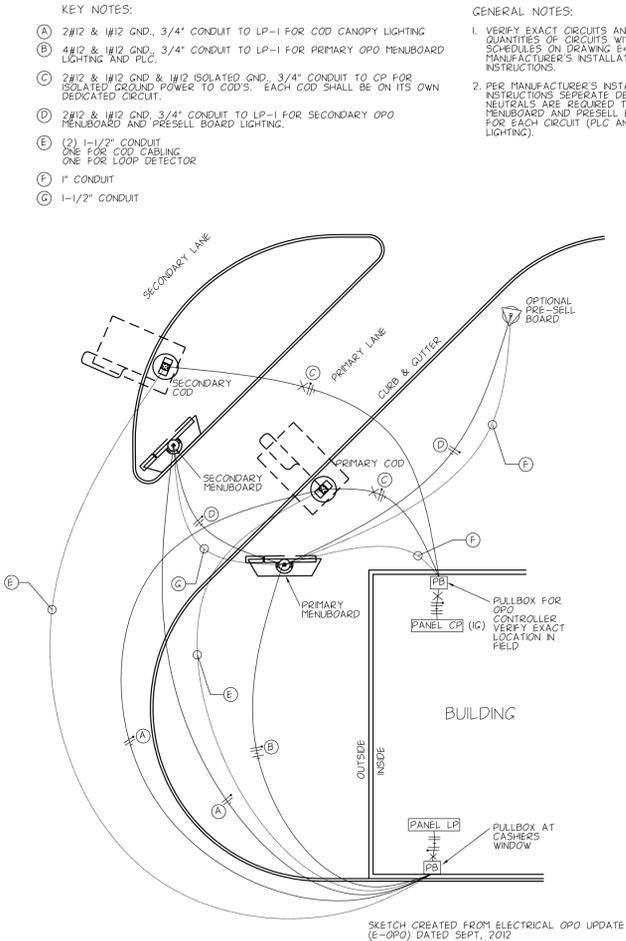
ANCHOR BOLT PATTERN - NTS      CONNECTION DETAILS - NTS

REVISION HISTORY	DATE	REVISION
11-18-2013	REVISED PERIT ISSUE	
1-21-2014	MODIFIED FOR 100/200 ARCH FOUNDATION	
1-21-2014	SIGN VARIANCE SUBMITTAL	
CERTIFICATION		
NOT FOR CONSTRUCTION		
McDONALD'S USA, LLC.		
STATE: MN	CITY: MINNEAPOLIS	STREET ADDRESS: 100 UNIVERSITY AVENUE NE
COUNTY: HENNEPIN	SHEET NAME: COD DETAILS	DATE ISSUED: 11-18-2013
STATE NUMBER: 11-18-2013	STATE NUMBER: 11-18-2013	OFFICE ADDRESS: #900 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355
FILE NAME: C204MCD247.DWG	PROJECT NO: MCD13247	



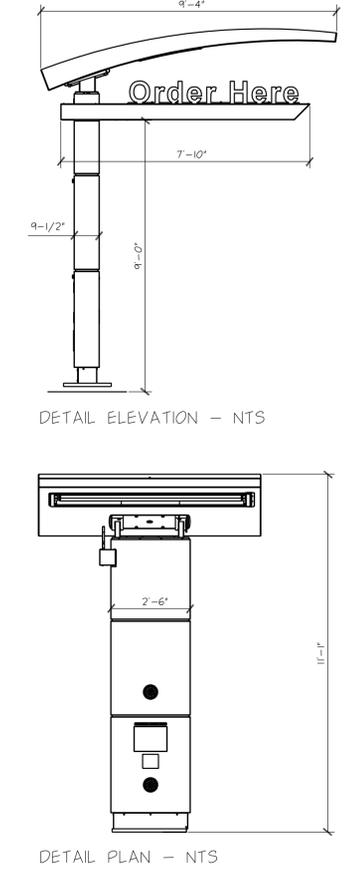
5 OPO-4 MENU BOARD SCHEMATIC DETAIL

NO SCALE



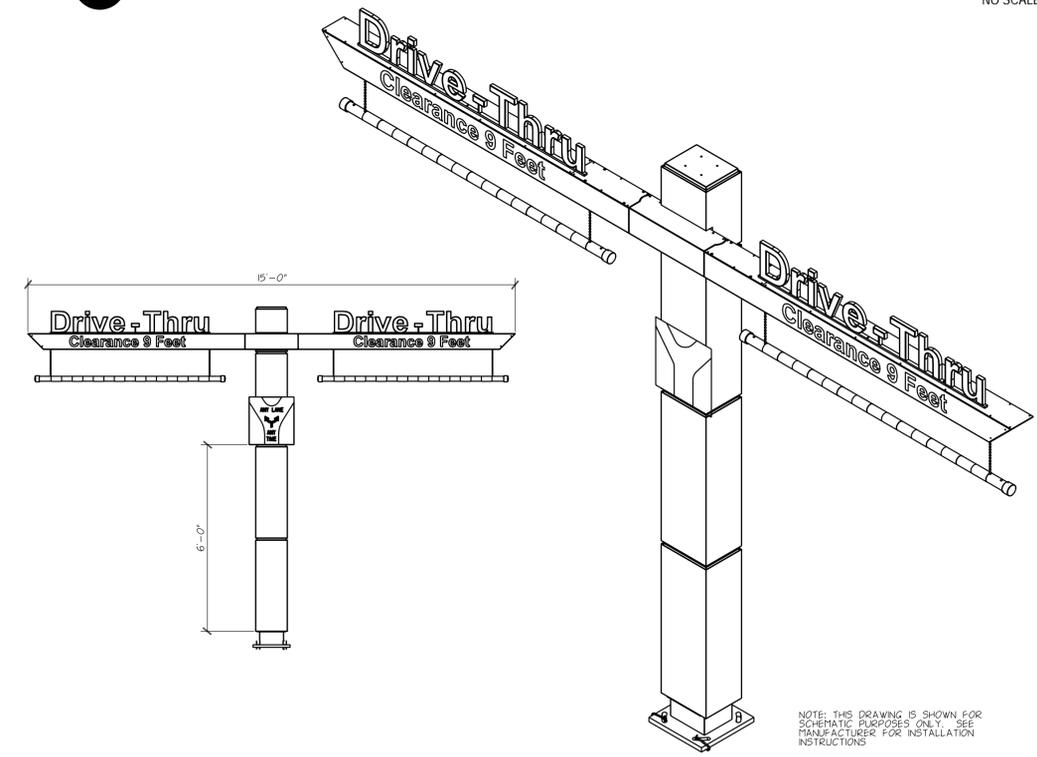
3 DRIVE-THRU WIRING DETAIL

NO SCALE



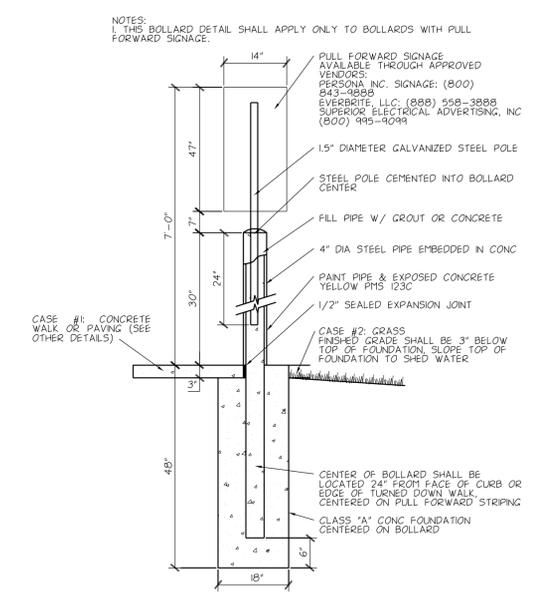
1 COD SCHEMATIC DETAIL

NO SCALE



6 DOUBLE GATEWAY SCHEMATIC DETAIL

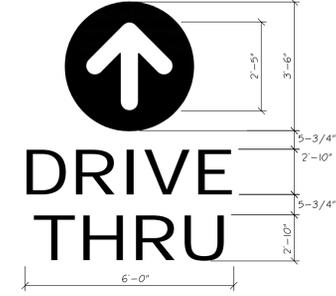
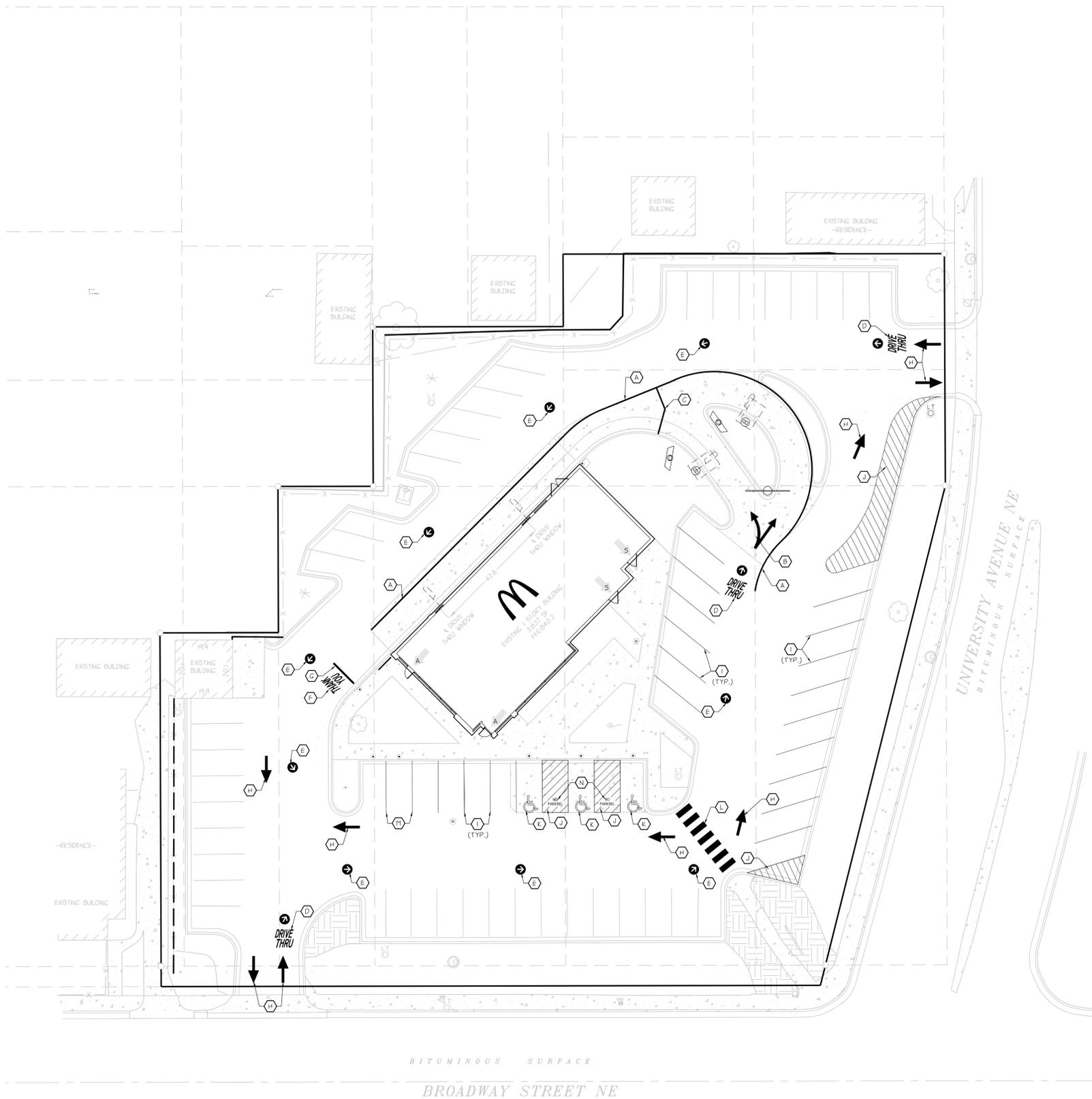
NO SCALE



2 PULL FORWARD SIGN & BOLLARD DETAIL

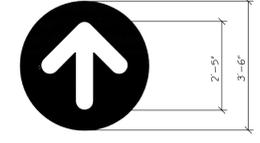
NO SCALE

SHEET NO. C2.5	STATE	MN	REVISION HISTORY
	CITY	MINNEAPOLIS	DATE
	STREET ADDRESS	1100 UNIVERSITY AVENUE NE	REV
	SHEET NAME	DRIVE-THRU DETAILS	DATE
NATIONAL NUMBER	STATE NUMBER	DATE	REVISION HISTORY
PROJECT NO.	MCD13247	11-18-2013	11-18-2013 REVISED PERIT ISSUE
		11-21-2014	1-21-2014 MODIFIED FOR 100/229 APPEALMENT
		1-21-2014	1-21-2014 SIGN VARIANCE SUBMITTAL
NOT FOR CONSTRUCTION			
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OFFICE ADDRESS: 650 W. 82ND STREET #900 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355			



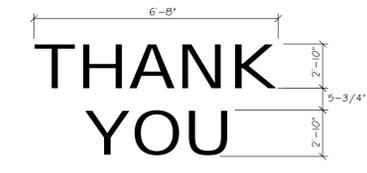
NOTE: ALL TEXT AND ARROW SHALL BE PAINTED YELLOW (PMS 123)

1 PAINTED 'DRIVE THRU' WITH ARROW  
NO SCALE



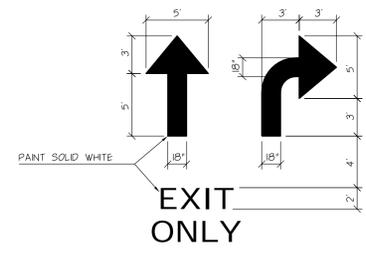
NOTE: ARROW SHALL BE PAINTED YELLOW (PMS 123)

2 PAINTED ARROW  
NO SCALE



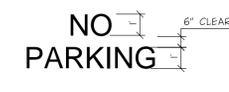
NOTE: ALL TEXT SHALL BE PAINTED YELLOW (PMS 123)

3 PAINTED 'THANK YOU'  
NO SCALE



NOTE: ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT.

4 TYPICAL PAVEMENT MARKING  
NO SCALE



NOTE: TEXT SHALL BE PAINTED WHITE

5 PAINTED 'NO PARKING'  
NO SCALE

STRIPING NOTES

- (A) 6" WIDE PAINTED STRIPE, PMS 123, YELLOW.
- (B) 1'-0" WIDE PAINTED DIRECTIONAL ARROW, PMS 123 YELLOW. SEE GENERAL NOTE 4.
- (C) 6" WIDE PAINTED MERGE POINT, PMS 123 YELLOW. SEE GENERAL NOTE 4.
- (D) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 1. SEE GENERAL NOTE 4.
- (E) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 2. SEE GENERAL NOTE 4.
- (F) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 3. SEE GENERAL NOTE 4.
- (G) 8" WIDE, 10' LONG PAINTED PULL FORWARD STRIPE. PMS 123 YELLOW.
- (H) PAINTED SITE CIRCULATION ARROW. SEE DETAIL 4. SEE GENERAL NOTE 4.
- (I) 4" WIDE CUSTOMER PARKING STRIPING. WHITE.
- (J) STRIPED AREA TO BE PAINTED WITH 4" LINES AT 18" O.C., AT 45 DEGREES TO PATH OF TRAVEL. WHITE.
- (K) PAINTED HANDICAP SYMBOL, TYP. WHITE. SEE DETAIL 4 ON SHEET C7.1.
- (L) 2' x 6' PAINTED CROSSWALK STRIPING AT 4" O.C. WHITE
- (M) 4" WIDE RESERVED DRIVE-THRU PARKING STALL STRIPING. PMS 123 YELLOW.
- (N) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 5. SEE GENERAL NOTE 4.

GENERAL NOTES

1. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY MCDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
2. SEE SHEET C2.1 FOR ALL RADIUS DIMENSIONS.
3. SEE SHEET C2.2 FOR COD CONSTRUCTION.
4. ALL PAVEMENT STENCILS MUST BE PURCHASED FROM THE FOLLOWING AUTHORIZED PROVIDER.  
PAVEMENT STENCIL COMPANY  
P.O. BOX 18034  
ROANOKE, VA 24014  
PH 800-250-5547 FAX 540-427-1326  
PAVEMENTSTENCIL.NET

REV	DATE	REVISION HISTORY
1	11-18-2013	REVISED PERMIT ISSUE
2	1-21-2014	MODIFIED FOR 100/2474 APPEAL
3	1-21-2014	SIGN VARIANCE SUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

McDONALD'S USA, LLC.

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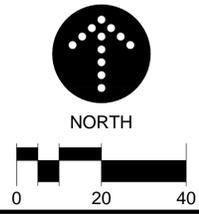
OFFICE ADDRESS  
#900 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355  
#650 W. 82ND STREET #300 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355

STATE	CITY	STREET ADDRESS	SHEET NAME	NATIONAL NUMBER	STATE NUMBER
MN	MINNEAPOLIS	1100 UNIVERSITY AVENUE NE	STRIPING		

DRAWN BY	PROTO. ISSUED	REVIEWED BY	DATE REVIEWED	DATE ISSUED
BRC		CNC	11-12-2013	11-18-2013

SHEET NO. **C2.6**

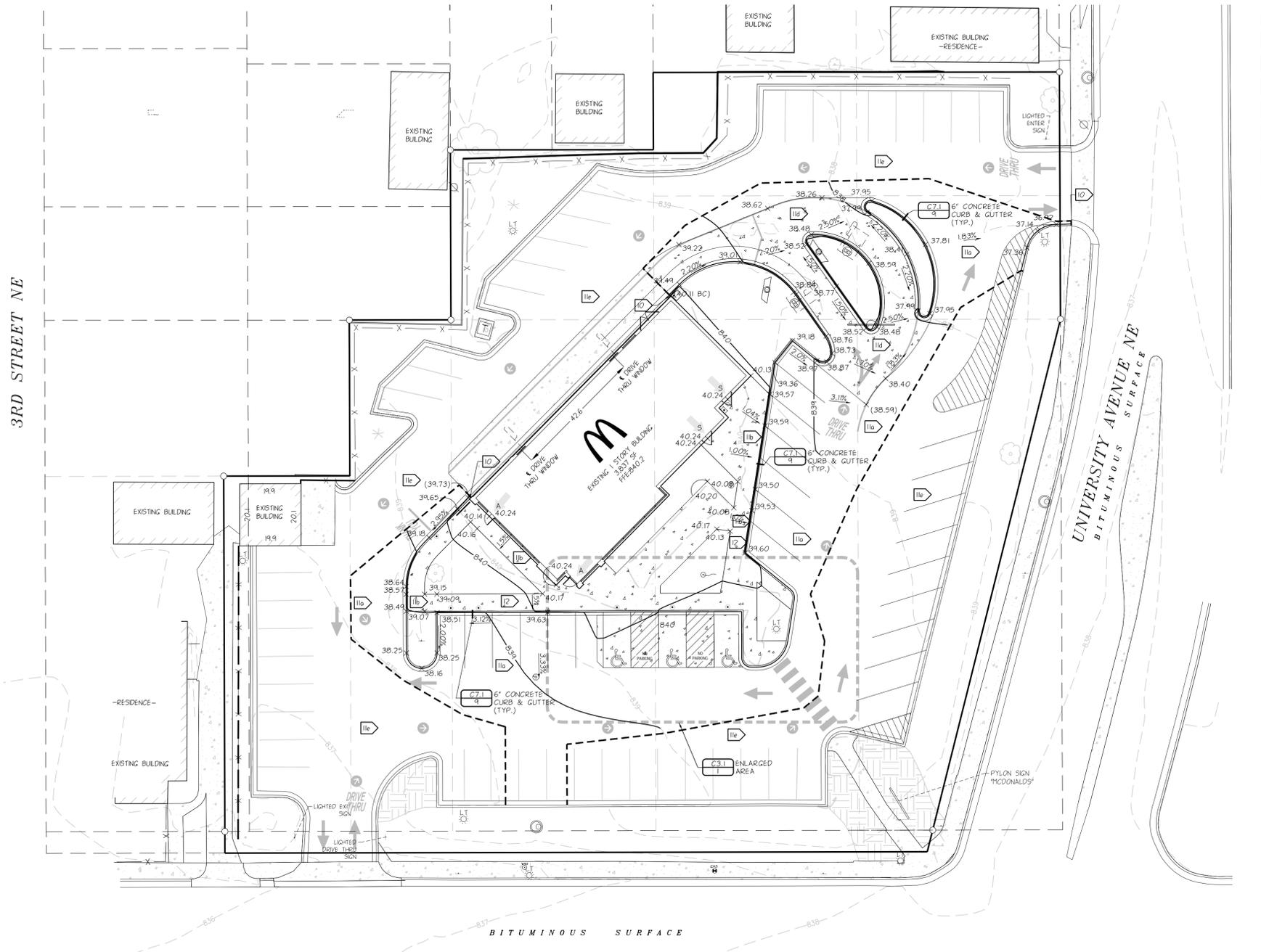
FILE NAME: C206MCD247.DWG  
PROJECT NO. MCD13247



105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
Web: landform.net

3RD STREET NE



GRADING NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.
- AVOID SOIL COMPACTION OF INFILTRATION PRACTICES. ANY EQUIPMENT USED IN INFILTRATION AREAS SHOULD BE SMALL SCALED AND TRACKED.

PAVING NOTES

- SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RIM ELEVATIONS OF CATCH BASINS.
- MEET AND MATCH EXISTING CURB. PROVIDE 10 FOOT TRANSITION.
- PAVING SECTIONS
  - BITUMINOUS PAVING
    - 2-INCH BITUMINOUS WEAR (MNDOT 2360 SPWEA240B) TACK COAT (MNDOT 2357)
    - 3-INCH BITUMINOUS BASE (MNDOT 2360 SPWB230B)
    - 6-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
  - CONCRETE WALKWAYS
    - 4-INCH CONCRETE WALK, 4,000 PSI, 5%-8% AIR ENTRAINED, MAX. 4" SLUMP
    - 4-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5) COMPACTED SUBSOL
  - CONCRETE PATIOS
    - 5-INCH CONCRETE WALK, 4,000 PSI, 5%-8% AIR ENTRAINED, MAX. 4" SLUMP
    - 4-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5)
  - CONCRETE DRIVES, APRONS, AND EXTERIOR SLABS
    - 8-INCH CONCRETE, 4,000 PSI, 5%-8% AIR ENTRAINED, MAX. 4" SLUMP
    - 8-INCH AGGREGATE BASE (MNDOT 313B, CLASS 5) COMPACTED SUBSOL
  - MILL AND OVERLAY REMAINING BITUMINOUS PAVEMENT OUTSIDE OF SAWCUT LINE
    - 1.5-INCH BITUMINOUS WEAR (MNDOT 2360 SPWEA240B)
    - TACK COAT (MNDOT 2357)
- ACCESSIBLE PARKING STALLS AND ADJACENT ACCESS AISLES SHALL HAVE A MAXIMUM GRADE IN ANY GIVEN DIRECTION OF 2.0%. ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.0%.
- 10' TRANSITION FROM 3" HIGH CURB TO 6" CONCRETE CURB. -NOT USED.
- TRANSITION FROM CONCRETE RIBBON CURB TO 6" CONCRETE CURB
- CONCRETE JOINTS
  - JOINTING TO BE DESIGNED AND INSTALLED BY CONTRACTOR.
  - INSTALL JOINTS ACROSS SIDEWALKS, CURBS AND PAVEMENTS. PAYING ATTENTION TO SPACING OF EXPANSION JOINTS. JOINT SPACING SHALL BE AS FOLLOWS:
    - TOOLED JOINTS: DIVIDE PANELS INTO NOMINALLY EQUAL AREAS.
    - EXPANSION JOINTS: SIDEWALKS - 40 FEET MAX.; CURBS - 60 FEET MAX.; PAVEMENT: 80 FEET MAX.
    - CONTRACTION JOINTS: SIDEWALKS - 8 TO 10 FEET; CURBS AND APRONS - 12 TO 15 FEET.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- PERIMETER SEDIMENT CONTROLS SHALL BE INSTALLED AND INSPECTED PRIOR TO BEGINNING WORK. MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- RESTORE DISTURBED OPEN AREAS WITH TEMPORARY SEED OR SOG WITHIN 72 HOURS OF COMPLETING GRADING IN EACH AREA. (IF WITHIN 1 MILE OF IMPAIRED WATER USE THE FOLLOWING NOTE INSTEAD) ALL EXPOSED SOILS AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
- SEED, SOG, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED:
 

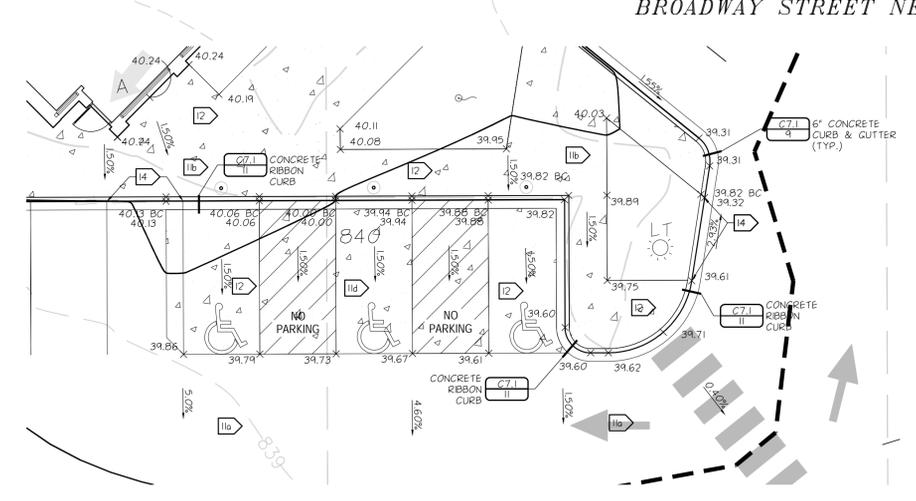
ITEM	SPECIFICATION NUMBER
SEED	MNDOT 387B
SEED	MNDOT 387E
TEMPORARY	MNDOT 387E
MULCH (MNDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED)	MNDOT 388H
FERTILIZER	MNDOT 2975
GENERAL PLACEMENT	MNDOT 2975
- SEE LANDSCAPING SHEETS FOR PERMANENT TURF ESTABLISHMENT. (-OR-) ALL DISTURBED LANDSCAPE AREAS SHALL BE RESTORED WITH SOG. COORDINATE WITH MCDONALD'S AREA CONSTRUCTION MANAGER.
- SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

NPDES AREA SUMMARY

	EXISTING	PROPOSED	ULTIMATE
PERVIOUS	0.31 ACRES	0.33 ACRES	0.33 ACRES
IMPERVIOUS	0.96 ACRES	0.94 ACRES	0.94 ACRES
TOTAL	1.27 ACRES	1.27 ACRES	1.27 ACRES

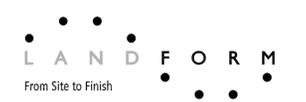
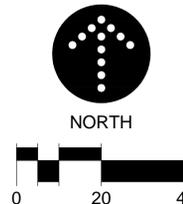
LEGEND

- TIP OUT CURB
- PAVEMENT SAWCUT



ENLARGED AREA

10 SCALE



105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401

Tel: 612-252-9070  
Fax: 612-252-9077  
Web: landform.net

REV	DATE	REVISION HISTORY
1	11-18-2013	REVISED PERMIT ISSUE
2	1-21-2014	MODIFIED FOR 100/274 AFE/EXEPT
3	1-21-2014	SIGN VARIANCE SUBMITTAL

CERTIFICATION

**NOT FOR CONSTRUCTION**

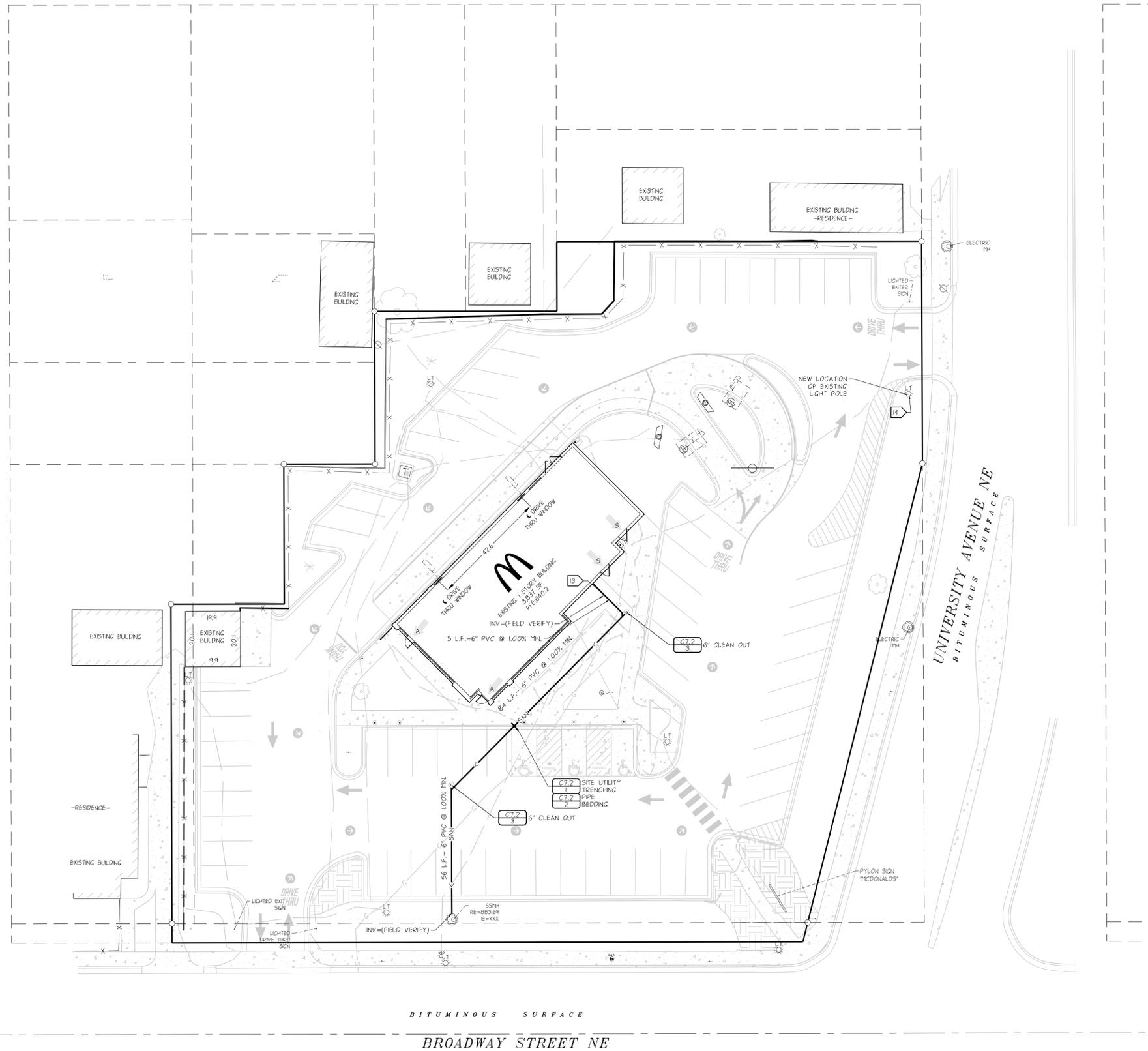
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#900 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355  
#50 W. 82ND STREET #900 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355

STATE	MINNAPOLIS
CITY	MINNAPOLIS
COUNTY	HENNEPIN
STREET ADDRESS	1100 UNIVERSITY AVENUE NE
SHEET NAME	GRADING, DRAINAGE, PAVING, & EROSION CONTROL
NATIONAL NUMBER	
STATE NUMBER	
DATE ISSUED	11-18-2013
DATE REVIEWED	11-12-2013
REVIEWED BY	CNC
PROTO. ISSUED	BRC
DRAWN BY	BRC
SHEET NO.	C3.1
FILE NAME:	C301MCD247.DWG
PROJECT NO.	MCD13247

3RD STREET NE



UTILITY NOTES

1. PIPE MATERIALS  
SANITARY SEWER PVC SCHEDULE 40 (ASTM STANDARDS: D3034, D2665, & F891)
2. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
3. COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
4. PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
5. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
6. ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
7. INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
8. CONTACT CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT FOR INSPECTION OF ALL UTILITY WORK AND STANDARDS.
9. DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM OUTSIDE SEPARATION AT SEWER CROSSINGS AS NECESSARY. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
10. CONTACT CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
11. BRING SEWER SERVICE INTO BUILDING PER MECHANICAL DRAWINGS.
12. CENTERPOINT ENERGY WILL FURNISH AND INSTALL GAS SERVICE PIPING FROM THE MAINLINE TO THE METER. GAS SERVICE FROM THE METER SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR.
13. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF SERVICE CONNECTIONS AND CONTINUATION OF SERVICES WITHIN BUILDING.
14. REINSTALL SALVAGED LIGHT POLE.

REV	DATE	REVISION HISTORY
1	11-18-2013	REVISED PERIT ISSUE
2	1-2-2014	MODIFIED FOR 100/274 AFE/EX/PT
3	1-2-2014	SIGN VARIANCE SUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

McDONALD'S USA, LLC.

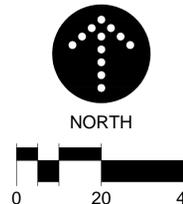
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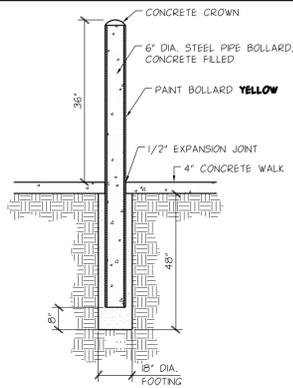
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PROTO ISSUED	CITY MINNEAPOLIS
REVIEWED BY CNC	COUNTY HENNEPIN
DATE REVIEWED 11-12-2013	STREET ADDRESS 1100 UNIVERSITY AVENUE NE
DATE ISSUED 11-18-2013	SHEET NAME UTILITIES
	NATIONAL NUMBER
	STATE NUMBER

SHEET NO. C4.1  
FILE NAME: C401MCD247.DWG  
PROJECT NO. MCD13247

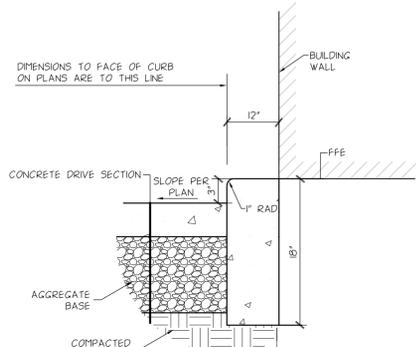
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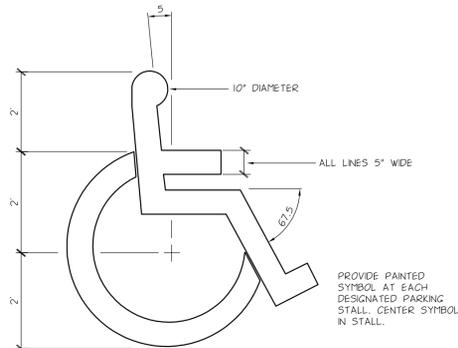
105 South Fifth Avenue  
Suite 513  
Minneapolis, MN 55401  
Tel: 612-252-9070  
Fax: 612-252-9077  
Web: landform.net



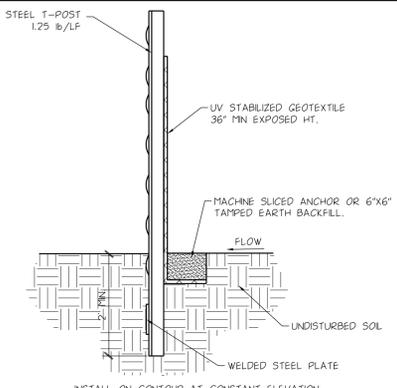
12 ROUND PIPE BOLLARD AND COVER NO SCALE



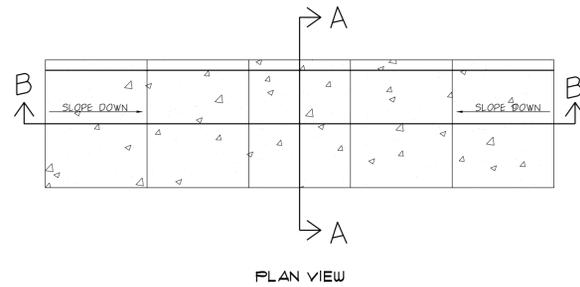
8 3" HIGH CURB AT DRIVE-THRU NO SCALE



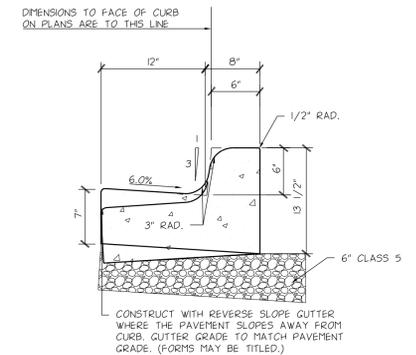
4 UNIVERSAL SYMBOL OF ACCESSIBILITY NO SCALE



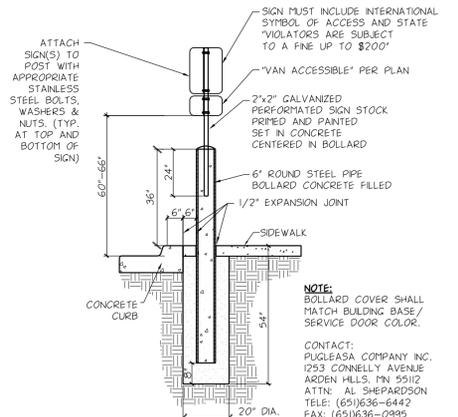
1 SILT FENCE NO SCALE



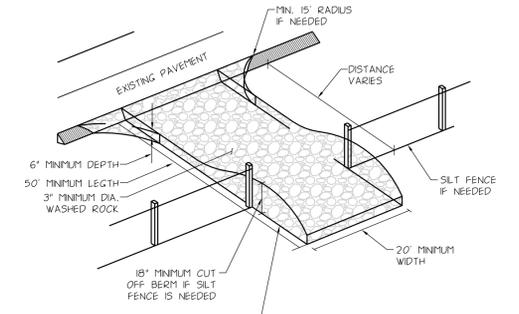
13 ACCESSIBLE AISLE NO SCALE



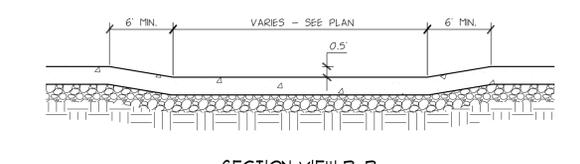
9 6" CONCRETE CURB SECTION NO SCALE



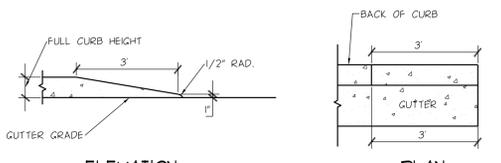
5 ROUND BOLLARD W/ ACCESSIBLE SIGNAGE (MINNESOTA) NO SCALE



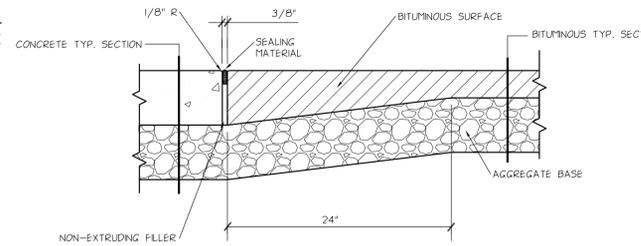
2 VEHICLE TRACKING PAD NO SCALE



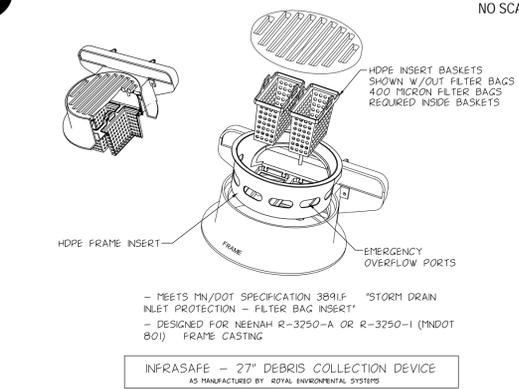
13 ACCESSIBLE AISLE NO SCALE



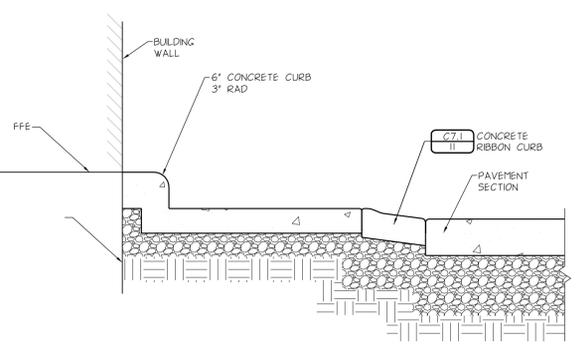
10 NOSE DOWN CURB NO SCALE



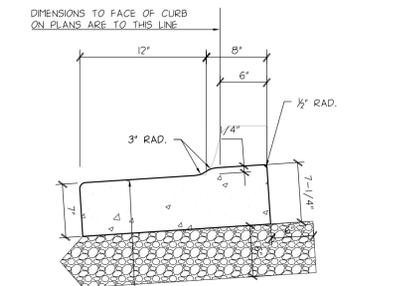
6 THICKENED BITUMINOUS EDGE AND CONCRETE SURFACE NO SCALE



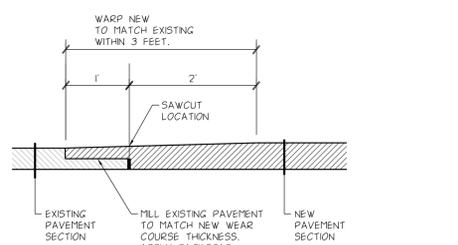
3 INLET PROTECTION NO SCALE



13 ACCESSIBLE AISLE NO SCALE



11 12" CONCRETE RIBBON CURB SECTION NO SCALE

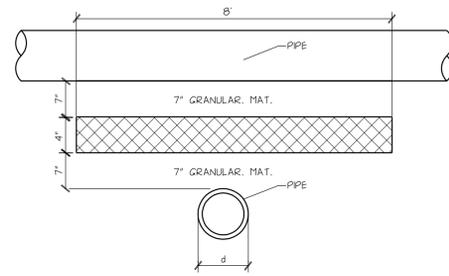


7 ASPHALT PAVEMENT TRANSITION NO SCALE

REVISION HISTORY	DATE	REV	CERTIFICATION
11-18-2013	REVISED PERMIT ISSUE		
1-21-2014	MODIFIED FOR 100/274 AGREEMENT		
1-21-2014	SIGN VARIANCE SUBMITTAL		

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<p>CITY: MINNEAPOLIS</p> <p>STATE: MN</p> <p>COUNTY: HENNEPIN</p> <p>STREET ADDRESS: 1100 UNIVERSITY AVENUE NE</p> <p>SHEET NAME: CIVIL CONSTRUCTION DETAILS</p>	<p>DRAWN BY: BRC</p> <p>PHOTO ISSUED</p> <p>REVIEWED BY: CNC</p> <p>DATE REVIEWED: 11-12-2013</p> <p>DATE ISSUED: 11-18-2013</p>
<p>SHEET NO. C7.1</p> <p>FILE NAME: C701MCD247.DWG</p> <p>PROJECT NO. MCD13247</p>	<p>NATIONAL NUMBER</p> <p>STATE NUMBER</p>

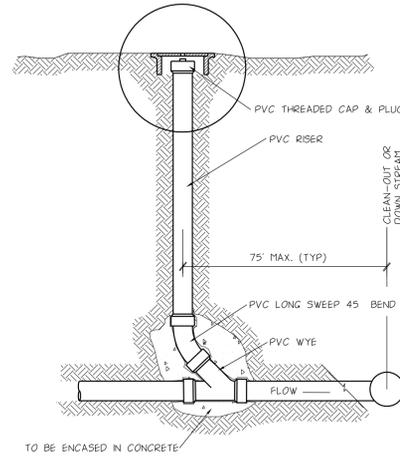
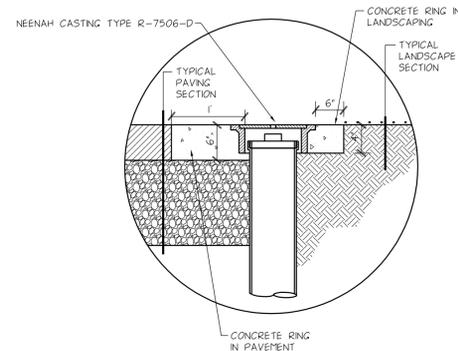


1. 4" GRANULAR MATERIAL SHALL BE WELL COMPACTED AND LEVELED TO PERMIT PROPER BEARING FOR INSULATION BOARD.
2. INSULATION SHALL BE OF 1" OR 2" THICK BOARDS OF EXTRUDED OR EXPANDING POLYSTYRENE PLASTIC FOAM SPECIFICALLY DESIGNED FOR USE IN UNDERGROUND CONSTRUCTION AND HAVING A MINIMUM COMPRESSIVE STRENGTH OF 35 PSI. SPECIAL NOTE IS TO BE TAKEN THAT THIS TYPE IS DIFFERENT THAN THE TYPE USED IN ORDINARY BUILDING CONSTRUCTION. THE INSULATION BOARD SHALL COMPLY WITH ATSH-D 162L.

5

PIPE INSULATION

NO SCALE

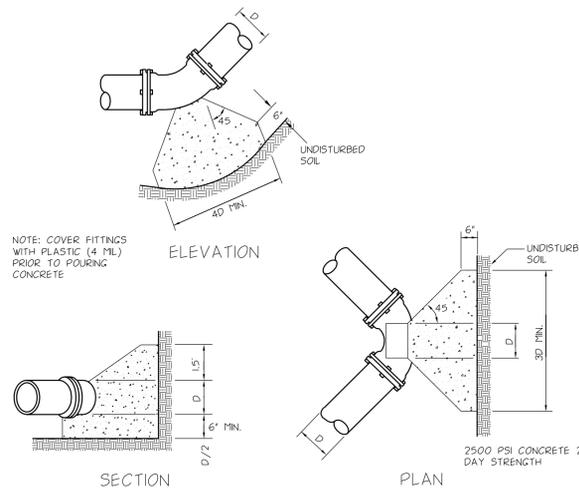


- NOTES:
- RISER PIPE SHALL BE EXTENDED ABOVE GROUND LEVEL INITIALLY & THEN IT MAY BE CUT BACK TO MATCH FINAL GRADE (BY OTHERS)
  - POSITION CLEAN-OUTS UPSTREAM OF BENDS, WHEN FEASIBLE.

3

CLEAN-OUT STRUCTURE

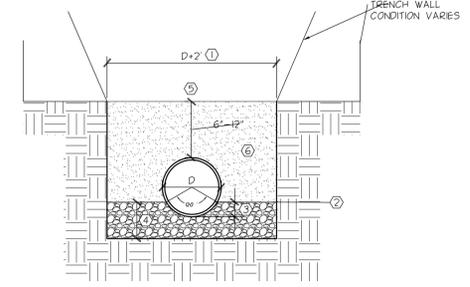
NO SCALE



4

CONCRETE THRUST BLOCKING

NO SCALE

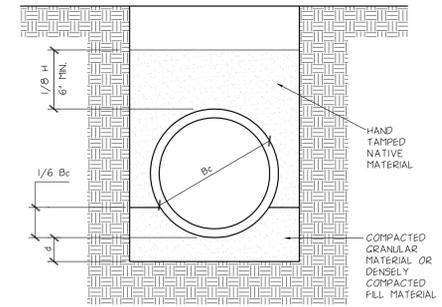


- ① 7" FOR PIPE 4" OR LESS.
- ② MACHINE EXCAVATION LIMIT FOR RIGID PIPE.
- ③ HAND SHAPE BOTTOM FOR SUPPORT OF RIGID PIPE.
- ④ MACHINE EXCAVATION LIMIT FOR FLEXIBLE PIPE, GRANULAR FOUNDATION (IF REQUIRED), OR BEDDING REQUIRED FOR LOCAL CONDITIONS. DEPTH VARIES.
- ⑤ PROVIDE LOCATING/MARKING TAPE MEETING LOCAL REQUIREMENTS
- ⑥ SEE SPECIFICATIONS FOR BEDDING AND ENCASEMENT

1

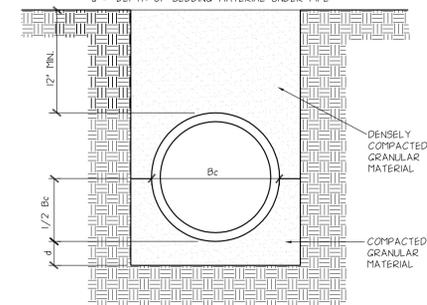
SITE UTILITY TRENCHING

NO SCALE



CLASS C BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL, OR DENSELY COMPACTED FILL MATERIAL UP TO A HEIGHT EQUAL TO ONE-SIXTH THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE BEDDING MATERIAL BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE REMAINING SIDEFILL AND BACKFILL MATERIAL IS COMPACTED NATIVE SOILS.

Bc = OUTSIDE DIAMETER  
H = BACKFILL COVER ABOVE PIPE  
d = DEPTH OF BEDDING MATERIAL UNDER PIPE



CLASS B BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL PLACED UP TO A HEIGHT EQUAL TO ONE-HALF THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE GRANULAR BEDDING BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" DIAMETER AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE INITIAL FILL MATERIAL SHALL BE DENSELY COMPACTED GRANULAR UP TO A HEIGHT OF 12" OVER THE TOP OF THE PIPE.

2

PIPE BEDDING

NO SCALE

REV	DATE	REVISION HISTORY
	11-18-2013	REVISED PERMIT ISSUE
	1-2-2014	MODIFIED FOR 10/02/24 AFE/EX/PT
	1-2-2014	SIGN VARIANCE SUBMITTAL

CERTIFICATION

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STATE	MINNEAPOLIS	MN	CITY
CITY	MINNEAPOLIS	MN	CITY
COUNTY	HENNEPIN		COUNTY
STREET ADDRESS	1100 UNIVERSITY AVENUE NE		STREET ADDRESS
SHEET NAME	CIVIL CONSTRUCTION DETAILS		SHEET NAME
NATIONAL NUMBER			NATIONAL NUMBER
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DATE ISSUED	11-18-2013		DATE ISSUED
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REVIEWED BY	CNC		REVIEWED BY
PHOTO ISSUED	BRC		PHOTO ISSUED
DRAWN BY	BRC		DRAWN BY
SHEET NO.	C7.2		SHEET NO.
FILE NAME:	C702MCD247.DWG		FILE NAME:
PROJECT NO.	MCD13247		PROJECT NO.

# McDonald's Restaurant

1100 UNIVERSITY AVENUE NE



Directional Signs to remain.



Directional Signs to remain.



Existing Freestanding sign to remain.



Directional Signs to remain.



Directional Signs to remain.



Menu Board to be removed and replaced.



EXISTING SIGNS

01/22/2014

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